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NSW Department of Education

Wee Waa High School

Preliminary Construction Management Plan



Document Information

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1. Introduction

1.1. Overview

This Preliminary Construction Management Plan supports a State Significant Development Application (SSDA) for the proposed New Wee Waa High School (SSD-21854025) at 105-107 Mitchell Street, Wee Waa, NSW. The applicant is NSW Department of Education.

This Preliminary Construction Management Plan has been prepared by Ontoit on behalf of Wee Waa High School for School Infrastructure NSW (SINSW) on behalf of the Department of Education (DOE) to accompany a development application (SSDA) to the NSW Department of Planning, Industry and Environment (DPIE) for proposed construction of a new High School at Wee Waa on existing Department of Education owned land and adjacent Crown land as an urgent priority.

Students and staff were evacuated from the current Wee Waa High School site due to ongoing health issues in late 2020. Students are currently collocated within the town's primary school in an overcrowded site. A Ministerial announcement made on 3 June 2021 committed to the construction of a new High School at Wee Waa on existing Department of Education owned land and adjacent Crown land as an urgent priority. The site is located on Mitchell Street/Kamliaroi Highway and is legally described as Lot 1 DP577294, Lot 2 DP550633 and Lots 124-125 DP757125.

This report accompanies a State Significant Development Application which seeks consent for the construction of a new high school will service 200 students with potential to grow to a total capacity of 300 students in a two-storey building, an Indigenous cultural centre, sporting fields and associated civil and utilities works. For a detailed project description refer to the EIS prepared by Ethos Urban.

This report addresses the requirement for a Preliminary Construction Plan specified in the Department of Planning, Industry and Environment's Secretary's Environmental Assessment Requirements (SEARs) for the project – as set out in Section 1.2 below. It follows the principles set out in the Social Impact Assessment Guideline for State Significant Projects (SIA Guideline) released by the NSW Department of Planning, Industry and Environment in July 2021.

The Wee Waa High school will service 200 students with potential to grow to a total capacity of 300 students, subject to further funding and service need, and 61 staff. The proposal seeks consent for:

- Construction of a permanent consolidated two storey courtyard building will service 200 students with potential to grow to a total capacity of 300 students. This new school building is to comprise:
 - 10 Learning Spaces
 - 5 Specialist Learning Spaces
 - Ancillary Spaces
 - Recreation spaces – sports fields and basketball courts
 - A canteen;
 - Library;
 - Multipurpose hall;
 - Office and administration space;
 - Staff and student amenities; and
 - Multi-purpose sporting facilities and outdoor play spaces;
 - Associated site landscaping and public domain improvements;
 - An on-site car park for 40 parking spaces and a drop-off and pick-up area; and
 - Construction of ancillary infrastructure and utilities as required.

Additional facilities specific for the Wee Waa High School community include:

- 2 Learning Support Spaces
- An Agricultural and Environment Centre, and
- An Indigenous Cultural Centre.

The purpose of this Preliminary Construction Management Plan (PCMP) is to provide a broad overview of the construction management methodology, construction staging, and environmental management measures.

A more detailed CMP will be developed following DA approval and appointment of the construction contractor.

Response to SEARs

The Preliminary Construction Management Plan (PCMP) may be required by the Secretary's Environmental Assessment Requirements (SEARs) for SSD-9809. This table identifies the SEARs and relevant reference within this report.

Table 1: SEARs and Relevant Reference

SEAR's requirements	Where addressed if stated
Not Stated	Project description – Section 2
.	Environmental management - Section 3
	Hours of operation – Section 2.4
	Access arrangements – Section 3.4
	Traffic control measures – Section 3.5

A Preliminary Construction Traffic Management Plan (PCTMP) which identifies the proposed vehicular routes, points of access/egress and vehicular and pedestrian controls is provided as a separate document.

1.2. Reliance

This report: has been prepared by Ontoit for the NSW Department of Education and compiled using data provided by the NSW Department of Education.

2. Project description

2.1. Site introduction

Wee Waa is located within New England region in New South Wales, Australia, approximately 40km North east of the regional centre of Narrabri. The town is within the Narrabri Shire local government area and is on the Namoi River.

The site for the new School is located centrally in the in Wee Waa town centre at 105-107 Mitchell Street/Kamilaroi Highway. The site fronts Mitchell Street/Kamilaroi Highway (South) just off the intersection with Church Street and fronts Charles Street (West) as shown in Figure 2.

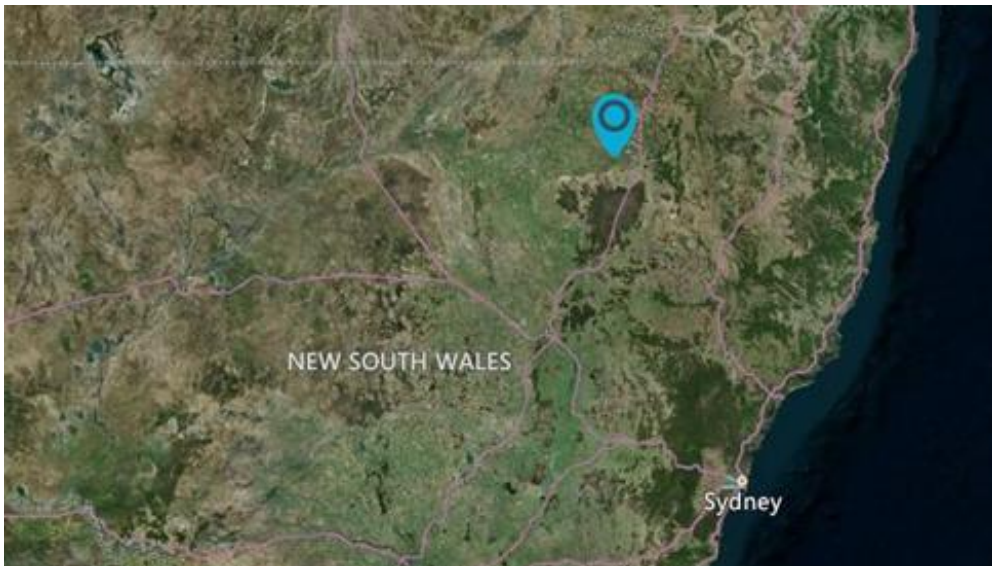


Figure 1: Wee Waa Regional Context (source: <https://nationalmap.gov.au/>)



Figure 2: Location for the new High School Site in the Wee Waa Town Centre (source: SHAC)

2.2. Site description

Wee Waa is a small town in western NSW that provides services and amenity for the townspeople and the surrounding agricultural community. The town is on the banks of the Namoi River. The river is an important feature in the local, regional and cultural landscape.

The Lower Namoi Plains are punctuated by local outcroppings and geological features such as the Piliga sandstone ridges to the south and the remnant volcano of Mt Kaputar to the north west. The local setting of the proposed school is close to the centre of town on Mitchell Street/Kamilaroi Highway. This is a traditional country town street with the Public School and a number of older style single storey residences on the southern edge. The architectural design situates the school on the north side of the road with significant landscape areas both to the east and the west and a landscape buffer to the south. The eastern landscape area of the site is characterised by extant native grasses and trees and the western parts of the site are more open grassland with fewer trees.

The site for the new Wee Waa High School is located in the centre of town on the Kamilaroi Highway/Mitchell Street. The site sits adjacent to the Wee Waa Public School and diagonally opposite Dangar Park - the main recreational open space in town. The site is currently an undeveloped area with scattered native trees. The existing tree cover is predominantly on the eastern edge and northern edge where groups of mature trees exist. Individual specimens are scattered across the balance of the site. The ground surface is covered with substantial areas of native grassland. The site is divided by shallow wide open drains that connect the nearby street culverts and road-side drainage infrastructure to the discharge channel at the low point of the site to the northeast. The wide shallow drains exhibit almost no fall as the site is very flat.

2.3. Site layout

A site layout is shown on the site plan in Appendix A.

2.4. Project construction

The expected stages of construction are outlined below. Staging to be confirmed through Staging Plan submitted after SSD determination.

2.4.1. Preparatory Activities

Preparatory Activities will be ongoing across the School Site. These activities include:

- Spatial Surveys
- Service investigations
- Contamination Pre-Clearance Surveys
- Site Security

2.4.2. Site Office and New School Construction

- Clearing of vegetation from site and disposal to licensed green waste facilities
- Establishing stormwater drainage systems to divert clean stormwater around cleared areas and construction zones
- Erosion and sediment controls to prevent sediments from leaving site
- Construction of temporary berms to prevent excess stormwater run-off to adjacent residential sites
- Establishing internal site construction access roads, laydown areas and a dedicated construction management compound with temporary offices and site facilities
- Connecting temporary site services to the construction compound

- Bulk earthworks to create the general levels for buildings, outdoor recreational areas,
- Stockpiling and conditioning of existing topsoils
- Site reprofiling including construction of batters to create building pads
- Provision of services to the site including sewerage connection, water, gas,
- Telecommunications
- Excavations associated with buildings
- Provision of below ground building services including plumbing and drainage
- Excavations associated with building foundations and slabs
- Building piles
- Building slab construction
- Modular construction utilising Design for Manufacture and Assembly techniques
- Building construction, modular walls, windows and roofing
- Internal services (power, lighting)
- Internal fit out of buildings
- Laying stormwater drainage pipes and placing pits
- Constructing kerbs and gutters for roads
- Paving of carparks

2.5. Hours of operation for construction

The proposed working hours for this project option are as follows:

Monday to Friday - 7:00am to 6:00pm

Saturdays - 7:00am to 1:00pm

Sundays and Public Holidays - No work

If required, after hours permits will be sought from the relevant authorities.

2.6. Construction Programme

The anticipated programme of works is as follows:

- Construction commencement March 2022
- Completion and handover October 2022

3. Environmental management (by Contractor)

3.1. Public safety

Signage and fencing will be used to restrict access to the site.

The contractor will prepare a complete Construction Environmental Management Plan.

Work on site will be undertaken in accordance with the requirements of Workcover NSW as well as relevant standards and codes of practice.

Contractors will be required to undertake site inductions prior to entering the site. On-site safety briefings will be held as the site works proceed.

3.2. Dust control

An Air Quality Management Plan will be implemented to minimise dust emissions during construction works. This will include measures such as watering down roads and short-term stockpiles, and temporary revegetation of long term stockpiles.

3.3. Stormwater

An erosion and sediment control plan will be implemented on site. This will include establishing stormwater drainage systems to divert clean stormwater around cleared areas and construction of temporary berms to prevent excess stormwater run-off to adjacent residential sites.

3.4. Noise and vibration

A Construction Noise Management Plan will be implemented on site to include findings from the Acoustic Assessment Report by Day Design – 30 September 2021 - 7284-1.1R. This will include a number of mitigation measures, as outlined below:

Construction hours and notification

Noise generating construction activities should be undertaken in accordance with the Interim Construction Noise Guideline (DECC, 2009). The standard hours for construction work should be in accordance with the Guidelines:

- 7:00 am – 6:00 pm Monday to Friday
- 8:00 am – 1:00 pm Saturdays
- no work on Sundays or Public Holidays.
- Work outside normal hours should only comprise:
 - the delivery of materials outside normal hours requested by police or other authorities for:
 - safety reasons
 - emergency work to avoid the loss of lives and/or property

Residences within 500m of the site should be notified as to the timing and duration of the construction works and provided with a contact phone number for any complaints or concerns during the construction period.

Site inductions

Inductions for the work crew would include the specific noise issues and mitigation measures required for the site. The induction will include:

- all relevant standard noise mitigation measures
- relevant license and approval conditions

- permissible hours of work
- location of any sensitive receivers that may exceed the construction noise management level
- construction employee parking areas
- designated loading/ unloading areas and procedures
- site opening/closing times (including deliveries)
- behavioral practices that minimise noise: such as avoiding dropping materials from height
- and avoiding metal to metal contact on material.

Other measures

The distance between plant and equipment and any sensitive receiver should be maximised where practicable.

Vehicles, plant and equipment would be regularly maintained and kept in good operating condition.

Machines found to produce excessive noise should be removed from site or stood down until repairs or modifications can be made.

Vibration

Should any buildings be identified that are located within the structural damage vibration buffer distances, a property condition report should be prepared for the premises before and after undertaking the work.

Compliance vibration monitoring should also be undertaken during high vibration generating activities where buildings are located within the structural damage buffer distances to confirm vibration criteria are not exceeded.

3.5. Traffic

A Construction Traffic Management Plan will be prepared by the contractor once appointed to identify the proposed vehicular routes, points of access/egress and vehicular and pedestrian controls. A Transport and Accessibility Impact Assessment by TTW – 7 October 2021 – 21022 TAAB is provided as a separate document.

3.6. Waste

A Construction and Operational Waste Management Plan has already been produced by MDE Pty Ltd – 2nd October 2021 for this project. According to the plan, waste generated on site would be managed and minimised by a combination of waste planning and on site controls.

3.6.1. Waste planning

Waste planning activities will include:

- Designing buildings to minimise on site cutting of components and maximising on site assembly tasks.
- Careful ordering of materials such as sand and building products to match quantities with amounts required, and on time ordering rather than having materials stored on site for months before being used.
- Segregating materials and providing weather protection for stored materials on site, to maximise their fitness for use.
- Bringing in material such as sand in large bags rather than as bulk loads, to enable excess materials to be easily picked up and used at other sites.
- Encouraging bulk handling and use of reusable and returnable containers.

- At the time of tendering, advise contractors and sub-contractors and suppliers of the requirements to minimise waste on site.
- Include provision in the tender documentation for the client to monitor the use of waste and recycling bins on site.
- Development of a Construction Waste Management Plan by the main site contractor, which includes all of the above elements

3.6.2. On site controls

On site controls would include:

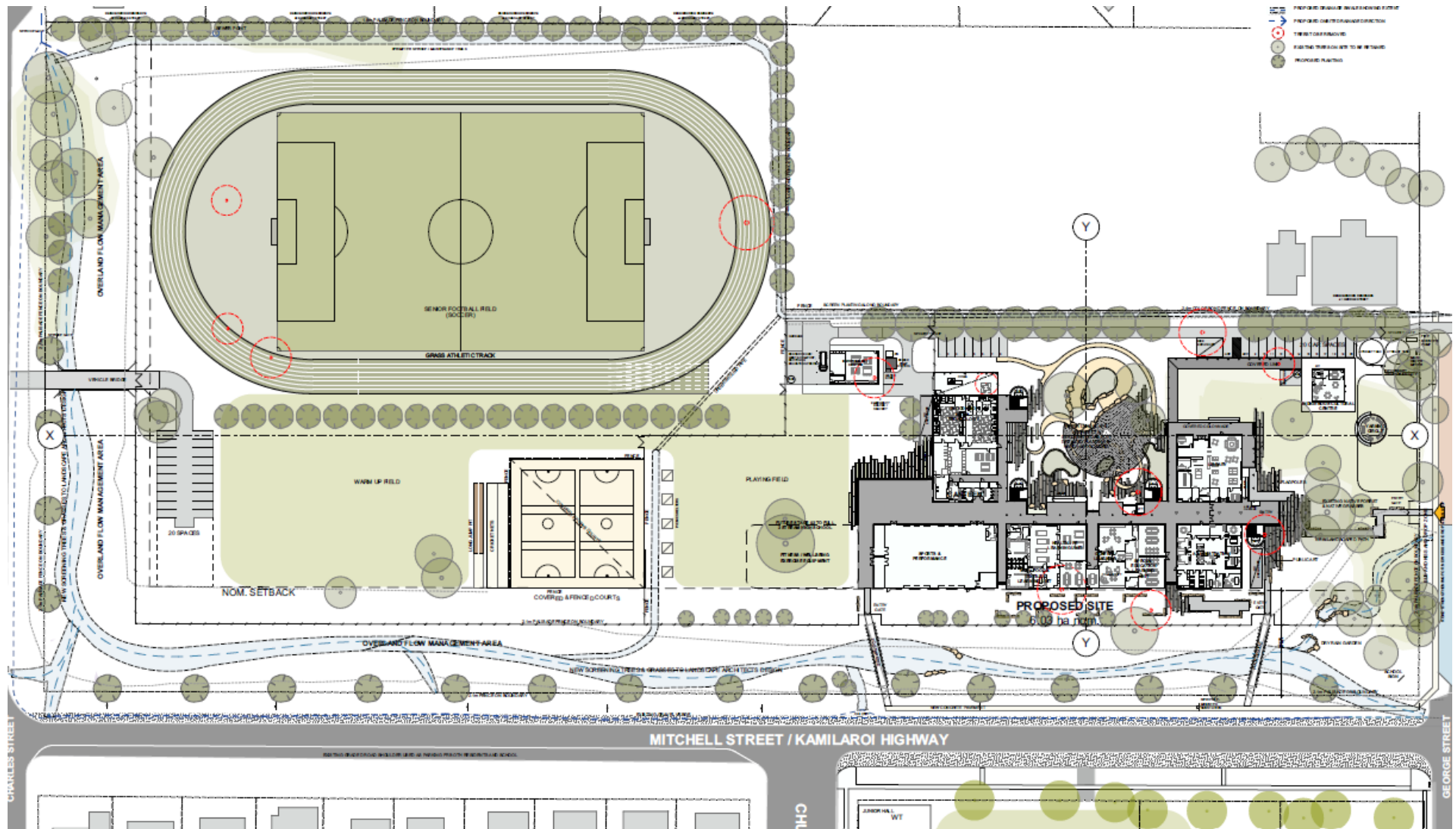
- Implementation by the main site contractor of a Construction Waste Management Plan.
- Segregating wastes generated on site, using different skip bins for recycling and waste, with separate bins for different recyclable materials.
- Discussion about the site's waste management and recycling policies and practices with employees and subcontractors during site inductions and toolbox talks.
- Ensuring all waste disposal bins are clearly marked
- Keeping records of quantities of waste and recycled materials disposed of, and the destinations of these materials
- Ensuring that wastes are only disposed to licensed facilities.

4. References

- NSW Department of Education, Wee Waa High School Acoustic Assessment Report, September 2021
- NSW Department of Education Wee Waa High School Construction and Operational Waste Management Plan, October 2021
- NSW Department of Education, Wee Waa High School Transport and Accessibility Impact Assessment, October 2021

Appendices

5. Appendix A – Site Layout Plan



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