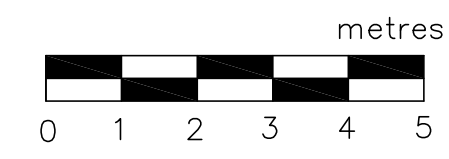
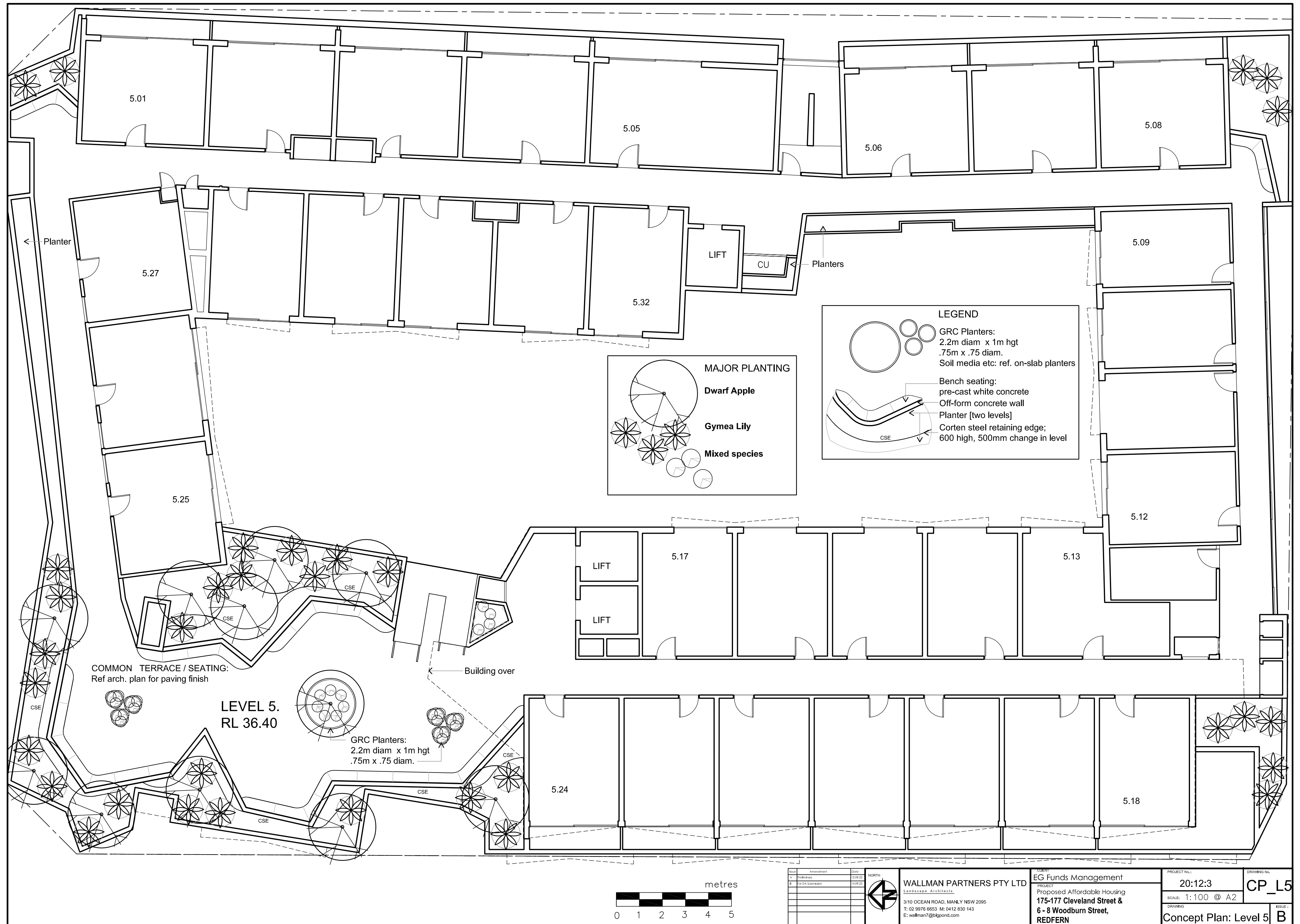
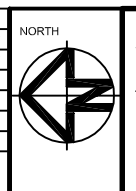




CLIENT EG Funds Management	
PROJECT Proposed Affordable Housing 175-177 Cleveland Street & 6 - 8 Woodburn Street, REDFERN	
DRAWING Concept Plan: Ground Floor Courtyard	
WALLACE PARTNERS PTY LTD <u>Landscape Architects</u> 3/10 OCEAN ROAD, MANLY NSW 2095 T: 02 9976 6653 M: 0412 830 143 E: wallman7@bigpond.com	
PROJECT NO.: 20:12:3	NORTH 
SCALE: 1:100 @ A2	
DRAWING BY: CP GF	ISSUE B



Issue	Amendment	Date
A	Preliminary	12.09.22
B	For DA Submission	14.09.22

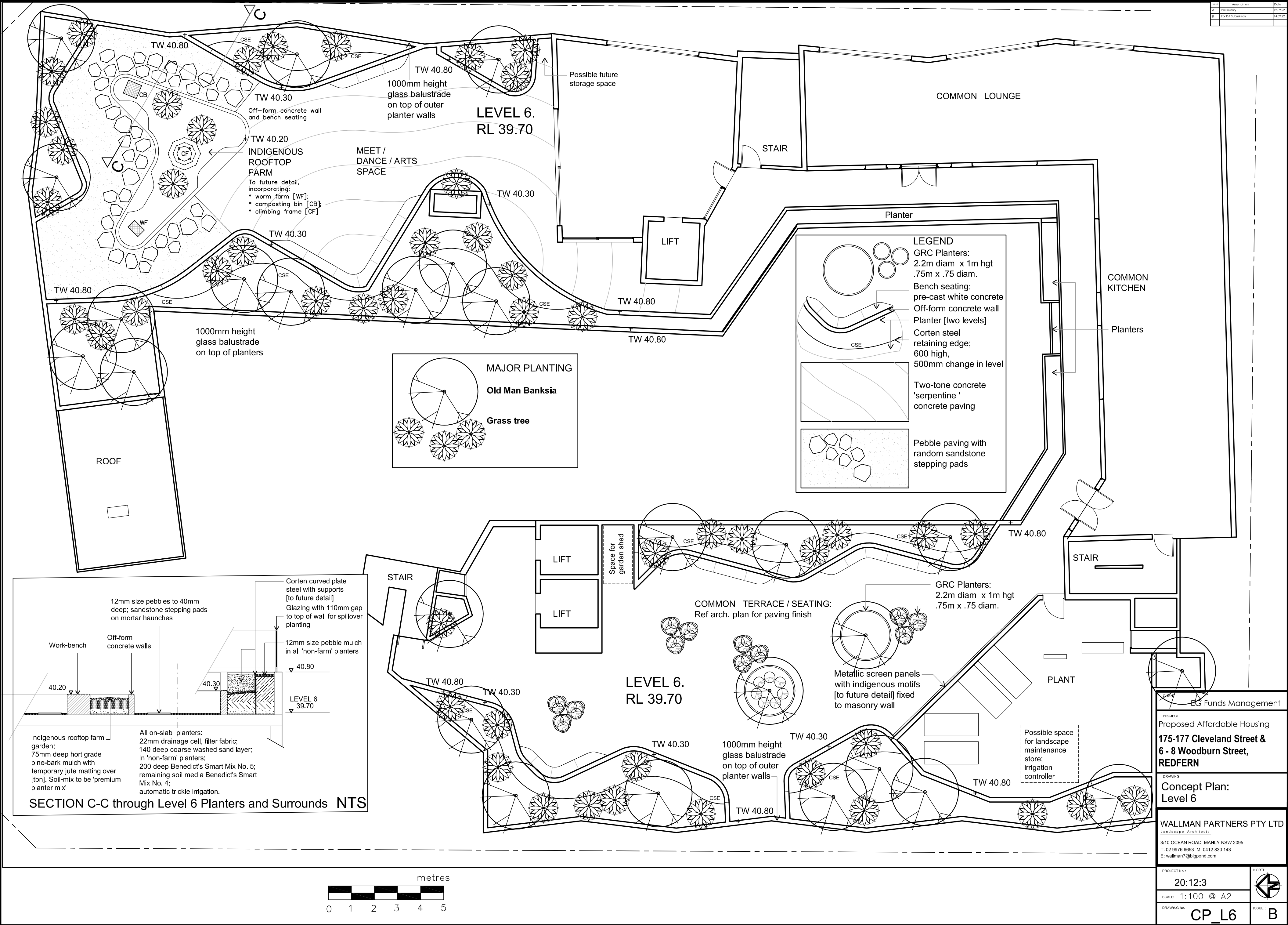


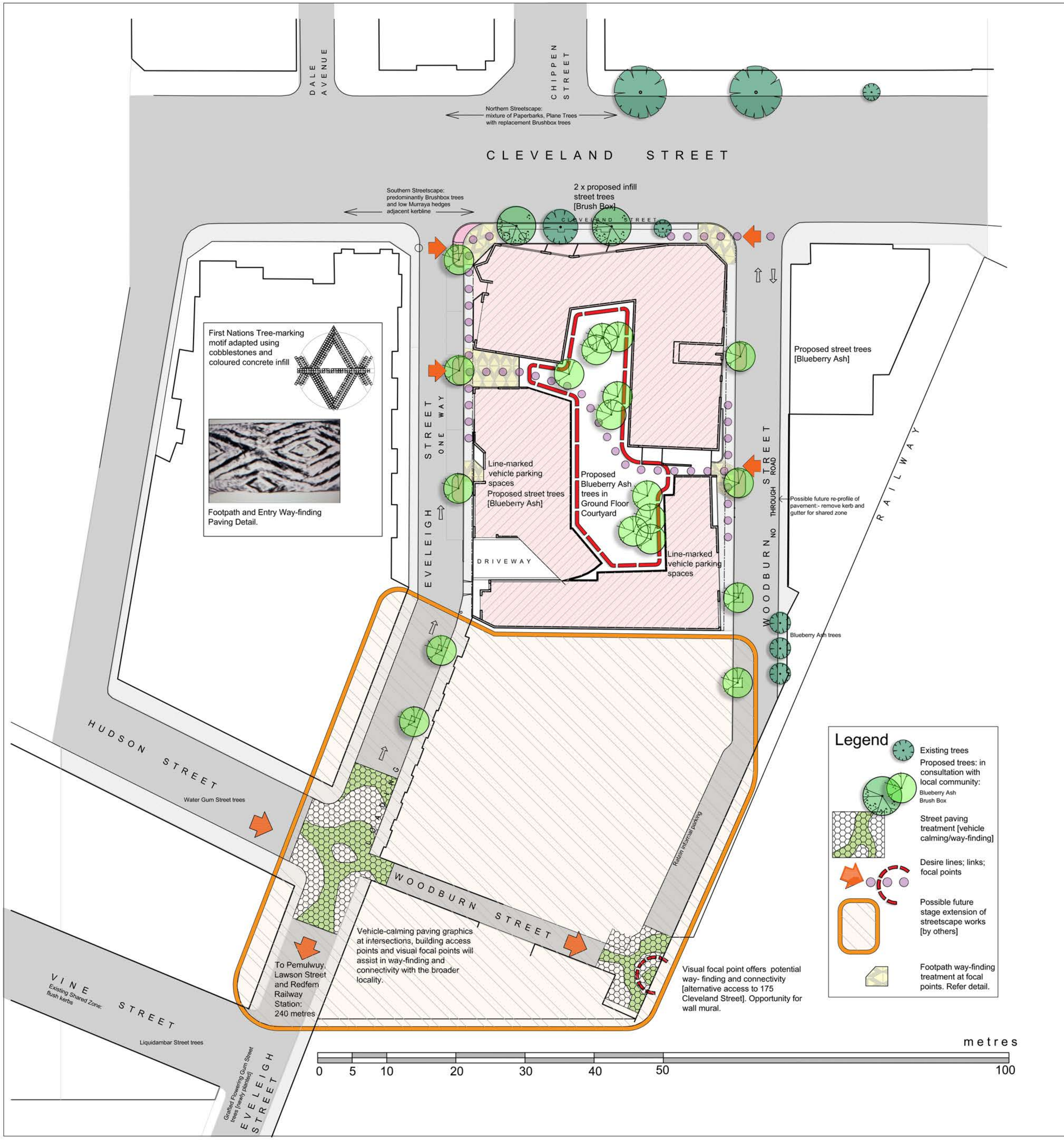
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CLIENT
EG Funds Management
PROJECT
Proposed Affordable Housing
**175-177 Cleveland Street &
6 - 8 Woodburn Street,
REDFERN**

PROJECT No.: 20:12:3	DRAWING No.: CP_L5
SCALE: 1:100 @ A2	ISSUE: B
DRAWING Concept Plan: Level 5	

Issue	Amendment	Date
A	Preliminary	12/09/22
B	For DA Submission	14/09/22





Pemulwuy streetscape [including use of vehicle calming pavement graphics at Lawson Street - Redfern Railway Station].



Opportunity for mural wall to highlight way-finding and focal point, Woodburn Street, [example- Greg Inglis mural at Cleveland Street].

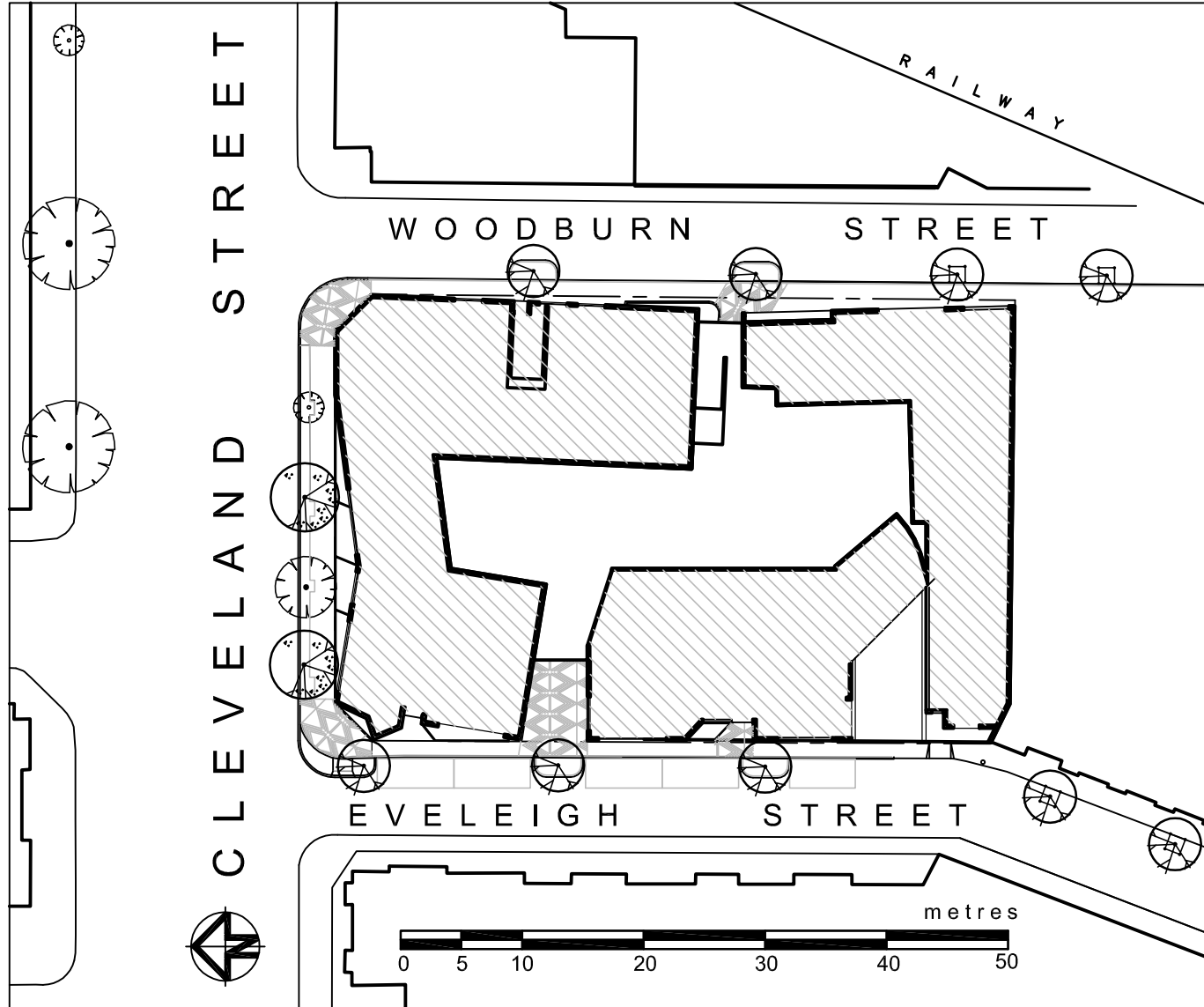


Existing endemic Blueberry Ash trees, Woodburn Street. Scale of this species and site conditions are suitable for this type of planting extension throughout the Public Realm.



Traffic calming pavement treatment- The Corso, Manly. Suggested use to highlight focal points, intersections and way-finding.

CLIENT EG Funds Management		WALLMAN PARTNERS PTY LTD Landscape Architects	
PROJECT Proposed Co-Living Development at: 175-177 Cleveland Street & 6-8 Woodburn Street, REDFERN		3/10 OCEAN ROAD, MANLY NSW 2095 T: 02 9976 6653 M: 0412 830 143 E: wallman7@bigpond.com	
DRAWING Connectivity and Public Realm Plan		PROJECT No.: 20:12:3	NORTH
		SCALE: 1 : 300 @ A1 DRAWING No.: CPR_1	
		ISSUE: B	

	14 September 2022		
	Dwg No.	Title	Issue
	LSC_1	Landscape Cover Sheet	'B'
	CPR_1	Connectivity and Public Realm Plan	'B'
	CP_GF	Concept Plan Ground Floor Courtyard	'B'
	CP_L5	Concept Plan Level 5	'B'
	CP_L6	Concept Plan Level 6	'B'
	LS_1	Landscape Sections: A-A; B-B	'B'
	PP_GF	Planting Plan Ground Floor	'B'
	PP_L1	Planting Plan L1 [incl. Streetscape]	'B'
	PP_L2	Planting Plan Level 2	'B'
	PP_L3	Planting Plan Level 3	'B'
	PP_L4	Planting Plan Level 4	'B'
	PP_L5	Planting Plan Level 5	'B'
	PP_L6	Planting Plan Level 6	'B'
	PS_1	Planting Schedule, Notes	'B'

CLIENT

EG Funds Management

PROJECT

Proposed Affordable Housing

175-177 Cleveland Street &
6 - 8 Woodburn Street,
REDFERN

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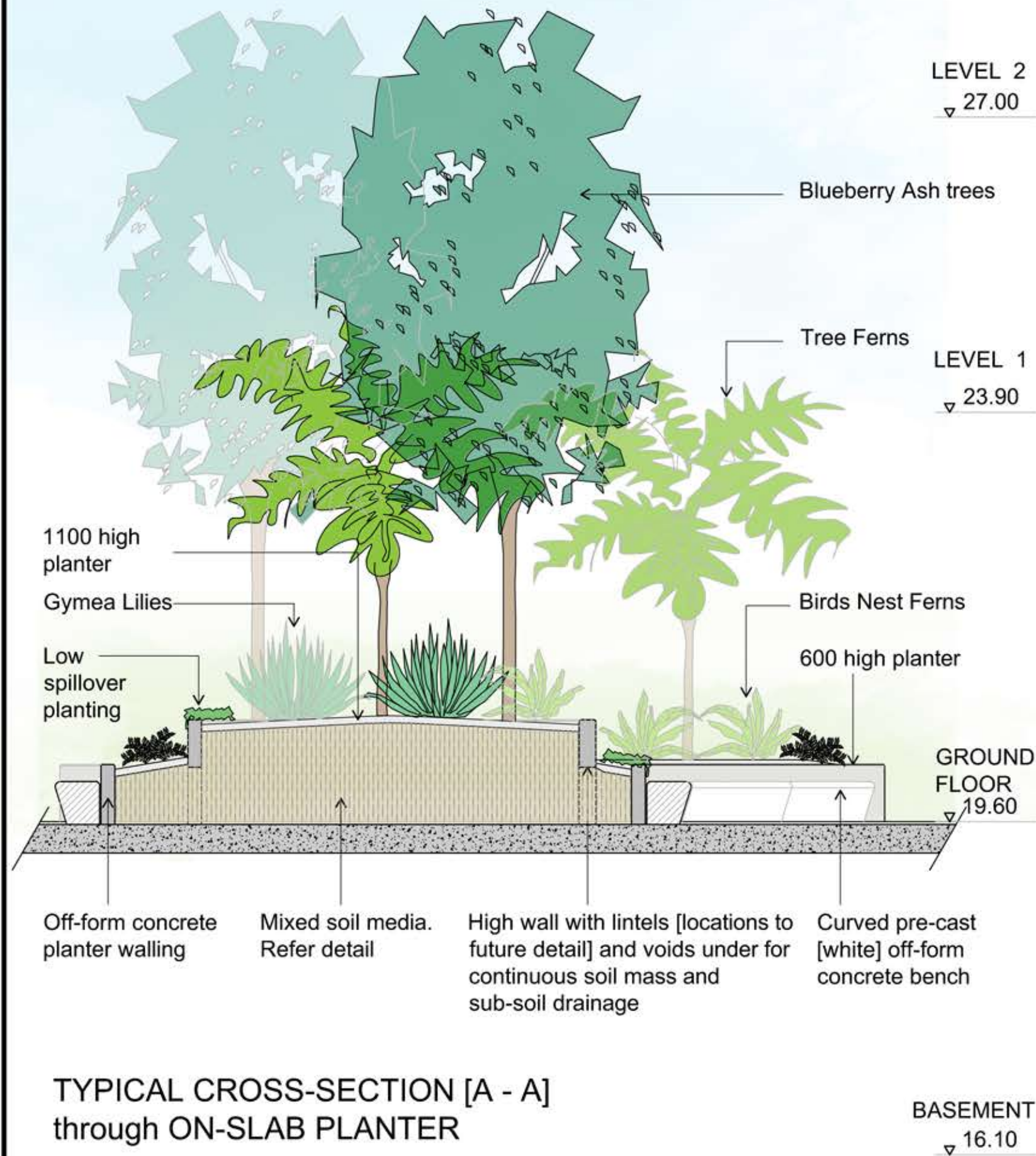
Landscape Architects

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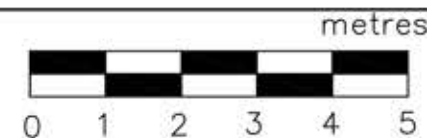
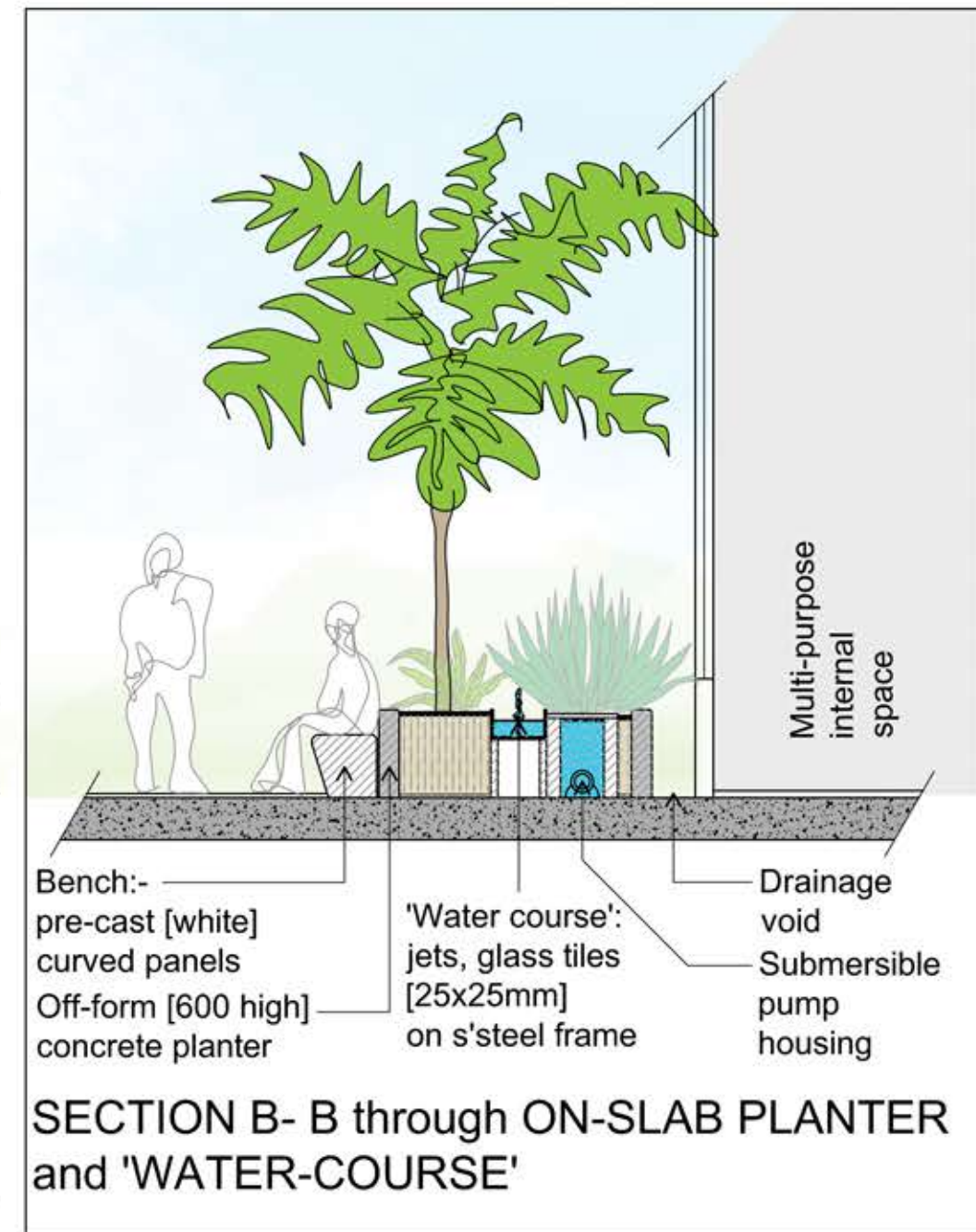
T: 02 9976 6653 M: 0412 830 143

E: wallman7@bigpond.com

Rev	Amendment	Date
A	Preliminary	6.09.22
B	For DA Submission	14.09.22

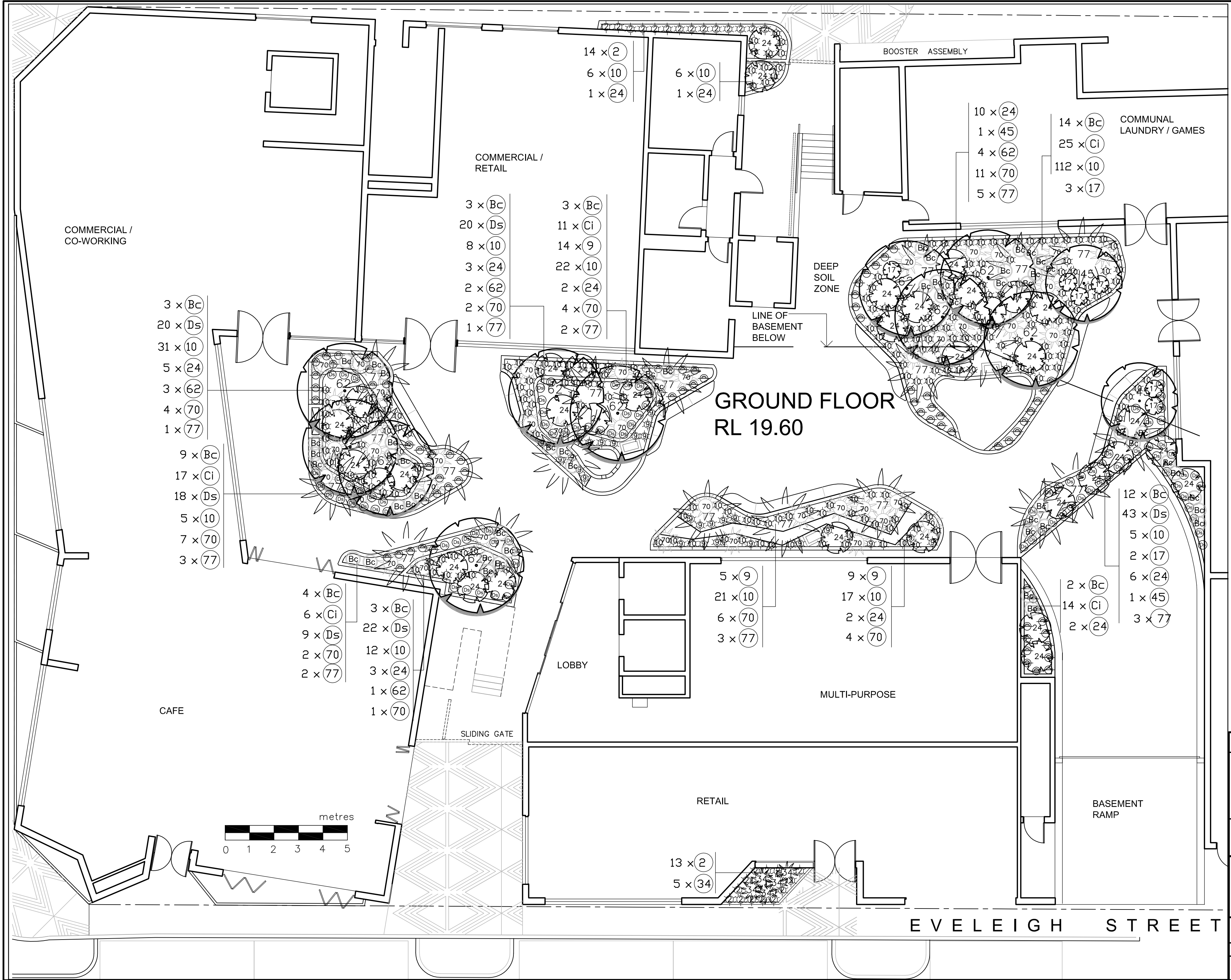


TYPICAL CROSS-SECTION [A - A]
through ON-SLAB PLANTER



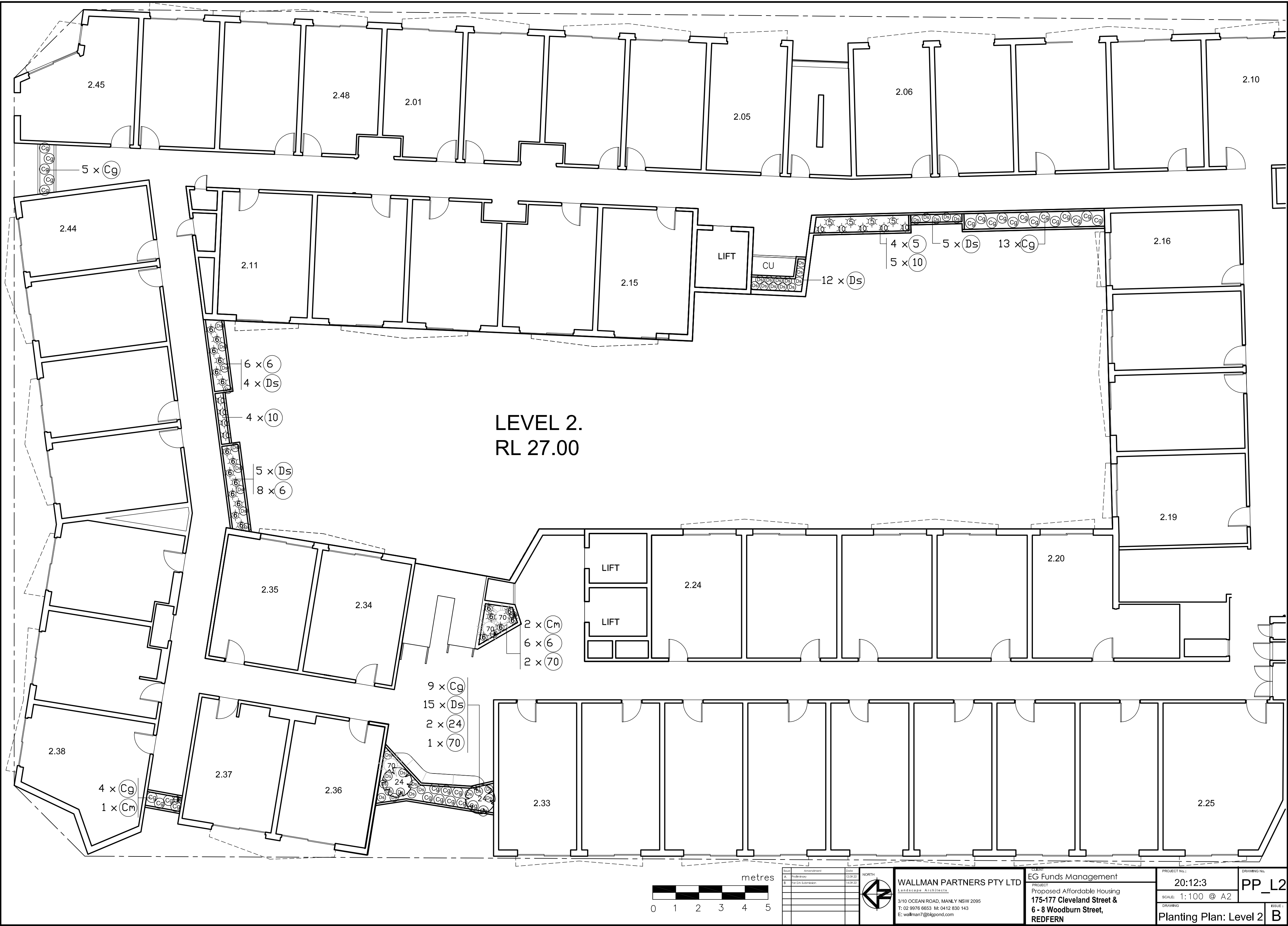
CLIENT	EG Funds Management
PROJECT	Proposed Affordable Housing 175-177 Cleveland Street & 6 - 8 Woodburn Street, REDFERN
DRAWING	Landscape Sections: A-A; B-B; Ground Floor Courtyard
DRAWN BY	WALLMAN PARTNERS PTY LTD
CHECKED BY	3/10 OCEAN ROAD, MANLY NSW 2095 T: 02 9976 6653 M: 0412 830 143 E: wallman7@bigpond.com
PROJECT NO.	20:12:3
SCALE	1:100 @ A3
DRAWING NO.	LS_1
REVISION	B

Issue	Amendment	Date
A	Preliminary	12.09.22
B	For DA Submission	14.09.22

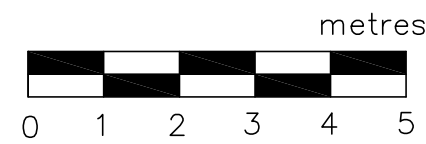


CLIENT	EG Funds Management
PROJECT	Proposed Affordable Housing 175-177 Cleveland Street & 6 - 8 Woodburn Street, REDFERN
DRAWING	Planting Plan: Ground Floor Courtyard
WALLMAN PARTNERS PTY LTD <i>Landscape Architects</i> 3/10 OCEAN ROAD, MANLY NSW 2095 T: 02 9976 6653 M: 0412 830 143 E: wallman7@bigpond.com	
PROJECT No.:	20:12:3
SCALE:	1:100 @ A2
DRAWING No.	PP_GF
ISSUE:	B





LEVEL 2.
RL 27.00



Issue	Amendment	Date
A	Preliminary	12.09.22
B	For DA Submission	14.09.22

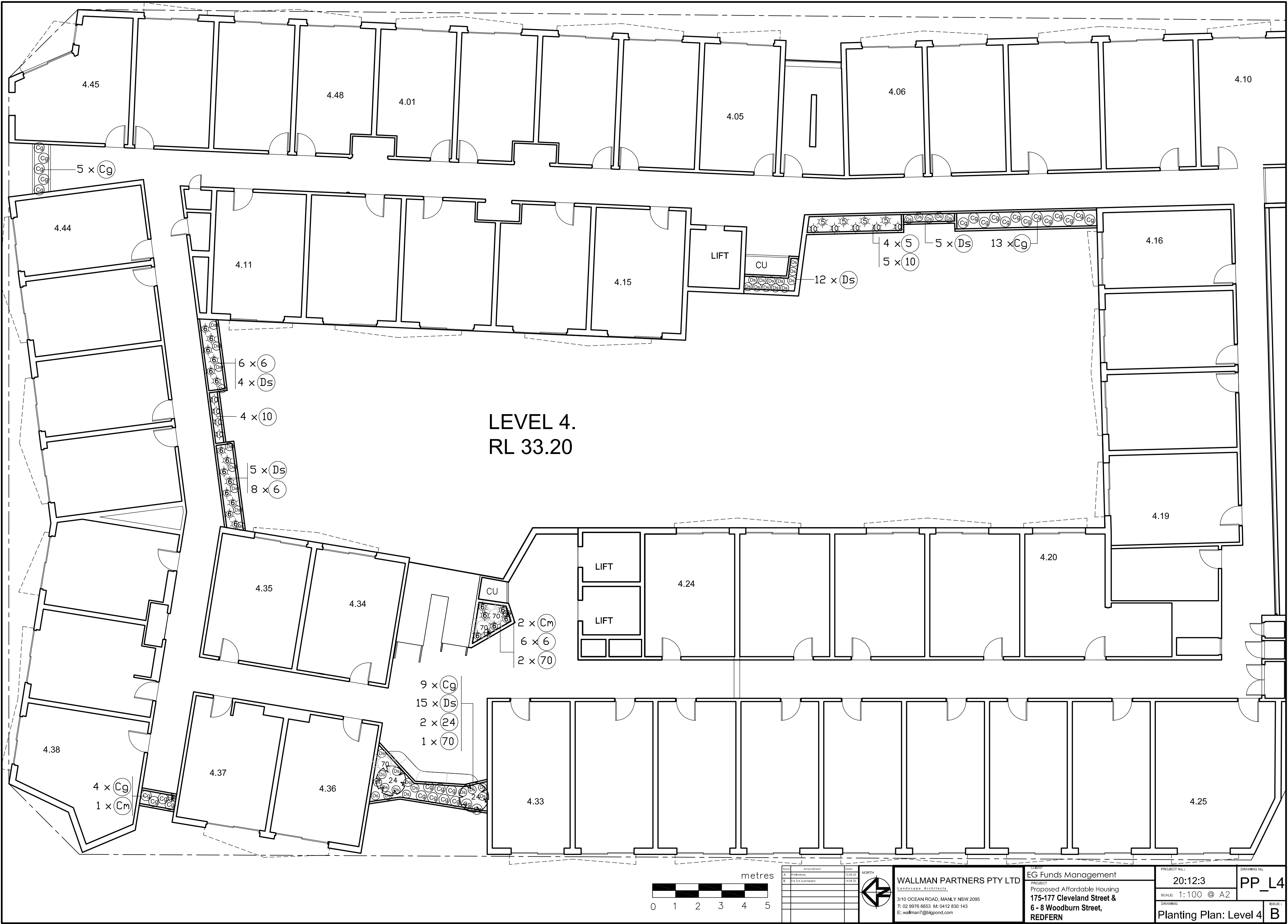


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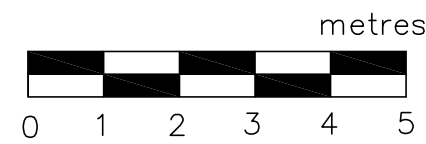
CLIENT
EG Funds Management
PROJECT
Proposed Affordable Housing
**175-177 Cleveland Street &
6 - 8 Woodburn Street,
REDFERN**

PROJECT No.: 20:12:3	DRAWING No.: PP_L2
SCALE: 1:100 @ A2	ISSUE: B
DRAWING Planting Plan: Level 2	

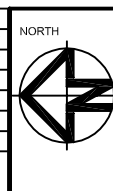




LEVEL 4.
RL 33.20



Issue	Amendment	Date
A	Preliminary	12.09.22
B	For DA Submission	14.09.22

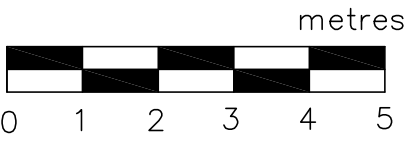
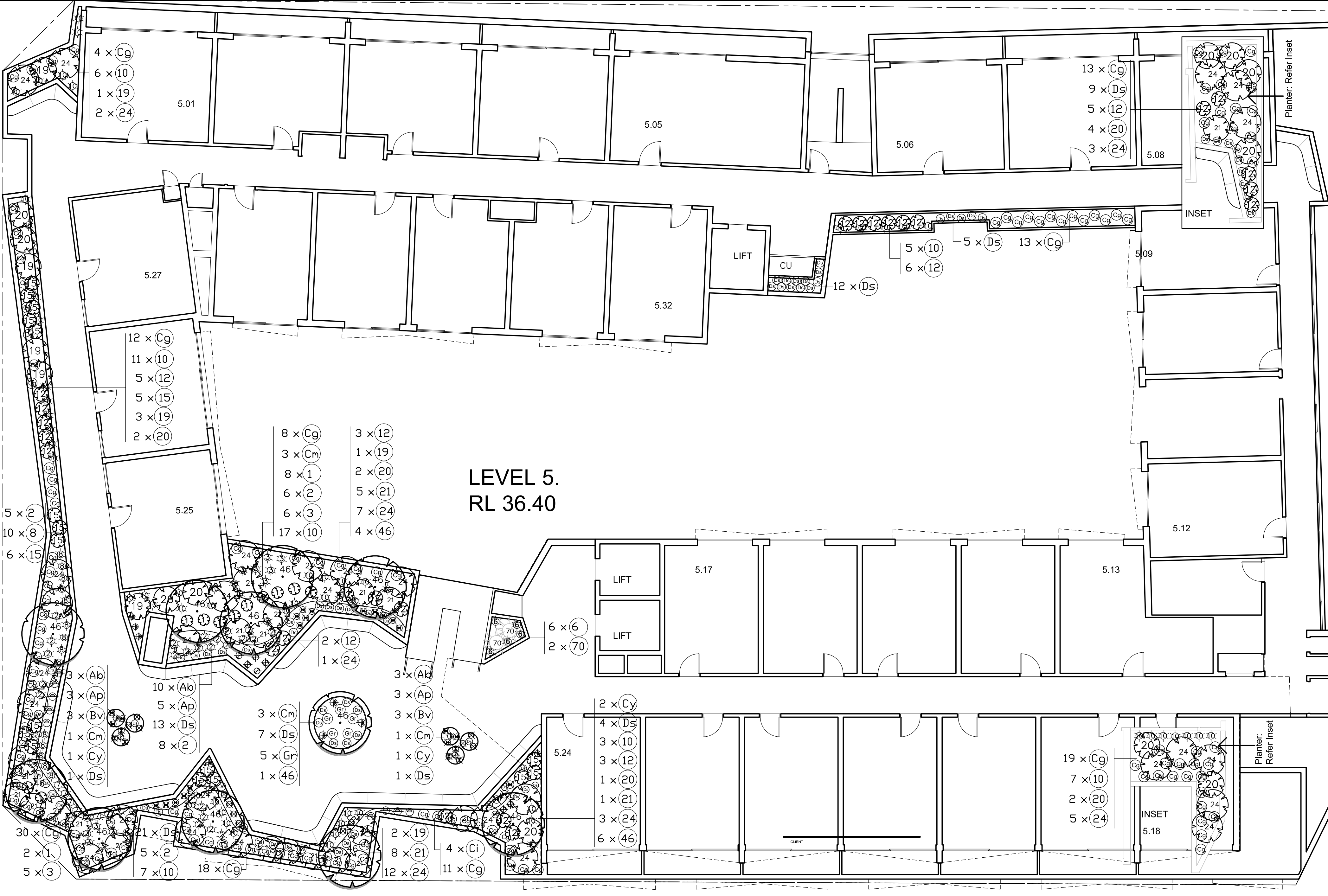


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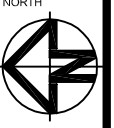
CLIENT
EG Funds Management
PROJECT
Proposed Affordable Housing
**175-177 Cleveland Street &
6 - 8 Woodburn Street,
REDFERN**

PROJECT No.: 20:12:3	DRAWING No.: PP_L4
SCALE: 1:100 @ A2	ISSUE: B
DRAWING Planting Plan: Level 4	

LEVEL 5.
RL 36.40



Issue	Amendment	Date
A	Preliminary	12.09.22
B	For DA Submission	14.09.22

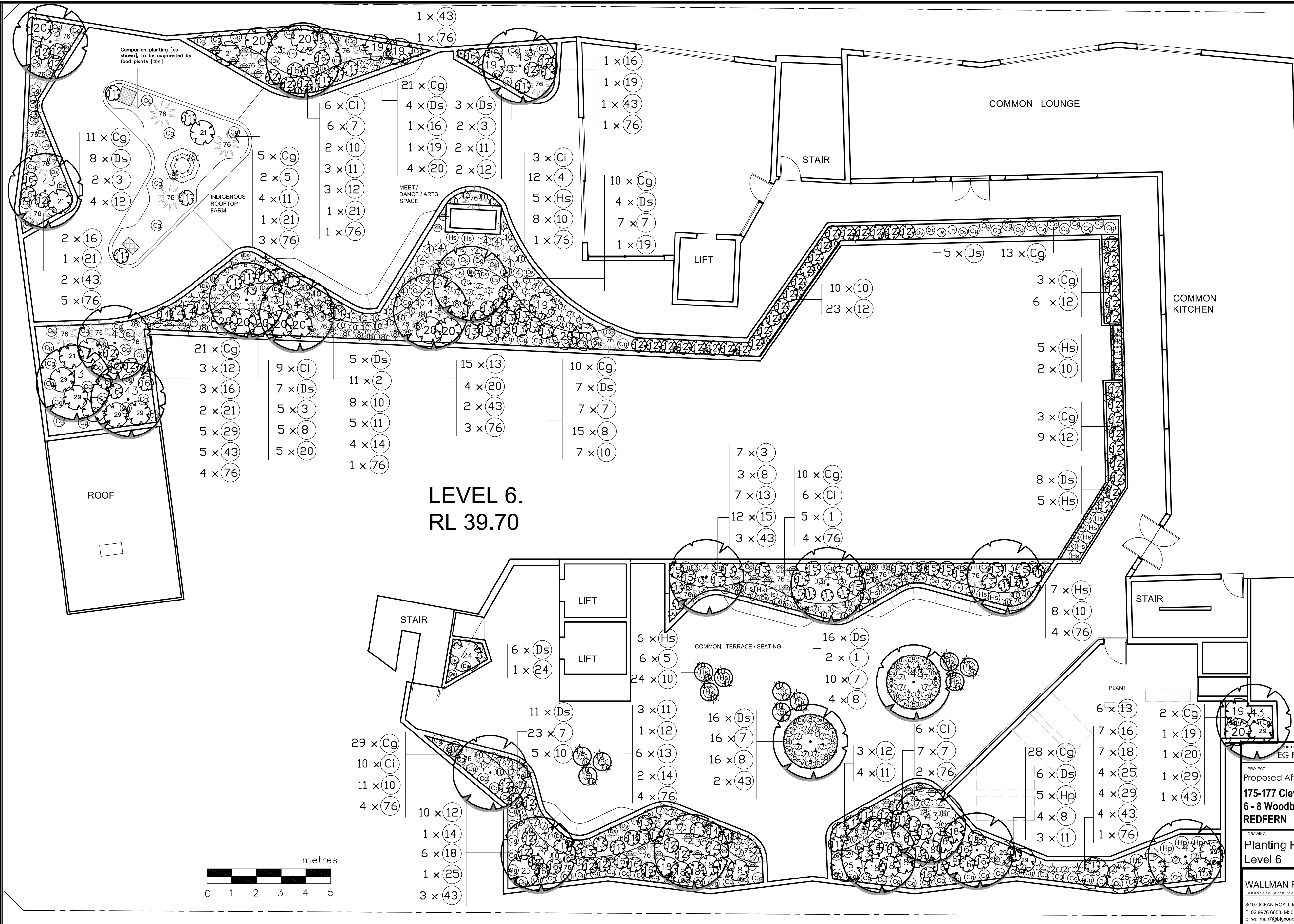


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PROJECT
Proposed Affordable Housing
**175-177 Cleveland Street &
6 - 8 Woodburn Street,
REDFERN**

PROJECT No.: 20:12:3	DRAWING No.: PP_L5
SCALE: 1:100 @ A2	ISSUE: B
DRAWING Planting Plan: Level 5	

Issue	Amendment	Date
A	Preliminary	12/09/22
B	For DA Submission	14/09/22



CLIENT
EG Funds Management

PROJECT
Proposed Affordable Housing
**175-177 Cleveland Street &
6 - 8 Woodburn Street,
REDFERN**

DRAWING
**Planting Plan:
Level 6**

WALLMAN PARTNERS PTY LTD
Landscape Architects
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PROJECT No.:	20:12:3	NORTH
SCALE:	1:100 @ A2	
DRAWING No.	PP_L6	ISSUE: B

PROPOSED PLANT SCHEDULE

Code	Botanical Name	Common Name	Approx mature height, spread	Pot size	Quantities by Floor No.							Total
					GF	L1.	L2.	L3	L4.	L5.	L6.	
Cm	Convolvulus maureticanus	Dwarf Convolvulus	.2 x .8	150mm			3	3	3	5		14
Ab	Anigozanthos Bushranger	Dwarf Kangaroo Paw	.6 x .5	150mm						16		16
Ap	Anigozanthos Bush Pearl	Dwarf Kangaroo Paw	.6 x .5	150mm						11		11
Bv	Baeckia virgata 'nana'	Dwarf Baeckia	.2 x .5	150mm						6		6
Cg	*Carpobrotus glaucescens	Pig Face	.2 x 1.2	150mm		26	31	31	31	131	177	427
Ci	Casuarina glauca 'Cousin it'	Dwarf Casuarina	.2 x .5	150mm	73					4	40	117
Cy	Chrysocephalum 'Yellow Buttons'	Yellow Buttons	.2 x .5	150mm						4		4
Ds	Dichondra argentea 'Silver Falls'	Weeping Kidney Weed	.1 x 1.2	150mm	132	76	41	41	43	73	90	496
Hs	*Hibbertia scandens	Snake Vine	.3 x .9	200mm							28	28
Gr	Grevillea lanigera 'Mt Tamboritha'	Dwarf Spider Flower	.3 x .5	200mm						5		5
Hp	Helichrysum petiolare	Licorice Plant	.4 x .8	150mm							7	7
1	Banksia 'Pigmy Possum'	Dwarf Banksia	.3 x 1.6	200mm						10	5	15
2	*Dianella caerulea	Paroo Lily	.6 x .7	150mm	27					29		56
3	*Lomandra longifolia	Mat Rush	.8 x .8	150mm						6	16	22
4	Lomandra tanika	Dwarf Mat Rush	.6 x .7	200mm		78					12	90
5	*Hardenbergia violacea	Waraburra	n/a	200mm			4	4	4		8	20
6	Clivia miniata	Clivia	.6 x .6	200mm		20	20	20	20	6		86
7	*Actinotus helianthii	Flannel Flower	.2 x .8	150mm							92	92
8	Westringia 'mundi'	Dwarf Coast Rosemary	.2 x .8	150mm						10	47	57
9	*Ficinia nodosa	Knobby Club Bush	.6 x .6	150mm	28							28
10	*Viola hederacea	Native Violet	.15 x .8	150mm	245	9	9	9	9	56	85	413
11	Myoporum 'Yareena'	Creeping Boobialla	.1 x .9	150mm							24	24

SHRUBS

					GF	L1.	L2.	L3	L4.	L5.	L6.	Total
12	*Correa alba	White Correa	1.0 x 1.0	150mm						24	64	88
13	*Micromyrtus ciliata	Fringe Heath Myrtle	.6 x 1.0	150mm							28	28
14	*Oxlobium cordifolium	Heart Leaf Shaggy Pea	1.0 x 1.0	200mm							7	7
15	*Melaleuca thymifolia	Thyme Honey Myrtle	.9 x .9	150mm						11	12	23
16	*Acacia myrtifolia	Myrtle Wattle	.7 x .7	150mm							14	14
17	Goodenia ovata	Hop Goodenia	1.1x1.1	200mm	5							5
18	Westringia fruticosa	Coast Rosemary	1.2 x 1.2	150mm							13	13
19	Grevillea buxifolia	Grey Spider Flower	1.2 x 1.4	200mm						7	4	11
20	Grevillea speciosa	Red Spider Flower	1.2 x 1.4	200mm						11	15	26
21	Austromyrtus dolcis	Midgenberry	1 x 1m	200mm						14	5	19
24	Doryanthes excelsa	Gynea Lily	2.2x1.5m	300mm	35	2	2	2	2	33	1	77
25	Leucopogon parviflorus	Coast Beard Heath	1.5 x 2.0	200mm							5	5
26	Murraya paniculata	Murraya	1.5 x 1.5	300mm								—
29	Acacia longifolia v. sophorae	Coast Wattle	1.3x1.3m	150mm							10	10
34	Cordyline stricta	Erect Palm Lily	1.3x.8m	300mm	5							5

SMALL TREES

					GF	L1.	L2.	L3	L4.	L5.	L6.	Total
43	*Banksia serrata	Old Man Banksia	3.5x2.5m	45 litre							22	22
45	Davidsonia jerseyana	Davidson's Plum	7 x 3m	45 litre	2							2
46	Angophora hispida	Dwarf Apple	4 x 3m	45 litre						11		11
62	Elaeocarpus reticulatis	Blueberry Ash	7 x 3m	200 litre	10							10

CYCADS, FERNS, PALMS, etc

					GF	L1.	L2.	L3	L4.	L5.	L6.	Total
Bc	*Blechnum cartligeaunum	Gristle Fern	.8 x .8m	200mm	53							53
70	Asplenium australicum	Bird's Nest Fern	1.2 x 1m	200mm	41	3	3	3	3	2		55
76	*Xanthorrhoea resinosa	Grass Tree	.4 x .8m	200mm							39	24
77	Cyathea cooperi	Lacy Tree Fern	1.2 x 1m	45 litre								20

PROPOSED PLANT SCHEDULE

Public Realm: # [Streetscape]

Code	Botanical Name	Common Name	Approx mature height, spread	Pot size	Quantity
GROUND COVERS, SHRUBS					

Ds	Dichondra argentea 'Silver Falls'	Weeping Kidney Weed	.7 x .5	150mm	34
2	*Dianella caerulea	Paroo Lily	.7 x .5	150mm	48
4	Lomandra tanika	Dwarf Mat Rush	.7 x .5	300mm	7
26	Murraya paniculata	Murraya [hedge]	.7 x .5	300mm	10

TREES

57	Lophostemon confertus	Brush Box	15 x 10m	200 litre	2
62	Elaeocarpus reticulatis	Blueberry Ash	8 x 3m	200 litre	5

Selection of public realm planting to be in consultation with local community groups

SUMMARY OF PLANT TYPES:

Total No. plants [on site and public realm]: 2542 plants

* Endemic species: 1357 plants = 53.4%

▼ Native species: 1068 plants = 42.0%

^ Exotic species: 117 plants = 4.6%

* Based on Eastern Suburbs Banksia Scrub

NOTE: stake and tie small trees on L5 and L6 with 3 x 38 x 38 x 1200 length hardwood stakes per plant. Tops of stakes 700mm above FSL. Hessian ties twisted and stapled to stakes. Check and adjust to suit climatic conditions.

NOTES:

- Contractors must verify all dimensions at the site before commencing any work or making any shop drawings which must be approved before manufacturing.
- Do not scale drawing, if in doubt – ASK
- This drawing is to be read in conjunction with Architectural, Hydraulic and survey plans
- All Existing trees to remain shall be protected as per arborist report & council requirements, UNLESS NOTED OTHERWISE on the drawing.
- All pruning shall be in accordance with the AS 4373
- Thoroughly eradicate weeds from all garden areas.
- No variation to the works to be carried out without prior approval from owner.
- All materials to be the best of their respective kinds and shall comply with approved sample type submitted or specified.
- Substitution of plant species or varieties will not be permitted.
- Unless otherwise specified or directed, all instructions are to be issued by the consulting landscape architect.
- Provide sub–soil drainage to garden beds & lawn areas where required – To be confirmed on site.
- Refer to survey plan for position of all existing services.
- Refer to Architectural elevations & Sections for existing and proposed ground lines.
- All landscape works shall comply with all councils DA & CC conditions and all relevant "AUSTRALIAN STANDARDS" and AUS_SPEC NO.1 Specification C273–Landscaping.
- Irrigation system – Fully automatic operated system to all areas shall be designed & installed to comply with AS 2698, AS 2698.1–1994, AS 2698.2–1985, AS 2698.3–1990, Sydney Water and other relevant authority regulations.
- MAINTENANCE– All landscape works are to be maintained for a period of 52 weeks after final completion. Replace all plants which have failed with the same species. Mulch is to be maintained at specified depth. All plants and turf shall be watered on a regular basis to maintain moisture levels required for optimum growth. All garden areas are to be maintained free from weeds. A detailed long–term maintenance regime shall be prepared for all landscape zones at CC Stage.

CLIENT
EG Funds Management

PROJECT
Proposed Affordable Housing
175-177 Cleveland Street &
6 - 8 Woodburn Street,
REDFERN

DRAWING
Planting Schedule;
Notes

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PROJECT No.:
20:12:3

SCALE: 1:100 @ A2

DRAWING No.
PS_1

NORTH



ISSUE: B