

CONSTRUCTION NOISE AND VIBRATION MANAGEMENT PLAN

1.0 Overview of Proposal

SSD-21822247 for a change of use of the ground floor of the former “Clyde Inn” Hotel on Lot 12 Section B DP 2252, being No. 57 Carrington Street, West Wallsend, and Lot A DP 382915, being No. 59 Carrington Street, West Wallsend (“the site”) was granted development consent by NSW Department of Planning Industry and Environment (DPIE) on 1 November 2021.

The change of use was from a ‘*commercial premises*’ to a new school, ‘*educational establishment*’. No. 59 is a vacant block. The development is for the purpose of a new school and as such is identified as State significant development under Clause 15 of Schedule 1 of the State Environmental Planning Policy (State and Regional Development) 2011 and Part 4, Division 4.1 of the *Environmental Planning and Assessment Act 1979* (EP&A Act). The capital investment value (CIV) is \$19,615 at the most as the site is currently utilised by Allambi Care (AC) staff for offices and training with little alterations required to enable the building to operate as a school.

The change of use is required for AC to become a registered school through NSW Education Standards Authority (NESA) which is a process we are currently undertaking. Registration will enable AC to be eligible for funding which presently is not available to the Learning Centre.

As part of the registration process and evidence of capacity:

“The proposed non-government school must:

- *provide written evidence that the proposed premises and buildings comply with all legislation relevant at the time of occupation;*
- *provide written evidence that the proposed premises have approval from the local Council to be used for their intended purpose;*

As part of the Environmental Impact Statement (EIS), RAPT Consulting were engaged to undertake a desktop noise assessment for the change of use to the ground floor of a property. The purpose of that assessment was to address information requested from DPIE regarding the change of use application:

“Noise – preference is for something to be prepared by a qualified noise consultant – even if just a brief statement (one-two pages) that addresses any relevant noise criteria and confirms no impact to any sensitive land uses nearby.”



Figure 1-1 Site and Surrounding Area

This Noise Assessment was undertaken with consideration to:

- Association of Australian Acoustic Consultants (AAAC) Guideline for Child Care Centre Acoustic Assessment, (October 2013)
- Noise Policy for Industry (NPfI) (NSW EPA, 2017)
- AS 1055.1 Acoustics – Description and measurement of environmental noise.

As detailed in the Noise Assessment, the area surrounding the site is zoned B1 Neighbourhood Centre, R2 Low Density Residential and R3 Medium Density Residential. A map showing the land use zonings in the vicinity of the proposal is shown in Figure 2-1.

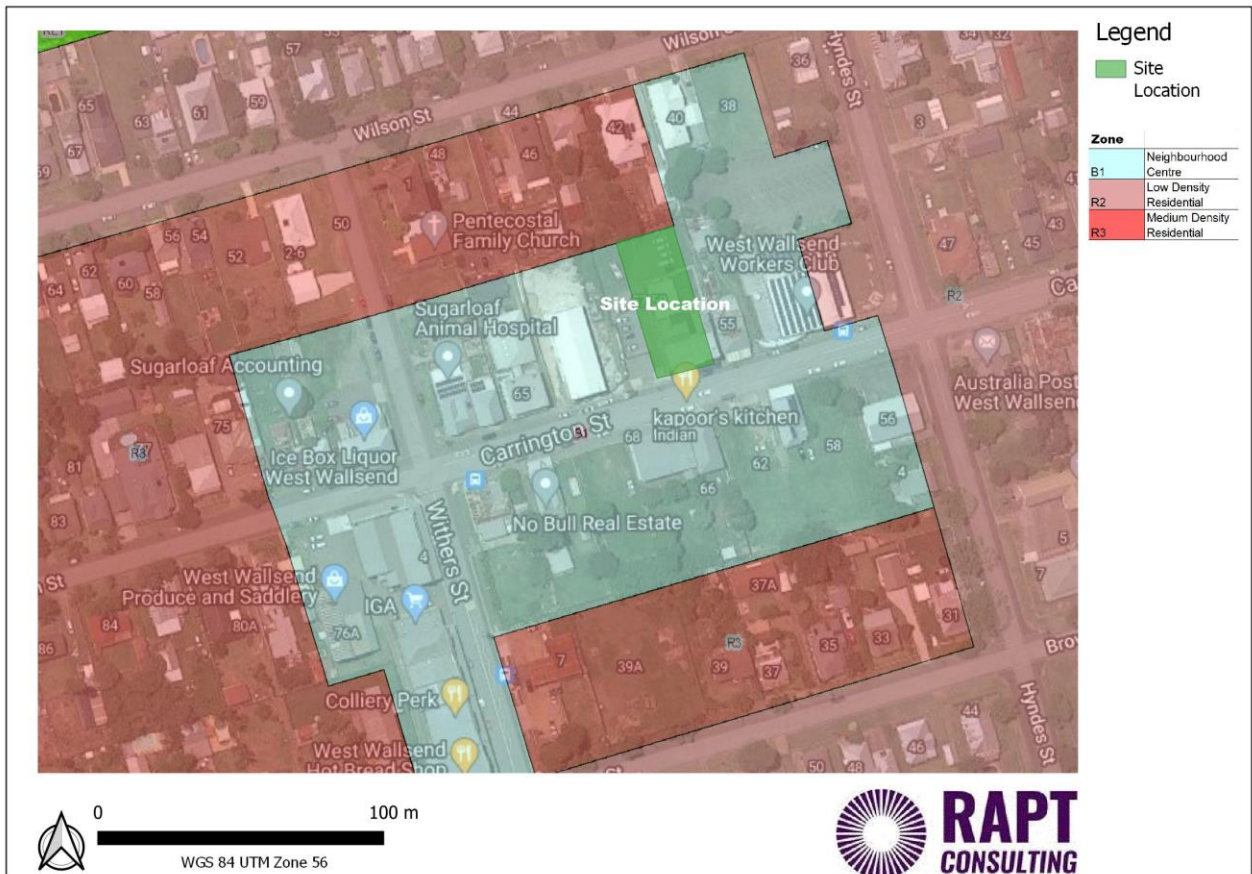


Figure 2-1 Land Use Zonings

2.0 Construction Noise

Given the proposal is for a change of use, the level of construction work is nothing more than what could effectively be done under exempt development (removal of stage, erection of petition wall). Because of this, it is anticipated the noise emissions from construction activities will be minimal. There will be no site excavation, preparation or foundation works for classroom buildings, playing fields and car parks etc. as these already exist.

Works will involve the removal of a stage and the erection of a petition wall (non-load bearing) and landscaping. Except for the landscaping these works will be undertaken internally within the buildings with resultant reduced received noise.

Typical noise levels of construction plant items are shown in **Table 1** (as adapted from the Environmental Noise Management Manual). The proposal will not involve any of these plant items and therefore there will be no exceedance of the construction noise criterion at the closest point on the boundary.

TABLE 1

TYPICAL NOISE LEVELS Leq (15 min) – CONSTRUCTION PLANT @ 7m	
Plant Item	dB(A) Leq (15 min)
Compressor	71
Backhoe	79

Concrete Vibrator	83
Crane	79
Excavator	76
General construction	79

Notwithstanding, in keeping with the requirements of the Interim Construction Noise Guidelines (ICNG) the following general requirements will be undertaken to minimise potential impacts, and maintain the amenity of, the surrounding areas.

Where possible loading and unloading of plant and materials will be carried out away from potentially affected receivers.

All neighbouring residents have been notified of the proposed development. A contact name and phone number of a responsible person will be available so that complaints can be dealt with effectively and efficiently. All complaints or communication will be answered.

Contact Telephone Number

Contact Details of Project Manager

The Project Manager, Mr Mark Donnelly, may be via mobile phone on 0417 557883. These numbers will be displayed on the site notice board.

All personnel working on the job including contractors and their employees will be made aware of their obligations and responsibilities regarding minimising noise emissions.

Contractors will familiarise themselves with methods of controlling noisy machines and alternative construction procedures. These are explained in AS2436-1981 "Guide to Noise Control on Construction, Maintenance and Demolition Sites".

Activities that are known, or have the potential, to create excessive noise will, where possible, be scheduled to occur at times to cause least annoyance to the community. Carrying out such work during early morning will be avoided. This includes start up and idling etc. of heavy machinery prior to commencement of work.

3.0 Construction Vibration Personal Comfort

Most maximum limits on allowable ground and building vibration in different circumstances and situations are directed at personal comfort rather than building damage. This usually leads, in virtually every situation, to people who interpret the effects of a vibration to ultimately determine its acceptability. The ICNG recommends that the EPA guideline, Assessing Vibration: A Technical Guideline (2006), should be used for assessing construction vibration. Limits set out in the Guideline are for vibration in buildings, and are directed at personal comfort for continuous, impulsive, and intermittent vibrations

4. Conclusion

Given the nature of the proposed change of use, it is anticipated both noise emissions and vibrations will be kept to a minimum if at all. Notwithstanding, the measures outlined in this management plan will be implemented for the duration of the construction to ensure surrounding neighbours and businesses will not be impacted upon.