



HISTORICAL ARCHAEOLOGICAL IMPACT ASSESSMENT

Wilkinson House
SCEGGS Darlinghurst

Prepared for
SCEGGS DARLINGHURST
13/10/2021

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EXECUTIVE SUMMARY

Urbis have been engaged by Sandrick Project Directions on behalf of SCEGGS Darlinghurst (SCEGGS) (The Proponent) to prepare an Historical Archaeological Impact Assessment (HAIA) for the staged redevelopment of the SCEGGS Campus at 215 Forbes Street, Darlinghurst, NSW (the subject area).

This HAIA will accompany an Environmental Impact Statement (EIS) for the State Significant Development Application (SSDA) for the staged redevelopment of the subject area. A SSDA, SSD-8993, for the concept masterplan for the subject area was previously approved by the Independent Planning Commission (IPC) and included the building envelopes, location and land uses envisaged by the 2040 Masterplan for the school. The SSDA Development Consent only applies to the main campus site, excluding 217 Forbes Street and the St Peters Precinct.

The consent approved the concept design for the redevelopment of the campus in three stages:

- Stage 1 – Redevelopment of Stage 1 – Wilkinson House.
- Stage 2 – Conservation works to Barham House and Development of new three storey Administration Building.
- Stage 3 - Demolition of existing buildings and construction of a new six storey Multi-purpose building.

Condition B3 of the Consent for SSD08993 identified that future DAs or new built forms must be accompanied by a Heritage Archaeological Assessment, considering impacts to both Aboriginal and non-Aboriginal archaeology.

This HAIA has been prepared specifically for the Stage 1 redevelopment of Wilkinson House SSDA. However, this HAIA assesses the historical archaeological potential and significance for the whole school site and is intended to be adapted for future stages of development at the school. The findings of this HAIA have been incorporated into the Conservation Management Plans (CMPs) prepared for the SCEGGS Darlinghurst Campus (2021) and Wilkinson House (2021).

The subject area, known as SCEGGS Darlinghurst, is located at 215 Forbes Street, Darlinghurst and is legally described as Lot 200 of Deposited Plan 1255617. SCEGGS is located within the suburb of Darlinghurst to the east of the Sydney CBD. SCEGGS is located to the south of William Street and to the east of Bourke Street.

Wilkinson House is located within the north-eastern portion of the subject area at the corner of St Peters and Forbes Streets.

This Historical Archaeological Impact Assessment has been prepared in accordance with the following guidelines:

- NSW Heritage Manual (Heritage Division, 1996)
- the Australia ICOMOS Burra Charter (2013)
- *Historical Archaeology Code of Practice* (Heritage Division, 2006)
- *Assessing Significance for Archaeological Sites and 'Relics'* (Heritage Division, 2009)
- *Assessing the Research Potential of Historic Sites* (Bickford, A., and Sullivan, S., 1984)

Archaeological Potential

Barham House Outbuildings and Gardens (1835)

Historical maps and sources indicate that Barham House was surrounded by extensive gardens, a carriage circle, stables and outbuildings. An 1888 map shows two outbuildings located to the east of the Barham House. An overlay of this map with a map of the existing site reveals that the former outbuildings would have been located within the footprint of the 1930 additions. A 1904 photograph indicates the location of stables to the south of the Chapel Building. The landscape immediately surrounding Barham and the Chapel building have been subject to relatively low disturbance since the establishment of the school in 1900. There is therefore low-moderate potential for evidence of the former stables and outbuildings. Evidence of the former gardens may also survive in the form of landscaping, foundations of retaining walls, postholes and archaeobotanical deposits.

Stone Cottage (c. 1835)

An 1835 map indicates the presence of a stone cottage at the corner of Forbes and St Peters Streets in the current location of Wilkinson House. This cottage was likely used for housing workers during this period. Based on the early date of construction, the cottage likely consisted of stone slab foundations. Construction of Wilkinson House in 1926 involved terraced excavation to accommodate a partial basement. These works are likely to have removed evidence of this former structure. It is therefore assessed that there is low potential for evidence of the stone cottage within the footprint of Wilkinson House.

Terraces (1888)

An 1888 map indicate the location of a series of terraces along the Bourke Street frontage in the location of the existing Science and Library buildings and the Primary School. Casey & Lowe (2018) concluded that evidence of the Bourke Street terraces was likely to have been removed through the impacts associated with the construction of these buildings. Some archaeological potential was ascribed to the area to the east of the Science and Library buildings on the grounds that the rear yards of the terraces may yield evidence of the allotments' use and occupation. The area indicated in the potential map (Figure 20) does not, however, accurately reflect the location of the rear yards, which would have been within the footprint of the buildings and to the west of the quarry face. The Science and Library buildings are built into the sandstone bedrock and do not contain full basement levels. Likewise, the lowest floor of the Primary School building is roughly level with Bourke Street. As such, the potential for evidence of the former Bourke Street terraces, in the form of structural remains, occupational deposits and casual finds, is assessed as low-moderate within the footprint of these buildings.

Archaeological Significance

There are few historical plans and maps which detail the configuration of the Barham Estate in the early 19th century. Evidence of the former outbuildings, stables and gardens may have potential to yield information about the layout and operations of the estate which cannot be garnered from available historical resources. These may also have significance at a local level for their ability to reflect the ambitions of an early 19th century estate.

Evidence of the stone cottage within the north-eastern portion of the site may reflect the spatial relationships and organisation of the early estate. Occupational evidence associated with the former cottage, including rubbish pits, cesspits and casual finds, may yield information about the living conditions and class differences experienced by estate staff during this early period. These would have significance at a local level.

Subsurface evidence of the former late-19th century terraces in the location of the existing Science, Library and Primary School buildings, may provide physical evidence of the early subdivision patters which were established in this area and would have significance at a local level.

The extant worked quarry faces located within the western portion of the subject area have aesthetic significance as they provide an attractive and easily legible reminder of the historical use of the site as an important quarrying site in the early 19th century. They are demonstrative of a period in Sydney's early history when quarries established throughout the north-eastern suburbs provided valuable sandstone for the construction of municipal buildings, private dwellings and infrastructure and roadways throughout Sydney.

Impact Assessment

This HAIA has established that there is low potential for the proposal to impact on archaeological resources associated with the early 19th century stone cottage and late 19th century terraces within the Wilkinson House site.

Despite various earlier structures having occupied the Wilkinson House site, this HAIA has established that the site has low archaeological potential. Construction of Wilkinson House in 1926 involved terraced excavation to accommodate a partial basement. These works are likely to have removed or significantly dislocated evidence of the former cottage and terraces. Geotechnical investigations for the adjacent JFSTC identified a subsurface profile of 1 metre fill overlying weathered sandstone and then medium strength sandstones from depths of 0.35-1 metre. It is therefore probable that excavation works associated with the construction of Wilkinson House removed most of the shallow, archaeologically sensitive soil profile from the site.

In the unlikely event that evidence of these earlier structures, or associated occupational deposits, are encountered during the proposed works, these may have local heritage significance and additional investigation should be undertaken as outlined in the recommendations below.

Recommendations

Recommendation 1 – Excavation Permit Exception

An application should be made for an Excavation Permit Exception under Section 139(4) of the *Heritage Act 1977*. In the event that potential relics are identified during the course of archaeological monitoring, mechanical excavation must immediately cease, Heritage NSW be contacted and an application be made for an Excavation permit under Section 140 of the *Heritage Act 1977*.

Recommendation 2 – Archaeological Monitoring

Archaeological monitoring should be undertaken throughout any works which would disturb the ground surface.

In general, archaeological monitoring should adhere to the following:

- Demolition should be undertaken in such a way as to minimise impacts to foundations and subsurface structures. The archaeologist should initially be consulted about the proposed demolition methodology.
- An archaeologist should be present at all times during the lifting of current hard surfaces, excavation and/or other activities that result in ground disturbance.
- Where a mechanical excavator is used, it must have a flat or mud bucket, rather than a toothed bucket, to ensure a level ground surface.
- All machinery should work backwards from a slab surface in order to avoid damage to any exposed archaeological relics.
- Fills should be removed sequentially in reverse order of deposition, starting with any imported fill and overburden, which reflect the archaeological stratigraphy and as instructed by the archaeologist.
- If archaeological relics are identified by the monitoring archaeologist, work must stop immediately, the area be cordoned off and the find safely retained in situ. Further assessment and recording of the find will be required, following the methods outlined in Section 6.2 of this report.

1. INTRODUCTION

1.1. PROJECT BACKGROUND

Urbis have been engaged by Sandrick Project Directions on behalf of SCEGGS Darlinghurst (SCEGGS) (The Proponent) to prepare an Historical Archaeological Impact Assessment (HAIA) for the staged redevelopment of the SCEGGS Campus at 215 Forbes Street, Darlinghurst, NSW (the subject area).

This HAIA will accompany an Environmental Impact Statement (EIS) for the State Significant Development Application (SSDA) for the staged redevelopment of the subject area. A SSDA, SSD-8993, for the concept masterplan for the subject area was previously approved by the Independent Planning Commission (IPC) and included the building envelopes, location and land uses envisaged by the 2040 Masterplan for the school. The SSDA Development Consent only applies to the main campus site, excluding 217 Forbes Street and the St Peters Precinct.

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- Stage 1 – Redevelopment of Stage 1 – Wilkinson House.
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- Stage 3 - Demolition of existing buildings and construction of a new six storey Multi-purpose building.

Condition B3 of the Consent for SSD08993 identified that future DAs or new built forms must be accompanied by a Heritage Archaeological Assessment, considering impacts to both Aboriginal and non-Aboriginal archaeology.

This HAIA has been prepared specifically for the Stage 1 redevelopment SSDA. However, this HAIA assesses the historical archaeological potential and significance for the whole school site and is intended to be adapted for future stages of development at the school. The findings of this HAIA have been incorporated into the Conservation Management Plans (CMPs) prepared for the SCEGGS Darlinghurst Campus (2021) and Wilkinson House (2021)

1.2. SITE LOCATION

The subject area, known as SCEGGS Darlinghurst, is located at 215 Forbes Street, Darlinghurst and is legally described as Lot 200 of Deposited Plan 1255617. SCEGGS is located within the suburb of Darlinghurst to the east of the Sydney CBD. SCEGGS is located to the south of William Street and to the east of Bourke Street.

For a full site description of the SCEGGS Darlinghurst campus (the subject area), including descriptions and assessment of views, character, existing layout and condition assessment of relevant buildings, please consult:

- Conservation Management Plan – SCEGGS Darlinghurst
- Conservation Management Plan – Wilkinson House, SCEGGS Darlinghurst campus
- Conservation Management Plan – Barham House, SCEGGS Darlinghurst campus (to be completed)
- Conservation Management Plan – Church Building, SCEGGS Darlinghurst campus (to be completed)

Wilkinson House is located within the north-eastern portion of the subject area at the corner of St Peters and Forbes Streets (Figure 2).

1.3. THE PROPOSAL

The following summary of the proposal is extracted from the *Wilkinson House Design Report* (Smart Design Studio 2021):

Wilkinson House presents a rare opportunity to reinvent a historically significant and much-loved building to meet the aspirations and practical requirements of SCEGGS. As a significant heritage-listed building, originally constructed in 1928 and designed by architect Emil Sodersten, the building is no longer able to meet the current or future needs of the school, and compliance with current codes and standards.

The primary goal of the project is to create large, flexible and well-lit learning spaces that can accommodate the school's evolving teaching ambitions for the next twenty-plus years. Our design strategy focuses on achieving this by reinventing Wilkinson House from the inside out, as a place that is joyful and inspiring for students and staff; a place they look forward to using every day and that will stand the test of time.

The proposed adaptive re-use of Wilkinson House includes the following scope of works:

- *Retain existing external perimeter walls/facades.*
- *Undertake minor external alterations, including restoring heritage façades by removing unsympathetic additions eg. security bars to balconies.*
- *Retain existing ground floor entry and foyer off Forbes Street.*
- *Demolish internal stairs, walls, floors and ceilings to all levels, and excavate basement level.*
- *Demolish existing tiled roof and roof structure.*
- *Construct new internal learning spaces, break out spaces, staff rooms, meeting rooms, amenities and stair/circulation over ground, levels 1 & 2.*
- *Construct new level 3 within the roof space, accommodating a boardroom, multi-purpose room, amenities, staff rooms, and a private outdoor roof terrace.*
- *Reconstruct mansard roof in copper with angled blades and clerestory operable windows.*
- *Construct new basement sporting facility which directly connects to the existing Centenary Sports Hall to the south.*
- *Enclose existing balconies with recessed glazing to incorporate balcony spaces as part of the new functional, regular-shaped learning spaces.*
- *Construct new linking structure to the south, to accommodate a lift core for equitable access, circulation and a meeting room. The extension will also connect Wilkinson House to the wider campus.*
- *Upgrade all services including electrical, mechanical, hydraulic, fire, etc*
- *Install 10 demountable classrooms across the campus to fulfil decanting requirements during construction period.*

The subject proposal will require that excavation be taken to a depth of approximately 2.5-3 metres within the southern portion of the Wilkinson House site

The proposal is summarised in Figure 3 and Figure 4 below.

1.4. METHODOLOGY

This Historical Archaeological Impact Assessment has been prepared in accordance with the following guidelines:

- NSW Heritage Manual (Heritage Division, 1996)
- the Australia ICOMOS Burra Charter (2013)
- *Historical Archaeology Code of Practice* (Heritage Division, 2006)
- *Assessing Significance for Archaeological Sites and 'Relics'* (Heritage Division, 2009)
- *Assessing the Research Potential of Historic Sites* (Bickford, A., and Sullivan, S., 1984)

1.5. LIMITATIONS

This historical archaeological assessment has prepared an assessment of potential archaeological remains and their significance. This assessment does not include an assessment of potential impacts to any archaeological resource, detailed archaeological management plans, or an archaeological research

design. Policies regarding the management of potential archaeological remains are contained within Section 9 of the Conservation Management Plan – SCEGGS Darlinghurst, also prepared by Urbis.

Future proposed developments in the area should consider the findings of this HAIA and must be guided by the policies of the CMP.

1.6. AUTHOR IDENTIFICATION AND ACKNOWLEDGEMENTS

The following report has been prepared by Alexandra Ribeny (Consultant, Archaeology) and reviewed by Balazs Hansel (Associate Director, Archaeology).

Unless otherwise stated, all drawings, illustrations and photographs are the work of Urbis.

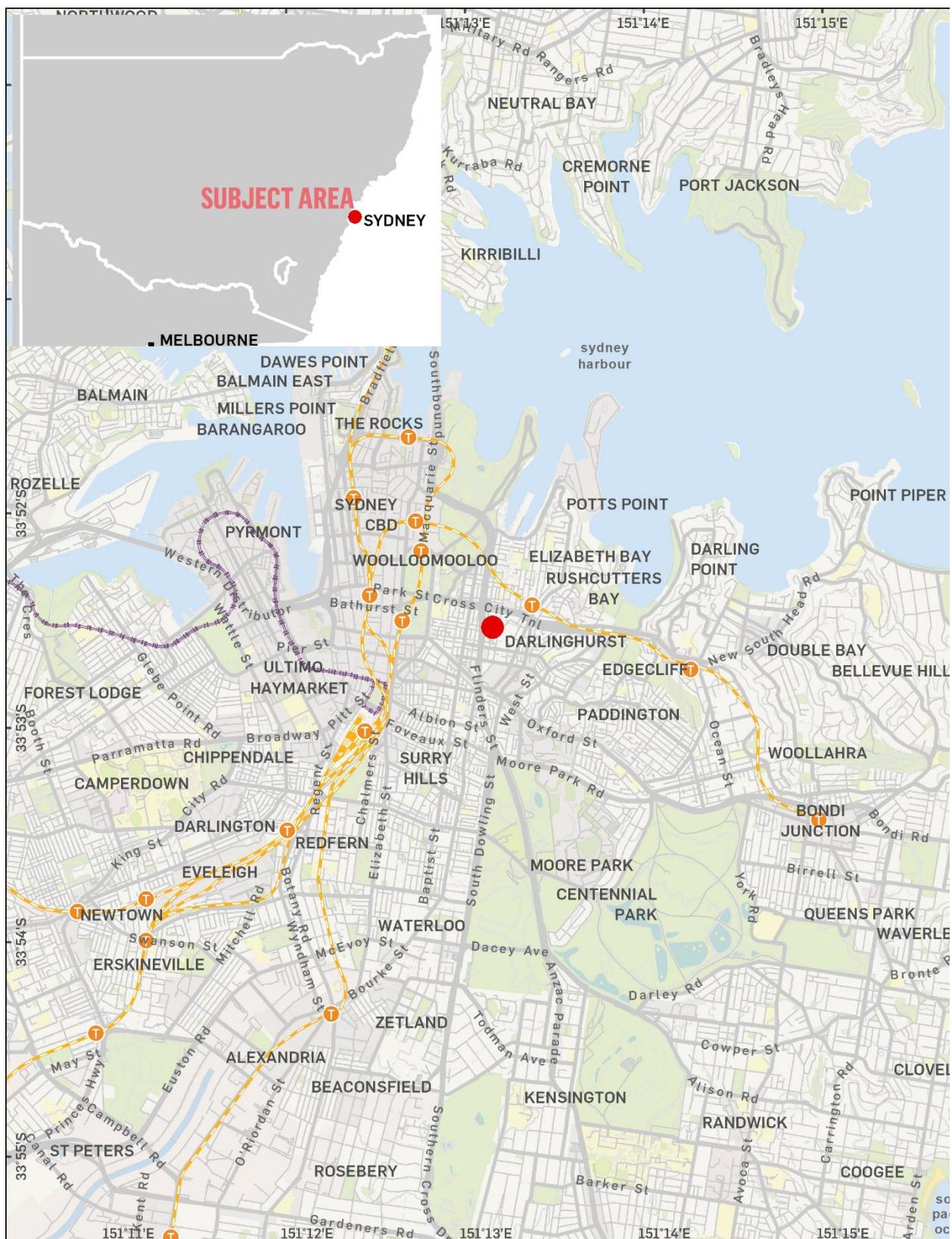
1.7. RELEVANT DEFINITIONS

Relevant terms and definitions used throughout this HAIA are defined in Table 1.

Table 1 – Terms & Definitions

Term	Definition
Archaeological assessment	A study undertaken to establish the nature, extent, and significance (research potential) of archaeological resources that may exist within a particular site and to identify appropriate measures to manage those resources.
Archaeological potential	The degree of physical evidence present at an archaeological site, usually assessed on the basis of physical evaluation and historical research.
Archaeology	The study of past human culture, behaviour and society through the study and analysis of physical remains, including buildings, graves, tools and other objects.
Australia ICOMOS	The national committee of the international Council on Monuments and Sites.
Burra Charter	Charter adopted by Australia ICOMOS, which establishes the nationally accepted principles for the conservation of places of cultural significance. Although the Burra Charter is not cited formally in statutory legislation, it is nationally recognised as a document that shapes the policies of Heritage NSW, Department of Premier and Cabinet.
Conservation	All the processes of looking after an item so as to retain its cultural significance. This includes maintenance and may, according to circumstances, include preservation, restoration, reconstruction, and adaptation, and will commonly be a combination of more than one of these processes.
Conservation Management Plan	A document explaining the significance of a heritage item, including a heritage conservation area, and proposing policies to retain that significance. It can include guidelines for additional development or maintenance of the place.
Conservation policy	A proposal to conserve a heritage item arising out of the opportunities and constraints presented by the statement of heritage significance and other considerations.
Context	The specific character, quality, physical, historical and social characteristics of a building's setting.

Curtilage	The geographic area that provides the physical context for an item which contributes to its heritage significance. Land titles boundaries do not necessarily coincide with the curtilage.
Heritage and Conservation Registers	A register of heritage assets owned, occupied or controlled by a State agency, prepared in accordance with Section 170 of the <i>Heritage Act 1977</i> .
Heritage item	A landscape, place, building, structure, relic or other work of heritage significance.
Heritage significance	Of aesthetic, historic, scientific, cultural, social, archaeological, natural or aesthetic value for past, present or future generations.
Heritage value	Often used interchangeably with the term 'heritage significance'. There are four nature of significance values used in heritage assessments (historical, aesthetic, social and technical/research) and two comparative significance values (representative and rarity).
Relics	A relic is defined under the NSW <i>Heritage Act 1977</i> as any deposit, object or material evidence which relates to the settlement of the area that comprises NSW, not being Aboriginal settlement, and is of state or local heritage significance.
Use	Means the functions of a place and the activities and practices that occur at the place. A compatible use respects the cultural significance of the place.



GDA 1994 MGA Zone 56

1 KM

Project No: P0028723

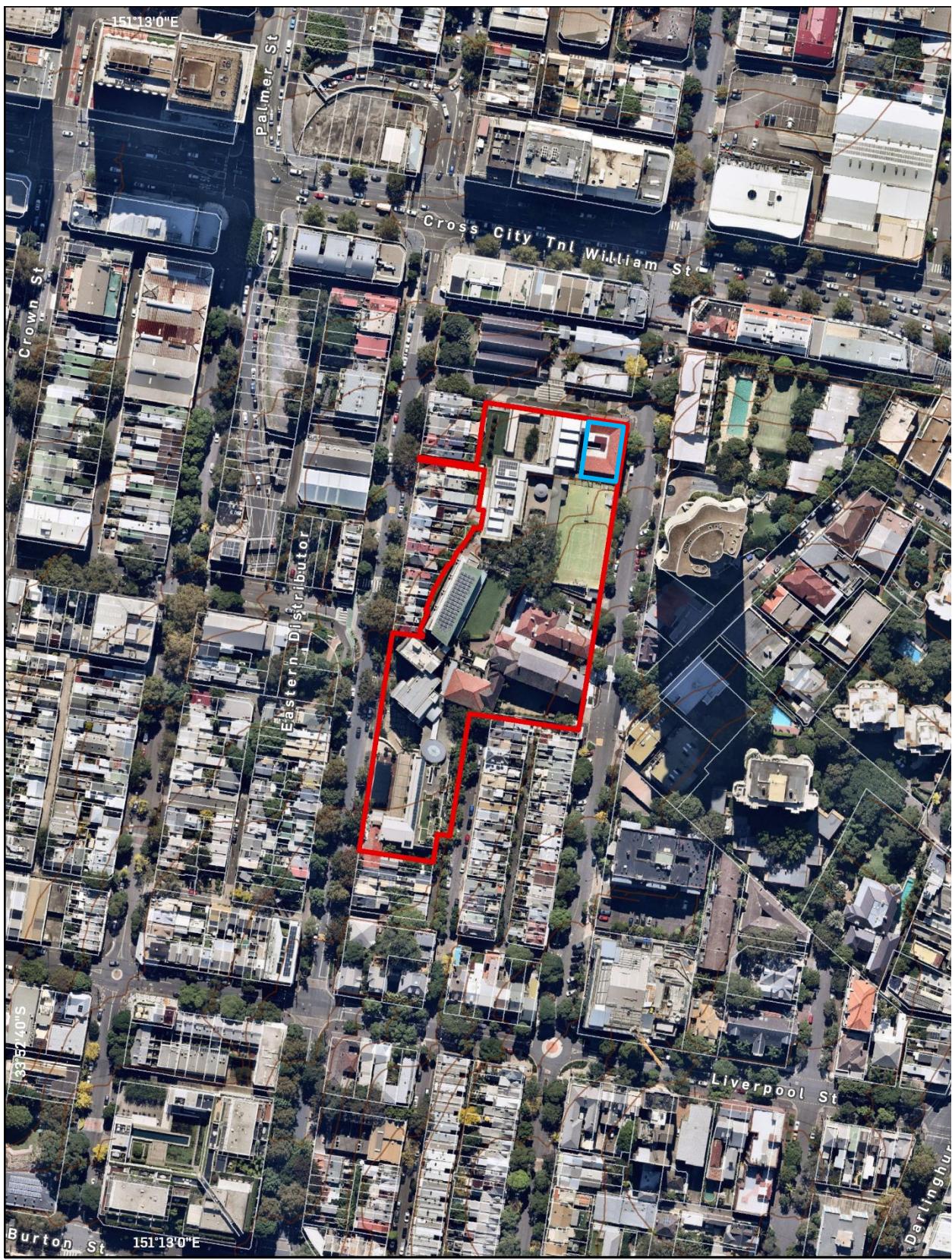
Project Manager: Balazs Hansel

Subject Area

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REGIONAL LOCATION
SCEGGS Staged SSDA ACH
Sandrick Project Directions on behalf of SCEG

Figure 1 – Regional location



Location of the Subject Area
 SCEGGS Staged SSDA ACT
 Sandrick Project Directions on behalf of SCEG

Figure 2 – Location of the subject area

LEGEND

EXISTING WALL RETAINED (GREY SHOWS DETAIL)
WALL TO BE DEMOLISHED
FLOOR TO BE DEMOLISHED

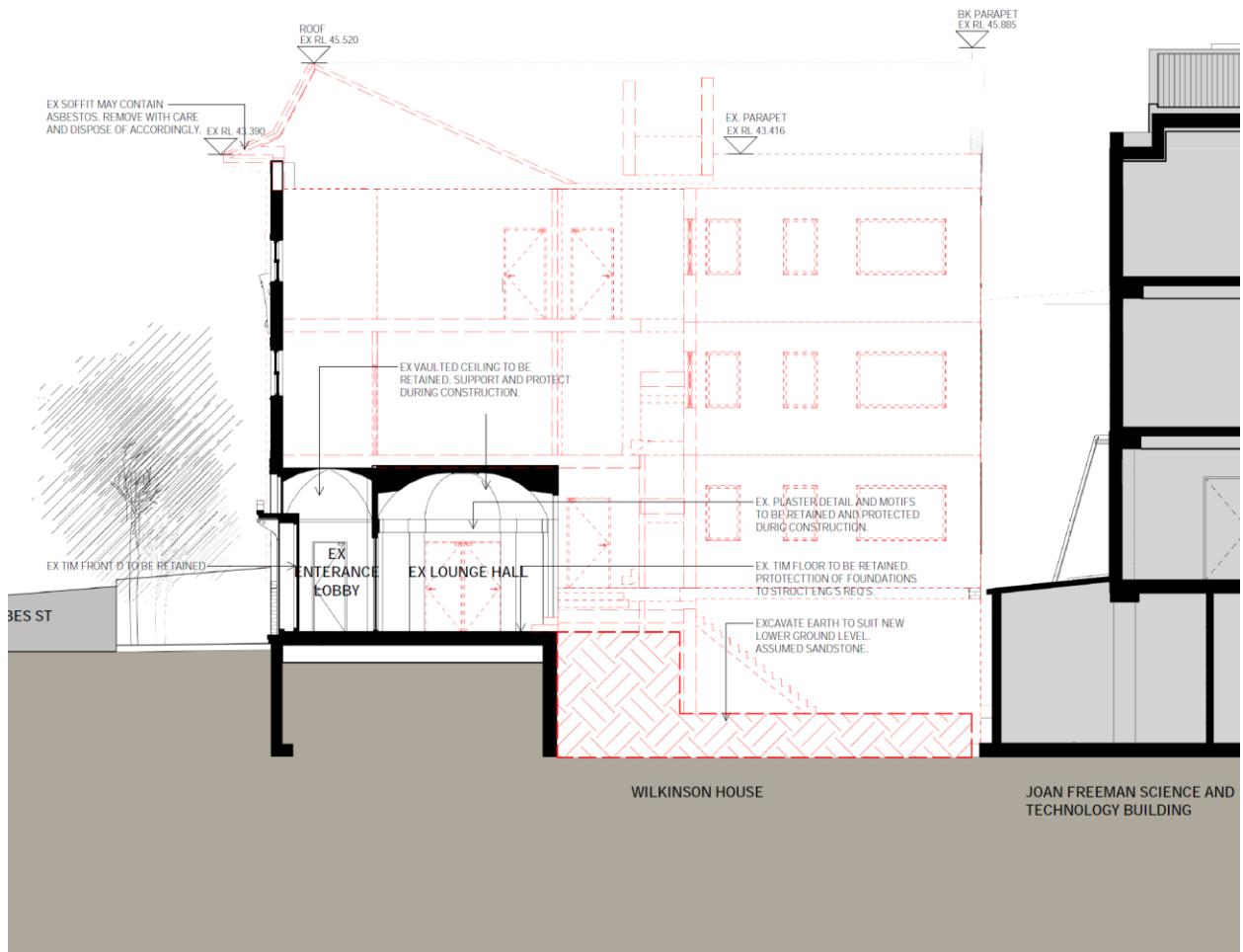


Figure 3 – Northern section with excavation footprint indicated.

Source: E-W Demolition Sec, DA066, Rev. A, Smart Design Studio, 15.10.2021

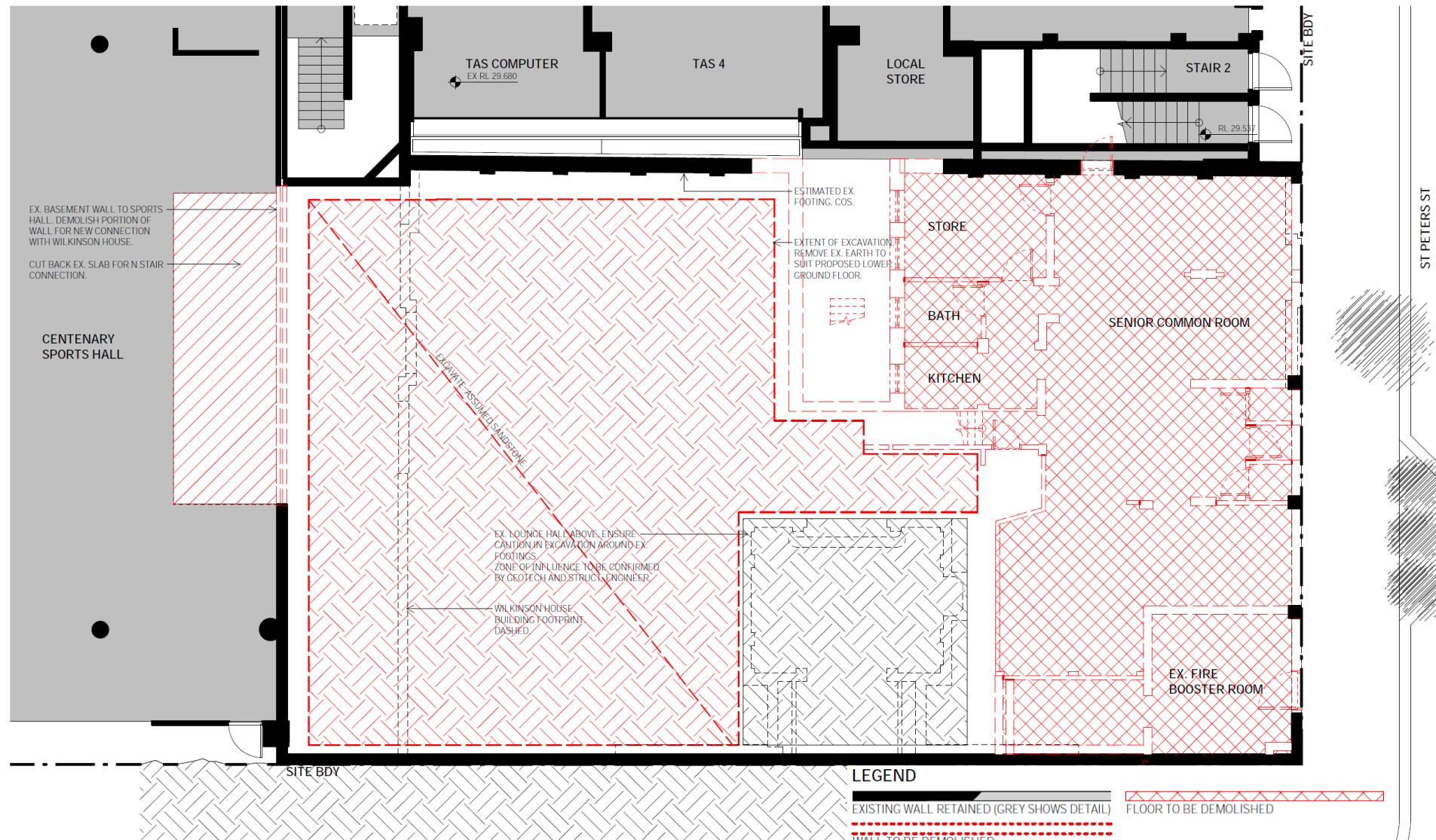


Figure 4 – Lower ground demolition plan with excavation footprint indicated.

Source: E-W Demolition Sec, DA055, Rev. A, Smart Design Studio, 15.10.2021

2. STATUTORY CONTEXT

2.1. NATIONAL LEGISLATION

2.1.1. Environment Protection and Biodiversity Conservation Act 1999

In 2004, a new Commonwealth heritage management system was introduced under the *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act). The National Heritage List (NHL) was established to protect places that have outstanding value to the nation. The Commonwealth Heritage List (CHL) was established to protect items and places owned or managed by Commonwealth agencies. The Australian Government Department of Sustainability, Environment, Water, Population and Communities (DSEWPC) is responsible for the implementation of national policy, programs and legislation to protect and conserve Australia's environment and heritage and to promote Australian arts and culture. Approval from the Minister is required for controlled actions which will have a significant impact on items and places included on the NHL or CHL.

Commonwealth Heritage List

The (CHL) was established by the EPBC Act to protect Indigenous, historic, and natural heritage places owned or controlled by the Australian Government. The CHL and EPBC Act contain provisions for the management and protection of listed places under Commonwealth ownership or control. There are no items on the Commonwealth Heritage List within the study area. As such, the heritage provisions of this act do not apply, and project works for the Proposal would not require referral to the Minister.

A search of the CHL was undertaken on 06 May 2021 and it was established that there are no historic heritage items located in or within the subject area which are listed on the CHL.

National Heritage List

The National Heritage List (NHL) was established by the EPBC Act to protect places of significant natural or cultural heritage value at a National level. The EPBC Act requires NHL places to be managed in accordance with the National Heritage Management Principles. Under sections 15B and 15C of the EPBC Act, a referral must be made to the Department of the Environment and Energy for actions that are likely to have a significant impact on National Heritage listed properties. There are no items listed on the National Heritage List within the study area. As such, the heritage provisions of this act do not apply, and project works for the Proposal would not require referral to the Minister.

A search of the NHL was undertaken on 06 May 2021 and it was established that there are no historic heritage items located in or within the subject area which are listed on the NHL.

2.2. STATE LEGISLATION

2.2.1. NSW Heritage Act 1977

The NSW Heritage Act 1977 (the Heritage Act) provides protection to items of environmental heritage in NSW. This includes places, buildings, works, relics, moveable objects and precincts identified as significant based on historical, social, aesthetic, scientific, archaeological, architectural, cultural or natural values. State significant items are listed on the NSW State Heritage Register (SHR) and are given automatic protection under the Heritage Act against any activities that may damage an item or affect its heritage significance.

Under Section 57(1) of the Heritage Act Heritage Council approval is required to move, damage, or destroy a relic listed in the State Heritage Register, or to excavate or disturb land which is listed on the SHR and there is reasonable knowledge or likelihood of relics being disturbed.

The Act defines a 'relic' as:

Any deposit, object or material evidence

- (a) *which relates to the settlement of the area that comprises New South Wales, not being an Aboriginal settlement, and;*
- (b) *which is 50 or more years old. A Section 60 application is required to disturb relics on an SHR listed site.*

Under section 139 of the *Heritage Act*, an excavation permit is required to disturb or excavate land “*knowing or having reasonable cause to suspect that the disturbance or excavation will or is likely to result in a relic being discovered, exposed, moved, damaged or destroyed*”. This section of the *Heritage Act* identifies provisions for items /relics outside of those on the State Heritage Register or subject to an Interim Heritage Order (IHO).

State Heritage Register

The *Heritage Act* is administered by the Office of Environment and Heritage. The purpose of the *Heritage Act* 1977 is to ensure cultural heritage in NSW is adequately identified and conserved. Items of significance to the State of NSW are listed on the NSW State Heritage Register (SHR) under Section 60 of the Act.

The subject area is located within the vicinity of the following State heritage items and State heritage item ‘St. Peter’s Church and Precinct’ (SHR no. 00148).

Section 170 Heritage and Conservation Register

The *Heritage Act* also requires government agencies to identify and manage heritage assets in their ownership and control. Under Section 170 of the *Heritage Act*, Government agencies must keep a register which includes all local and State listed items or items which may be subject to an interim heritage order that are owned, occupied or managed by that Government body. Under Section 170A of the *Heritage Act* all government agencies must also ensure that items entered on its register are maintained with due diligence in accordance with State Owned Heritage Management Principles.

The subject area does not contain, nor is it located within proximity of, any items which are listed on a S.170 Register.

2.2.2. Environmental Planning and Assessment Act 1979

Under Section 5.10, Clause 2 of the *EPA Act* 1979, development consent is required when:

(c) disturbing or excavating an archaeological site while knowing, or having reasonable cause to suspect, that the disturbance or excavation will or is likely to result in a relic being discovered, exposed, moved, damaged or destroyed.

Under Section 5.10, Clause 7 it is specified that:

*(the) consent authority must, before granting consent under this clause to the carrying out of development on an archaeological site (other than land listed on the State Heritage Register or to which an interim heritage order under the *Heritage Act* 1977 applies):*

- (a) notify the Heritage Council of its intention to grant consent, and*
- (b) take into consideration any response received from the Heritage Council within 28 days after the notice is sent.*

Historical archaeological sites are listed under Part 1 of Schedule 5 of the relevant Local Environmental Plan (LEP).

The subject area is listed under Part 1 of Schedule 5 of the Sydney LEP 2012 as ‘Sydney Church of England Girls Grammar School group including Barham, Church Building and Wilkinson House and their interiors and grounds’ (item no. I301).

The subject area is also located within proximity of a number of heritage items listed under Part 1 of Schedule 5 of the Sydney LEP 2012. These are included in the table below (Table 2).

Table 2 – Proximal heritage items listed under Part 1 of Schedule 5 of the Sydney LEP 2012

Item Name	Address	Item No.	Level
Terrace group “Te-Rome Penda House” and “Waratah House” including interiors	164-164C Bourke Street	I218	Local
Terrace group including interiors	176-188 Bourke Street	I219	Local
Terrace group “William Terrace” including interiors	219-229 Bourke Street	I221	Local
Chard Stairs	Forbes Street	I298	Local
Former St Peter’s Church of England group including former church, church hall and small store and their interiors, fencing and front entry garden	159-163 Forbes Street	I300	State
Former St Peter’s Rectory including interior	188 Forbes Street	I302	Local
Terrace house “Nelson House” including interior	217 Forbes Street	I303	Local
Terrace group including interiors	6-8 Palmer Lane	I418	Local
Terrace group including interiors	10-12 Palmer Lane	I419	Local
Terrace group including interiors	14-16 Palmer Lane	I420	Local
Terrace group including interior	18 Palmer Lane	I421	Local
Terrace group “Baker’s Dozen” including interiors	155A-165B Palmer Street	I422	Local
Former Presbyterian Church group including buildings and their interiors	186-186A Palmer Street	I424	Local
Terrace group including interiors	188-190 Palmer Street	I425	Local
Cottage including interior	109 Stanley Street	I462	Local
Terrace group including interiors	2-6 Thomson Street	I473	Local
Commercial building “Telopea, Merrool & Baringa” including interior	121-129 William Street	I498	Local



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Project No: P0028723

Project Manager: Balazs Hansel

Subject Area Hydrology Conservation Area - General Item - General

— Contours

KM
Historical Heritage Items
SCEGGS Staged SSDA ACHA
Sandrick Project Directions on behalf of SCEGGS

Figure 5 – Heritage context

2.3. NON-STATUTORY INSTRUMENTS

2.3.1. GML, 2001, Conservation Management Plan

Godden Mackay Logan (GML) was engaged by SCEGGS Darlinghurst Limited to prepare a Conservation Management Plan (CMP) for Wilkinson House at the corner of Forbes and St Peter's Streets. In respect of the archaeological potential of the site, the CMP states:

Although an archaeological investigation was not carried out and due to the presumed excavation necessary to construct Wilkinson House, it is considered highly unlikely that any archaeological remains relating to any earlier structures remain. However, as the surrounding area featured numerous wells, it is possible that one may have existed on the site of Wilkinson House.

2.3.2. The Australian ICOMOS Burra Charter

While not a statutory document, the Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (the Burra Charter) sets a standard of practice for those who provide advice, make decisions about, or undertake works to places of cultural significance including owners, managers, and custodians. The Burra Charter provides specific guidance for physical and procedural actions that should occur in relation to significant places, regardless of their legislative listing. The Burra Charter sets out a number of conservation principles for heritage places which are relevant to the project including use, setting, conservation, management and knowledge.

2.3.3. Summary of Heritage Context

The heritage context of the subject area is summarised as follows:

- The subject area is located within the vicinity of the following State heritage items and State heritage item 'St. Peter's Church and Precinct' (SHR no. 00148).
- The subject area is listed under Part 1 of Schedule 5 of the Sydney LEP 2012 as 'Sydney Church of England Girls Grammar School group including Barham, Church Building and Wilkinson House and their interiors and grounds' (item no. I301).
- The subject area is also located within proximity of a number of heritage items listed under Part 1 of Schedule 5 of the Sydney LEP 2012 (see Table 2).
- In respect of the archaeological potential of Wilkinson House, the 2001 CMP states:

Although an archaeological investigation was not carried out and due to the presumed excavation necessary to construct Wilkinson House, it is considered highly unlikely that any archaeological remains relating to any earlier structures remain. However, as the surrounding area featured numerous wells, it is possible that one may have existed on the site of Wilkinson House.

3. HISTORICAL DEVELOPMENT OF THE SUBJECT AREA

3.1.1. Early Land Grants (1793-1834)

During the earliest period of European occupation of the Rose Bay area, the subject area was located adjacent to the Woolloomooloo Estate, which later became known as the Riley Estate which was granted to Commissary John Palmer in 1793.

There is no indication that any permanent structures were erected on the site during this period.

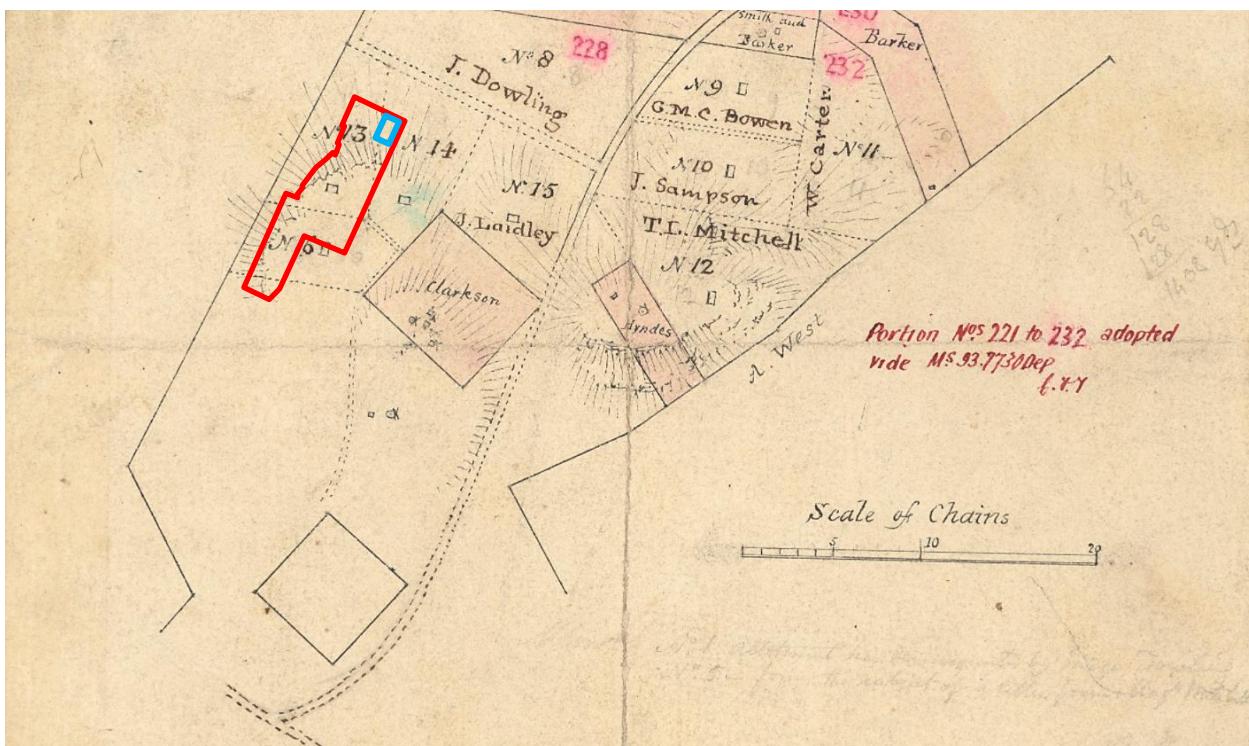


Figure 6 – Detail of the Sydney Alexandria Parish – ‘Plan of several allotments near Woolloomooloo showing the proposed situation for the buildings.’ Sketch book 1 Folio 25. Approximate location of subject area indicated in red and Wilkinson House site indicated in blue.

Source: NSW State Archives and Records, (NRS-13886-1-[X751]-Volume 1-214). Accessed https://content.archives.nsw.gov.au/delivery/StreamGate?dps_pid=FL208993&dps_dvs=1620006634757~917

3.1.2. The Barham Estate (1835-1850)

The Riley Estate was transferred to colonial secretary Edward Deas Thomson in 1835.¹ Thomson constructed a large house on his estate, which he named Barham. An 1835 map indicates the presence of the house with outbuilding in the western portion of the site.²

The Barham Estate consisted of extensive gardens, which included tropical plants, palms and pine trees. A carriage circle led up to the house with lawned surrounds. Casey & Lowe have suggested that the area to the north of Barham House (south of William Street) comprised of a kitchen garden, including asparagus beds.³

A number of references also mention the erection of three stone dwellings at the South Head Road frontage, which were used for housing workers on the site during this period. One of these can be observed within the north-western portion of the subject area (Figure 8). The stone dwelling can also be

¹ Casey & Lowe. SCEGGS Darlinghurst 2040 Masterplan Appendix J Archaeological Assessment, 11.

² NSW State Archives (NRS-13886-1-[X753]-Volume 3 part 1-8). Accessed https://content.archives.nsw.gov.au/delivery/StreamGate?dps_pid=FL208107&dps_dvs=1620009302211-664

³ Casey & Lowe, 2019. SCEGGS Darlinghurst 2040 Masterplan Archaeology, 31.

observed in maps dating to 1845 (Figure 9 & Figure 10). At least one of these had been demolished by 1850.⁴

By 1835 the roads surrounding the subject area had been modified so that the northern end of William Street transected the subject area. Bourke Street was established along the western boundary of the site. An 1845 map of the Barham Estate (Figure 10) indicates the streets which bounded the subject area in relation to the original alignment of E.D. Thomson's land grant.

In 1835 a Government Quarry was established at the Barham Estate within the vicinity of Bourke Street as one of a number of quarries which were developed in Sydney during this period. The sandstone was used for the construction of municipal buildings, private dwellings and infrastructure and roadways throughout Sydney.

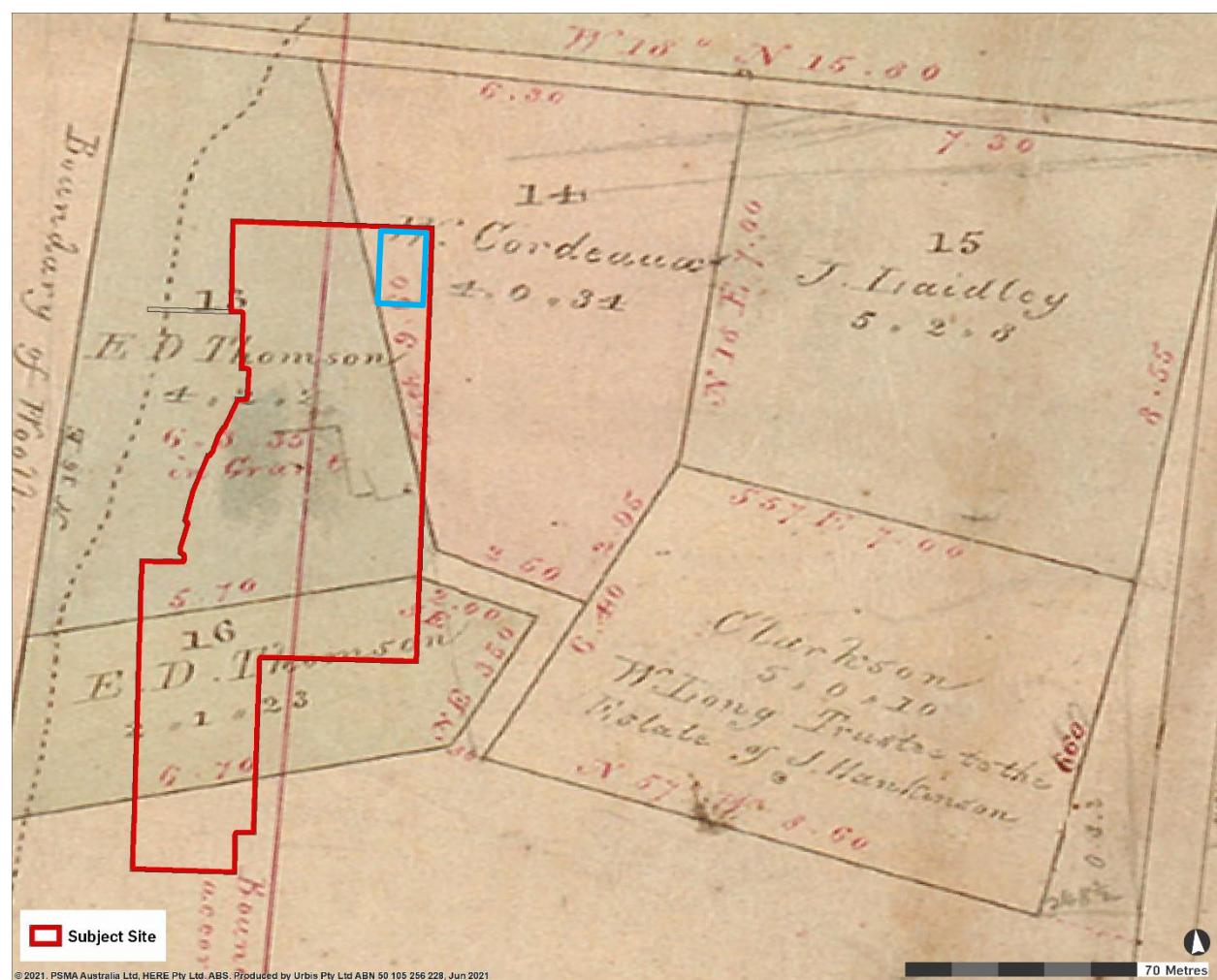


Figure 7 – The subject area within the Woolloomooloo Estate, Potts Point original land grants in the Government Chart, 1829. Approximate location of subject area indicated in red and Wilkinson House site indicated in blue.

Source: State Library of New South Wales (Call No. M ZM2 811.1811/1829/1 FL3702863). Accessed http://digital.sl.nsw.gov.au/delivery/DeliveryManagerServlet?embedded=true&toolbar=false&dps_pid=IE3702857

⁴ Casey & Lowe, 2019. SCEGGS Darlinghurst 2040 Masterplan Archaeology, 19.

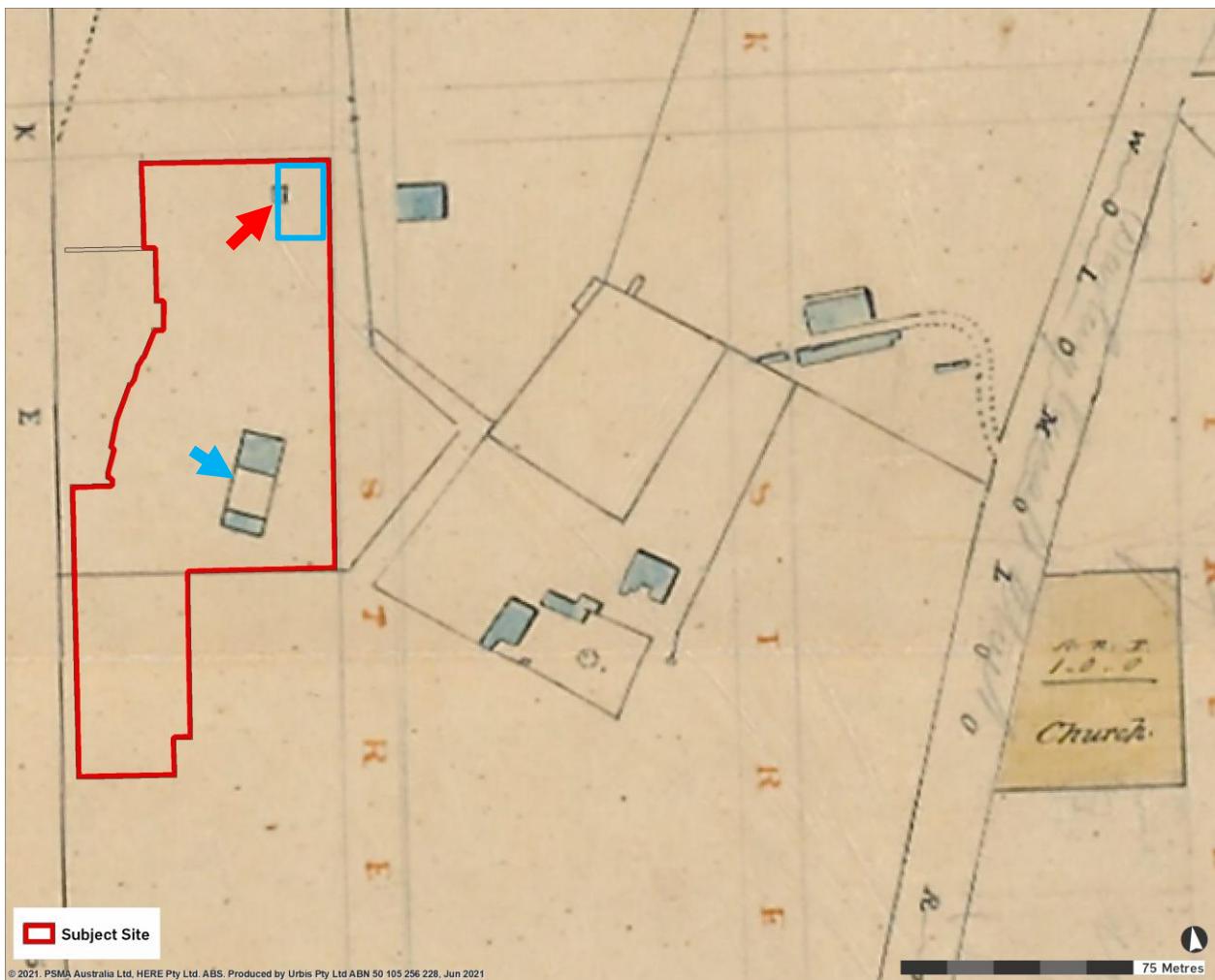


Figure 8 – Sydney Alexandria Parish – Proposed new streets for Woolloomooloo, 1835. Surveyor-General's Sketch Book 3, Folio 37 and 38. Location of stone cottage indicated with red arrow and Barham House and outbuilding with blue arrow. Approximate location of subject area indicated in red and Wilkinson House site indicated in blue.

Source: NSW State Archives (NRS-13886-1-[X753]-Volume 3 part 1-8). Accessed https://content.archives.nsw.gov.au/delivery/StreamGate?dps_pid=FL208107&dps_dvs=1620009302211~664

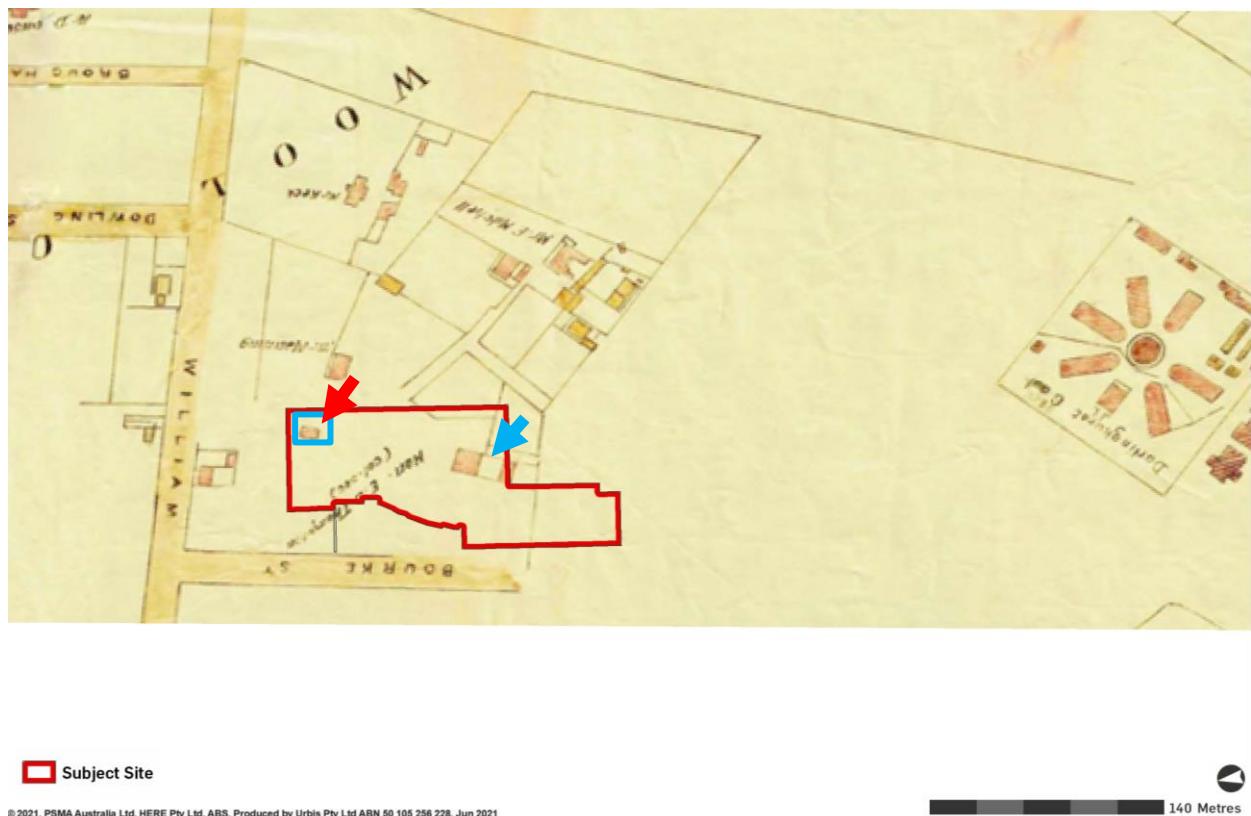


Figure 9 – 1845 map indicating location of stone cottage with red arrow and Barham House and outbuilding with blue arrow. Approximate location of subject area indicated in red and Wilkinson House site indicated in blue.

Source: Francis Webb Sheilds, *City of Sydney (Sheilds), 1845: Single sheet (01/01/1845 - 31/12/1845), [A-00880420]*. City of Sydney Archives, accessed 31 May 2021, <https://archives.cityofsydney.nsw.gov.au/nodes/view/1709347>



Figure 10 – Woolloomooloo Estate, showing the Barham Estate, 1845 with original survey lines of E.D. Thomson's land grant delineated by fencing. Location of stone cottage indicated with red arrow and Barham House and outbuilding with blue arrow.

Source: State Library of New South Wales (Z/M4 811.18112/1845/1)
http://digital.sl.nsw.gov.au/delivery/DeliveryManagerServlet?embedded=true&toolbar=false&dps_pid=IE16812297&ga=2.65781614.1313247789.1619999323-1749868941.1602476393

3.1.3. Subdivision and Residential Development (1850-1900)

In 1850-1853 the Barham Estate was subdivided, with much of the area north of the house sold. This resulted in the establishment of Ann Street, now St Peters Street.⁵ Lot 4, located on the south side of Ann Street was purchased by Charles Jones,⁶ with Lots 12 to 15 purchased by Morehead & Young,⁷ and the remaining lot, located at the corner of Ann and Forbes Streets purchased by Francis Callaghan.⁸ The lot boundaries, however, appear to have been somewhat controversial as they were difficult to build upon as a result of the steep descent west to Bourke Street, likely the result of quarrying activity. Morehead and Young in 1854 wrote that the way in which Bourke Street had been levelled had essentially created a retaining wall at the west end of Ann Street, preventing any direct access into the street.⁹ A subdivision plan shows the layout of the Barham Estate, including the carriage circle and access roads to Ann and Forbes Streets, as well as the location of an outbuilding.¹⁰ By this time however, the original stone building to the north had been demolished.

Lot 4 was built upon in the early 1860s and four terraces were constructed on Callaghan's land in c.1855-1865. By 1865 four terraces had been erected at the corner of Forbes and St Peters Streets (the current location of Wilkinson House) and by 1888 terraces had been constructed along most of the eastern side of Bourke Street (Figure 12).

Barham house underwent a number of alterations throughout the 19th century, including the replacement of the verandah, and a double storey extension which linked to an additional L-shaped building with kitchen, pantry and laundry. These additions, as well as two outbuildings located to the east of Barham House, can be observed in the 1988 Rygate & West map (Figure 12). A secondary stable, constructed of iron, was located at the south of the estate, with a nearby fowl house and timber outhouse.¹¹

Anne Maria Thomson passed away in 1884, resulting in the sale of Barham to E.D.S. Ogilvie in 1885 and acquisition of the site by the Sydney Church of England Girls Grammar School (SCEGGS) in 1900.

⁵ Ibid, 22.

⁶ Book 30 No. 88, September 1853. Land and Property Information.

⁷ Book 28 No. 557, September 1853. Land and Property Information.

⁸ Book 28 No. 159, September 1853. Land and Property Information.

⁹ Morehead & Young to Commissioners, 14 July 1854 and Report by Francis Clarke, 1 August 1854. Letters Received CRS 26 Item 26/9/098. Sydney City Council Archives.

¹⁰ NSW State Archives (Surveyor General's Sketch Books Vol. 6 Fol. 98, Reel 2780.

¹¹ Tanner Kibble Denton, 2019. *SCEGGS Darlinghurst – Masterplan Statement of Heritage Impact*, 17.

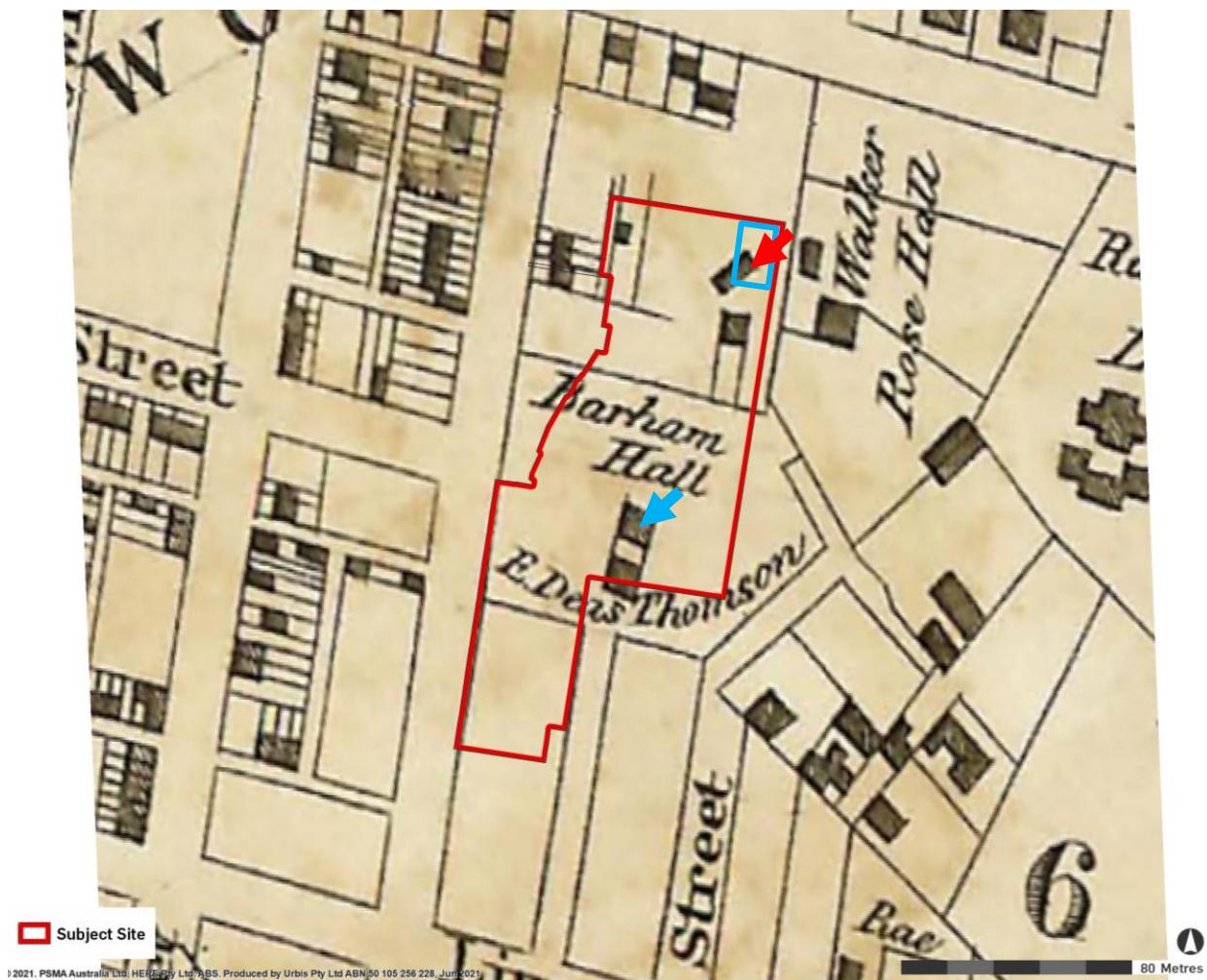
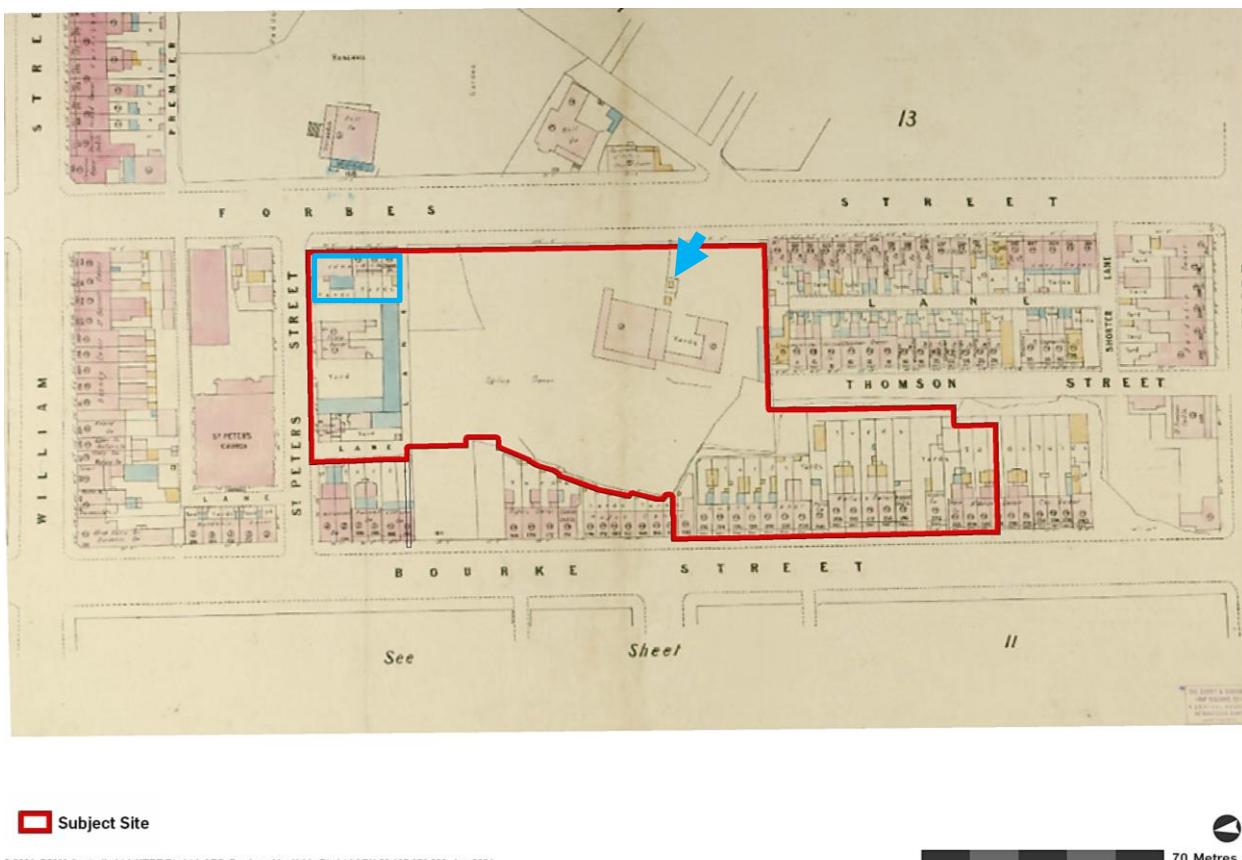


Figure 11 – 1854 Map with subject area indicated in red. Burham House is indicated with blue arrow and stone cottage with red arrow. Note the additional unknown structure to the south of the stone cottage. Approximate location of subject area indicated in red and Wilkinson House site indicated in blue.

Source: Woolcott & Clarke, *City of Sydney, 1854: Single sheet (01/01/1854 - 31/12/1854)*, [A-00880471]. City of Sydney Archives, accessed 31 May 2021, <https://archives.cityofsydney.nsw.gov.au/nodes/view/1709398>



Subject Site

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70 Metres

Figure 12 – 1888 Map indicating that terraces had been erected at the corner of St Peters and Forbes Streets and along Bourke Street by this time. A number of additions to Barham House can also be observed, as well as two outbuildings located to the east of the dwelling (indicated with arrow). Location of subject area indicated in red and Wilkinson House site indicated in blue.

Source: Rygate & West, *Plans of Sydney (Rygate & West)*, 1888: Sheet 12 (01/01/1888 - 31/12/1888), [A-00880424]. City of Sydney Archives, accessed 31 May 2021, <https://archives.cityofsydney.nsw.gov.au/nodes/view/1709351>

3.1.4. Establishment of SCEGGS (1900-1918)

The Sydney Church of England Girls Grammar School (SCEGGS) was established in July 1895 by the Headmistress, Miss Edith Badham.¹²

Following purchase of Barham by SCEGGS, several alterations to the house were immediately made, including the construction of a large entrance porch and eastern (1901) extension, which housed a new kitchen and laundry on the ground floor and school classrooms on the first floor. This building remains extant. The c.1880 verandah on the northern and western sides was enclosed and converted into a dining room and a sitting room for the Headmistress, Miss Badham, in 1910.¹³

In 1900 plans for the Chapel Building – then known as the Main Building – were drawn up. The architect was Harold Jackson, the brother-in-law of Headmistress Edith Badham. The design for the building included a symmetrical façade with large arched windows on the central floor, smaller windows on the upper floor, and a gabled façade fronting Forbes Street with a protruding chimney. The foundation stone was laid in 1900 and the Chapel Building was completed in 1901. A 1903 map does not, however, include the Chapel Building (Figure 14). In 1909 extensions were already required to the building, which saw the addition of four extra classrooms on the ground floor. Some of these additional rooms were used as music rooms or boarders dormitories.

¹² Tanner Kibble Denton, 2019. SCEGGS Darlinghurst – Masterplan Statement of Heritage Impact, 10.

¹³ Tanner Kibble Denton, 2019. SCEGGS Darlinghurst – Masterplan Statement of Heritage Impact, 19.

A 1904-1914 photograph indicates the presence of stables to the south of the Chapel Building (Figure 13). These had potentially been constructed in the 19th century, though they weren't indicated on any maps or plans.

The school sick bay building was constructed to the south of the Barham Building in 1907.



Figure 13 - c.1904-1914 photograph of Barham House with stables at the right (indicated with arrow)

Source: SCEGGS Archive – Annual Giving Brochure 2014 <http://annualgiving2014.sceggs.caszine.com/>

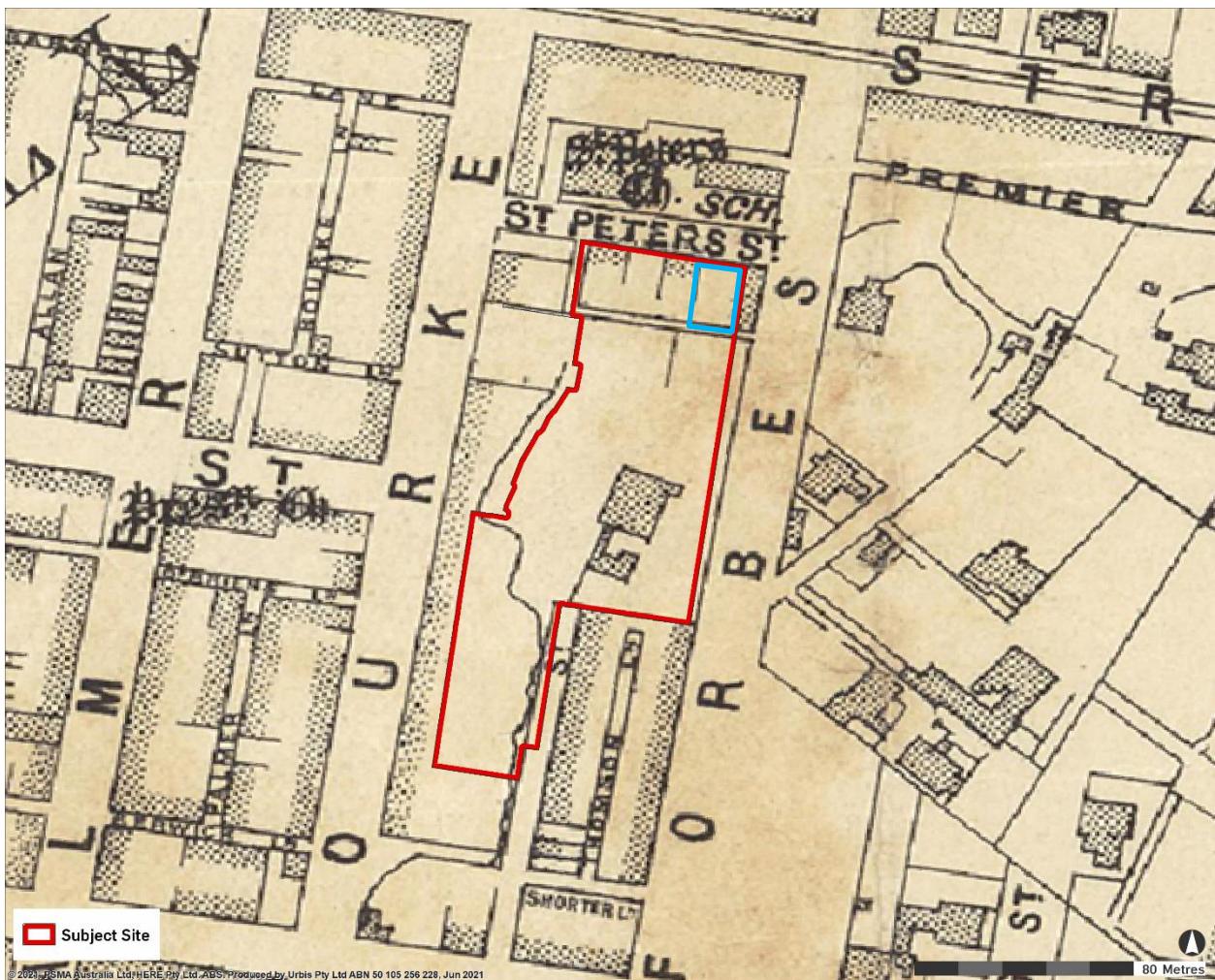


Figure 14 – SCEGGS site showing Barham in the map of the City of Sydney, 1903. Despite the date of the map as 1903 the plan does not show the Chapel Building. Location of subject area indicated in red and Wilkinson House site indicated in blue.

Source: City of Sydney Archives (A-00880475). Accessed <https://archives.cityofsydney.nsw.gov.au/nodes/view/1709402>

3.1.5. Inter-war Campus Development (1919-1939)

In 1922 a bridge was constructed which connected the Chapel and Barham Buildings. A first-floor verandah was also added to the c.1901 extension.¹⁴

In the mid-1920s the verandah on the north side of the Chapel Building was extended to comprise a second storey. In 1920 modifications to the building were undertaken to convert the main hall into a chapel.

The Gymnasium Building (now the Old Gym Building) was constructed from 1923. Following the completion of the gymnasium building in 1925, the first floor of the Chapel Building was partially reconfigured at the west to provide access between the two buildings. A second storey extension was also constructed, providing additional bathrooms.¹⁵

In 1924 the former school sick bay (constructed 1907), located to the south of the Barham Building and the Chapel Building was demolished. In its place, the Gymnasium Building was constructed. This comprised of a double-storey brick building, featuring an open gymnasium space on the ground floor, and several classrooms on the first floor. A small extension was located to the northeast of the building,

¹⁴ Tanner Kibble Denton Architects, 2019, *SCEGGS Darlinghurst – Masterplan Statement of Heritage Impact*, 20.

¹⁵ Tanner Kibble Denton Architects, 2019. *SCEGGS Darlinghurst – Masterplan Statement of Heritage Impact*, 2019.

featuring several bathrooms, kitchens, and a tuckshop. This annex was constructed of brick and weatherboard timber, with a rooftop terrace space and timber stairways on the exterior of the building.

In 1926 a development application was lodged for the demolition of the terraces at the corner of Forbes and St Peters Streets, which was subsequently approved by Council. The application was undertaken by Kenneth S. Williams, with Emil Sodersten engaged as the architect for the project. Sodersten designed a three-storey brick building, which comprised of twenty flats and included four basement garage spaces. The construction of the building – named the Gwydir Flats - was completed in 1928. This building was later renamed Wilkinson House.

Sodersten's design was also required to accommodate the sloping street levels of the site, with a steep descent to the north along Forbes Street, and a secondary descent to the west along St Peters Street. This was achieved through the provision of a basement carpark level which occupied approximately half of the site.

As indicated in Figure 16 below, the partial basement was cut into the bedrock in a terraced fashion, resulting in variable depths of excavation within the footprint of the building. This likely resulted in the removal of evidence of the former terraces and, potentially, the stone cottage which preceded them.



Figure 15 - Overview of the Old Gymnasium building, looking at the kitchen and tuckshop space at the northeast of the building, c.1956.

Source: SCEGGS *Darlinghurst Archives*]



Figure 16 – Elevations of Wilkinson House, constructed in 1926. Note the terraced excavation which was required for the partial basement.

Source: SCEGGS Archives

3.1.6. Late 20th century (1940-1999)

The 'Old Girls' Building was constructed in 1952, opened in the location of a former lawn/sports space. In 1999 the Old Girls Building was completely refurbished,

A single storey extension at the southwest of the Barham Building was constructed in the 1960s, which has housed the principal's office since. No recorded alterations to the Barham Building have occurred since the 1960s.¹⁶

Development of the school continued throughout the 20th century (Figure 19), with the 1920s and 1930s school buildings no longer sufficient to house the expanding number of students. The science building, constructed in 1967, designed in a somewhat typical Post-War design, was one of the first buildings on campus to utilise modern building technologies such as the use of concrete piers and slabs, with the elevations comprised of infilled brickwork.

In 1967 and 1970 the Old Science and Library Buildings were constructed within the western portion of the subject area to the north of the current Primary School (Figure 19).

The Centenary Sports Hall was constructed in 1996 at the Forbes Street frontage. This involved excavation of the sandstone ledge and removal of the shallow soil profile (>0.5m – see Section 4.2) in this location.

3.1.7. 21st Century Development (2000-Present)

Between 2011-2013 the Joan Freeman Science & Technology Centre (JFSTC) was constructed within the northern component of the subject area (Figure 19), requiring the demolition of the former Barbara Chisholm Assembly Hall. The JFSTC consolidated the school's science and technology facilities. Significant excavation of the sandstone bedrock was undertaken for the purpose of facilitating a two-storey basement carpark, tiered lecture theatre, storerooms and classrooms (Figure 17). The shallow soil profile (>1m – see Section 4.2) was thus removed entirely in this location.

¹⁶ Tanner Kibble Denton Architects, 2019. SCEGGS Darlinghurst – Masterplan Statement of Heritage Impact, 21.

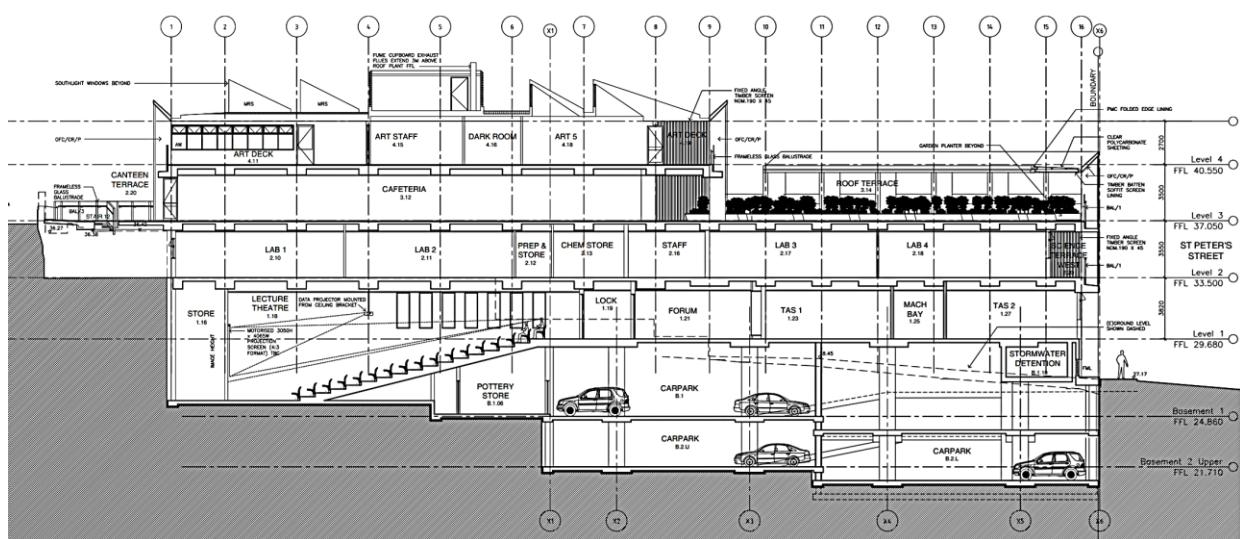


Figure 17 – Elevation of JFSTC

Source: Site Section AA, AR.DA.3101, Tanner Architects, May 2008

3.1.8. Phases of Development

Figure 18 below depicts the phases of development of the SCEGGS campus within the subject area.

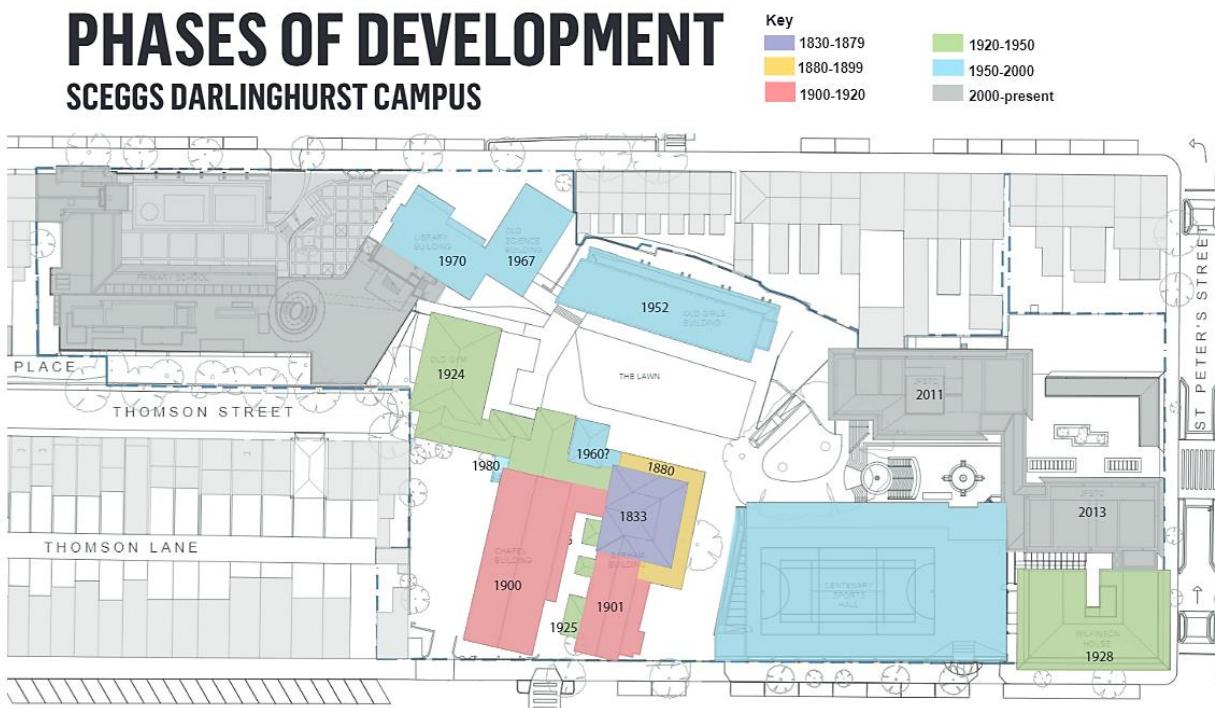
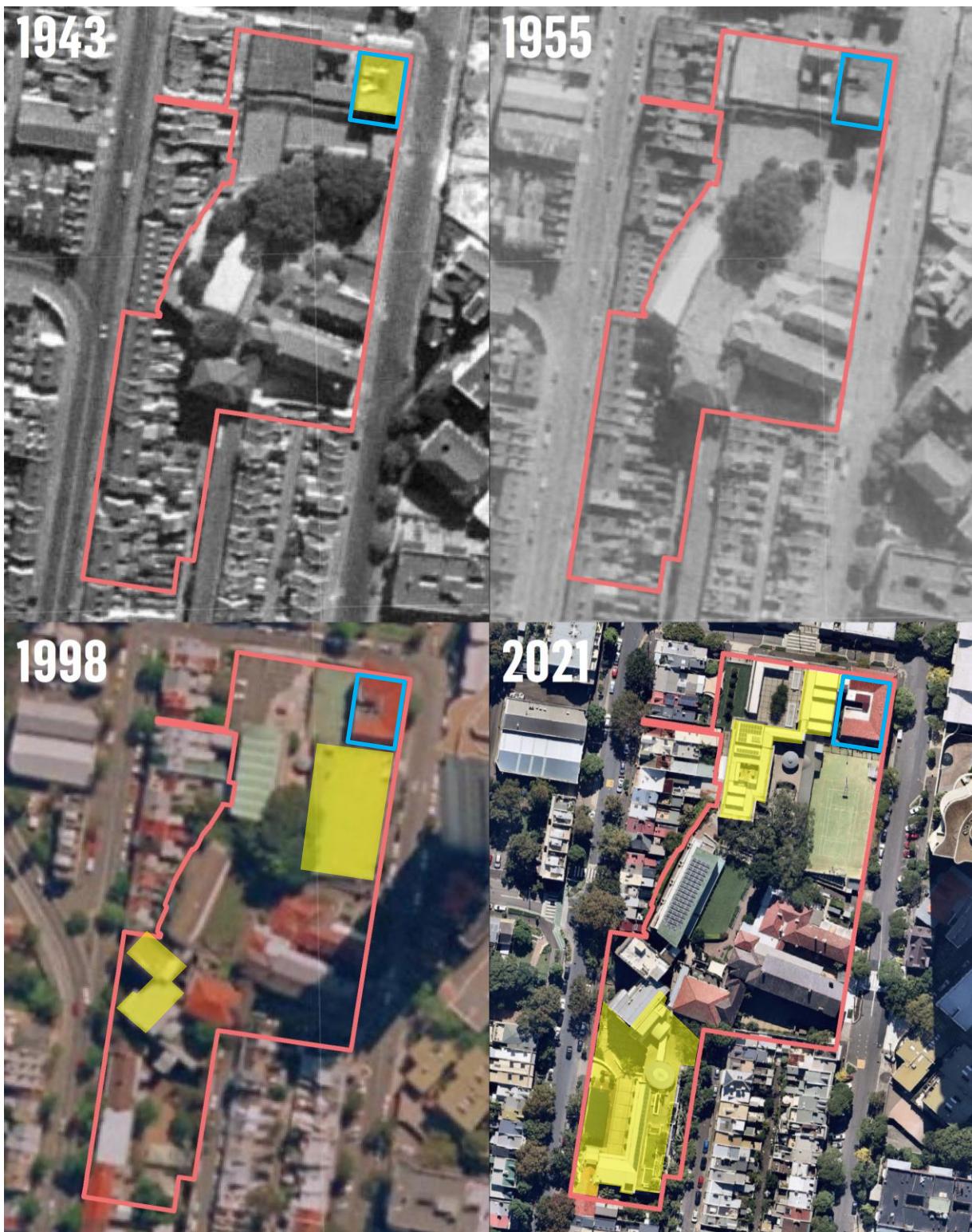


Figure 18 - Phases of development of the SCEGGS site



GDA 1994 MGA Zone 56

50 M

Project No: P0028723

Project Manager: Balazs Hansel

Subject Area Wilkinson House

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HISTORICAL AERIAL PHOTOGRAPHS
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Figure 19 - Phases of development of the SCEGGS site. Note the following phases of development, as highlighted in yellow - 1943: Wilkinson House had replaced the former terraces at the corner of Forbes and St Peters Streets; 1955: no new buildings erected; 1998: the Centenary Sports Hall had been constructed (north-east) and the Library and Old Science Buildings had replaced the former Bourke Street terraces (west); 2021: JFSTC had replaced the former Barbara Chisholm Assembly Hall (north) and the Primary School had replaced the Bourke Street terraces (south).

4. ARCHAEOLOGICAL POTENTIAL

4.1. TERMS & DEFINITIONS

Historical archaeological potential is defined as:

The degree of physical evidence present on an archaeological site, usually assessed on the basis of physical evaluation and historical research (Heritage Office and Department of Urban Affairs and Planning 1996).

Archaeological research potential of a site is the extent to which further study of relics likely to be found is expected to contribute to improved knowledge about NSW history which is not demonstrated by other sites, archaeological resources or available historical evidence. The potential for archaeological relics to survive in a particular place is significantly affected by later activities that may have caused ground disturbance. These processes include the physical development of the site (for example, phases of building construction) and the activities that occurred there. The archaeological potential of The Site is assessed based on the background information presented in Section 3, and graded as per:

- **Nil Potential:** the land use history demonstrates that high levels of ground disturbance have occurred that would have completely destroyed any archaeological remains. Alternatively, archaeological excavation has already occurred, and removed any potential resource;
- **Low Potential:** the land use history suggests limited development or use, or there is likely to be quite high impacts in these areas, however deeper sub-surface features such as wells, cesspits and their artefact bearing deposits may survive;
- **Moderate Potential:** the land use history suggests limited phases of low to moderate development intensity, or that there are impacts in the area. A variety of archaeological remains is likely to survive, including building footings and shallower remains, as well as deeper sub-surface features; and
- **High Potential:** substantially intact archaeological deposits could survive in these areas.

The potential for archaeological remains or 'relics' to survive in a particular place is significantly affected by land use activities that may have caused ground disturbance. These processes include the physical development of the site (for example, phases of building construction) and the activities that occurred there. The following definitions are used to consider the levels of disturbance:

- **Low Disturbance:** the area or feature has been subject to activities that may have had a minor effect on the integrity and survival of archaeological remains;
- **Moderate Disturbance:** the area or feature has been subject to activities that may have affected the integrity and survival of archaeological remains. Archaeological evidence may be present, however it may be disturbed; and
- **High Disturbance:** the area or feature has been subject to activities that would have had a major effect on the integrity and survival of archaeological remains. Archaeological evidence may be greatly disturbed or destroyed.

4.2. GEOTECHNICAL REPORTING

In 1994 Douglas Partners had previously carried out a geotechnical investigation for the Centennial Sports Hall on the eastern side of the site. This investigation found that sandstone bedrock was generally located less than 0.5 metres below surface level. The investigation also comprised mapping of the sandstone cliff-face on the site, which was eventually excavated for the sports complex.

In April 2008 Douglas Partners carried out a geotechnical investigation for the JFSTC. This indicated a subsurface profile of 1 metre fill overlying weathered sandstone and then medium strength sandstones from depths of 0.35-1 metre. Other investigations undertaken on the site encountered rock at depths less than 1 metre.

Douglas Partners was engaged by SCEGGS Darlinghurst Ltd in 2019 to prepare a Preliminary Geotechnical Report for the Masterplan redevelopment of the subject area. This report established that the site is generally underlain by a relatively shallow depth of filling and soil overlying medium strength bedrock.

Note: the geotechnical terminology for 'fill' does not necessarily denote archaeologically sterile material (i.e. imported construction fill) and does not discount potential for historical archaeological resources.

4.3. GML, 2001, WILKINSON HOUSE CONSERVATION MANAGEMENT PLAN

In 2000 Godden Mackay Logan (GML) was engaged by SCEGGS Darlinghurst to prepare a Conservation Management Plan (CMP) for Wilkinson House at the corner of Forbes and St Peter's Streets. In respect of the archaeological potential of the site, the CMP states:

Although an archaeological investigation was not carried out and due to the presumed excavation necessary to construct Wilkinson House, it is considered highly unlikely that any archaeological remains relating to any earlier structures remain. However, as the surrounding area featured numerous wells, it is possible that one may have existed on the site of Wilkinson House.

4.4. LITERATURE REVIEW

The following section provides a summary of archaeological assessments which have been undertaken within, and within proximity of, the subject area.

Casey & Lowe 2018 SCEGGS Darlinghurst 2040 Masterplan: Historical Archaeological Assessment

Casey & Lowe Pty Ltd (Casey & Lowe) was commissioned to provide an archaeological assessment for the SCEGGS Darlinghurst 2040 Masterplan (the Masterplan).

SCEGGS Darlinghurst lodged a Request for SEARs for the Masterplan, which were received in January 2018. The school subsequently prepared a State Significant Development Application (SSDA) for the implementation of the Masterplan. The SSDA was seeking development consent for:

- demolition of Wilkinson House, Library and Science Building, The Old Gym Building and part of the additions to the Barham Building;
- building envelopes and land use for a number of new buildings; and
- conservation works to Barham House to remove non-original building fabric and use for general school purposes.

The assessment established the following in respect of the archaeological potential of the SCEGGS site (Figure 20):

- *The areas between and to the west of the existing Barham and Chapel buildings, to the south of the Chapel building, and to the east of the Old Gymnasium may contain remains connected with the 1830s Barham Hall, its outbuildings and gardens.*
- *The area to the east of the Science and Library buildings is likely to retain evidence of the rear yards of the demolished Bourke Street terraces. This will be impacted by the construction of the Multi-Purpose Building.*
- *These remains are considered to be of Local heritage significance.*
- *The site of the stone cottage at the corner of Forbes and St Peters Street is likely to have been removed due to the impact of the roadway and Wilkinson House.*
- *The proposed development of the study area will remove any surviving archaeological remains within their footprint.*
- *Sections of quarried rockface from the pre-1840s government stone quarry are present around the Science and Library blocks. These have landscape value.*

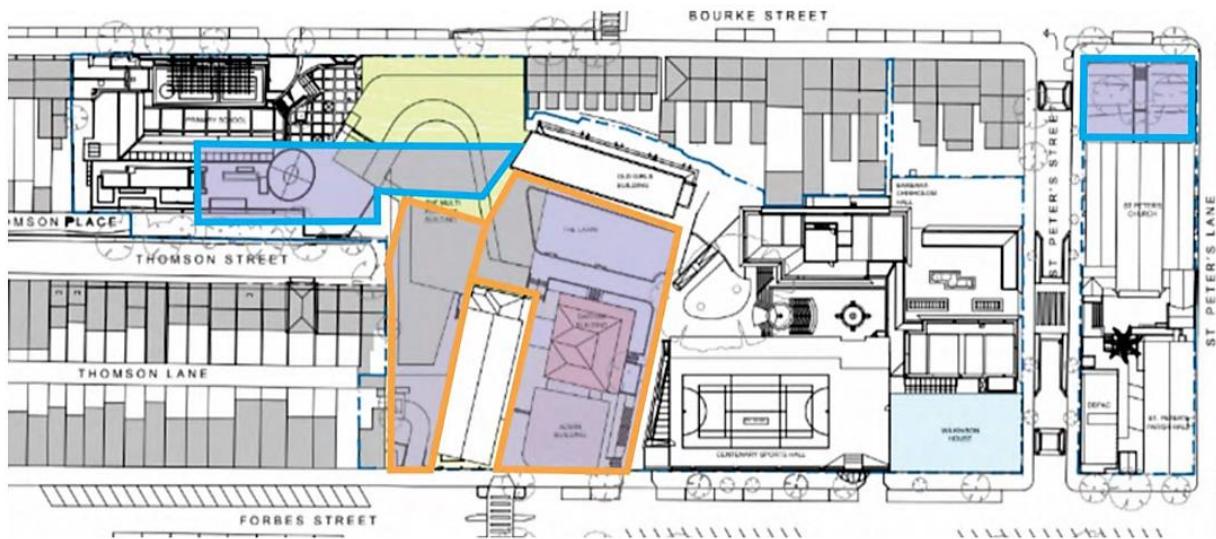


Figure 20 – Overlay of the 19th century Barham Estate (orange) and the rear yards of the terrace buildings off Bourke Street (blue) on masterplan

Source: Casey & Lowe 2018 SCEGGS Darlinghurst 2040 Masterplan: Historical Archaeological Assessment, p.37.

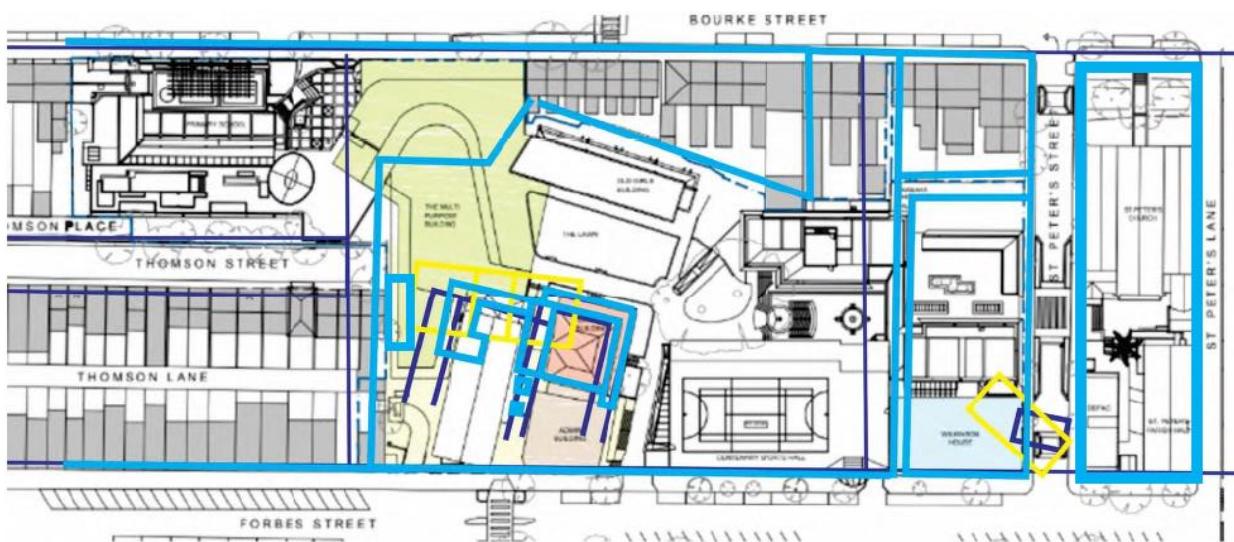


Figure 21 – Overlay of Woolcott and Clarkes' 1854 plan (yellow) and Dove's 1888 plan (blue) on masterplan. A series of outbuildings are located to the east of Barham and one of the stone cottages is located within the footprint of Wilkinson House.

Source: Casey & Lowe 2018 SCEGGS Darlinghurst 2040 Masterplan: Historical Archaeological Assessment, p.38.

Casey & Lowe 2016 Archaeological Assessment, Research Design & S140 Application: 222 Palmer Street, Darlinghurst

Casey & Lowe Pty Ltd (Casey & Lowe) was engaged by City of Sydney to prepare and Archaeological Assessment of 222 Palmer Street, Darlinghurst. The City of Sydney was proposing the partial demolition of the current structures at the site and construction of a new carpark.

The assessment established that the site had low to moderate potential for historical archaeological resources dating from the 1850s onwards. It further established that pre-1928 archaeological remains were likely to have been impacted by the construction of the existing kindergarten on the site. Greatest potential for more ephemeral archaeological remains was identified within the footprint of the rear annex building, deck and grassed playground areas.

Potential archaeological resources within the site included structural remains and subfloor occupation deposits associated with former dwellings, rubbish pits, backfilled wells and/or cesspits, post holes and yard deposits. It was assessed that the proposed park and playground design would have variable impacts on potential historical archaeological resources. The removal of existing floors and works to support retained footings was predicted to result in additional disturbance.

AMBS 2013 Burton Street Tabernacle Darlinghurst, NSW: Historical Archaeological Excavation Report

Following the outcomes of the Historical Archaeological Impact Assessment and Research Design report prepared by AMBS for the Burton Street Tabernacle site, an application was made for an Excavation Permit under Section 140 of the NSW Heritage Act 1977. The application was subsequently approved and an Historical Archaeological Excavation Report prepared, which detailed the outcomes of the excavation and analysis of data gathered.

324 objects were recovered during the excavation program, representing approximately 2016 individual items. The objects were retrieved from four contexts within the excavated areas, including a fill deposit at the rear of the yard, a pit fill in the rear yard of the cottage, an occupation deposit within the kitchen and trench fill in a sewer trench in the rear yard.

The modest size of the assemblage may have resulted from clearance of the underfloor space within the cottage during the latter part of the nineteenth century. All artefacts retrieved from the kitchen were domestic in nature. There was no evidence of small-scale industry or manufacturing on the site. Absent from the archaeological record were the remains of outbuildings, such as privies and sheds, identified in the assessment. A preliminary analysis of the remains of the cottage footings suggested that construction for the cottage made use of some ashlar blocks, with the bulk of the structure being constructed using hammer-dressed sandstone rubble.

No physical evidence of the former Burton Street properties survived the construction of the Tabernacle between 1887-1890. Similarly, any evidence of earlier land grants and estates within which the site was incorporated had been removed by subsequent phases of development.

AMBS 2012 Burton Street Tabernacle Darlinghurst, NSW: Historical Archaeological Impact Assessment and Research Design

AMBS was engaged by the City of Sydney to prepare an historical archaeological impact assessment and research design for the Burton Street Tabernacle, Darlinghurst.

The assessment found that the site had had 200 years of continuous occupation and had the potential to contain physical evidence of this history. It was determined that construction of the extant Tabernacle had resulted in significant levels of disturbance, removing deposits at depths varying from 1.5-3.5 metres.

It was therefore assessed that potential archaeological deposits would have significance at a local level and that the potential for the survival of intact archaeological deposits of State Significance was very low.

Casey & Lowe 2004 Archaeological Assessment & Excavation Permit Application: Diana Bowman Performing Arts Centre, SCEGGS Darlinghurst

Casey & Lowe Pty Ltd (Casey & Lowe) was commissioned by Tanner Architects to provide an archaeological assessment for the development site associated with the Diana Bowman Performing Arts Centre on the corner of Forbes and St Peters Streets, Darlinghurst.

The assessment established that the study area had potential to contain the following historical archaeological resources:

- Partly disturbed footings of 161 and 163 Forbes Street, including the attached kitchens, as well as associated archaeological deposits, such as underfloor deposits.
- The footings and basement of no. 6 St Peters Street and associated archaeological deposits although it is considered unlikely that any underfloor deposit will survive.
- The three cesspits adjacent to the southern wall of the playhouse.
- Possible disturbed remains of the fourth house to the rear of the store.

It was established that the above-identified potential archaeological resources would have significance at a local level and that the development would result in their complete removal.

It was therefore recommended that an excavation permit be obtained prior to the commencement of any works within the study area

4.4.1. Summary

The 2018 Historical Archaeological Assessment (HAA) prepared by Casey & Lowe highlighted the following two key areas as having potential for historical archaeological resources of local significance:

- *The areas between and to the west of the existing Barham and Chapel buildings, to the south of the Chapel building, and to the east of the Old Gymnasium may contain remains connected with the 1830s Barham Hall, its outbuildings and gardens.*
- *The area to the east of the Science and Library buildings is likely to retain evidence of the rear yards of the demolished Bourke Street terraces. This will be impacted by the construction of the Multi-Purpose Building.*

The assessment also found that evidence of the 19th century stone cottage located at the corner of Forbes and St Peter's Street would most likely have been removed by the construction of the roadway and Wilkinson House.

Assessments located within the vicinity of the subject area demonstrate potential for locally significant historical archaeological resources associated with the 19th century residential development of the Darlinghurst area. Low potential has been ascribed to evidence of the earliest phase of European occupation of the area owing to the shallow soil profile and high levels of disturbance associated with 20th century development.

4.5. ASSESSMENT OF ARCHAEOLOGICAL POTENTIAL

The following table provides a succinct assessment of archaeological potential in association with each phase of development across the site.

Table 3 – Assessment of Archaeological Potential

Phase	Evidence	Discussion	Potential
Early Land Grants (1793-1835)	Archaeobotanical evidence of land clearing activities, charcoal deposits as evidence of burning activities, remnant fencing and paths.	It is considered unlikely that evidence of the earliest period of European settlement would survive within the subject area owing to the significant degree of subsequent disturbance and ephemeral character of the expected archaeological record.	Nil-Low
The Barham Estate 1835-1850	The Estate: Evidence of gardens in the form of archaeobotanical deposits and early landscaping. Footings and foundations of stone cottage within the north-western portion of the site.	Historical maps and sources indicate that Barham House was surrounded by extensive gardens, a carriage circle, stable and outbuildings. An 1888 map (Figure 7) shows two outbuildings located to the east of the Barham House and a 1904 photograph (Figure 12) indicates the location of stables to the south. Evidence of these former structures, as well as evidence of landscaping, retaining walls, postholes and archaeobotanical deposits may survive within the vicinity of Barham House where there has been relatively low subsequent disturbance. An 1835 (Figure 8) and 1845 (Figure 10) maps indicate the presence of a structure to the north-east of Barham House and at the corner of Forbes and St Peters Streets. Historical records indicate that this was a stone cottage (with another located to the north of William Street) which housed itinerant workers. Although the cottage likely contained substantial stone slab foundations, the works associated with the construction of Wilkinson House likely resulted in the removal any physical evidence. The 1845 map (Figure 10) also shows the location of historical fence lines which bounded the former Barham Estate before the existing road configuration was established. It is highly unlikely that postholes associated with these early fences would survive due to their ephemeral nature.	Low-Moderate

Phase	Evidence	Discussion	Potential
	<p>Quarry: Extant quarried rock faces along within western portion of subject area.</p>	<p>The subject area is characterised by a number of extant quarried rock faces within the western portion of the subject area and within the vicinity of Bourke Street. Additional evidence of quarrying activities, in the form of tools, workshop activities, spoil heaps and discarded materials are unlikely to survive due to their superficial deposition and subsequent disturbance.</p>	<p>Quarry walls: High (extant)</p> <p>Additional evidence of quarrying activities: Low</p>
<p>Subdivision & Residential Development (1850-1900)</p>	<p>Evidence of 19th century terraces including foundations and footings of outbuildings, sub-floor deposits, post holes and cesspits.</p>	<p>Lot 4 was built upon in the early 1860s and four terraces were constructed on Callaghan's land in c.1855-1865. By 1888 terraces had been constructed along most of the Thomson and Bourke Street frontages, the southern Forbes Street frontage and along the St Peters Street frontage to the north. In 1926 the terraces at 165-171 Forbes Street were demolished for the construction of Wilkinson House. As indicated in Figure 15 below, the partial basement was cut into the bedrock in a terraced fashion, resulting in variable depths of excavation within the footprint of the building. Although this likely resulted in the removal of evidence of the former terraces, it may not be complete.</p> <p>By 1967-1970 a number of terraces along Thomson Street had been demolished to make way for the Science and Library Buildings and the Primary School. The area to the east of the Science and Library buildings may retain evidence of the rear yards of the demolished Bourke Street terraces, including cesspits, rubbish pits, post holes, foundations and footings of outbuildings and casual finds.</p>	<p>Terraces 165-171 Forbes St: Low</p> <p>Bourke St Terraces: Moderate</p>

Phase	Evidence	Discussion	Potential
		<p>Barham house underwent a number of alterations throughout the 19th century, including the replacement of the verandah, and a double storey extension which linked to an additional L-shaped building with kitchen, pantry and laundry.</p> <p>The Rygate & West 1888 map (Figure 12) indicates the location of two outbuildings to the east of Barham. A stable was likely located to the south of the Chapel building at the Forbes Street frontage.</p> <p>A secondary stable, constructed of iron, was located at the south of the estate, with a nearby fowl house and timber outhouse</p>	Alterations & Additions to Barham House: High (extant)
Establishment of SCEGGS (1900-1918)	Chapel Building & additions to Barham House (extant).	<p>Adaptations to the subject area during this period include additions and alterations to Barham House and the construction of the Chapel building to the south of Barham House (1900). These structures remain extant.</p>	Low-Moderate
	Footings and foundations of the former School Sick Bay building (demolished).	<p>The former School Sick Bay building was constructed to the south of the Chapel building and was demolished in 1924 and replaced with the Old Gymnasium building. Footings and foundations of the former Sick Bay building may survive in this location.</p>	Moderate
SCEGGS – Inter-War Campus Development (1919-1939)	<p>Alterations and additions to the Chapel building, bridge connecting Barham and Chapel buildings, Old Gym Building, Gymnasium Building and Wilkinson House (extant).</p>	<p>With the growth of the school in the inter-war years, a number of new structures were erected on the site. These included:</p> <ul style="list-style-type: none"> • Alterations and additions to the Chapel building (1920s) • Bridge connecting Barham and Chapel buildings (1922) • Old Gym Building (1923) • Gymnasium Building constructed in place of former Sick Bay Building (1924) • Wilkinson House (1928) <p>The above buildings remain extant.</p>	High (extant)

Phase	Evidence	Discussion	Potential
SCEGGS – Late 20th Century Development (1940-1999)	Old Science Building, Library Building, Centenary Sports Hall and Old Girls Building (extant).	<p>In the late 20th century a number of larger buildings were erected within the subject area, utilising more modern building techniques.</p> <p>An extension to Barham House was also constructed in the 1960s. In 1967-1970 a number of terraces along Thomson Street were demolished to make way for the Science and Library Buildings respectively. The Old Girls Building was constructed in 1952 in the location of a former lawn and sports green.</p> <p>In 2001 the Primary School was constructed to the south of the Science and Library buildings. This involved the demolition of terraces in this location and excavation for installation of a partial basement.</p>	High (extant)
	Footings and foundations of the former Barbara Chisholm Assembly Hall (demolished).	<p>The former Barbara Chisholm Assembly Hall was constructed within the northern portion of the subject area in 1966. The hall was demolished in 2011 for the construction of the JFSTC. Given the significant excavation into bedrock which was undertaken for the JFSTC basement levels, it is considered that there is nil-low potential for evidence of this former structure.</p>	Nil-Low
SCEGGS – 21st Century Development (2000-Present)	Primary School & JFSTC (extant).	<p>Between 2011-2013 the JFSTC was developed within the northern component of the subject area. This structure replaced the Barbara Chisholm Hall, an open car park and two storey temporary art demountable above an undercover car park. The works required significant excavation into the sandstone bedrock to accommodate a 2-storey basement carpark and partial basement.</p>	High (extant)

4.6. HISTORICAL DISTURBANCE

The below table (Table 4) provides a summary of the historical disturbance associated with the development of SCEGGS throughout the 20th century. The results are summarised in Figure 22 below.

Table 4 - Historical disturbance associated with 20th century development of SCEGGS

Building	Date	Description	Disturbance
Barham	1833	Two-storey, no basement.	Moderate-High
The Lawn, Fig tree and open areas surrounding Barham & the Chapel Building	c.1833	Landscaping	Low
Chapel Building	1901	Three-storey, no basement.	Moderate-High
Sick Bay Building (Demolished)	1907	Two-storey, no basement.	Moderate-High
Barham Addition	1910	Two-storey, no basement.	Moderate-High
Old Gymnasium	1925	Two-storey, no basement.	Moderate-High
Wilkinson	1926	Three-storey, partial basement.	Moderate-High
Barham Addition	1930	Two-storey, no basement.	Moderate-High
Old Girls Building	1952	Three-storey, no basement.	Moderate-High
Barbara Chisholm Assembly Hall (Demolished)	1966	Two-storey, partial basement.	Moderate-High
Old Science Building	1967	Six-storey, undercroft carpark.	Moderate-High
Library Building	1970	Six-storey, no basement.	Moderate-High
Centenary Sports Hall	1996	Two-storey, two floors of foyers, sports hall cut into sandstone bedrock.	High
Primary School	2001	Three to Five-storeys, partial basement cut into sandstone bedrock.	Moderate-High
JFSTC	2012	Two to four-storey, two level basement carpark, ground and first-floor partially cut into sandstone bedrock.	High

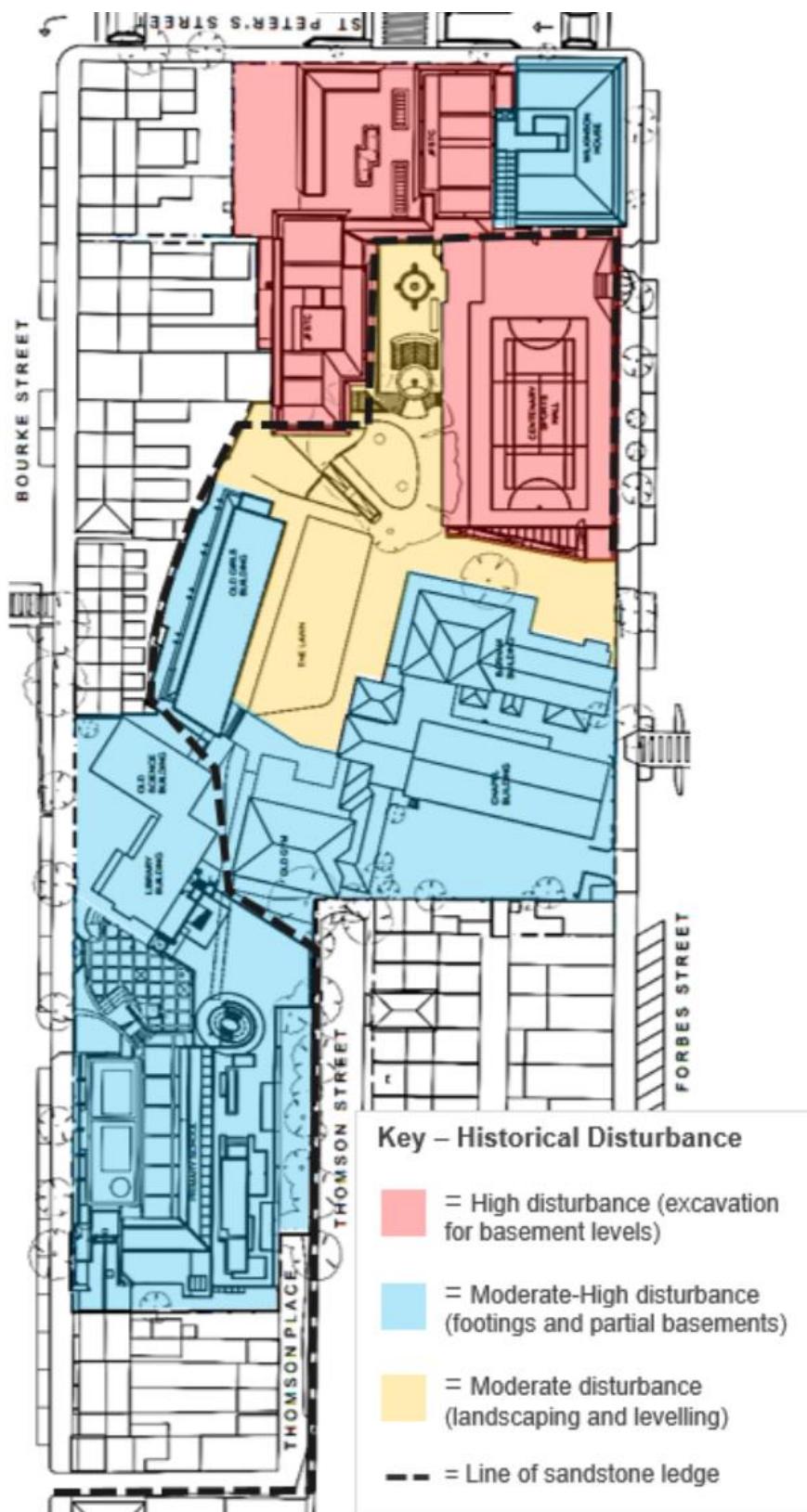


Figure 22 - Archaeological zoning plan – Historical Disturbance

4.7. SUMMARY OF ARCHAEOLOGICAL POTENTIAL

Historical research has identified three distinct phases of disturbance associated with the subject area. The first of these relates to the earliest land grants and establishment of the Barham Estate in 1835. Barham House was erected during this period. Gardens were established and a turning circle to the south of the house. An 1835 map (Figure 8) indicates the presence of a stone cottage at the corner of Forbes and St Peters Streets in the current location of Wilkinson House. This cottage was likely used for housing workers during this period. In 1835 a quarry was established within the vicinity of Bourke Street. This was described as having essentially created a retaining wall at the western end of Ann Street (now St Peter's Street), thus cutting down the northern component of the site to the existing street level. This would have amounted to a high level of disturbance, with archaeological potential altogether removed in this location.

The subsequent phase of development at the subject area commenced in 1850 with the subdivision of the Barham Estate. By the late 19th century terraces had been constructed along Bourke and Ann streets (now St Peter's Street) in the areas which are currently occupied by Wilkinson House, Old Science and Library Buildings and the Primary School. Terrace dwellings very likely included basement levels built into sandstone bedrock, as was typical throughout the Sydney area at this time.¹⁷ A number of alterations were also made to Barham House, with an enlargement of the building's footprint and addition of stables within the vicinity.

The final phase of development relates to the acquisition and development of the site by SCEGGS from 1900 onwards. The footprint of existing buildings on the site is indicated in Figure 18. The extent of subsurface disturbance associated with each of the buildings which was erected during this period is summarised in Table 4. This indicates that the majority of 20th century buildings contain no basements or partial basements, owing to the sloped sandstone topography. The extent of excavation would therefore be greatest within the elevated portion of the building footprint. Later buildings, including the Centenary Sports Hall and JFSTC have required significant excavation of the sandstone bedrock. This phase is therefore assessed as resulting in a moderate-high and ubiquitous degree of disturbance across the subject area.

Geotechnical reporting (see Section 4.2) has revealed that the subject area is generally underlain by a shallow depth of filling and soil (>1 metre) overlying medium strength sandstone bedrock. In some locations, particularly those located on the sandstone shelf, bedrock is found at a depth of just >0.5 metres. While the occurrence of substantial basement levels is relatively low across the site, this is a function of the shallow soil profile and underlying sandstone geology. Even the most superficially constructed buildings are likely to have resulted in the removal of the shallow soil profile and, therefore, all archaeological potential.

Additional discussion is provided below in relation to specific areas of identified archaeological potential.

Barham House Outbuildings and Gardens (1835)

Historical maps and sources indicate that Barham House was surrounded by extensive gardens, a carriage circle, stables and outbuildings (see Section 3.1.2). An 1888 map (Figure 8) shows two outbuildings located to the east of the Barham House. An overlay of this map with a map of the existing site reveals that the former outbuildings would have been located within the footprint of the 1930 additions (Figure 23).

A 1904 photograph (Figure 13) indicates the location of stables to the south of Barham House. Today this would roughly equate with the location of a carpark to the south of the Chapel Building.

The landscape immediately surrounding Barham and the Chapel Building, have been subject to relatively low disturbance since the establishment of the school in 1900. There is therefore low-moderate potential for evidence of the former stables and outbuildings in the form of structural remains, rubbish pits and tools. Evidence of the former gardens may also survive in the form of landscaping, foundations of retaining walls, postholes and archaeobotanical deposits.

¹⁷ Howells, T.; Morris, M. (1999). *Terrace Houses in Australia*. Sydney: Lansdowne Publishing. p. 29.

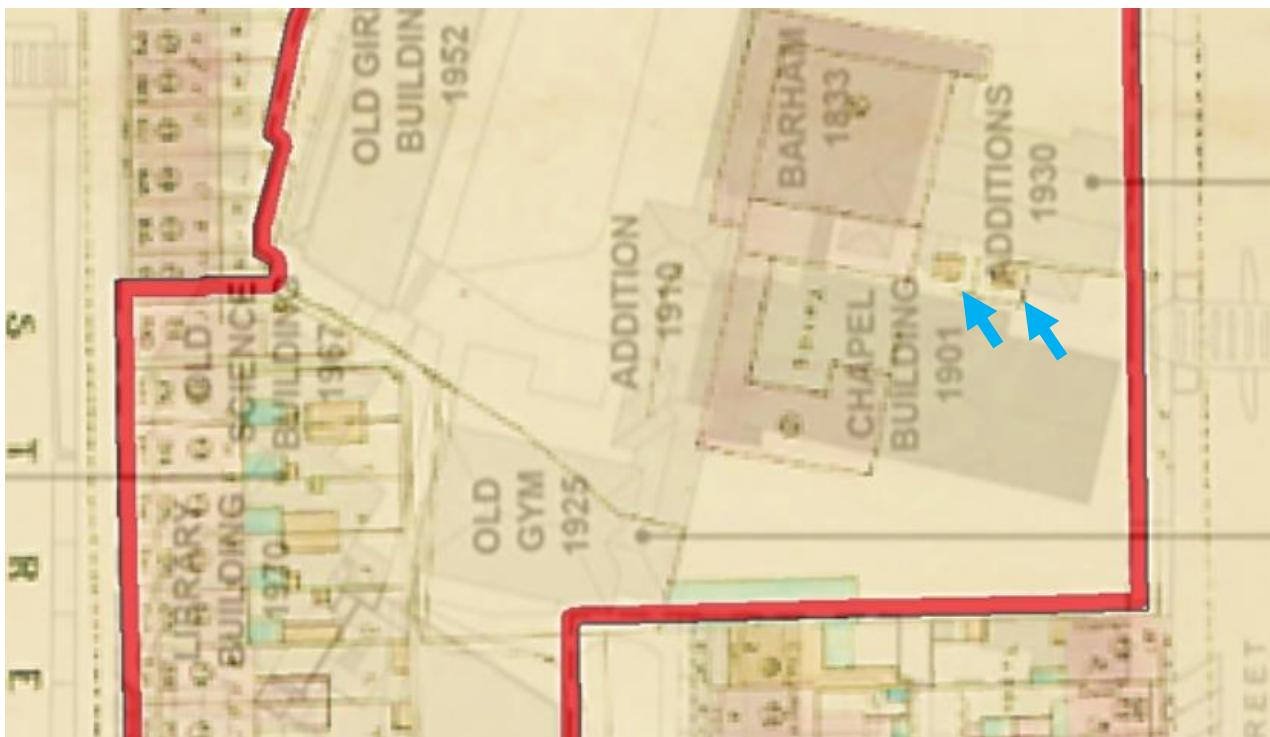


Figure 23 – Overlay of 1888 map on SCEGGS existing site plan indicating location of outbuildings to the east of Barham House (indicated with arrows) within the footprint of the 1930 additions

Stone Cottage (c.1835)

An 1835 map (Figure 8) indicates the presence of a stone cottage at the corner of Forbes and St Peters Streets in the current location of Wilkinson House. This cottage was likely used for housing workers during this period. Based on the early date of construction, the cottage likely consisted of slab stone foundations. Construction of Wilkinson House in 1926 involved terraced excavation to accommodate a partial basement (see Figure 16). These works are likely to have removed evidence of this former structure. It is therefore assessed that there is low potential for evidence of the stone cottage within the footprint of Wilkinson House.

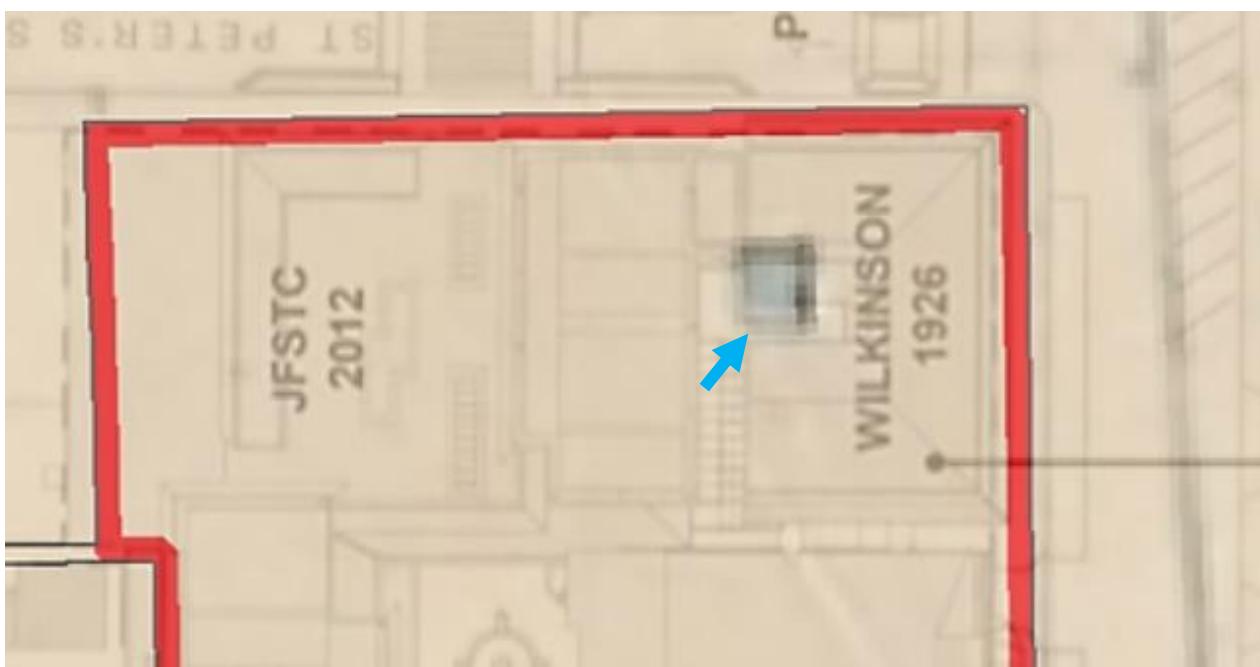


Figure 24 – Overlay of 1835 map on SCEGGS existing site plan indicating location of stone cottage (indicated with arrow) within footprint of Wilkinson House

Terraces (1888)

An 1888 map (Figure 12) indicate the location of a series of terraces along the Bourke Street frontage in the location of the existing Science and Library buildings and the Primary School. This is indicated below in an overlay of the 1888 map on the existing SCEGGS site plan (Figure 25).

Casey & Lowe (2018) concluded the following in relation to the archaeological potential of the terraces:

'...(the Bourke Street terraces are) likely to have been heavily impacted by the construction of these buildings and little archaeological evidence of them is expected to have survived. The area to the east of these buildings, in what had been the rear yards of the Bourke Street terraces, may retain evidence of the allotments' use and occupation. The nineteenth-century plans do not, however, appear to show out-houses at the rear of the allotments, indicating the properties had access to sewerage. This would mean that the properties did not have cesspits which are frequently the source of household refuse which can be used to establish the inhabitant's living standards and provide personal items.'¹⁸

The area indicated in the potential map (Figure 20) does not, accurately reflect the location of the rear yards, which would have been within the footprint of the buildings and to the west of the quarry face. The Science and Library buildings are built into the sandstone bedrock and do not contain full basement levels. Likewise, the lowest floor of the Primary School building is roughly level with Bourke Street. As such, the potential for evidence of the former Bourke Street terraces, in the form of structural remains, occupational deposits and casual finds, is assessed as low-moderate overall within the footprint of these buildings.

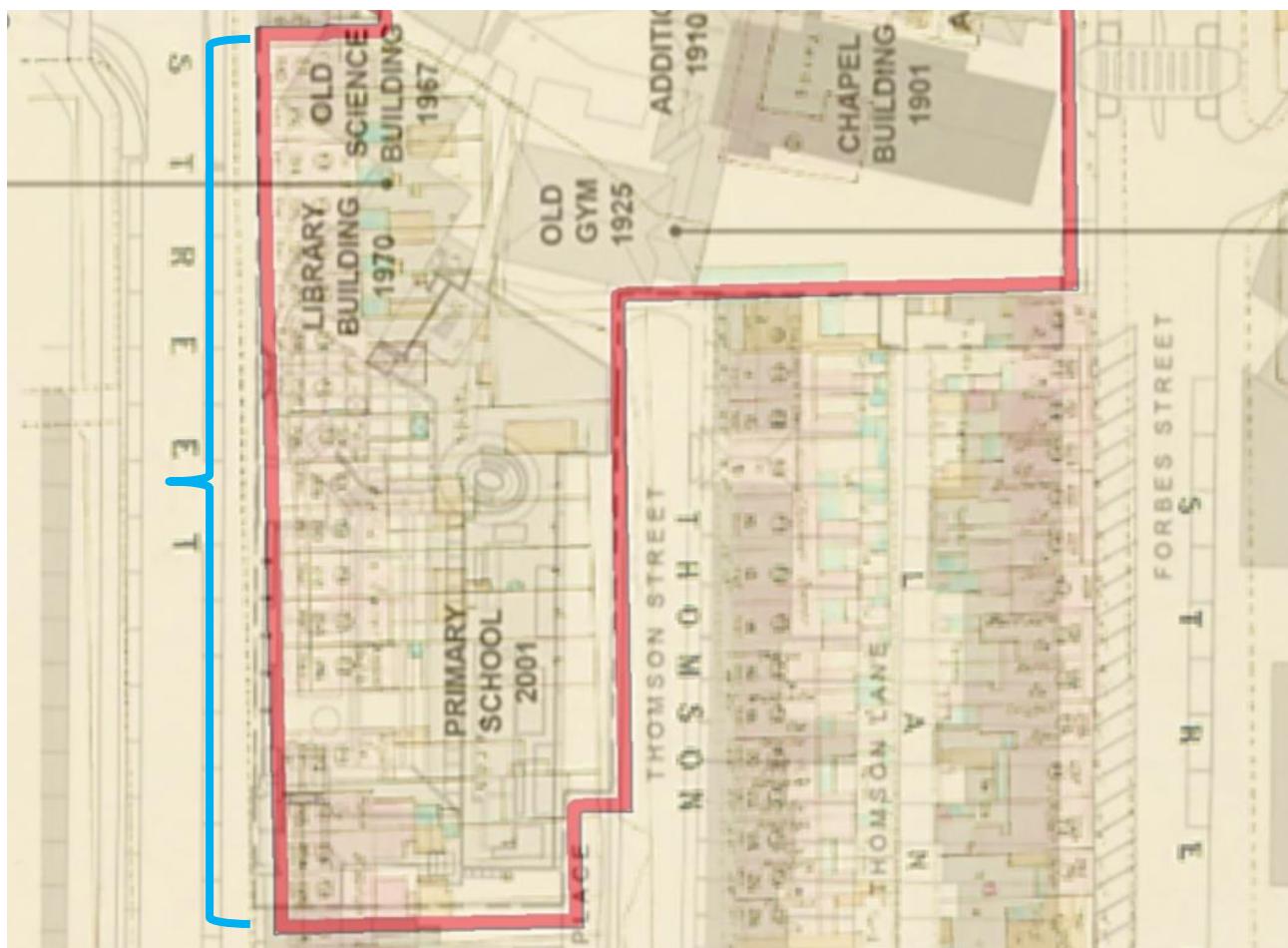


Figure 25 - Overlay of 1835 map on SCEGGS existing site plan indicating location of Bourke Street terraces (in blue)

¹⁸ Casey & Lowe 2018 SCEGGS Darlinghurst 2040 Masterplan: Historical Archaeological Assessment, p.33.

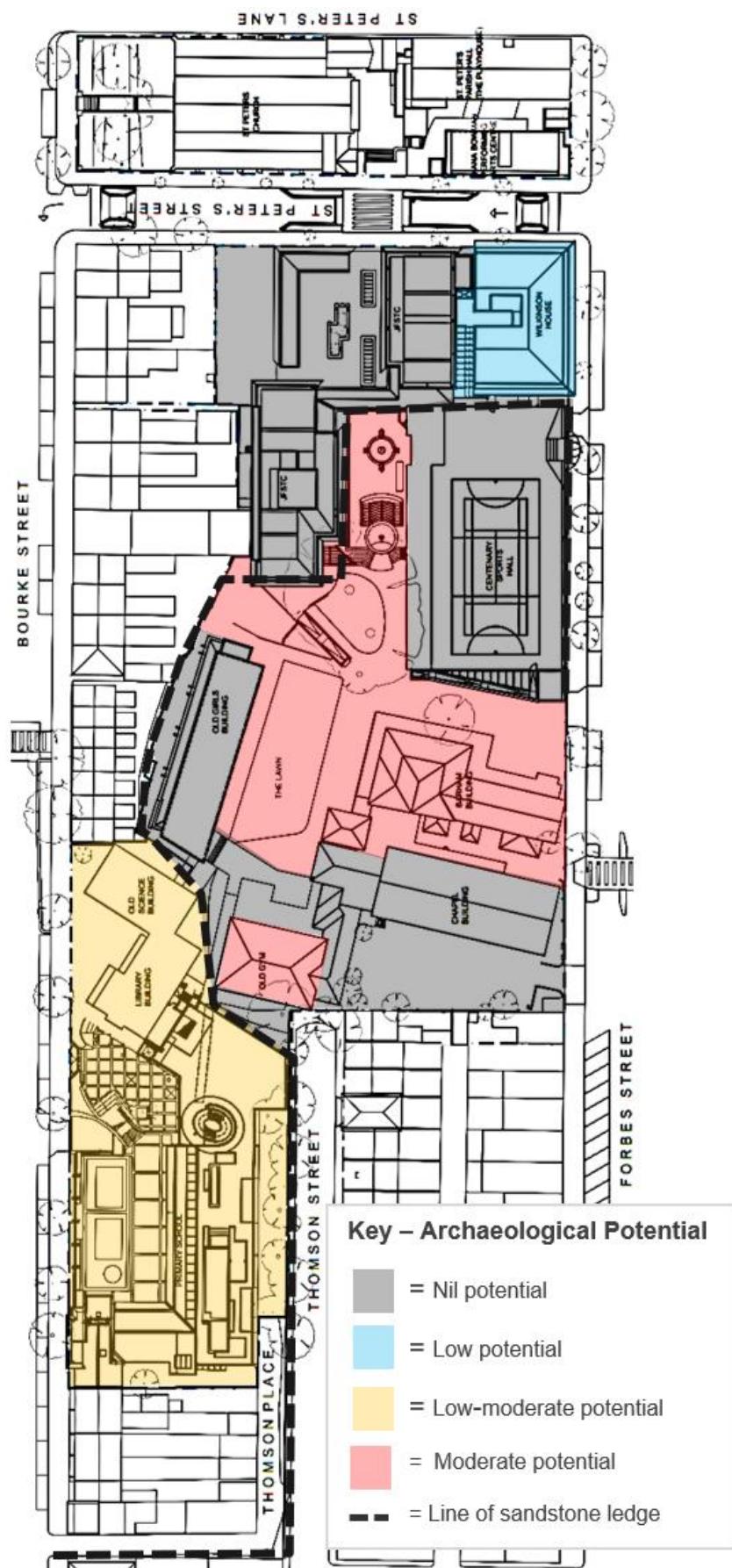


Figure 26 - Archaeological zoning plan – Archaeological Potential

5. ARCHAEOLOGICAL SIGNIFICANCE

5.1. TERMS AND DEFINITIONS

The concept of archaeological significance is independent of archaeological potential. For example, there may be 'low potential' for certain relics to survive, but if they do, they may be assessed as being of 'high (State) significance'.

Archaeological significance has long been accepted as linked directly to archaeological (or scientific) research potential: a site or resource is said to be scientifically significant when its further study may be expected to help answer questions. Whilst the research potential of an archaeological site is an essential consideration, it is one of a number of potential heritage values which a site or 'relic' may possess. Recent changes to the Heritage Act 1977 (Section 33(3) (a)) reflect this broader understanding of what constitutes archaeological significance by making it imperative that more than one criterion be considered.

The below assessment of archaeological significance considers the criteria, as outlined in the NSW Heritage Branch publication *Assessing Significance for Historical Archaeological Sites and 'Relics'*. Sections which are extracted verbatim from this document are italicized.

For the purposes of this assessment, significance is ranked as follows:

- **No Significance** – it is unlikely that any archaeological materials recovered will be attributed significance in accordance with the assessment criteria on a state or local level.
- **Low/Local Significance** – it is likely that archaeological materials recovered will be significant on a local level in accordance with one or more of the assessment criteria.
- **High/State Significance** – it is likely that archaeological materials recovered will be significant on a state level in accordance with one or more of the assessment criteria.

5.2. ASSESSMENT OF SIGNIFICANCE

Archaeological Research Potential (current NSW Heritage Criterion E).

Archaeological research potential is the ability of archaeological evidence, through analysis and interpretation, to provide information about a site that could not be derived from any other source and which contributes to the archaeological significance of that site and its 'relics'.

There are few historical plans and maps which detail the configuration of the Barham Estate in the early 19th century. Evidence of the former outbuildings, stables and gardens may have potential to yield information about the layout and operations of the estate which cannot be garnered from available historical resources. These would have significance at a local level.

Occupational evidence associated with the former stone cottage located within the north-eastern portion of the subject area, including rubbish pits, cesspits and casual finds, may yield information about the living conditions and class differences experienced by estate staff during this early period. These would have significance at a local level.

Subsurface evidence of the former Bourke Street terraces in the location of the existing Science, Library and Primary School buildings, are unlikely to provide additional information in respect of the early 20th century occupation of the area.

Associations with individuals, events or groups of historical importance (NSW Heritage Criteria A, B & D).

Archaeological remains may have particular associations with individuals, groups and events which may transform mundane places or objects into significant items through the association with important historical occurrences.

The subject area was transferred to Colonial Secretary Edward Deas Thomson in 1835. Archaeological resources located within the subject area are unlikely to have more than a tenuous connection to this association.

Aesthetic or technical significance (NSW Heritage Criterion C).

Whilst the technical value of archaeology is usually considered as 'research potential' aesthetic values are not usually considered to be relevant to archaeological sites. This is often because until a site has been excavated, its actual features and attributes may remain unknown. It is also because aesthetic is often interpreted to mean attractive, as opposed to the broader sense of sensory perception or 'feeling' as expressed in the Burra Charter. Nevertheless, archaeological excavations which reveal highly intact and legible remains in the form of aesthetically attractive artefacts, aged and worn fabric and remnant structures, may allow both professionals and the community to connect with the past through tangible physical evidence.

The extant worked quarry faces located within the western portion of the subject area have aesthetic significance as they provide an attractive and easily legible reminder of the historical use of the site as an important quarrying site in the early 19th century.

Ability to demonstrate the past through archaeological remains (NSW Heritage Criteria A, C, F & G).

Archaeological remains have an ability to demonstrate how a site was used, what processes occurred, how work was undertaken and the scale of an industrial practice or other historic occupation. They can demonstrate the principal characteristics of a place or process that may be rare or common.

Evidence of the original configuration of the Barham Estate, including outbuildings, stables, gardens and turning circle, may have significance at a local level for their ability to reflect the ambitions of an early 19th century estate. Evidence of the stone cottage within the north-eastern portion of the site may likewise reflect the spatial relationships and organisation of the early estate.

Subsurface evidence of the former late-19th century terraces in the location of the existing Science, Library and Primary School buildings, may provide physical evidence of the early subdivision patterns which were established in this area and would have significance at a local level.

The extant worked quarry faces located within the western portion of the subject area are demonstrative of a period in Sydney's early history when quarries established throughout the north-eastern suburbs provided valuable sandstone for the construction of municipal buildings, private dwellings and infrastructure and roadways throughout Sydney.

5.3. STATEMENT OF ARCHAEOLOGICAL SIGNIFICANCE

There are few historical plans and maps which detail the configuration of the Barham Estate in the early 19th century. Evidence of the former outbuildings, stables and gardens may have potential to yield information about the layout and operations of the estate which cannot be garnered from available historical resources. These may also have significance at a local level for their ability to reflect the ambitions of an early 19th century estate.

Evidence of the stone cottage within the north-eastern portion of the site may reflect the spatial relationships and organisation of the early estate. Occupational evidence associated with the former cottage, including rubbish pits, cesspits and casual finds, may yield information about the living conditions and class differences experienced by estate staff during this early period. These would have significance at a local level.

Subsurface evidence of the former late-19th century terraces in the location of the existing Science, Library and Primary School buildings, may provide physical evidence of the early subdivision patterns which were established in this area and would have significance at a local level.

The extant worked quarry faces located within the western portion of the subject area have aesthetic significance as they provide an attractive and easily legible reminder of the historical use of the site as an important quarrying site in the early 19th century. They are demonstrative of a period in Sydney's early history when quarries established throughout the north-eastern suburbs provided valuable sandstone for the construction of municipal buildings, private dwellings and infrastructure and roadways throughout Sydney.

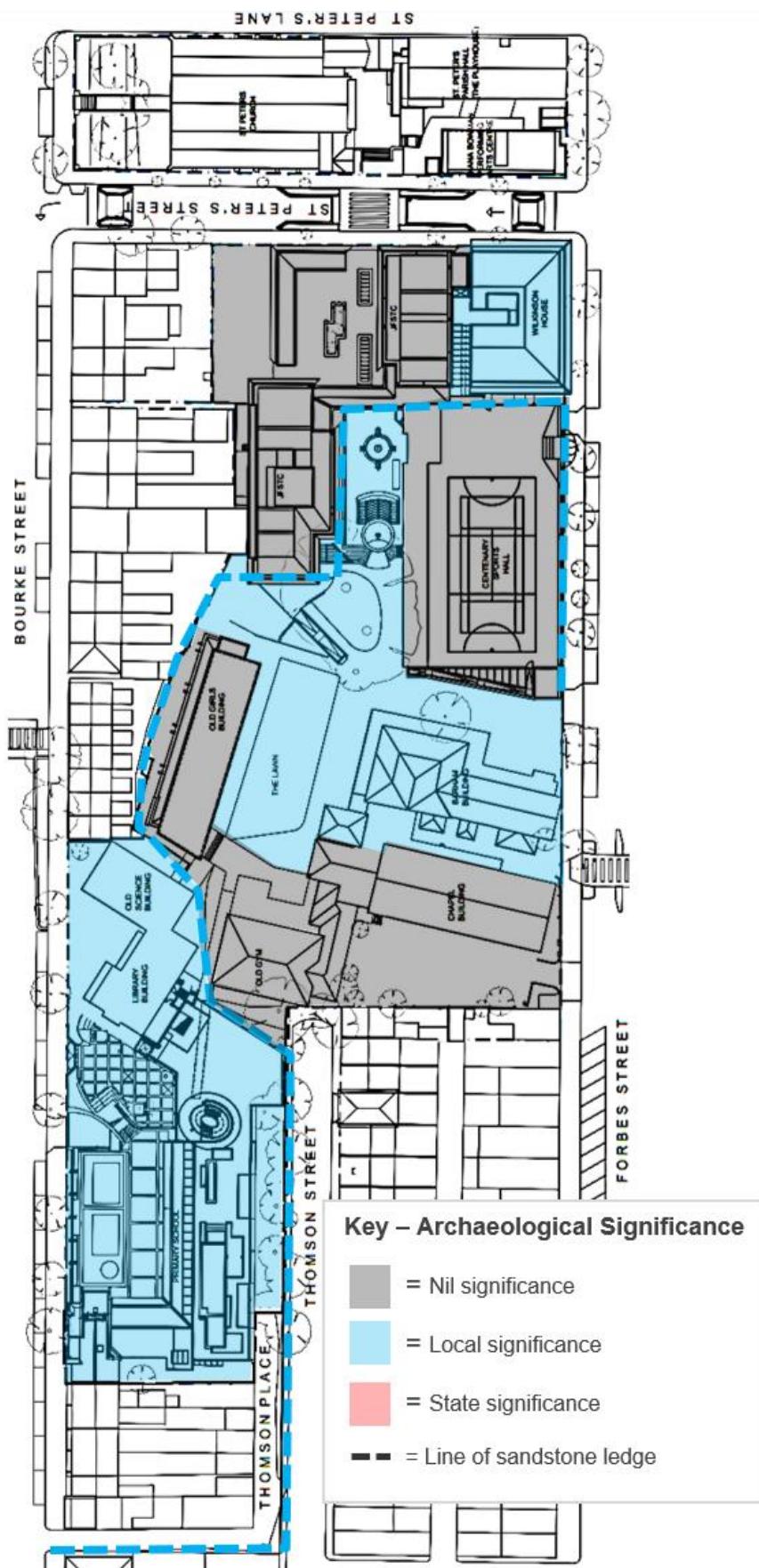


Figure 27 – Archaeological zoning plan – Archaeological significance

Table 5 – Summary of archaeological potential and significance

Phase	Evidence	Potential	Significance
Early Land Grants (1793-1835)	Archaeobotanical evidence of land clearing activities, charcoal deposits as evidence of burning activities, remnant fencing and paths.	Nil-Low	Local
The Barham Estate 1835-1850	The Estate: Evidence of gardens in the form of archaeobotanical deposits and early landscaping. Footings and foundations of stone cottage within the north-western portion of the site.	Low-Moderate	Local
	Quarry: Extant quarried rock faces along within western portion of subject area.	High (extant)	Local
Subdivision & Residential Development (1850-1900)	Structural evidence of rear yards of 19 th century terraces including foundations and footings of outbuildings, sub-floor deposits, post holes and cesspits.	Moderate	Local
Establishment of SCEGGS (1900-1918)	Chapel Building & additions to Barham House (extant).	Low-Moderate	Extant – refer to 2021 CMP
	Footings and foundations of the former School Sick Bay building (demolished).	Low-Moderate	Nil
SCEGGS – Inter-War Campus Development (1919-1939)	Alterations and additions to the Chapel building, bridge connecting Barham and Chapel buildings, Old Gym Building, Gymnasium Building and Wilkinson House (extant).	High (extant)	Extant – refer to 2021 CMP
SCEGGS – Late 20th Century Development (1940-1999)	Old Science Building, Library Building, Centenary Sports Hall and Old Girls Building (extant).	High (extant)	Extant – refer to 2021 CMP
	Footings and foundations of the former Barbara Chisholm Assembly Hall (demolished).	Nil-Low	Nil
SCEGGS – 21st Century Development (2000-Present)	Primary School & JFSTC (extant).	High (extant)	Extant – refer to 2021 CMP

6. MANAGEMENT RECOMMENDATIONS

The assessment of archaeological potential (Section 4) and significance (Section 5) has established that the subject area has potential to contain archaeological relics of local heritage significance.

The following table outlines management guidelines for areas of archaeological potential, as identified in Figure 27, in order to avoid impacts to historical archaeological resources. Additional detail is provided in Section 6.1 - 6.3 below.

Note: This section provides management recommendations in respect of locally significant relics only. In the event that relics of potential State significance are recovered during the course of works, all works must cease, Heritage NSW be notified, and the relevant permits be obtained.

Table 6 - Recommended management of archaeological potential

Potential	Approvals	Management
Nil	Application for an Excavation permit exception under Section 139(4) of the <i>Heritage Act 1977</i> .	Unexpected finds procedure.
Low	Application for an Excavation permit exception under Section 139(4) of the <i>Heritage Act 1977</i> . In the event that potential relics are identified during the course of archaeological monitoring, mechanical excavation must immediately cease, Heritage NSW be contacted and an application be made for an Excavation permit under Section 140 of the <i>Heritage Act 1977</i> .	Archaeological monitoring.
Low-Moderate	Application for an Excavation permit under Section 140 of the <i>Heritage Act 1977</i>	Archaeological monitoring should be undertaken and manual excavation/ investigation if required and in compliance with the conditions of approval.
Moderate	Application for an Excavation permit under Section 140 of the <i>Heritage Act 1977</i> . Preparation of an Archaeological Research Design (ARD) and Excavation Methodology to accompany the permit application.	Archaeological monitoring and manual excavation/ investigation if required and in compliance with the conditions of approval.

* In the event that the proposal is a State Significant Development (SSD), the provisions of the *Heritage Act 1977*, do not apply. The development application will instead be assessed under Division 5.2 of the *Environmental Planning and Assessment Act 1979* (EP&A Act). Projects approved under Division 5.2 do not require approval under Part 4 of the *Heritage Act 1977*, however, accompanying documentation must outline proposed mitigations measures for any potential harm to relics. The Standard Secretary's Environmental Assessment Requirements (SEARs) must also be strictly adhered to.

6.1. ARCHAEOLOGICAL MONITORING

For future proposed works which require excavation in areas of low, low-moderate and moderate archaeological potential in general, archaeological monitoring should, where possible, adhere to the following:

- Demolition should be undertaken in such a way as to minimise impacts to foundations and subsurface structures. The archaeologist should initially be consulted about the proposed demolition methodology.

- The archaeologist should be present at times where there is potential to remove historical archaeological resources.
- Where a mechanical excavator is used, it must have a flat or mud bucket, rather than a toothed bucket, to ensure a level ground surface.
- All machinery should work backwards from a slab surface in order to avoid damage to any exposed archaeological relics.
- The soil should be removed in layers, which reflect the archaeological stratigraphy and as instructed by the archaeologist.

In the event that potential relics are identified during the course of archaeological monitoring, mechanical excavation must immediately cease, and the relevant conditions of approval be strictly adhered to.

6.2. MANUAL EXCAVATION

All potential relics should be initially excavated by hand in compliance with the relevant permit and should adhere with the following:

- Samples should be taken of any topsoils and any potential features such as pits or wells.
- Samples should be taken of any building materials such as bricks and mortar.
- Occupation deposits and fill of features should be sieved using a 3 or 5 mm mesh and all artefacts retained.
- Underfloor deposits should be hand excavated using trowels.
- Any archaeological relics which are identified but not removed should be covered with a semi-permeable membrane, such as bidum, before construction. Large plantings should not be established within the immediate vicinity of the relic.
- All artefacts which are recovered should be immediately bagged and labelled with the site name, Area number, context number, date, description and initials of archaeologist indicated.
- A description of each feature and context should be documented on context sheets.
- A scaled plan should be prepared for Areas 1-4, which indicates the spatial relationship of identified features.
- A Harris Matrix should be prepared which indicates the temporal relationship of archaeological contexts.
- The excavation process should be recorded photographically and in accordance with Heritage Division guidelines.

6.3. UNEXPECTED FINDS PROCEDURE

Where substantial intact archaeological relics of State or local significance, not identified in the archaeological assessment, zoning plan, management plan or statement required by this exception, are unexpectedly discovered during excavation, work must cease in the affected area and Heritage NSW be notified in writing in accordance with section 146 of the Act. Depending on the nature of the discovery, additional assessment and possibly an excavation permit may be required prior to the recommencement of excavation in the affected area.

7. IMPACT ASSESSMENT

The subject proposal will require that excavation be taken to a depth of approximately 2.5-3 metres within the southern portion of the Wilkinson House site to accommodate a larger basement footprint (Figure 3 & Figure 4). This will bring the lower ground floor to the same level as the adjacent JFSTC.

Historical overlays suggest that the subject area incorporated a number of buildings prior to the establishment of SCEGGS. Figure 28 - Figure 31 contain overlays of the proposed demolition footprint on various historical maps for the purpose of locating these early structures in relation to the area of greatest impact. Whereas the 1835 map (Figure 28) locates the early 19th century stone cottage outside the excavation footprint, the 1845 and 1854 maps (Figure 29 & Figure 30) locate this structure within it. The 1888 Rygate & West map (Figure 31) locates the late 19th century row of terraces at 167-171 Forbes Street within the excavation footprint, as well as their rear yards to the west. The potential archaeological resources associated with these earlier phases of the site's development are summarised in Section 4.

Despite various earlier structures having occupied the Wilkinson House site, the assessment of archaeological potential (Section 4) has established that the site has low archaeological potential. Construction of Wilkinson House in 1926 involved terraced excavation to accommodate a partial basement (Figure 16). These works are likely to have removed or significantly dislocated evidence of the former cottage and terraces. Geotechnical investigations for the adjacent JFSTC (Douglas Partners 2008) identified a subsurface profile of 1 metre fill overlying weathered sandstone and then medium strength sandstones from depths of 0.35-1 metre. Other investigations on the site encountered rock at depths less than 1 metre. It is therefore probable that excavation works associated with the construction of Wilkinson House removed most of the shallow, archaeologically sensitive soil profile from the site.

This HAIA has established that there is low potential for the proposal to impact on archaeological resources associated with the early 19th century stone cottage and late 19th century terraces within the Wilkinson House site. In the unlikely event that evidence of these earlier structures, or associated occupational deposits, are encountered during the proposed works, these may have local heritage significance (see Section 5) and additional investigation should be undertaken as outlined in Section 8.2 of this report.

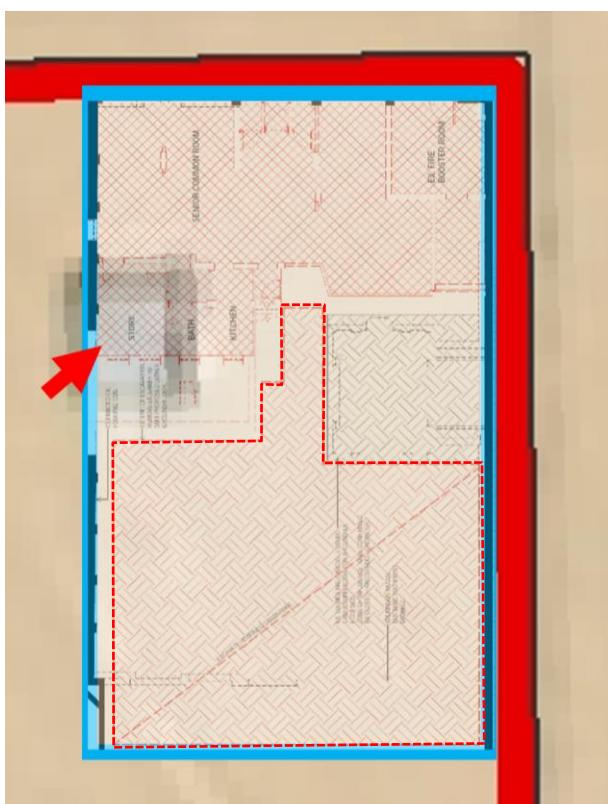


Figure 28 – Overlay of demolition plan on 1835 Sydney Alexandria Parish – Proposed new streets for Woolloomooloo map indicating location of stone cottage (with arrow) relative to proposed excavation footprint (indicated with red dotted line).



Figure 29 – Overlay of demolition plan on 1845 map indicating location of stone cottage (with arrow) relative to proposed excavation footprint (indicated with red dotted line).

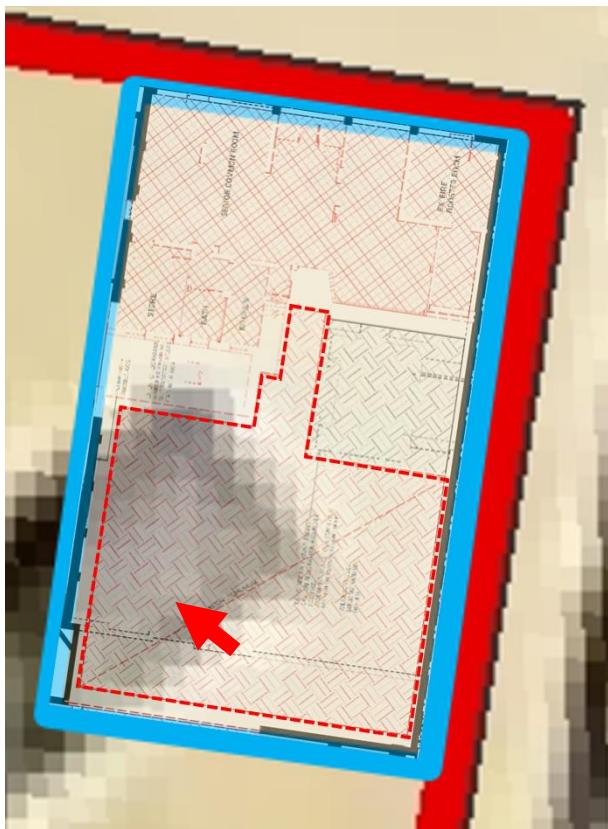


Figure 30 – Overlay of demolition plan on 1854 Woolcott and Clarke map indicating location of stone cottage (with arrow) relative to proposed excavation footprint (indicated with red dotted line).

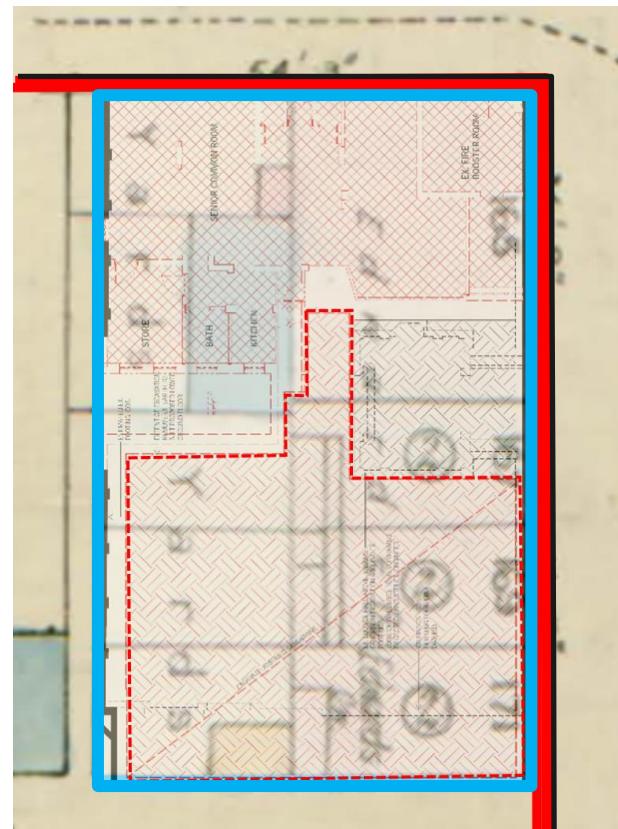


Figure 31 – Overlay of demolition plan on 1888 Rygate & West plan indicating location of terraces and yards relative to proposed excavation footprint (indicated with red dotted line).

8. CONCLUSIONS AND RECOMMENDATIONS

8.1. CONCLUSIONS

Archaeological Potential

Barham House Outbuildings and Gardens (1835)

Historical maps and sources indicate that Barham House was surrounded by extensive gardens, a carriage circle, stables and outbuildings. An 1888 map shows two outbuildings located to the east of the Barham House. An overlay of this map with a map of the existing site reveals that the former outbuildings would have been located within the footprint of the 1930 additions. A 1904 photograph indicates the location of stables to the south of the Chapel Building. The landscape immediately surrounding Barham and the Chapel building have been subject to relatively low disturbance since the establishment of the school in 1900. There is therefore low-moderate potential for evidence of the former stables and outbuildings. Evidence of the former gardens may also survive in the form of landscaping, foundations of retaining walls, postholes and archaeobotanical deposits.

Stone Cottage (c.1835)

An 1835 map indicates the presence of a stone cottage at the corner of Forbes and St Peters Streets in the current location of Wilkinson House. This cottage was likely used for housing workers during this period. Based on the early date of construction, the cottage likely consisted of stone slab foundations. Construction of Wilkinson House in 1926 involved terraced excavation to accommodate a partial basement. These works are likely to have removed evidence of this former structure. It is therefore assessed that there is low potential for evidence of the stone cottage within the footprint of Wilkinson House.

Terraces (1888)

An 1888 map indicate the location of a series of terraces along the Bourke Street frontage in the location of the existing Science and Library buildings and the Primary School. Casey & Lowe (2018) concluded that evidence of the Bourke Street terraces was likely to have been removed through the impacts associated with the construction of these buildings. Some archaeological potential was ascribed to the area to the east of the Science and Library buildings on the grounds that the rear yards of the terraces may yield evidence of the allotments' use and occupation. The area indicated in the potential map (Figure 20) does not, however, accurately reflect the location of the rear yards, which would have been within the footprint of the buildings and to the west of the quarry face. The Science and Library buildings are built into the sandstone bedrock and do not contain full basement levels. Likewise, the lowest floor of the Primary School building is roughly level with Bourke Street. As such, the potential for evidence of the former Bourke Street terraces, in the form of structural remains, occupational deposits and casual finds, is assessed as low-moderate within the footprint of these buildings.

Archaeological Significance

There are few historical plans and maps which detail the configuration of the Barham Estate in the early 19th century. Evidence of the former outbuildings, stables and gardens may have potential to yield information about the layout and operations of the estate which cannot be garnered from available historical resources. These may also have significance at a local level for their ability to reflect the ambitions of an early 19th century estate.

Evidence of the stone cottage within the north-eastern portion of the site may reflect the spatial relationships and organisation of the early estate. Occupational evidence associated with the former cottage, including rubbish pits, cesspits and casual finds, may yield information about the living conditions and class differences experienced by estate staff during this early period. These would have significance at a local level.

Subsurface evidence of the former late-19th century terraces in the location of the existing Science, Library and Primary School buildings, may provide physical evidence of the early subdivision patters which were established in this area and would have significance at a local level.

The extant worked quarry faces located within the western portion of the subject area have aesthetic significance as they provide an attractive and easily legible reminder of the historical use of the site as an important quarrying site in the early 19th century. They are demonstrative of a period in Sydney's early

history when quarries established throughout the north-eastern suburbs provided valuable sandstone for the construction of municipal buildings, private dwellings and infrastructure and roadways throughout Sydney.

Impact Assessment

This HAIA has established that there is low potential for the proposal to impact on archaeological resources associated with the early 19th century stone cottage and late 19th century terraces within the Wilkinson House site.

Despite various earlier structures having occupied the Wilkinson House site, this HAIA has established that the site has low archaeological potential. Construction of Wilkinson House in 1926 involved terraced excavation to accommodate a partial basement. These works are likely to have removed or significantly dislocated evidence of the former cottage and terraces. Geotechnical investigations for the adjacent JFSTC identified a subsurface profile of 1 metre fill overlying weathered sandstone and then medium strength sandstones from depths of 0.35-1 metre. It is therefore probable that excavation works associated with the construction of Wilkinson House removed most of the shallow, archaeologically sensitive soil profile from the site.

In the unlikely event that evidence of these earlier structures, or associated occupational deposits, are encountered during the proposed works, these may have local heritage significance and additional investigation should be undertaken as outlined in the recommendations below.

8.2. RECOMMENDATIONS

Recommendation 1 – Excavation Permit Exception

An application should be made for an Excavation Permit Exception under Section 139(4) of the *Heritage Act 1977*. In the event that potential relics are identified during the course of archaeological monitoring, mechanical excavation must immediately cease, Heritage NSW be contacted and an application be made for an Excavation permit under Section 140 of the *Heritage Act 1977*.

Recommendation 2 – Archaeological Monitoring

Archaeological monitoring should be undertaken throughout any works which would disturb the ground surface.

In general, archaeological monitoring should adhere to the following:

- Demolition should be undertaken in such a way as to minimise impacts to foundations and subsurface structures. The archaeologist should initially be consulted about the proposed demolition methodology.
- An archaeologist should be present at all times during the lifting of current hard surfaces, excavation and/or other activities that result in ground disturbance.
- Where a mechanical excavator is used, it must have a flat or mud bucket, rather than a toothed bucket, to ensure a level ground surface.
- All machinery should work backwards from a slab surface in order to avoid damage to any exposed archaeological relics.
- Fills should be removed sequentially in reverse order of deposition, starting with any imported fill and overburden, which reflect the archaeological stratigraphy and as instructed by the archaeologist.
- If archaeological relics are identified by the monitoring archaeologist, work must stop immediately, the area be cordoned off and the find safely retained in situ. Further assessment and recording of the find will be required, following the methods outlined in Section 6.2 of this report.

9. BIBLIOGRAPHY

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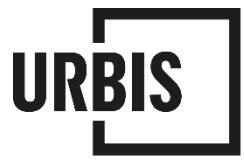
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