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HERITAGE IMPACT STATEMENT

SCEGGS Darlingtonhurst:
Wilkinson House
(SSD-19989744)

Prepared for

SCEGGS DARLINGTONHURST

17 January 2022

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CONTENTS

Executive Summary.....	1
Recommendations	3
1. Introduction	4
1.1. Background.....	4
1.2. Site Location	5
1.3. Methodology	6
1.4. Author Identification	6
2. Site Description	7
2.1. Site Setting.....	7
2.2. Site Location and Setting.....	7
2.3. Site Description	9
2.3.1. Overview.....	9
2.3.2. Exterior	9
2.3.3. Interior.....	14
2.4. Existing Layout.....	23
3. Historical Overview	26
4. Heritage Significance.....	28
4.1. What is Heritage Significance?	28
4.2. Heritage Listing	28
4.3. Statement of Significance	29
4.3.1. State Heritage Inventory (Sydney LEP 2012)	29
4.3.2. Urbis CMP 2021	29
4.3.3. East Sydney Heritage Conservation Area.....	30
5. The Proposal.....	31
5.1. Development of Design.....	31
5.2. Design Statement	33
5.3. Scope of Works.....	33
6. Impact Assessment.....	38
6.1. Statutory Controls	38
6.1.1. Sydney Local Environmental Plan 2012.....	38
6.1.2. Sydney Development Control Plan 2012	40
6.2. Conservation Policies	47
6.3. Adaptive Reuse Principles	54
6.4. SEARS Response.....	55
6.5. Heritage Inventory Recommended Management.....	56
6.6. Heritage NSW Guidelines	58
7. Conclusion and Recommendations	61
Recommendations	62
8. Bibliography and References	63
8.1. Bibliography	63
8.2. References.....	63
Disclaimer.....	64

EXECUTIVE SUMMARY

Urbis has been engaged by SCEGGS Darlinghurst to prepare the following Heritage Impact Statement (HIS) for the State Significant Development Application (SSDA) for the adaptive reuse of Wilkinson House located on the SCEGGS Darlinghurst main campus located at 215 Forbes Street, Darlinghurst (the subject site).

This HIS will accompany an Environmental Impact Statement (EIS) for the SSDA. Conditional Development Consent was granted by the Independent Planning Commission (IPC) on 22 May 2020 to the Concept DA (SSD 8993) for the redevelopment of SCEGGS at its main campus at 215 Forbes Street, Darlinghurst. The SSDA Development Consent only applies to the main campus site, excluding 217 Forbes Street and the St Peters Precinct.

Specifically, concept approval was granted for:

- demolition of Science and Library Building, Old Gym Building, part of additions to Barham Building;
- conservation works to the existing Barham Building for use for general school purposes;
- three building envelopes and land use comprising:
 - maximum six storey Multi-Purpose Building envelope for general school purposes and childcare centre and including pick-up/drop-off and car parking facilities;
 - four storey Wilkinson House building envelope for general school purposes (as Amended by Condition A5); and
 - maximum three storey Administration Building Envelope for general school purposes.

Development Consent was not granted for Stage 1 works to Wilkinson House, including the demolition of existing Wilkinson House, excavation of a basement and construction of a new 4 storey building for general school purposes. The Concept Approval only approved the existing building envelope of the Wilkinson House.

Whilst the IPC did not support the full demolition of Wilkinson House, the approval conditions provide opportunity for the adaptive reuse of Wilkinson House. A more sensitive heritage response to Wilkinson House will provide SCEGGS with a significant opportunity to resolve their immediate need for fit-for-purpose, large and flexible learning spaces for current and future students.

This is the first detailed SSDA under the Concept DA SSD 8993, for the adaptive reuse of Wilkinson House for general school learning areas and sport facilities to support the senior school, including alteration and additions to the existing Wilkinson House.

The Planning Secretary's Environmental Assessment Requirements (SEARs) for the Stage 1 SSDA were issued on 21 June 2021. Condition 8 requires the preparation of a Heritage Impact Statement which states:

8. Heritage

- Address the conditions imposed under SSD-8993 in relation to Heritage and Wilkinson House.

- Provide a Statement of Heritage Impact (SOHI) prepared by a suitably qualified heritage consultant in accordance with the guidelines in the NSW Heritage Manual (Heritage Office and DUAP, 1996) and Assessing Heritage Significance (OEH, 2015). The SOHI is to address the impacts of the development on the heritage significance of the site and adjacent areas and is to identify:

o how the development is consistent with any relevant Conservation Management Plan.

o all heritage items (state and local) within the vicinity of the site including built heritage, landscapes and archaeology, curtilage and setting of the items, detailed mapping of these items, and assessment of why the items and site(s) are of heritage significance.

o the impacts of the development on heritage item(s), heritage significance or cultural heritage values of the site, including visual impacts, required BCA and DDA works, new fixtures, fittings and finishes, any modified services.

o the attempts to avoid and/or mitigate the impact on the heritage item(s), heritage significance or cultural heritage values of the site.

o the attempts to interpret the heritage significance identified into the development.

o justification for any changes to the heritage fabric or landscape elements including any options analysis

The remainder of Condition 8 relates to the preparation of a Historical archaeological assessment, which has been separately prepared. This HIS also satisfies part of Condition B3 of the approved SSDA-8893. The preparation of the separate Historical Archaeological Assessment satisfies the remaining portion of this condition.

Conservation Management Plans for both the SCEGGS Darlinghurst main campus and for Wilkinson House had also been prepared as per Conditions A13 and B4A of SSD-8993. The CMP for the SCEGGS Darlinghurst Campus (Part 1, dated 26 November 2021) was endorsed by the Planning Secretary on 8 December 2021 and satisfied Condition A13. This HIS utilising information prepared as part of these documents and responds to specific conservation policies as they relate to the proposed adaptive reuse of Wilkinson House.

The SCEGGS Darlinghurst campus is listed under Part 1 of Schedule 5 of the Sydney Local Environmental Plan (LEP) 2012 (Item No. I301) as 'Sydney Church of England Girls Grammar School group including Barham, Chapel Building and Wilkinson House and their interiors and grounds'. SCEGGS Darlinghurst assets also includes St Peter's Church and Precinct which is listed under both the Sydney LEP 2012 (Item no. I300) and on the State Heritage Register (SHR No. 00148) under the *Heritage Act 1977*. The site is also located within the East Sydney Heritage Conservation Area (Item No. C13) listed under the *Sydney LEP 2012*.

Further details of the proposed adaptive reuse of Wilkinson House is included in Section 5. This HIS has been prepared to determine the potential heritage impact of the proposed works on Wilkinson House, the SCEGGS Darlinghurst campus, the East Sydney HCA and the heritage items located in close proximity to the site.

A detailed impact assessment of the proposed works has been undertaken in Section 6 of this report. The proposed adaptive reuse of Wilkinson House is considered to respect the heritage significance of the building, the SCEGGS Darlinghurst campus and the East Sydney HCA for the following reasons:

- The primary goal of the project is to both conserve the significance of Wilkinson House while also providing a building for SCEGGS that delivers a high-quality learning facility that delivers large, flexible learning spaces to accommodate the Schools ambitions over the next 20 years and beyond. The design strategy demonstrates a sensitive adaptive reuse proposal that will secure the future of Wilkinson House as an environmentally sustainable place of learning that continues to be joyful and inspiring to students and staff.
- Externally the proposed design retains the north, and east facades, while proposing some minor intervention to the south façade to provide links between Wilkinson House and the new lift structure. These are primarily contained to areas that have previously been altered and to two balcony brick balustrades that are proposed to be removed. The overall change this façade is considered to be appropriate given this portion of the façade has been altered previously and is minimally visible from the public domain. The existing brick infill at the basement level north facade is proposed to be replaced with glass brick and high-level windows. This change is considered to be a positive, and will still retain the understanding of the original function of this portion of the elevation. Modifications to the west façade for the incorporation of new windows and the introduction of the interpreted lightwell to the new internal staircase respect the moderate significance of these elements.
- The proposed modifications to the roof including a new material finish in cooper with angled blades and clerestory operable windows respects the original form and design by Emil Sodersten. The overall outer roof form will be maintained ensuring that the architectural character of Wilkinson House is maintained.
- While the proposals seeks to remove the majority of internal fabric (excluding the entrance lobby and lounge hall which was to be retained) emphasis had been placed on interpreting elements that are to be removed. This includes interpretative elements such as: floor and ceiling inlays for understanding of the original layout of the building; interpretation of the lightwell location with new circulatory and staircase space; use of terrazzo flooring through the common areas, and interpretation of the original staircase in a new art piece.

- While a new floor structure and floor levels are proposed, the new floor structure will not interrupt any of the existing openings of the building. The roof top addition was also be located within the existing ridge height of the western parapet wall. The removal of the majority of the internal fabric has resulted in a concept that effectively utilises the floor plates and allows for large and useable GLAs that could be used for a variety of purposes by the School. Given this, the proposed interpretation devices were considered to be an appropriate compensation for the removal of original internal fabric.
- The proposed new lift core to the south has been resolved over a series of design refinements that will result in a lightweight addition to the south of Wilkinson House that will lightly attach to the buildings south façade. While overall a taller structure, the substantial setback from Forbes Street and the narrowness of the overall form and its overall transparency, ensures that the structure is read as a lightweight addition that complements the robustness of the brick of Wilkinson House.
- As the overall external character and form of Wilkinson House will only be minorly altered through the addition to the south and new roof, it is considered that there are no detrimental impacts to either the SCEGGS Darlinghurst campus, the East Sydney HCA or the surrounding heritage items.

Overall, the proposed adaptive reuse of Wilkinson House is considered to respect the significance of the building and will ensure that a balance is met between the tangible and intangible significance of the building while allowing for the building to be transformed into an asset for SCEGGS that will serve the educational needs of the school into the future.

For the reasons stated above, the proposed works are recommended for approval from a heritage perspective having regard to the proposed recommendations below.

RECOMMENDATIONS

- Prior to the issue of a Construction Certificate a Photographic Archival Recording should be undertaken of the place and must be prepared in accordance with the NSW OEH Heritage Division's Guidelines for 'Photographic Recording of Heritage Items Using Film or Digital Capture'.
- A suitably qualified heritage consultant should be engaged to provide ongoing advice throughout the design development, contract documentation and construction stages of the project.
- A Schedule of Conservation Works should be prepared by a suitably qualified and experienced heritage consultant prior to the issue of a Construction Certificate.
- A Heritage Interpretation Strategy should be prepared for the site by a suitably qualified heritage consultant as a condition of the DA consent. The Heritage Interpretation Strategy should identify significant themes and narratives for interpretation, as well as identifying locations, media, and indicative content for interpretation. Interpretation should be developed throughout detailed design and construction phases in conjunction with the project architect and other specialists as required.

1. INTRODUCTION

1.1. BACKGROUND

Urbis has been engaged by SCEGGS Darlinghurst to prepare the following Heritage Impact Statement (HIS) for the State Significant Development Application (SSDA) for the adaptive reuse of Wilkinson House located on the SCEGGS Darlinghurst main campus located at 215 Forbes Street, Darlinghurst (the subject site).

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The SCEGGS Darlinghurst campus is listed under Part 1 of Schedule 5 of the Sydney Local Environmental Plan (LEP) 2012 (Item No. I301) as 'Sydney Church of England Girls Grammar School group including Barham, Chapel Building and Wilkinson House and their interiors and grounds'. SCEGGS Darlinghurst assets also includes St Peter's Church and Precinct which is listed under both the Sydney LEP 2012 (Item no. I300) and on the State Heritage Register (SHR No. 00148) under the *Heritage Act 1977*. The site is also located within the East Sydney Heritage Conservation Area (Item No. C13) listed under the *Sydney LEP 2012*.

Further details of the proposed adaptive reuse of Wilkinson House is including Section 5. This HIS has been prepared to determine the potential heritage impact of the proposed works on Wilkinson House, the SCEGGS Darlinghurst campus, the East Sydney HCA and the heritage items located in close proximity to the site.

1.2. SITE LOCATION

Wilkinson House is located in the north-east corner of the SCEGGS Darlinghurst campus at 215 Forbes Street, Darlinghurst, legally described as Lot 200 of Deposited Plan 1255617. It is located at the corner of Forbes and St Peters Street, and it located directly adjacent to the Joan Freeman Science, Art & Technology Centre (JFSTC) at the west and the Centenary Sports Hall at the south.

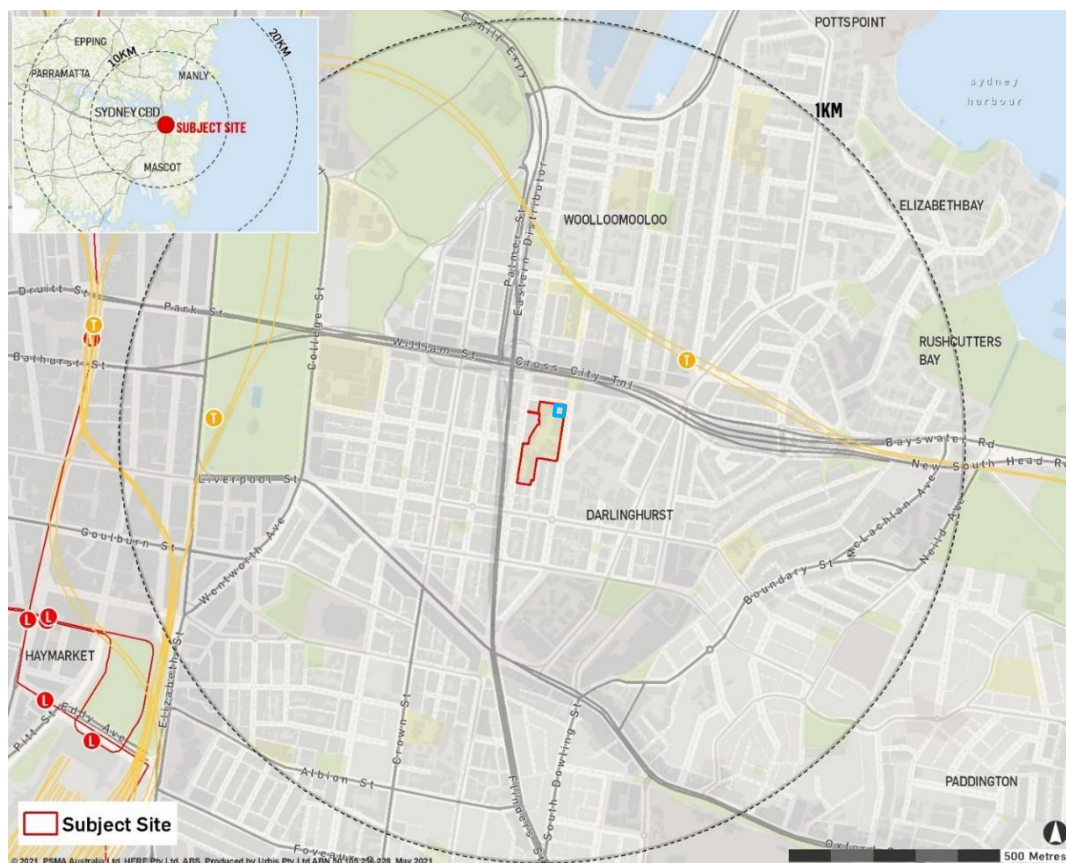


Figure 1 – Location of the subject site outlined in red, with Wilkinson House highlighted in blue.

1.3. METHODOLOGY

This Heritage Impact Statement has been prepared in accordance with the NSW Heritage Division guidelines 'Assessing Heritage Significance', and 'Statements of Heritage Impact'. The philosophy and process adopted is that guided by the Australia ICOMOS Burra Charter 1999 (revised 2013).

Site constraints and opportunities have been considered with reference to relevant controls and provisions contained within the Sydney Local Environmental Plan (LEP) 2012 and the Sydney Development Control Plan (DCP) 2012.

This HIS also draws on the information provided within the Conservation Management Plans for the SCEGGS Darlinghurst campus and Wilkinson House, as follows:

- Urbis, *Conservation Management Plan: Part 1, SCEGGS Darlinghurst Campus* (26 November 2021); and
- Urbis, *Conservation Management Plan: Part 2, Wilkinson House* (17 January 2022).

The proposed adaptive reuse of Wilkinson House has been assessed against the relevant conservation policies in Section 6 of this report.

1.4. AUTHOR IDENTIFICATION

The following report has been prepared by Keira Kucharska (Senior Heritage Consultant). Stephen Davies (Director, Heritage) has reviewed and endorsed its content.

Unless otherwise stated, all drawings, illustrations and photographs are the work of Urbis.

2. SITE DESCRIPTION

2.1. SITE SETTING

2.2. SITE LOCATION AND SETTING

Wilkinson House is located in the north-east corner of the main SCEGGS Darlinghurst campus at 215 Forbes Street, Darlinghurst, legally described as Lot 200 of Deposited Plan 1255617. The main SCEGGS Darlinghurst campus is located between Forbes and Bourke Streets in Darlinghurst. The campus comprises both a primary and secondary school, accessed from Bourke Street, Forbes Street and St Peters Street. The broader SCEGGS Darlinghurst campus also includes buildings north of St Peters Street (known as the St Peters Precinct) and a terrace at 217 Forbes Street used for school administration.

Wilkinson House is located at the corner of Forbes and St Peters Street, and it located directly adjacent to the Joan Freeman Science, Art & Technology Centre at the west and the Centenary Sports Hall at the south.



Figure 2 – Location of Wilkinson House outlined in blue with the SCEGGS Darlinghurst campus.

The area immediately surrounding Wilkinson House includes a mixture of single dwellings, mid-rise residential development, high-rise residential development, commercial and public buildings, in addition to the surrounding SCEGGS school buildings located to the west and south. To the south and west of Wilkinson House, there are several mid- and late-Victorian terraces along Forbes and Bourke Streets. These terraces date to the mid-1800s subdivision and development of the land immediately surrounding the Barham Estate. At the north side of St Peters Street, adjacent to the Diana Bowman Performing Arts Centre is St Peters Church, which was constructed at this location in the 1860s.

One notable development within proximity to Wilkinson House is the modernist high-rise residential development, the Horizon Building, designed by the influential modernist architect Harry Seidler. The Horizon Building is situated directly opposite Wilkinson House on the eastern side of Forbes Street.

Immediately adjacent to Wilkinson House to the west is the Joan Freeman Science and Technology Centre, constructed in 2011-13 by Tanner Kibble Denton Architects. The building is a contemporary classroom complex which has been developed with limited setback from Wilkinson House and has been designed to match the height of Wilkinson House. The Centenary Sports Hall is located adjacent to Wilkinson House to the south, which comprises of a basement basketball court and auditorium, with a rooftop basketball court. The rooftop level is approximately at the level of the top floor (Level 2) of Wilkinson House.

The SCEGGS site is interesting topographically, with varied levels present across the site. The levels represent a combination of the natural undulating landscape, historic land use for quarrying, and subsequent development associated with SCEGGS. From Wilkinson House, the alignment of St Peters Street descends to the west down to Bourke Street, which is at a significantly lower level than Forbes Street. Furthermore, from Wilkinson House moving south along Forbes Street the street level rises moving towards Liverpool Street. At the western portion of the SCEGGS site (and including the terraces located on Bourke Street), the ground level is significantly lower due to historic sandstone quarrying within the area. This is visible across the site, particularly at the base of the Science Building and at the east of the Primary School, where quarried stonefaces are retained to a height of approximately 6m.



Figure 3 – View north on Forbes Street



Figure 4 – View south on Forbes Street



Figure 5 – Joan Freeman Centre on St Peters St



Figure 6 – View north along Forbes Street



Figure 7 – Houses on Liverpool Street



Figure 8 – Terraces on Bourke Street

2.3. SITE DESCRIPTION

2.3.1. Overview

Wilkinson House is situated at the north-east corner of the main SCEGGS Darlinghurst campus block, bounded by Forbes Street, Liverpool Street, St Peters Street and Bourke Street. The original primary entrance to the building was situated off Forbes Street, located in the centre of the façade. Additional entrances were accessed through the garage spaces on St Peters Street, which now have been closed and converted into a single pedestrian door onto St Peters Street. Current entrances to Wilkinson House are situated on the south façade of Wilkinson House and are located at each level, connecting to the multi-levelled external walkway between Wilkinson House and the Centenary Sports Hall.

2.3.2. Exterior

Wilkinson House is a three-storey residential flat building (with half-basement) designed with a mixture of the Inter-War Georgian Revival and Mediterranean Revival architectural styles. These styles were popular within the Inter-War period, particularly in the 1920s and were linked to a resurgence of classical and colonial architectural styles and tastes within the architectural profession. Wilkinson House is a clear and typical example of these two styles, featuring many features of the styles across the three primary façades (north, east and south). Each façade of Wilkinson House has been developed to be visually balanced in line with the principles of symmetry, alignment and balance perpetuated by Georgian architecture. Its details align more with the Mediterranean Revival style.

The building envelope of Wilkinson House is entirely rectangular in shape, with the only divergence from this shape apparent within the light well at the rear (west) of the building. The building is very solid in massing, with each façade largely rectangular. The overall proportions of the east and west sides of the building are wider than the building height, however due to the reduced depth and increased height of the St Peters Street façade (due to the inclusion of the basement) this façade appears taller than it is wide. The overall solidity and massing of Wilkinson House is broken up visually by the balance of solid and void, symmetry of the facade, use of recessed features, and mixture of materials.

The primary façade on Forbes Street can be separated into seven vertical bays. The central bay is the most visually prominent, featuring the large, ornamental arched doorway which was the original entrance to Wilkinson House. Features above the doorway include the school crest, two small double hung, multi-paned timber sash windows at Levels 1 and 2, and a plaster cartouche located within the centre of these upper storey windows.

On either side of the central bay are the large double balcony bays, which are slightly recessed from the main envelope of the façade. The bays feature two adjoining balcony spaces (which have since been enclosed with intrusive steel bars), which are separated by plastered Doric columns. The Doric columns at ground level are the height of one floor, standing on the recessed ledge of a rendered string course. The balconies on Levels 1 and 2 feature double-storey Doric columns, which are arched at the top and feature a barley twist detail. Below each balcony ledge are recessed brick friezes, with the upper frieze featuring a central protruding diamond detail.

The outer two bays feature a row of Georgian style timber double-hung windows. The outer bay windows are double-width, and each window features a trapezoid shaped brick lintel of two vertical courses. The Level 2 window continues the arch detail seen in the central bays of Wilkinson House, featuring an arched lintel.



Figure 9 – Primary façade of Wilkinson House as viewed from Forbes Street, looking west.

The north and south elevations of the building are also divided into seven bays, which continue many of the details seen on the primary (east) façade. The upper storey also features arch details, with the two balcony bays located at the west side of the north and south facades. A row of small windows is present between the two balcony rows. At the east side of each façade are two rows of larger, double-width timber windows. The north elevation, at street level, features the entrance and windows to the basement and former garage space. The former location of the garage doors is evident from the difference in colouring between bricks, showing where the garage doors were bricked in. At the west end of the façade are two former garage entrances which now feature contemporary aluminium sliding windows. In the centre of the façade is a small, recessed doorway which provides street access into the Wilkinson House basement however is not publicly accessible. At the northeast corner of the building is the entrance to the 'sprinkler room', with another former garage entrance located between the two doors. The south façade directly reflects the north, however within the centre of each level, new openings have been made to for the construction of new doorways onto the external walkway which connects Wilkinson House with the Centenary Sports Hall. The balconies at Level 1 have also been enclosed with aluminium framed windows. The external walkway substantially obscures the southern façade from view.

The west elevation features a largely bricked façade with little architectural detail. Windows are sparsely distributed on the rear elevation, concentrated towards the centre of the rear façade around the lightwell. These windows were placed to ensure that the inner rooms of the flats around the lightwell had access to natural lighting. The JFSTC directly adjoins the northern part of the rear (west) elevation of Wilkinson House.

The roof of Wilkinson House is somewhat typical of the Inter-War Georgian Revival styles. The main facades feature deep eaves with stepped cornice and boarded soffit. The roof is half hipped with sprocketed eaves on outer face and catslide on inner face and is clad in terracotta Marseille tiles. A small rooftop terrace is present which encircles the light well, internal stairwell and rooftop access. The rooftop terrace is covered in

a white roof membrane. At the rear façade, the roof is not visible however an inward sloped brick parapet continues to the top of the roof and is capped with render.



Figure 10 – Overview of St Peters Street facade



Figure 11 – Enclosed balcony at south façade, Level 1



Figure 12 – Level 2 of south façade



Figure 13 – Enclosed balcony at Level 1



Figure 14 – New door opening at Level 2 south façade and soffit vent detail.

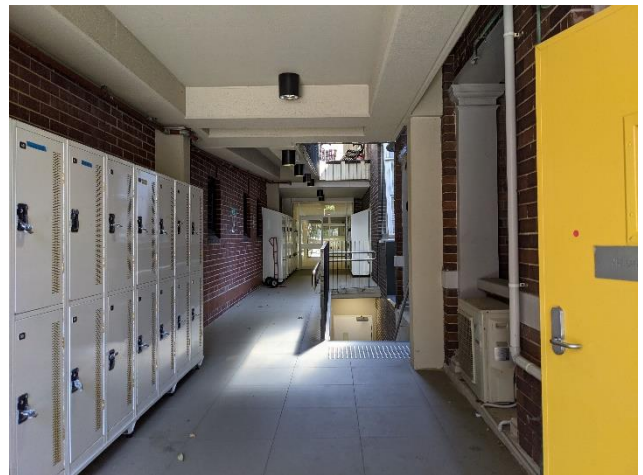


Figure 15 – Corridor linking Wilkinson House at south façade with Century Sports Hall and JFSTC, ground level.

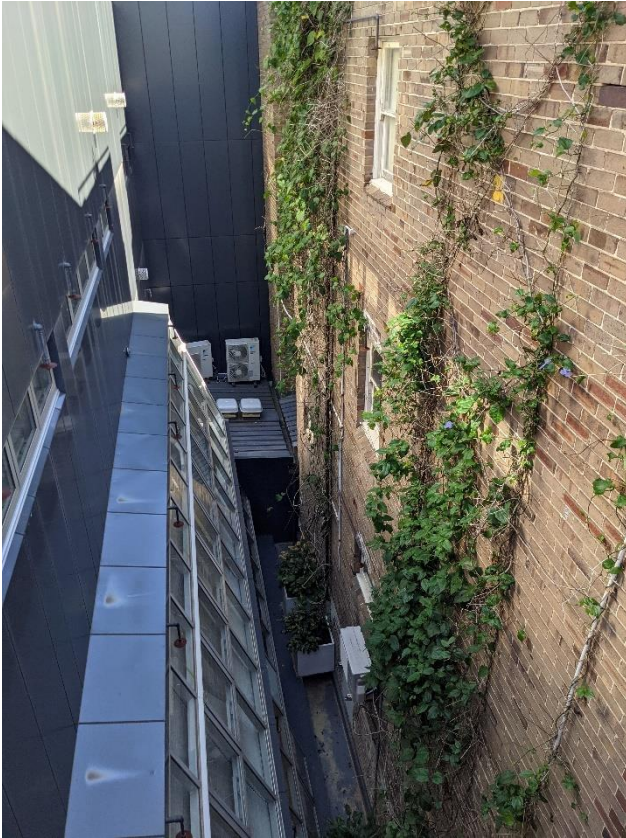


Figure 16 – West elevation (right) and east elevation of JFSTC

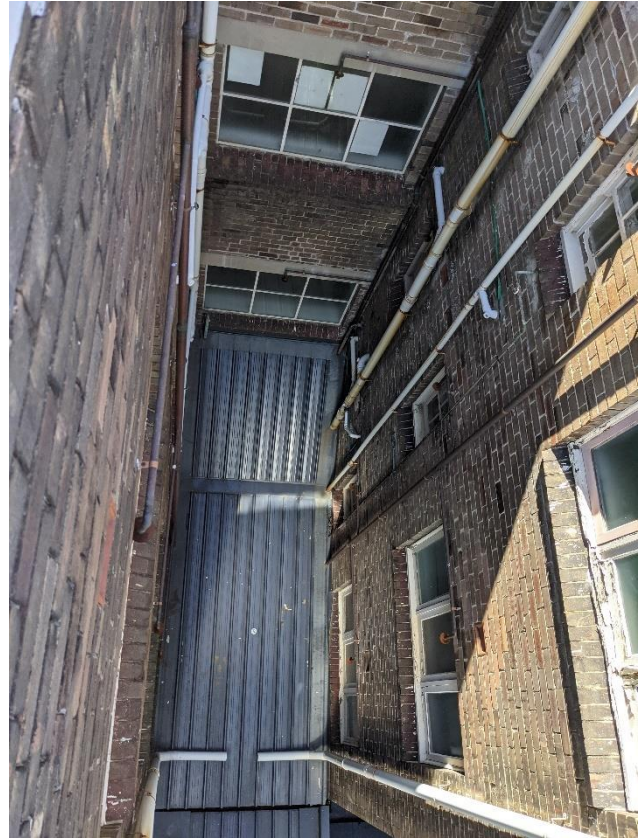


Figure 17 – Lightwell



Figure 18 – Staircase overrun



Figure 19 – Overview of rooftop

As discussed above, Wilkinson House was designed in a combination of the Georgian and Mediterranean Revival styles, featuring Georgian proportions and shapes, with decorative features which introduce Mediterranean elements. It should be noted however that there is consistent overlap between the Georgian and Mediterranean revival styles, as both are inspired in part by classical architecture.

The main visual focus of the Wilkinson House façade is the three main arches across the eastern elevation, including the main entrance door, and the two arched balconies on the upper floor. The main doorway is comprised of solid timber and is painted dark blue, with matching door jamb. The door may be original or an early addition to the building, with evidence of central panels on each of the door leaves being boarded over. The door is flanked by stepped architraves. In the centre of the inner cornice is the original address of the Gwydir Flats – 167 Forbes Street.

The door features a projecting lintel with three acroteria at each edge and in the centre, and two horizontal corbels in Ionic style at either side of the central acroterion. Behind the plinth and acroteria is the arched fanlight, which features scallop patterned glass, divided vertically into three sections. Surrounding the

fanlight is the plaster architrave, and a brick arched lintel. The door threshold is constructed of grey-white terrazzo, and on either side of the door are a pair of ornate steel candelabras. The text 'Wilkinson House' and the SCEGGS school emblem have been installed above the central door. Above the Wilkinson House logo is a plaster cartouche with a crest or shield included in the centre.

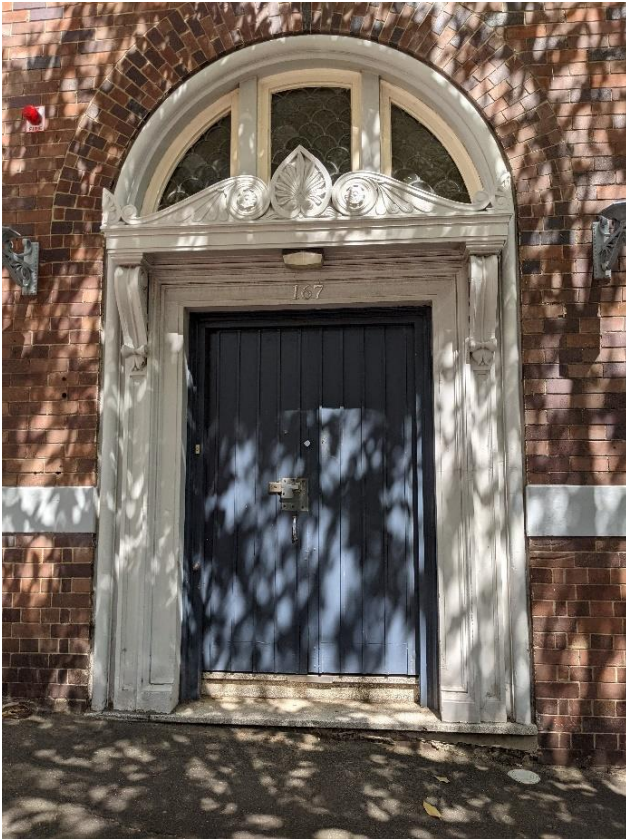


Figure 20 – Main door to Wilkinson House



Figure 21 – Details located above front door

Windows throughout the building exterior are painted white. Each window is a double hung multi-paned style typical of the Georgian Revival period. Most windows feature a sloped brick sill, however the ground level and Level 2 outer windows (those which are double-width) feature rendered sills. The ground level window sills are cohesive with the rendered string course which is located at the base of the sills and of the balcony rails. The balcony rails are all painted, however the paint on the sills and columns are noticeably flaking due to damage.

The building is constructed of red and purple-brown brickwork in stretcher bond, with parts of the basement level in English bond. While some weathering of mortar has occurred throughout the history of Wilkinson House (and it does not appear to have been repointed), bricks appear to have been laid with flush or recessed pointing. Colours present across the façade largely comprise of red brick, terracotta red Marseille tiles, with white decorative features including columns, joinery, and architraves.

2.3.3. Interior

2.3.3.1. Entrance Lobby and Lounge Hall

Upon entering through the traditional Forbes Street entrance to Wilkinson House is a entrance lobby. The space is small in size and narrow in configuration, and features off-white terrazzo flooring with a contrasting grey diamond pattern. The reverse of the main entrance door is a typical timber panelled door, with scalloped fanlight above. The entrance lobby features a vaulted plaster ceiling which has been somewhat impacted by the inclusion of fire equipment. Storerooms are present at either side of the lobby which contain presently contain communications equipment. The interior walls of these storerooms appear to have been rendered. The lobby space features a double set of four-stepped cornices. At the west end of the entrance lobby is a double set of ornate doors which lead into the entrance hall.

The doors are constructed of a dark wood, potentially mahogany. The double doors feature multi-paned glass featuring floral and fleur-de-lys motifs, formal brass doorhandles, and glass side panes at either side which continue the floral motif in a narrow strip. The architraves and lintel of the door both have fluted detailing. The number '167' is included on the lintel in brass. At the top of the lintel is a stepped timber band and decorative fanlight. The views to the fanlight have been partially obstructed by a services box which has been installed atop the lintel of the door. The fanlight is arched in shape and features an ornate steel decorative motif with florals around the border of the fanlight.

The lounge hall is entered through the double doors and is an open formal space. The room features a highly decorative original cornice around the room, which is painted in a cream colour and features festoon motifs, crests, and Corinthian capitals at each column. The lower course of the walls are painted in a cream/beige colour. The ceiling is a vaulted ceiling similar in style – although on a larger scale – than the entrance lobby and feature a contemporary pendant light. The south end of the lounge hall features a double set of timber panelled doors which open into current storerooms, however these were once the desk space and public telephone space of the Gwydir Flats.

On the north side of the entry hall is an ornate timber mantle and surround, which features a highly decorative mantle with corbel details and a rose detailed frieze. The fireplace itself is exposed brickwork.

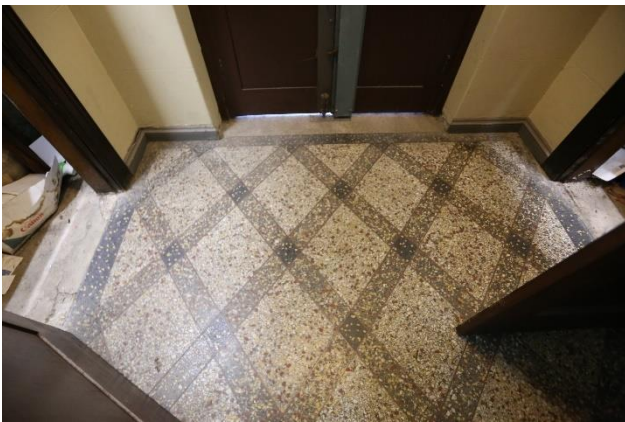


Figure 22 – Terrazzo flooring in entrance lobby



Figure 23 – Scalloped fanlight front door, viewed from entrance lobby



Figure 24 – Double doors and fanlight leading into lounge hall

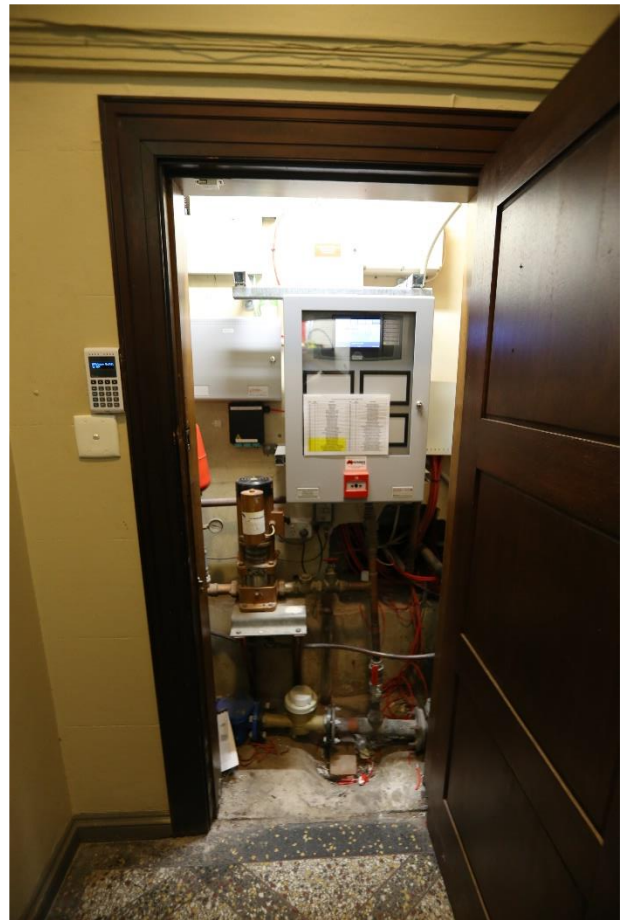


Figure 25 – Communications store in entrance lobby



Figure 26 – View of entry lounge hall from stairs



Figure 27 – View of lounge hall from fireplace



Figure 28 – Lounge hall to fireplace



Figure 29 – Detail of fireplace and cornice



Figure 30 – Overview of storage spaces

Figure 31 – Ceiling of lounge hall

2.3.3.2. Staircase and corridors

The original stairwell runs the full height of the building from the ground level to the roof level with landing on each level. From ground level, the staircase is linked via a vestibule which led directly from the lounge hall. As the lounge hall is set at a lower level than the rest of the ground level, a series of three steps leads from the lounge hall to the staircase vestibule, with a further three steps located at the north and south which leads to the corridors of ground level. The floors of the staircase vestibule and stair treads and risers all feature off-white terrazzo. The staircase from Level 2 to the roof however, features concrete. The stair features a timber baluster with timber posts, rails and timber infill panels. An additional timber rail has been added for safety. Each of the staircase vestibules have fire doors and fire-rated partitions at the north and south of the landings. The corridors which lead from the staircase vestibules at each level feature the same dentil cornices and simple timber skirting boards and architraves.



Figure 32 – Cornice in corridor with dentil details.

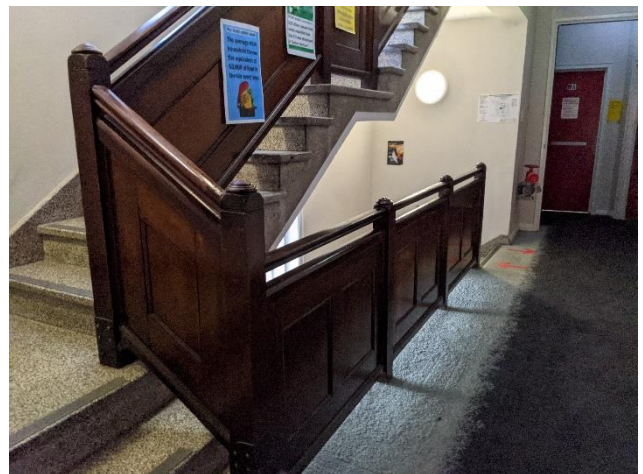


Figure 33 – Staircase vestibule Level 1



Figure 34 – Stairs from lobby hall to ground level

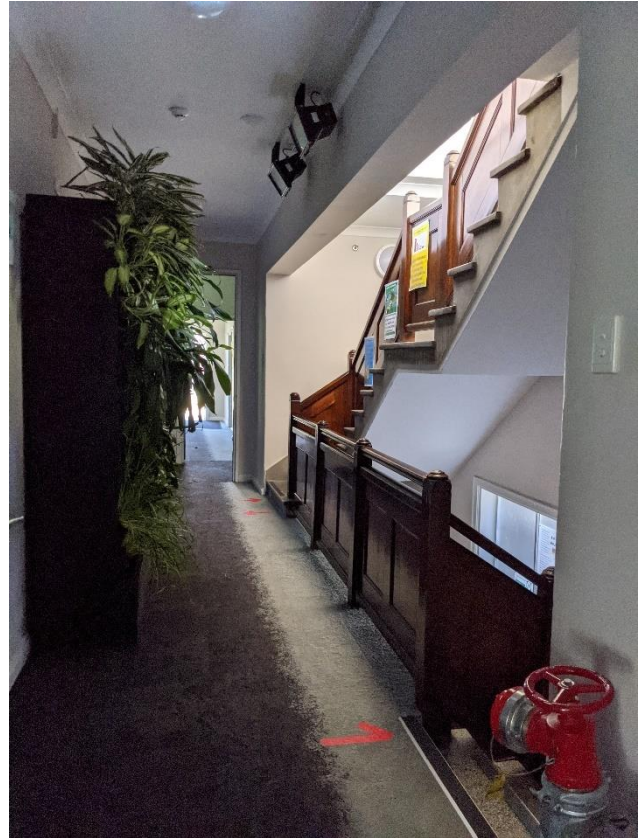


Figure 35 – Staircase vestibule from Level 2 to roof, with concrete stairs

2.3.3.3. Office spaces (Ground Level)

The original configuration of the Gwydir Flats featured 20 individual units. The original layout of the building featured an ornate entrance lobby and lounge hall off Forbes Street which led to a central staircase providing access to the upper floors and basement carparking level. The residential apartments were concentrated around the stairway, accessed via corridors which went to the left and right of the main corridor. Each apartment featured its own small balcony, in addition to decorative internal features such as decorative plaster ceilings. On the ground level these rooms have been converted into office spaces which are utilised by councillors and teaching staff, with the original layout and detailing being largely retained. Features such as decorative plaster ceilings, cornices and timber skirting boards, picture rails and architraves being largely retained throughout. In some room's whiteboards and pinboards have been added to walls however would be easily removed. Carpet has been added throughout this level. Bathrooms have been altered to include modern fitouts, including tiles, vanities, showers, and amenities.

At the southern end of the ground level is a more open foyer space which features a lounge area and is located within a group of councillors offices. This space is carpeted and leads off into several additional rooms, and was an original loungeroom. Original hallway layouts are also retained within the ground level, particularly at the southwest corner where the original hallway with bedroom, kitchen, bathroom and living space are still legible. Many of the rooms have had original lighting removed and replaced with contemporary light fixtures, including some intrusive light bars and ceiling fans. Small former bathrooms and kitchens off the balconies have largely been converted in storerooms or contemporary kitchenette and bathroom spaces. Each of the balcony space have retained their original painted concrete floors, timber boarded ceilings (with contemporary light fittings) and stone thresholds. All balconies retained their original multi-pane timber French doors, with single pane highlights.



Figure 36 – Lounge space in hall of ground level



Figure 37 – Ground level hallway



Figure 38 – Ground level office space



Figure 39 – Kitchenette in ground level office space



Figure 40 – Ground level office space



Figure 41 – Ground level bathroom

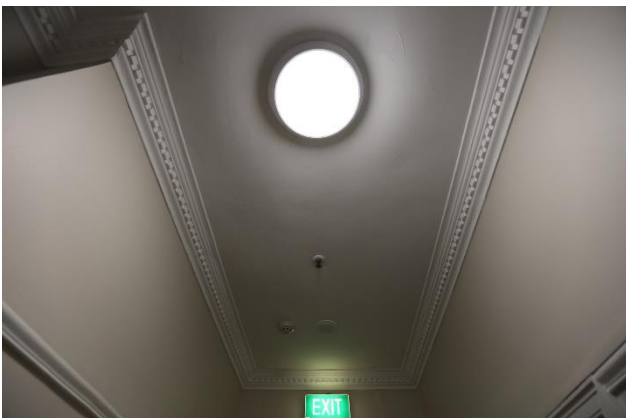


Figure 42 – Ground level corridor with dentil cornice

Figure 43 – Ground level bathroom

2.3.3.4. Classroom spaces (Level 1 and 2)

Similar to the ground level, Level 1 and 2 have retained the central layout of hallways and the central staircase, however the rooms themselves have experienced more substantial modification for the conversion into classroom spaces. Decorative plasterwork ceilings have been retained in some spaces throughout despite the removal of internal walls which once separated living rooms and bedrooms. The locations of these walls have been retained by nibs and bulkheads as part of the conversion of these spaces into larger classroom areas. Some rooms however have had suspended ceilings installed, particularly at Level 2. Former kitchen and bathroom spaces off the balconies have largely been converted into storage spaces however the overall configuration of these balcony spaces has been retained. Original windows have been retained throughout and continue to be a key contributor to the character of the building despite the introduction of new fabric.



Figure 44 – Level 2 classroom with contemporary suspended ceiling



Figure 45 – Level 2 classroom with contemporary suspended ceiling



Figure 46 – Balcony spaces

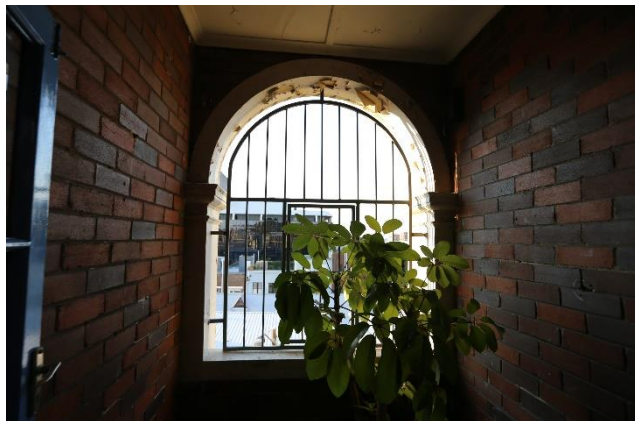


Figure 47 – Balcony spaces



Figure 48 – Representative decorative ceiling



Figure 49 – Overview of classroom space



Figure 50 – Overview of classroom space with bulkheads



Figure 51 – Converted storage area



Figure 52 – Internal storage area



Figure 53 – Exterior storage area off balcony

2.3.3.5. Basement Level

The basement of Wilkinson House is accessed via a non-original staircase which was replaced in the 1980s, which originally led to the garage spaces and storage rooms associated with the Gwydir Flats parking and basement area. The basement space is largely open plan as a result of the previous removal of internal party walls which once separated the parking spaces. The internal walls remain exposed brick which has since been painted. The current ceiling is slightly lower in height than the top of each window within the basement, suggesting it is a contemporary suspended ceiling, although sympathetic plaster cornices have been installed. Much of the room has been carpeted.

In two former storage spaces which have had walls removed, a kitchenette and toilet have been installed with contemporary materials. The kitchenette features full-height contemporary cabinetry. Air conditioning has also been installed above the kitchenette in a recessed niche. The basement currently functions as a senior common room and features furniture such as tables and lounges, curtains and photographs on the walls.

At the northeast corner of Wilkinson House's basement level is the current 'sprinkler room' which houses much of the fire safety and piping equipment for the building. This room, accessed off St Peters Street, features two sections. Upon entry, the floor is concreted, with exposed brick walls and piping infrastructure installed on the walls and ceiling. The ceiling shows the underside of timber on the ground level of Wilkinson House. This equipment is likely associated with the 1984 fire upgrades to the building. At the south end of the sprinkler room is an additional entryway which leads into a partially excavated annex which features extra utilities. This portion of the sprinkler room does not feature any formal flooring and has been excavated in an *ad hoc* way, with portions of remnant sandstone bedrock visible. The area appears to have only been excavated at the west side to the required depth to accommodate the new piping, while the east side retains the original slope of the bedrock.



Figure 54 – Overview of senior common room in basement



Figure 55 – Overview of senior common room in basement

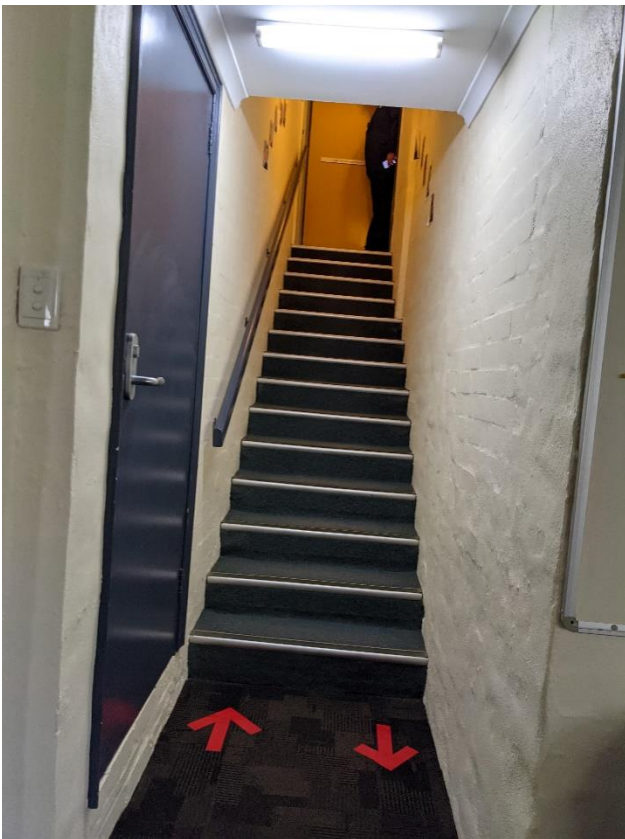


Figure 56 – Stairs to Wilkinson House basement

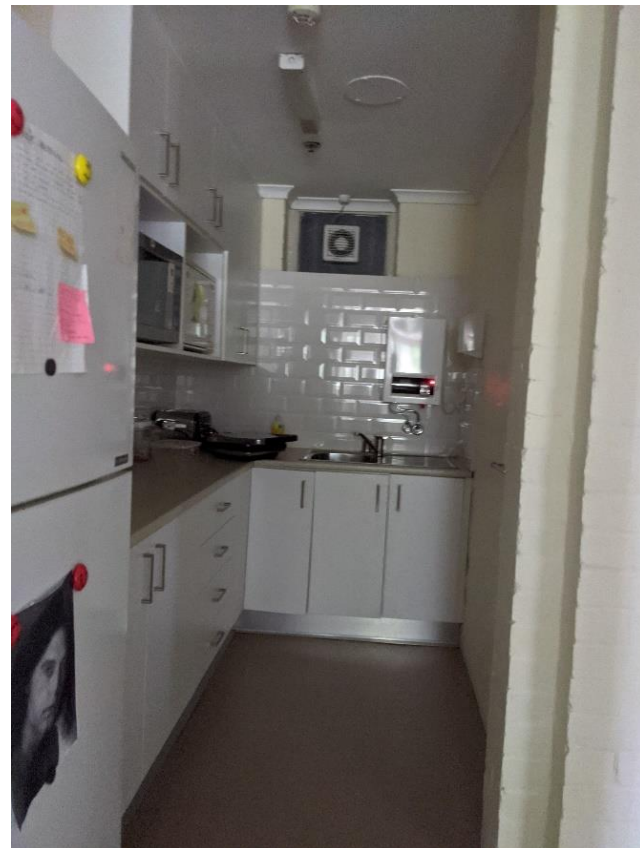


Figure 57 – Kitchenette within Wilkinson House basement



Figure 58 – The sprinkler room



Figure 59 – Exposed bedrock within the annex

2.4. EXISTING LAYOUT

The following floor plans and elevations of Wilkinson House reflect the layout of Wilkinson House in 2018. No major changes have been undertaken to Wilkinson House since this time. The building itself comprises of four levels, including a basement level.

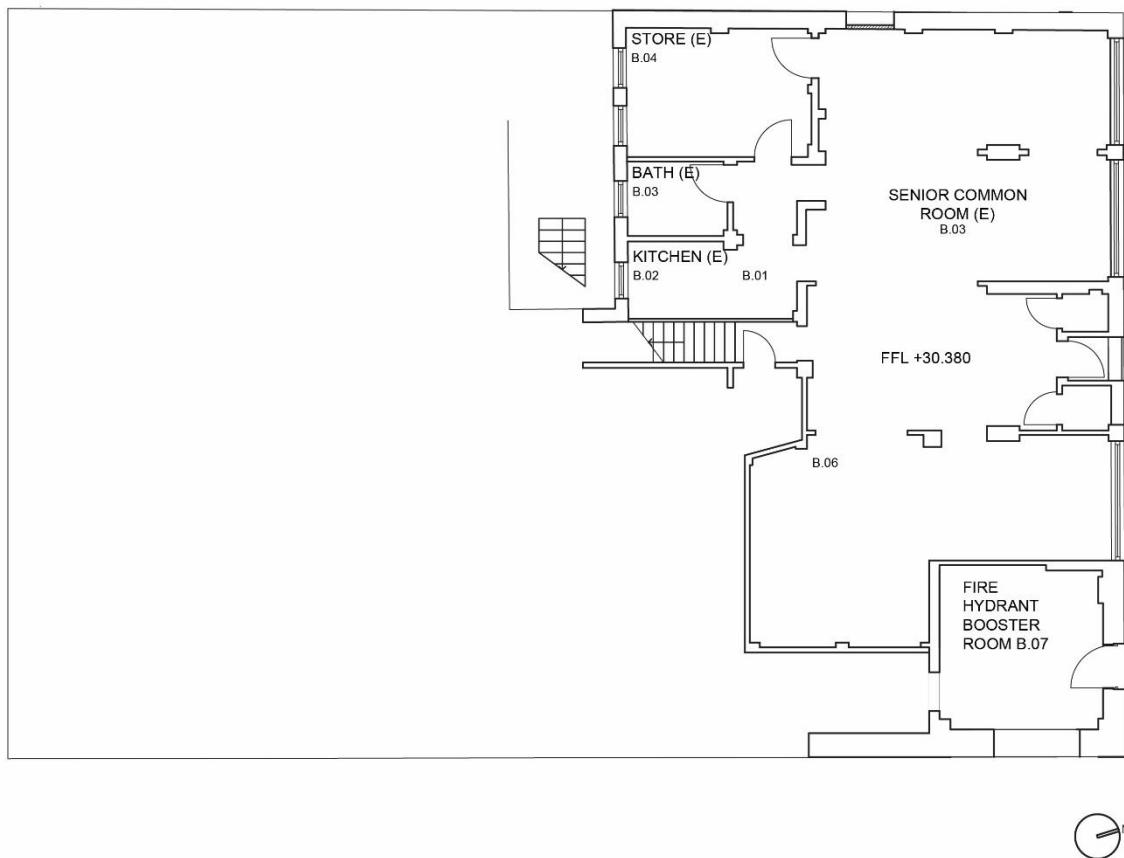


Figure 60 - Existing plans of Wilkinson House, Basement Level

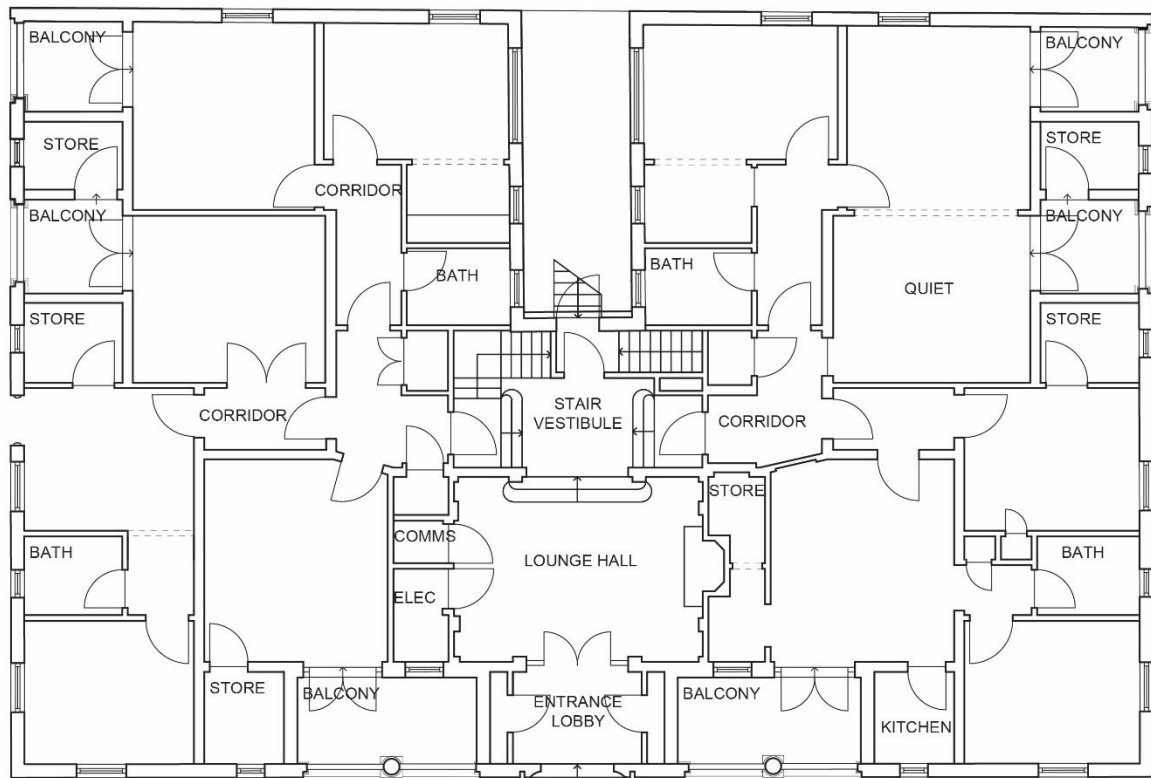


Figure 61 – Existing plans of Wilkinson House – Ground Level

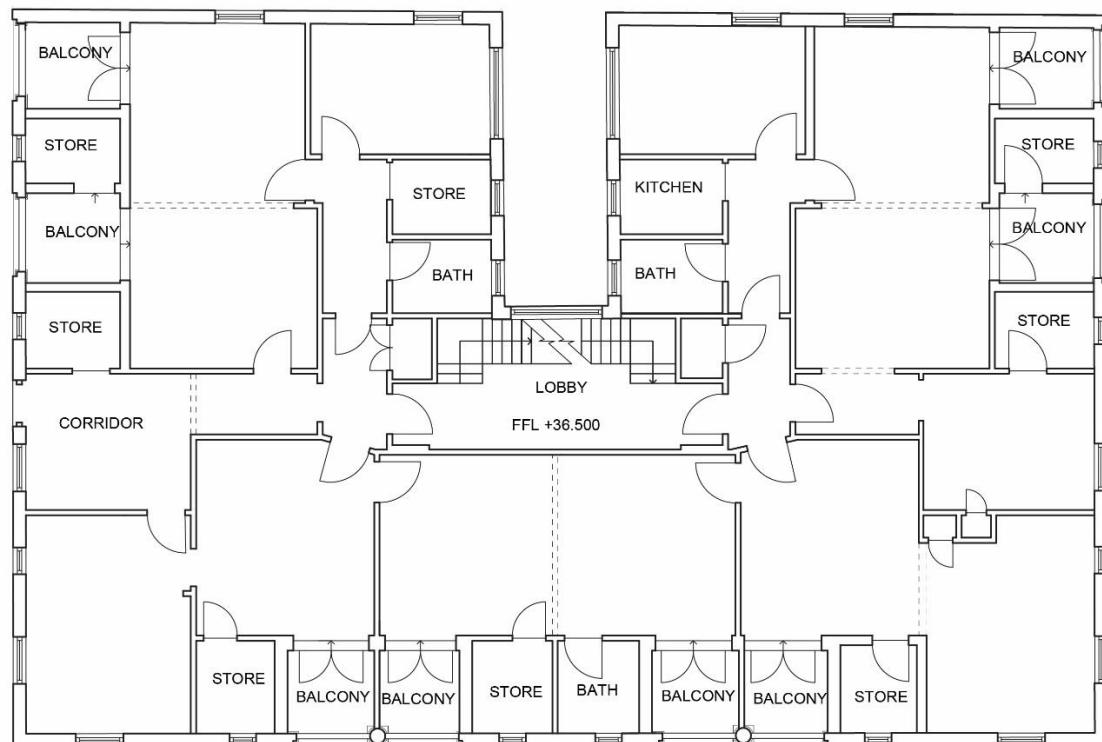


Figure 62 – Existing plans of Wilkinson House, Level 1

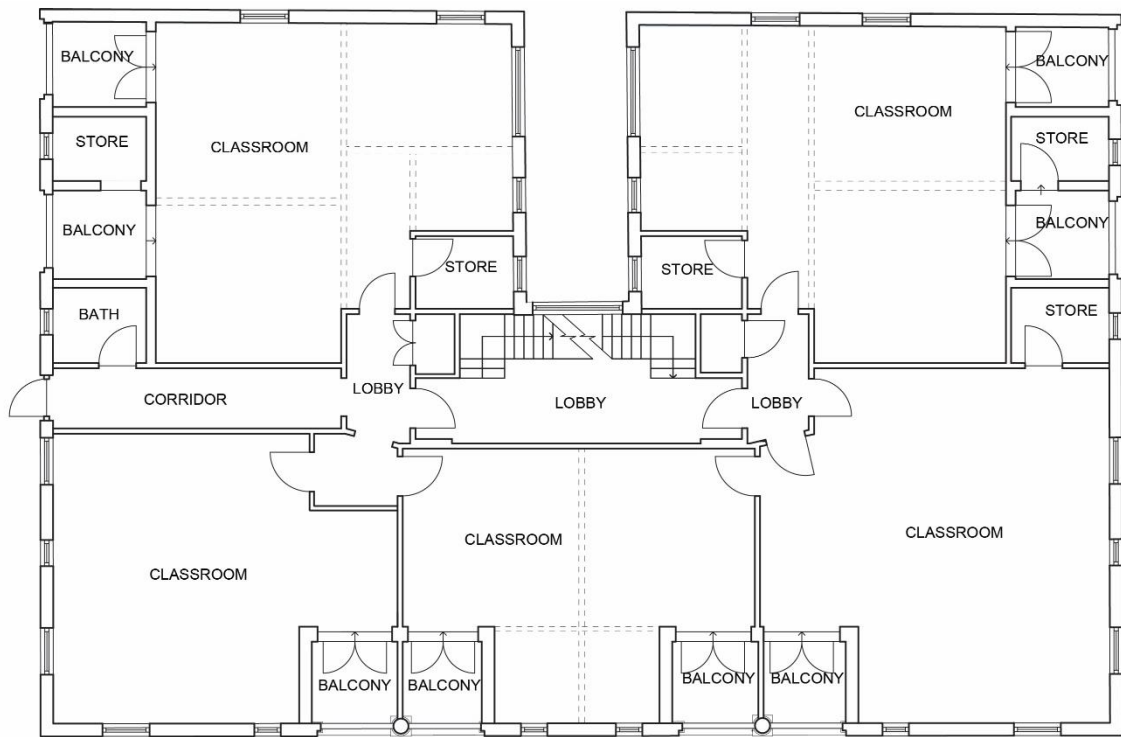


Figure 63 – Existing plans of Wilkinson House, Level 2

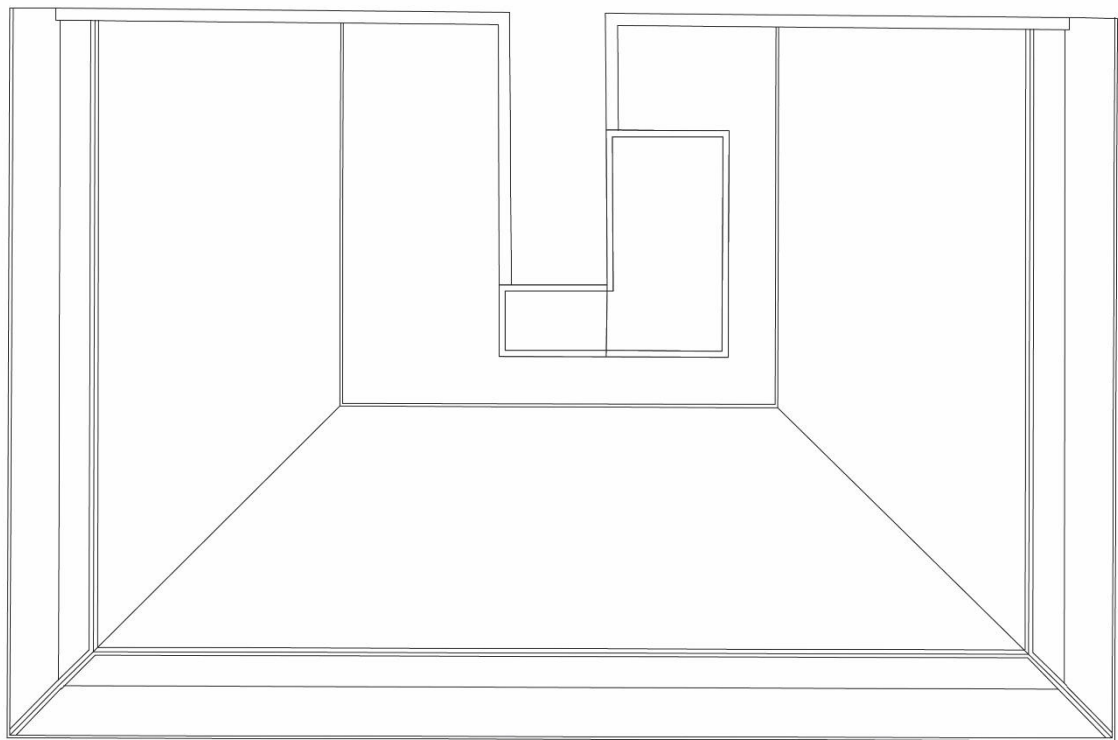


Figure 64 – Existing plans of Wilkinson House, Roof

3. HISTORICAL OVERVIEW

The Conservation Management Plan for Wilkinson House provides a detailed historical overview for Wilkinson House. Reference to the CMP should be made for details. The following table contains a chronology of significant events as they relate to Wilkinson House.

Table 1 – Historical timeline for Wilkinson House

Date	Event
Stage 0 - Early Settlement of Barham (to 1925)	
1793	Woolloomooloo (the Riley Estate) granted to John Palmer
1835	Estate transferred to E.D. Thomson and Barham House constructed
Late 1840s	Forbes Street established
1850	Subdivision of the north portion of Barham
1855	Three terraces established on subdivided land (site of Wilkinson House), built by Francis Callaghan (numbered 109-115 Forbes Street)
c.1871	Terraces purchased by Charles Edwards (Master Mariner)
1882	Terrace numbers changed to 165-171 Forbes Street
c.1896	Terraces owned by Dr Scot Skerving
Early 1900s	Mutual Life Assurance Co. purchases the Callaghan terraces
1926	Development application for demolition of the terraces approved.
Stage 1 - Gwydir Flats (1926-1960)	
1927-8	Construction of Gwydir Flats by Emil Sodersten
1928	Gwydir Flats open and become tenanted
Stage 2 – SCEGGS Boarders use (1960-2001)	
1960	Gwydir Flats purchased by SCEGGS, renamed Wilkinson House
1968	100 boarders residing at Wilkinson House
Late 1960s	Basement garages converted into art workshops
c. 1970	Bars installed on all balcony windows for security
1984	Major work undertaken to basement, including conversion into meeting and recreation rooms, replacement of original staircase to basement, fire upgrades undertaken throughout building including installation of fire doors, exit signs, and emergency lighting
Stage 3 – SCEGGS classrooms and offices (2001-present)	
2001	Former CMP prepared for Wilkinson House by GML Heritage.

Date	Event
2002 onwards	Modifications to Wilkinson House to enable conversion to Senior Educational Centre

4. HERITAGE SIGNIFICANCE

4.1. WHAT IS HERITAGE SIGNIFICANCE?

Before making decisions to change a heritage item, an item within a heritage conservation area, or an item located in proximity to a heritage listed item, it is important to understand its values and the values of its context. This leads to decisions that will retain these values in the future. Statements of heritage significance summarise the heritage values of a place – why it is important and why a statutory listing was made to protect these values.

4.2. HERITAGE LISTING

The SCEGGS Darlinghurst campus is listed under Part 1 of Schedule 5 of the *Sydney Local Environmental Plan (LEP) 2012* (Item No. I301) as 'Sydney Church of England Girls Grammar School group including Barham, Chapel Building and Wilkinson House and their interiors and grounds'. Wilkinson House is one of the three significant buildings identified as being of significance as part the SCEGGS Darlinghurst campus. . The site is also located within the East Sydney Heritage Conservation Area (Item No. C13) listed under the *Sydney LEP 2012* and is located in proximity to the St Peter's Church and Precinct (another SCEGGS Darlinghurst asset) which is listed under both the *Sydney LEP 2012* (Item no. I300) and on the State Heritage Register (SHR No. 00148) under the *Heritage Act 1977*.



Figure 65 – Existing heritage listings under the *Sydney LEP 2012* and the State Heritage Register with Wilkinson House outlined in blue.

4.3. STATEMENT OF SIGNIFICANCE

4.3.1. State Heritage Inventory (Sydney LEP 2012)

The following statement of significance has been extracted from the State Heritage Inventory. Only text relevant to Wilkinson House has been extracted. For the full statement of significance please refer to the State Heritage Inventory.

Originally named the Gwydir Flats, Wilkinson House is significant at a local level primary for its historic, aesthetic and social values. It a prominent location, the building makes a positive contribution to Forbes and St Peters Streets and to the Heritage Conservation Area. It is notable for its continuing residential use over the last 75 years and provides evidence of the residential flat building boom of the 1920s that permanently changed the residential pattern of Darlinghurst.

Wilkinson House is associated with the early stages of the career of the prominent early twentieth-century architect, Emil Sodersten, and could be, if not the first commission, then perhaps the last remaining of his early buildings in Sydney.

As a boarding house, the building has been associated with the historical development of SCEGGS Darlinghurst over a forty years period, playing an important role in the life of past and present boarders and staff. It continues to provide a focus of memories of their time at the school as well as being associated with traditions that contribute to the continually developing sense of the School's identity.

Although not constructed to the original level of detail, Wilkinson House is representative of the construction of apartment buildings during the 1920s and of the use of an eclectic collection of architectural styles, displaying references to Inter-War Mediterranean, Spanish Mission and Georgian Revival influences.

Wilkinson House is significant for its continuous use since it was built for accommodation and for the long association with SCEGGS boarders and their strong attachment to the building as their 'home.' The building has historic social significance for its association with SCEGGS boarders. The building is historically significant for its association with Emil Sodersten, a key architect of the inter-war period in Sydney. Significant elements include original plaster ceilings to the majority of the building and ability to interpret the original apartment configuration, the intact entry foyer and lobby.

4.3.2. Urbis CMP 2021

The following statement of significance was prepared by Urbis for Wilkinson House in the Part 2 CMP:

Wilkinson House, originally constructed as the Gwydir Flats, is historically significant within Darlinghurst and inner city for its ability to demonstrate the historic transition towards residential flat building in the Inter-War period, which was necessary to accommodate higher density and more affordable housing close to the Sydney CBD in this period. Wilkinson House is also historically significant for its association with SCEGGS (the Sydney Church of England Girls Grammar School) and its students, and was acquired and altered by the school in order to provide boarders accommodation for the growing number of school students during the 1960s and its subsequent conversion to a Senior Education Centre in 2002 has continued its use and association with the school for over 60 years.

In addition to its association with SCEGGS, Wilkinson House is also associated with Emil Sodersten, the prominent and notable Sydney based architect who was a leading practitioner of the Art Deco style. Wilkinson House is aesthetically significance as a fine example of the Inter-War Georgian and Mediterranean Revival styles. It retains many characteristics of these styles, such as symmetrical and balances facades and proportions, multi-paned Georgian windows, arches, decorative brickwork, and classical Mediterranean inspired elements such as Doric columns, barley twists, and cartouches. Wilkinson House is the earliest surviving building designed by Sodersten, and is one of only two Mediterranean and Georgian Revival buildings designed by Sodersten and as such provides a rare example of his work in these more classical styles. However, Sodersten is better known for his work in the Art Deco style and is

not considered to be one of his primary works. The entrance foyer and lounge hall are also fine examples of Sodersten's focus on providing grand and traditional communal spaces.,

Wilkinson House is also likely to demonstrate social significance on account of its over 60 year association with SCEGGS, particularly boarders who experienced their formative years there. The building also likely contributes to the community's sense of place – both that of SCEGGS students and Darlinghurst residents – on account of its landmark qualities and contributes to the significance of the East Sydney Heritage Conservation Area.

4.3.3. East Sydney Heritage Conservation Area

The following statement of significance for the East Sydney Heritage Conservation Area has been extracted from the State Heritage Inventory form for its listing under Schedule 5 of the Sydney LEP 2012.

The East Sydney Conservation Area has historic and aesthetic significance for its ability to demonstrate the development of an inner city suburb during the mid to late nineteenth century, with later overlay. The area demonstrates the predominantly small lot subdivision, along a grid pattern based on Darlinghurst Road and Oxford Street, that followed the subdivision of the Riley Estate in the 1840s and the incremental subdivision of the Darlinghurst villa estates during the second half of the nineteenth century. This pattern of subdivision, and the predominantly terraced housing that developed from it, reflects the rapid population growth in Sydney particularly during the period 1850 to 1900. Development related to institutions as well as residential flat development during the inter-war period (c.1919-1940) is also demonstrated. The topography and dense urban form of the area create a strong sense of place and significant district vistas from higher areas.

The area contains a number of aesthetically significant and prominent buildings such as the former St Peter's Church, Burton Street Tabernacle, former Palmer Street Presbyterian Church Group, Caritas House and the former Darlinghurst Police Station, as well as a number of fine terraces and inter-war residential flat buildings.

The area has historic significance for the important institutions that are to be found within it including SCEGGS Darlinghurst.

5. THE PROPOSAL

5.1. DEVELOPMENT OF DESIGN

As is outlined in the CMP for Wilkinson House (Part 2) Section 7.7.5, to explore the adaptive reuse options of Wilkinson House, a Concept Design Competition was held with four architectural firms over the course of November 2020 to February 2021 which included Tonkin Zulaikha Greer (TZG) Architects, Smart Design Studio, Tanner Kibble Denton (TKD) Architects and John Wardle Architects.

Urbis Heritage attended eight workshops along with Project Directions, and representatives from SCEGGS Darlinghurst at which Urbis provided feedback on each of the concepts at both a preliminary and final stages in order to provide heritage advice and guidance on each of the concept designs and to outline each options viability and feasibility in relation to heritage considerations. Further internal meetings were undertaken between SCEGGS Darlinghurst, Project Directions and Urbis Heritage to discuss each of the design options and to determine the most appropriate adaptive reuse option that balanced the heritage values of the site and the future needs and requirements of SCEGGS Darlinghurst.

Each of the design concepts were analysed according to their heritage impacts on Wilkinson House (as per the broad conservation strategies and identified opportunities and constraints), and with regard for the significance of the wider SCEGGS Darlinghurst campus and the East Sydney HCA.

Following a review of each of the four options, Smart Design Studio was chosen as the winning entry due to its sophisticated contemporary design, its response to the heritage values of the place and meeting the future needs and requirements of the School.

Generally, the Smart Design Studio could be summarised as follows:

The Smart Design Studio concept retained the north, east and south facades in full and proposed the majority of external intervention to be contained to the rear western façade as well as a new addition to the south.

While the proposal sought to remove the majority of internal fabric (excluding the entrance lobby and lounge hall which was to be retained) emphasis had been placed on interpreting elements that are to be removed. This included: floor and ceiling inlays for understanding of the original layout of the building (particularly where balconies were proposed to be removed); interpretation of the lightwell location with new circulatory and staircase space; and reuse of French balcony doors in GLAs. A new floor structure and floor levels were proposed; however, the new floor structure would not interrupt any of the existing openings of the building. The roof top addition was also located within the existing ridge height. The removal of the majority of the internal fabric has resulted in a concept that effectively utilises the floor plates and allows for large and useable GLAs that could be used for a variety of purposes by the School. Given this, the proposed interpretation devices were considered to be an appropriate compensation for the removal of internally significant fabric.

The proposed modifications to the roof including new material finish and addition of louvres could pose some constraints, however further refinement and analysis of options to either retain the roof or to use terracotta instead of cooper could be explored.

The proposed design was sophisticated and was well resolved in its use of materials and details. The proposed new lift core to the south added a complementary glazed element. The proposed concept was considered to be feasible and further refinement of the roof level addition was presented as an option, such as extending the area dedicated to outdoor terrace. The design incorporated the most interpretative elements of the four designs. The new roof is well conceived and elegant however would require further refinement to ensure a positive heritage outcome.



Figure 66 – Concept proposed perspective as viewed from Forbes Street
Source: Smart Design Studio

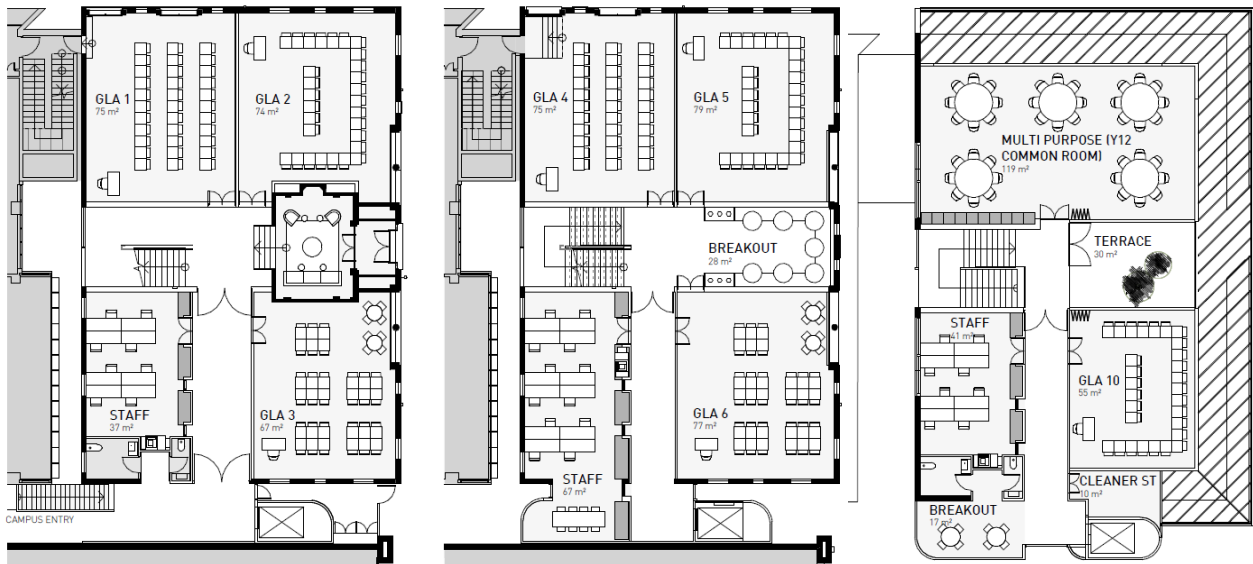


Figure 67 – Proposed concept floor plans (ground, Level 1 and 3)
Source: Smart Design Studio

Since the conclusion and award of the design competition to Smart Design Studio, the proposed design has been further refined through substantial consultation with DPIE, the City of Sydney, the State Design Review Panel/Government Architects NSW and the community. Urbis, as heritage consultants, have provided heritage design advice throughout to guide the development of the final proposed adaptive reuse design for Wilkinson House, including the change of materials for the lift core, and to ensure that the proposed design will result in a positive heritage outcome that accords with the CMPs for SCEGGS Darlinghurst and Wilkinson House, as well as all other relevant heritage controls.

5.2. DESIGN STATEMENT

The Design Statement, as prepared by Smart Design Studio, summarises the intent of the proposed adaptive reuse of Wilkinson House:

Wilkinson House presents a rare opportunity to reinvent a historically significant but tired building to meet the aspirations and practical requirements of SCEGGS Darlington. Designed by esteemed architect Emil Sodersten and constructed in 1928, Wilkinson House is a heritage listed building that not only does not comply with current building codes and standards, but is no longer able to meet the functional requirements of the school.

The primary goal of the project is to provide the school with an optimised learning facility with large, flexible learning spaces to accommodate the school's ambitions for the next twenty years and beyond. Our design strategy demonstrates a sensitive, adaptive reuse of the heritage fabric that will galvanise the future of Wilkinson House as an environmentally sustainable place of learning that continues to be joyful and inspiring to students and staff.

5.3. SCOPE OF WORKS

The proposed scope of works for the adaptive reuse of Wilkinson House will include the following scope of works:

Demolition & Excavation

- Demolish internal stairs, walls, floors and ceilings to all levels. Construct new internal learning spaces, break out spaces, staff rooms, meeting rooms and amenities over ground, levels 1 and 2.

Conservation & Interpretation

- Retain existing external perimeter walls/facades.
- Undertake conservation works, including restoring heritage façades by removing unsympathetic additions e.g. security bars to balconies.
- Retain and restore existing heritage entrance lobby and lounge hall.
- Incorporate heritage interpretation to educate the students and add to the richness of the story of the building. Interpretation strategies include:
 - the former stair will be interpreted as an artwork to be installed along the Northern wall of GLA 9 on level 03. This will be a student led project.
 - the former layout of the flat building will be inlaid in ceiling to recall placement of balconies and original rooms.

New Additions

- Construct extension to the south, to accommodate a lift core for equitable access, circulation and a meeting room. The extension will also connect Wilkinson House to the wider campus.
- Reconstruct mansard roof in copper with angled blades and clerestory operable windows, which reference the vertical articulation of the original Emil Sodersten elevations. The reconstructed roof will result in nominal increase in height of approximately 330mm and is below the existing western brick parapet.
- Construct new level 3 within the roof space, accommodating a boardroom, multi-purpose room, amenities, staff rooms, and a private outdoor roof terrace.
- Construct new basement sporting facility which directly connects to the existing Centenary Sports Hall to the south. The proposal requires excavation be taken to a depth of approximately 2.5-3 metres within the southern portion of the Wilkinson House site to accommodate a larger basement footprint than currently exists.
- Construct a wide internal stair that is naturally lit and ventilated by a glazed rear wall, featuring the work of artist Del Kathryn Barton.

- Enclose existing balconies with recessed glazing to incorporate balcony spaces as part of the new functional, regular-shaped learning spaces
- Upgrade all services including electrical, mechanical, hydraulic, fire, etc.
- Propose a plant enclosure on top of the Joan Freeman roof (the north eastern portion of the roof), to accommodate air condenser units. The plant enclosure has a maximum RL of 45.77, which matches the height of the exiting car park exhaust located on the roof of the Joan Freeman building. The height is slightly below the roof extension of Wilkinson House.

Urbis has been provided with drawing documentation prepared by Smart Design Studio, as noted in Table 2 and in the *Wilkinson House: Design Report* (17/11/21) prepared by Smart Design Studio. This HIS has relied on these plans for the impact assessment include in Section 6. Extracts of the proposed plans are also provided overleaf. Full size plans should be referred to for detail.

Table 2 - Provided Plans

Drawing No.	Drawing Name	Issue	Date
DA001	Legend, Drawing List, Site Map	A	15.10.2021
DA002	School Site Analysis plan	A	15.10.2021
DA003	Subject Site Plan	A	15.10.2021
DA005	Temp Demountables Sheet 01	A	15.10.2021
DA006	Temp Demountables Sheet 02	A	15.10.2021
DA050	L00 Demolition Plan	A	15.10.2021
DA051	L01 Demolition Plan	A	15.10.2021
DA052	L02 Demolition Plan	A	15.10.2021
DA053	L03 Demolition Plan	A	15.10.2021
DA055	LG Demolition Plan	A	15.10.2021
DA060	Demo East Elevation	A	15.10.2021
DA061	Demo North Elevation	A	15.10.2021
DA062	Demo West Elevation	A	15.10.2021
DA063	Demo South Elevation	A	15.10.2021
DA066	E-W Demolition SEC	A	15.10.2021
DA100	L00 Plan	A	15.10.2021
DA101	L01 Plan	A	15.10.2021
DA102	L02 Plan	A	15.10.2021
DA103	L03 Plan	A	15.10.2021
DA104	RF Plan	A	15.10.2021

DA105	LG Plan	A	15.10.2021
DA400	East Elevation	A	15.10.2021
DA401	North Elevation	A	15.10.2021
DA402	West Elevation	A	15.10.2021
DA403	South Elevation	A	15.10.2021
DA450	Section AA	A	15.10.2021
DA451	Section BB	A	15.10.2021
DA452	Section CC	A	15.10.2021
DA551	STL Windows	A	15.10.2021
DA750	GFA Plans	A	15.10.2021
DA760	Shadow Diagram	A	15.10.2021
DA765	Height Plan Diagram	A	15.10.2021



Figure 68 – Forbes Street Perspective
Source: Smart Design Studio, Wilkinson House Design Report



Figure 69 – North East Street View
Source: Smart Design Studio, Wilkinson House Design Report



Figure 70 – Interior retained Lounge Hall
Source: Smart Design Studio, Wilkinson House Design Report



Figure 71 – Internal Central Stair, with indicative interpretation of former original wall and stair layout in floor inlays.
Source: Smart Design Studio, Wilkinson House Design Report



Figure 72 – Interior Classroom
Source: Smart Design Studio, Wilkinson House Design Report

6. IMPACT ASSESSMENT

Below, the potential impact of the proposal is assessed against the applicable heritage-related statutory and non-statutory planning controls which relate to the site and the proposed development.

6.1. STATUTORY CONTROLS

6.1.1. Sydney Local Environmental Plan 2012

The table below provides an assessment of the proposal against the relevant provision for heritage conservation as found in the Sydney LEP 2012.

Table 3 - Assessment against the Sydney Local Environmental Plan 2012

Clause	Response
<p>(1) Objectives</p> <p><i>The objectives of this clause are as follows:</i></p> <p><i>(a) to conserve the environmental heritage of the City of Sydney,</i></p> <p><i>(b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,</i></p> <p><i>(c) to conserve archaeological sites,</i></p> <p><i>(d) to conserve Aboriginal objects and Aboriginal places of heritage significance</i></p>	<p>The proposed works are in line with the objectives set out in the Sydney LEP 2012, as discussed below.</p>
<p>(2) Requirement for consent</p> <p><i>Development consent is required for any of the following:</i></p> <p><i>(a) demolishing or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance):</i></p> <p><i>(i) a heritage item,</i></p> <p><i>(ii) an Aboriginal object,</i></p> <p><i>(iii) a building, work, relic or tree within a heritage conservation area,</i></p> <p><i>(b) altering a heritage item that is a building by making structural changes to its interior or by making changes to anything inside the item that is specified in Schedule 5 in relation to the item,</i></p> <p><i>(e) erecting a building on land:</i></p> <p><i>(i) on which a heritage item is located or that is within a heritage conservation area, or</i></p>	<p>The SCEGGS Darlinghurst campus is listed under Part 1 of Schedule 5 of the Sydney Local Environmental Plan (LEP) 2012 (Item No. I301) as 'Sydney Church of England Girls Grammar School group including Barham, Chapel Building and Wilkinson House and their interiors and grounds'. The site is also located within the East Sydney Heritage Conservation Area (Item No. C13) listed under the Sydney LEP 2012 and is located in proximity of a number of other local and state listed heritage items, as outlined in Section 4.2.</p>

Clause	Response
<p>(4) Effect of proposed development on heritage significance</p> <p><i>The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).</i></p>	<p>Refer to Sections 6.2, 6.3, 6.5 and 6.6 for a detailed assessment of the proposal.</p>
<p>(5) Heritage assessment</p> <p><i>The consent authority may, before granting consent to any development:</i></p> <p><i>(a) on land on which a heritage item is located, or</i></p> <p><i>(b) on land that is within a heritage conservation area, or</i></p> <p><i>(c) on land that is within the vicinity of land referred to in paragraph (a) or (b),</i></p> <p><i>require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.</i></p>	<p>This heritage impact statement has been prepared to assess the proposal with regard to its potential impact on the heritage significance of Wilkinson House, the SCEGGS Darlinghurst campus, the East Sydney HCA and the heritage items located within the vicinity of the subject site. This heritage impact statement has been prepared to assist DPIE with their determinations.</p> <p>Refer to Sections 6.2, 6.3, 6.5 and 6.6 for a detailed assessment of the proposal.</p>
<p>(6) Heritage conservation management plans</p> <p><i>The consent authority may require, after considering the heritage significance of a heritage item and the extent of change proposed to it, the submission of a heritage conservation management plan before granting consent under this clause.</i></p>	<p>CMPs for both the SCEGGS Darlinghurst Campus and Wilkinson House have been prepared by Urbis in November and December 2021. The CMP for Wilkinson House updated the previous CMP prepared for the place as prepared by GML in 2001. The proposed adaptive reuse of Wilkinson House has been informed by these CMPs and their relevant policies have been addressed in Section 6.2.</p>

6.1.2. Sydney Development Control Plan 2012

The table below assesses the proposal against the relevant objective and provisions for heritage conservation as found in the *Sydney DCP 2012*.

Table 4 - Assessment against the Sydney Development Control Plan 2012

Provision	Response
Section 2 Locality Statement 2.4.9 East Sydney <p><i>This locality sits in a valley framed by Central Sydney and Oxford Street, and falls toward William Street, with a low point between Yurong and Riley Streets. It is bounded by Forbes, Burton and Bourke Street to the east, to the north by laneways behind William Street to the west, by Yurong Street, Stanley and College Streets and to the south by Liverpool Street and the rear of lots facing Oxford Street.</i></p> <p><i>Major roads and significant topographic ridges at the perimeter define this area. The built form comprises low scale buildings in the valley framed by taller buildings on the surrounding ridges. This sense of enclosure is reinforced by taller commercial/retail buildings located along the major roads of College, William and Oxford Streets, while the regular small lot pattern streets to the centre of the neighbourhood are predominantly residential terrace housing.</i></p> <p><i>The existing general built form character of the area is to be maintained and reinforced with taller buildings located along ridges and major roads towards the perimeter of the neighbourhood. Low scale buildings and residential pockets are to be maintained towards the centre of the area in the valley.</i></p> <p><i>The Burton St Tabernacle building is being transformed into a contemporary performing arts space for the new home of a local community theatre and host a range of performances, classes, exhibitions and events.</i></p> <p><i>The heritage streetscape character and small lot subdivision pattern of the residential pockets together with consistent residential streetscapes and the remnant Victorian character of buildings are to be maintained.</i></p> <p><i>Stanley Street (between Crown Street and Yurong Street) and Crown Street (between Stanley Street and William Street) as well as surrounding northern streets of Riley, Yurong and Crown Streets are to be strengthened with restaurants and cafes. Liverpool Street is a complementary commercial centre with showrooms and specialty services.</i></p>	
<p><i>(a) Development must achieve and satisfy the outcomes expressed in the character statement and supporting principles.</i></p>	<p>(a) The proposed adaptive reuse of Wilkinson House will achieve and satisfy the outcomes of the character statement. With Wilkinson House largely retained (externally) and only minor additions proposed, such as the new lift structure to the south and minor height increase to the roof of Wilkinson House, the existing character, scale and built form of Wilkinson House will be largely maintained. The proposed alterations and additions are not considered to have any negative impact on the localities character.</p>
<p><i>(b) Development is to respond to and complement heritage items and contributory buildings within heritage conservation areas, including streetscapes and lanes.</i></p>	<p>(b) The proposed adaptive reuse of Wilkinson House has been designed to be sympathetic to Wilkinson House and the SCEGGS Darlinghurst campus, the East Sydney HCA and the surrounding heritage items. This is further explored below.</p>
<p><i>(c) Reinforce the topography and maintain district and street corridors with taller buildings on the ridges and edges and lower buildings in the valley.</i></p>	<p>(c) The proposed development will not change the existing topography and will maintain the existing district and street corridors. The scale of additions is small in scale, bulk and height and will reinforce the existing status quo.</p>
<p><i>(d) Maintain district and street corridor views as a result of low buildings in the valley.</i></p>	<p>(d) The proposed additions will maintain district and street corridor views.</p>

Provision	Response
<p><i>(h) Ensure that new infill buildings reinforce the predominant street frontage height, setbacks and street alignment.</i></p>	<p>(h) The proposed new lift addition to the south of Wilkinson House has been designed to be subservient. It has been sufficiently setback from Forbes Street and is overall a narrow unobtrusive addition that allows the new addition to be read as a distinct element that links Wilkinson House to the Centenary Sports Hall and JFTSC. The overall height, setback and alignment is complementary to the locality, Wilkinson House and the SCEGGS Darlinghurst campus.</p>
Section 3.9 Heritage	
3.9.1 Heritage Impact Statement	
<p><i>(1) A Heritage Impact Statement is to be submitted as part of the Statement of Environmental Effects for development applications affecting:</i></p> <p><i>(a) heritage items identified in the Sydney LEP 2012; or</i></p> <p><i>(b) properties within a Heritage Conservation Area identified in Sydney LEP 2012.</i></p>	<p>This HIS has been prepared in association with a State Significant Development Application in relation the adaptive reuse of Wilkinson House.</p>
<p><i>(2) The consent authority may not grant consent to a development application that proposes substantial demolition or major alterations to a building older than 50 years until it has considered a heritage impact statement, so as to enable it to fully consider the heritage significance of a building and the impact that the proposed development has on the building and its setting.</i></p>	<p>This HIS has been prepared to accompany an SSDA which proposes alterations and additions to a building that is more than 50 years old. This HIS has fully considered the heritage significance of Wilkinson House, the SCEGGS Darlinghurst campus, the East Sydney HCA and surrounding heritage items. It has considered the impact of the proposed alterations and additions will have on the building and its setting, as discussed throughout this section of the HIS.</p>
<p><i>(3) A Heritage Impact Statement is to be prepared by a suitably qualified person, such as a heritage consultant. Guidelines for the preparation of Statements of Heritage Impact are available on the website of the Heritage Branch, NSW Department of Planning at www.heritage.nsw.gov.au.</i></p>	<p>This HIS has been prepared by suitably qualified heritage consultants at Urbis.</p>
<p><i>(4) The Heritage Impact Statement is to address:</i></p> <p><i>(a) the heritage significance of the heritage item or the contribution which the building makes to the heritage significance of the heritage conservation area;</i></p> <p><i>(b) the options that were considered when arriving at a preferred development and the reasons for choosing the preferred option;</i></p>	<p>The proposed alterations and additions have addressed the significance of Wilkinson House, the SCEGGS Darlinghurst Campus and the East Sydney HCA in Section 4.</p> <p>The impact of the proposed works have been addressed in this Section and Sections 6.2, 6.3, 6.4, 6.5 and 6.6.</p>

Provision	Response
<p><i>(c) the impact of the proposed development on the heritage significance of the heritage item, heritage items within the vicinity, or the heritage conservation area; and</i></p> <p><i>(d) the compatibility of the development with conservation policies contained within an applicable Heritage Conservation Management Plan or Conservation Management Strategy, or conservation policies within the Sydney Heritage Inventory Report.</i></p>	
3.9.2 Conservation Management Plans	
<p><i>(1) A conservation management plan prepared by a suitably qualified heritage practitioner for development applications is required for the following:</i></p> <p><i>(d) substantial alterations and or additions to a heritage item considered by the Council to be of high local significance, unless the consent authority determines that it is not required</i></p>	<p>As noted above, a CMP has been prepared for both the SCEGGS Darlinghurst campus (Part 1, 26 November 2021) and an individual CMP for Wilkinson House (Part 2, 17 January 2022) as per Conditions A13 and B4A of SSD-8993, respectively. The Part 1 CMP was endorsed by the Planning Secretary on 8 December 2021.</p>
<p><i>(2) The conservation management plan is to include:</i></p> <p><i>(a) the investigation of the physical and documentary evidence of the heritage item;</i></p> <p><i>(b) a comparative analysis and curtilage assessment;</i></p> <p><i>(c) assessment of the significance of the heritage item;</i></p> <p><i>(d) the investigation of the constraints and opportunities for the item including the owner's needs and resources, and external constraints;</i></p> <p><i>(e) conservation policies which address the following:</i></p> <p><i>(i) conservation of the fabric and setting of the heritage item;</i></p> <p><i>(ii) appropriate uses of the heritage item;</i></p> <p><i>(iii) appropriate ways to interpret the significance of the heritage item;</i></p> <p><i>(iv) management of the heritage item;</i></p> <p><i>(v) guidelines for future development; and</i></p> <p><i>(f) priorities for instigation of conservation policies.</i></p>	<p>The CMPs which have been prepared addresses all of these listed items.</p>

Provision	Response
3.9.5 Heritage Items	
<p><i>(1) Development affecting a heritage item is to:</i></p> <p><i>(a) minimise the extent of change to significant fabric, elements or spaces;</i></p> <p><i>(b) use traditional techniques and materials where possible unless techniques and materials can offer substantial conservation benefits;</i></p> <p><i>(c) enable the interpretation of each of the significant values of the item through the treatment of the item's fabric, spaces and setting;</i></p> <p><i>(d) provide a use compatible with its significance and which with any changes proposed, including any BCA upgrade or the introduction of services will have minimal impact on significant fabric, elements or spaces;</i></p>	<p>(a) The proposed alterations and additions to Wilkinson House have sought to ensure that the most significant aspects of the building are maintained and conserved. These elements, which are largely listed as being of high significance within the Part 2 CMP, including the external facades (north, east and south), the external roof form and the entrance lobby and lounge hall. The majority of change proposed are to those elements or spaces that are ranked as being of Moderate, Little and Neutral significance. In order to mitigate the effects of the removal of a substantial number of original elements, robust heritage interpretation measures have been proposed. These are described further in this assessment.</p> <p>(b) All significant elements which are to be retained will be conserved and made good using traditional techniques and materials. It is recommended for a Schedule of Conservation Works to be prepared prior to the commencement of construction works.</p> <p>(c) The proposed works have been designed with significant input from Urbis Heritage. The proposed works have been designed to incorporate robust interpretation particularly where elements that were original to Sodersten's design are to be removed. Interpretative elements include floor and ceiling inlays to interpret the original flat layouts, use of Terrazzo in common areas and interpretation of the original staircase as a new art piece, to name a few. A Heritage Interpretation Strategy is recommended to be developed prior to the commencement of construction works to guide the detailed design development of all interpretation devices.</p> <p>(d) The proposed new use of Wilkinson House has been determined through a detailed options analysis as provided in the Wilkinson House CMP (Part 2). The proposed use of Wilkinson House as classrooms and staff facilities (which it is currently also being used for) is considered to be an appropriate use for the building, particularly considering the ongoing use of the building by SCEGGS Darlinghurst is one of the intrinsic elements of the place's significance. The proposed works to the building have necessitated the need to upgrade the whole interior of the building as it does not currently meet</p>

Provision	Response
<p><i>(e) the provision of on-site interpretation, or a combination of each of these measures;</i></p> <p><i>(f) not reduce or obscure the heritage significance of the item; and</i></p> <p><i>(g) be reversible where necessary so new work can be removed with minimal damage, or impact to significant building fabric.</i></p> <p><i>(h) be consistent with an appropriate Heritage Conservation Management Plan, Conservation Management Strategy, or policy guidelines contained in the Heritage Inventory Assessment report for the item;</i></p> <p><i>(i) ensure that any changes to the original/significant room configuration is evident and can be interpreted; and</i></p> <p><i>(j) respect the pattern, style, dimensions or original windows and doors.</i></p>	<p>the current requirements in terms of access, egress and fire safety.</p> <p>(e) Refer to response above.</p> <p>(f) The proposed works are not considered to reduce the heritage significance of Wilkinson House. Instead, it is considered that a balance between the tangible and intangible significant aspects of the building have been achieved that ensures the most significant aspects of Wilkinson House are retained and conserved into the future.</p> <p>(g) The proposed works to the interior and roof of Wilkinson House will not be reversible. However, in consideration of the assessment of significance of these elements, as per the CMP for the site, and the necessity for Wilkinson House to continue to serve SCEGGS into the future, it is considered appropriate that the scale of works proposed is needed to ensure the ongoing use of the building.</p> <p>(h) The proposed alterations and additions are consistent with the CMPs prepared by Urbis in November and December 2021. Refer to Section 6.2 for response to specific policies.</p> <p>(i) As the proposed works will remove all interior rooms, excluding the original entrance lobby and lounge hall, it is proposed to interpret the original room configuration through the incorporation of floor and ceilings inlays variously throughout the floors.</p> <p>(j) The proposed changes to the exterior of Wilkinson House retains and respects the pattern, style and dimensions of original door and window openings. All original door and windows are to be retained on the north and east elevations. At the south, the three western-most bays will be altered to accommodate new openings to create connection with the new lift structure to be constructed at the south of Wilkinson House. These portions of the south façade have been subject to the most amount of change, and it is considered acceptable for these changes to be undertaken. Further alterations are proposed to the basement facade at north in the position of the former garage doors. The existing brick infill is proposed to be replaced with glass brick and high-level windows. This change is considered to be a positive change due to the proposed materiality and the retention</p>

Provision	Response
<p><i>(2) Development should enhance the heritage item by removing unsympathetic alterations and additions and reinstating missing details, building and landscape elements, where physical or documentary evidence is available.</i></p> <p><i>(3) Alterations and additions to buildings and structures and new development of sites in the vicinity of a heritage item are to be designed to respect and complement the heritage item in terms of the:</i></p> <p><i>(a) building envelope;</i></p> <p><i>(b) proportions;</i></p> <p><i>(c) materials, colours and finishes; and</i></p> <p><i>(d) building and street alignment.</i></p>	<p>of the understanding of the original function of this portion of the elevation.</p> <p>(2) The proposed works are considered to respect the heritage significance of Wilkinson House, however, it is acknowledged that the proposed extent of change does propose to remove a quantity of original fabric which is largely assessed as being of Little and Moderate significance in the CMP (Part 2). The proposed design, like the approach of the CMP, balances the tangible and intangible significance of the place, while also allowing enough flexibility to ensure that the building can be adaptively reused provided that certain mitigation measures are enacted to conserve and enhance the significance and interpretation of Wilkinson House. aspects</p> <p>(3) The proposed new lift structure to the south of Wilkinson House has been designed to complement Wilkinson House. The structure is proposed to be clad in glass to allow it to be read as a transparent and light addition that is recessive to Wilkinson House and the streetscape.</p>
3.9.6 Heritage Conservation Areas	
<p><i>(1) Development within a heritage conservation area is to be compatible with the surrounding built form and urban pattern by addressing the heritage conservation area statement of significance and responding sympathetically to:</i></p> <p><i>(a) topography and landscape;</i></p> <p><i>(b) views to and from the site;</i></p> <p><i>(c) significant subdivision patterns and layout, and front and side setbacks;</i></p> <p><i>(d) the type, siting, form, height, bulk, roofscape, scale, materials and details of adjoining or nearby contributory buildings;</i></p> <p><i>(e) the interface between the public domain and building alignments and property boundaries; and</i></p>	<p>(1) The overall changes to the exterior of Wilkinson House are minor. The largest proposed addition is the new lift structure to be constructed to the south of Wilkinson House that will link the building with the Centenary Sports Hall to the south and JFTSC to the west. The proposed new lift structure will be sited in the existing location of the external staircase that currently links Wilkinson House with the Sport Hall and JFTSC. Existing views will not be affected by the proposed development.</p> <p>(4) Refer to Section 6.5 for a response to policy guidelines for the East Sydney HCA.</p>

Provision	Response
<p><i>(f) colour schemes that have a hue and tonal relationship with traditional colour schemes.</i></p> <p><i>(4) Development within a heritage conservation area is to be consistent with policy guidelines contained in the Heritage Inventory Assessment Report for the individual conservation area.</i></p>	
3.9.10 Building material for heritage items and buildings with heritage conservation areas	
<p><i>(1) Where residential flat buildings have foyers or other significant interior features, including hallway detailing, panelling and significant staircases, that are designed to be visible from the street, these are to be retained.</i></p> <p><i>(2) Existing face brickwork and stone walls are not to be coated, rendered or painted.</i></p> <p><i>(3) Original materials are to be retained, unless it can be demonstrated that significant deterioration has occurred and repair is not practical. Any replacement should be with similar materials.</i></p> <p><i>(4) New materials are to complement the colour, finishes and proportion of existing materials on the building and be identifiable as new on close inspection without detracting from the character and heritage significance of the building.</i></p>	<p>(1) Wilkinson House does retain its original entrance foyer and lounge hall. These two spaces and all details, excluding a set of doors and architraves (to be salvaged), are proposed to be retained. The original staircase, which is not visible from the street, is proposed to be removed and interpreted, both by way of an interpretative art piece to be made from the salvaged balustrades and through the interpretation of the original footprint of the staircase within the new common area of the building through floor inlays. Terrazzo flooring is also proposed within the new common areas to reference the original terrazzo floors of the staircase and its associate vestibules.</p> <p>(2) No existing face brickwork is proposed to be coated, rendered or painted. All external face brickwork, that is to be retained, will be conserved as part of the proposed works. All conservation works are to be undertaken in line with the Schedule of Conservation Works which should be prepared prior to the commencement of construction works.</p> <p>(3) The CMP for Wilkinson House (Part 2) provides a detailed breakdown of the relative significance of each of the elements of Wilkinson House. Refer to the response in Section 6.2 for detailed discussion regarding the treatment of each of the elements of Wilkinson House that are proposed to be affected by the works. All elements of Wilkinson House which are of High significance are to be retained with only minor alterations.</p> <p>(4) The proposed new materials for the new roof will utilise cooper, which reflects similar colouration to the existing terracotta tiles and also references the use of copper in the down pipes. The vertical articulation of the proposed roof cladding will also reference the original drawings of Emil Sodersten's design. The proposed new lift addition to the south proposes to be clad in glass on a steel structure to serve visually as a lightweight</p>

Provision	Response
	addition. All new additions to Wilkinson House will be readily understood as being contemporary additions.
3.9.13 Excavation in the vicinity of heritage items and in heritage conservation areas	
<p>(1) Excavation beneath, or adjacent to heritage items and/or buildings in heritage conservation areas will only be permitted if it is supported by both a Geotechnical Engineering report and a Structural Engineering report.</p> <p>(2) Excavation will not be permitted if:</p> <p>(a) it will occur under common walls and footings to common walls, or freestanding boundary walls, or under any other part of adjoining land, and</p> <p>(b) it will occur under or forward of the front facade.</p>	<p>(1) Excavation is proposed across the whole of the site, excluding underneath the footprint of the entrance lobby and lounge hall. Both a Geotechnical Engineering report and a Structural Engineering report have been prepared.</p>
3.9.14 Heritage inventory assessment reports	
<p>(1) Development to a heritage item or within a heritage conservation area or special character area is to be consistent with the policy guidelines contained within the Heritage Inventory Assessment Report.</p>	<p>(1) The relevant policy guidelines have been addressed in Section 6.2 below.</p>

6.2. CONSERVATION POLICIES

The proposed adaptive reuse is assessed in relation the relevant policies contained within the Part 1 (26 November 2021) and Part 2 (17 January 2022) CMPS prepared by Urbis. Where policies are substantially the same across the two CMPs, only the relevant policies from the Part 2 CMP are included below.

Table 5 - Assessment against Conservation Policies

Policy	Discussion
Part 1 CMP - SCEGGS Darlinghurst Campus	
<p><i>Policy 40. Substantial modifications to buildings of high significance may in very rare circumstances be permissible subject to heritage assessment, and only if this change is required to facilitate the overall conservation, interpretation and use of the place in perpetuity. Any major change to these elements should be subject to a detailed options analysis to demonstrate that the proposed change or removal is necessary, and a reasonable and appropriate approach has sought to mitigate heritage impacts.</i></p>	<p>The Part 2 CMP for Wilkinson House explores the adaptive reuse options for Wilkinson House and details the different options considered. Following the award of the design to Smart Design Studio in February 2021, the proposed design has been further refined and perfected following multiple rounds of consultation with DPIE, City of Sydney, NSW State Design Review Panel and the community. The proposed adaptive reuse of Wilkinson House, while proposing substantial modifications, will ensure that the building will continue to be used in perpetuity by SCEGGS Darlinghurst. Where elements are proposed to be removed a robust interpretation approach has been proposed to ensure that the original</p>

	and early history of the building is continued to be interpreted into the future.
<i>Policy 47. The three principal buildings of the campus being Wilkinson House, Barham and Chapel Building have exceptional and high significance and should be retained and conserved to a high standard. Adaptation is permissible to ensure the continued use of the site by SCEGGs. Unsympathetic alterations and additions may be removed. Future works to these buildings should complement their identified significance and must be developed in line with the relevant policies in Parts 2, 3 and 4 of this CMP.</i>	Wilkinson House is proposed to be retained and conserved, however, substantial modifications are proposed. The proposed adaptive reuse of Wilkinson House has been developed inline with the relevant policies for the place in the Part 2 CMP. Refer to discussion below.
<i>Policy 48. Any future adaptive reuse of Wilkinson House should be consistent with the broad strategies for adaptive reuse as presented in Section 8.7.2 of this CMP.</i>	The broad conservation guidelines provided in the Part 1 CMP are further developed within the Part 2 CMP within the conservation policies provided in Section 8. Refer to discussion below in response to the conservation policies for Wilkinson House.
Part 2 CMP – Wilkinson House	
<i>Policy 5. Any future proposed changes to the site need to be assessed in accordance with the relevant provisions of the Sydney Local Environment Plan 2012 and Sydney Development Control Plan 2012, the policies of Part 1 and 2 of this CMP, and the heritage inventory forms recommended management. An archaeological assessment may be required to assess any subsurface works to the site.</i>	The proposed alterations and additions have been assessed against the provisions of the Sydney LEP 2012 and Sydney DCP 2012 as addressed in Sections 6.1.1 and 6.1.2. The relevant policies have been addressed in this section and the heritage inventory forms recommended management have been addressed in Section 6.5.
<i>Policy 6. Parts 1 and 2 of this CMP should be submitted to the relevant consent authority as part of any application for new development proposals. Where appropriate or requested, it should be accompanied by a heritage impact statement that assesses the specific impacts of the proposal against relevant legislation and policies in Parts 1 and 2 of this CMP.</i>	Excavation is proposed as part of the proposed works. A separate Aboriginal Cultural Heritage Assessment and Historical Archaeological Assessment have been prepared separately to this HIS to assess the proposed subsurface works.
<i>Policy 7. A heritage impact statement and / or archaeological assessment should be prepared for all proposals for new development within the property. Where relevant, the HIS and/or archaeological assessment should assess impacts on the setting, views, built elements and potential archaeological resource as appropriate.</i>	Impacts of the proposed works on the setting, views and built elements of the site are addressed elsewhere within this section. The Part 1 and Part 2 CMPs have been submitted along with this HIS as part of the SSDA.
<i>Policy 10. The Statement of Significance set out in this report is to be accepted as the basis for future conservation of the fabric and values of Wilkinson House (Section 6.2.3). All future works to the place should be cognisant of the significant built elements, fabric, spaces, views and archaeological resource identified in this CMP,</i>	The Statement of Significance and grading of significant elements has guided the development of the proposed works. The proposed alterations and additions are cognisant of the significant built elements, fabric, spaces and views.

<i>together with any additional detailed research and assessment.</i>	
<i>Policy 15. Unless otherwise stated in these policies, surviving original and early elements and fabric identified as having high significance must be retained intact, and conserved.</i>	Generally, all fabric graded as being of high significance is proposed to be retained and conserved. The main element of high significance that is proposed to be altered is the western portion of the south elevation, where it is proposed to alter some existing windows and door openings in order to create a connection between Wilkinson House and the new lift structure. This is considered to be acceptable, given this portion of the façade has undergone the most amount of change previously and is largely obscured from public view, due to the proximity to the Centenary Sports Hall. Limiting change to this portion of the façade will also ensure that the eastern most portion of the south façade, which is most visible, is retained and conserved.
<i>Policy 16. Elements of high significance must not be obscured by new works, structures or services where possible, and must be clearly visible and interpreted as part of any new works.</i>	As noted above, the western-most portion of the south façade will be obscured by the proposed new lift structure. However, this new structure will be glazed and will still maintain visibility of this portion of the façade.
<i>Policy 17. Where elements of high significance have been damaged, they are to be repaired with sympathetic materials in preference to replacement. Significant elements should be repaired in-situ wherever possible.</i>	All elements of high significance that are to be retained (primarily the exterior of the building and the entrance lobby and lounge hall) will be maintained and conserved. A Schedule of Conservation Works should be prepared to guide the conservation works to the building.
<i>Policy 18. If changes to elements of high significance are required, they should be carefully considered and the approach should be one of minimal intervention; as much as necessary, as little as possible.</i>	Refer to responses below in relation to proposed modifications to the south façade. Within the entrance lobby and lounge hall, the existing doors and architraves to the former telephone and office on the southern wall are proposed to be removed and will be placed into storage for future reinstatement. These elements are proposed to be removed to accommodate a new art piece/donor wall within the lounge hall that is intrinsic to the funding of the works to Wilkinson House. The removal of the architraves and doors can be reversible in future, and hence they should be stored on site for future reinstatement, if desired. The removal of these elements will still ensure that the understanding of the space and use as a meeting place is maintained.
<i>Policy 19. Intervention for purposes other than conservation of the fabric is to occur in areas of lower (moderate, little, neutral and intrusive) rather than higher (high and moderate) significance.</i>	The approach to the adaptive reuse of Wilkinson House has been to contained intervention in areas of lower significance.

<p><i>Policy 20. Any elements of significance proposed for demolition, removal or alteration, should be subject to archival photographic recording, copies of which should be retained on site and provided to the relevant consent authorities. This should include photography and / or measured drawings as deemed necessary. Archival recordings should be undertaken in accordance with the former NSW OEH Heritage Division's Guidelines for 'Photographic Recording of Heritage Items Using Film or Digital Capture'.</i></p>	<p>It is recommended that a photographic archival recording is undertaken on the building, before during and after the completion of works.</p>
<p><i>Policy 24. The future use of the building should be compatible with its conservation and ideally will facilitate its ongoing use for the SCEGGS Darlinghurst campus and for education or related purposes. Changes to the fabric and spaces that arise from pedagogical requirements should be made with due regard to the significance of the existing fabric and spaces.</i></p>	<p>The proposed adaptive reuse of Wilkinson House has been led by the need to ensure the ongoing use of Wilkinson House. As outlined in the Part 1 and 2 CMPs, Wilkinson House does not currently meet the needs of the School. The approach to the adaptive reuse of the place has been one that balances the significance of the place as it relates to Emil Sodersten's design, as well as the places associative significance and ongoing use by SCEGGS Darlinghurst.</p>
<p><i>Policy 25. Any proposed use of Wilkinson House should be compatible with the identified heritage values and significance of the building. Uses which require an unacceptable degree of intervention for upgrade to building compliance would not be acceptable.</i></p>	<p>The proposed use of Wilkinson House will maintain the existing educational use as classrooms and associated offices and meetings rooms.</p>
<p><i>Policy 26. Any future adaptation of the interior to suit new uses should aim to retain the entrance lobby and lounge hall. Alterations should maintain and conserve fabric of high significance as identified in Sections 6.5 and 6.6.</i></p>	<p>It is proposed to retain the entrance lobby and lounge hall. Refer to elsewhere in this assessment of fabric affected.</p>
<p><i>Policy 27. New and future uses should interpret the original division of spaces and levels of the building, such as the incorporation of ceiling or floor inlays.</i></p>	<p>As it is proposed to remove the majority of the interiors of Wilkinson House, it is proposed to incorporate ceiling and floor inlays to interpret the original division of spaces throughout the building. Within the new GLAs, ceiling inlays are proposed, while in the common areas, it is proposed to incorporate bronze inlays into the terrazzo flooring to interpret the original floor plan.</p>
<p><i>Policy 28. New internal fitouts to Wilkinson House are acceptable provided the identified heritage values and significance of Wilkinson House are maintained or interpreted</i></p>	<p>While the proposed adaptive reuse of Wilkinson House does propose substantial internal changes, the identified heritage values and significance of the Wilkinson House will be maintained and interpreted, as discussed elsewhere in this impact assessment.</p>
<p><i>Policy 29. Uses should enhance the appreciation of the site's heritage values and significance, ensure the conservation of the identified significant building elements, fabric and context as identified in this CMP (Part 2) and Part 1 CMP, and accommodate the</i></p>	<p>Wilkinson House will continue to be used by SCEGGS Darlinghurst in order to continue to provide a high-quality educational environment. In order to ensure that the significance of Wilkinson House, as it relates to Emil Sodersten's design, is retained, elements that have been</p>

<i>activities, services and fittings which are essential to the use without damaging significant elements and fabric.</i>	identified as being of most significance to the building are to be retained. Where elements are proposed to be removed, robust heritage interpretation is proposed.
<i>Policy 30. New services (eg fire safety provisions, lift, air conditioning, toilets etc) required for upgrades or new use should avoid damage, destroying or compromising the buildings or any interior spaces, element and fabric of high significance.</i>	New services are proposed throughout the interiors of the building as all require upgrading. The proposed new services will not affect the entrance lobby and lounge hall that are to be retained, with all new elements to be incorporated into the new interiors of the building.
<i>Policy 38. Major vertical additions to Wilkinson House may not be appropriate if they require change to the outer roof form. New additions should be setback from the ridgeline and should retain the visual prominence of the original roof form from Forbes and St Peters Street.</i>	No major vertical additions are proposed. However, a slight increase is proposed to accommodate the new roof form that contains the additional storey to the building. The proposed slight increase in height will not exceed the western parapet wall height. The outer roof form will be maintained, although will be constructed in new materials.
<i>Policy 40. New additions to Wilkinson House are appropriate to the west and south, provided that sufficient setback is provided from Forbes and St Peters Street, such that the original form and facades remain visually prominent and where any additions are recessive and sympathetic in terms of their form, materiality and detailing.</i>	A new addition is proposed to the south of Wilkinson House. Sufficient setbacks are incorporated, and the original form and facades will remain visually prominent from Forbes and St Peters Street. The overall form, materiality and detailing is of a lightweight structure that does not compete with Wilkinson House.
<i>Policy 41. The form, scale, general configuration and principal elevations (north and east) of Wilkinson House identified as having high significance should be retained and conserved. Modifications to the south elevation is permitted, provided that any new design complements the architectural character of Wilkinson House and incorporates appropriate setbacks.</i>	<p>Overall, the north and east facades are proposed to be retained intact, excluding the proposed changes to the ground floor north elevation which proposes minor changes to the existing infilled garage door openings. The proposed new infills at this portion of the north elevation will complement the architectural character of Wilkinson House and will introduce a complementary contemporary modification to the façade.</p> <p>Modifications are also proposed to the south elevation, however these are limited to the western most bays of the elevation in order to link with the proposed lift structure. The proposed new lift structure will act as a light addition to Wilkinson House, featuring primarily glazing that will still allow views through to the southern façade. Appropriate setbacks have been incorporated and while overall the addition is marginally taller than Wilkinson House, given the overall narrow form of the addition, this increased height is not considered to have a detrimental impact.</p>
<i>Policy 42. The primary elevations of Wilkinson House (north and east) are highly intact. There should be no further openings to the original elevations graded as high significance.</i>	No further openings are proposed to the north or south elevations. Modifications to the previously modified ground floor north façade are proposed, as discussed above, and are considered to be respectful and appropriate.

<p><i>Policy 43. Modifications to the basement level north elevation are appropriate. Any proposed new materials to be introduced to this façade must use high quality materials that are complementary to the character of Wilkinson House Any proposed alterations and additions should have regard for the proportions and fenestration of the original façade and must incorporate a high proportion of solid to void to express the base of the building.</i></p>	<p>The proposed new materials to be introduced to the basement level north elevation will include glass bricks and high-level windows. The glass bricks reference the brick materiality of Wilkinson House, while also allowing for sufficient light to permeate into the new Sports GLA.</p>
<p><i>Policy 44. Removal of the existing staircase connecting Wilkinson House to the Centenary Sports Hall and JFSTC is encouraged. Any new addition to the south façade should maintain an adequate setback from Forbes Street and should ideally retain views to the three eastern most bays of the south elevation to ensure appreciation of Wilkinson House in the round from Forbes Street. Any proposed development to the south should also have regard for the scale of Wilkinson House and ensure that the heritage item remains visually prominent in the streetscape.</i></p>	<p>The existing external staircase is proposed to be removed and to be replaced with a new glass lift structure. The proposed addition will maintain adequate setback from Forbes Street and will not obstruct the three eastern most bays of the façade. The overall form, height and detailing of the proposed addition will ensure the addition has a light touch to Wilkinson House and will ensure that the building remains visually prominent within the streetscape.</p>
<p><i>Policy 45. Modifications to the west façade, including the lightwell, are appropriate, provided that interpretation of the location of the original lightwell is incorporated into any new design.</i></p>	<p>Modifications are proposed to the west façade, which include the removal of all existing windows and enlargement and the removal of the original lightwell. However, it is proposed to interpret the original lightwell through the proposed new location of the central circulation staircase and the use of a glazing across the portion of the west façade where the lightwell was previously located. The new circulation spine staircase interprets the impression of the lightwell and continues the function of the lightwell in this space.</p>
<p><i>Policy 46. Any original fabric removed from either the south or west elevations should be reused within the building or salvaged for future reinstatement or for use in repairs.</i></p>	<p>It is recommended that a Schedule of Conservation Works to be prepared as part of the construction documentation to provide strategies for the salvage and reuse of any elements of significance that are to be removed as part of the proposed works. If elements cannot be used on site or utilised in the future for repairs or reinstatement, it is considered appropriate for these elements to be sold to a second-hand dealer.</p>
<p><i>Policy 50. The existing fenestration should be maintained and conserved. This includes make good works to the frames of existing doors and windows</i></p>	<p>The existing fenestration ranked as being of high significance, including doors and windows, is proposed to be maintained and conserved.</p>
<p><i>Policy 51. The original balconies are retained in their original form (excluding two balconies on Level 1 which have been altered and enclosed). The original balconies to the east and north facades should be retained in the first instance. However, the balconies have been assessed to be of moderate significance and</i></p>	<p>It is proposed to be remove all balconies within Wilkinson House, as their retention does not facilitate open plan internal teaching spaces. It is proposed to infill the balcony openings with new glazing that is setback behind the columns of the balconies to maintain the impression of the original balconies. The proposed new steel</p>

<p>are not considered to make a defining contribution to the building facades other than to provide a sense of depth and articulation. Removal/ infill of balconies is able to be supported, where required to facilitate open plan internal teaching spaces and in accordance with the following guidelines:</p> <ul style="list-style-type: none"> - Balconies should not simply be infilled with windows, the façade should maintain a sense of depth and articulation. - Any infill should be setback behind the Doric columns. - Transparent materials, such as glazing, are preferred to ensure the balcony openings continue to be read as open spaces. - French doors and other identified significant components should be salvaged for reuse. 	<p>windows to be inserted reference the original Emil Sodersten design. The existing French doors to all balconies are recommended to be salvaged, however it has not been identified at this stage if they can be reused on site.</p>
<p><i>Policy 52. The half hipped roof with sprocketed eaves is prominent in views from Forbes and St Peters Street. The roof should preferably be maintained and conserved. Where a new roof is proposed, new works should maintain the expressed outer roof form, boarded eaves and decorative vent panels.</i></p>	<p>It is proposed to remove and replace the entire roof to facilitate the addition of one floor within the existing ridge height of the building. The new roof will conform with the original exterior half-hipped roof form, however the internal form will be a flat roof. The new outer roof form will be clad with cooper sheeting, with angled blades and high-level operable windows. The boarded eaves and decorative vents panels will be removed and replaced, as it is suspected that these elements contain asbestos. The new boarded eaves and vent panels will be designed to match the existing.</p>
<p><i>Policy 53. The existing Marseille roof tiles to Wilkinson House are not original. The roof cladding may be replaced with new materials provided that they are in keeping with the character and overall materiality/ palette of the building</i></p>	<p>The existing Marselle roof tiles are proposed to be removed and replaced with copper sheeting. The use of copper is appropriate and is in keeping with the character and overall materiality/palette of the building.</p>
<p><i>Policy 59. The existing security bars to all balconies should be removed and any penetrations made good. Any future security measure required to the balcony openings should ensure the original balcony openings are maintained</i></p>	<p>All existing security bars are proposed to be removed. New windows are proposed to all balcony openings on the north and east façades. These will be setback from facades to ensure the interpretation of the original balconies.</p>
<p><i>Policy 66. The original entrance lobby and lounge hall should be maintained and conserved, including all of its original features as identified in the schedule of significant elements. Access to the space from Forbes Street should be re-established, even if only on special occasions.</i></p>	<p>The original entrance lobby and lounge hall are to be maintained and conserved. It is the intent that access from Forbes Street, through the original entrance will be re-established, however only for special occasions due to security risks for the school.</p>

<p><i>Policy 67. The original staircase and its associated vestibules should in the first instance be retained. If its removal is required to ensure the ongoing use of the place for educational purposes in association with SCEGGS Darlinghurst, the timber balustrade should be considered for salvage and interpreted on site. Interpretation of the use of terrazzo flooring is also encouraged.</i></p>	<p>The original staircase is proposed to be removed and reinterpreted. While the staircase is of moderate significance, it is recognised that it is not compliant with NCC standards. It does not provide sufficient width for use by the school and the treads and risers are inconsistent, leading to safety issues. The staircase cannot be upgrade without substantial changes, by which time the original fabric would need to be substantially modified. Instead, it is proposed to salvage and reuse the existing balustrade as part of an art piece. To further aid in the stair's interpretation, terrazzo flooring is proposed through the common areas and the location of the staircase is proposed to be interpreted in bronze floor inlays.</p>
<p><i>Policy 68. The original layout of the flat building has been substantially degraded overtime and is not considered to be intrinsic to the significance of Wilkinson House. Alterations to the floor layout are acceptable, provided that interpretation of the original floor layout is incorporated into any new design. This could include new floor and/or ceiling inlays that interpret the original layout</i></p>	<p>It is proposed to remove all interior walls and floors of Wilkinson House, excluding the entrance foyer and lounge hall. In order to interpret the original configuration of the building, both floor and ceiling inlays are proposed. Floor inlays are proposed in the new common areas of the building, while the original floor layout will be interpreted throughout all new ceilings in the new GLAs.</p>
<p><i>Policy 69. If changes are proposed to the interiors that would remove the original cornices, skirtings, architraves and picture rails, they should be salvaged and in the first instance reused on site or sold to a second hand materials dealer.</i></p>	<p>The details of the salvage and reuse of the original cornices, skirtings and picture rails has not been determined at this point. However, if these elements cannot be salvaged and reused within the building, it is recommended that these items be salvaged and sold to a second hand dealer.</p>
<p><i>Policy 76 The existing entrance lobby and lounge hall are set at a lower level than the rest of the ground floor. Any proposed new solution to achieve equitable access into and out of this space should be designed to ensure elements of high significance are retained and minimal impact is experienced. Any proposed solution for access this area should be design in consultation with an appropriately qualified heritage consultant.</i></p>	<p>The entrance lobby and lounge hall will be retained. However, in order to allow for better access to and from the space, it is proposed to remove the existing terrazzo steps located at the western side of the space and for these to be replaced with a new set of six steps, constructed of terrazzo. This modifications are considered to be acceptable and will ensure that the entrance foyer and lounge hall remain accessible and an integral part of the building in its new phase of life.</p>

6.3. ADAPTIVE REUSE PRINCIPLES

The City of Sydney Council provided agency advice in relation to the SEARs for SSD 19989744 on 7 June 2021. Council noted the following in relation to the principles of adaptive reuse:

The applicant must also consider the definition of adaptive reuse under Cracknell & Lonergan Architects Pty Ltd v Council of the City of Sydney [2016] NSWLEC 1159. Importantly, Commissioner O'Neill stated "adaptively re-using a building means coming to terms with the existing fabric, juggling the constraints and opportunities it presents and using the existing fabric to provide a stimulus for the re-interpretation of the building."

The full quotation regarding adaptive reuse, as defined by Susan O'Neil, stated that:

"In my view, the proposal cannot be described as an adaptive re-use of the existing building, because adaptive re-use is more akin to recycling a building. This proposal is to retain parts of two facades and gut the interior of the existing building. Adaptive re-use means adapting a place to suit the existing use or a new use (The Australia ICOMOS Charter for Places of Cultural Significance, 2013). This building has been significantly modified and I accept that a robust architectural solution may be appropriate as a new and contemporary layer to the existing, including new insertions and additions; however this proposal fundamentally fails to respect the integrity of the existing fabric, making it unsympathetic to the existing building and eroding the contribution the existing building makes to Ultimo CA. Adaptively re-using a building means coming to terms with the existing fabric, juggling the constraints and opportunities it presents and using the existing fabric to provide a stimulus for the re-interpretation of the building."

The proposed adaptive reuse at the centre of this definition was for alterations and additions to 461 Harris Street, Ultimo. In summary, the proposed works included:

- Modifying the majority of openings and installing new, unsympathetic windows/Juliet style infill windows.
- Removing the existing roof and replacing with a different pitch roof with large dormer windows
- Demolishing a portion of the Harris Street façade
- Removing all interior elements and reworking the floor levels from two to three levels

The overall effect effectively degraded the integrity of the whole building, particularly the façade which made the most contribution to the HCA. It was no longer readily recognisable as an 1880s building. Subsequent to this, another alterations and additions proposal was submitted for the site and approved in the following year (D/2016/1347). The proposed new scheme retained the roof and the internals were still substantially demolished, however the external appearance and character of the place remained the same, unlike the earlier proposal.

The proposed adaptive reuse of Wilkinson House, while proposing substantial demolition of the interiors of the building, does not result in the same outcome as the proposal Commissioner O'Neil objected to at 461 Harris Street, Ultimo. The proposed design for the adaptive reuse of Wilkinson House:

- Maintains the majority of all window and door openings that are ranked as being of High significance
- While removing the existing roof, the proposed new roof reflects the original roof form and interprets the vertical articulation of the roof cladding as per the original drawings of Emil Sodersten
- While removing the interiors of the building, the new floor levels closely match the original floor levels
- The entrance foyer and lounge hall are maintained.
- The proposed use of Wilkinson House ensures the continued use by SCEGGS Darlinghurst and maintains this association.

The proposed design for the adaptive reuse of Wilkinson House has been designed and refined through multiple consultations with the City of Sydney, DPIE, Governments Architects and through consultation with the community. The resulting design has also been informed by the Conservation Management Plans prepared for the SCEGGS Darlinghurst campus (Part 1) and Wilkinson House (Part 2), to ensure that the proposed design of the adaptive reuse of the building is sympathetic and appropriate to its significance and fabric.

It is considered that the adaptive reuse of Wilkinson House has come to terms with the existing fabric, and has juggled the constraints and opportunities it presents with the existing fabric providing a stimulus for the re-interpretation of the building, just as Commissioner O'Neill proposes.

6.4. SEARS RESPONSE

The below table provides a response to the SEARs for the STAGE 1 SSDA which were issued on 21 June 2021 in response to Condition 8. The remainder of Condition 8 relates to the preparation of a Historical archaeological assessment, which has been separately prepared. The preparation of the separate Historical Archaeological Assessment satisfies the remaining portion of this condition.

Table 6 – Response to SEARS

Key Issue	Discussion
8 Heritage	
- Address the conditions imposed under SSD-8993 in relation to Heritage and Wilkinson House.	This HIS also satisfies part of Condition B3 of the approved SSDA-8893.
<p>- Provide a Statement of Heritage Impact (SOHI) prepared by a suitably qualified heritage consultant in accordance with the guidelines in the NSW Heritage Manual (Heritage Office and DUAP, 1996) and Assessing Heritage Significance (OEH, 2015). The SOHI is to address the impacts of the development on the heritage significance of the site and adjacent areas and is to identify:</p> <ul style="list-style-type: none"> o how the development is consistent with any relevant Conservation Management Plan. o all heritage items (state and local) within the vicinity of the site including built heritage, landscapes and archaeology, curtilage and setting of the items, detailed mapping of these items, and assessment of why the items and site(s) are of heritage significance. o the impacts of the development on heritage item(s), heritage significance or cultural heritage values of the site, including visual impacts, required BCA and DDA works, new fixtures, fittings and finishes, any modified services. o the attempts to avoid and/or mitigate the impact on the heritage item(s), heritage significance or cultural heritage values of the site. o the attempts to interpret the heritage significance identified into the development. o justification for any changes to the heritage fabric or landscape elements including any options analysis 	<p>This HIS has been prepared by a suitably qualified heritage consultant in accordance with the relevant guidelines prepared by Heritage NSW.</p> <p>Section 6.2 provides a response to the relevant conservation policies contained in the Part 1 and 2 CMPs for the SCEGGS Darlinghurst campus and Wilkinson House. It is demonstrated the development is consistent with both of these documents.</p> <p>Section 4.2 identifies the relevant heritage listings for the subject site and the surrounding heritage items. The heritage significance of Wilkinson House and the East Sydney HCA are outlined in section 4.3.</p> <p>The impact of the proposed works, mitigation of heritage impact, heritage interpretation and justification for changes to heritage fabric are addressed throughout this section (Section 6).</p>

6.5. HERITAGE INVENTORY RECOMMENDED MANAGEMENT

The existing recommended management contained in the Heritage Inventory form for the SCEGGS Darlinghurst campus are substantially out of date and make reference to recommended management principles established as part of the Tanner & Associates Heritage Assessment prepared in 1999. As these recommended management policies were superseded by the 2001 CMP prepared for Wilkinson House by GML and now the conservation policies as established in the 2021 Parts 1 and 2 CMPs for the SCEGGS Darlinghurst campus and Wilkinson House, it is considered that these recommended management guidelines are no longer relevant and are outdated.

The following table only provides an assessment against the relevant East Sydney HCA recommendation management guidelines.

Table 7 – Response to Heritage Inventory Recommended Management Guidelines

Recommended Management	Discussion
<p>1. Protection of Significance</p> <p>(b) Key Period Significant (Contributory) Development:</p> <ul style="list-style-type: none"> - Retain 1 Storey Workers Cottages - Retain 1-2 Storey Victorian / Federation terraces - Retain Victorian / Federation / Public Buildings - Retain Victorian / Federation Inter-war / Retail Strip - Retain Victorian Federation / Inter-war Shops/Hotels - Retain Scale - Maintain building alignment - Retain form - Retain finishes and detail, including now rare slate roofs - Reinstate verandahs, front fences, lost detail - Additions to rear not to exceed ridge height and retain original roof form 	<p>(b) No Victorian or Federation period buildings will be impacted by the proposed works. However, the overall scale, form, alignment of Wilkinson House will largely be retained, as discussed previously within this assessment.</p>
<p>3. Enhance Significance of Area</p> <ul style="list-style-type: none"> - Establish/maintain and enhance street planting to unify streetscape - Provide landscape screening to detracting sites 	<p>The existing two street trees on Forbes Street are proposed to be retained and further supplemented with a footpath verge for additional landscaping, enhancing the streetscape presentation of the site from the public domain.</p>
<p>6. Contributory Buildings</p> <p>Contributory buildings should be retained and conserved. A Heritage Assessment and Heritage Impact Statement should be prepared for contributory buildings prior to any major works being undertaken. There shall be no vertical additions to such buildings and no alterations to the façade of the building other than to reinstate original features. Any additions and alterations should be confined to the rear in areas of less significance, should not be visibly prominent and shall be in accordance with the relevant planning controls.</p>	<p>Wilkinson House is considered to be a contributory item. The most significant portions of Wilkinson House are proposed to be retained and conserved as part of the adaptive reuse of the building.</p> <p>This HIS as well as the CMPs, both Parts 1 and 2, have been prepared to satisfy conditions of consent from SSDA 8993 and for the Stage 1 SSDA for the proposed adaptive reuse of Wilkinson House.</p> <p>A small vertical addition is proposed to Wilkinson House; however, this is limited to within the ridgeline of the building and as such is considered to be appropriate.</p> <p>From the public domain, the visible additions and alterations to Wilkinson House are largely limited to the new roof, new windows and infill and the ground floor north elevation, the recessed infill of existing balconies</p>

Recommended Management	Discussion
	and the proposed new lift addition to the south of Wilkinson House. All external alterations and additions are considered to be sympathetic to the significance of Wilkinson House and will not detract from the building's contribution to the East Sydney HCA, as discussed elsewhere within this impact assessment.

6.6. HERITAGE NSW GUIDELINES

The proposed works are addressed in relation to relevant questions posed in Heritage NSW's (former Heritage Office/Heritage Division) 'Statement of Heritage Impact' guidelines.

Table 8 Heritage NSW Guidelines

Clause	Discussion
The following aspects of the proposal respect or enhance the heritage significance of the item or conservation area for the following reasons:	<p>The proposed adaptive reuse of Wilkinson House is considered to respect the heritage significance of the building, the SCEGGS Darlinghurst campus and the East Sydney HCA.</p> <p>The primary goal of the project is to both conserve the significance of Wilkinson House while also providing a building for SCEGGS that delivers a high-quality learning facility that delivers large, flexible learning spaces to accommodate the Schools ambitions over the next 20 years and beyond. The design strategy demonstrates a sensitive adaptive reuse proposal that will secure the future of Wilkinson House as an environmentally sustainable place of learning that continues to be joyful and inspiring to students and staff.</p> <p>Externally the proposed design retains the north, and east facades, while proposing some minor intervention to the south façade to provide links between Wilkinson House and the new lift structure. These are primarily contained to areas that have previously been altered and to two balcony brick balustrades that are proposed to be removed. The overall change this façade is considered to be appropriate given this portion of the façade has been altered previously and is minimally visible from the public domain. The existing brick infill at the basement level north facade is proposed to be replaced with glass brick and high-level windows. This change is considered to be a positive, and will still retain the understanding of the original function of this portion of the elevation. Modifications to the west façade for the incorporation of new window and the introduction of the interpreted lightwell to the new internal staircase respect the moderate significance of these elements.</p>

Clause	Discussion
	<p>The proposed modifications to the roof including a new material finish in cooper with angled blades and clerestory operable windows respects the original form and design by Emil Sodersten. The overall outer roof form will be maintained ensuring that the architectural character of Wilkinson House is maintained.</p> <p>While the proposals seeks to remove the majority of internal fabric (excluding the entrance lobby and lounge hall which was to be retained) emphasis had been placed on interpreting elements that are to be removed. This includes interpretative elements such as: floor and ceiling inlays for understanding of the original layout of the building; interpretation of the lightwell location with new circulatory and staircase space; use of terrazzo flooring through the common areas, and interpretation of the original staircase in a new art piece.</p> <p>While a new floor structure and floor levels are proposed. the new floor structure will not interrupt any of the existing openings of the building. The roof top addition was also be located within the existing ridge height of the western parapet wall. The removal of the majority of the internal fabric has resulted in a concept that effectively utilises the floor plates and allows for large and useable GLAs that could be used for a variety of purposes by the School. Given this, the proposed interpretation devices were considered to be an appropriate compensation for the removal of original internal fabric.</p> <p>The proposed new lift core to the south has been resolved over a series of design refinements that will result in a lightweight addition to the south of Wilkinson House that will lightly attach to the buildings south façade. While overall a taller structure, the substantial setback from Forbes Street and the narrowness of the overall form and its overall transparency, ensures that the structure is read as a lightweight addition that complements the robustness of the brick of Wilkinson House.</p> <p>As the overall external character and form of Wilkinson House will only be minorly altered through the addition to the south and new roof, it is considered that there are no detrimental impacts to either the SCEGGS Darlinghurst campus, the East Sydney HCA or the surrounding heritage items.</p> <p>Overall, the proposed adaptive reuse of Wilkinson House is considered to respect the significance of the building and will ensure that a balance is met between the</p>

Clause	Discussion
	<p>tangible and intangible significance of the building while allowing for the building to be transformed into an asset for SCEGGS that will serve the educational needs of the school into the future.</p>
<p>The following aspects of the proposal could detrimentally impact on heritage significance.</p> <p>The reasons are explained as well as the measures to be taken to minimise impacts:</p>	<p>The aspects of the proposal which could have detrimentally impacted on the heritage significance of Wilkinson House have been mitigated through a variety of mitigation measures such as through substantial interpretation as outlined above and throughout this assessment.</p>
<p>The following sympathetic solutions have been considered and discounted for the following reasons:</p>	<p>Other solutions had been considered that retained marginally more fabric of Wilkinson House, as is explored in Section 7.7.6 of the Part 2 CMP. The proposed design of Smart Design Studio is considered to be a contemporary design that balances the heritage values of the place while also meeting the future needs and requirements of the School.</p> <p>Further the proposed design, as submitted, has been subject to numerous refinements following consultation with DPIE, the City of Sydney and through community consultation. The adjustments made to the design are summarised within the <i>Wilkinson House Design Report</i> prepared by Smart Design Studio.</p>

7. CONCLUSION AND RECOMMENDATIONS

A detailed impact assessment of the proposed works has been undertaken in Section 6 of this report. A detailed impact assessment of the proposed works has been undertaken in Section 6 of this report. The proposed adaptive reuse of Wilkinson House is considered to respect the heritage significance of the building, the SCEGGS Darlinghurst campus and the East Sydney HCA for the following reasons:

- The primary goal of the project is to both conserve the significance of Wilkinson House while also providing a building for SCEGGS that delivers a high-quality learning facility that delivers large, flexible learning spaces to accommodate the Schools ambitions over the next 20 years and beyond. The design strategy demonstrates a sensitive adaptive reuse proposal that will secure the future of Wilkinson House as an environmentally sustainable place of learning that continues to be joyful and inspiring to students and staff.
- Externally the proposed design retains the north, and east facades, while proposing some minor intervention to the south façade to provide links between Wilkinson House and the new lift structure. These are primarily contained to areas that have previously been altered and to two balcony brick balustrades that are proposed to be removed. The overall change this façade is considered to be appropriate given this portion of the façade has been altered previously and is minimally visible from the public domain. The existing brick infill at the basement level north facade is proposed to be replaced with glass brick and high-level windows. This change is considered to be a positive, and will still retain the understanding of the original function of this portion of the elevation. Modifications to the west façade for the incorporation of new windows and the introduction of the interpreted lightwell to the new internal staircase respect the moderate significance of these elements.
- The proposed modifications to the roof including a new material finish in cooper with angled blades and clerestory operable windows respects the original form and design by Emil Sodersten. The overall outer roof form will be maintained ensuring that the architectural character of Wilkinson House is maintained.
- While the proposals seeks to remove the majority of internal fabric (excluding the entrance lobby and lounge hall which was to be retained) emphasis had been placed on interpreting elements that are to be removed. This includes interpretative elements such as: floor and ceiling inlays for understanding of the original layout of the building; interpretation of the lightwell location with new circulatory and staircase space; use of terrazzo flooring through the common areas, and interpretation of the original staircase in a new art piece.
- While a new floor structure and floor levels are proposed, the new floor structure will not interrupt any of the existing openings of the building. The roof top addition was also be located within the existing ridge height of the western parapet wall. The removal of the majority of the internal fabric has resulted in a concept that effectively utilises the floor plates and allows for large and useable GLAs that could be used for a variety of purposes by the School. Given this, the proposed interpretation devices were considered to be an appropriate compensation for the removal of original internal fabric.
- The proposed new lift core to the south has been resolved over a series of design refinements that will result in a lightweight addition to the south of Wilkinson House that will lightly attach to the buildings south façade. While overall a taller structure, the substantial setback from Forbes Street and the narrowness of the overall form and its overall transparency, ensures that the structure is read as a lightweight addition that complements the robustness of the brick of Wilkinson House.
- As the overall external character and form of Wilkinson House will only be minorly altered through the addition to the south and new roof, it is considered that there are no detrimental impacts to either the SCEGGS Darlinghurst campus, the East Sydney HCA or the surrounding heritage items.

Overall, the proposed adaptive reuse of Wilkinson House is considered to respect the significance of the building and will ensure that a balance is met between the tangible and intangible significance of the building while allowing for the building to be transformed into an asset for SCEGGS that will serve the educational needs of the school into the future.

For the reasons stated above, the proposed works are recommended for approval from a heritage perspective having regard to the proposed recommendations below.

RECOMMENDATIONS

- Prior to the issue of a Construction Certificate a Photographic Archival Recording should be undertaken of the place and must be prepared in accordance with the NSW OEH Heritage Division's Guidelines for 'Photographic Recording of Heritage Items Using Film or Digital Capture'.
- A suitably qualified heritage consultant should be engaged to provide ongoing advice throughout the design development, contract documentation and construction stages of the project.
- A Schedule of Conservation Works should be prepared by a suitably qualified and experienced heritage consultant prior to the issue of a Construction Certificate.
- A Heritage Interpretation Strategy should be prepared for the site by a suitably qualified heritage consultant as a condition of the DA consent. The Heritage Interpretation Strategy should identify significant themes and narratives for interpretation, as well as identifying locations, media, and indicative content for interpretation. Interpretation should be developed throughout detailed design and construction phases in conjunction with the project architect and other specialists as required.

8. BIBLIOGRAPHY AND REFERENCES

8.1. BIBLIOGRAPHY

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