

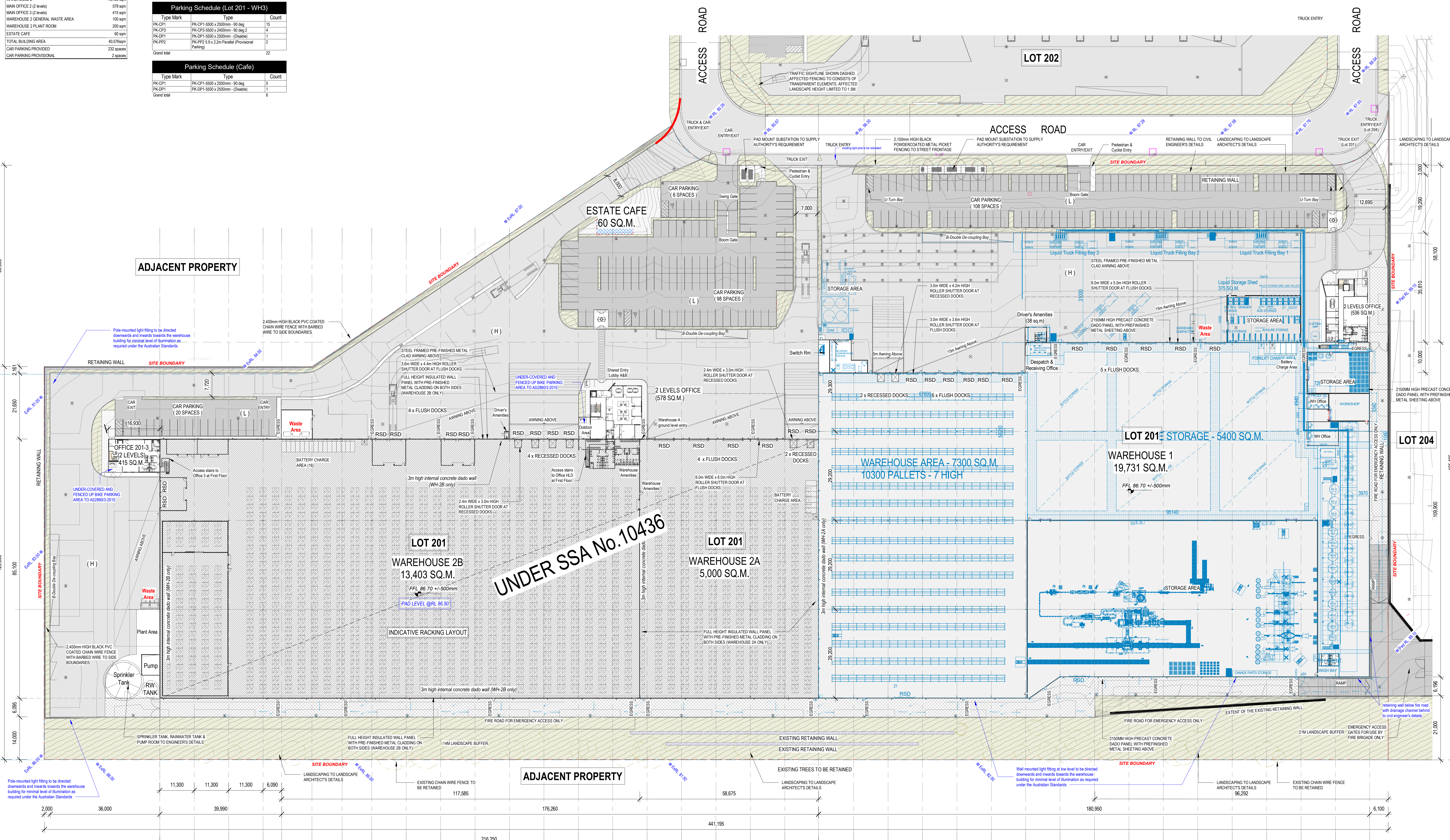
DEVELOPMENT SUMMARY (LOT 201)	
SITE 1 AREA (Warehouse 1)	35,882 sqm
SITE 2 AREA (Warehouse 2 & 3 & Cafe Site)	40,728 sqm
SITE AREA (Lot 201 Total)	77,310 sqm
EFFICIENCY	52.48%
WAREHOUSE 1	19,731 sqm
MAN OFFICE 1 (2 Level)	536 sqm
WAREHOUSE 1 DRIVERS AMENITIES	38 sqm
WAREHOUSE 1 Switch & Compressor Room	140 sqm
WAREHOUSE 1 Storage Area	379 sqm
WAREHOUSE 2	18,403 sqm
MAN OFFICE 2 (2 levels)	576 sqm
MAN OFFICE 3 (2 levels)	415 sqm
WAREHOUSE 2 GENERAL WASTE AREA	100 sqm
WAREHOUSE 2 PLANT ROOM	200 sqm
ESTATE CAFE	60 sqm
TOTAL BUILDING AREA	40,576 sqm
CAR PARKING PROVIDED	232 spaces
CAR PARKING PROVISIONAL	2 spaces

Parking Schedule (Lot 201 WH1)		
Type Mark	Type	Count
PK-CP1	PK-CP1-5500 x 2500mm - 90 deg	106
PK-CP1	PK-CP1-5500 x 2500mm - (Diagonal)	2
Grand total		108

Parking Schedule (Lot 201 WH2)		
Type Mark	Type	Count
PK-CP1	PK-CP1-5500 x 2500mm - 90 deg	96
PK-CP1	PK-CP1-5500 x 2500mm - (Diagonal)	2
Grand total		98

Parking Schedule (Lot 201 - WH3)		
Type Mark	Type	Count
PK-CP1	PK-CP1-5500 x 2500mm - 90 deg	15
PK-CP3	PK-CP3-5500 x 2500mm - 90 deg 2	4
PK-CP1	PK-CP1-5500 x 2500mm - (Diagonal)	1
PK-PP2	PK-PP2 5.5 x 2.2m Parallel (Provisional Parking)	2
Grand total		22

Parking Schedule (Cafe)		
Type Mark	Type	Count
PK-CP1	PK-CP1-5500 x 2500mm - 90 deg	5
PK-CP1	PK-CP1-5500 x 2500mm - (Diagonal)	1
Grand total		6



UNDER SSA No. 10436

1 Site Facilities Plan (Lot 201)  
1:500 @B1



PROJECT NUMBER  
327-335 BURLEY ROAD  
HORNSLEY PARK NSW  
200226

Rev	Description	Date
P20	Engineering info (gradients & levels) added to site plan.	28.06.21
P21	WH-3 access driveway splay amended to suit traffic movement.	08.07.21
P22	WH1 Tenancy plant floor added.	30.07.21
P23	Lot 201 - Warehouse 2B & 3 consolidated to 2B. Mechanical roof plant and with screening added.	05.08.21
P24	WH1 internal rooms added.	09.08.21
P25	Warehouse 1 floor updated.	20.09.21

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.  
HL Architects Pty Ltd A.C.N. 161 638 320  
10/100 The Arcade, 100 The Arcade, TAS #1101  
admin@hlarchitects.com.au  
02 9196 9942  
0424 160 365  
www.hlarchitects.com.au  
Suite 51, 9 George St, North Strathfield NSW 2137



DEVELOPMENT APPLICATION  
DRAWING TITLE  
LOT 201 SITE & FACILITY PLAN  
DRAWING NUMBER  
200226 - DA - 201-A100  
P25

11/12/2024 4:16:51 PM BM 380.6277 335 Burley Road, LV3 Burley Road



PROJECT NUMBER

200226

ADDRESS

327-335 BURLEY ROAD  
HORSLEY PARK NSW

PROJECT

ESR HORSLEY LOGISTIC PARK

Rev

Rev	Description	Date
P7	Lot 201 - Warehouse 2B & 3 consolidated to 2B. Mechanical roof plant and with screening added.	05.08.21
P8	Lot 201 Roof plant platform finalised.	02.09.21
P9	Warehouse 1 floor updates.	20.09.21
P10	Acoustic screen added to roof plant.	07.10.21
P11	Acoustic fence added to extraction fans. WH 2A & 3 elevations updated.	28.10.21
P12	Stacks above roof added.	01.11.21

Description

Date

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.

HL Architects Pty Ltd A.C.N. 161 638 320  
nominated architect: KIM HONG (AU)  
(Reg No. NSW #1559, QLD #1020, TAS #1101)

admin@hlarchitects.com.au  
t 02 9166 9942  
m 0424 160 365  
www.hlarchitects.com.au  
Suite S3, 9 George St, North Strathfield NSW 2137

General Notes:  
Architectural drawings to be read in conjunction with all other consultants detailed drawings, specifications & reports.  
Do not scale this drawing. Verify all dimensions on site.  
Refer all discrepancies to HLA before commencing any work.

HLA architects

DRAWING TITLE

LOT 201 WAREHOUSE SECTIONS

DRAWING NUMBER

200226 - DA - 201-A210

DRWN

AB

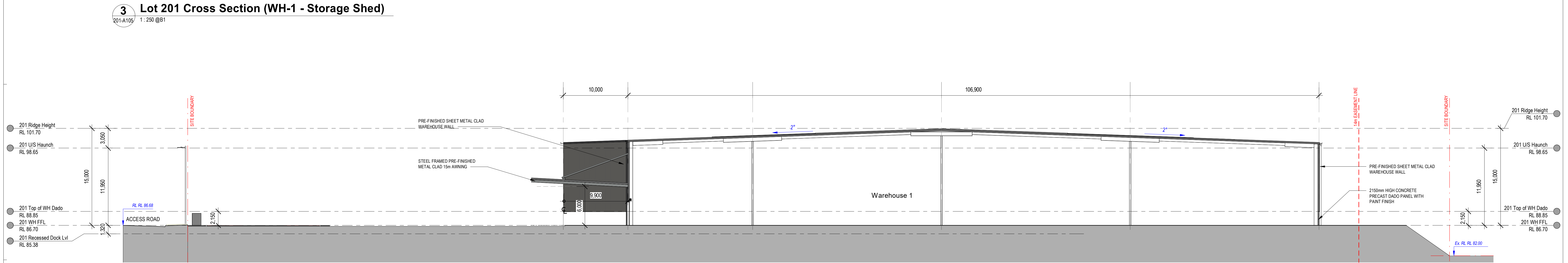
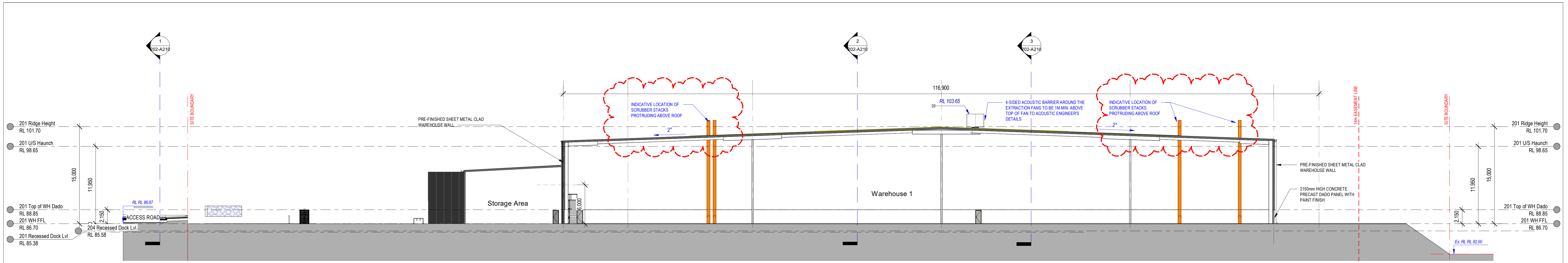
CHK

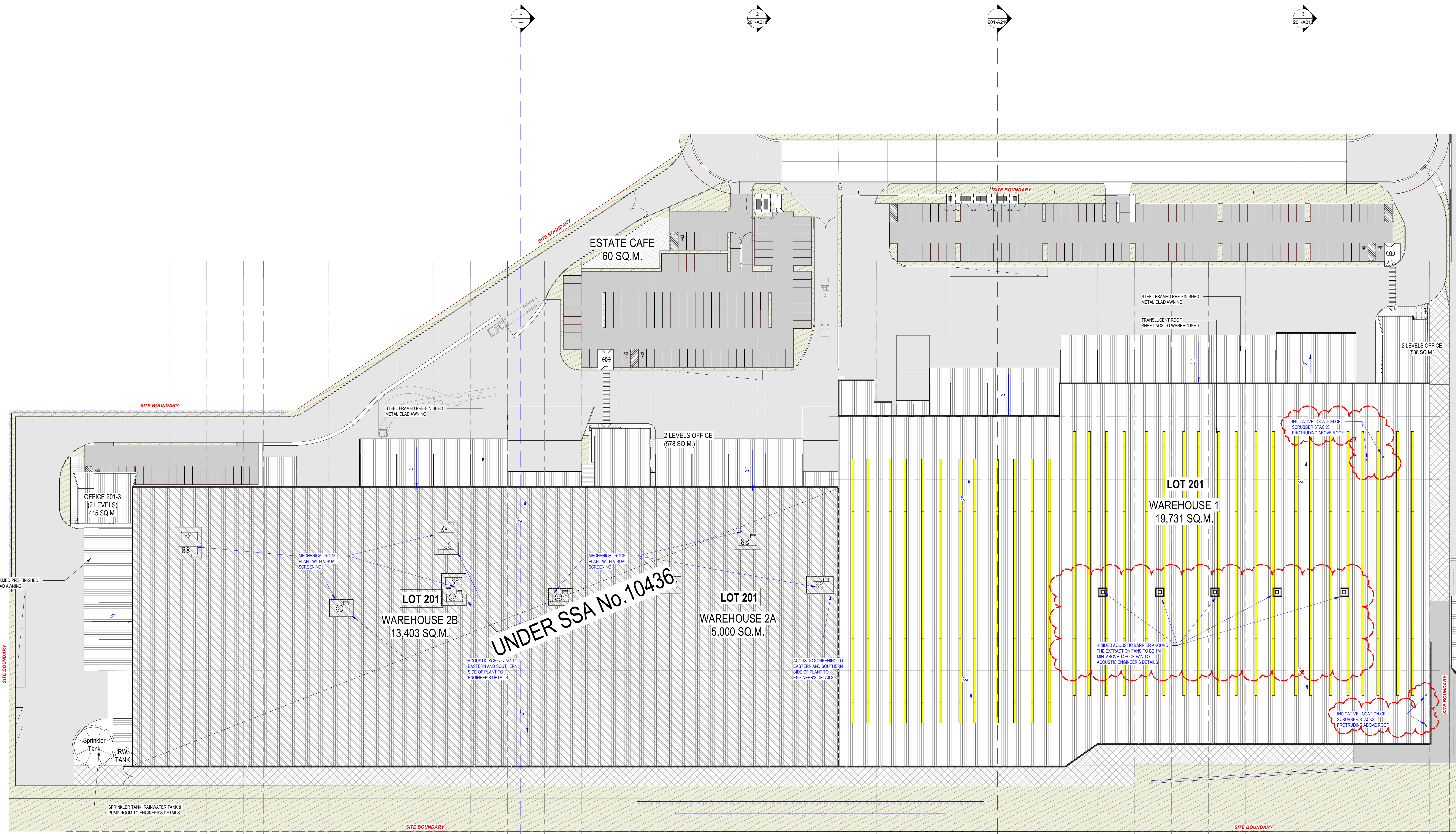
HL

ISSUE

P12

DEVELOPMENT APPLICATION





**1** 201 Roof plan  
201-A200 1:500 @B1

11/12/2021 5:45:56 PM BM 380.027 335 Burley Road, U3 Burley Rd Lot



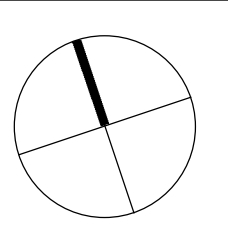
PROJECT MANAGER

PROJECT ESR HORSLEY LOGISTIC PARK  
ADDRESS 327-335 BURLEY ROAD HORSLEY PARK NSW  
PROJECT NUMBER 200226

Rev	Description	Date
P1	Lot 201 - Warehouse 2B & 3 consolidated to 2B. Mechanical roof plant and with screening added.	05.08.21
P2	Lot 201 Roof plant platform finalised.	02.09.21
P3	Acoustic screen added to roof plant.	07.10.21
P4	Acoustic fence added to extraction fans. WH 2A & 3 elevations updated.	28.10.21
P5	Stacks above roof added.	01.11.21

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.  
General Notes:  
Architectural drawings to be read in conjunction with all other consultants detailed drawings, specifications & reports.  
Do not scale this drawing. Verify all dimensions on site.  
Refer all discrepancies to HLA before commencing any work.

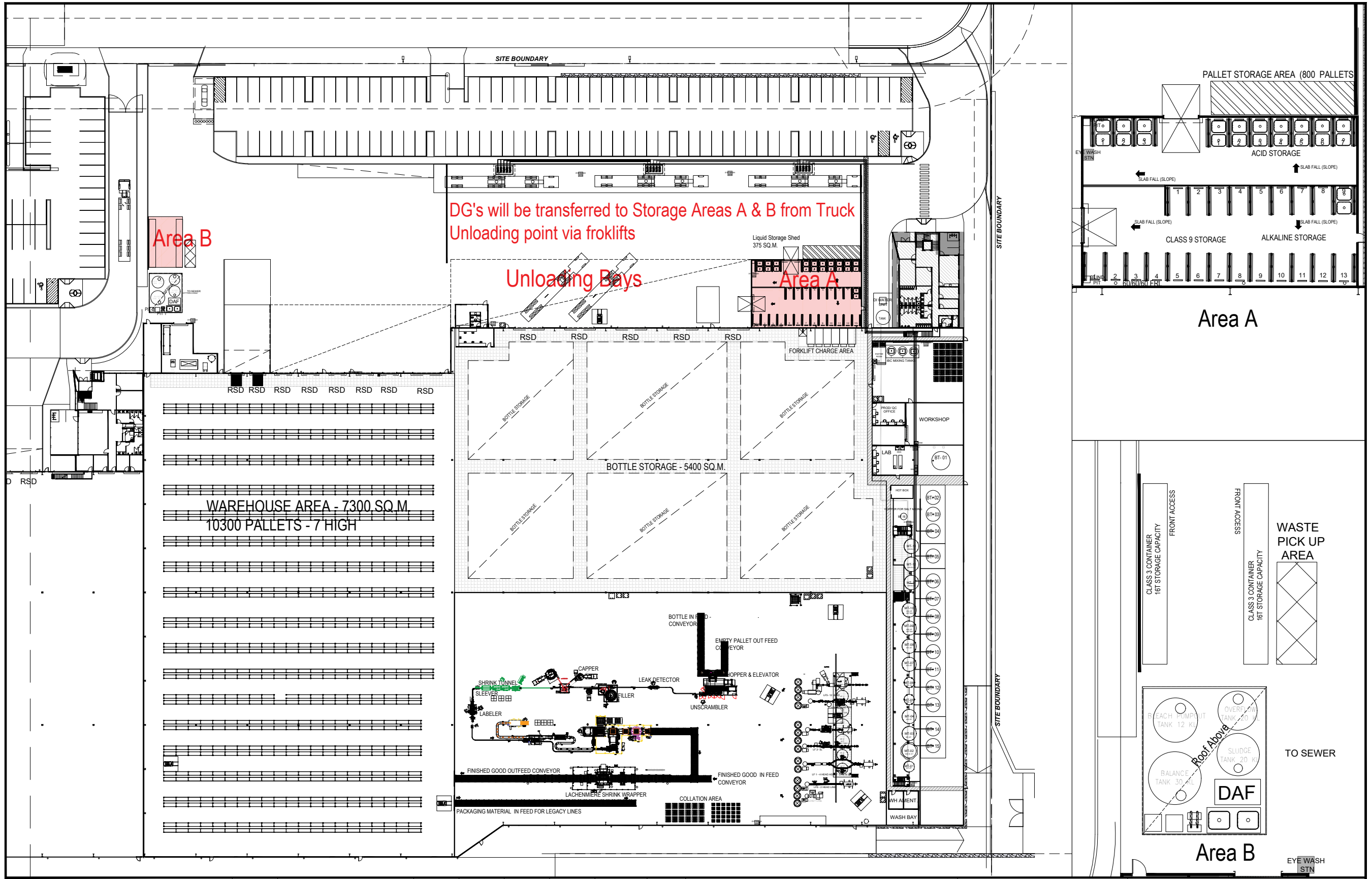
HL Architects Pty Ltd A.C.N. 161 638 320  
nominated architect: Koi Hong Lau  
(Reg No. NSW #1559, QLD #600, TAS #1101)  
e admin@hlarchitects.com.au  
t 02 9166 9942  
m 0424 160 365  
www.hlarchitects.com.au  
a Suite 53, 9 George St, North Strathfield NSW 2137



**DEVELOPMENT APPLICATION**

DRAWING TITLE ROOF PLAN  
DRAWING NUMBER 200226 - DA - 201-A105  
P5

DRAWN Author  
CHK Checkler  
ISSUE ISSUE



COMMENTS :

REVISION	DESCRIPTION	DATE

DRAWN	SS	09-10-21	SCALE	NTS
CHECKED			SHEET SIZE	A3
APPROVED			SHEET NO.	
	SIGN	DATE	ALL DIMENSIONS ARE IN mm UNLESS OTHERWISE SPECIFIED	

DRAWING TITLE : **SITE LAYOUT V14**

DRAWING NO. :

**JALCO GROUP**

LOT 1 DP1024505  
277-303 WOODPARK ROAD, SMITHFIELD, NSW, 2164

ANY PRINTED COPY OF THIS DOCUMENT SHALL BE CONSIDERED UNCONTROLLED IF NOT STAMPED IN THIS BOX.

DATE: \_\_\_\_\_

JALCO GROUP PTY. LTD.  
THIS DRAWING IS PROPRIETY TO THE JALCO GROUP AND MAY NOT BE COPIED, REPRODUCED OR DISSEMINATED IN ANY FORM BY ANY ELECTRONIC OR MECHANICAL MEANS WITHOUT THE EXPRESS WRITTEN PERMISSION OF JALCO GROUP MANAGEMENT.