



**URBIS**

# **CONSERVATION MANAGEMENT PLAN**

**Part 2**

**SCEGGS Darlinghurst:  
Wilkinson House**

Prepared for  
**SCEGGS**  
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**Cover Image:** Wilkinson House, Forbes St façade, 1968 (Source: SCEGGS Darlinghurst Archives)

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## **Appendix A Residents of Callaghans Terraces**



# EXECUTIVE SUMMARY

This Conservation Management Plan (CMP) was prepared for SCEGGS Darlinghurst to manage the significance of Wilkinson House, located at 215 Forbes Street, Darlinghurst. The purpose of this CMP, which forms Part 2 of 4 Parts, is to guide the conservation and management of the significant elements of Wilkinson House. This CMP is to be read in conjunction with the Part 1 CMP for SCEGGS Darlinghurst campus which provides the overall strategy for the conservation and management of the SCEGGS Darlinghurst campus. These CMPs do not address the conservation and management of the broader school campus which includes the St Peters Precinct located to the north of St Peters Street, nor the terrace at 217 Forbes Street. Where reference to the SCEGGS Darlinghurst campus is made throughout this report, this refers only to the main campus as defined in Figure 1.

This CMP is intended to assist the property owners and occupiers to manage maintenance and new works to Wilkinson House. The CMP provides a careful analysis of Wilkinson House in terms of heritage significance and its context within the wider SCEGGS Darlinghurst campus. Based on this analysis, detailed conservation policies appropriate to Wilkinson House have been provided.

This CMP for Wilkinson House has been prepared in response to Condition B4A of approved SSDA 8993:

*B4A. A detailed CMP for Wilkinson House must be prepared by a suitably qualified heritage consultant. The CMP for Wilkinson House must:*

- (a) be consistent with the endorsed overarching CMP in condition A13;*
- (b) be prepared in consultation with Council;*
- (c) include details of options for the adaptive re-use of Wilkinson House; and*
- (d) be submitted prior to or with the future detailed development application for Wilkinson House, associated with the Concept Approval.*

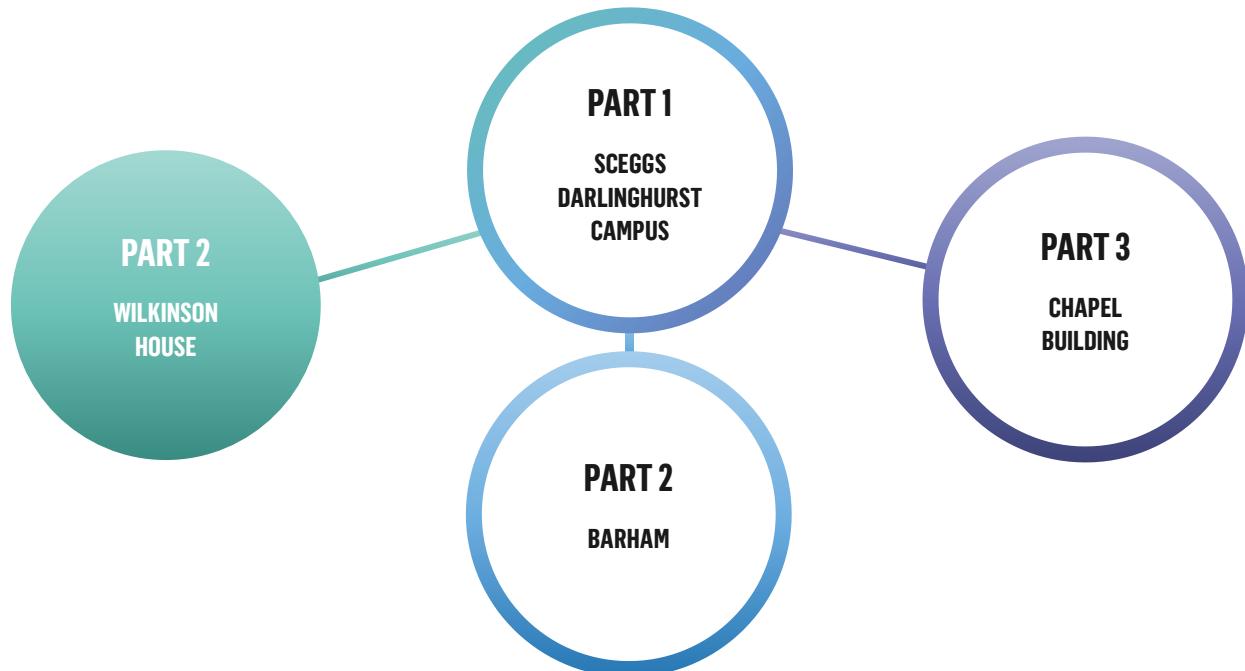
This CMP forms Part 2 of the 4 parts. This CMP must be read in conjunction with the Part 1 CMP for the overall SCEGGS Darlinghurst campus (dated 26 November 2021), which was endorsed by the Planning Secretary on 8 December 2021. This CMP provided detailed analysis and guidance for the conservation and management specific to Wilkinson House.

## WILKINSON HOUSE

Wilkinson House is located in the north-east corner of the SCEGGS Darlinghurst campus at 215 Forbes Street, Darlinghurst. It is located at the corner of Forbes and St Peters Street, and it located directly adjacent to the Joan Freeman Science & Technology Centre (JFSTC) at the west and the Centenary Sports Hall at the south.

# HOW TO USE THIS CMP

The CMPs for SCEGGS Darlinghurst have been prepared in response to Condition A13 of approved SSDA 8993. This CMP forms Part 2 of 4 parts. This CMP must be read in conjunction with the Part 1 CMP for the overall SCEGGS Darlinghurst campus. This CMP provides detailed analysis and guidance for the conservation and management specific to Wilkinson House.



## HERITAGE CONTEXT

The SCEGGS Darlinghurst campus is listed under Part 1 of Schedule 5 of the *Sydney Local Environmental Plan (LEP) 2012* (Item No. I301) as 'Sydney Church of England Girls Grammar School group including Barham, Chapel Building and Wilkinson House and their interiors and grounds'. Wilkinson House is one of the three significant buildings identified as being of significance as part the SCEGGS Darlinghurst campus.

## WHAT IS THE HERITAGE SIGNIFICANCE OF THE SITE?

Wilkinson House is of local heritage significance for its historic, associative, aesthetic, representative values and for its rarity:

Wilkinson House, originally constructed as the Gwydir Flats, is historically significant within Darlinghurst and inner city for its ability to demonstrate the historic transition towards residential flat building in the Inter-War period, which was necessary to accommodate higher density and more affordable housing close to the Sydney CBD in this period. Wilkinson House is also historically significant for its association with SCEGGS (the Sydney Church of England Girls Grammar School) and its students, and was acquired and altered by the school in order to provide boarders accommodation for the growing number of school students during the 1960s and its subsequent conversion to a Senior Education Centre in 2002 has continued its use and association with the school for over 60 years.

In addition to its association with SCEGGS, Wilkinson House is also associated with Emil Sodersten, the prominent and notable Sydney based architect who was a leading practitioner of the Art Deco style. Wilkinson House is aesthetically significant as a fine example of the Inter-War Georgian and Mediterranean Revival styles. It retains many characteristics of these styles, such as symmetrical and balanced facades and proportions, multi-paned Georgian windows, arches, decorative brickwork, and classical Mediterranean inspired elements such as Doric columns, barley twists, and cartouches. Wilkinson House is the earliest surviving building designed by Sodersten, and is one of only two Mediterranean and Georgian Revival buildings designed by Sodersten and as such provides a rare example of his work in these more classical styles. However, Sodersten is better known for his work in the Art Deco style and is

not considered to be one of his primary works. The entrance foyer and lounge hall are also fine examples of Sodersten's focus on providing grand and traditional communal spaces.,

Wilkinson House is also likely to demonstrate social significance on account of its over 60 year association with SCEGGS, particularly boarders who experienced their formative years there. The building also likely contributes to the community's sense of place – both that of SCEGGS students and Darlinghurst residents – on account of its landmark qualities and contributes to the significance of the East Sydney Heritage Conservation Area.

## HOW SHOULD THE SITE BE CONSERVED?

Section 7 of this CMP provides an overview of the heritage opportunities and constraints specific to Wilkinson House, including an analysis of the options for the adaptive reuse of Wilkinson House to ensure its future conservation, management and ongoing use. Wilkinson House is of high local significance, and any proposed modification must take into consideration the identified significance of the place and identified significant fabric that is intrinsic to the understanding and conservation of the identified heritage values of the place.

Change should be considered with a goal of conserving and enhancing the identified heritage values of the place, wherever possible. The minimum standard of maintenance and repair, under Section 188 of the *Heritage Act 1977* and as outlined in CMP Part 1: Section 7, should be used as a guide for the long term conservation of Wilkinson House, along with the Cyclical Maintenance Plan which is included in Section 9 of this report.

When undertaking works to the site, assessment under relevant legislation (refer to Section 7.2 of Part 1 CMP) should consider whether the works are likely to impact on the site's heritage significance and/or significant fabric as identified in Sections 6.5 and 6.6 of this CMP. Reference should also be made to the site's statement of significance (Section 6.2.3). A heritage impact statement or archaeological assessment should be prepared by a suitably qualified consultant in accordance with the guidelines of Heritage NSW.

# 1. INTRODUCTION

## 1.1. BRIEF

This Conservation Management Plan (CMP) was prepared for SCEGGS Darlinghurst to manage the significance of Wilkinson House, located at 215 Forbes Street, Darlinghurst. The purpose of this CMP, which forms Part 2 of 4 Parts, is to guide the conservation and management of the significant elements of Wilkinson House. This CMP is to be read in conjunction with the Part 1 CMP for SCEGGS Darlinghurst which provided the overall strategy for the conservation and management of the SCEGGS Darlinghurst campus. These CMPs do not address the conservation and management of the broader school campus which includes the St Peters Precinct located to the north of St Peters Street, nor the terrace at 217 Forbes Street. Where reference to the SCEGGS Darlinghurst campus is made throughout this report, this refers only to the main campus as defined in Figure 1.

This CMP also intended to assist the property owners and occupiers to manage maintenance and new works to Wilkinson House. The CMP provides a careful analysis of Wilkinson House in terms of heritage significance and its context within the wider SCEGGS Darlinghurst campus. Based on this analysis, detailed conservation policies appropriate to Wilkinson House have been provided.

This CMP for Wilkinson House has been prepared in response to Condition B4A of approved SSDA 8993:

*B4A. A detailed CMP for Wilkinson House must be prepared by a suitably qualified heritage consultant. The CMP for Wilkinson House must:*

- (a) be consistent with the endorsed overarching CMP in condition A13;*
- (b) be prepared in consultation with Council;*
- (c) include details of options for the adaptive re-use of Wilkinson House; and*
- (d) be submitted prior to or with the future detailed development application for Wilkinson House, associated with the Concept Approval.*

This CMP forms Part 2 of the 4 parts. This CMP must be read in conjunction with the Part 1 CMP for the overall SCEGGS Darlinghurst campus (dated 26 November 2021), which was endorsed by the Planning Secretary on 8 December 2021. This CMP provided detailed analysis and guidance for the conservation and management specific to Wilkinson House.

## 1.2. SITE LOCATION

Wilkinson House is located in the north-east corner of the SCEGGS Darlinghurst campus at 215 Forbes Street, Darlinghurst, legally described as Lot 200 of Deposited Plan 1255617. It is located at the corner of Forbes and St Peters Street, and it located directly adjacent to the Joan Freeman Science, Art & Technology Centre (JFSTC) at the west and the Centenary Sports Hall at the south.

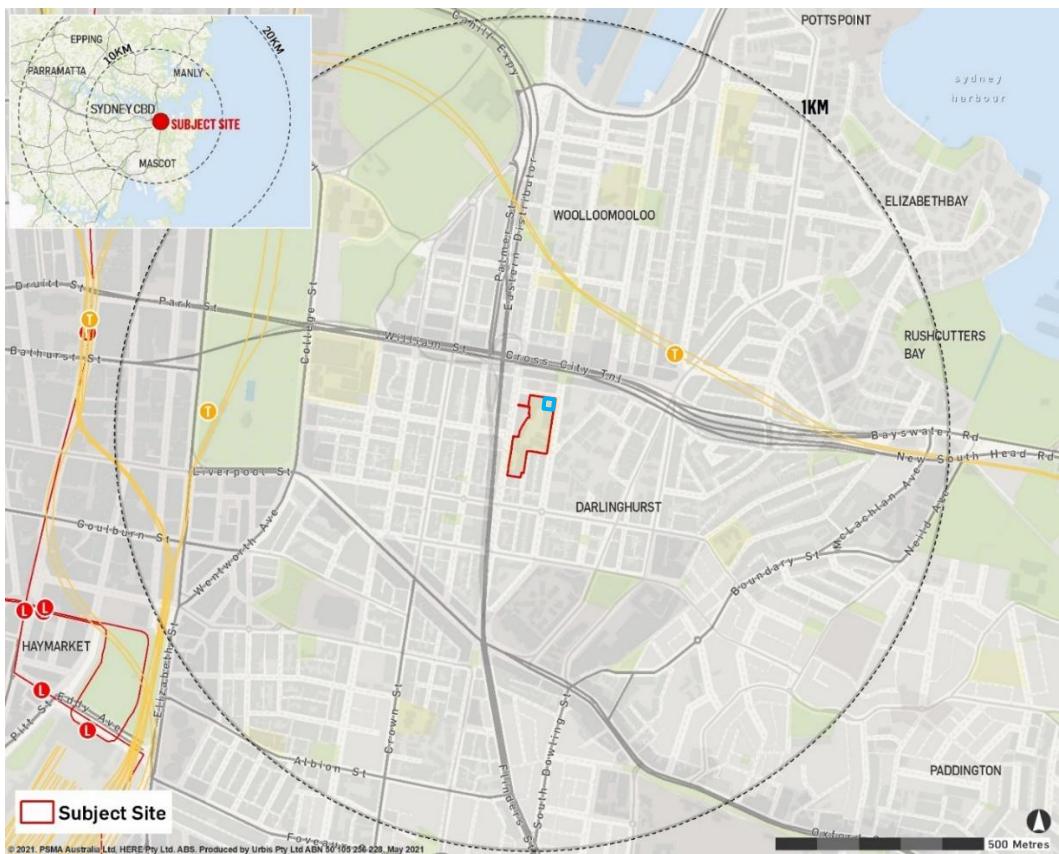


Figure 1 – Location of the subject site outlined in red, with Wilkinson House highlighted in blue.

## 1.3. METHODOLOGY

This Conservation Management Plan has been prepared in accordance with the NSW Heritage Manual (1996), the Australia ICOMOS Burra Charter (2013) and *The Conservation Plan* by James Semple Kerr (2000). This CMP has been prepared with reference to (and supersedes) the following reports:

- Tanner & Associates, *SCEGGS Darlinghurst* (March 1999);
- Godden Mackay Logan, Conservation Management Plan. Wilkinson House, SCEGGS Darlinghurst (August 2001); and
- Tanner Kibble Denton, SCEGGS Darlinghurst Masterplan SEARs Request – Heritage Considerations (2017).

The structure of this CMP is outlined in Table 1.

Table 1 – Report Structure

Part	Section	Description
<b>Part 1: SCEGGS Darlinghurst Campus</b>	-	High level strategic CMP that guides the conservation and management for the whole of the SCEGGS Darlinghurst campus
<b>Part 2: Wilkinson House</b>	1. Introduction	Project brief, methodology, limitations, author identification and acknowledgements.
	2. Site Description	Detailed summary of site location and description of Wilkinson house.

Part	Section	Description
	3. Historical Overview	Historical overview of the site of Wilkinson House and its development within the context of the SCEGGS Darlinghurst campus.
	4. Summary Archaeological Assessment	Summary assessment of Aboriginal and historical archaeological constraints particular to the Wilkinson House site.
	5. Comparative Analysis	Comparative assessment of Wilkinson House in relation to the works of Emil Sodersten and Inter-War Georgian Revival and school campuses of Australia and internationally.
	6. Heritage Significance	Assessment and statement of heritage significance, identification of significant elements of Wilkinson House
	7. Opportunities and Constraints	Constraints and obligations and part of the process for developing conservation policies, including a details of all options for the adaptive reuse of Wilkinson House.
	8. Conservation Policies	Policies to manage Wilkinson House's significance and implementation strategies for the policies.
	9. Cyclical Maintenance Plan	Cyclical Maintenance Plan for guidance for the ongoing maintenance to maintain the condition of the building.
	Appendices	Appendix A – Residents of Callaghans Terraces

## 1.4. LIMITATIONS AND EXCLUSIONS

This report notes the potential for original fabric and finishes that were not able to be investigated as part of the brief for the provision of the CMP, for example foundations, roof cavities or floor structures, or areas not provided access to. This report follows a site inspection of Wilkinson House conducted on 7 December 2020, 29 April 2021 by Keira Kucharska and Sarah Hawkins. These inspections were general and non-invasive. This CMP makes recommendations with regard to the management of original fabric.

## 1.5. AUTHOR IDENTIFICATION AND ACKNOWLEDGEMENTS

The following report has been prepared by Sarah Hawkins (Consultant, Heritage) and Keira Kucharska (Senior Consultant, Heritage). Archaeological inputs have been extracted from the associated Aboriginal Cultural Heritage Assessment and Historical Archaeological Assessment prepared by Meggan Walker (Consultant) and Alexandra Ribeny (Consultant) respectively. This report has been reviewed by Fiona Binns (Associate Director, Heritage), Balazs Hansel (Associate Director, Archaeology), and endorsed by Stephen Davies (Director, Heritage).

Unless otherwise stated, all drawings, illustrations and photographs are the work of Urbis.

## 1.6. ABBREVIATIONS & DEFINITIONS

Common abbreviations and definitions used throughout the report are provided in Table 2.

Table 2 - Abbreviations

Abbreviation	Definition
BCA	Building Code of Australia
CEMP	Construction Environmental Management Plan
CHL	Commonwealth Heritage List
CMP	Conservation Management Plan
EMP	Environmental Management Plan
LEP	Local Environmental Plan
HAMS	Heritage Asset Management Strategy
HIS	Heritage Impact Strategy
HMF	Heritage Management Framework
NCC	National Construction Code
NHL	National Heritage List
REF	Review of Environmental Factors
RNE	Register of the National Estate
S170	Section 170 Heritage and Conservation Register
SEPP	State Environmental Planning Policy
SHR	State Heritage Register
TAMP	Total Asset Management Plan

Terms and definitions used throughout the report are defined in Table 3.

Table 3 – Terms & Definitions

Term	Definition
Aboriginal object	A statutory term meaning any deposit, object or material evidence (not being a handicraft made for sale) relating to the Aboriginal habitation of the area that comprises New South Wales, being habitation before or concurrent with (or both) the occupation of that area by persons of non-Aboriginal descent, and includes Aboriginal remains.

Term	Definition
Aboriginal place	A statutory term meaning any place declared to be an Aboriginal place (under Section 84 of the <i>National Parks and Wildlife Act 1974</i> (NPW Act)) by the Minister administering the NPW Act, because the Minister is of the opinion that the place is or was of special significance with regards to Aboriginal culture. This place may or may not contain Aboriginal objects.
Archaeological assessment	A study undertaken to establish the nature, extent, and significance (research potential) of archaeological resources that may exist within a particular site and to identify appropriate measures to manage those resources.
Archaeological potential	The degree of physical evidence present at an archaeological site, usually assessed on the basis of physical evaluation and historical research.
Archaeology	The study of past human culture, behaviour and society through the study and analysis of physical remains, including buildings, graves, tools and other objects.
Australia ICOMOS	The national committee of the international Council on Monuments and Sites.
Burra Charter	Charter adopted by Australia ICOMOS, which establishes the nationally accepted principles for the conservation of places of cultural significance. Although the Burra Charter is not cited formally in statutory legislation, it is nationally recognised as a document that shapes the policies of Heritage NSW, Department of Premier and Cabinet.
Conservation	All the processes of looking after an item so as to retain its cultural significance. This includes maintenance and may, according to circumstances, include preservation, restoration, reconstruction, and adaptation, and will commonly be a combination of more than one of these processes.
Conservation Management Plan	A document explaining the significance of a heritage item, including a heritage conservation area, and proposing policies to retain that significance. It can include guidelines for additional development of maintenance of the place.
Conservation policy	A proposal to conserve a heritage item arising out of the opportunities and constraints presented by the statement of heritage significance and other considerations.
Context	The specific character, quality, physical, historical and social characteristics of a building's setting.

Term	Definition
Curtilage	The geographic area that provides the physical context for an item which contributes to its heritage significance. Land titles boundaries do not necessarily coincide with the curtilage.
Heritage and Conservation Registers	A register of heritage assets owned, occupied or controlled by a State agency, prepared in accordance with Section 170 of the <i>Heritage Act 1977</i> .
Heritage assets	Items of heritage significance identified in a State Government Agency's Heritage and Conservation Register, including items of cultural and natural significance.
Heritage Asset Management Strategy	A strategy prepared by a State Government Agency to document how the principles and guidelines outlined in the Management of Heritage Assets by NSW Government Agencies will be implemented in the management of heritage assets.
Heritage item	A landscape, place, building, structure, relic or other work of heritage significance.
Heritage significance	Of aesthetic, historic, scientific, cultural, social, archaeological, natural or aesthetic value for past, present or future generations.
Heritage value	Often used interchangeably with the term 'heritage significance'. There are four nature of significance values used in heritage assessments (historical, aesthetic, social and technical/research) and two comparative significance values (representative and rarity).
Integrity	A heritage item is said to have integrity in its assessment and statement of significance is supported by sound research and analysis, and its fabric and curtilage and still largely intact.
Interpretation	Interpretation explains the heritage significance of a place to the users and the community. The need to interpret heritage significance is likely to drive the design of new elements and the layout of planning of the place.
Maintenance	Continuous protective care of the fabric and setting of a place; to be distinguished from repair, as repair involves restoration or reconstruction.
Relics	A relic is defined under the <i>NSW Heritage Act 1977</i> as any deposit, object or material evidence which relates to the settlement of the area that comprises NSW, not being Aboriginal settlement, and is of state or local heritage significance.
Setting	The area around a heritage place or item that contributes to its significance, which may include views to and from the heritage item.

Term	Definition
Use	Means the functions of a place and the activities and practices that occur at the place. A compatible use respects the cultural significance of the place.

## 2. SITE DESCRIPTION

### 2.1. SITE LOCATION AND SETTING

Wilkinson House is located in the north-east corner of the SCEGGS Darlinghurst campus at 215 Forbes Street, Darlinghurst, legally described as Lot 200 of Deposited Plan 1255617. The SCEGGS Darlinghurst campus is located between Forbes and Bourke Streets in Darlinghurst. The campus comprises both a primary and secondary school, accessed from Bourke Street, Forbes Street and St Peters Street. The broader SCEGGS Darlinghurst campus also includes buildings north of St Peters Street (known as the St Peters Precinct) and a terrace at 217 Forbes Street used for school administration.

Wilkinson House is located at the corner of Forbes and St Peters Street, and it located directly adjacent to the Joan Freeman Science, Art & Technology Centre at the west and the Centenary Sports Hall at the south.



Figure 2 – Location of Wilkinson House outlined in blue with the SCEGGS Darlinghurst campus.

The area immediately surrounding Wilkinson House includes a mixture of single dwellings, mid-rise residential development, high-rise residential development, commercial and public buildings, in addition to the surrounding SCEGGS school buildings located to the west and south. To the south and west of Wilkinson House, there are several mid- and late-Victorian terraces along Forbes and Bourke Streets. These terraces date to the mid-1800s subdivision and development of the land immediately surrounding the Barham Estate. At the north side of St Peters Street, adjacent to the Diana Bowman Performing Arts Centre is St Peters Church, which was constructed at this location in the 1860s.

One notable development within proximity to Wilkinson House is the modernist high-rise residential development, the Horizon Building, designed by the influential modernist architect Harry Seidler. The Horizon Building is situated directly opposite Wilkinson House on the eastern side of Forbes Street.

Immediately adjacent to Wilkinson House to the west is the Joan Freeman Science and Technology Centre, constructed in 2011-13 by Tanner Kibble Denton Architects. The building is a contemporary classroom complex which has been developed with limited setback from Wilkinson House and has been designed to match the height of Wilkinson House. The Centenary Sports Hall is located adjacent to Wilkinson House to the south, which comprises of a basement basketball court and auditorium, with a rooftop basketball court. The rooftop level is approximately at the level of the top floor (Level 2) of Wilkinson House.

The SCEGGS site is interesting topographically, with varied levels present across the site. The levels represent a combination of the natural undulating landscape, historic land use for quarrying, and subsequent development associated with SCEGGS. From Wilkinson House, the alignment of St Peters Street descends to the west down to Bourke Street, which is at a significantly lower level than Forbes Street. Furthermore, from Wilkinson House moving south along Forbes Street the street level rises moving towards Liverpool Street. At the western portion of the SCEGGS site (and including the terraces located on Bourke Street), the ground level is significantly lower due to historic sandstone quarrying within the area. This is visible across the site, particularly at the base of the Science Building and at the east of the Primary School, where quarried stonefaces are retained to a height of approximately 6m.



Figure 3 – View north on Forbes Street

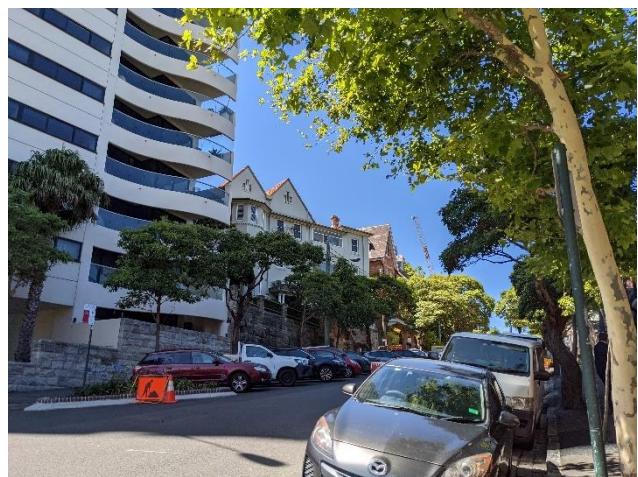


Figure 4 – View south on Forbes Street



Figure 5 – Joan Freeman Centre on St Peters St



Figure 6 – View north along Forbes Street



Figure 7 – Houses on Liverpool Street



Figure 8 – Terraces on Bourke Street

## 2.2. VIEWS

Wilkinson House has two primary elevations which are currently visible and contribute to the landmark qualities of the site and contribute to the character of the streetscapes. The primary façade fronts Forbes Street at the east and includes many of the more interesting and significant aesthetic features of the building, including the original main building entrance. The secondary elevation of Wilkinson House faces St Peters Street at the north and continues many of the architectural features present on the primary façade. The St Peters Street elevation features a half basement level which originally held garage spaces and was designed to adhere to the natural slope of the landscape. The key views towards Wilkinson House are along Forbes Street and St Peters Street, where there are largely unobstructed views towards these two key elevations. There are views towards Wilkinson House from Forbes Street looking north, west, and south.

Views to Wilkinson House at its Forbes Street frontage are contained to Forbes Street to the south (View 3), and to the north of St Peters Street (View 4). The most prominent views to Wilkinson House are from Forbes Street (Views 1 and 2), and some oblique views also exist from St Peters Street.

Views to the rear frontages of Wilkinson House (to the south and west) are obstructed by the adjoining development, respectively, of the Centenary Sports Hall (2001) and the Joan Freeman Science and Technology Centre (2011-13). These developments have little setback from Wilkinson House and while there are views towards individual elements of the façade from the Centenary Sports Hall, the presence of each of these buildings prevents overall views and appreciation of the south and west facades of Wilkinson House. Due to the surrounding infill development, there are no clear views of Wilkinson House in the round. The presence of these buildings also obstructs views to Wilkinson House from the majority of the SCEGGS Darlinghurst campus.

Views from the site too are largely limited to the surrounding streetscapes of Forbes and St Peters Street to the east and north, and to the side elevations of JFSTC to the west and Centenary Sport Hall to the south. However, due to the sloping topography of the area and the small scale of development within the SCEGGS Darlinghurst campus and the surrounding developments, views toward the city from the roof top of Wilkinson House exist. From the roof top a largely uninterrupted 180 degree view of the city exists

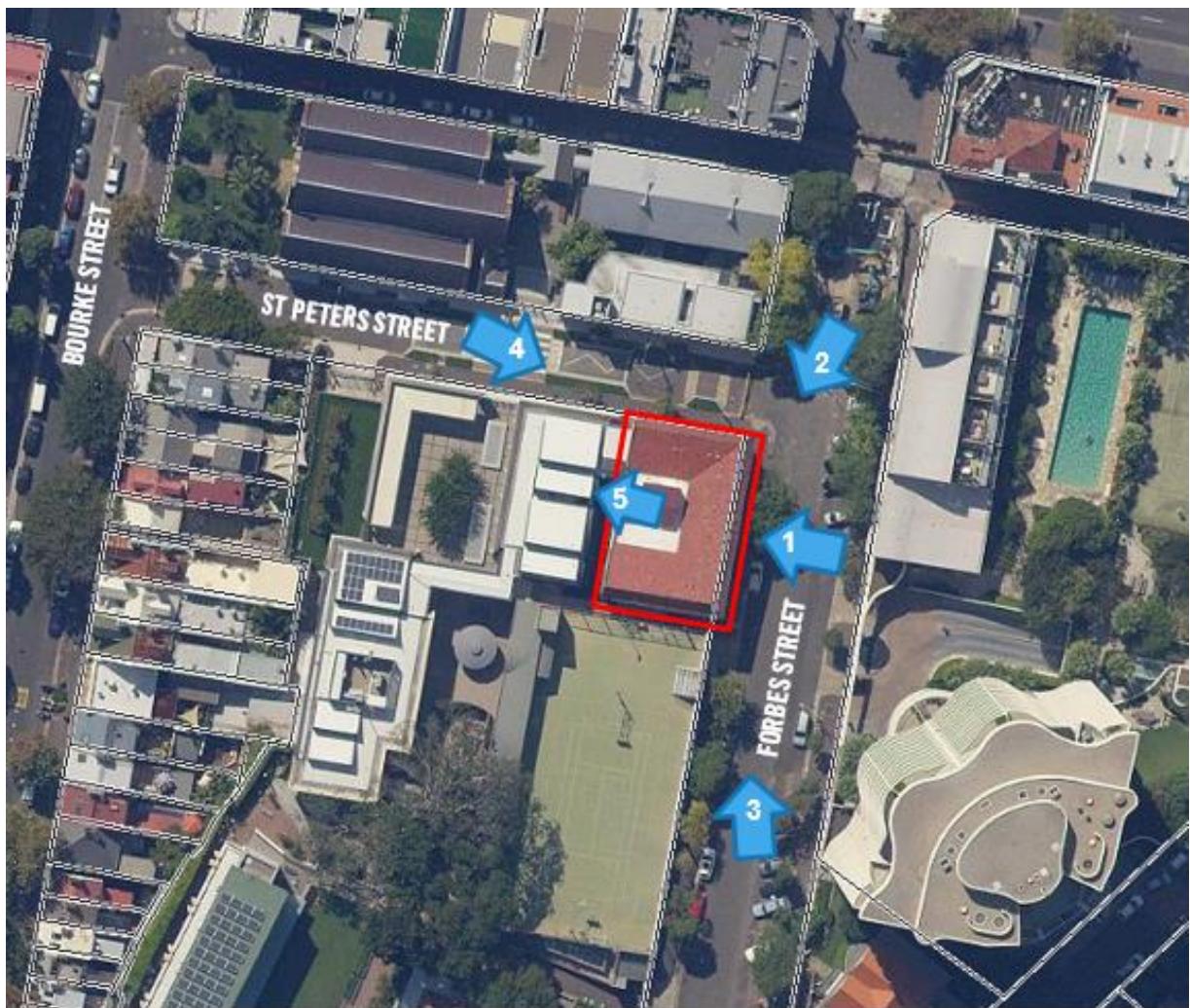


Figure 9 – Views to and from Wilkinson House

Source: SIX Maps 2021, with Urbis overlay.



Figure 10 – View 1 from Forbes Street



Figure 11 – View 2 from corner of Forbes and St Peters Street



Figure 12 – View 3 from Forbes Street south



Figure 13 – View 4 from St Peters Street.

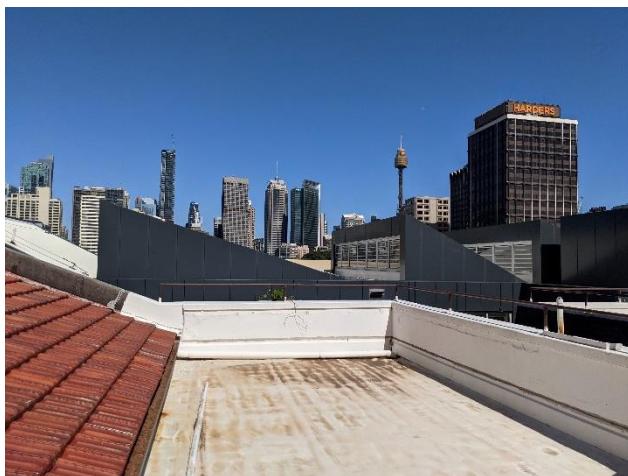


Figure 14 – View 5 from the roof of Wilkinson House looking west toward the City

## 2.3. WILKINSON HOUSE

### 2.3.1. Overview

Wilkinson House is situated at the north-east corner of the main SCEGGS Darlinghurst campus block, bounded by Forbes Street, Liverpool Street, St Peters Street and Bourke Street. The original primary entrance to the building was situated off Forbes Street, located in the centre of the façade. Additional entrances were accessed through the garage spaces on St Peters Street, which now have been closed and converted into a single pedestrian door onto St Peters Street. Current entrances to Wilkinson House are situated on the south façade of Wilkinson House and are located at each level, connecting to the multi-levelled external walkway between Wilkinson House and the Centenary Sports Hall.

### 2.3.2. Exterior

Wilkinson House is a three-storey residential flat building (with half-basement) designed with a mixture of the Inter-War Georgian Revival and Mediterranean Revival architectural styles. These styles were popular within the Inter-War period, particularly in the 1920s and were linked to a resurgence of classical and colonial architectural styles and tastes within the architectural profession. Wilkinson House is a clear and typical example of these two styles, featuring many features of the styles across the three primary facades (north, east and south). Each façade of Wilkinson House has been developed to be visually balanced in line with the principles of symmetry, alignment and balance perpetuated by Georgian architecture. Its details align more with the Mediterranean Revival style.

The building envelope of Wilkinson House is entirely rectangular in shape, with the only divergence from this shape apparent within the light well at the rear (west) of the building. The building is very solid in massing, with each façade largely rectangular. The overall proportions of the east and west sides of the building are wider than the building height, however due to the reduced depth and increased height of the St Peters Street façade (due to the inclusion of the basement) this façade appears taller than it is wide. The overall solidity and massing of Wilkinson House is broken up visually by the balance of solid and void, symmetry of the facade, use of recessed features, and mixture of materials.

The primary façade on Forbes Street can be separated into seven vertical bays. The central bay is the most visually prominent, featuring the large, ornamental arched doorway which was the original entrance to Wilkinson House. Features above the doorway include the school crest, two small double hung, multi-paned timber sash windows at Levels 1 and 2, and a plaster cartouche located within the centre of these upper storey windows.

On either side of the central bay are the large double balcony bays, which are slightly recessed from the main envelope of the façade. The bays feature two adjoining balcony spaces (which have since been enclosed with intrusive steel bars), which are separated by plastered Doric columns. The Doric columns at ground level are the height of one floor, standing on the recessed ledge of a rendered string course. The balconies on Levels 1 and 2 feature double-storey Doric columns, which are arched at the top and feature a barley twist detail. Below each balcony ledge are recessed brick friezes, with the upper frieze featuring a central protruding diamond detail.

The outer two bays feature a row of Georgian style timber double-hung windows. The outer bay windows are double-width, and each window features a trapezoid shaped brick lintel of two vertical courses. The Level 2 window continues the arch detail seen in the central bays of Wilkinson House, featuring an arched lintel.



Figure 15 – Primary façade of Wilkinson House as viewed from Forbes Street, looking west.

The north and south elevations of the building are also divided into seven bays, which continue many of the details seen on the primary (east) façade. The upper storey also features arch details, with the two balcony bays located at the west side of the north and south facades. A row of small windows is present between the two balcony rows. At the east side of each façade are two rows of larger, double-width timber windows. The north elevation, at street level, features the entrance and windows to the basement and former garage space. The former location of the garage doors is evident from the difference in colouring between bricks, showing where the garage doors were bricked in. At the west end of the façade are two former garage entrances which now feature contemporary aluminium sliding windows. In the centre of the façade is a small, recessed doorway which provides street access into the Wilkinson House basement however is not publicly accessible. At the northeast corner of the building is the entrance to the 'sprinkler room', with another former garage entrance located between the two doors. The south façade directly reflects the north, however within the centre of each level, new openings have been made to for the construction of new doorways onto the external walkway which connects Wilkinson House with the Centenary Sports Hall. The balconies at Level 1 have also been enclosed with aluminium framed windows. The external walkway substantially obscures the southern façade from view.

The west elevation features a largely bricked façade with little architectural detail. Windows are sparsely distributed on the rear elevation, concentrated towards the centre of the rear façade around the lightwell. These windows were placed to ensure that the inner rooms of the flats around the lightwell had access to natural lighting. The JFSTC directly adjoins the northern part of the rear (west) elevation of Wilkinson House.

The roof of Wilkinson House is somewhat typical of the Inter-War Georgian Revival styles. The main facades feature deep eaves with stepped cornice and boarded soffit. The roof is half hipped with sprocketed eaves on outer face and catslide on inner face and is clad in terracotta Marseille tiles. A small rooftop terrace is present which encircles the light well, internal stairwell and rooftop access. The rooftop terrace is covered in a white roof membrane. At the rear façade, the roof is not visible however an inward sloped brick parapet continues to the top of the roof and is capped with render.

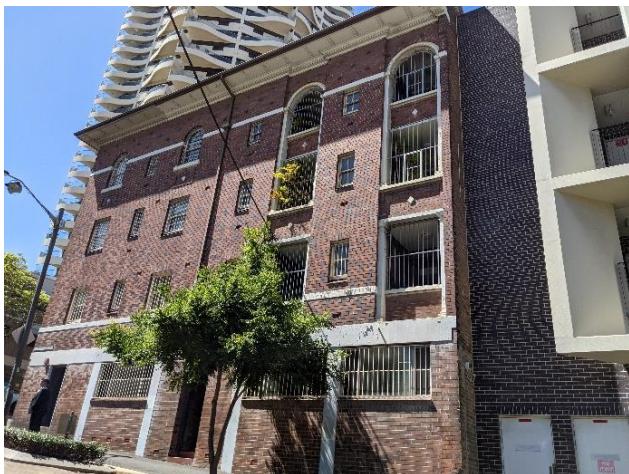


Figure 16 – Overview of St Peters Street facade



Figure 17 – Enclosed balcony at south façade, Level 1

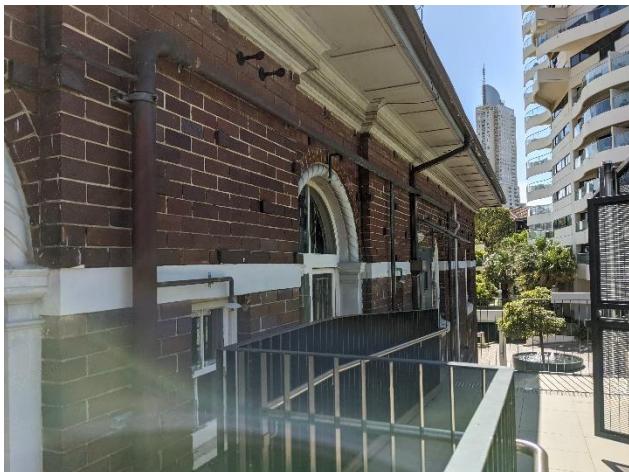


Figure 18 – Level 2 of south facade



Figure 19 – Enclosed balcony at Level 1



Figure 20 – New door opening at Level 2 south façade and soffit vent detail.

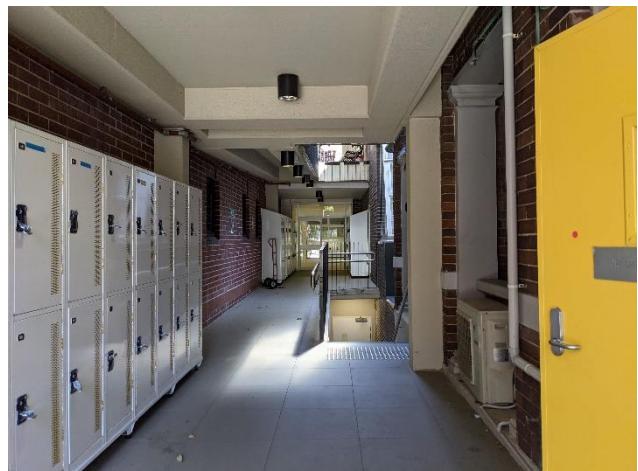


Figure 21 – Corridor linking Wilkinson House at south façade with Century Sports Hall and JFSTC, ground level.

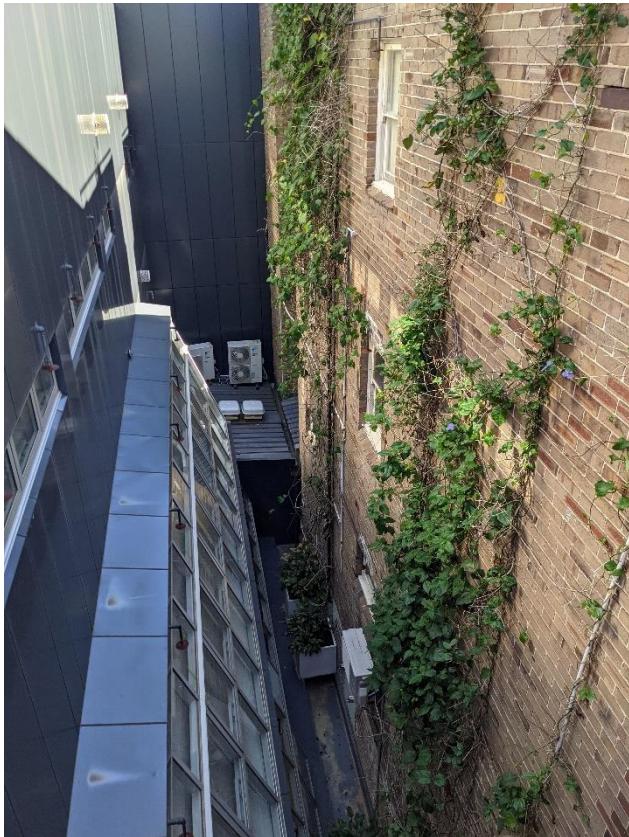


Figure 22 – West elevation (right) and east elevation of JFSTC

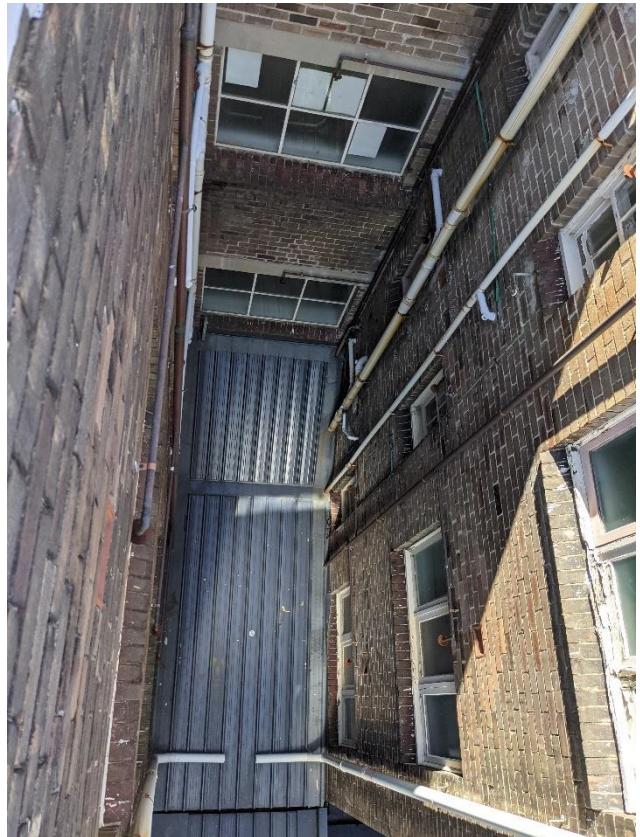


Figure 23 – Lightwell



Figure 24 – Staircase overrun

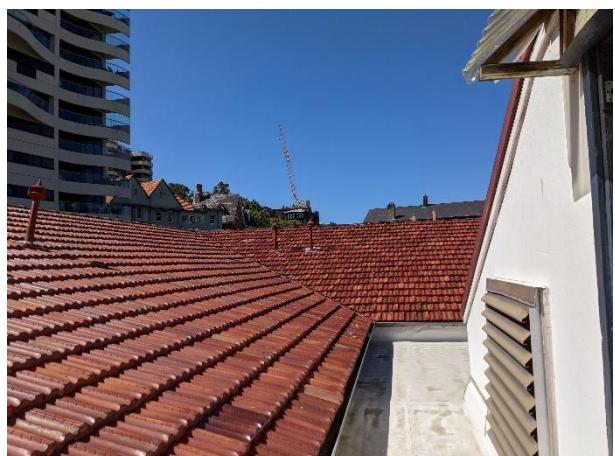


Figure 25 – Overview of rooftop

As discussed above, Wilkinson House was designed in a combination of the Georgian and Mediterranean Revival styles, featuring Georgian proportions and shapes, with decorative features which introduce Mediterranean elements. It should be noted however that there is consistent overlap between the Georgian and Mediterranean revival styles, as both are inspired in part by classical architecture.

The main visual focus of the Wilkinson House façade is the three main arches across the eastern elevation, including the main entrance door, and the two arched balconies on the upper floor. The main doorway is comprised of solid timber and is painted dark blue, with matching door jamb. The door may be original or an early addition to the building, which evidence of central panels on each of the door leaves being boarded over. The door is flanked by stepped architraves. In the centre of the inner cornice is the original address of the Gwydir Flats – 167 Forbes Street.

The door features a projecting lintel with three acroteria at each edge and in the centre, and two horizontal corbels in Ionic style at either side of the central acroterion. Behind the plinth and acroteria is the arched fanlight, which features scallop patterned glass, divided vertically into three sections. Surrounding the fanlight is the plaster architrave, and a brick arched lintel. The door threshold is constructed of grey-white terrazzo, and on either side of the door are a pair of ornate steel candelabras. The text 'Wilkinson House' and the SCEGGS school emblem have been installed above the central door. Above the Wilkinson House logo is a plaster cartouche with a crest or shield included in the centre.



Figure 26 – Main door to Wilkinson House



Figure 27 – Details located above front door

Windows throughout the building exterior are painted white. Each window is a double hung multi-paned style typical of the Georgian Revival period. Most windows feature a sloped brick sill, however the ground level and Level 2 outer windows (those which are double-width) feature rendered sills. The ground level window sills are cohesive with the rendered string course which is located at the base of the sills and of the balcony rails. The balcony rails are all painted, however the paint on the sills and columns are noticeably flaking due to damage.

The building is constructed of red and purple-brown brickwork in stretcher bond, with parts of the basement level in English bond. While some weathering of mortar has occurred throughout the history of Wilkinson House (and it does not appear to have been repointed), bricks appear to have been laid with flush or recessed pointing. Colours present across the façade largely comprise of red brick, terracotta red Marseille tiles, with white decorative features including columns, joinery, and architraves.

## 2.3.3. Interior

### 2.3.3.1. Entrance Lobby and Lounge Hall

Upon entering through the traditional Forbes Street entrance to Wilkinson House is an entrance lobby. The space is small in size and narrow in configuration, and features off-white terrazzo flooring with a contrasting grey diamond pattern. The reverse of the main entrance door is a typical timber panelled door, with scalloped fanlight above. The entrance lobby features a vaulted plaster ceiling which has been somewhat impacted by the inclusion of fire equipment. Storerooms are present at either side of the lobby which contain presently contain communications equipment. The interior walls of these storerooms appear to have been rendered. The lobby space features a double set of four-stepped cornices. At the west end of the entrance lobby is a double set of ornate doors which lead into the entrance hall.

The doors are constructed of a dark wood, potentially mahogany. The double doors feature multi-paned glass featuring floral and fleur-de-lys motifs, formal brass doorhandles, and glass side panes at either side which continue the floral motif in a narrow strip. The architraves and lintel of the door both have fluted detailing. The number '167' is included on the lintel in brass. At the top of the lintel is a stepped timber band and decorative fanlight. The views to the fanlight have been partially obstructed by a services box which has been installed atop the lintel of the door. The fanlight is arched in shape and features an ornate steel decorative motif with florals around the border of the fanlight.

The lounge hall is entered through the double doors and is an open formal space. The room features a highly decorative original cornice around the room, which is painted in a cream colour and features festoon motifs, crests, and Corinthian capitals at each column. The lower course of the walls are painted in a cream/beige colour. The ceiling is a vaulted ceiling similar in style – although on a larger scale – than the entrance lobby and feature a contemporary pendant light. The south end of the lounge hall features a double set of timber panelled doors which open into current storerooms, however these were once the desk space and public telephone space of the Gwydir Flats.

On the north side of the entry hall is an ornate timber mantle and surround, which features a highly decorative mantle with corbel details and a rose detailed frieze. The fireplace itself is exposed brickwork.

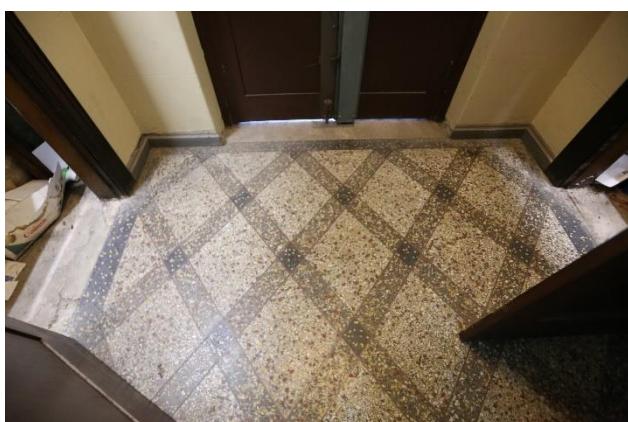


Figure 28 – Terrazzo flooring in entrance lobby

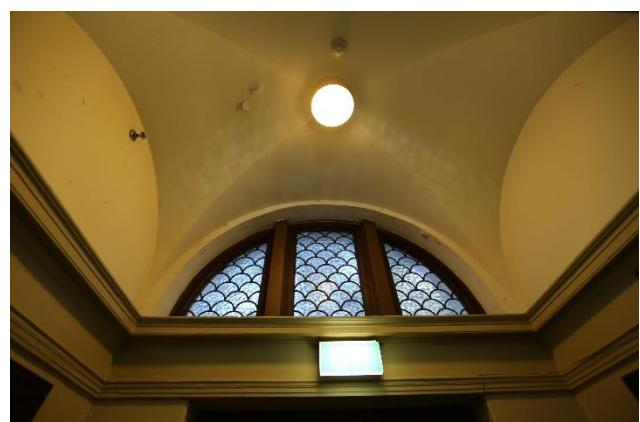


Figure 29 – Scalloped fanlight front door, viewed from entrance lobby



Figure 30 – Double doors and fanlight leading into lounge hall

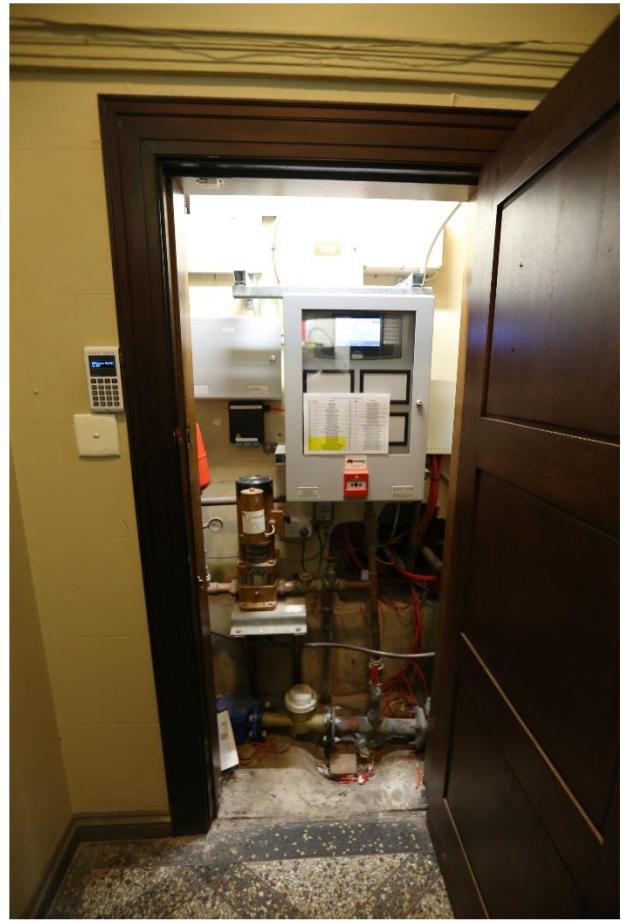


Figure 31 – Communications store in entrance lobby



Figure 32 – View of entry lounge hall from stairs



Figure 33 – View of lounge hall from fireplace



Figure 34 – Lounge hall to fireplace



Figure 35 – Detail of fireplace and cornice



Figure 36 – Overview of storage spaces

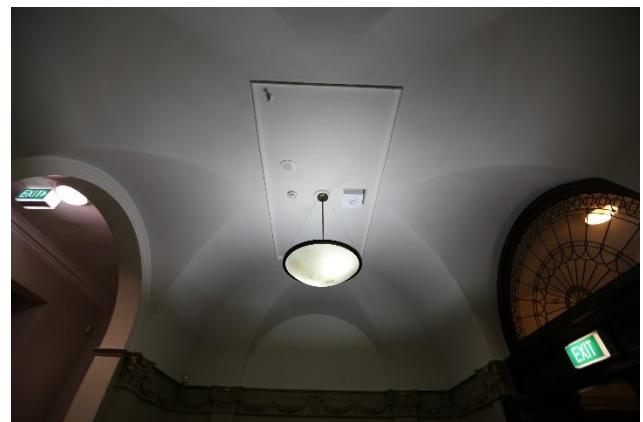


Figure 37 – Ceiling of lounge hall

### 2.3.3.2. Staircase and corridors

The original stairwell runs the full height of the building from the ground level to the roof level with landing on each level. From ground level, the staircase is linked via a vestibule which leaded directly from the lounge hall. As the lounge hall is set at a lower level than the rest of the ground level, a series of three steps leads from the lounge hall to the staircase vestibule, with a further three steps located at the north and south which leads to the corridors of ground level. The floors of the staircase vestibule and stair treads and risers all feature off-white terrazzo. The staircase from Level 2 to the roof however, features concrete. The stair features a timber baluster with timber posts, rails and timber infill panels. An additional timber rail has been added for safety. Each of the staircase vestibules have fire doors and fire-rated partitions at the north and south of the landings. The corridors which lead from the staircase vestibules at each level feature the same dentil cornices and simple timber skirting boards and architraves.



Figure 38 – Cornice in corridor with dentil details.



Figure 39 – Staircase vestibule Level 1



Figure 40 – Stairs from lobby hall to ground level

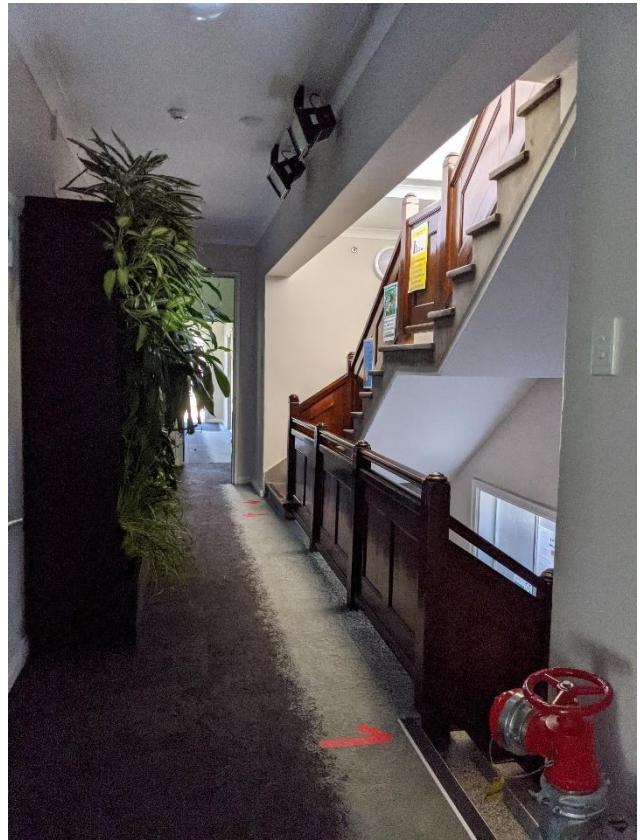


Figure 41 – Staircase vestibule from Level 2 to roof, with concrete stairs

### 2.3.3.3. Office spaces (Ground Level)

The original configuration of the Gwydir Flats featured 20 individual units. The original layout of the building featured an ornate entrance lobby and lounge hall off Forbes Street which led to a central staircase providing access to the upper floors and basement carparking level. The residential apartments were concentrated around the stairway, accessed via corridors which went to the left and right of the main corridor. Each apartment featured its own small balcony, in addition to decorative internal features such as decorative plaster ceilings. On the ground level these rooms have been converted into office spaces which are utilised by councillors and teaching staff, with the original layout and detailing being largely retained. Features such as decorative plaster ceilings, cornices and timber skirting boards, picture rails and architraves being largely

retained throughout. In some room's whiteboards and pinboards have been added to walls however would be easily removed. Carpet has been added throughout this level. Bathrooms have been altered to include modern fitouts, including tiles, vanities, showers, and amenities.

At the southern end of the ground level is a more open foyer space which features a lounge area and is located within a group of councillors offices. This space is carpeted and leads off into several additional rooms, and was an original loungeroom. Original hallway layouts are also retained within the ground level, particularly at the southwest corner where the original hallway with bedroom, kitchen, bathroom and living space are still legible. Many of the rooms have had original lighting removed and replaced with contemporary light fixtures, including some intrusive light bars and ceiling fans. Small former bathrooms and kitchens off the balconies have largely been converted in storerooms or contemporary kitchenette and bathroom spaces. Each of the balcony space have retained their original painted concrete floors, timber boarded ceilings (with contemporary light fittings) and stone thresholds. All balconies retained their original multi-pane timber French doors, with single pane highlights.



Figure 42 – Lounge space in hall of ground level



Figure 43 – Ground level hallway



Figure 44 – Ground level office space

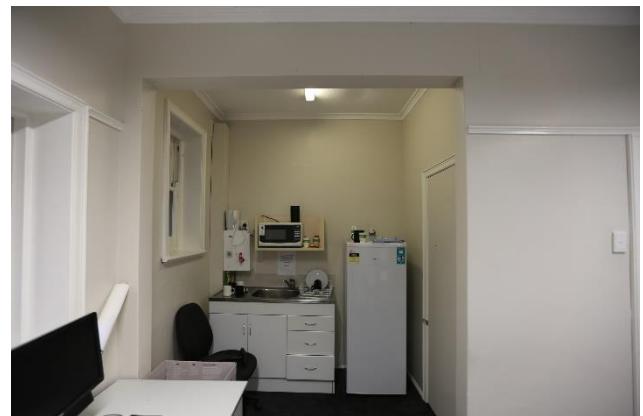


Figure 45 – Kitchenette in ground level office space



Figure 46 – Ground level office space



Figure 47 – Ground level bathroom

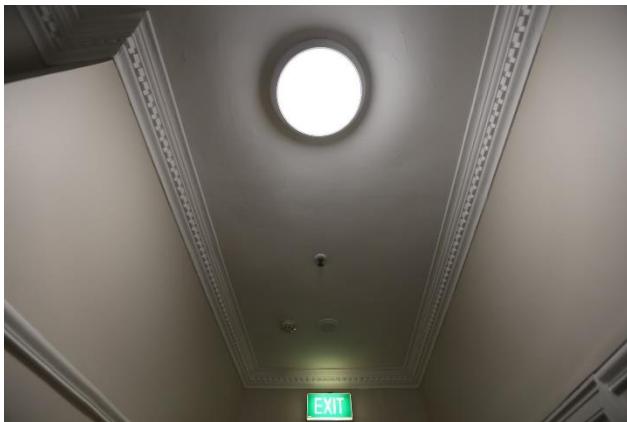


Figure 48 – Ground level corridor with dentil cornice



Figure 49 – Ground level bathroom

#### 2.3.3.4. Classroom spaces (Level 1 and 2)

Similar to the ground level, Level 1 and 2 have retained the central layout of hallways and the central staircase, however the rooms themselves have experienced more substantial modification for the conversion into classroom spaces. Decorative plasterwork ceilings have been retained in some spaces throughout despite the removal of internal walls which once separated living rooms and bedrooms. The locations of these walls have been retained by nibs and bulkheads as part of the conversion of these spaces into larger classroom areas. Some rooms however have had suspended ceilings installed, particularly at Level 2. Former kitchen and bathroom spaces off the balconies have largely been converted into storage spaces however the overall configuration of these balcony spaces has been retained. Original windows have been retained throughout and continue to be a key contributor to the character of the building despite the introduction of new fabric.



Figure 50 – Level 2 classroom with contemporary suspended ceiling



Figure 51 – Level 2 classroom with contemporary suspended ceiling



Figure 52 – Balcony spaces

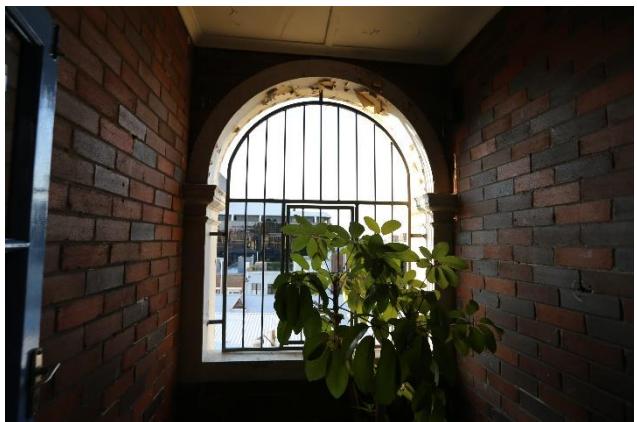


Figure 53 – Balcony spaces



Figure 54 – Representative decorative ceiling



Figure 55 – Overview of classroom space



Figure 56 – Overview of classroom space with bulkheads

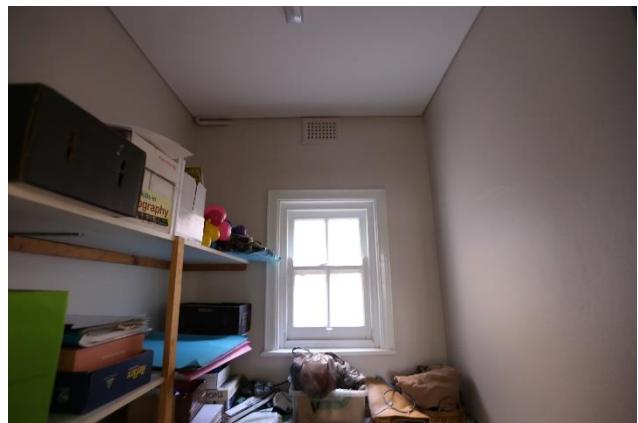


Figure 57 – Converted storage area



Figure 58 – Internal storage area



Figure 59 – Exterior storage area off balcony

### 2.3.3.5. Basement Level

The basement of Wilkinson House is accessed via a non-original staircase which was replaced in the 1980s, which originally led to the garage spaces and storage rooms associated with the Gwydir Flats parking and basement area. The basement space is largely open plan as a result of the previous removal of internal party walls which once separated the parking spaces. The internal walls remain exposed brick which has since been painted. The current ceiling is slightly lower in height than the top of each window within the basement, suggesting it is a contemporary suspended ceiling, although sympathetic plaster cornices have been installed. Much of the room has been carpeted.

In two former storage spaces which have had walls removed, a kitchenette and toilet have been installed with contemporary materials. The kitchenette features full-height contemporary cabinetry. Air conditioning

has also been installed above the kitchenette in a recessed niche. The basement currently functions as a senior common room and features furniture such as tables and lounges, curtains and photographs on the walls.

At the northeast corner of Wilkinson House's basement level is the current 'sprinkler room' which houses much of the fire safety and piping equipment for the building. This room, accessed off St Peters Street, features two sections. Upon entry, the floor is concreted, with exposed brick walls and piping infrastructure installed on the walls and ceiling. The ceiling shows the underside of timber on the ground level of Wilkinson House. This equipment is likely associated with the 1984 fire upgrades to the building. At the south end of the sprinkler room is an additional entryway which leads into a partially excavated annex which features extra utilities. This portion of the sprinkler room does not feature any formal flooring and has been excavated in an *ad hoc* way, with portions of remnant sandstone bedrock visible. The area appears to have only been excavated at the west side to the required depth to accommodate the new piping, while the east side retains the original slope of the bedrock.



Figure 60 – Overview of senior common room in basement



Figure 61 – Overview of senior common room in basement



Figure 62 – Stairs to Wilkinson House basement



Figure 63 – Kitchenette within Wilkinson House basement



Figure 64 – The sprinkler room



Figure 65 – Exposed bedrock within the annex

## 2.4. EXISTING LAYOUT

The following floor plans and elevations of Wilkinson House reflect the layout of Wilkinson House in 2018. No major changes have been undertaken to Wilkinson House since this time. The building itself comprises of four levels, including a basement level.

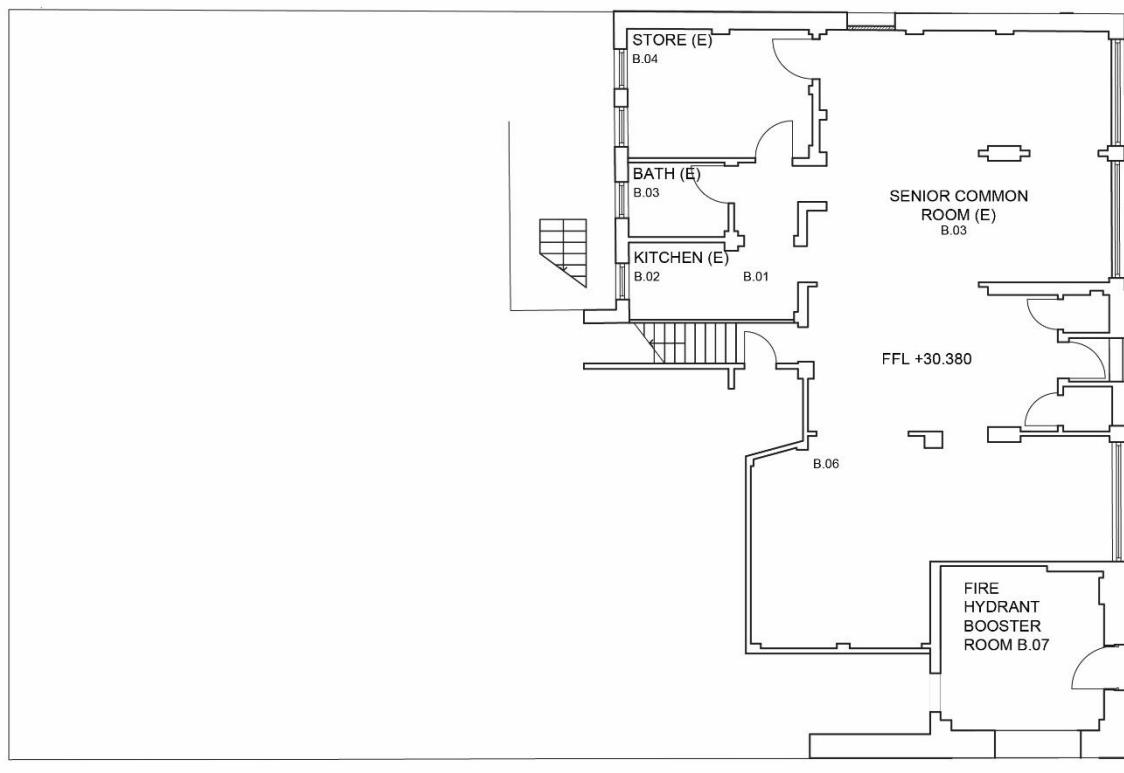


Figure 66 - Existing plans of Wilkinson House, Basement Level

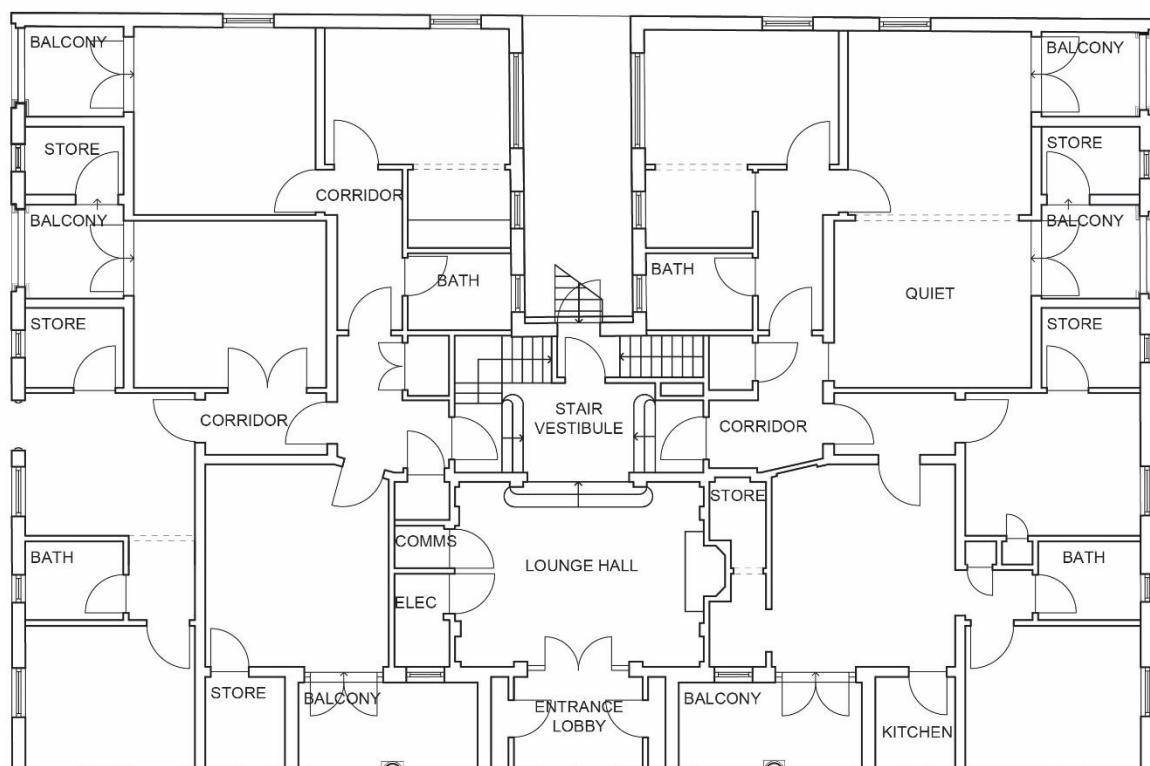


Figure 67 – Existing plans of Wilkinson House – Ground Level

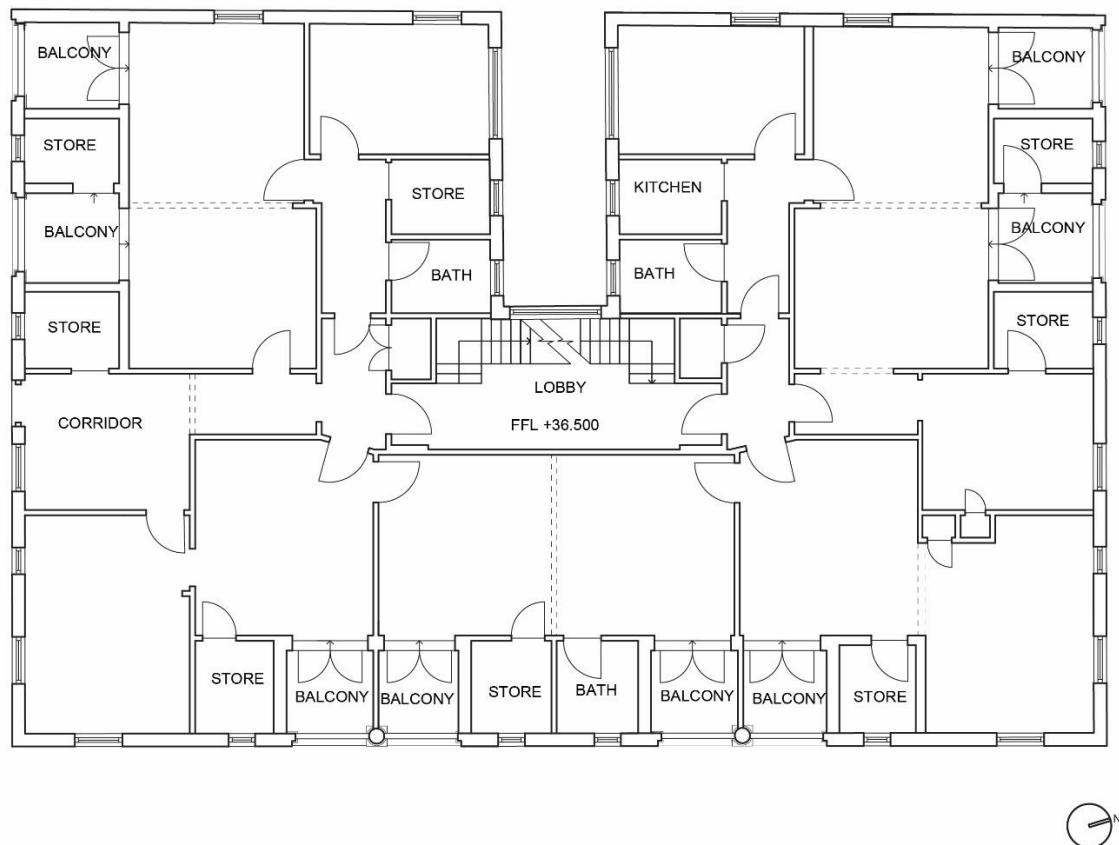


Figure 68 – Existing plans of Wilkinson House, Level 1

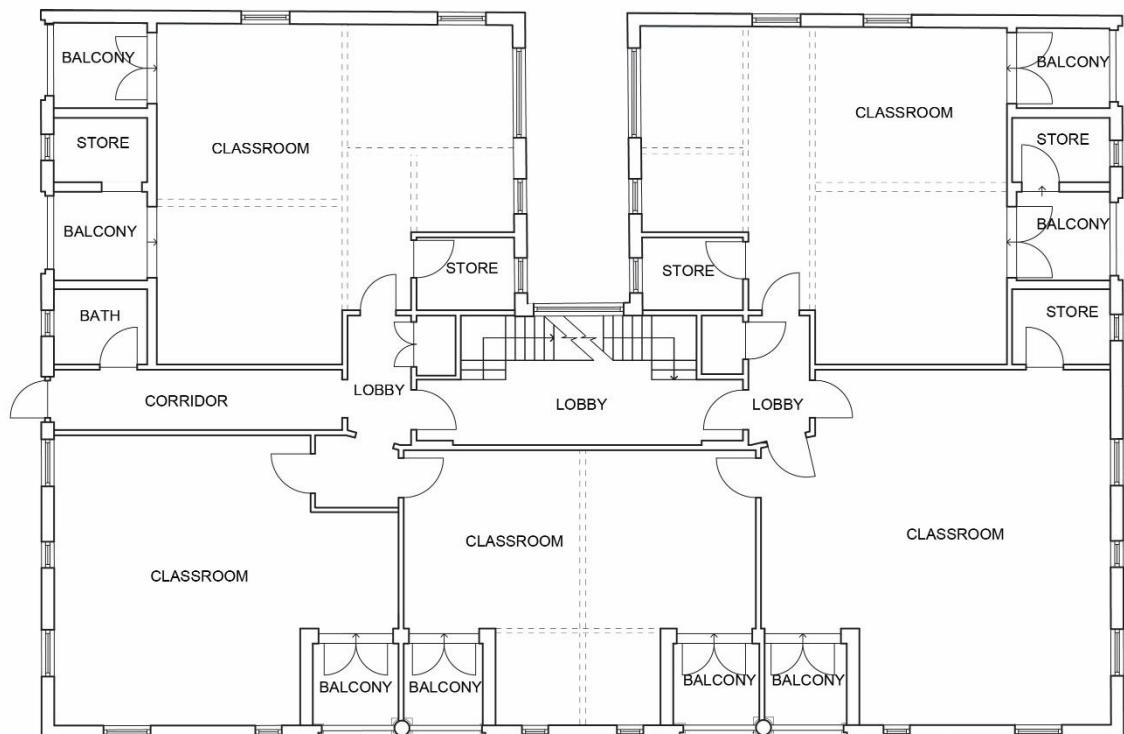


Figure 69 – Existing plans of Wilkinson House, Level 2

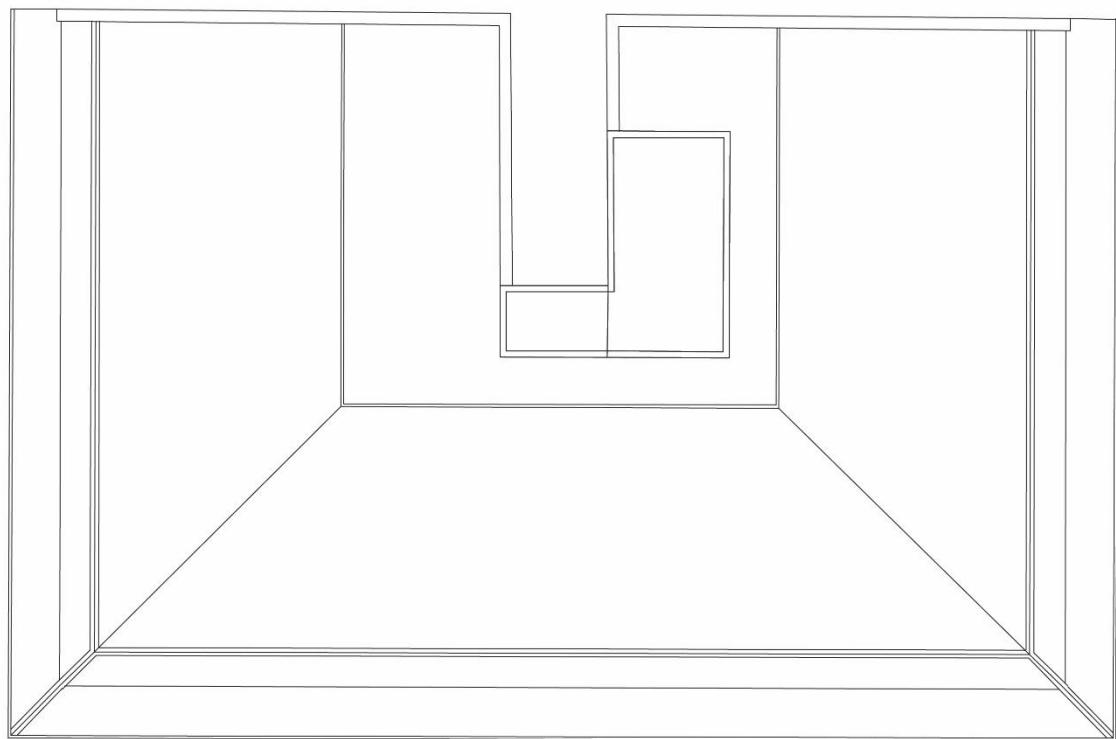


Figure 70 – Existing plans of Wilkinson House, Roof

### 3. HISTORICAL OVERVIEW

This section of the report is adapted from the history provided in the CMP prepared by GML in 2001. The histories in this CMP has been further supplemented by the Tanner Kibble Denton 2017 heritage study of the site and additional research undertaken by Urbis.

#### 3.1. HISTORY OF THE PLACE

##### 3.1.1. Aboriginal Cultural History

Aboriginal people have inhabited the Sydney Basin region since at least 30,735 BP, with some evidence of potential occupation as early as 40,000 years ago.<sup>1</sup> The Aboriginal population around Sydney at the time of first contact with Europeans has been estimated at between 2000 and 3000 people, with the great Sydney region estimated at somewhere between 4000 and 8000. The social structure of Aboriginal groups is well documented, with the division of groups into two moieties within which intermarriage is common.<sup>2</sup> Clan descent is usually patrilineal. Marriages were not restricted to monogamous relationships, with polyamory common. An observation from Collins acknowledges both the occurrence of polyamory and the intermarriage between different groups. Collins described Bennelong, of the Wangal group, as married to both a women of Kameraigal descent and a woman of Gweagal descent simultaneously.<sup>3</sup>

Prior to European colonisation and development, the lands of the Gadigal people were abundant in resources. The Kangaroo Grounds, located around present-day Summer Hill, were on the western border of their land, shared with the Wangal. This was a hunting ground abundant with macropods, which could be used not only for food but also for their hides.<sup>4</sup> To the east, north, and south of Gadigal lands is the coastline. Not only were the rivers and streams which provided freshwater critical to Aboriginal groups, but the edible resources of these watercourses, including the sea, were of high importance. The diet of the Gadigal people comprised primarily of fish, shellfish and other aquatic animals. They also sourced roots and foraged for food within the Lachlan Swamplands, now Centennial Park.<sup>5</sup> The importance of aquatic resources is attested to in the archaeological record, with middens providing evidence of dietary practices located along the coast and streams. Prior to settlement, the subject site was occupied by swampy marshes that extended from Market Street to Park Street (north and south) and Pitt Street into Hyde Park (west and east). These marshes were known as duck hunting grounds for local Aboriginal groups. These swamps were part of the Tank Stream Catchment.<sup>6</sup> The Tank Stream was one of the most significant water sources for Aboriginal people in the Sydney region, and the catchment area and swamps would have provided an excellent opportunity for resource extraction, not only providing fresh water but also all the terrestrial and aquatic animals this sustains, and a variety of floral resources capable of being used for sustenance and medicine.

##### 3.1.2. Early European settlement

*For a full history of the prior European settlement at the SCEGGS site, please refer to the SCEGGS Darlinghurst Site – Conservation Management Plan (2021), also prepared by Urbis.*

The subject site is located within the original Woolloomooloo Estate, which later became known as the Riley Estate. It was originally granted to Commissary John Palmer in 1793, and later transferred to Edward Deas Thomson, the colonial secretary, in January 1835.<sup>7</sup> In 1829 Thomson arrived in New South Wales, where he had a role as clerk of the Executive and Legislative Council to be paid £600 per annum.<sup>8</sup> Thomson fostered a relationship with Governor Ralph Darling, and later with Governor Bourke. A favourite of Bourke, he became engaged to Bourke's daughter Anne Maria in 1833. Further attesting to his growth and popularity in the colony, Thomson later became the Colonial Secretary in January of 1837, replacing Alexander Macleay. The hilltop sites around Woolloomooloo Bay were reserved for government officials. These sites however came

<sup>1</sup> Jo McDonald Cultural Heritage Management, 2005. *Archaeological testing and salvage excavation at Discovery Point, Site #45-5-2737, in the former grounds of Tempe House.*

<sup>2</sup> Howitt, A.W. 1996. *The Native Tribes of South-East Australia.*

<sup>3</sup> Collins, D., 1798, in Fletcher, Cadell and Davies, 1975. *An Account of the English Colony New South Wales*, Vol. 1.

<sup>4</sup> Ashfield & District Historical Society, 1996. *A Short Walk Through Ashfield's Past.*

<sup>5</sup> Tench, W., 1789. *A Narrative of the Expedition to Botany Bay*, p. 53. Cited in Flannery, 2012. *Watkin Tench: 1788.*

<sup>6</sup> Tench, W., 1789.

<sup>7</sup> Casey & Lowe. SCEGGS Darlinghurst 2040 Masterplan Appendix J Archaeological Assessment, 11.

<sup>8</sup> Casey & Lowe, 11.

with the condition that a residence costing at least £1000 had to be constructed within three years of the land being granted. Here, Thomson constructed a large house on his estate which he named Barham. Barham became the family home.

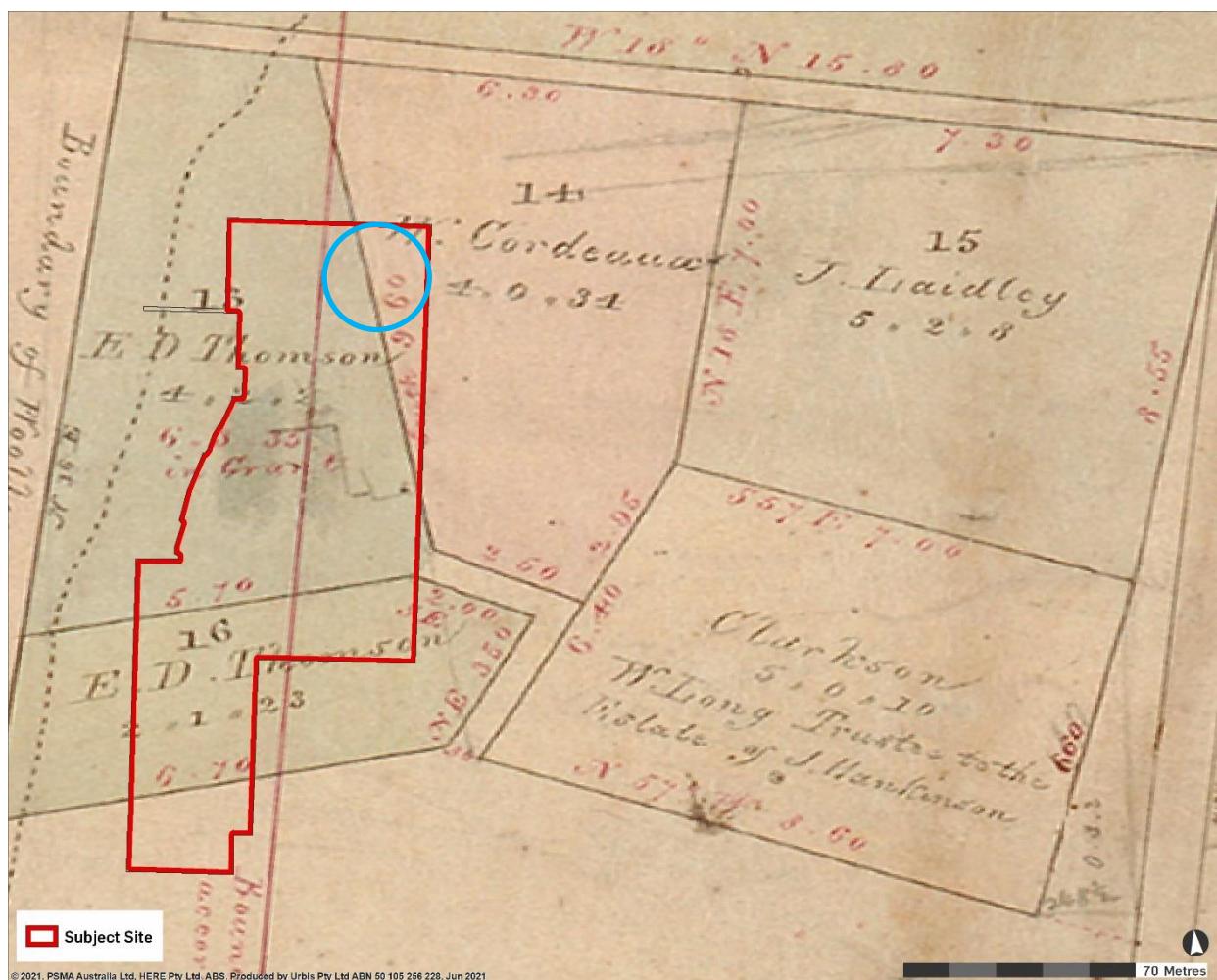


Figure 71 – The subject site within the Woolloomooloo, Potts Point original land grants on the Government Chart, 1829.

Source: State Library of New South Wales (Call No. M ZM2 811.1811/1829/1 FL3702863). Accessed [http://digital.sl.nsw.gov.au/delivery/DeliveryManagerServlet?embedded=true&toolbar=false&dps\\_pid=IE3702857](http://digital.sl.nsw.gov.au/delivery/DeliveryManagerServlet?embedded=true&toolbar=false&dps_pid=IE3702857)

By 1835 several roads were proposed in the area surrounding Barham as part of Sydney's developing road network, particularly in relation to streets leading to the Eastern Suburbs which were under development at the time. The northern end of William Street ran through the Barham Estate, largely cutting the land in two. Bourke Street was established on the west side of the Barham Estate. While available cartographic evidence does not show the overall layout of the grounds of the Barham Estate, this 1835 plan does show the location of the house, two additional outbuildings constructed of stone, and fences. In the 1840s the roadways were finally established and surveyed after years of legal disputes surrounding the subdivision of the Riley Estate, which occupied the subject site and the areas around Woolloomooloo.<sup>9</sup>

<sup>9</sup> Casey & Lowe, 2019. SCEGGS Darlinghurst 2040 Masterplan Archaeology, 16.

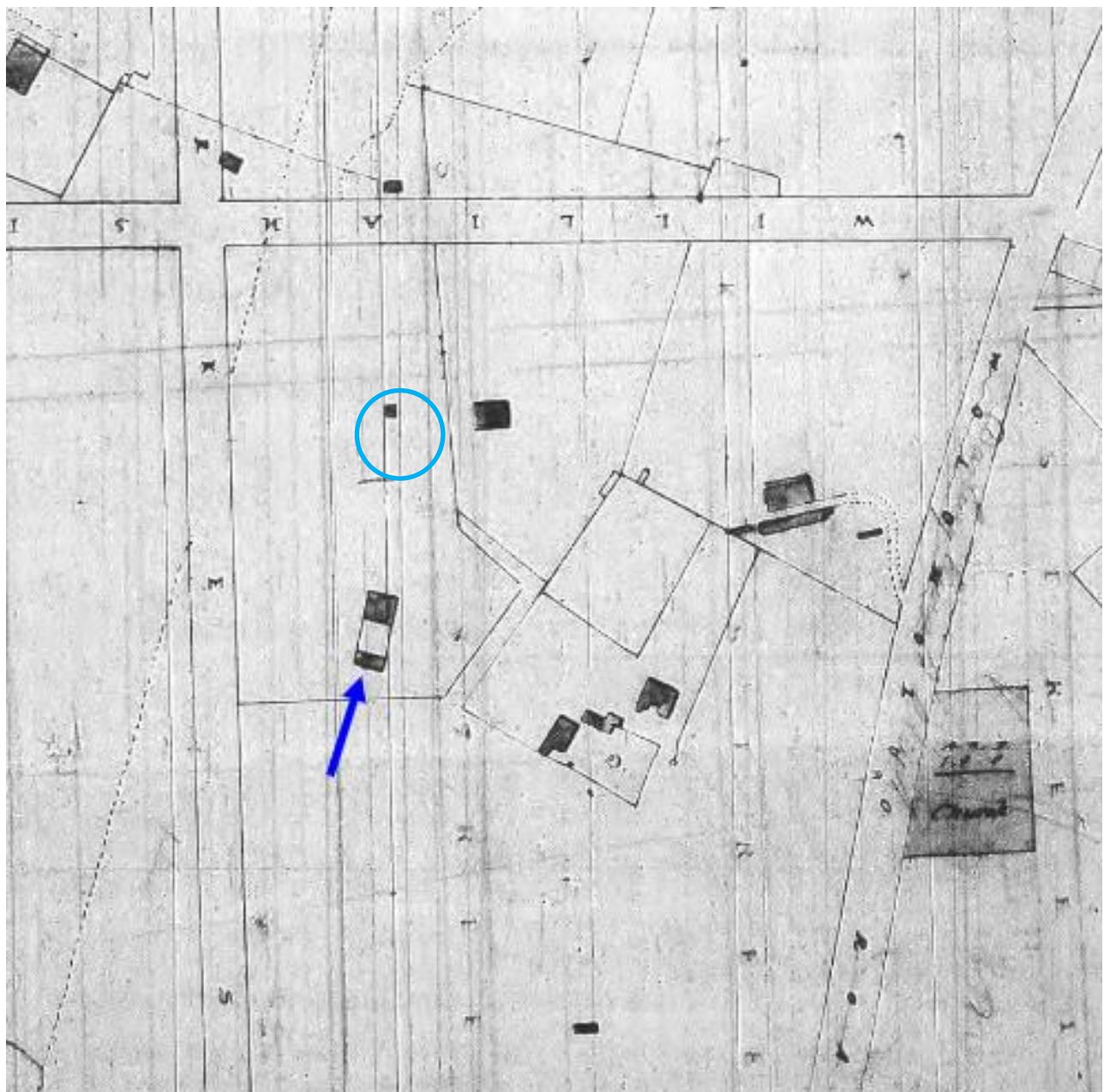


Figure 72 – Plan of new proposed streets in Woolloomooloo area, 1835. Barham marked by blue arrow.

Source: Surveyor-General Sketch Books Vol. 3 Fols 37 & 38, Reel 2778 State Records NSW. Sourced from Casey & Lowe 2019, 15.



Figure 73 – W.H. Wells' *Plan of the City of Sydney 1850*, shows Barham Hall and terraces on Bourke Street, with new buildings at the north of the site fronting William Street.

Source: State Library of New South Wales (Map Z M4 811.17/gbbd/1850/1)

[http://digital.sl.nsw.gov.au/delivery/DeliveryManagerServlet?embedded=true&toolbar=false&dps\\_pid=IE3741024&\\_ga=2.68908241.1313247789.1619999323-1749868941.1602476393](http://digital.sl.nsw.gov.au/delivery/DeliveryManagerServlet?embedded=true&toolbar=false&dps_pid=IE3741024&_ga=2.68908241.1313247789.1619999323-1749868941.1602476393)

The grounds of Barham are clearly illustrated in a painting by George Peacock, dating to 1845 (Figure 74). This image shows Barham with extensive gardens including tropical plants, palms, and pine trees, with a carriage circle and lawn. The painting does not show any outbuildings within the estate, however it can be assumed that a stable and carriage house were present. Casey & Lowe have suggested that the area to the north of Barham House (south of William Street) comprised of a kitchen garden, including asparagus beds, which likely included the location of Wilkinson House.<sup>10</sup> Photographs of the property in 1900 (Figure 75) show the garden had become slightly unruly, however by c.1910 (Figure 76) it was cleared again, with new buildings constructed nearby such as the stables.

<sup>10</sup> Casey & Lowe, 2019. SCEGGS Darlinghurst 2040 Masterplan Archaeology, 31.



Figure 74 – Barham Hall, residence of Edward Deas Thomson as painted by George Peacock, 1845.

Source: State Library of New South Wales (DG 355).

[http://digital.sl.nsw.gov.au/delivery/DeliveryManagerServlet?embedded=true&toolbar=false&dps\\_pid=IE3148467&\\_ga=2.170424928.1313247789.1619999323-1749868941.1602476393](http://digital.sl.nsw.gov.au/delivery/DeliveryManagerServlet?embedded=true&toolbar=false&dps_pid=IE3148467&_ga=2.170424928.1313247789.1619999323-1749868941.1602476393)



Figure 75 - Barham House (north façade), photographed in c.1900. Showing extensive gardens.

Source: SCEGGS Archive – Annual Giving Brochure 2014  
<http://annualgiving2014.sceggs.caszine.com/>



Figure 76 - Barham verandah and garden viewed from north, with circular carriageway at west, 1909.

Source: SCEGGS Darlinghurst Archives 101007.

### 3.1.3. Development around Barham

While Thomson lived at and developed the Barham Estate, other activities were occurring in the areas surrounding the property, notably stone quarrying in association with the Government Quarry. This quarry was established by 1835 and was one of many quarries in the Sydney region at the time, along with additional quarries in Pyrmont, Millers Point, and throughout North Sydney. The sandstone was essential for the provision of stone which was used for construction of buildings throughout Sydney, such as government and public buildings, private dwellings, and infrastructure such as roadways. The sandstone quarrying notably saw the excavation of huge areas of land throughout the region, with the edge of the quarry still visible within the SCEGGS grounds today near Bourke Street. The quarry occupied the area immediately west of the Barham Estate.

Simultaneously, the Darlinghurst region was growing rapidly as a result of stately homes being established throughout the area. By the late 1840s, Forbes Street was formally established through the middle of several properties surrounding Barham, effectively dividing people's property. The alignment of Forbes Street at this time did not extend as far north as William Street however, reaching Barham Hall and turning east, following the original boundary line of the Barham Estate and what had been Clarkson's neighbouring land grant. This resulted in the sale of numerous allotments which fronted Forbes Street. With the quarrying activity ending in this period, the land northwest of the Barham Estate which faced William Street was subdivided and sold, with several buildings – likely cottages – constructed here as early as 1850.<sup>11</sup> The original stone cottage which formed part of the original Barham Estate, located to the north of Barham, remained extant at this time.

In 1850-3 the Barham Estate was subdivided, with much of the area north of the House sold. This resulted in the establishment of Ann Street, now St Peters Street.<sup>12</sup> Lot 4, located on the south side of Ann Street was purchased by Charles Jones,<sup>13</sup> with Lots 12 to 15 purchased by Morehead & Young,<sup>14</sup> and the remaining lots (Lots 9 and 10), located at the corner of Ann and Forbes Streets purchased by Francis Callaghan.<sup>15</sup> The boundaries of these lots appeared to be somewhat controversial and were difficult to build upon as a result of the steep descent west to Bourke Street, likely the result of quarrying activity. Morehead and Young in 1854 wrote that the way in which Bourke Street had been levelled had essentially created a retaining wall at the west end of Ann Street, preventing any direct access into the street.<sup>16</sup> Morehead and Young wrote to the Sydney City Commissioners with their complaint, requesting that Ann Street be formalised. This occurred by the end of 1854.

<sup>11</sup> W.H. Wells, 1850. *Plan of the City of Sydney*.

<sup>12</sup> Casey & Lowe, 2019. SCEGGS Darlinghurst 2040 Masterplan Archaeology, 22.

<sup>13</sup> Book 30 No. 88, September 1853. Land and Property Information.

<sup>14</sup> Book 28 No. 557, September 1853. Land and Property Information.

<sup>15</sup> Book 28 No. 159, September 1853. Land and Property Information.

<sup>16</sup> Morehead & Young to Commissioners, 14 July 1854 and Report by Francis Clarke, 1 August 1854. Letters Received CRS 26 Item 26/9/098. Sydney City Council Archives.

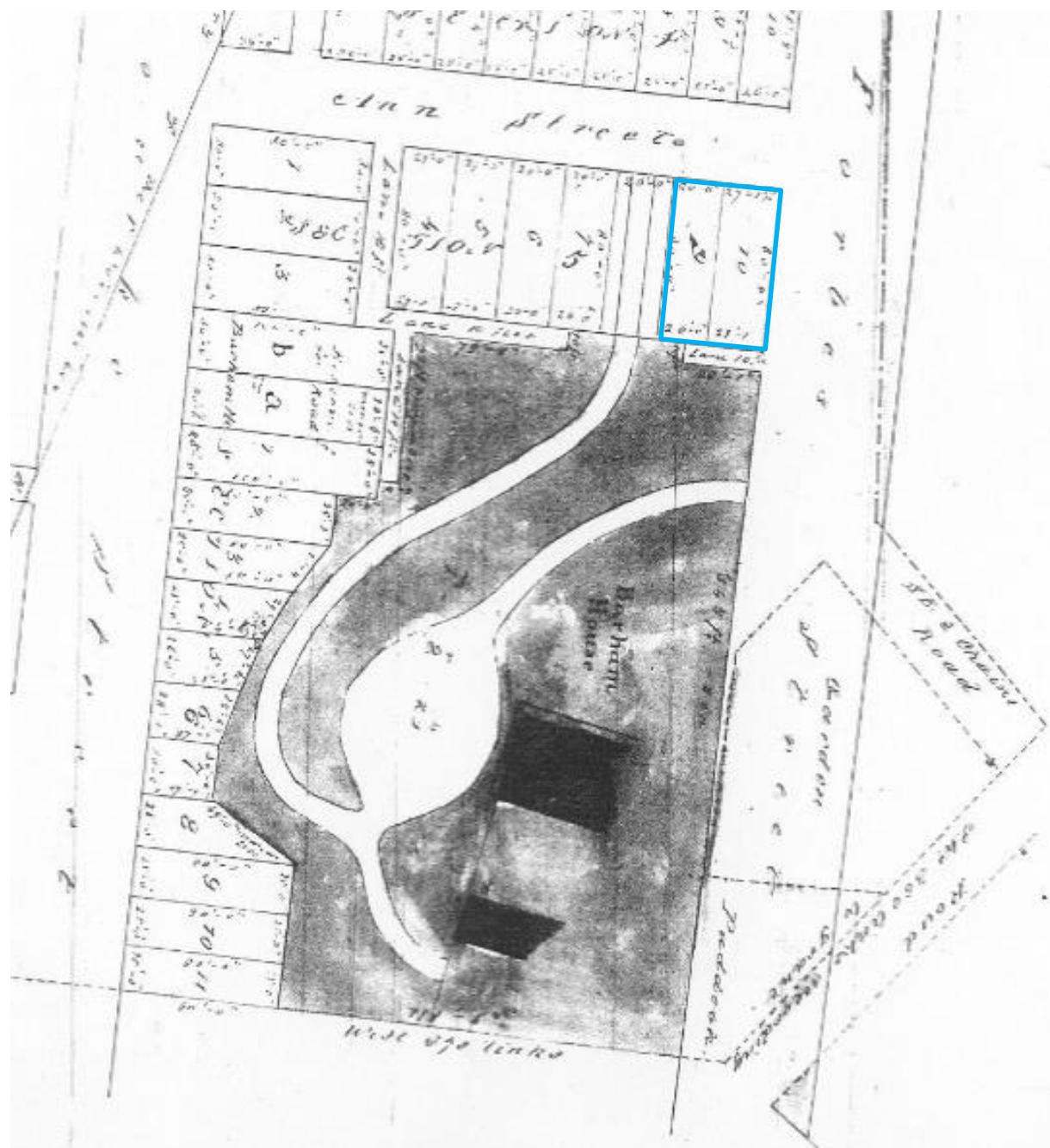


Figure 77 – Subdivision plan of the Barham Estate, 1854, with the location of Wilkinson House marked in blue.

Source: NSW State Archives (*Surveyor General's Sketch Books Vol. 6 Fol. 98, Reel 2780*).

The lots owned by Michael Hogan (east of the subject site) and Francis Callaghan were built upon quickly. There were four terraces constructed on Callaghan's land in c.1855-65, fronting Forbes Street and aligned north to south.

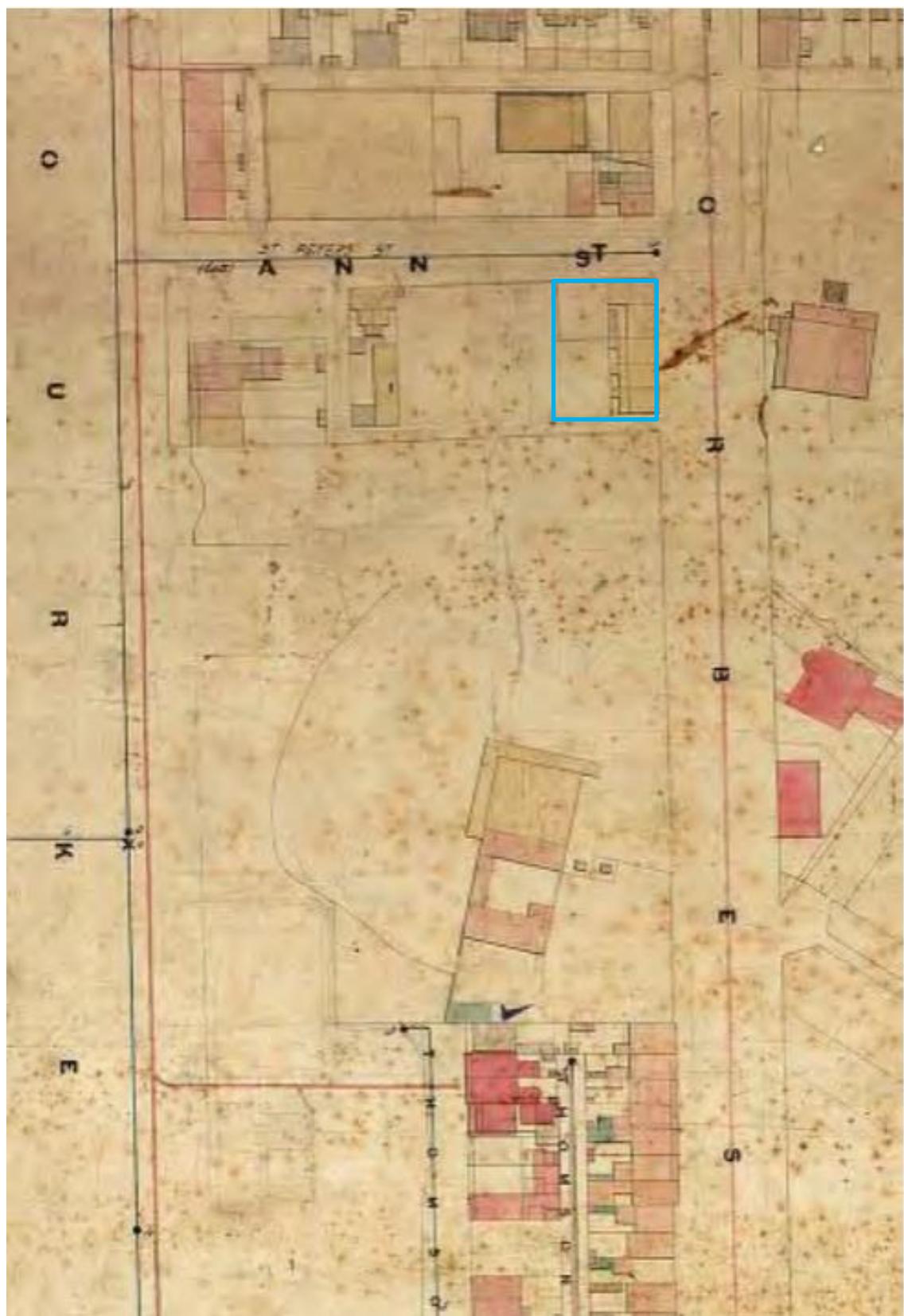


Figure 78 – Trigonometric Survey of the subject site, 1865.

Source: City of Sydney Archives.

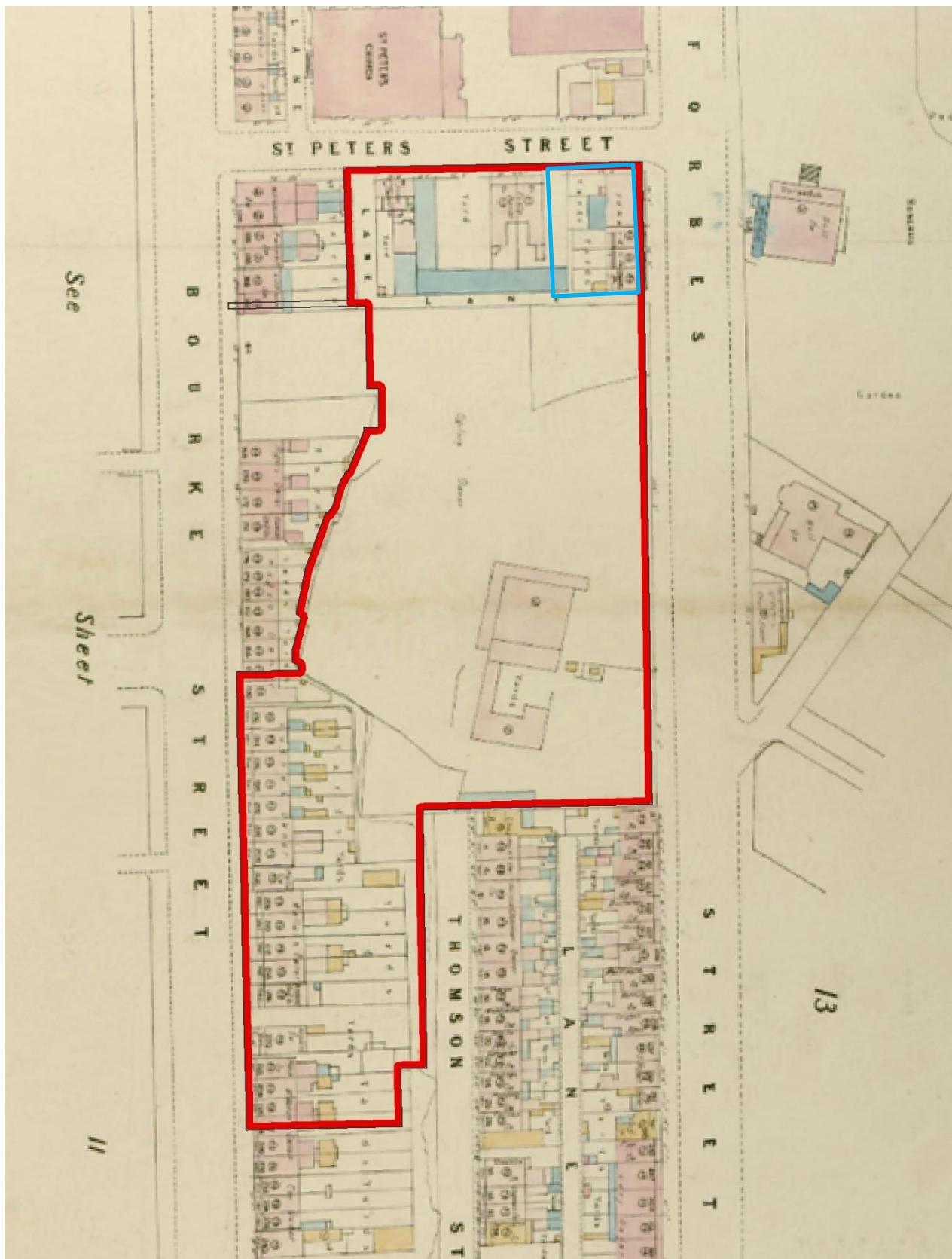


Figure 79 – Barham Hall and adjacent development in the Rygate and Welsh plans of Sydney, 1888.

Source: City of Sydney Archives (A-00880424) <https://archives.cityofsydney.nsw.gov.au/nodes/view/1709351>

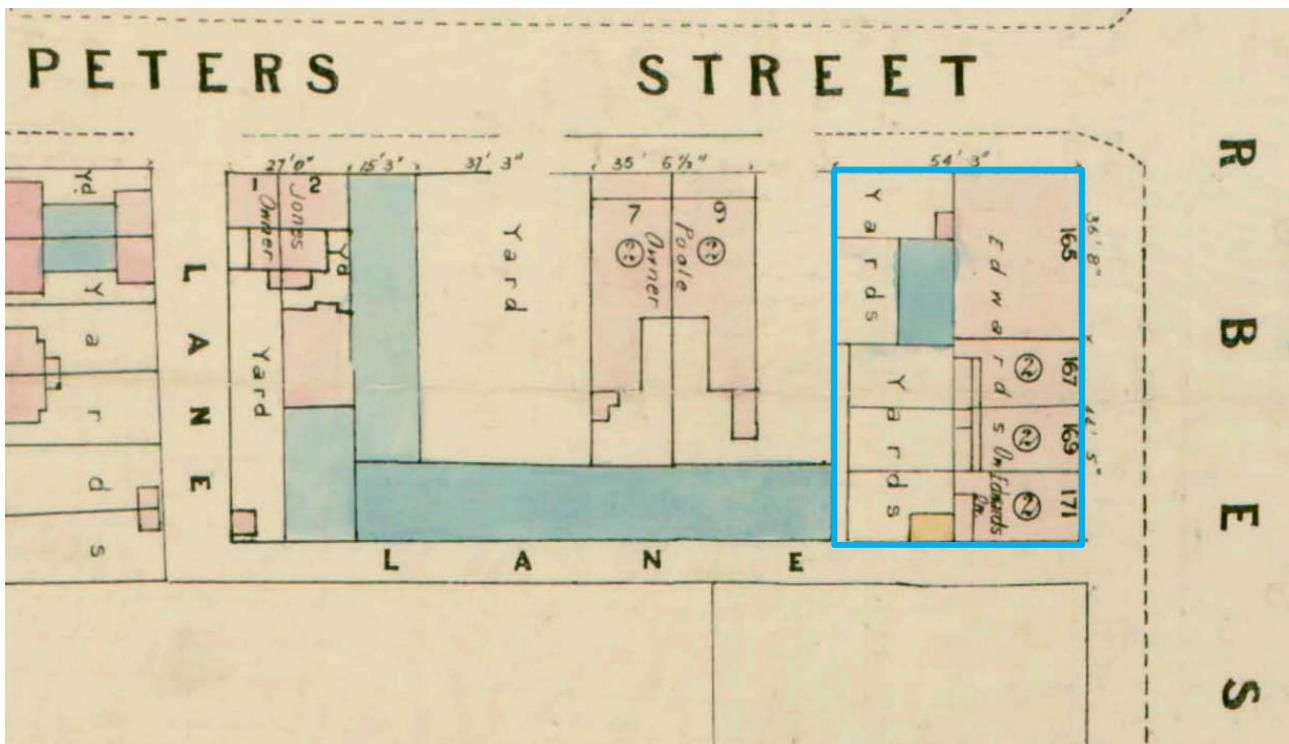


Figure 80 – Detail of the area beneath extant Wilkinson House, as illustrated in the Rygate and Welsh Plans of Sydney, 1888.

Source: City of Sydney Archives (A-00880424) <https://archives.cityofsydney.nsw.gov.au/nodes/view/1709351>

The 1888 Rygate and Welsh Plans of Sydney provide the addresses of these terraces as 165 (north), 167, 169, and 171 Forbes Street. The plans show that the northern terrace was a single storey, while the three southern terraces were double storey. The northern terrace features an iron building at the rear, possibly a storeroom or scullery, with an outhouse. The southern three terraces had verandahs at the rear with breezeways, and the southernmost terrace at 171 featured a timber store at the southern extent of the lot boundary. There was a night soil laneway along the rear of these properties, which extended from St Peters Lane. The Rates and Assessment Books for the City of Sydney, dating to 1858, note that the terraces were double storey terraces, constructed of stone, comprising of three rooms and with shingled roofs. Special note is given to the presence of an attic in each property. At the time, each terrace was leased for £39 pounds annually.

Originally, the four terraces were numbers 109-115 Forbes Street, listed within the Sands Directory as south of Ann Street. These numbers changed in 1867, becoming 179-185 Forbes Street. In c.1871 the terraces appear to have been sold and purchased by Charles Edwards, listed in the Sands Directory as a Master Mariner. In 1882, still under the ownership of Edwards, the house numbers changed again, becoming 165-171 Forbes Street. The street numbers have remained as 165-171 today, which includes the current structure of Wilkinson House.

As evidenced by the Sands Directory entries, the terraces were consistently tenanted with many residents remaining there for several years. A variety of occupations for the tenants are listed, including various careers such as booksellers, mariners, moulders, shoemakers, school teachers, salesmen, messengers, blacksmiths, painters, drapers, tailors, hairdressers, clerks and accountants. A full list of residents, as detailed in the Sydney Sands Directories, is included in Appendix A. The terraces were largely inhabited by men, however several women also resided here, including unmarried women and widows. At the time of demolition, the terraces had come under the ownership of the City Mutual Life Assurance Company, which likely sold the terraces when approached for development in 1926.

## 3.2. HISTORY OF WILKINSON HOUSE

### 3.2.1. Inter-War residential development in Sydney

The Inter-War era brought about a development boom in Sydney's inner suburbs, with large-scale development of residential flats occurring throughout the Eastern suburbs, North Shore, and the Inner West. The trend of residential flat buildings had been previously prominent in Europe and North America, however, was now emerging in Sydney in response to pressures to accommodate a growing population.<sup>17</sup> The benefits of flat buildings were numerous and catered to various audiences. Wealthier families who had moved to the suburbs were attracted back to the inner city; working class families found affordable units close to their workplaces; and for landlords and developers, flats offered lower overall maintenance costs which kept flat building prices affordable.<sup>18</sup>

From 1911 residential flats began to appear within the inner city and around the Harbour, with approximately 1700 individual flats (i.e. apartments, not flat buildings) situated within the inner city area.<sup>19</sup> In 1921 this had increased to 13,000 individual flats, which comprised 6.8% of overall private dwellings within Sydney.<sup>20</sup> This consisted of a significant increase of over 11,000 flats in pure numerical terms, however more significantly, had come to take up a large proportion of Sydney's overall residential market. A true development boom occurred from 1930 however, with an additional 23,000 flats constructed in the 12-year period between 1921 and 1933, taking up 12.8% of the market.<sup>21</sup> The majority of these flats – at almost 25% - were constructed within the Fitzroy Ward of the City of Sydney Council, which comprised the subject site.<sup>22</sup> The Civic Survey map of the City of Sydney from 1938 shows extensive residential flat development around the subject site was prominent at the time (Figure 81).

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<sup>17</sup> GML, 2001. *Wilkinson House, SCEGGS Darlinghurst – Conservation Management Plan*, 7.

<sup>18</sup> GML, 2001. *Wilkinson House, SCEGGS Darlinghurst – Conservation Management Plan*, 7.

<sup>19</sup> GML, 2001. *Wilkinson House, SCEGGS Darlinghurst – Conservation Management Plan*, 7.

<sup>20</sup> GML 2001. *Wilkinson House, SCEGGS Darlinghurst – Conservation Management Plan*, 7.

<sup>21</sup> GML 2001. *Wilkinson House, SCEGGS Darlinghurst – Conservation Management Plan*, 7.

<sup>22</sup> GML 2001. *Wilkinson House, SCEGGS Darlinghurst – Conservation Management Plan*, 7.

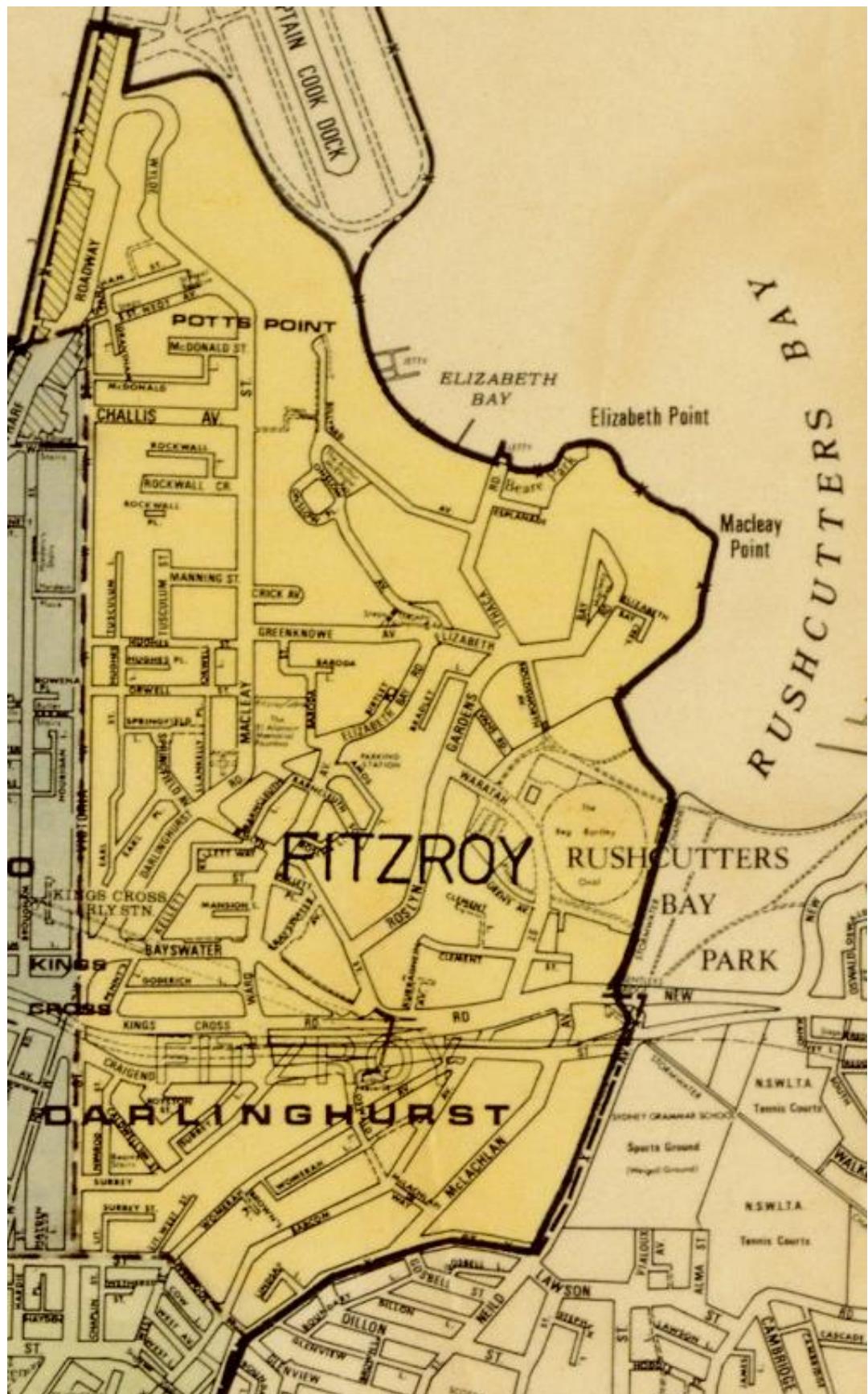


Figure 81 – Ward of Fitzroy, City of Sydney (1923-1932 boundaries), where up to 25% of residential flats were constructed in the period from 1921-1933.

Source: City of Sydney Archives. (A-01002700). Accessed <https://archives.cityofsydney.nsw.gov.au/nodes/view/1724433>



Figure 82 – Civic survey of the City of Sydney, 1938-1950, showing the Darlinghurst area south of William Street and surrounding the subject site. Flat buildings of 3 storeys and above are shaded grey, showing the high-density development surrounding the subject site.

Source: City of Sydney Archives (A099880361). Accessed <https://archives.cityofsydney.nsw.gov.au/nodes/view/1709288>

### 3.2.2. Development of Wilkinson House

Four double-storey terraces had previously stood at the site of 165-171 Forbes Street, Darlinghurst, which were constructed in 1855. In 1926 a development application was lodged for the demolition of these terraces and was subsequently approved by Council. The land and terraces were owned by the City Mutual Life Assurance Company at the time. The application was undertaken by Kenneth S. Williams, who proposed the construction of a flat building in their place. Williams was a property developer working on behalf of Charles and Julia Green, the property owners, with Emil Sodersten engaged as the architect for the project. Sodersten designed a three-storey brick building, which comprised of twenty flats and included four basement garage spaces. The construction of the building – named the Gwydir Flats - was completed in 1928.

#### 3.2.2.1. Emil Sodersten

Emil Sodersten, the architect who designed the Gwydir Flats (later renamed Wilkinson House), was a prominent Australian architect of the Inter-War era. Born in Balmain in 1899, Sodersten studied Architecture first at the Sydney Technical College, and then at the University of Sydney where he was trained by

Professor Leslie Wilkinson, another prominent architect who was Australia's first Professor of Architecture.<sup>23</sup> Wilkinson was well known for introducing Mediterranean influences into the Inter-War architectural language of Sydney, particularly prominent in the Eastern Suburbs of Sydney. This influence can be seen in much of Sodersten's work, including at Wilkinson House.<sup>24</sup>

Following his completion of University, Sodersten began to show promise in the development of public buildings. He worked in the offices of Ross & Ross Architects in Sydney, before relocating to Brisbane to work on the development of the Brisbane City Hall.<sup>25</sup> After returning to Sydney in 1923 he ran the Tate & Young Architects Offices, was registered as an architect and began to work on office buildings.<sup>26</sup>

In 1925 Sodersten established his own private practice, through which he designed perhaps his most prominent work, winning the International Design Competition for the Australian War Memorial in Canberra. Sodersten was paired with the architect John Crust, another competitor, on account of Crust's ability to meet the budgetary requirements of the project. With Crust managing the financial side of the project, Sodersten developed the design and the pair established a more restrained version of Sodersten's original design which still retained many of the more striking features of the scheme, such as the large dome and symmetrical, classical inspired facade. As a result of the Great Depression the project was delayed, eventually resulting in a schism between the two architects. Sodersten withdrew from the project in 1938, leaving Crust to complete the construction of the building. The Memorial was opened in 1941 with the Hall of Memory completed in 1959. The structure is perhaps one of Australia's best known buildings and it was the first architectural monument in Australia, neatly fitting into the axes of Canberra's town planning system, with significant views to Old Parliament House and with Mount Ainslie in the rear ground.

Sodersten returned to the design of residential buildings, specialising in Inter-War flats which reflected many of the prominent design styles of the time, such as Art Deco, Moderne, Functionalist and Inter-War Mediterranean and Classical inspired buildings. The variety of styles shown in Sodersten's designs are attributed to his versatility amongst Inter-War substyles and contribute to his reputation as one of the most influential Inter-War architects in Australia. Many of these were located within Sydney's eastern suburbs, particularly around Potts Point. Sodersten also intermittently designed office buildings and continued to contribute to public buildings. A number of the known buildings developed by Sodersten include:

- Wall House (1925), located at Loftus Street, Sydney (demolished)
- Tudor House and Trenton House (1926), located at Phillip Street, Sydney (demolished)
- Australian War Memorial (designed c.1925, completed 1941), Canberra
- Werrington (1930), located at 7 Manning Street, Potts Point
- Cheddington (1930), located at 63 Elizabeth Bay Road, Potts Point
- Twenty (1930), located at 20 Macleay Street, Potts Point
- Wychbury (1934), located at 5 Manning Street, Potts Point
- Birtley Towers (1934), located at 8 Birtley Place, Potts Point
- Marlborough Hall (1938), located at 4 Ward Avenue, Potts Point
- Segenhoe Apartments (1936), located at 50 Wolf Street, Newcastle
- Flats in Wagga Wagga built in 1939
- The City Mutual Life (CML) Building (1936), located at Hunter Street and Bligh Street, Sydney
- Hotel Australia extension (1935), previously located on Martin Place (demolished)
- Bryant House (1939-40), located at 80 Pitt Street, Sydney

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<sup>23</sup> Becerra, P. B., and Peter Reynolds, 2002. 'Sodersten, Emil Lawrence (1899-1961).' *Australian Dictionary of Biography*. Accessed online 29/4/2021 at: <https://adb.anu.edu.au/biography/sodersten-emil-lawrence-11734>

<sup>24</sup> GML, 2001. *Wilkinson House, SCEGGS Darlinghurst - Conservation Management Plan*, 8.

<sup>25</sup> Becerra, P.B., and Peter Reynolds, 2002.

<sup>26</sup> Becerra, P.B., and Peter Reynolds, 2002.

- Nesca House (1937-9), located at King Street, Newcastle
- Kingsley Hall (1925), 14-18 Darlinghurst Road
- St Bede's Church of England (1931), Drummoyne
- No 7 Apartments (c.1930), located at 7 Elizabeth Street, Sydney
- Elizabeth House (1939), located at 230 Elizabeth Street, Surry Hills
- Grosvenor Theatre, Summer Hill
- Mixed-Use Community shopping centre and flats, Westmead<sup>27</sup>

Sodersten continued to travel internationally on architectural business throughout his career, travelling to London and receiving invitation to work with French and American architects and planners in Pakistan, also working on the designs for the Pakistan Chancellery building in Canberra.<sup>28</sup> His architectural progression is generally characterised as restrained Neo-classical inspired buildings in his early works, which then gave way to more typically Inter-War architecture, featuring bold and eclectic designs which combined aspects of the Art Deco, Moderne, and Functionalist subtypes. Sodersten's work was well-received within his lifetime, with works such as Birtley Towers and the Wychbury Flats acclaimed as "bold challengers to the many thoughtless and shoddy buildings of this type that unfortunately already exist to spoil our skyline."<sup>29</sup> The Canberra Times described Sodersten as "one of Australia's noted Art Deco architects", with his plan for the Australian War Memorial a "grand vision."<sup>30</sup> In 1927 Sodersten served as a Council Member of the Royal Australian Institute of Architects, and in 1931 was a fellow. His contribution to architectural design has been honoured with the *Emil Sodersten Prize* given by the Australian Institute of Architects annually.



Figure 83 – Brisbane City Hall, Brisbane, c.1935.

Source: State Library of Queensland

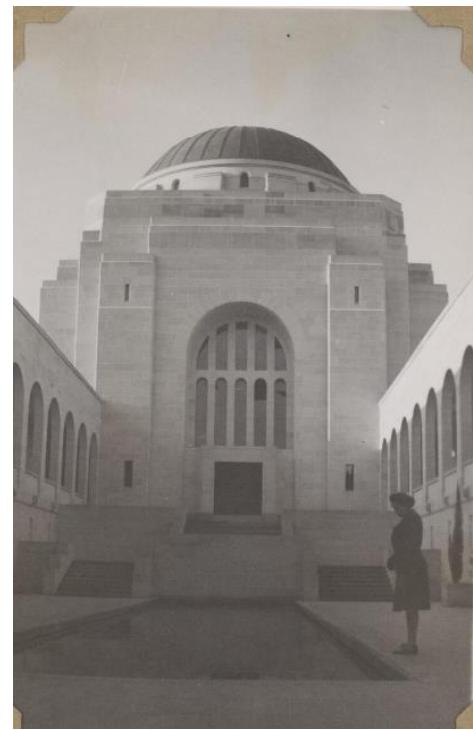


Figure 84 – The Australian War Memorial, c.1946.

Source: National Library of Australia (PIC/13569/291 1140)

<sup>27</sup> <https://nla.gov.au/nla.obj-370960072/view?sectionId=nla.obj-372800203&partId=nla.obj-371097468#page/n26/mode/1up>

<sup>28</sup> *The Sydney Morning Herald*, 11 April 1953. 'Planning in Pakistan.' Accessed online 30/4/2021 at: <https://trove.nla.gov.au/newspaper/article/18378059?searchTerm=%22emil%20sodersten%22>

<sup>29</sup> GML 2001 – citing *Art in Australia* 1934.

<sup>30</sup> *The Canberra Times*, 22 July 1995. "FEATURES: Decades of obsession with a grand vision." Accessed online 30/4/2021 at: <https://trove.nla.gov.au/newspaper/article/128289003?searchTerm=%22emil%20sodersten%22>



Figure 85 – Birtley Towers, Elizabeth Bay.

Source: National Museum of Australia (1986.0117.2270)



Figure 86 – Marlborough Hall, Potts Point.

Source: State Library of New South Wales (FL1346152)



Figure 87 – The City Mutual Life Building, Sydney.

Source: City of Sydney Archives (A-00023676)



Figure 88 – Kingsley Hall, Potts Point.

Source: National Museum of Australia (1986.0117.5247)

### 3.2.2.2. Design of the Gwydir Flats

Sodersten, beginning to make a name for himself in Sydney, was commissioned by Kenneth S. Williams to prepare the designs for the Gwydir Flats likely as early as 1926. The reasoning behind the name 'Gwydir' is unknown, although is Welsh in origin. The overall design for the Gwydir Flats is an early example of Sodersten's work and as such, is relatively restrained and inspired by classical architecture. The design furthermore incorporates elements of Mediterranean and Georgian Revival architecture, which were prominent in the Inter-War period.<sup>31</sup>

Sodersten's design was also required to accommodate the sloping street levels of the site, with a steep descent to the north along Forbes Street, and a secondary descent to the west along St Peters Street. This was achieved through the provision of a basement carpark level which occupied approximately half of the site. The design of the Gwydir Flats is characterised by the overall symmetry of the façade and Sodersten's adherence to a balance of proportions and solid and void through the distribution of windows. The primary façade on Forbes Street features a highly decorative entrance, with Classical inspired architraves and decorative motifs such as stepped architraves and Corinthian floral cartouche at the apex of the doorway. On either side of the doorway are candelabras, with an ornamental plaster crest above the doorway. The decorative focal point concentrated around the main doorway is balanced by the presence of small pairs of multi-paned windows directly above, and the floral motifs of the doorway balanced by the simplicity of Doric columns at the balconies across the remainder of the façade. The balcony arches feature a plastered barley twist, and many of the windows feature a trapezoid brick lintel. The upper register of the building features brick dentils which protrude outwards, breaking up the stretcher bond façade. The original plans show that the upper register was proposed to be rendered, with a diamond patterned feature. This feature does not appear to have been constructed and was also intended to wrap around onto the St Peters Street and laneway elevations. The building also featured a pair of rendered string courses.

Another interesting feature of the original Wilkinson House construction is the inclusion of four garage spaces off St Peters Street, providing an early example of purpose-built garages prior to the boom in private vehicle ownership, use and subsequent need for garages in housing, which is more often associated with the period from the 1950s. As the Gwydir Flats date to the late 1920s, this is a significant early example of garages. The roof of the Gwydir Flats features a mansard roof structure which wrapped around the two side elevations and became inverted at the central portion of the roof, enabling the construction of rooftop access (with skillion roof) and a walkway. The roof is assumed to have been clad with terracotta roof tiles, likely in a Spanish or Roman profile based on the original drawings which express a vertically expressed cladding. The soffit featured laser-cut floral motifs.

The original configuration of the Gwydir Flats featured 20 individual units. The original layout of the building featured an ornate entrance lobby and lounge hall off Forbes Street which led to a central staircase providing access to the upper floors and basement carparking level. The residential apartments were concentrated around the stairway, accessed via hallways which went to the left and right of the main corridor. Each apartment featured its own small balcony, in addition to decorative internal features such as decorative plaster ceilings.

In the 1929 Sands Directory of the City of Sydney, the building is listed as the Gwydir Flats and shows all units – with the exception of Number 13 – tenanted. The next address, at Nos 173-215 is the Church of England Grammar School for Girls.

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<sup>31</sup> GML 2001. *Wilkinson House, SCEGGS Darlinghurst, Conservation Management Plan*, 9.

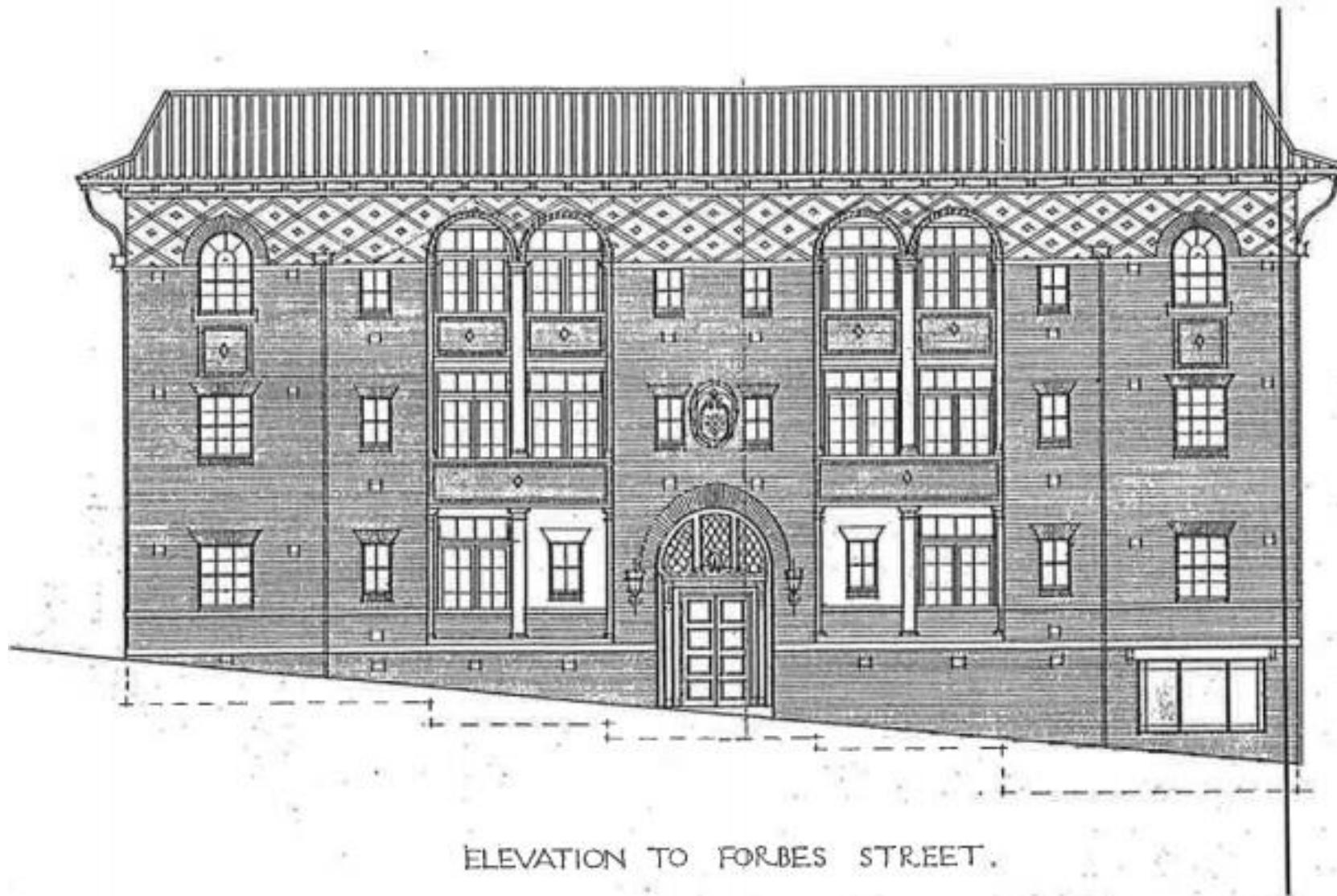


Figure 89 – Proposed elevation to Forbes Street, 1926.

Source: *City of Sydney Archives*.

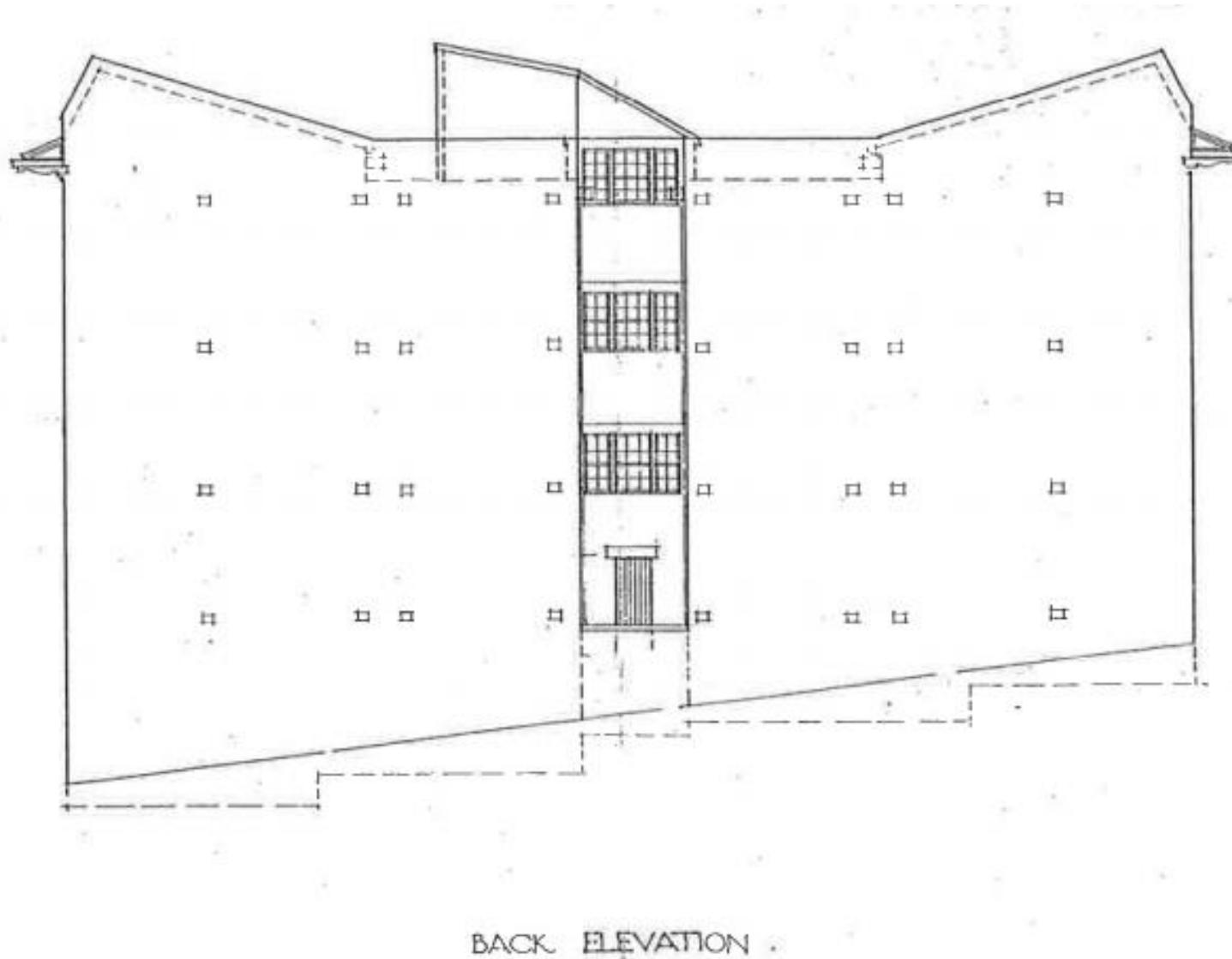


Figure 90 – Proposed rear elevation of Wilkinson House, 1926.

Source: City of Sydney Archives

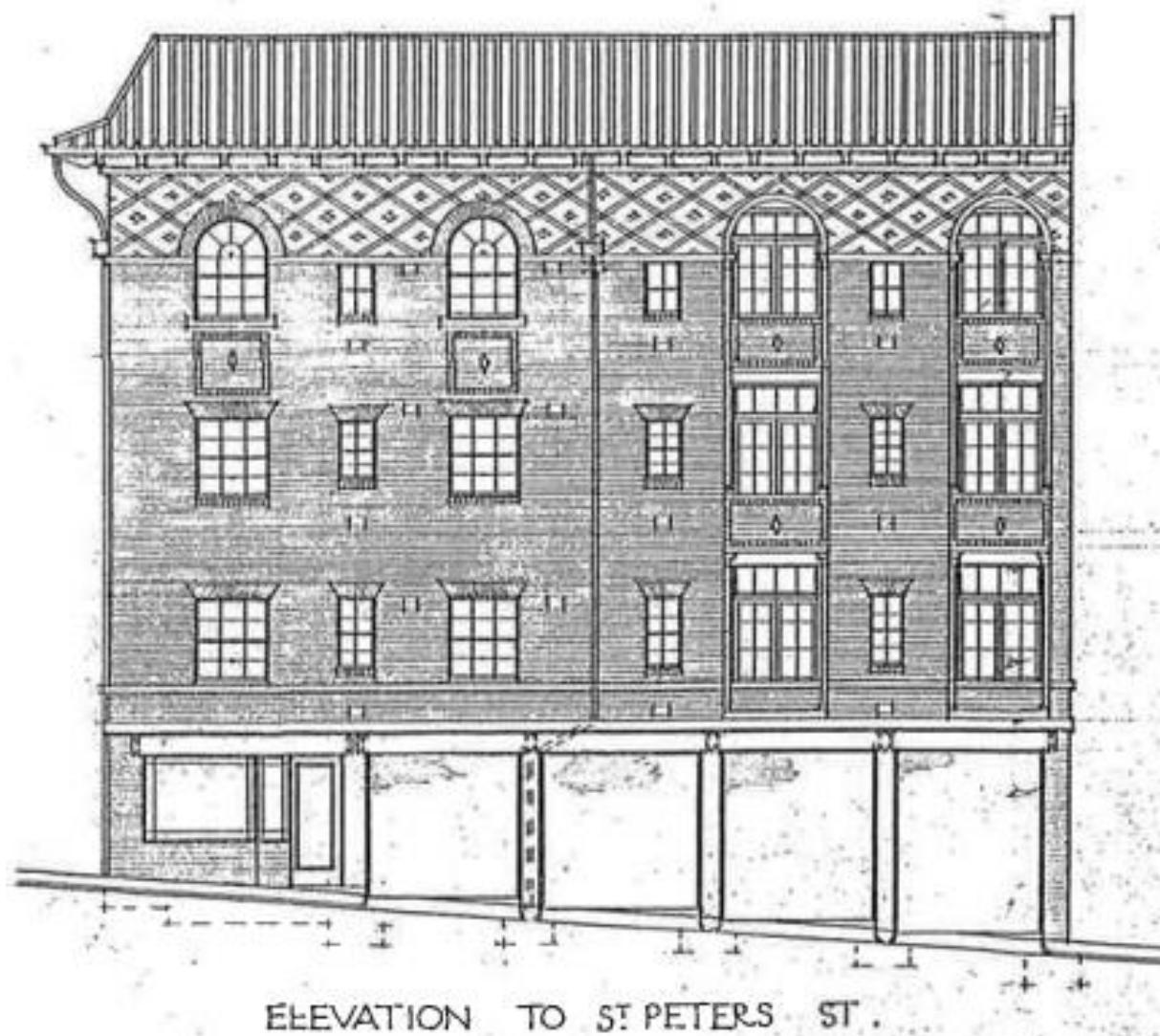
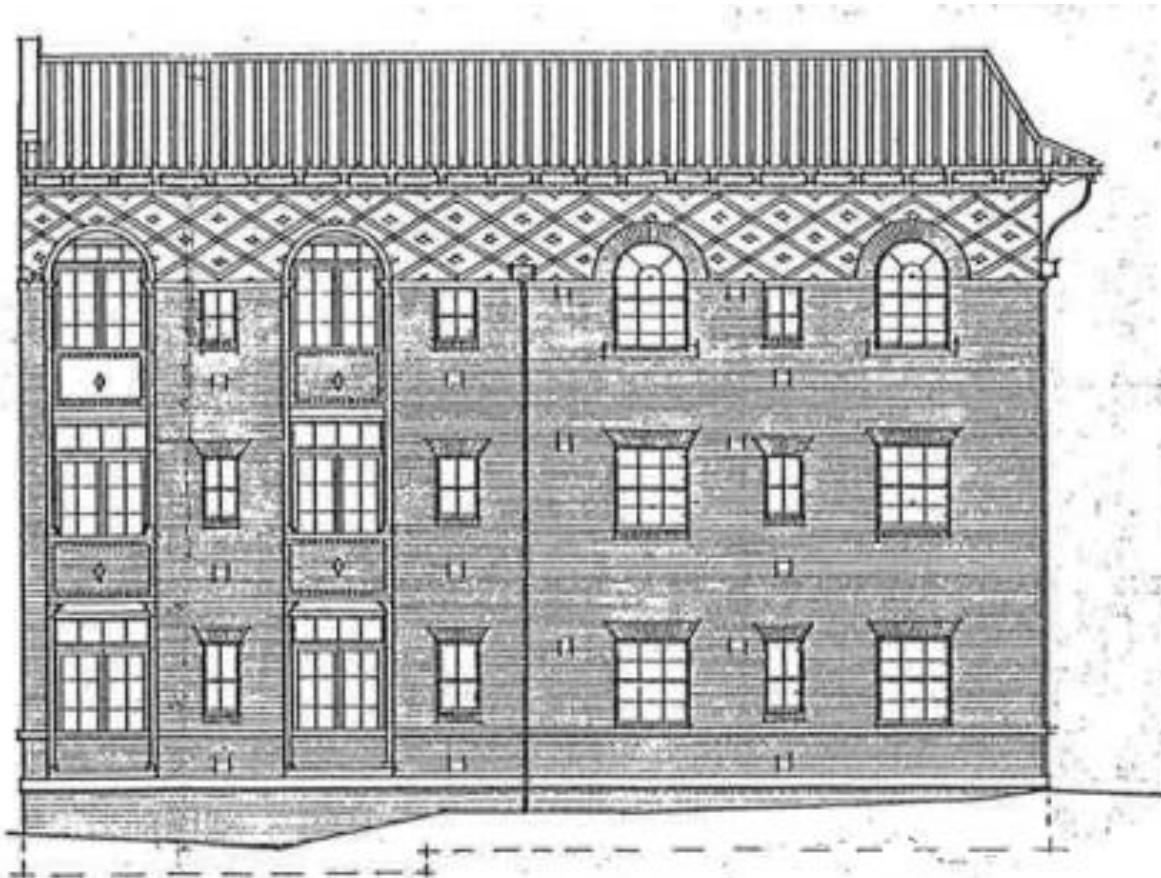


Figure 91 – Proposed original elevation to St Peters Street, 1926.

Source: *City of Sydney Archives*



ELEVATION TO LANE.

Figure 92 – Proposed elevation to lane (now facing the School gym building), 1926.

Source: *City of Sydney Archives*.

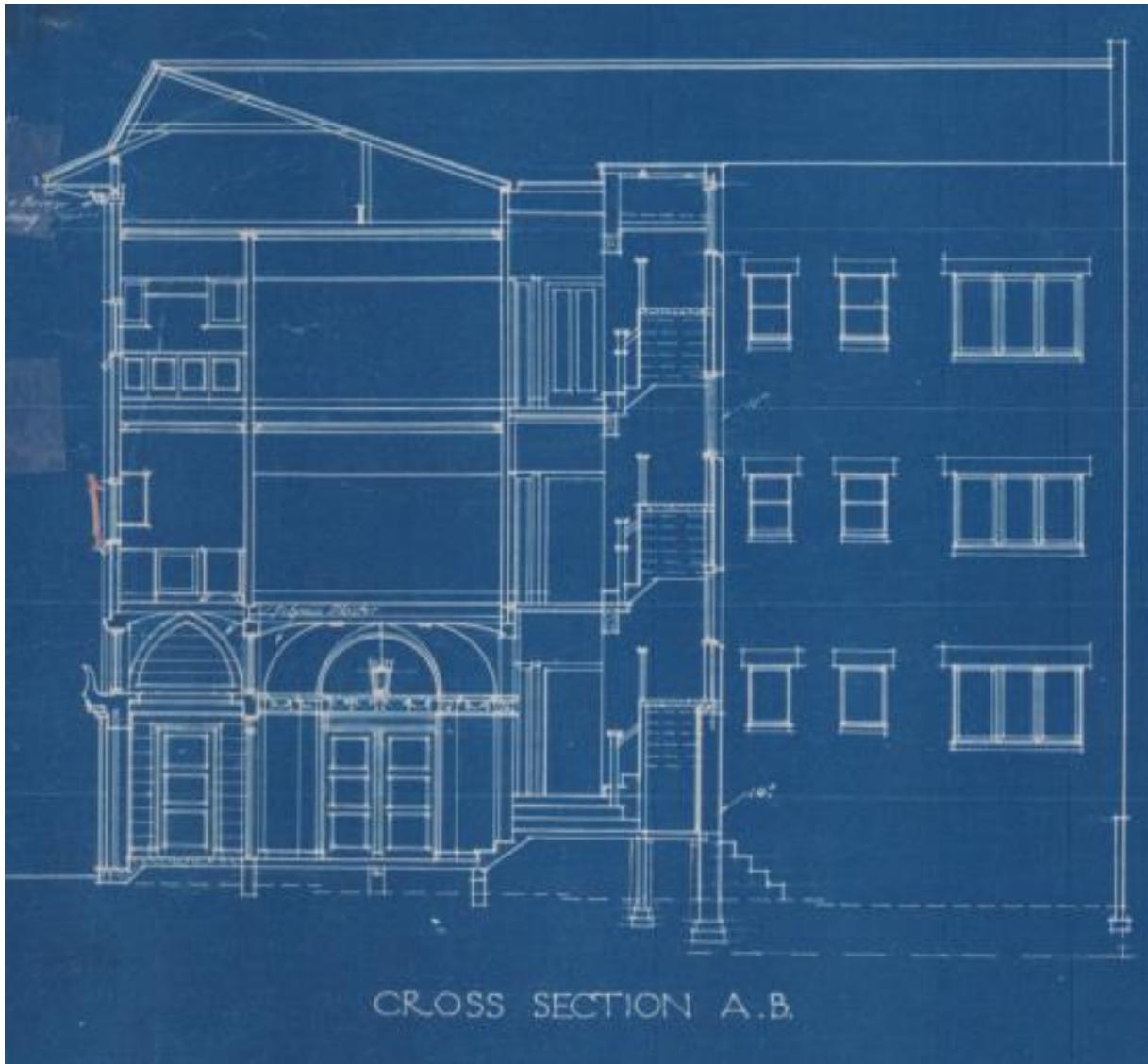


Figure 93 – Cross-section of the original design of the Gwydir Flats, 1926.

Source: *City of Sydney Archives*.

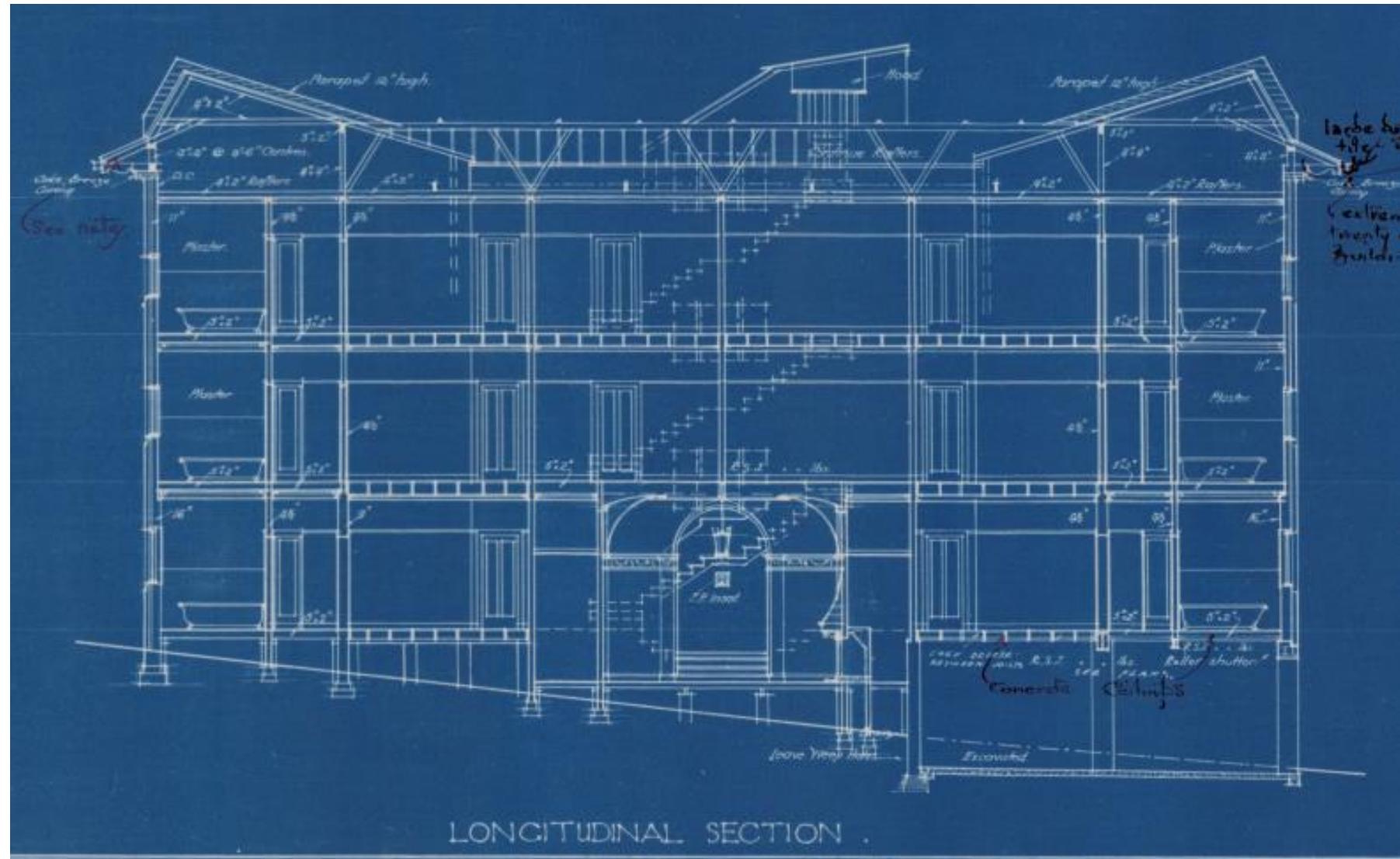


Figure 94 – Cross section of Forbes Street elevation, 1926.

Source: City of Sydney Archives

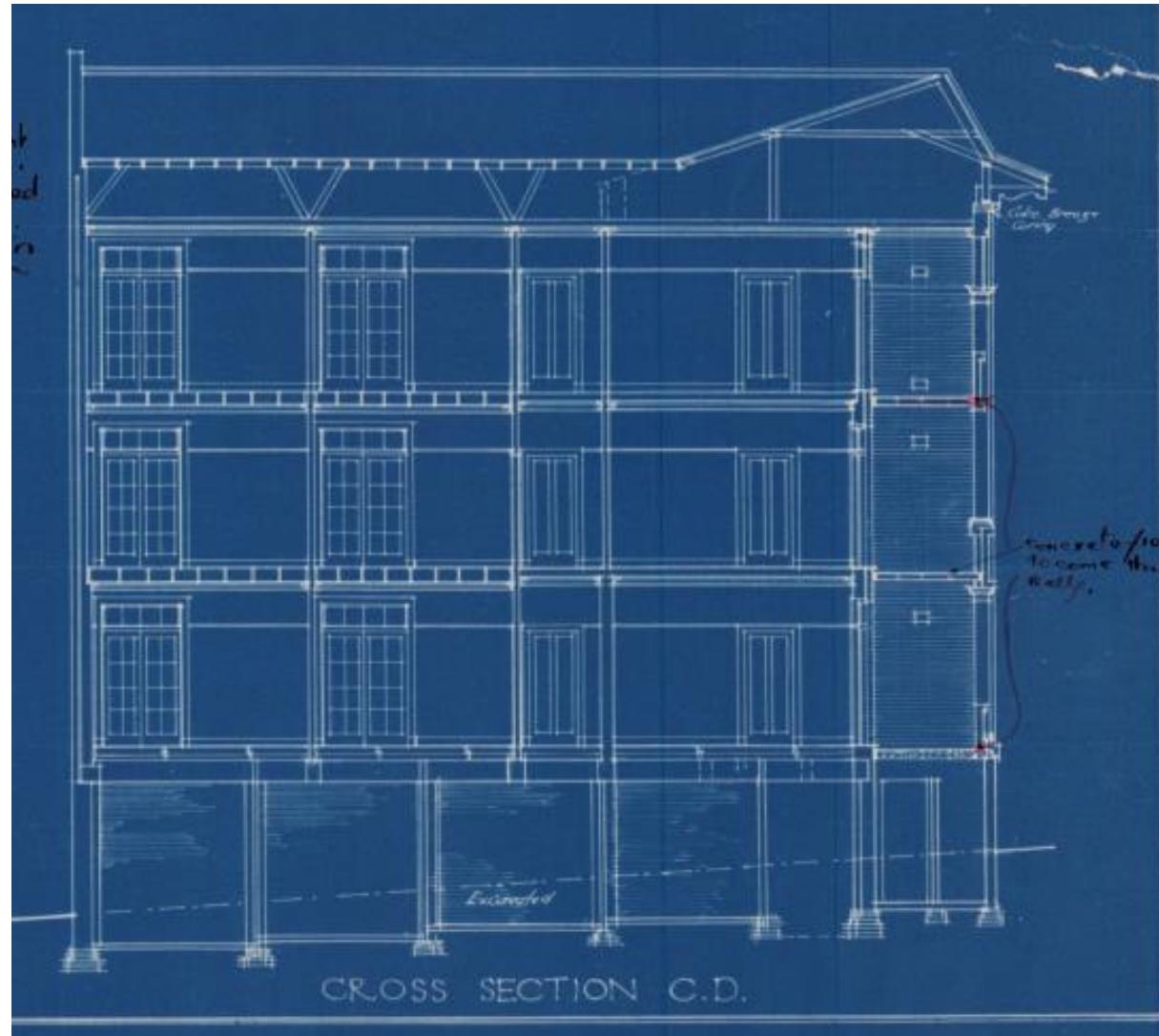


Figure 95 – Cross section of St Peters Street elevation, 1926.

Source: City of Sydney Archives

Interestingly, several differences occurred between what Sodersten's original design proposed and what was actually constructed. The most noticeable difference is the absence of the rendered upper frieze with diamond patterning.

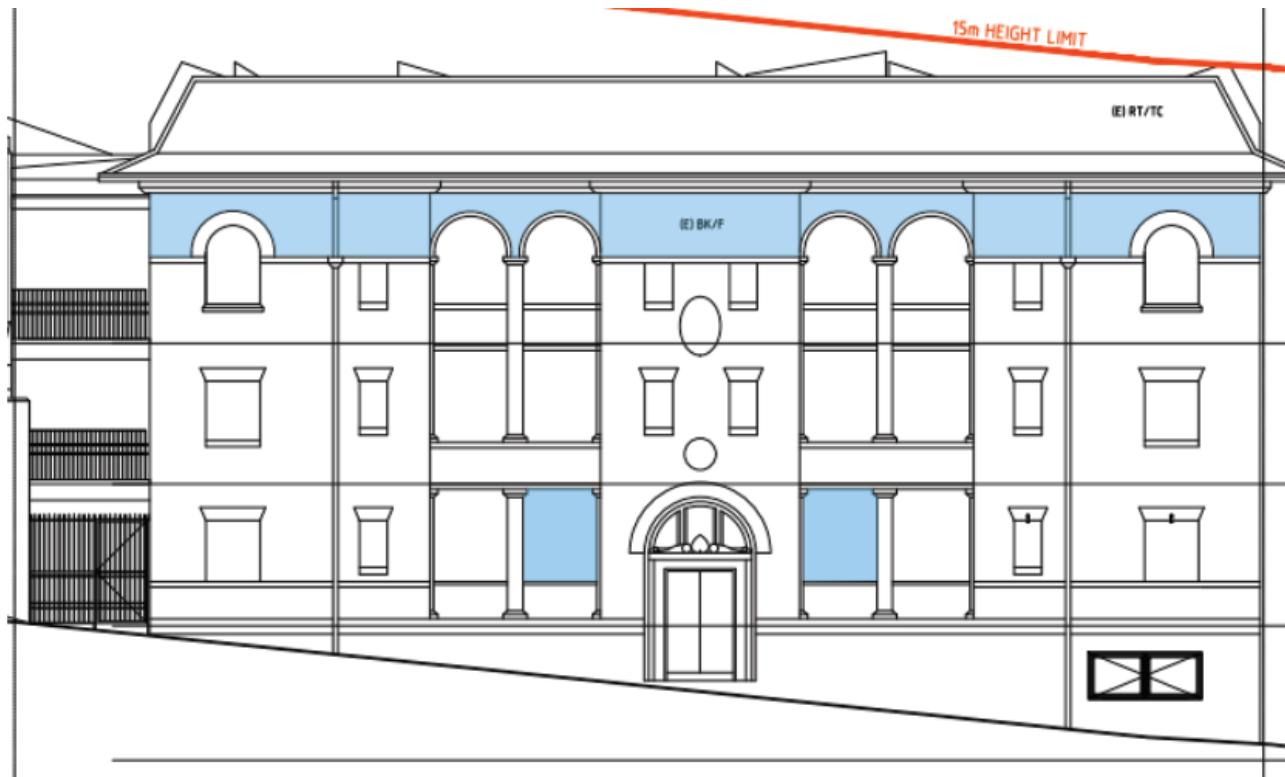


Figure 96 – Wilkinson House façade with areas of elements not completed highlighted in blue.

Source: Tanner Kibble Denton Architects with Urbis markup.

The original internal configuration of the Gwydir Flats included 20 individual residences with garage spaces at the basement. The original floorplans for the basement level included four garage spaces accessed from St Peters Street. Garages 1, 2, and 3 are approximately equal in size, with garage 3 slightly larger. Garage 4 is larger again on account of an additional annex space. The extant fire hydrant room was originally a 'shop' – potentially a workshop space which also featured a laundry and small water closet – which was accessed off St Peters Street. The basement space was accessed internally via a flight of stairs beneath the central staircase in the flat building, which led into a hallway. This hallway provided access to Garage number 2 (which subsequently provided access to garages 1 and 3), a storeroom, and two smaller storage spaces. The basement plan also involved excavation for the lightwell space, which also provided access to the storeroom. The lightwell and storeroom are marked on the plans as requiring excavation.

The ground level comprised of apartments Numbers 1 through 6 in addition to an entrance lobby, lounge hall, and vestibule for the central staircase. The entrance lobby was accessed from Forbes Street, through the ornate double doorway. The entrance lobby featured sliding doors, with two cupboards on either side of the lobby which accommodated the water meter (south) and piping (north). The lobby then lead into the 'lounge hall', a formal and welcoming central room with a large fireplace at the north side (which remains extant and intact), with a vaulted ceiling. Each side of the hall also featured storage spaces (contributing to a symmetrical plan). The two storage spaces situated on the north side of the hall were not accessible from the lounge hall itself, with access to the northeast space provided from the living room of apartment 6, and the northwest storage space accessed from the hallway. On the south side of the hall, a public telephone and a small office, potentially for a concierge or doorman, were present and accessed from the hallway. A smaller store was accessed from the hallway.

From the lounge hall, a small flight of two stairs led up to a stair vestibule, which provided access to the central staircase, basement stairs, and hallways to the ground level apartments. The staircase featured a deep timber – potentially walnut – balustrade in a typical Inter-War (almost Tudor inspired) style comprising of a thick panel with recessed niche.

The floorplan of the flat layout is overall symmetrical, with the two halves of the building mirroring each other. The layout comprises of two wide hallways (4'75" or 3.1m) which provide access to three apartments each. Numbers 1-3 were situated on the south side, with 4-6 on the north. Each apartment featured one living room, one bedroom, a kitchen, bathroom, balcony, and linen closets. Apartments 1 and 6 (located against the primary façade of the building) were entered directly into the living room and featured the largest balcony spaces. The remaining apartments provided access into a small vestibule, which then continued into the various remaining rooms. The layout was clearly designed to provide light to each individual room, including kitchens and bathrooms situated at the rear apartments, which featured windows opening onto the lightwell. Apartments No.2 and 5 featured semi-external kitchens which were accessed from the balcony. Decorative features were incorporated into much of the interior, such as decorative plaster ceilings in each living room and bedroom and dentil cornices.

Level 1 and 2 were largely designed to the same floorplan as the ground level. The primary exception was the absence of the entrance lobby and lounge hall, which on the upper two levels was replaced with an additional apartment, with Level 1 and 2 featuring seven rather than six apartments. These additional apartments featured a living room (which included primary access), a bedroom, two balconies, kitchen, and bathroom.

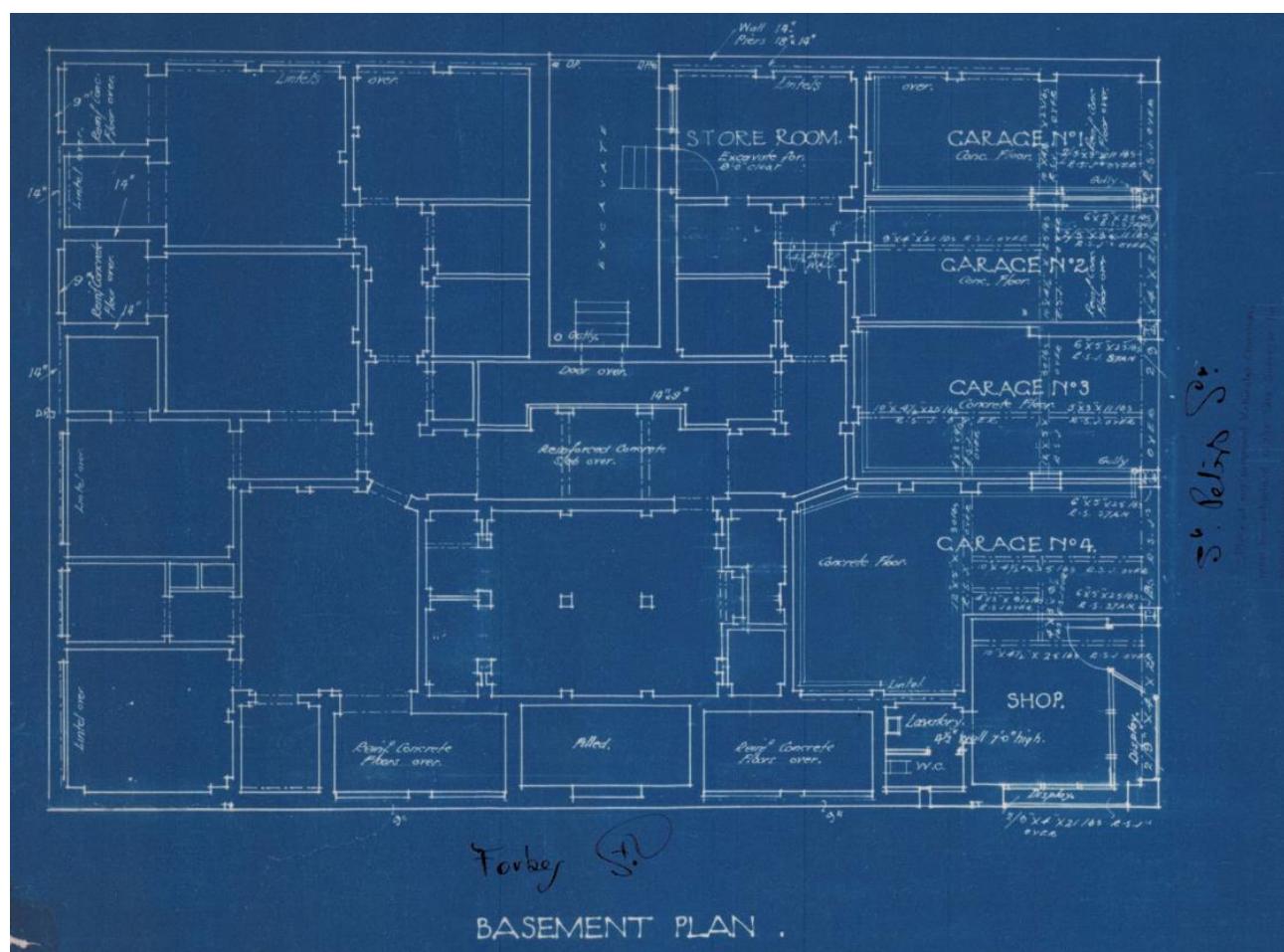


Figure 97 – Original basement plan and layout of Wilkinson House, 1926.

Source: City of Sydney Archives

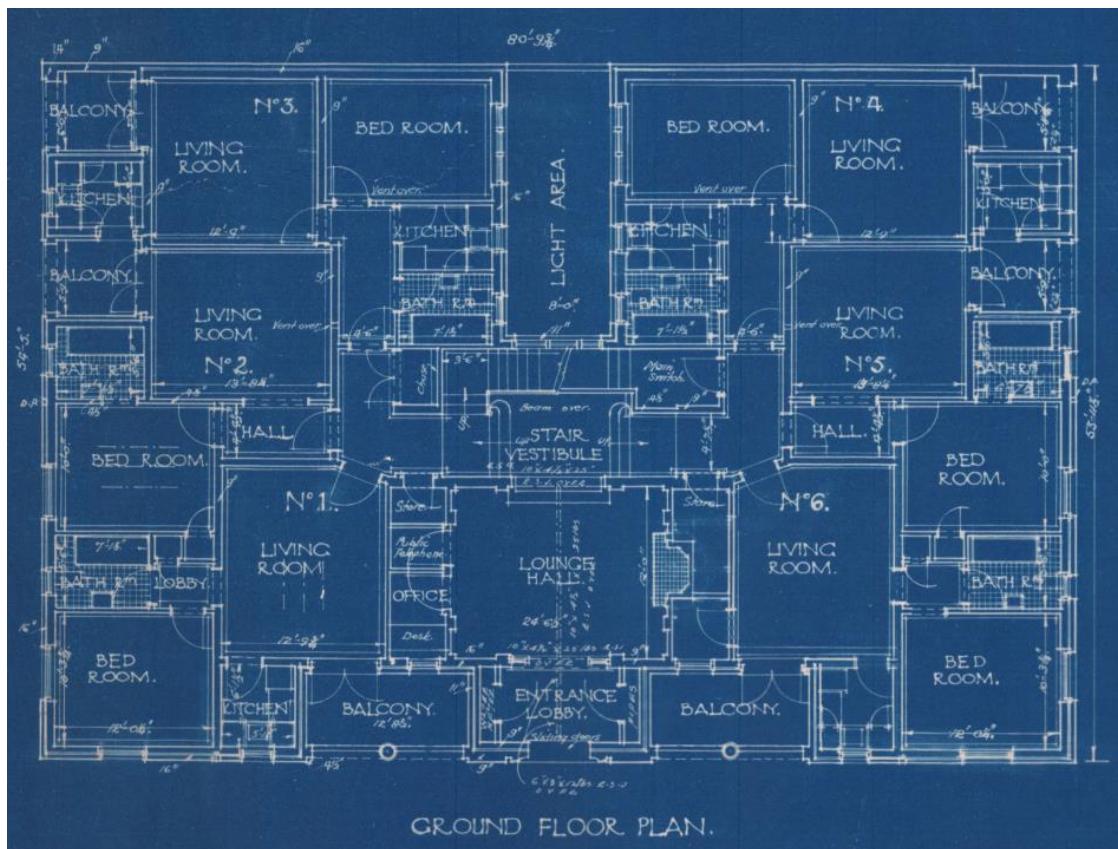


Figure 98 – Original ground level plans and layout of Wilkinson House, 1926.

Source: City of Sydney Archives

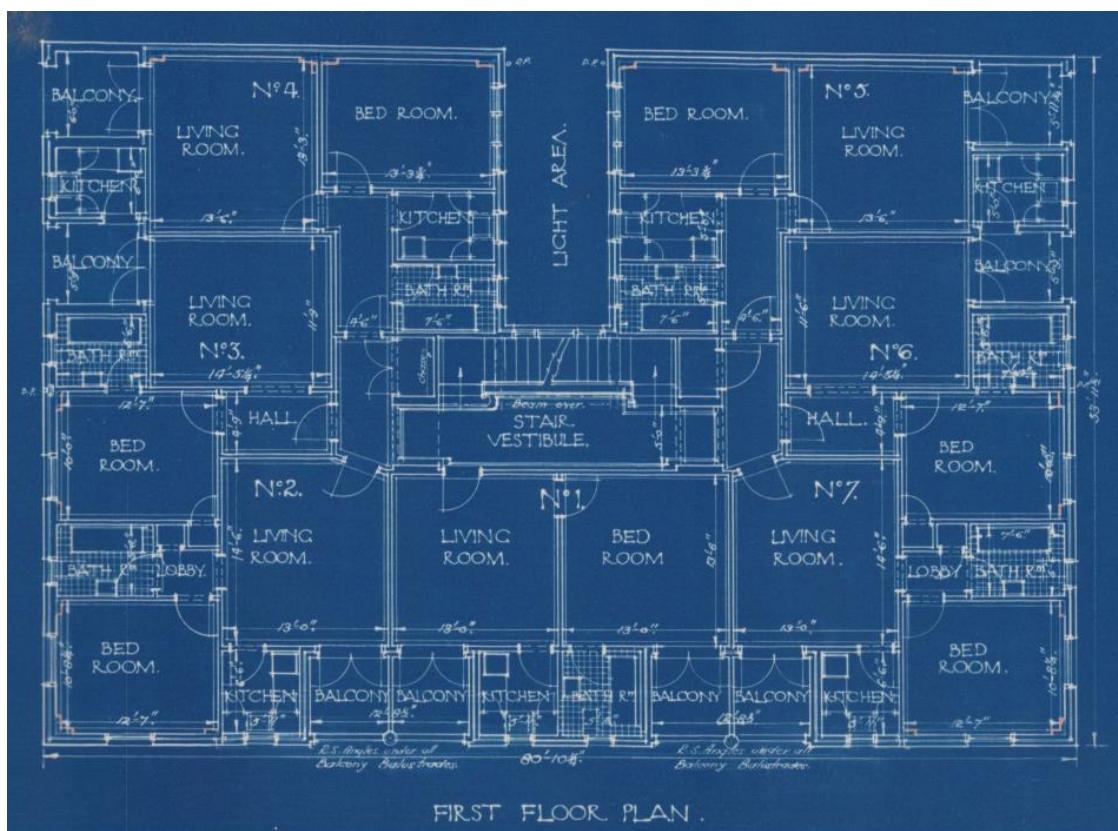


Figure 99 – Original Level 1 floor plan and layout of Wilkinson House, 1926.

Source: City of Sydney Archives

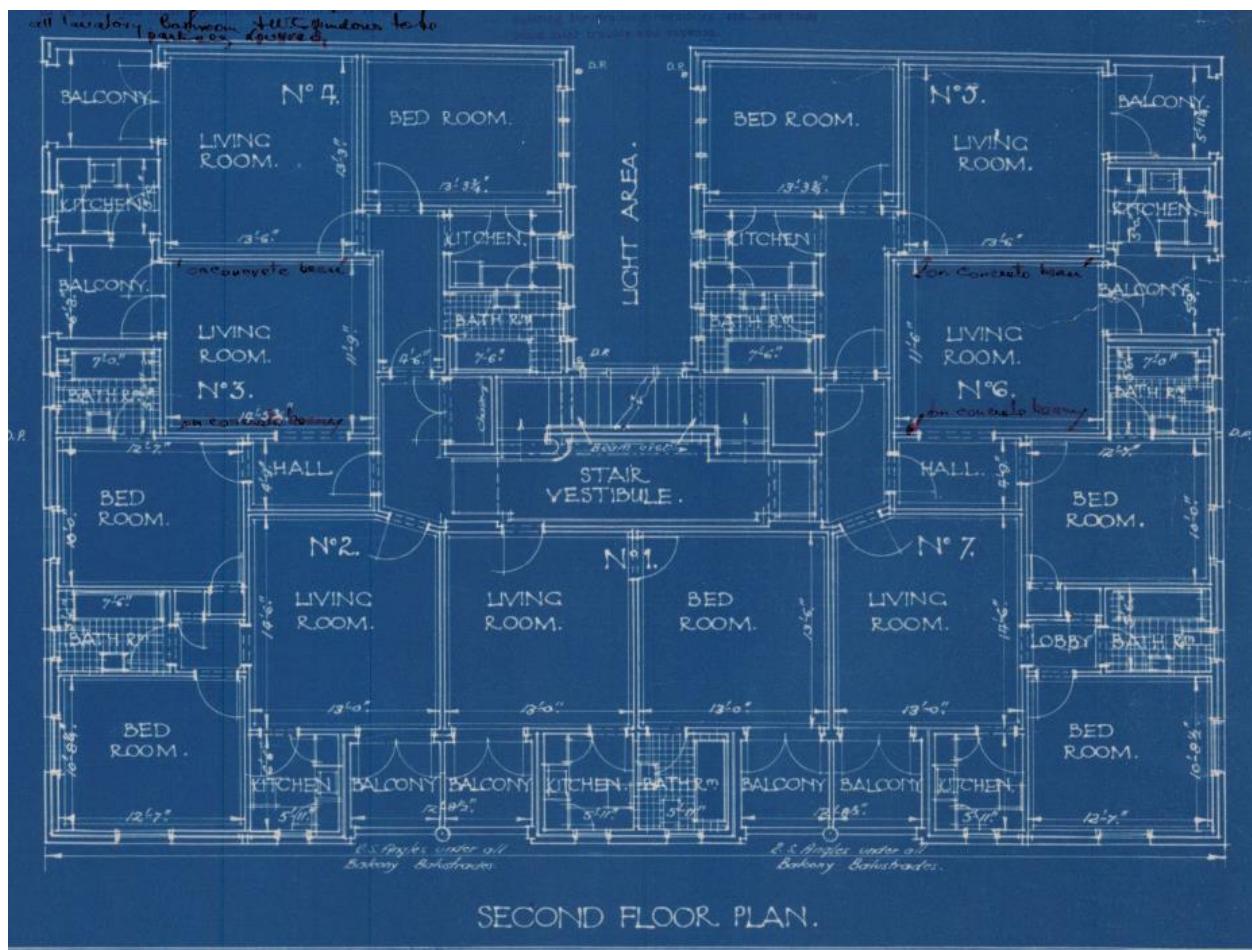


Figure 100 – Original Level 2 floor plan of Wilkinson House, 1926.

Source: City of Sydney Archives

### 3.2.2.3. Early modifications to the Gwydir Flats

Following completion of the Gwydir Flats in 1928 the building had several owners, although overall, few changes were made to the building structure. One such example was the creation of a new door at the basement level on the St Peters Street elevation, constructed in 1944 and recorded in the City of Sydney Building Inspectors Cards.<sup>32</sup> There does not appear to have been additional alterations to the building while being used as a flat building.

### 3.2.2.4. Social history of the Gwydir Flats

Public records such as the Sands Directory and the City of Sydney Rates & Assessment Books, in addition to contemporary newspaper articles, can provide information regarding the social history of places. The Sands Directory has recorded the names of several tenants who resided at the Gwydir Flats, from which we can determine the type of people who lived here. Vacant flats were advertised within newspapers of the time, such as *The Sydney Morning Herald*, however, did not provide proposed rent rates. One advertisement from 1929, the year after the flats were constructed, describes the flat as possessing:

*Unfurnished flat, 2 balconies, large living-room, bedroom, kitchen, bathroom, hot-water service, laundry.*<sup>33</sup>

<sup>32</sup> Council of the City of Sydney, Building Applications 165-171 Forbes Street, Darlinghurst.

<sup>33</sup> *The Sydney Morning Herald*, 26 October 1929. 'Advertising.' Accessed online via Trove <https://trove.nla.gov.au/newspaper/article/16596165>

Another advertisement dating to 1930 states that the Gwydir featured “most attractive unfurnished flats” with “rents very moderate” in price for the quality of accommodation.<sup>34</sup> Advertisements also suggest that flats were sublet for short periods of time, such as one advertisement from November 1929 which marketed a “private flat... two months or less” with the tenant home on weekends.<sup>35</sup>

Many of the recorded residents were men, however this may have included wives and children not listed in the Sands Directory. Some recorded residents included unmarried – presumably young – women and widowed women. This suggests that the flats may have been suitable to younger women and widows who did not need to live with families. Newspaper articles record that there were a number of recent migrants to Sydney living in the flats, such as an Austrian migrant, Camilla Pleschner, and Elizabeth and Ferenc Ferudi, also migrants. Other newspaper articles show that some families did live in the flats with children, despite the presence of only one bedroom.

The flats did not appear to be a wholly safe location, with one newspaper article recording the attacking of the proprietor Charles Saunders, within the lobby of the building.

Table 4 – List of recorded residents at the Gwydir Flats

Unit	Name	Notes
<b>1929 Sands Directory</b>		
1	Miss M.E. Munro	
1a	M. Thompson	
2	C.A. Green	
3	F.E. Dakin	
4	George Billam	
5	Mrs Robinson	
6	Miss K. O'Keefe	
6	Miss MacDonald	Potential error in numbering from here.
7	Mrs Mathews	
8	Mrs. Leon Harris	
9	Miss W. Maitland	
10	T.J. Delaney	
11	Mrs A. Humphries	
12	Tregenna	
14	W. Sutton	

<sup>34</sup> *The Sydney Morning Herald*, 15 Feb 1930. ‘Advertising.’ Accessed online via Trove at:

<https://trove.nla.gov.au/newspaper/article/28044845?searchTerm=gwydir%20flats%20darlinghurst>

<sup>35</sup> *The Sydney Morning Herald*, 16 November 1929. ‘Advertising.’ Accessed online via Trove at

<https://trove.nla.gov.au/newspaper/article/16602356?searchTerm=gwydir%20flats%20darlinghurst>

Unit	Name	Notes
15	J. Smith	
16	Miss Murnano	
17	Mr and Mrs Watts	
18	Roland Foster	
19	Mr and Mrs Fox	
20	Miss Bisson	

#### 1930 Sands Directory

1a	M. Thompson	
2	C.A. Green, proprietor	
5	Mrs Robinson	
6	Miss K. O'Keefe	
6	Miss MacDonald	

#### 1931 Sands Directory

	G. Smith	
	Mrs Garrett	
	V.M. Sanders	
	A.L. Smith	
	S.J. Tutton	
	G.H. Diamond	
	Miss F. Morris	
	Miss J. Neilson	
	Thomas A. Soady	
	Mrs O'Leary	
	Mrs Robinson	

#### 1932-3 Sands Directory

	G.H. Rosenberg, proprietor	
	A.S. Smith	
	S.J. Tutton	

Unit	Name	Notes
	G.H Diamond	
<b>Other recorded tenants</b>		
	Jack Clark, 20 years old	Newspaper article
	Charles Saunders, 39	
	Miss Cecile Hunt	
1939	Mrs M Hayes, widow	
	Nancy, an 8-year old girl	
1949	Mrs V. Molloy	
1935	Mrs D Wright	
1961	Elizabeth and Ferenc Furedi, migrants	
1952	Camilla Pleschner, Austrian migrant	

### 3.2.3. Purchase by SCEGGS & Boarding House

SCEGGS had operated out of Barham House on Forbes Street from 1901, relocating from Potts Point to Darlinghurst to accommodate the growing number of students. As the school continued to grow, SCEGGS began to purchase additional land and housing, expanding outwards from Barham House. The school also provided boarding accommodation, which placed additional pressures on the campus. Furthermore, in 1961 a nationwide schooling reform known as the Wyndham Scheme established an extra year of schooling (Year 12) and additional subjects were added to the curriculum.<sup>36</sup> This meant that an extra grade of students needed accommodation and classrooms, with extra classrooms required to run the newly added school subjects.

To meet the demand, a logical solution was found in the purchase of the Gwydir Flats, which were located at the northeast corner of the school site. As relatively modest apartments, the building was a natural fit for conversion into accommodation for boarders. Following the purchase of the Gwydir Flats by the school, the building was renamed Wilkinson House in honour of SCEGGS second Headmistress, Dorothy Wilkinson, who served from 1921 to 1947.<sup>37</sup> 60 boarders and 6 members of staff, including the headmistress Barbara Chisholm, moved into the building in 1960. Upon purchase of the Gwydir Flats in 1960, measured drawings were undertaken by SCEGGS which show the existing plans of Wilkinson House at the time.

Upon purchasing the building, Headmistress Barbara Chisholm announced the acquisition at the 1960 Speech Day:

*Recently gained possession of enough land to build another tennis court and a parking area – and the (School) Council has bought a block of flats adjoining the school grounds. We hope that by the end of next year we shall have all the boarders housed in the pleasant rooms of the flats and we shall then be able to use the present dormitories for extra science rooms and class rooms which we need badly. Already some girls are living in the flats, and rooms which can be used as class rooms next year have been freed.<sup>38</sup>*

<sup>36</sup> GML CMP, 2001, 9.

<sup>37</sup> GML CMP 2001, 10.

<sup>38</sup> LUX, 1961, p. 7.

All boarders had moved in by 1962, following some minor alterations.<sup>39</sup> The Headmistress happily reported the news in Lux:

*The boarders are now comfortably housed in the block of flats we bought nearly three years ago and which we have called Wilkinson House after the last headmistress.<sup>40</sup>*

The purchase of the building enabled the conversion of former accommodation in the Chapel Building to be converted into five new classrooms and a biology laboratory.<sup>41</sup> By 1968 over 100 boarders resided in the building. The accommodation in Wilkinson House operated on a change in style of accommodation, reflecting new expectation of boarding life, from verandah dormitories located in Barham, to smaller more autonomous groups living in Wilkinson House shared flat-like accommodation.

In the late 1960s the basement garages were converted into workshops for the art department, including a pottery studio which connected to rooms beneath the adjoining tennis courts. By the 1970s bars were installed on the outside of all the windows for the protection of boarders. In images from 1971, windows were also added to the top most balconies on the southern elevation (Figure 105 and Figure 106). A walkway was also installed on Level 1 a the southern elevation internally connecting the Wilkinson House to school. Minor internal changes were undertaken to Wilkinson House by the School in order to accommodate the boarding students. This was mainly in the form of some new doorways on the ground level and renovation and replacement of fittings in the bathrooms. One of the bathrooms fitted in the 1960s remains on Level 1.

In 1984, major work was undertaken in the basement level of Wilkinson House. The basement level, which had previously been converted from garages in the late 1960s into workshops for the art department, was converted again, this time into meeting and recreation rooms. This involved replacement of the original stairs to the basement, which were replaced with contemporary stairs (Figure 107). Upstairs, work was also carried out to upgrade the fire system, including the installation of fire doors, exit signs and emergency lighting.

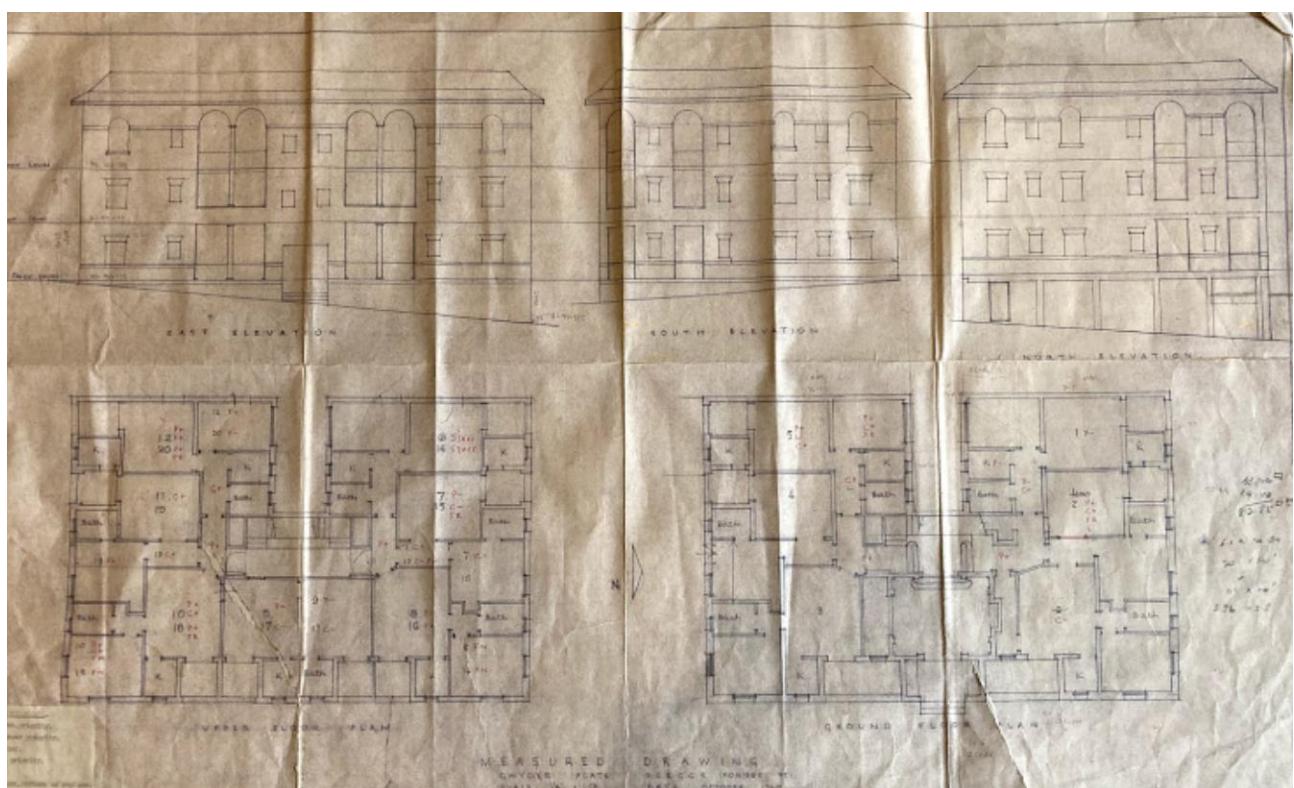


Figure 101 – Measured drawings of Wilkinson House in 1960.

Source: SCEGGS Darlinghurst Archives.

<sup>39</sup> Howse, J., 1998. *Historical Development of the SCEGGS Darlinghurst Site*, 16.

<sup>40</sup> Howse, J., 1998. *Historical Development of the SCEGGS Darlinghurst Site*, 16.

<sup>41</sup> Howse, J., 1998. *Historical Development of the SCEGGS Darlinghurst site*, 16.



Figure 102 – Wilkinson House, Forbes St façade, 1968.

Source: SCEGGS Darlinghurst Archives



Figure 103 – View along St Peters Street, showing the rear of Wilkinson House. Undated.

Source: SCEGGS Darlinghurst, 125 Years. Via Anne Titterton. Accessed: <https://anniversary.sceggs.nsw.edu.au/bowman/anne-titterton-retired-as-deputy-head-at-the-end-of-2011/>



Figure 104 – Pottery workshop in basement of Wilkinson House, c1971

Source: SCEGGS Darlinghurst Archives



Figure 105 – Wilkinson House south elevation, 1971

Source: SCEGGS Darlinghurst Archives.



Figure 106 – Looking across the swimming pool to Wilkinson House, 1971

Source: SCEGGS Darlinghurst Archives.

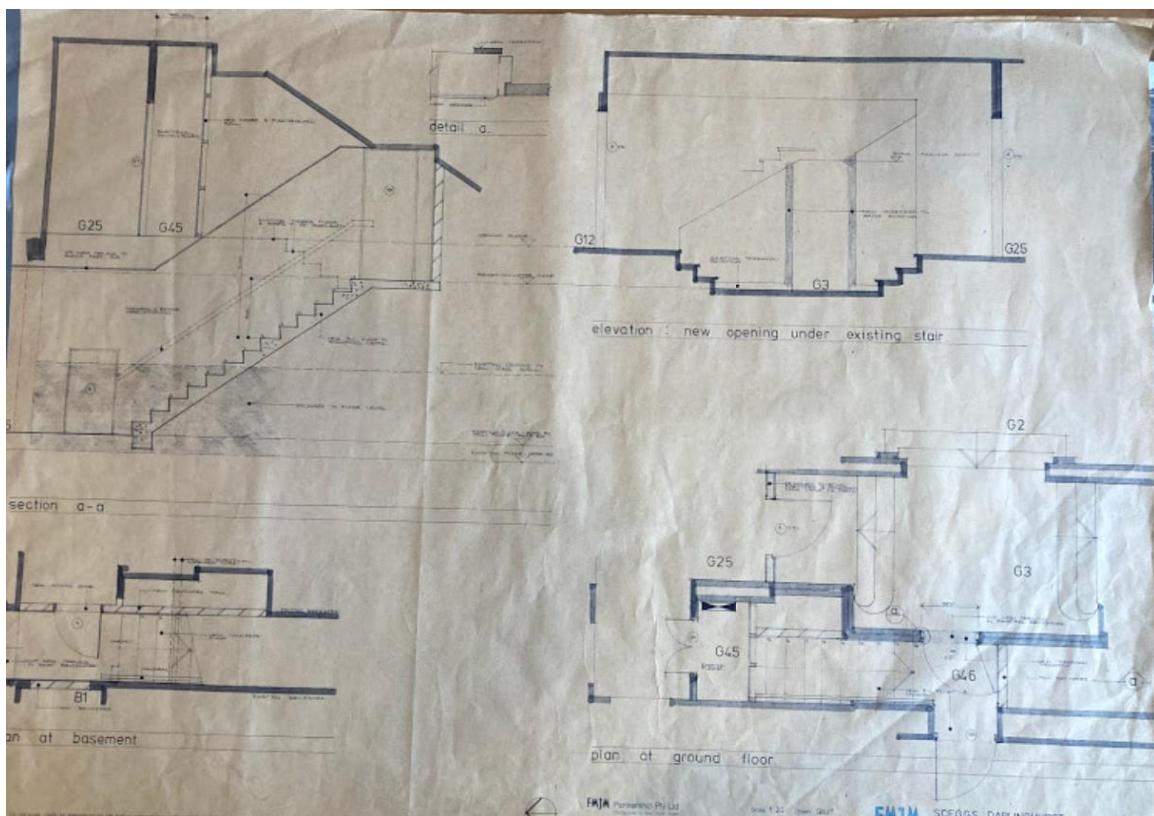


Figure 107 – Plan for new basement stairs in Wilkinson House, 1984

Source: SCEGGS Darlinghurst Archives

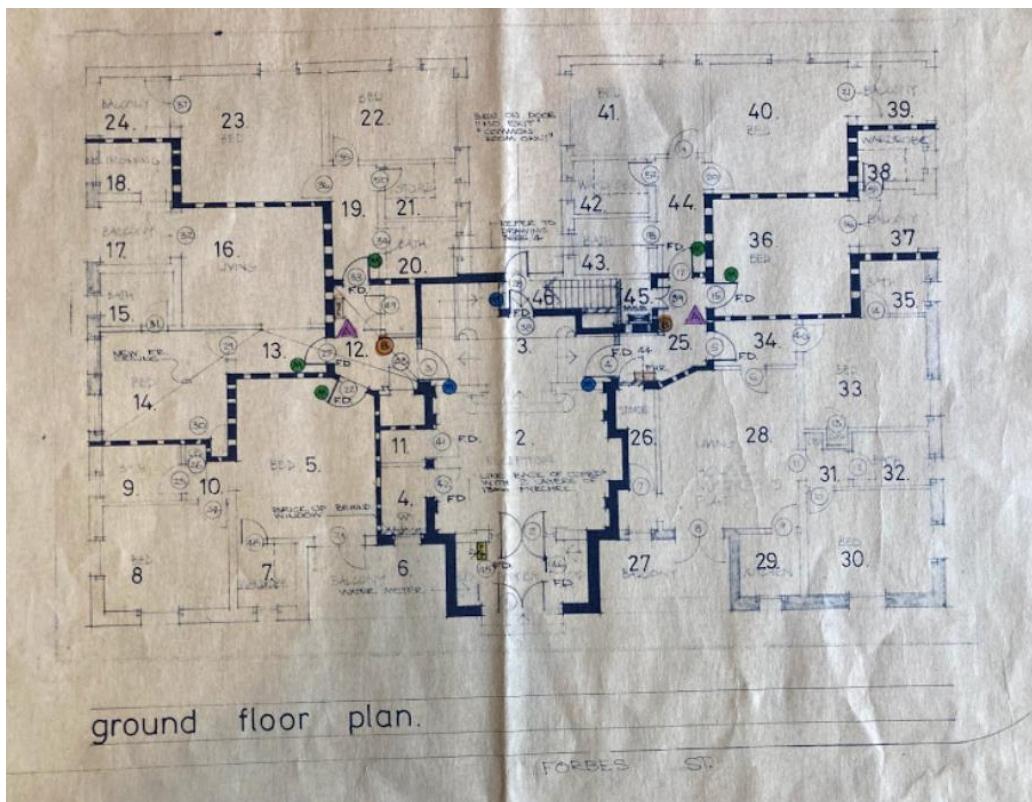


Figure 108 – Ground level fire upgrading plans, 1984.

Source: SCEGGS Darlinghurst Archives.

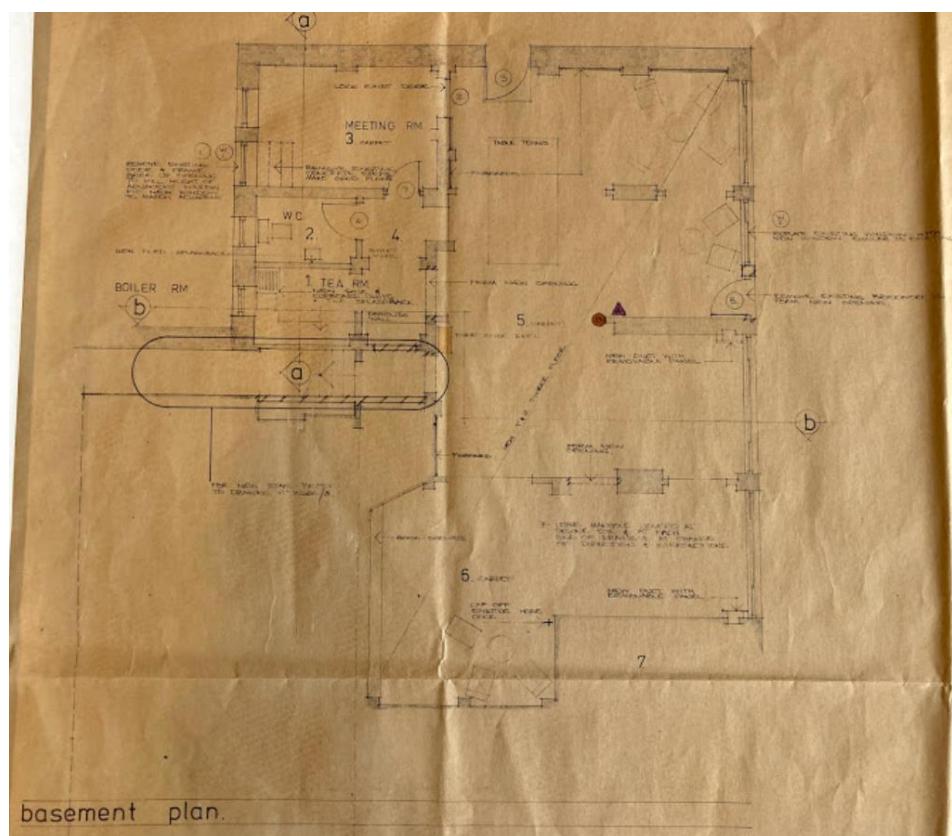


Figure 109 – Basement plan for fire upgrades, 1984.

Source: SCEGGS Darlinghurst Archives

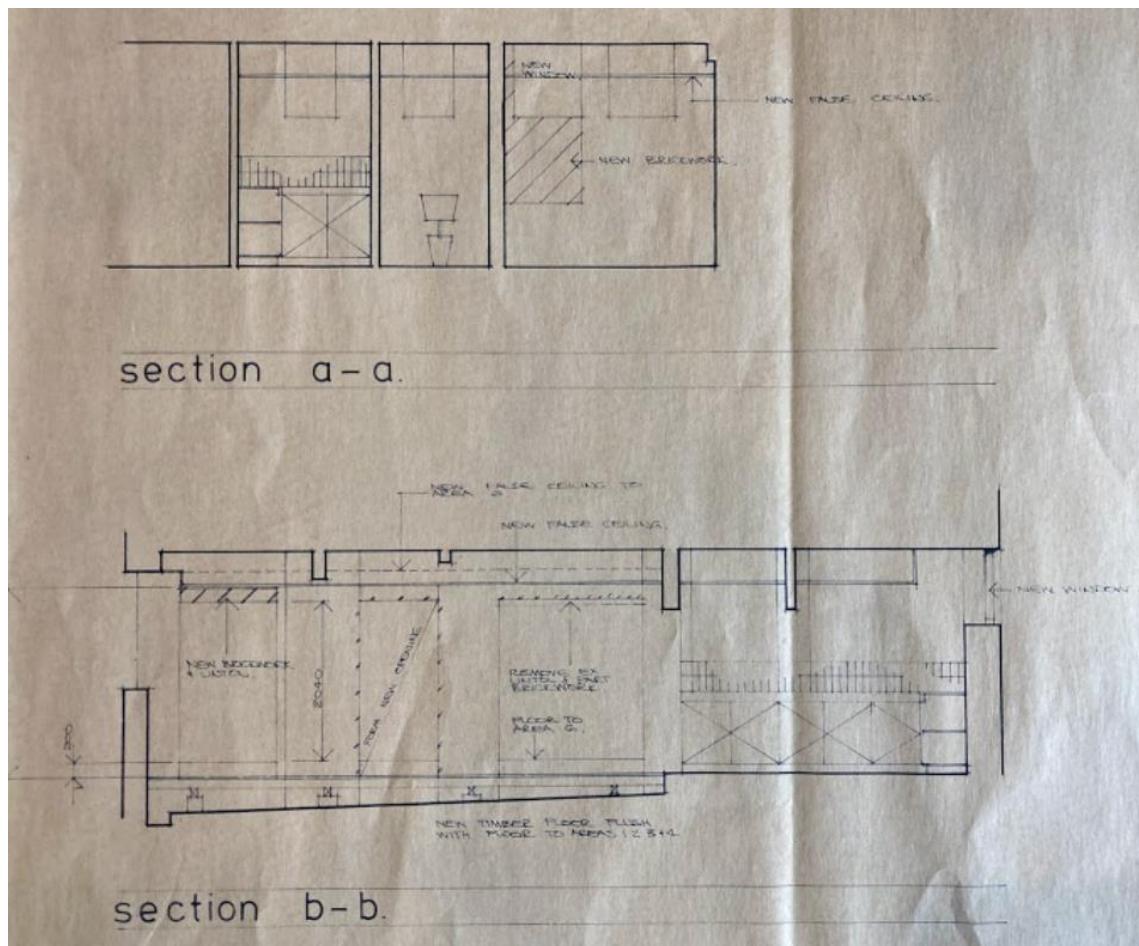


Figure 110 – Elevations of new kitchenette and bathroom in Wilkinson House basement, 1984.

Source: SCEGGS Darlinghurst Archives.

### 3.2.4. Boarding House Experiences

The use of Wilkinson House as a boarding house was a pragmatic solution for the lack of space for boarders throughout the school. Additional boarding spaces were included in the Chapel and Barham Buildings until the 1960s, which may have been somewhat impractical amongst the neighbouring classrooms. By the 1980s, Wilkinson House was housing up to 70 students of all ages, comprising of primary and high school boarders. The operation of Wilkinson House appeared to have approximately two teachers who were in charge of the boarders and their safety, several Boarders Prefects, and the boarder students. As the day began, Wilkinson House was emptied of students, with alarms turned on and doors locked by the teachers, who then let the students back in at the end of day after class. The neighbouring Darlinghurst community required security throughout the school with the actions of the neighbours and of the teenage girls requiring the additions of locks, alarms and barred windows over time. A sense of community appears to have been prevalent throughout Wilkinson House, amongst boarders of all ages and the teachers themselves. Life in Wilkinson House shortly after its opening was described by Wendy Morrice, who came to Wilkinson House at 11 years old:

*I vividly remember the friendliness of the other girls looking after and helping me settle into the routine as a new little girl from the bush who had not been to a school before. I liked the fact there were only 3 juniors and 2 seniors to each flat unlike traditional dormitories in other boarding schools.*

*There were bells to wake up to, bells to go to meals, bells to go to bed. There was always someone in the entrance area ironing their dress for dinner or lined up in the hall when caught talking after lights out. I remember sunbaking on the roof when you wanted some quiet time, lending each other clothes when going out, singing "Silent Night" in the hallway after a midnight feast, and my sister hitting a man on the fingers as he tried to climb into their room. I*

recall laundry bags hanging in the boxrooms, room and cupboard inspections, suitcases stacked in the foyer at the end of term prior to being delivered to Central Station and being aware of the sex workers in the paddock beside the ABC!

*But most of all I remember the loyalty and companionship of the other boarders of all ages.<sup>42</sup>*

Stories of the colourful Darlinghurst nightlife is a common theme across the memories of Wilkinson House boarders, in addition to many of the after-school activities and the school bells which rang multiple times a day. More stories of Wilkinson House were recorded by Judy Hicks, a resident for five years in the 1970s. Judy's account notes the introduction of the television, and barred windows to Wilkinson House:

*Watching TV downstairs on 'special occasions' such as long weekends while one poor girl held the aerial above the TV because the reception was so bad.*

*Ladders were provided by the St Paul's College boys on muck up day, or so the story went, to enable our pre-dawn exit from the top floor. Or did we use a key (normally reserved for activities that weren't forbidden like early morning music practise)? Soon bars were added to the top floor windows and ladders were a thing of the past!*

Michell Goodman's 1980s account of Wilkinson House further discuss the noises of the Darlinghurst nightlife, the school bells, and that the school students were able to introduce their own personalities into their rooms, particularly posters:

*Distant sounds of restless Darlinghurst streets emerging from the night are overlaid with the clanging of the 'morning bell', echoing across the landings and stairwells of Wilkinson House. I make my bed (regulation 1970s polyester bedspread with psychedelic pattern), pull out my uniform from an ancient wooden wardrobe, and head over the 'Bridge of Sighs', past the tennis court (now gone), past the ancient fig tree (still there) and up to Barham for breakfast.*

*After school I return to my poster-adorned room (shared with three others) for some rest and relative freedom. We chat, write letters, and blast music from our cassette players. Our balcony overlooks the ABC radio studios, and we call down to a visiting music artist. He waves back! A boarding mistress walks in (not impressed).*

*All too soon the bell rings out again and we leave our rooms to bundle into the Common Room. We queue for the one pay-telephone (no mobiles then) and watch television (Perfect Match at 5.30pm!). Yet another ringing bell ushers us into dinner.*

*After dinner we are off to the Butter Box (baking hot in summer and freezing cold in winter) for 'Prep'. Our homework done (or not), we head back to Wilkinson House for a glass of milk and a biscuit. The 'lights out' bell rings out through the boarding house and it is time for bed. Seemingly only moments later, the morning bell clangs again...*

*The Boarder's Bell of Wilkinson House, now preserved as an historical artefact, has been silent for many years. However, its punctuation of those long-ago and fondly remembered boarding house days still rings out clearly in my memory.*

### 3.2.5. Conversion to Senior Educational Centre

In April 2001, the board of SCEGGS Darlinghurst Limited made a decision to close down the boarding school on the basis that given such a small number of boarders, it was no longer viable either to student's social needs or financially. The decisions ended the tradition of boarding on site that had been part of the School since its inception in 1895. Following negotiations with St Vincent's College, students could elect to board with SCEGGS, however the girls are hosted at St Vincent's College in Potts Point.

Following the conversion of the space from boarder's accommodation to classrooms and offices in 2002, several walls were removed on each level to develop a more open plan layout suitable to classrooms (refer to Figure 115 - Figure 118 for 2001 layout and modifications). Two walls were demolished within the basement level to create an open plan common room. Within the ground level, three walls were removed

<sup>42</sup> Morrice, W., April 2021. 'Wilkinson House – A Home to Boarders for Four Decades'. *Light Works*.

from the rear rooms to establish larger offices. On the Level 1 central walls were demolished to enable the construction of larger classrooms, however the overall layout of the space including hallways and storerooms was retained. Level 2 has experienced the most modification, with almost all internal walls of each original apartment removed. These extensive works have highly altered the space and enabled the construction of four large classrooms with storerooms.

Externally, there have been few modifications to the building. Significant original features have been retained and no original details appear to have been removed or replaced. Intrusive features added include infill steel bars on the balcony openings and basement windows, and the installation of an aluminium service panel on the northeast corner of the building. A new external staircase at the southern façade was also constructed to link Wilkinson House with the Centenary Sports Hall in 1995-1996.

Internal modifications separate from the removal of internal walls include the removal of associated significant fabric. Overall, however, significant original fabric such as cornices and plaster ceilings have been retained primarily in the ground level and Level 1. Since the conversion of the Wilkinson House into the Senior Educational Centre, little other changes have been undertaken to the site.



Figure 111 – Classroom on Level 2, north-east corner post conversion, 2002

Source: SCEGGS Darlinghurst Archives



Figure 112 – Staff office post conversion, 2002

Source: SCEGGS Darlinghurst Archives



Figure 113 – Classroom on Level 1, 2002

Source: SCEGGS Darlinghurst Archives



Figure 114 – Staff office post conversion, 2002

Source: SCEGGS Darlinghurst Archives

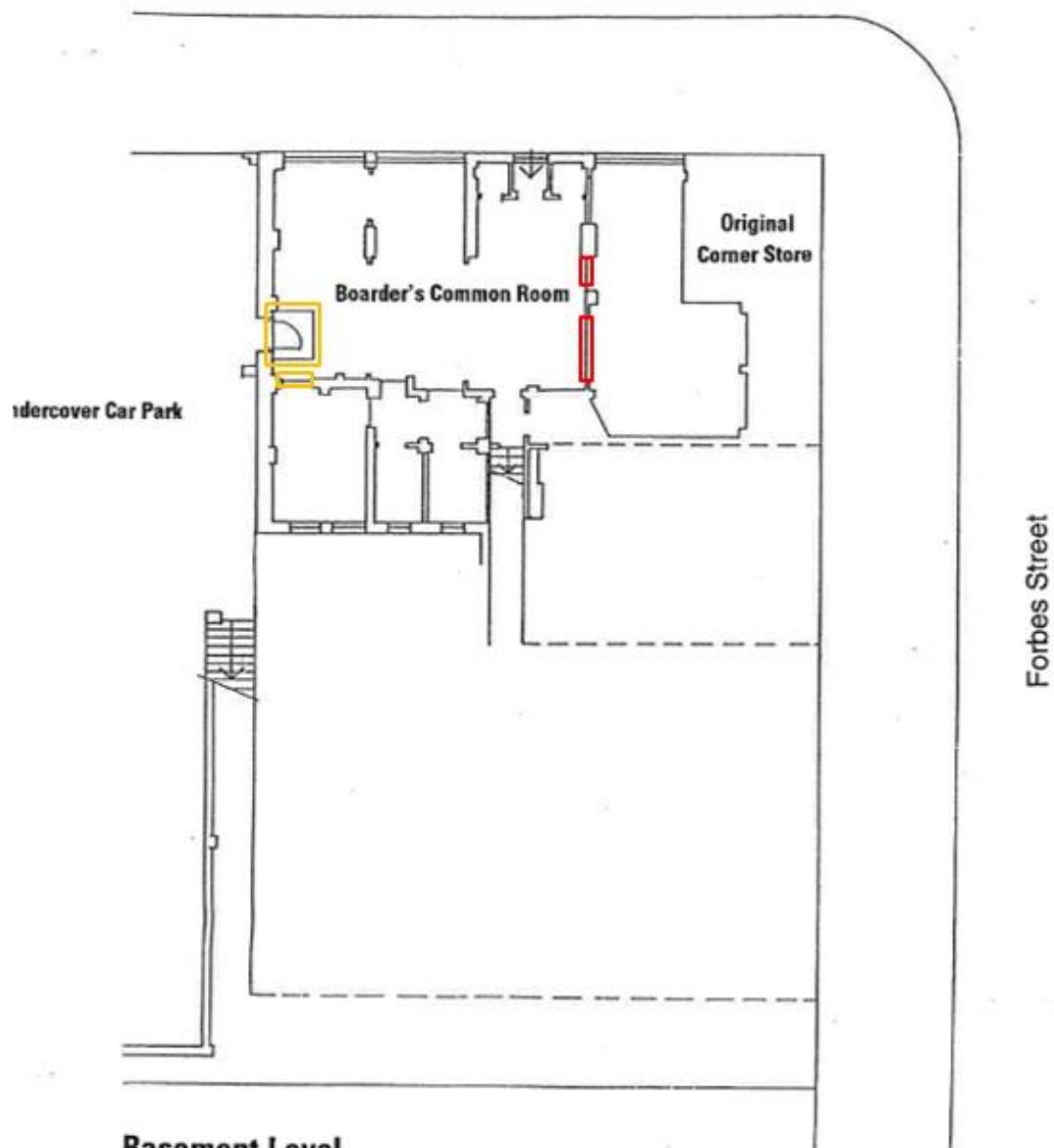


Figure 115 – Basement plan of Wilkinson House in 2001, as compiled in the 2001 GML CMP. Walls demolished since 2001 have been highlighted in red.

Source: GML CMP 2001, p.20. Mark up by Urbis.

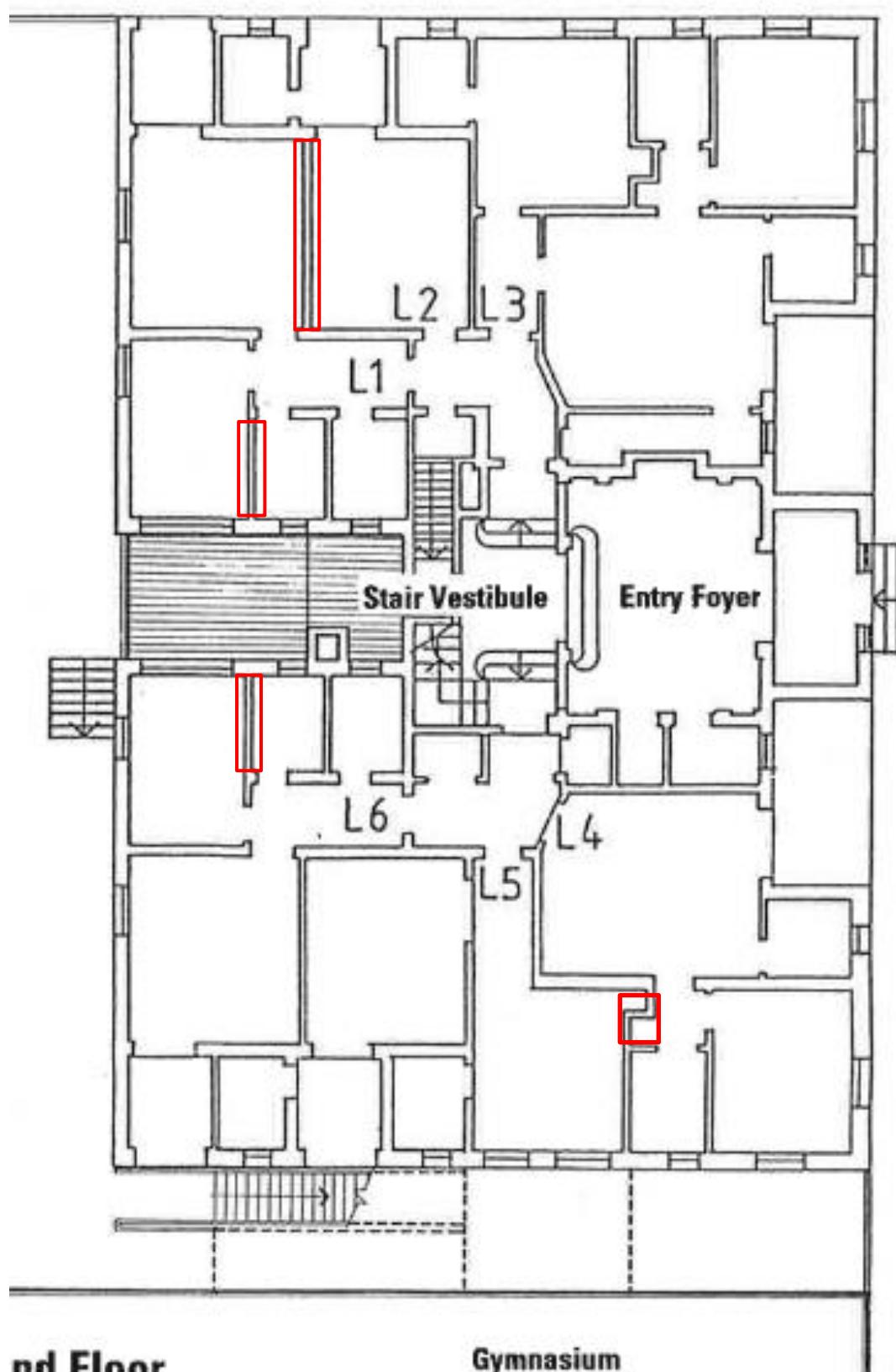


Figure 116 – Ground level plan of Wilkinson House in 2001, as compiled in the 2001 GML CMP. Demolished walls have been highlighted in red.

Source: GML CMP 2001, p.20. Mark up by Urbis.

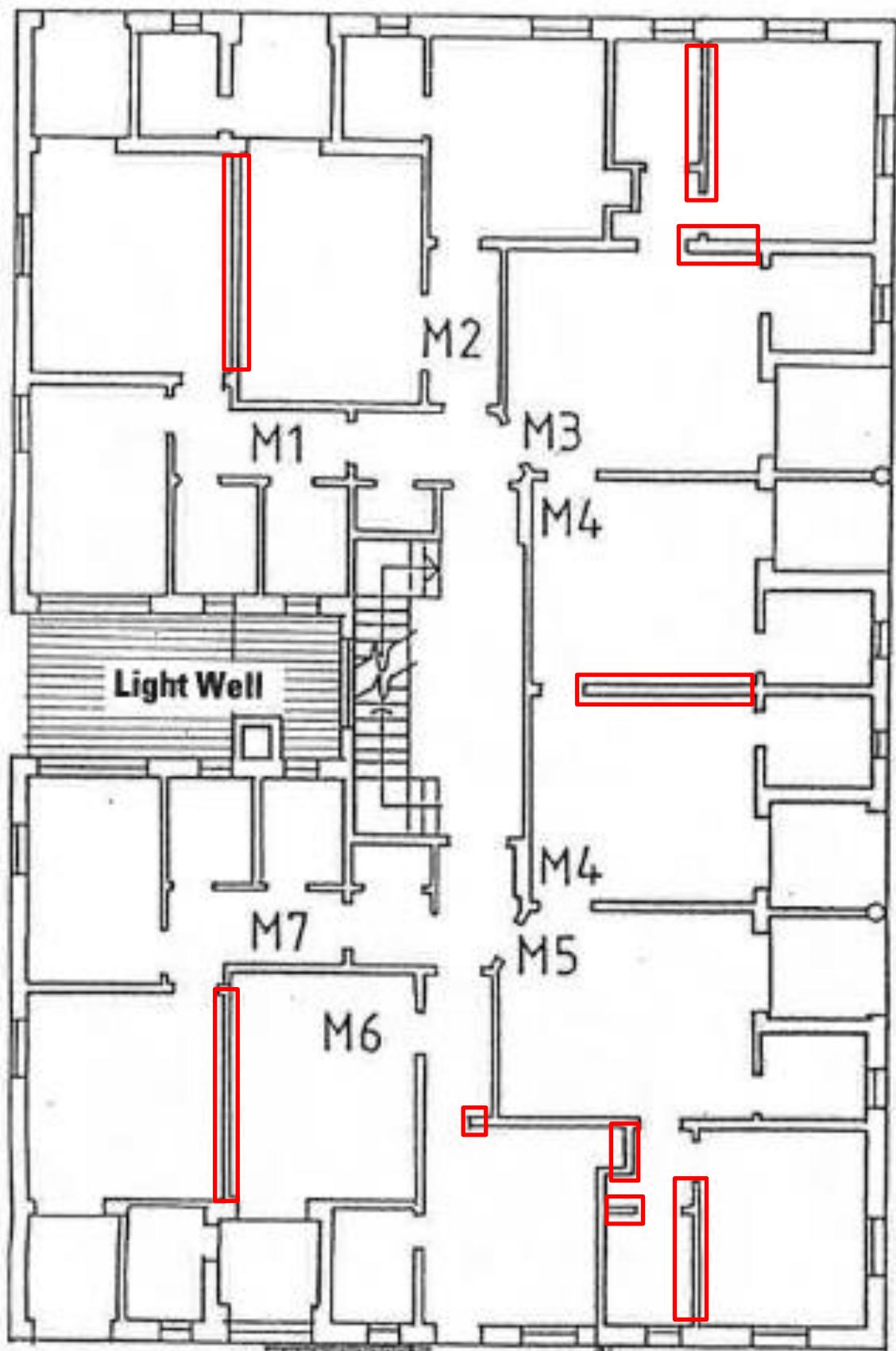


Figure 117 – Level 1 plan of Wilkinson House in 2001, as compiled in the 2001 GML CMP. Demolished walls have been highlighted in red.

Source: GML CMP 2001, p.20. Mark up by Urbis.

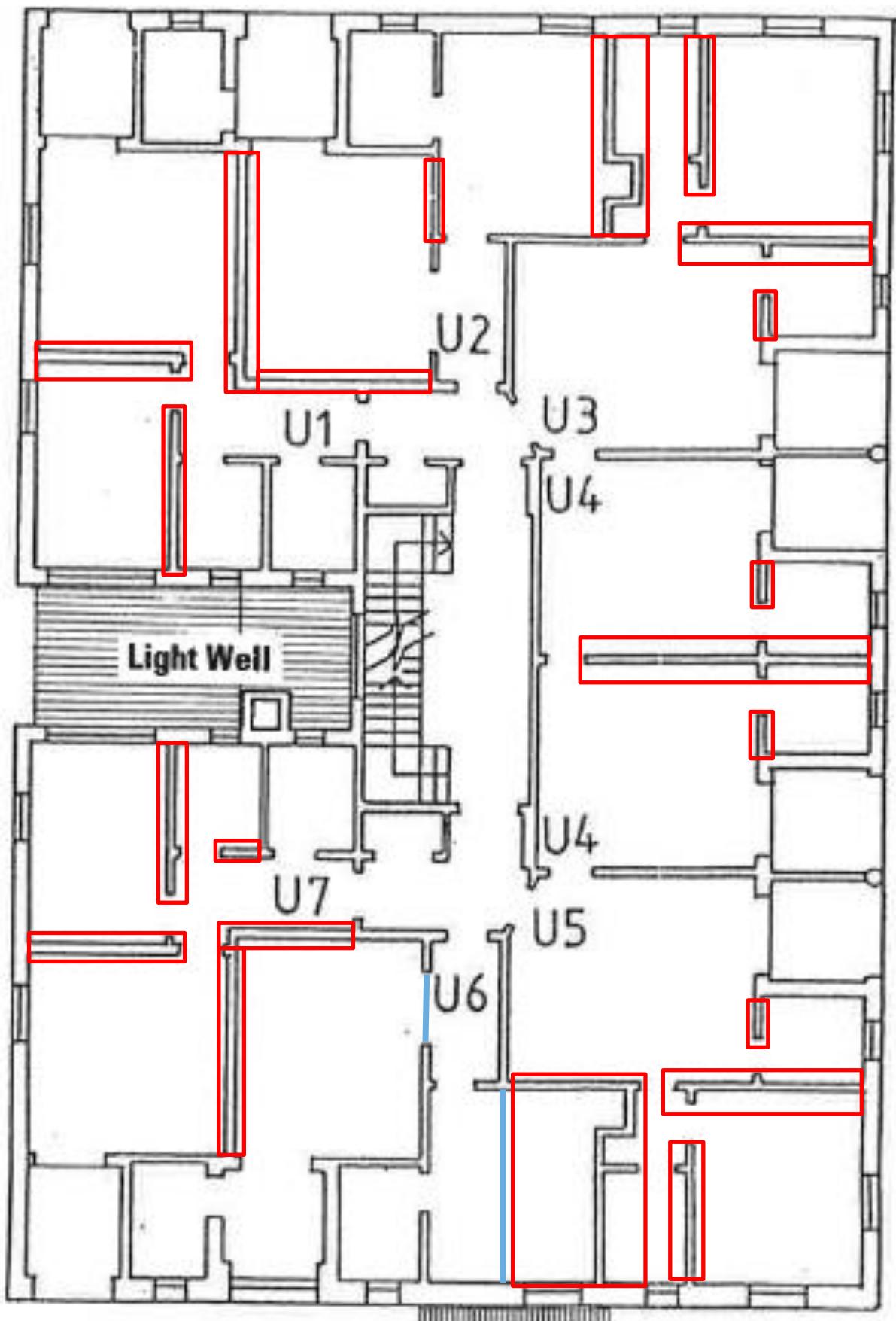


Figure 118 – Level 2 plan of Wilkinson House in 2001, as compiled in the 2001 GML CMP. Demolished walls have been highlighted in red.

Source: GML CMP 2001, p.20. Mark up by Urbis.

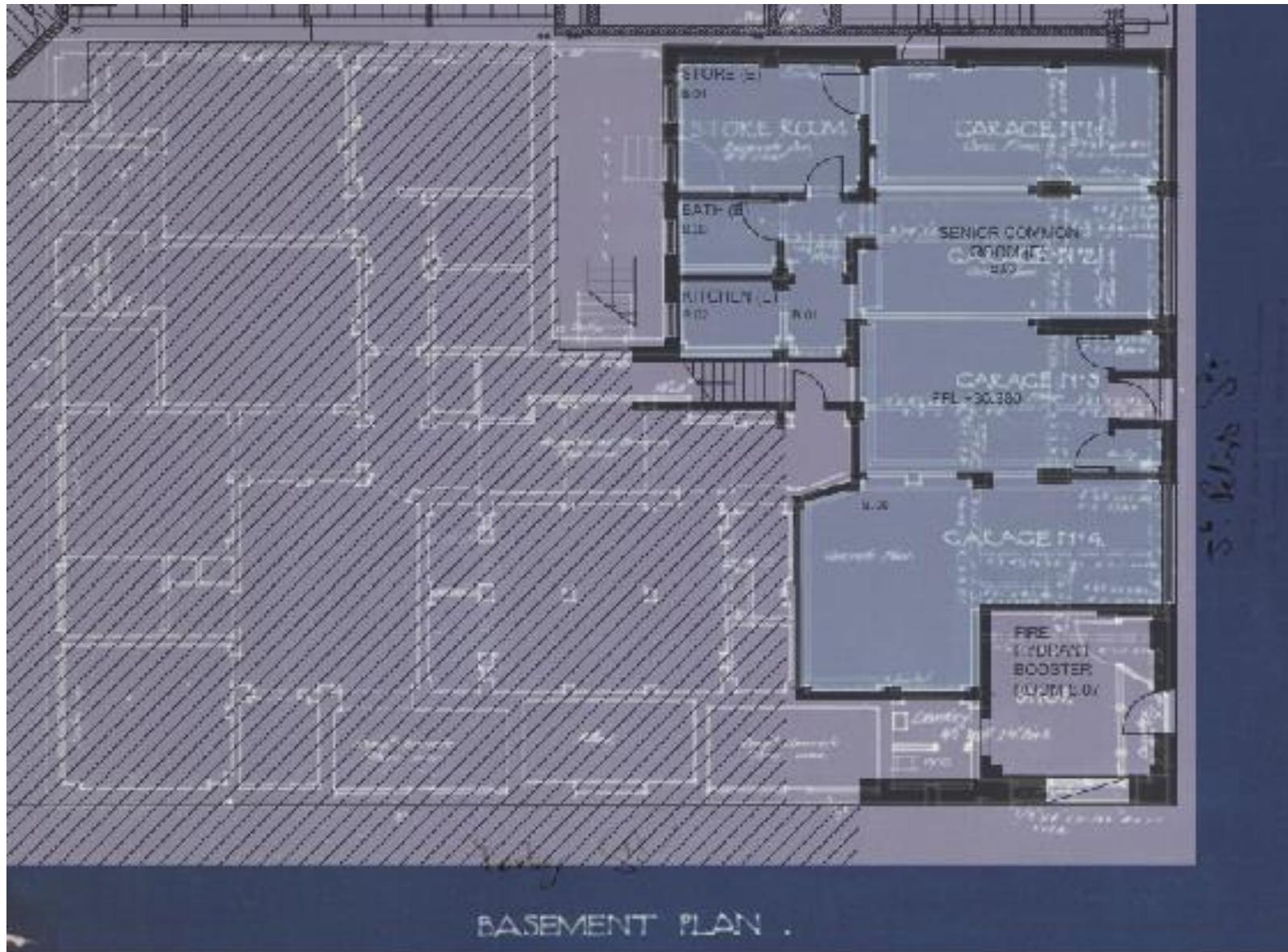


Figure 119 – Overlay of current basement plans (top) over original basement plans (base layer), showing removed walls and modification to floorplan.

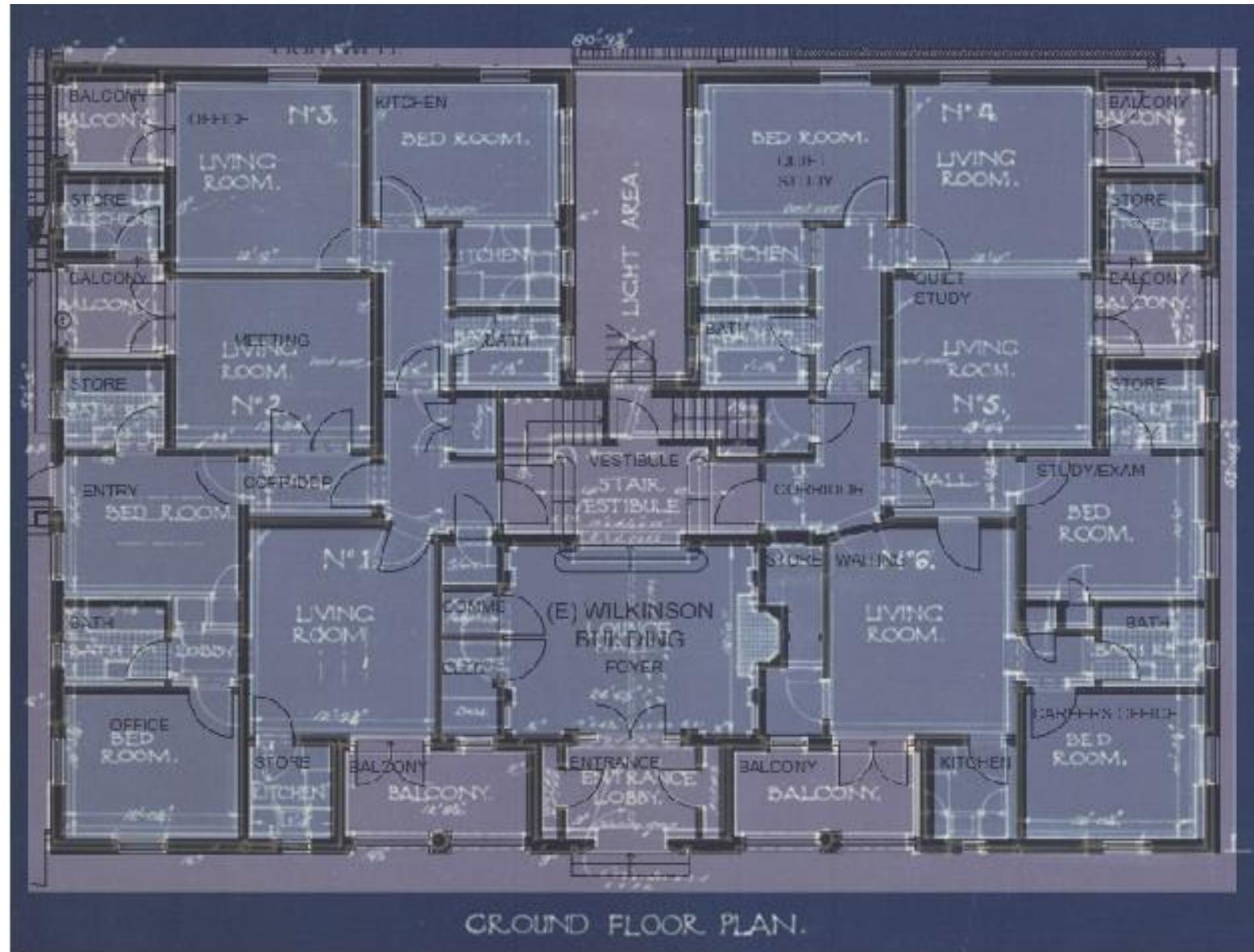


Figure 120 – Overlay of original (back layer) and existing (top) ground level plans.

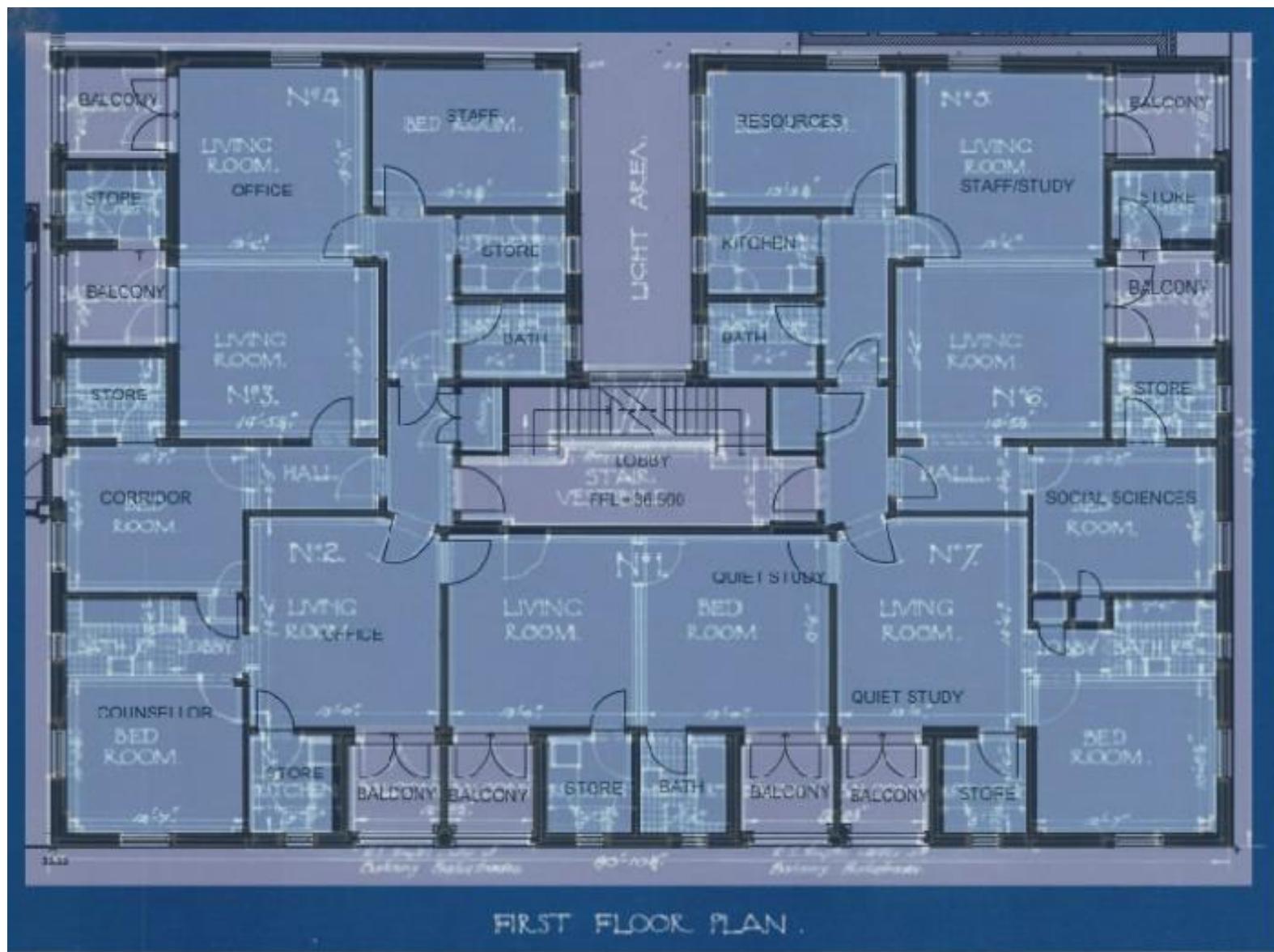


Figure 121 – Overlay of original (base layer) and existing (top) Level 1 plans of Wilkinson House.

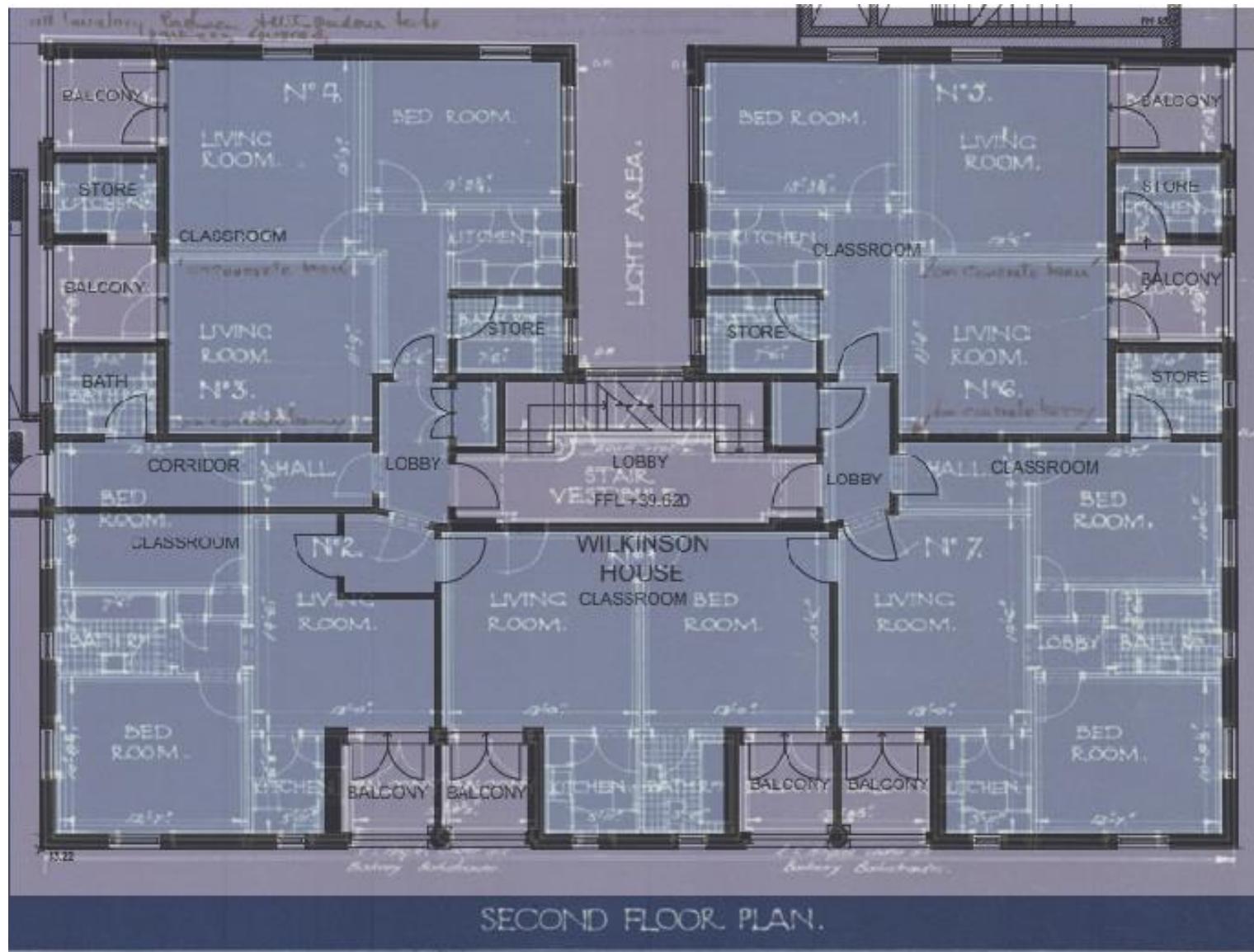


Figure 122 – Overlay of original plans of the Gwydir Flats (base layer) over current Level 2 floorplan of Wilkinson House (top layer).

### 3.3. HISTORICAL TIMELINE

The historical timeline of Wilkinson House is outlined in Table 5. For a full historical timeline of the overall SCEGGS site, please refer to Part 1 of the SCEGGS Darlinghurst campus CMP.

Table 5 – Historical timeline for Wilkinson House

Date	Event
<b>Stage 0 - Early Settlement of Barham (to 1925)</b>	
1793	Woolloomooloo (the Riley Estate) granted to John Palmer
1835	Estate transferred to E.D. Thomson and Barham House constructed
Late 1840s	Forbes Street established
1850	Subdivision of the north portion of Barham
1855	Three terraces established on subdivided land (site of Wilkinson House), built by Francis Callaghan (numbered 109-115 Forbes Street)
c.1871	Terraces purchased by Charles Edwards (Master Mariner)
1882	Terrace numbers changed to 165-171 Forbes Street
c.1896	Terraces owned by Dr Scot Skerving
Early 1900s	Mutual Life Assurance Co. purchases the Callaghan terraces
1926	Development application for demolition of the terraces approved.
<b>Stage 1 - Gwydir Flats (1926-1960)</b>	
1927-8	Construction of Gwydir Flats by Emil Sodersten
1928	Gwydir Flats open and become tenanted
<b>Stage 2 – SCEGGS Boarders use (1960-2001)</b>	
1960	Gwydir Flats purchased by SCEGGS, renamed Wilkinson House
1968	100 boarders residing at Wilkinson House
Late 1960s	Basement garages converted into art workshops
c. 1970	Bars installed on all balcony windows for security
1984	Major work undertaken to basement, including conversion into meeting and recreation rooms, replacement of original staircase to basement, fire upgrades undertaken throughout building including installation of fire doors, exit signs, and emergency lighting
<b>Stage 3 – SCEGGS classrooms and offices (2001-present)</b>	
2001	Former CMP prepared for Wilkinson House by GML Heritage.

Date	Event
2002 onwards	Modifications to Wilkinson House to enable conversion to Senior Educational Centre

### 3.4. HISTORICAL THEMES

Historical themes can be used to understand the context of a place, such as what influences have shaped that place over time. The Heritage Council of NSW established 35 historical themes relevant to the State of New South Wales. These themes correlate with National and Local historical themes. Historical themes at each level that are relevant to the place are provided in Table 5.

Table 6 – Historical Themes

Australian Theme	NSW Theme	Local Theme	Discussion
4. Building settlements, towns and cities	Accommodation	Activities associated with the provision of accommodation, and particular types of accommodation – does not include architectural styles	Wilkinson House was originally constructed as the Gwydir Flats in 1928 and is associated with the Inter-War boom towards the construction of apartment buildings within Sydney, particularly in the area around Darlinghurst and Potts Point.
6. Educating	Education	Activities associated with teaching and learning by children and adults, formally and informally	Wilkinson House was purchased by SCEGGS in 1960 and became utilised as a boarding house for students until 2001. In 2001 the building was repurposed into classroom spaces. Wilkinson House has been associated with SCEGGS for over 60 years and is significant for its role in evolution of the school since the late twentieth century and changing pedagogical practices.
8. Developing Australia's cultural life	Creative endeavour	Activities associated with the production and performance of literary, artistic, architectural and other imaginative, interpretive or inventive works; and/or associated with the production and expression of cultural phenomena; and/or environments that have inspired such creative activities	Wilkinson House (Gwydir Flats) was designed by the significant Inter-War architect, Emil Sodersten. Sodersten was one of Australia's most important and prominent architects of the Inter-War period, Art Deco style, and was an early influence on modernist architecture in Australia.

# 4. BASELINE ARCHAEOLOGICAL ASSESSMENT

## 4.1. INTRODUCTION

This section presents a preliminary assessment of Aboriginal and historical archaeological potential, significance, and constraints for the subject site.

## 4.2. ABORIGINAL CULTURAL HERITAGE

For the full Aboriginal archaeology assessment and Aboriginal Cultural Heritage Assessment (ACHA) please refer to *Conservation Management Plan SCEGGS Darlinghurst* and *Aboriginal Cultural Heritage Assessment SCEGGS Darlinghurst*, both prepared by Urbis in 2021. This section pertains only to the area of Wilkinson House and outlines the following:

- Extensive search of the Aboriginal Heritage Information Management System (AHIMS) to confirm the presence or absence of recorded Aboriginal objects and/or places.
- High-level analysis of landscape features within the subject site in line with the *Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales* (Due Diligence Code)
- High-level analysis of the soil landscapes within the subject site

### 4.2.1. Aboriginal Heritage Information Management System (AHIMS) Search

A search of the AHIMS database was undertaken on the 19th of April 2021 (Client Service ID: 584411), including an area 3km surrounding the subject site. The search parameters were as follows:

Eastings: 332220 - 338220

Northings: 6247181 - 6253181

Buffer: 0km

A summary of all previously registered Aboriginal sites within the extensive search area is provided in Table 7. The AHIMS search identified 59 sites within the search area. Four of these were identified as not a site, and one was identified as a duplicate. This reduced the total to 54. No Aboriginal Places were identified. There were no Aboriginal objects and places identified within or near the subject area.

Aboriginal objects are the official terminology in AHIMS for Aboriginal archaeological sites. Henceforth, we will use the term of 'Aboriginal site(s)', 'AHIMS site(s)', 'archaeological site(s)' or 'sites' to refer to and describe the nature and spatial distribution of archaeological resources in relation to the subject area.

The AHIMS search identified 54 AHIMS sites within the search area.

Table 7 – AHIMS search results table

Site Type	Context	Count	Percentage
PAD	Open	18	33%
Artefact Scatter	Open	12	22%
Midden	Open	8	15%
Rock Engraving	Open	5	9%
Isolated Find	Open	4	7%
Shelter with Midden	Closed	2	4%
Shelter with PAD	Closed	2	4%

Site Type	Context	Count	Percentage
Burial and Historic place	Open	1	2%
Shelter with Art	Closed	1	2%
Aboriginal Resource & Gathering	Open	1	2%
<b>Total</b>	Closed	54	100%

## 4.2.2. Soil Landscapes

The subject area is located within the Sydney Basin Bioregion. The underlying geology of the Darlinghurst area consists of Hawkesbury sandstone of medium to high strength. There is one soil landscape present within the subject area, being the Gymea Soil Landscape, which is described as residing upon Hawkesbury Sandstone. As the subject area is on a midslope, soils can be anticipated to be shallow and shallow-moderately deep (20-100cm) yellow earths, earthy sands and siliceous sands. This corresponds with the Gymea 2 soil type.

The 1994 geotechnical investigation identified that sandstone bedrock was located generally less than 0.5m below surface level in the investigated area, while the 2008 geotechnical investigation identified approximately 1m of fill overlaying weathered sandstone.

The 2018 investigation identified that several school buildings had been excavated into sandstone bedrock. This included the following:

- Wilkinson Building (exposed sandstone visible in basement)
- This was substantiated by the site inspection, in which exposed sandstone bedrock was visible within the sprinkler room of Wilkinson House.

## 4.2.3. Landscape Feature Potential Analysis

The *Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales* (Due Diligence Code) identifies certain landscape features that have the potential to contain Aboriginal objects in a subsurface context, including:

- Within 200m of waters including freshwater and the high tide mark of shorelines.
- Located within a sand dune system.
- Located on a ridge top, ridge line, or headland.
- Located within 200m below or above a cliff face.
- Within 20m of or in a cave, rock shelter or cave mouth.

The subject area is not located on any of the above landscape features.

## 4.2.4. Summary of Aboriginal Archaeological Context

The Aboriginal archaeological context of the area can be summarised as follows:

- The subject area contains the Gymea Soil Landscape, with soils estimated to extend to depths of 20-50cm. This is supported by previous geotechnical investigations which have identified that several school buildings sit upon sandstone bedrock, with other portions containing fill materials to 1m maximum depths.
- The subject area is not within proximity to any existing waterways. The subject area is approximately 750m south of Woolloomooloo Bay, 1km north of Centennial Park (former swamplands), 550m east of Hyde Park (former swamplands) and 900m west of Rushcutters Creek. There is the potential that waterways may have existed closer to the subject area prior to European land modification, however this is not verified.

- Prior to European land clearance, the subject area would have been open forest or dry sclerophyll forest, with a variety of terrestrial and aquatic resources supported by this habitat and nearby swamplands.
- The subject area sits upon undulating topography, upon a gentle slope to the north. The subject area contains a high (8-10m) sandstone cliff which separates the site east-west, with the eastern portion higher than the western portion.
- There are no Aboriginal objects and/or Aboriginal places located within or close proximity to the subject area.
- Previous archaeological assessments of the subject area have identified generally low Aboriginal archaeological potential due to high disturbance, with some potential for isolated finds.
- The subject site is heavily disturbed and many portions of the subject site have been excavated to exposed sandstone bedrock, removing natural soil landscapes which may retain potential across large portions of the subject site. This is presumed to have largely removed archaeological potential.

## 4.3. HISTORICAL ARCHAEOLOGY

This section outlines the results of the *Historical Archaeological Assessment* for the SCEGGS Darlinghurst campus as prepared by Urbis in June 2021. A detailed historical overview is presented in Section 4 of this CMP. This section will summarise this report and provides an overview and a simple understanding of phases of European occupation, utilisation of the land and apply a preliminary archaeological significance assessment. It also includes an analysis of previous archaeological works within and in the vicinity of the subject site.

### 4.3.1. ASSESSMENT OF ARCHAEOLOGICAL POTENTIAL

#### 4.3.1.1. TERMS AND DEFINITIONS

Historical archaeological potential is defined as:

*The degree of physical evidence present on an archaeological site, usually assessed on the basis of physical evaluation and historical research (Heritage Office and Department of Urban Affairs and Planning 1996).*

Archaeological research potential of a site is the extent to which further study of relics likely to be found is expected to contribute to improved knowledge about NSW history which is not demonstrated by other sites, archaeological resources or available historical evidence. The potential for archaeological relics to survive in a particular place is significantly affected by later activities that may have caused ground disturbance. These processes include the physical development of the site (for example, phases of building construction) and the activities that occurred there. The archaeological potential of the subject site is assessed based on the background information presented in Section 3, and graded as per:

- **Nil Potential:** the land use history demonstrates that high levels of ground disturbance have occurred that would have completely destroyed any archaeological remains. Alternatively, archaeological excavation has already occurred, and removed any potential resource;
- **Low Potential:** the land use history suggests limited development or use, or there is likely to be quite high impacts in these areas, however deeper sub-surface features such as wells, cesspits and their artefact bearing deposits may survive;
- **Moderate Potential:** the land use history suggests limited phases of low to moderate development intensity, or that there are impacts in the area. A variety of archaeological remains is likely to survive, including building footings and shallower remains, as well as deeper sub-surface features; and
- **High Potential:** substantially intact archaeological deposits could survive in these areas.

## 4.3.2. Brief literature review

### 4.3.2.1. Literature Review

The following section provides a summary of archaeological assessments which have been undertaken within, and within proximity of, the subject area.

### 4.3.2.2. GML, 2001, Wilkinson House Conservation Management Plan

Godden Mackay Logan (GML) was engaged by SCEGGS Darlinghurst Limited to prepare a Conservation Management Plan (CMP) for Wilkinson House at the corner of Forbes and St Peter's Streets. In respect of the archaeological potential of the site, the CMP states:

*Although an archaeological investigation was not carried out and due to the presumed excavation necessary to construct Wilkinson House, it is considered highly unlikely that any archaeological remains relating to any earlier structures remain. However, as the surrounding area featured numerous wells, it is possible that one may have existed on the site of Wilkinson House.*

### 4.3.2.3. Casey & Lowe 2018, SCEGGS Darlinghurst 2040 Masterplan: Historical Archaeological Assessment

Casey & Lowe Pty Ltd (Casey & Lowe) was commissioned to provide an archaeological assessment for the SCEGGS Darlinghurst 2040 Masterplan (the Masterplan).

The assessment established the following in respect of the archaeological potential of the SCEGGS site (Figure 123):

- *The site of the stone cottage at the corner of Forbes and St Peters Street is likely to have been removed due to the impact of the roadway and Wilkinson House.*

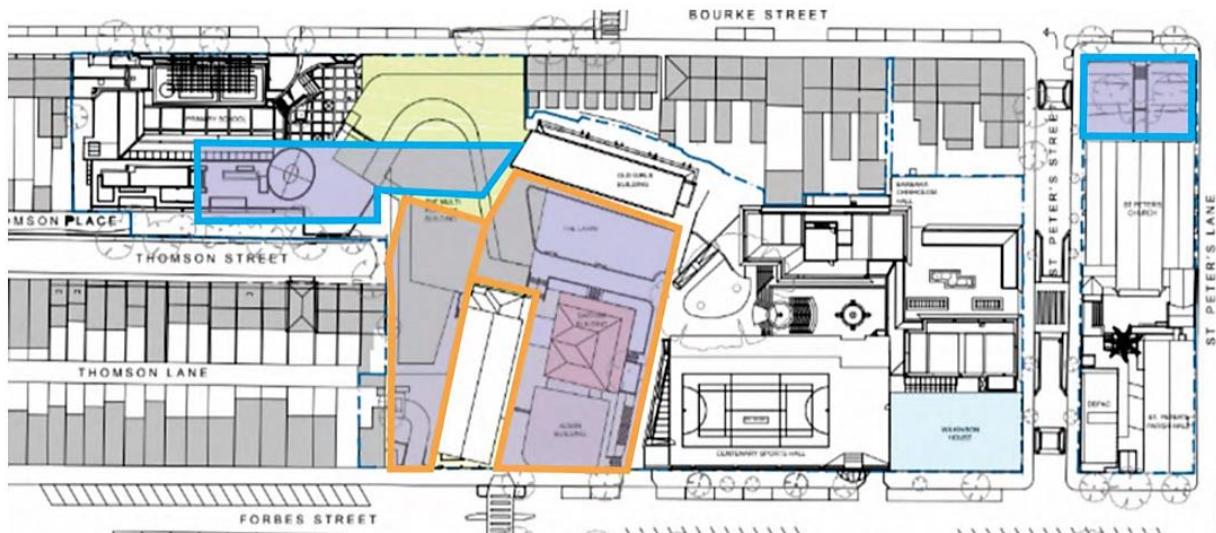


Figure 123 – Overlay of the 19<sup>th</sup> century Barham Estate (orange) and the rear yards of the terrace buildings off Bourke Street (blue) on masterplan

Source: Casey & Lowe 2018 SCEGGS Darlinghurst 2040 Masterplan: Historical Archaeological Assessment, p.37.

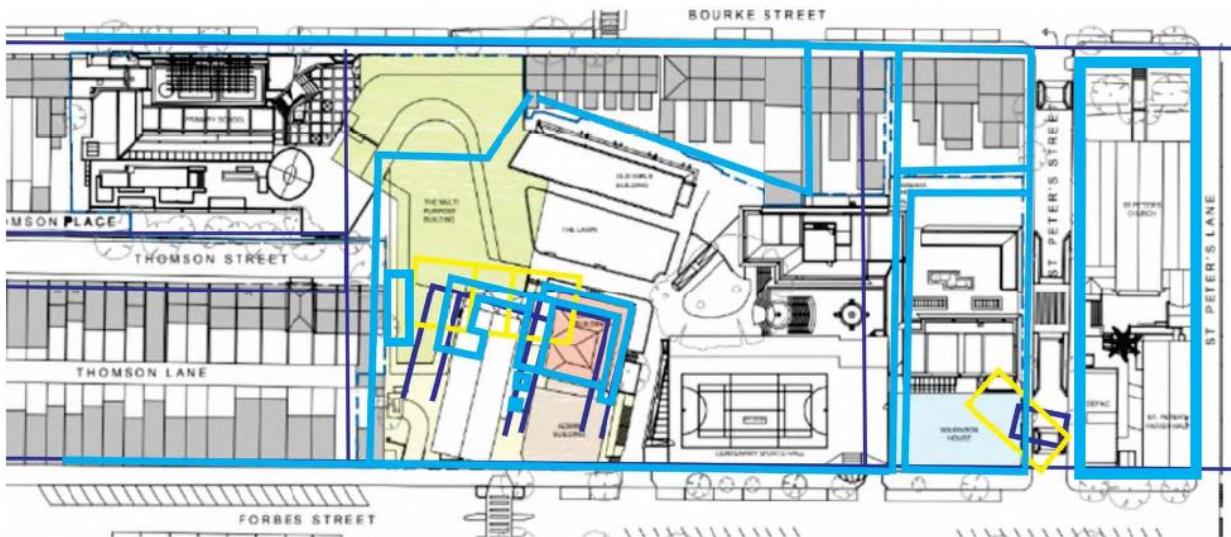


Figure 124 – Overlay of Woolcott and Clarkes' 1854 plan (yellow) and Dove's 1888 plan (blue) on masterplan. A series of outbuildings are located to the east of Barham and one of the stone cottages is located within the footprint of Wilkinson House.

Source: Casey & Lowe 2018 SCEGGS Darlinghurst 2040 Masterplan: Historical Archaeological Assessment, p.38.

Assessments located within the vicinity of the subject area demonstrate potential for locally-significant historical archaeological resources associated with the 19<sup>th</sup> century residential development of the Darlinghurst area. Low potential has been ascribed to evidence of the earliest phase of European occupation of the area owing to the shallow soil profile and high levels of disturbance associated with 20<sup>th</sup> century development.

#### 4.3.2.4. Historical Disturbance

The Historical Archaeological Assessment and SCEGGS Darlinghurst Conservation Management Plan provide a summary of the historical disturbance associated with the development of SCEGGS throughout the 20<sup>th</sup> century. This analysis determined that the construction of Wilkinson House in 1926 would have resulted in Moderate-High disturbance to the area.

#### 4.3.2.5. Assessment of Archaeological Potential

The following table provides a succinct assessment of archaeological potential in association with each phase of development across the site.

Table 8 – Assessment of Archaeological Potential

Phase	Evidence	Discussion	Potential
<b>Early Land Grants</b> (1793-1835)	Archaeobotanical evidence of land clearing activities, charcoal deposits as evidence of burning activities, remnant fencing and paths.	It is considered unlikely that evidence of the earliest period of European settlement would survive within the subject area owing to the significant degree of subsequent disturbance and ephemeral character of the expected archaeological record.	Nil-Low
<b>The Barham Estate</b> 1835-1850	<b>The Estate:</b> Evidence of gardens in the form of archaeobotanical deposits and early landscaping. Footings and foundations of stone cottage within the north-western portion of the site.	<p>Historical maps and sources indicate that Barham House was surrounded by extensive gardens, a carriage circle, stable and outbuildings. An 1888 map (Figure 7) shows two outbuildings located to the east of the Barham House and a 1904 photograph (Figure 12) indicates the location of stables to the south. Evidence of these former structures, as well as evidence of landscaping, retaining walls, postholes and archaeobotanical deposits may survive within the vicinity of Barham House where there has been relatively low subsequent disturbance.</p> <p>An 1835 and 1845 maps indicate the presence of a structure to the north-east of Barham House and at the corner of Forbes and St Peters Streets. Historical records indicate that this was a stone cottage (with another located to the north of William Street) which housed itinerant workers. Although the cottage likely contained substantial stone slab foundations, the works associated with the construction of Wilkinson House likely resulted in the removal any physical evidence.</p> <p>The 1845 map also shows the location of historical fence lines which bounded the former Barham Estate before the existing road configuration was established. It is highly unlikely that postholes associated with these early fences would survive due to their ephemeral nature.</p>	Low-Moderate

Phase	Evidence	Discussion	Potential
<b>Subdivision &amp; Residential Development (1850-1918)</b>	Evidence of 19 <sup>th</sup> century terraces including foundations and footings of outbuildings, sub-floor deposits, post holes and cesspits.	Lot 4 was built upon in the early 1860s and four terraces were constructed on Callaghan's land in c.1855-1865. By 1888 terraces had been constructed along most of the Thomson and Bourke Street frontages, the southern Forbes Street frontage and along the St Peters Street frontage to the north. In 1926 the terraces at 165-171 Forbes Street were demolished for the construction of Wilkinson House. As indicated in Figure 15 below, the partial basement was cut into the bedrock in a terraced fashion, resulting in variable depths of excavation within the footprint of the building. Although this likely resulted in the removal of evidence of the former terraces, it may not be complete.	<b>Terraces 165-171 Forbes St:</b> Low  <b>Bourke St Terraces:</b> Moderate
<b>SCEGGS – Inter-War Campus Development (1919-1939)</b>	Alterations and additions to the Chapel building, bridge connecting Barham and Chapel buildings, Old Gym Building, Gymnasium Building and Wilkinson House (extant).	With the growth of the school in the inter-war years, a number of new structures were erected on the site. These included the construction of Wilkinson House (1928)	High (extant)

#### 4.3.2.6. Summary of Archaeological Potential

Historical research has identified three distinct phases of disturbance associated with the subject area. The first of these relates to the earliest land grants and establishment of the Barham Estate in 1835. Barham House was erected during this period. Gardens were established and a turning circle to the south of the house. An 1835 map indicates the presence of a stone cottage at the corner of Forbes and St Peters Streets in the current location of Wilkinson House. This cottage was likely used for housing workers during this period. In 1835 a quarry was established within the vicinity of Bourke Street. This was described as having essentially created a retaining wall at the western end of Ann Street (now St Peter's Street), thus cutting down the northern component of the site to the existing street level. This would have amounted to a high level of disturbance, with archaeological potential altogether removed in this location.

The subsequent phase of development at the subject area commenced in 1850 with the subdivision of the Barham Estate. By the late 19<sup>th</sup> century terraces had been constructed along Bourke and Ann streets (now St Peter's Street) in the area currently occupied by Wilkinson House. Terrace dwellings very likely included basement levels built into sandstone bedrock, as was typical throughout the Sydney area at this time.<sup>43</sup>

The final phase of development relates to the acquisition and development of the site by SCEGGS from 1900 onwards.

##### **Barham House Outbuildings and Gardens (1835)**

Historical maps and sources indicate that Barham House was surrounded by extensive gardens, a carriage circle, stables and outbuildings. There is therefore low-moderate potential for evidence of the former stables and outbuildings in the form of structural remains, rubbish pits and tools. Evidence of the former gardens may also survive in the form of landscaping, foundations of retaining walls, postholes and archaeobotanical deposits.

##### **Stone Cottage (c.1835)**

An 1835 map indicates the presence of a stone cottage at the corner of Forbes and St Peters Streets in the current location of Wilkinson House. This cottage was likely used for housing workers during this period. Based on the early date of construction, the cottage likely consisted of slab stone foundations. Construction of Wilkinson House in 1926 involved terraced excavation to accommodate a partial basement. These works are likely to have removed evidence of this former structure. It is therefore assessed that there is low potential for evidence of the stone cottage within the footprint of Wilkinson House.

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<sup>43</sup> Howells, T.; Morris, M. (1999). *Terrace Houses in Australia*. Sydney: Lansdowne Publishing. p. 29.

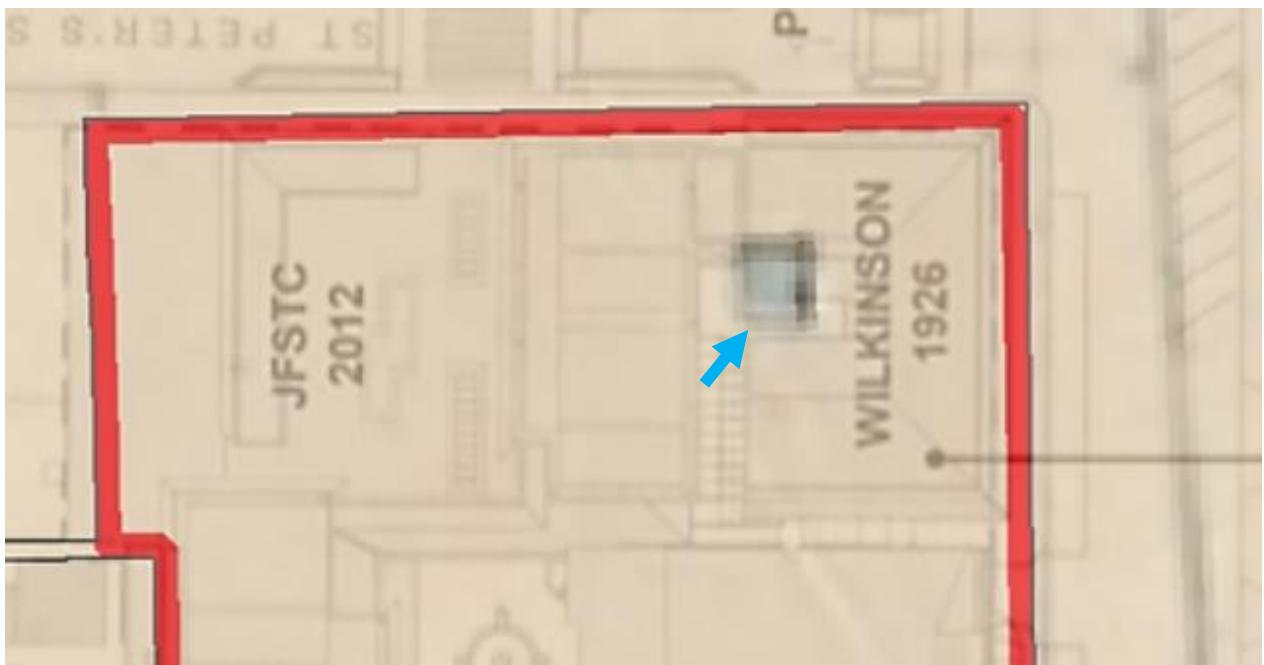


Figure 125 – Overlay of 1835 map on SCEGGS existing site plan indicating location of stone cottage (indicated with arrow) within footprint of Wilkinson House

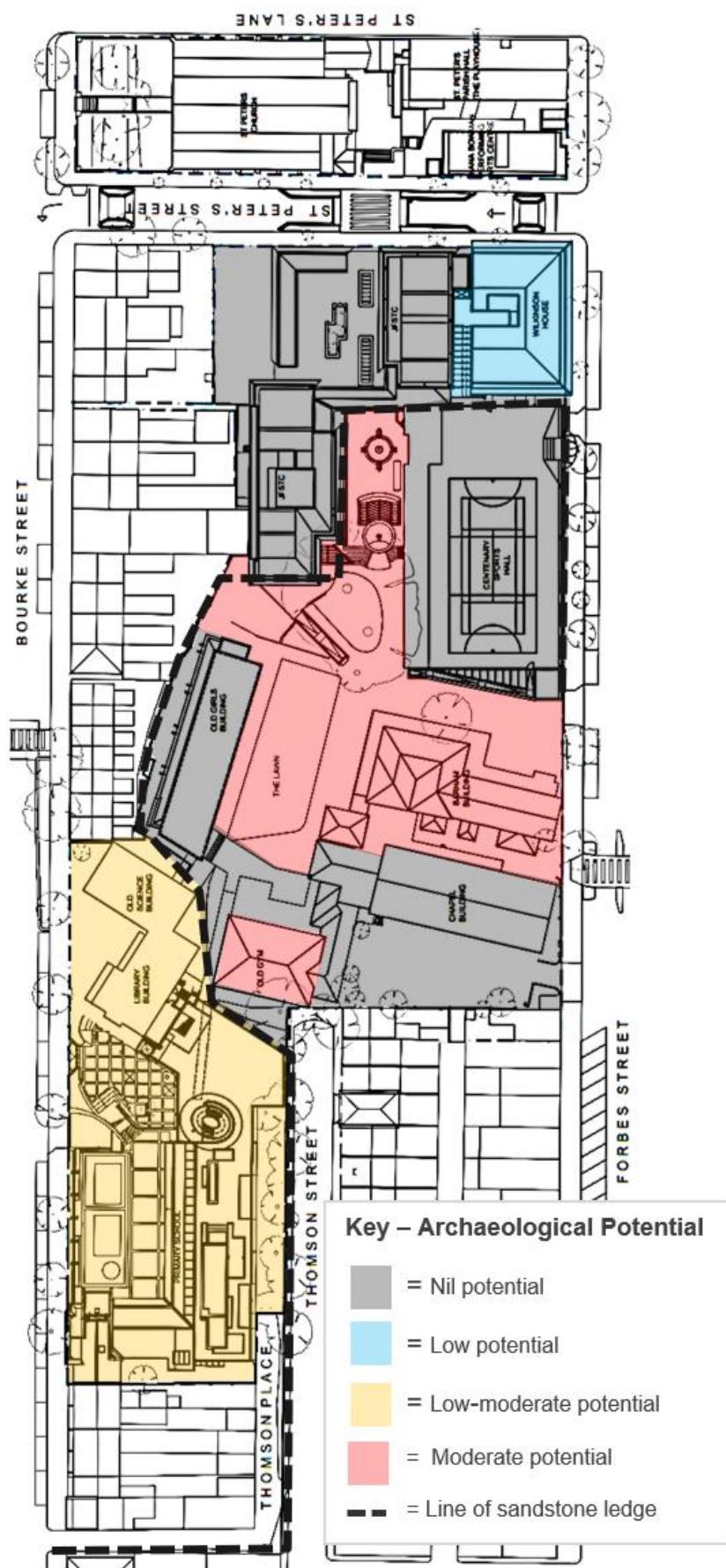


Figure 126 - Archaeological zoning plan – Archaeological Potential

### 4.3.3. Assessment of Archaeological Significance

#### 4.3.3.1. Terms and Definitions

The concept of archaeological significance is independent of archaeological potential. For example, there may be 'low potential' for certain relics to survive, but if they do, they may be assessed as being of 'high (State) significance'.

Archaeological significance has long been accepted as linked directly to archaeological (or scientific) research potential: a site or resource is said to be scientifically significant when its further study may be expected to help answer questions. Whilst the research potential of an archaeological site is an essential consideration, it is one of a number of potential heritage values which a site or 'relic' may possess. Recent changes to the Heritage Act 1977 (Section 33(3) (a)) reflect this broader understanding of what constitutes archaeological significance by making it imperative that more than one criterion be considered.

The below assessment of archaeological significance considers the criteria, as outlined in the NSW Heritage Branch publication *Assessing Significance for Historical Archaeological Sites and 'Relics'*. Sections which are extracted verbatim from this document are italicized.

For the purposes of this assessment, significance is ranked as follows:

- **No Significance** – it is unlikely that any archaeological materials recovered will be attributed significance in accordance with the assessment criteria on a state or local level.
- **Low/Local Significance** – it is likely that archaeological materials recovered will be significant on a local level in accordance with one or more of the assessment criteria.
- **High/State Significance** – it is likely that archaeological materials recovered will be significant on a state level in accordance with one or more of the assessment criteria.

#### 4.3.3.2. Assessment of Significance

##### *Archaeological Research Potential (current NSW Heritage Criterion E).*

*Archaeological research potential is the ability of archaeological evidence, through analysis and interpretation, to provide information about a site that could not be derived from any other source and which contributes to the archaeological significance of that site and its 'relics'.*

There are few historical plans and maps which detail the configuration of the Barham Estate in the early 19<sup>th</sup> century. Evidence of the former outbuildings, stables and gardens may have potential to yield information about the layout and operations of the estate which cannot be garnered from available historical resources. These would have significance at a local level.

Occupational evidence associated with the former stone cottage located within the north-eastern portion of the subject area, including rubbish pits, cesspits and casual finds, may yield information about the living conditions and class differences experienced by estate staff during this early period. These would have significance at a local level.

##### *Associations with individuals, events or groups of historical importance (NSW Heritage Criteria A, B & D).*

*Archaeological remains may have particular associations with individuals, groups and events which may transform mundane places or objects into significant items through the association with important historical occurrences.*

The subject area was incorporated within Colonial Secretary Edward Deas Thomson's land grant of 1835. Archaeological resources located within the subject area are unlikely to have more than a tenuous connection to this association.

##### *Aesthetic or technical significance (NSW Heritage Criterion C).*

*Whilst the technical value of archaeology is usually considered as 'research potential' aesthetic values are not usually considered to be relevant to archaeological sites. This is often because until a site has been excavated, its actual features and attributes may remain unknown. It is also because aesthetic is often interpreted to mean attractive, as opposed to the broader sense of sensory perception or 'feeling' as expressed in the Burra Charter. Nevertheless, archaeological excavations which reveal highly intact and*

*legible remains in the form of aesthetically attractive artefacts, aged and worn fabric and remnant structures, may allow both professionals and the community to connect with the past through tangible physical evidence.*

The area of Wilkinson House would not likely retain archaeological resources that would reach the threshold of significance under this criterion.

**Ability to demonstrate the past through archaeological remains (NSW Heritage Criteria A, C, F & G).**

*Archaeological remains have an ability to demonstrate how a site was used, what processes occurred, how work was undertaken and the scale of an industrial practice or other historic occupation. They can demonstrate the principal characteristics of a place or process that may be rare or common.*

Evidence of the original configuration of the Barham Estate, including outbuildings, stables, gardens and turning circle, may have significance at a local level for their ability to reflect the ambitions of an early 19<sup>th</sup> century estate. Evidence of the stone cottage within the north-eastern portion of the site may likewise reflect the spatial relationships and organisation of the early estate.

**4.3.3.3. Statement of Archaeological Significance**

There are few historical plans and maps which detail the configuration of the Barham Estate in the early 19th century. Evidence of the stone cottage within the north-eastern portion of the site may reflect the spatial relationships and organisation of the early estate. Occupational evidence associated with the former cottage, including rubbish pits, cesspits and casual finds, may yield information about the living conditions and class differences experienced by estate staff during this early period. These would have significance at a local level.

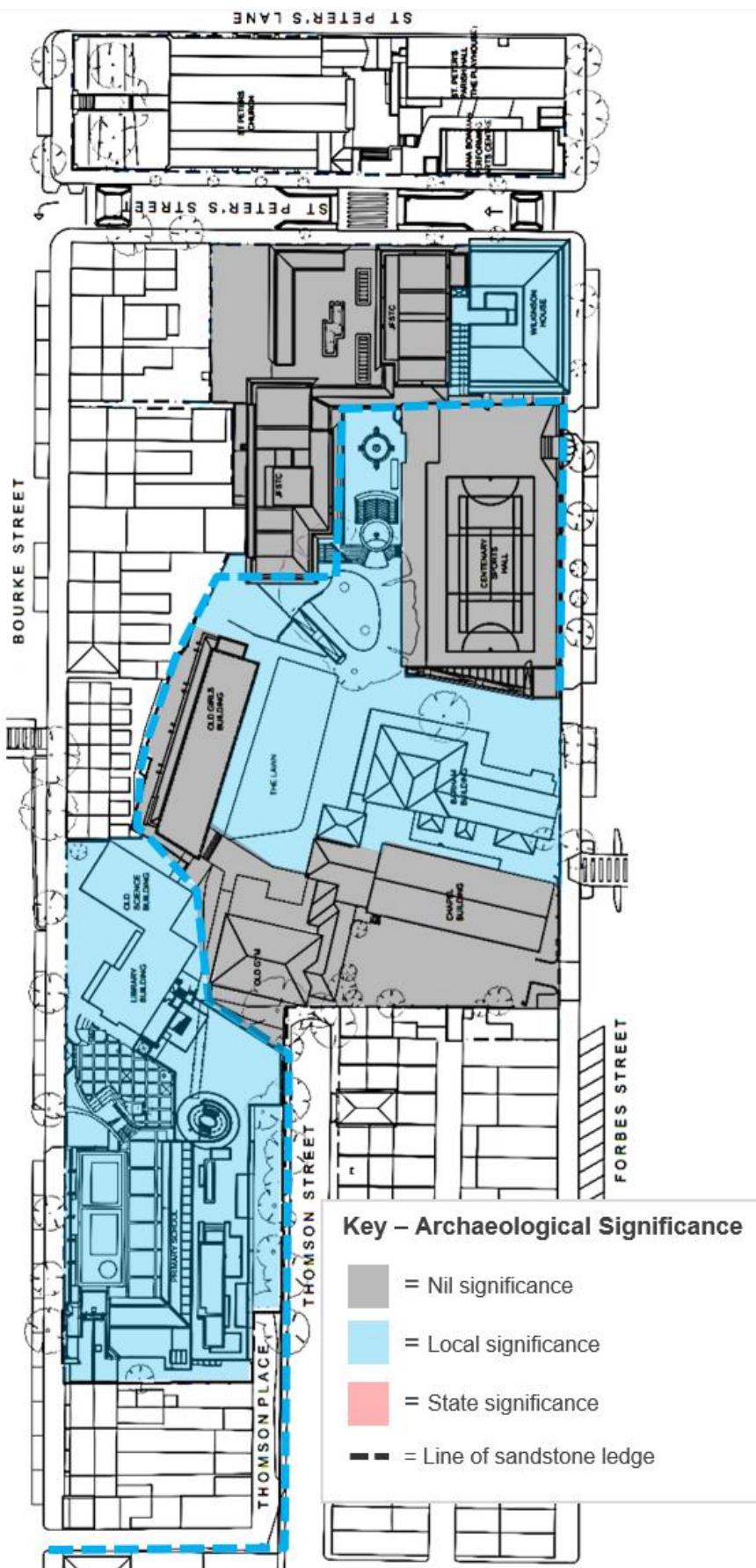


Figure 127 – Archaeological zoning plan – Archaeological significance

## **4.4. CONCLUSION**

### **4.4.1. Aboriginal Cultural Heritage**

The Aboriginal Cultural Heritage Assessment and archaeological due diligence has determined:

- There are no Aboriginal objects and/or Aboriginal places located within or close proximity to the subject area.
- Previous archaeological assessments of the subject area have identified generally low Aboriginal archaeological potential due to high disturbance, with some potential for isolated finds.
- The subject site is heavily disturbed and many portions of the subject site have been excavated to exposed sandstone bedrock, removing natural soil landscapes which may retain potential across large portions of the subject site. This is presumed to have largely removed archaeological potential.

For management recommendations and policies which arise from these findings, reference should be made to Sections 4.4.1 and 8.9 of this report.

### **4.4.2. Historical Archaeology**

This Historical Archaeological Assessment has determined that:

- There is low potential for historical archaeological resources to be present beneath Wilkinson House.
- These remains may include:
  - structural remains and occupational deposits associated with the early 19<sup>th</sup> century stone cottage which housed workers on the Barham Estate; and
  - evidence of the late 19<sup>th</sup> century terraces, including structural remains, cesspits and casual finds;
- These remains may be likely to reach the threshold of local significance.

For management recommendations and policies which arise from these findings, reference should be made to Sections 7.4 and Policy 77 of this report.

## 5. COMPARATIVE ANALYSIS

The following comparative analysis of Wilkinson House has been undertaken through an investigation of the works of Emil Sodersten and of Inter-War flat buildings within New South Wales and Australia.

The information contained within the comparative analysis tables has been gathered from the relevant State Heritage Inventory forms, where sites are listed as heritage items, or from relevant online sources, where sites are not listed as heritage items or have since been demolished.

### 5.1. EMIL SODERSTEN

For a background history on Emil Sodersten please refer to Section 3.2.2.1. Overall, Sodersten is regarded as one of the most significant Australian architects of the Inter-War period and one of Australia's first modern architects, whose style originated in Classical Revival influenced styles in the 1920s and by the late 1930s had developed into more typical Inter-War styles, of Art Deco and Functionalist architecture. In Apperley's *A Pictorial Guide to Identifying Australian Architecture*, Sodersten is listed as one of the key practitioners of the Inter-War Art Deco style.<sup>44</sup> Sodersten however continued to design in diverse styles such as Art Deco and Functionalist. Sodersten was experienced in the architecture of residential flats in addition to public buildings. The Gwydir Flats is one of, if not, Sodersten's earliest remaining building within Sydney.

A small number of Sodersten's work is known to have been demolished, and have not been included within this comparative analysis. This comparative analysis has also sought to focus on residential flat buildings in a style most similar to the Gwydir Flats (being Inter-War Georgian and Mediterranean Revival style) and in the inner city and eastern suburbs area. Eight buildings known to be designed by Sodersten are listed as local heritage items, including two items listed on the State Heritage Register under the *Heritage Act 1977*:

- City Mutual Life Assurance Building (SHR 00585)
- Segenhoe Flats (SHR 02038)
- The No. 7 Flats situated at Number 7 Elizabeth Street Sydney remain heritage listed under the *Sydney LEP 2012* however have recently been demolished for the construction of the Sydney Metro Martin Place Station. These apartments were assessed by the City of Sydney as having state significance as the only remaining Inter-War residential flat building within the Sydney CBD to have retained its function, and for the significance of its design by Sodersten with interiors by Marion Hall Best, one of New South Wales' most influential and important interior designers of the mid-century. The building was also significant as an example of Sodersten's work influenced by the modernist movement of architecture. As such, the No. 7 Apartments have been omitted from this comparative analysis.

#### 5.1.1. Examples of Sodersten's work

A select group of residential flat buildings designed by Sodersten has been compiled below in Tables 14.

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<sup>44</sup> Apperley, Irving, and Reynolds, 1989. *A Pictorial Guide to Identifying Australian Architecture*, 193.

Table 9 – Comparative analysis: Emil Sodersten residential flat buildings

Segenhoe Flats	
<b>Address</b>	50 Wolfe Street, Newcastle
<b>Date Established</b>	1935-1937
<b>Architect</b>	Emil Sodersten
<b>Heritage Listing</b>	SHR 02038 Newcastle LEP 2012 I478
	
<p><i>Source: Heritage NSW</i></p>	
Statement of Significance	
<p><i>Segenhoe is of significance at the state level, as an early Inter War Art Deco building, designed by Emil Sodersten, one of Australia's first generation of modern architects. The block of flats is historically important in Newcastle, demonstrating the changing attitudes to housing in the 1930s, moving to a dense, high-rise apartment living.</i></p>	
<p><i>Segenhoe is significant due to its association with prominent architect Emil Sodersten, one of Australia's foremost designers in the Inter War period, whose architecture developed in an ambitious search for modernism. The excellence he pursued in his design approaches is acknowledged in the annual Emil Sodersten prize given for interior architecture.</i></p>	
<p><i>The apartment building is aesthetically important in demonstrating the transitional phase in Sodersten's design approaches. The building demonstrates the move away from Art Deco towards a modernist sensibility, overlaid with judicious decorative embellishments. The building is of technical significance as an early 1930s example of modern city living with refrigeration, hot water, automated elevator, garbage disposal and resident caretaker.</i></p>	
<p><i>Segenhoe is rare as the only apartment building designed by Sodersten in Newcastle, one of the two known apartments in regional towns, and as one of the few buildings that contains elements that demonstrate the transition in Sodersten's design approaches.</i></p>	
<p><i>The apartment building is representative of the 1930s development of Newcastle and the changing urban living practices. Segenhoe is representative of Sodersten's approach to designing apartment buildings and demonstrates his striving for excellence in design of both the building and its interiors.</i></p>	

## Birtley Towers

<b>Address</b>	8 Birtley Place, Elizabeth Bay	
<b>Date Established</b>	1933-1934	
<b>Architect</b>	Emil Sodersten	
<b>Heritage Listing</b>	Sydney LEP 2012 I567	

Source: Richardson & Wrench Elizabeth Bay

### Statement of Significance

*Birtley Tower is of local historical and aesthetic significance. It provides evidence of the early twentieth century residential apartment development in the Elizabeth Bay area. It is a fine example of the Inter-War Art Deco style and of the work of architect Emil Sodersten, showing the influence of Walter Burley Griffin and Eric Nicolls, with whom Sodersten had worked. It is superbly sited above a small cliff with notable landscaped grounds.*

## Marlborough Hall

<b>Address</b>	4 Ward Avenue, Elizabeth Bay	
<b>Date Established</b>	1938	
<b>Architect</b>	Emil Sodersten	
<b>Heritage Listing</b>	Sydney LEP 2012 I600	

Source: Richardson & Wrench Elizabeth Bay

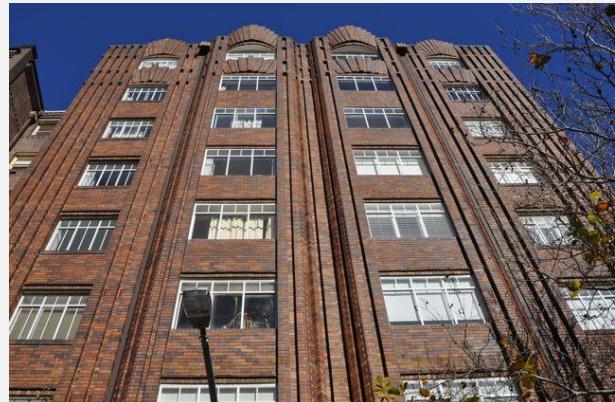
### Statement of Significance

*Marlborough Hall is of significance as it was designed by the prominent and influential twentieth century architect Emil Sodersten. It represents an important shift in aesthetic expression to be found in Sodersten's work after he returned from an extensive trip to Europe in 1936 and more generally demonstrates the influence of modern European architecture on local practitioners during the second half of the 1930s both in terms of planning and architectural expression.*

*Marlborough Hall is a prominent and important element within the streetscape in this part of Kings Cross because of its resolved and unusual external design. It has retained a substantial amount of intact original fabric both externally and internally and demonstrates well the planning and design of residential flat buildings of the inter-war period particularly from the second part of the 1930s.*

## Wychbury

<b>Address</b>	5 Manning Street, Potts Point
<b>Date Established</b>	1934
<b>Architect</b>	Emil Sodersten
<b>Heritage Listing</b>	Sydney LEP 2012 I1147



Source: Wychbury

### Statement of Significance

*Wychbury dates from one of the key period of layers for the development of Potts Point as a direct result of the subdivision of the Tusculum Estate. It is an outstanding example of an Inter War Art Deco residential flat building designed by prominent architect Emil Sodersten, which is highly intact and makes a positive contribution to the streetscape.*

## Kingsley Hall

<b>Address</b>	1A Elizabeth Bay Road, Potts Point
<b>Date Established</b>	1929
<b>Architect</b>	Emil Sodersten
<b>Heritage Listing</b>	Sydney LEP 2012 I2289



Source: Richardson & Wrench Elizabeth Bay

### Statement of Significance

*Kingsley Hall at 1A Elizabeth Bay Road has a high degree of heritage significance at a local level.*

*The apartment block provides evidence in a major change in housing type within the inner-city suburbs of Sydney, Potts Point area from boarding houses (within adapted terraces) to purpose-built high rise residential apartment blocks during the Interwar period. The construction of the building dates from a key period in the development of Potts Point, when taller purpose-built luxury apartment buildings were being designed in consideration of amenity and function.*

*The building is associated with prominent Interwar architect Emil Sodersteen [sic] who was one of the leading practitioners of the Art Deco style in Sydney during the Interwar period.*

## Kingsley Hall

*The building is a prominent element in the streetscape of Darlinghurst Road and is a fine example of an Inter-War Art Deco residential flat building with high quality brick detailing.*

*With surviving original features that date from the 1930s, Kingsley demonstrates construction methods and detailing of the period. As such it is a fine representative example of an Interwar Art Deco apartment building found in the inner suburbs of Sydney.*

*Elements of high significance identified by LSJ:*

- External form and design of building envelope including bay windows, corbels and buttresses*
- Brick external walls with details such as diamond panels, piers, dentil courses and moulded window surrounds*
- Surviving steel windows*
- Internal floor plan layout of flats and circulation areas*
- Original stair comprising concrete structure, terrazzo surfaces with decorative floral motif, wrought iron balustrades and timber newel posts*
- Surviving original interior building fabric: timber floors, bullnose skirtings and architraves, panelled cupboard doors, surviving French windows to bedrooms, surviving moulded timber skirtings and architraves to common areas, the one surviving original window lining architraves and sill found in the First floor Garbage Room.*

## Twenty Macleay Street

<b>Address</b>	20 Macleay Street, Potts Point
<b>Date Established</b>	1930
<b>Architect</b>	Emil Sodersten
<b>Heritage Listing</b>	Not listed.



*Source: Laing + Simmons*

## Statement of Significance/Description

Twenty Macleay Street represents part of Sodersten's divergence from Mediterranean Revival style and establishment of an Art Deco typology and shorthand which he implemented at several later buildings, such as at Bryant House on Pitt Street in the Sydney CBD. The façade continues Sodersten's partiality to symmetrical elevations and implements brick standing seams and stepped brickwork details. The façade also features a parapet wall with bricked courses.

## Cheddington

<b>Address</b>	63 Elizabeth Bay Road, Potts Point	
<b>Date Established</b>	1930	
<b>Architect</b>	Emil Sodersten	
<b>Heritage Listing</b>	Not listed.	<i>Source: Richardson &amp; Wrench Elizabeth Bay</i>

### Statement of Significance/Description

Cheddington is a relatively early example of Sodersten's residential work. It is comprised of red brick and is largely Inter-War Mediterranean Revival in design, with some elements of Spanish mission design. Mediterranean and Georgian Revival elements include a symmetrical façade with vertical proportioned paned windows, barley twist columns, arched windows, Corinthian capitals, cartouche, and festoons. Elements of Spanish Mission style with an Islamic influence have been incorporated as decorative features, such as urns and Moroccan inspired shaped corbels and arches. Cheddington is an interesting example of Sodersten's work for its incorporation of Spanish mission inspired details, yet in other regards is consistent with Sodersten's early works, largely operating under the principles of Georgian and Mediterranean Revival styles.

## Werrington

<b>Address</b>	7 Manning Street, Potts Point	
<b>Date Established</b>	1930	
<b>Architect</b>	Emil Sodersten	
<b>Heritage Listing</b>	Not listed. Adjoining Wychbury (listed).	<i>Source: RealEstate.com.au</i>

### Statement of Significance/Description

Werrington is an inter-war residential apartment building designed by Emil Sodersten which is largely Art Deco however incorporates Mediterranean Revival and Inter-War Skyscraper Gothic features. The

## Werrington

building remains in use as a residential flat building and the façade is highly intact. The façade is typical of Inter-War Art Deco in proportions, materiality and symmetrical distribution, with protrusions and bays, and brown-red brickwork with decorative brickwork such as dentils and protruding brick columns. Each façade incorporates a classical inspired pediment reminiscent of Sodersten's origins in Classical, Georgian and Mediterranean Revival architecture. The grand entry on Manning Street incorporates skyscraper gothic elements typical of the inter-war period, such as the decorative brick architraves.

### 5.1.2. Summary

The above comparative analysis has determined that Wilkinson House is the earliest surviving example of the works of Emil Sodersten within New South Wales and potentially Australia, with the exception of the Brisbane City Hall. Brisbane City Hall (64 Adelaide Street, Brisbane) was opened in 1928 in the Inter-War Classical Revival style of architecture.<sup>45</sup> The item is listed on the Queensland Heritage Register as item 60065 and as a State Heritage item. The Queensland Heritage Register provides the following significance assessment for the Brisbane City Hall:

*Brisbane City Hall is historically significant at the Brisbane City Council chambers and offices since 1930 and the symbolic focus of the municipality, it provides a sense of place for the Brisbane community.*

*Brisbane City Hall is a fine example of a Classical Revival civic building with a modern steel and concrete structure. Brisbane City Hall is a well known example of the work of Hall and Prentice. Brisbane City Hall is constructed almost entirely of local building materials, the City Hall is a tribute to local architects, contractors, tradesmen and artists.*

*Brisbane City Hall with its clock tower and King George Square as its forecourt create a landmark in Brisbane.*

*The building contains notable technical achievements ranging from the span of copper dome roof over the auditorium, the height of the clock tower and the unique foundations that were designed to alleviate the problems of a water hole on the site.<sup>46</sup>*

The Brisbane City Hall however is characterised as a design of the firm Hall and Prentice, in association with Sodersten, Bruce Dellit, Peter Kaad, and Noel Wilson. The City Hall can therefore not be assessed as an individual Sodersten design. Wilkinson House is therefore the earliest known building designed by Sodersten.

Regarding spatial distribution of the above buildings designed by Sodersten, many are concentrated around the Sydney CBD and Sydney's inner eastern suburbs, particularly around Potts Point. The Segenhoe Flats, located in Newcastle, are the most distant of Sodersten's flat buildings.

<sup>45</sup> Queensland Government, n.d. 'Brisbane City Hall.' Queensland Heritage Register. Accessed online 9/6/2021 at:

<https://apps.des.qld.gov.au/heritage-register/detail/?id=600065>

<sup>46</sup> Queensland Government, n.d. 'Brisbane City Hall.' Queensland Heritage Register.



Figure 128 – Brisbane City Hall.

Source: *Choose Brisbane*.

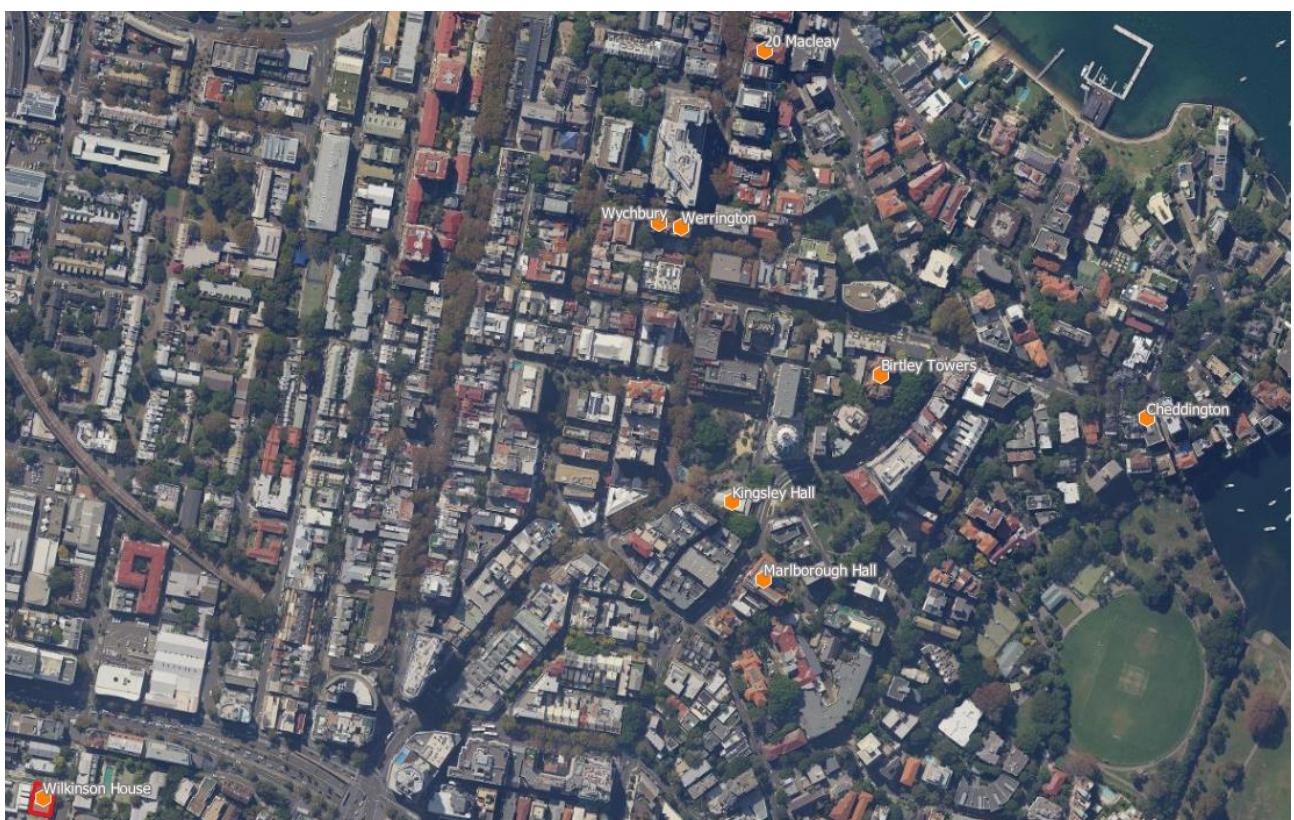


Figure 129 – Spatial distribution of Sodersten's remaining buildings in Sydney.

Source: *SIX Maps with overlay by Urbis*.

Wilkinson House is the earliest building designed solely by Sodersten as lead architect. Wilkinson House, or the Gwydir Flats, is placed at the beginning of Sodersten's career, in which he was influenced by his former Professor, the prominent architect Leslie Wilkinson. Wilkinson specialised in Classical inspired architecture which could be characterised as belonging to the Inter-War Georgian Revival and Inter-War Mediterranean Revival architectural styles. Many characteristics of Wilkinson House fit the characteristics of these styles. The date of Wilkinson House, which was designed in 1926 and completed in 1928, also adheres to the overall architectural progression of styles within the Inter-War period. In the 1920s – or the earlier half of the Inter-War period – architectural styles were guided by modest and traditional architectural principles. Historic inspired styles, also known as Revival styles, such as Tudor/Old English, Mediterranean, Georgian, Neo-Classical, and Free-Classical, were prominent within the 1920s. Wilkinson House is consistent with the popular styles of this time period, and exemplifies many of the qualities of the Mediterranean and Georgian Revival styles, including symmetrical facades, arched windows, Grecian columns and capitals (Doric, Ionic,

or Corinthian), the use of cartouches and decorative plasterwork, ceramic roof tiles, and modest brickwork, traditionally in red brick.

Of the Sodersten designs included in Section 5.1.1. for assessment, the closest in design and character to Wilkinson House is Cheddington (1930), located at 63 Elizabeth Bay Road, Potts Point. Cheddington and Wilkinson House retain several similarities, including symmetrical façade, central protruding portico, arched windows, multi-paned windows, rendered string courses, and decorative plasterwork such as a cartouche and festoons. Cheddington can be broadly characterised as a Georgian Revival and Mediterranean Revival building, which also features a Marseille tiled roof. Where Cheddington differs from Wilkinson House is with the incorporation of Spanish Mission elements of Islamic and Moroccan influence, such as shaped corbels, barley twist columns, and decorative urns on the curved parapet. The incorporation of Islamic inspired Spanish Mission elements is representative of the growing influence of 'exotic, eastern' culture on architecture and popular culture in the late 1920s following increased travel out of Europe. Internally, Cheddington features many of the same features as Wilkinson House, consisting of one bedroom apartment with decorative plaster ceilings (in similar patterns), timber French doors to balconies, terrazzo thresholds, simple timber skirtings, architraves and picture rails. The kitchens and bathrooms are of similar proportions to Wilkinson House and bedrooms or living rooms have access to small balconies. Today, Cheddington retains its original use as a residential flat building.

The influence of international non-European architecture can also be seen at Kingsley Hall (1929), in which Aztec inspired parapets and motifs are incorporated into the façade of the building. Particularly notable is the incorporation of the diamond frieze at the top of the façade, which was proposed – but never constructed – at Wilkinson House. The interior layout of Kingsley Hall differs from Wilkinson House. Each of floors generally contains four small one and two bedroom apartments, with no balconies. Original interior details that remain are primarily limited to joinery including timber French doors, skirting boards and architraves. Similar to Wilkinson House, all of these elements are of a simple design and reflect typical elements seen in other Inter War apartment buildings.

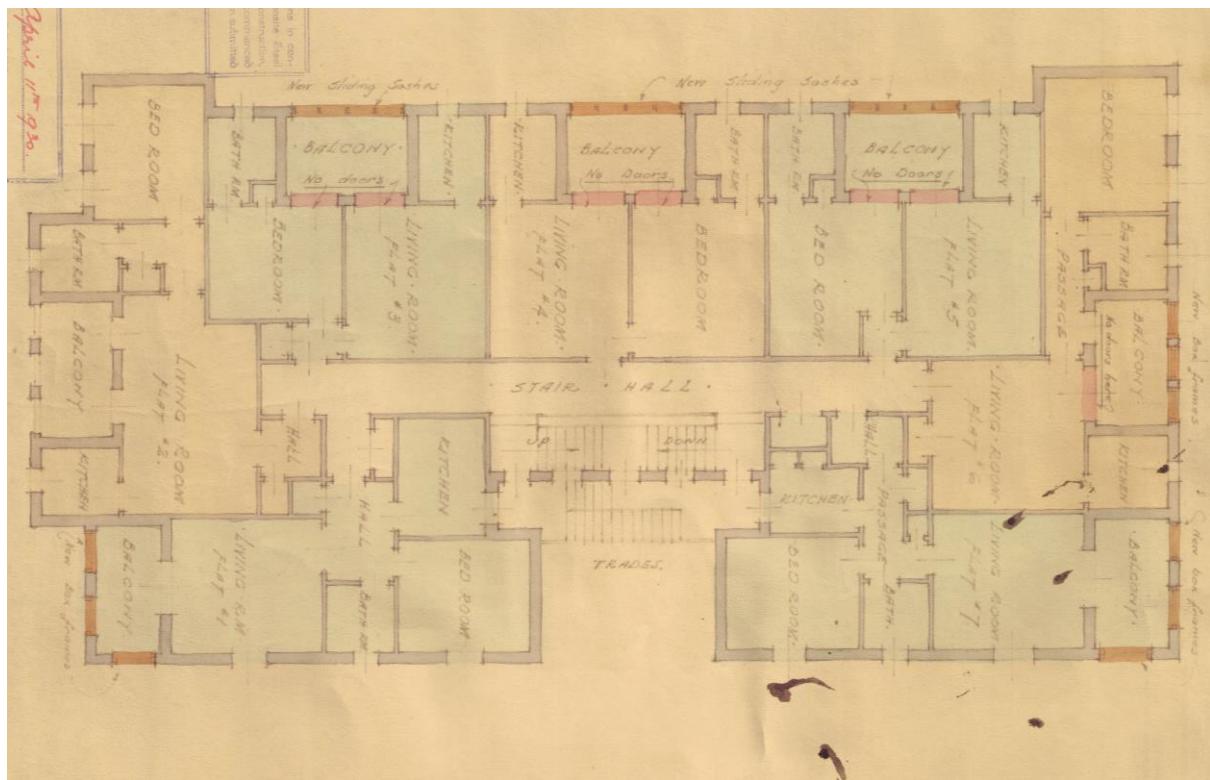


Figure 130 – Example of typical floor plan of Cheddington, dated 1930

Source: City of Sydney Archives, <https://archives.cityofsydney.nsw.gov.au/nodes/view/1460296>



Figure 131 – Example of typical lounge room in Cheddington

Source: *R&W Elizabeth Bay Potts Point*



Figure 132 – Example of living room in Werrington

Source: *Domain*



Figure 133 – Bedroom in Kingsley Hall with original French doors.

Source: *Domain*

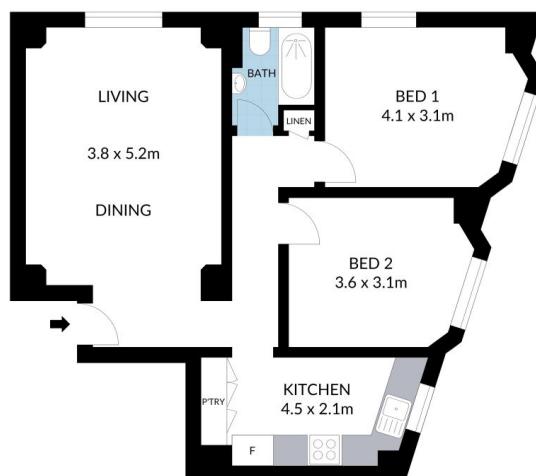


Figure 134 – Example of 2 bedroom apartment in Kingsley Hall

Source: *Domain*



Figure 135 – Example of typical lounge room in Werrington with original joinery retained.

Source: *Domain*

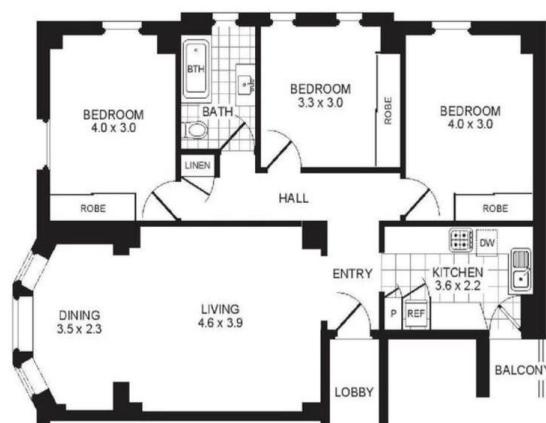


Figure 136 – Example of 3 bedroom apartment in Werrington

Source: *Domain*

Perhaps the last building constructed by Sodersten which retained Classical inspired elements would be Werrington (1930), which featured pediments at each façade. The overall character of Werrington however is largely Art Deco with some elements of the Inter-War Skyscraper Gothic style, particularly the entrance portico. Internally, the layout and arrangement of spaces is very different to Wilkinson House. The building features two and three bedroom apartments of larger proportions than Wilkinson House and no balconies are integrated into the facades. Instead, small balconies are located primarily off kitchens at the rear of the building. Where some original features remain, such as skirting boards, architraves and picture rails, these are of larger proportions and more detailed than the simple examples contained in Wilkinson House. Similar French doors remain in some apartments which separate living rooms from dining rooms. Overall, the interiors of Werrington were of a higher calibre than those seen in Wilkinson House.

Subsequent buildings constructed by Sodersten are largely Inter-War Art Deco, and Sodersten became one of the most prominent practitioners of the Art Deco style in New South Wales and Australia overall. Common features of the remaining buildings (20 Macleay, Birtley Towers, Wychbury, Segenhoe Flats) include protruding bays, asymmetric and angular façades, textured face brickwork, faceted glass, standing seam brickwork, and parapets. This collection of Sodersten's works moved away from the general layouts of his earlier works, with Birtley Towers showing the antithesis of Sodersten's interior design in 1933-4.

With the exception of Marlborough Hall, which is a somewhat rare example of Sodersten utilising Functionalist and modern movement styles, the Art Deco style became Sodersten's primary architectural style. The unusuality of Marlborough Hall (and the former building at No. 7 Elizabeth Street) have been explained by architectural historians as emanating following Sodersten's return from extensive travels in Europe in the mid-1930s, in which he was inspired by modern movement architecture. Sodersten was also known to have worked closely with renowned interior designer Marion Hall Best. Best worked with Sodersten on the interior design of both Marlborough Hall (1938) and 7 Elizabeth Street (constructed in 1939-1940 and since demolished) both of which featured numerous bachelor flats. The bachelor flats were seen as excellent compact planning at the time, with built in cupboards, kitchenettes and other furnishings with their skilful layouts allowing for a sense of space and natural light.<sup>47</sup>



Figure 137 – Birtley Towers entrance foyer

Source: R&W Elizabeth Bay Potts Point

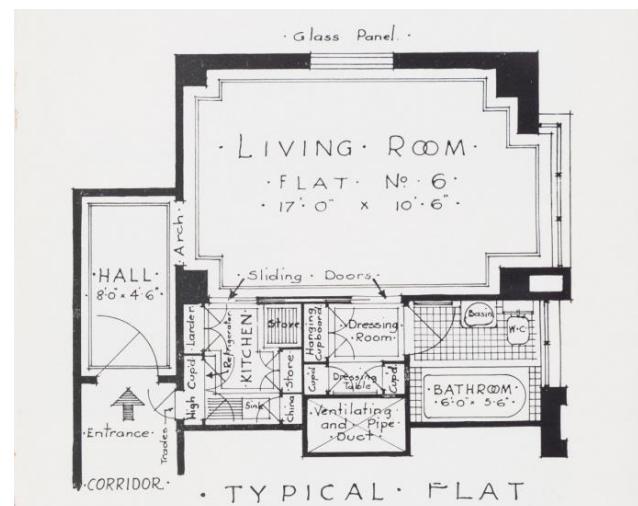


Figure 138 – Typical layout of bachelor flat in 7 Elizabeth Street

Source: *Sydney Living Museums*

<sup>47</sup> For a discussion of Marion Hall Best's interior design of 7 Elizabeth Street, refer to Michael Lech, "The Interior Design of Seven Elizabeth Street", *Sydney Living Museums* via <https://sydneylivingmuseums.com.au/stories/interior-design-seven-elizabeth-street>

# PROGRESSION OF SODERSTEN'S STYLE

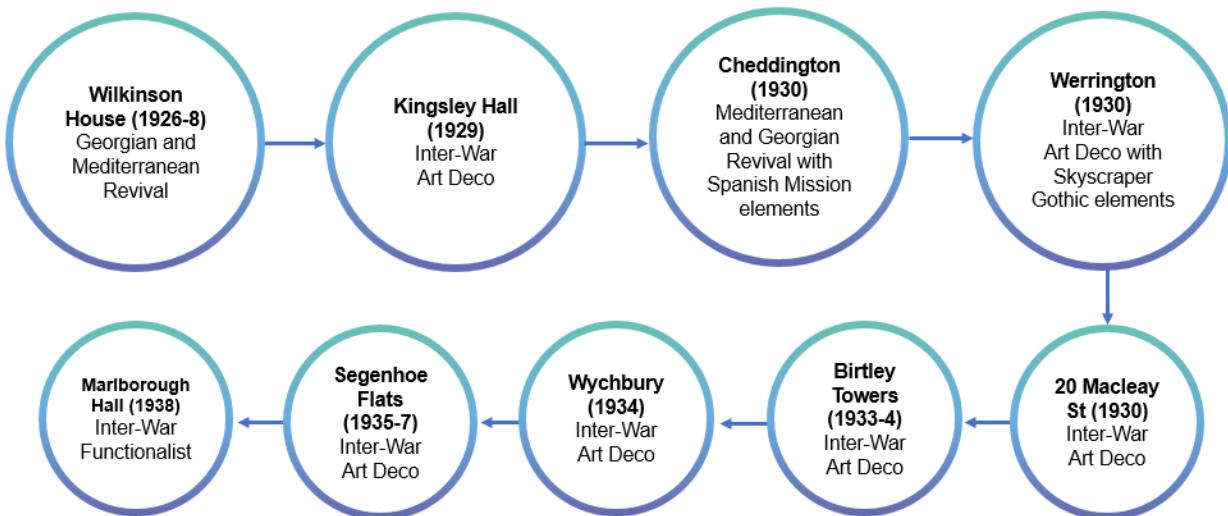


Figure 139 – Flowchart showing the progression and development of Sodersten's style based on the buildings in this comparative analysis

The remaining buildings designed by Sodersten all appear to be entirely intact and retain high integrity externally. The facades and elevations of each building have experienced little modification. In this regard, Wilkinson House has been marginally more modified externally than the additional Sodersten buildings assessed within this comparative analysis, due to the modifications to the north elevation ground level façade and new openings and modifications to the balconies and the southern facade. Wilkinson House is also heavily modified internally. The overall layout of the building on the ground level is well retained, with significant original features – particularly in the entrance foyer and lounge hall – retaining high integrity, ornate plaster ceilings are retained throughout, however many have experienced some level of damage, whether through cracking or bowing. Dentil cornices are present throughout the building in the corridors and in some common areas.

Levels 1 and 2 have been modified to varying degrees which only select original decorative plaster ceilings and cornices and timber skirting, architraves and picture rails remaining. Several walls have been opened up with nibs and bulkheads retained, creating larger open spaces more suited to classrooms. While the original floorplan is somewhat intact, the removal of fabric and walls has heavily reduced the interpretation and legibility of Wilkinson House as a former flat building. In his later works, Sodersten often worked with an interior designer such as Marion Hall Best and he was not known for his interiors. The character of Sodersten's original interiors is also diminished by successive alterations and additions, with the exception of the entrance foyer and lounge hall. Elements such as timber skirting boards, picture rails and architraves and decorative plaster work that internally are typical of the period and are not unique to Wilkinson House. Furthermore, Wilkinson House is also the only flat building of Sodersten's that does not retain its original use.

Wilkinson House is therefore significant as the earliest remaining example of the works of Emil Sodersten, one of Australia's earliest and most significant modern architects, and a purveyor of the Art Deco style. Wilkinson House is rare in Sodersten's portfolio as one of only two residential examples of Sodersten's solo work which exemplified the principles and conventions of Inter-War Georgian and Mediterranean Revival styles. This is also interesting for its ability to reflect the influence of Leslie Wilkinson in the works of his students. Simultaneously, the difference of Wilkinson House from much of Sodersten's portfolio means that it is not representative of Sodersten's overall personal style, once he experimented with a number of eclectic styles throughout the 1920s before determining his more characteristic Art Deco style in the early 1930s, which he became famous for.

Finally, Wilkinson House has been heavily modified internally, which has reduced the intactness of original fabric, but also the overall integrity and legibility of the space as an Inter-War flat building. The remaining buildings assessed within this comparative analysis have higher authenticity and integrity as each remain in use as flat buildings comprising of individual flats.

## 5.2. INTER-WAR GEORGIAN REVIVAL AND MEDITERRANEAN REVIVAL

Inter-War architecture within Australia reflects changing shifts to the cultural, economic and social mindsets of Australia as a nation. From the 1920s, immediately following the First World War, architecture was entwined with optimism for the future of the nation, however this had changed somewhat by the 1930s as a result of the Great Depression.<sup>48</sup> The combination of wealth and poverty, conservatism and boldness, and an early fondness of traditional European styles which swung to an embrace of 'Internationalist' non-european styles from the Middle East and South East Asia by the 1940s has seen the 'Inter-War' period of architecture as highly eclectic and innovative.<sup>49</sup>

Throughout the 1920s, styles were largely traditional and embraced English and European architectural styles as a result of attachment to Europe following the end of the war. Architecture also became more prominent as a career choice, with universities beginning to offer courses in architecture. Notably, the University of Sydney commenced its architecture course, led by Professor Leslie Wilkinson, whose works were characterised by Georgian and Mediterranean elements with an Australian spin. Wilkinson became a key practitioner of these 'Revival' styles and trained several prominent architects through his role at the university, and designed a large number of buildings across Sydney.

From the 1890s, many architects across western countries had departed from the eclecticism of the late Victorian era and returned back to Georgian styles, which were perceived to be most elegant, gracious, and "sought to emulate" colonial pasts of countries such as America and Australia.<sup>50</sup> In Australia the style was championed by Wilkinson along with William Hardy Wilson. While each was inspired by the character of European and American cities, the styles became known as a Revival style. As the Inter-War period was the first time in Australian history which a former local architectural style became the "starting point" and inspiration for a new style, regardless of how idiomatic or anachronistic it may have been.<sup>51</sup> As its prominence grew throughout Sydney in particular, the style was popular amongst the upper middle class (who Wilkinson did most of his work for) and became a marker of "good taste."<sup>52</sup> Key characteristics of the style included simplicity, balanced proportions, and restrained classicism.

Bridging the gap between the Georgian and Spanish Mission styles of the Inter-War period, Inter-War Mediterranean Revival became prominent within Sydney, particularly within the Eastern Suburbs. Wilkinson was highly inspired by his travels throughout Spain and Italy and championed the style in Australia. His influence as the Chair of the University of Sydney's new architecture school saw the style grow exponentially. Wilkinson believed that the Mediterranean style was well-suited to Sydney, with its warm climate and proximity to water. The lightness and softness of the Mediterranean style, such as light colours, stuccoed walls, and arches, blended well into Sydney's natural environment. Wilkinson in particular designed many of his houses within Sydney to accommodate the constraints of the natural environment, with his own house – Greenway, in Vaucluse – designed around a large grove of remnant native eucalyptus which predated English colonisation of Sydney. While holding many similarities to the Spanish Mission style, Mediterranean Revival had its roots in Georgian proportions and Renaissance era details, and avoids many of the Spanish, Arabic and Moroccan elements of the Spanish Mission style.<sup>53</sup> Key characteristics of the style included customised consideration of siting, which considered site topography, views, utilization of natural sunlight, and relaxed character aided by subtle colours, soft finishes, and appealing landscaping.

<sup>48</sup> Apperley, R., R. Irving, P. Reynolds, 1989. *A Pictorial Guide to Identifying Australian Architecture*, 149.

<sup>49</sup> Apperley, R., R. Irving, P. Reynolds, 1989. *A Pictorial Guide to Identifying Australian Architecture*, 149.

<sup>50</sup> Apperley, R., R. Irving, P. Reynolds, 1989. *A Pictorial Guide to Identifying Australian Architecture*, 150.

<sup>51</sup> Apperley, R., R. Irving, P. Reynolds, 1989. *A Pictorial Guide to Identifying Australian Architecture*, 150.

<sup>52</sup> *Op. Cit.*

<sup>53</sup> Apperley, R., R. Irving, and P. Reynolds, 1989. *A Pictorial Guide to Identifying Australian Architecture*, 172.

## 5.2.1. Examples of Inter-War Georgian and Mediterranean Revival architecture

Table 10 - Comparative analysis of Inter-War Georgian and Mediterranean Revival flat buildings

Flat Building “Linden” Including Interior	
<b>Address</b>	3 Farrell Avenue, Darlinghurst
<b>Date Established</b>	1925
<b>Architect</b>	D.E. Walsh
<b>Heritage Listing</b>	Sydney LEP 2012 I288
 <p>Source: Heritage NSW</p>	
Statement of Significance	
<p><i>Linden has aesthetic significance as a representative example of an inter-war Georgian Revival residential flat building that is part of a group of similar buildings in Farrell Avenue which makes a positive contribution to the streetscape. It has historic significance as it dates from one of the key period of layers for the development of Darlinghurst as a direct result of the subdivision of the Rosebank Estate.</i></p>	

Flat Building “Martin Hall” Including Interior	
<b>Address</b>	3A Farrell Avenue, Darlinghurst
<b>Date Established</b>	1924
<b>Architect</b>	D.E. Walsh
<b>Heritage Listing</b>	Sydney LEP 2012 I289
 <p>Source: RealEstate.com.au</p>	
Statement of Significance	
<p><i>Martin Hall has aesthetic significance as a representative example of an inter-war Georgian Revival style residential flat building that is part of a group of similar period flats in Farrell Avenue which makes a positive contribution to the streetscape. It has historic significance as it dates from one of the key period of layers for the development of Darlinghurst as a direct result of the subdivision of the Rosebank Estate.</i></p>	

## Sherland Lodge – house, interiors and grounds

<b>Address</b>	16 Kent Road, Rose Bay
<b>Date Established</b>	1923
<b>Architect</b>	Kenneth Webb
<b>Heritage Listing</b>	Sydney LEP 2012 I1995



Source: Heritage NSW

### Statement of Significance

*Sherland Lodge is of local significance as a good and relatively intact example of the work of both architects Kenneth Webb and F. Glynn Gilling.*

*The original design by Kenneth Webb is aesthetically significant for the siting of the house and the set up of the garden. The sunken garden which Webb designed is a unique layout and adds a great deal of character to the house and property. The entry into the property is well defined with the lynch gate, and the placing of house and the garden elements sets up an immediate clarity of space. The sunken garden is walled with modest trees and shrubs and is terraced on one side. The house is an L-shape and cradles two sides of the garden adding to the enclosed nature of the garden. The entry path runs parallel with the lawn directing visitors to the front entrance, whilst emphasizing the square shape of the garden. The southern courtyard (with the lemon tree) and the northern courtyard overlooking Cranbrook oval compliment the lawn area and act as secondary smaller spaces to the primary sunken garden. The aesthetically significant house gains from its garden setting, enclosed character and secondary courtyard areas, and hence the garden is of highly significant heritage value.*

*The later extensions by Gilling extensively altered the style and size of the house, yet emphasize the enclosed nature of the garden. Gilling's level of detailing shows a firm grasp of the idiom, and the lodge is a good representative example of Gilling's Mediterranean style with Georgian influences. As a good and relatively intact example of the work of the significant inter-war architect F. Glynn Gilling in the fashionable Mediterranean style the building demonstrates a high degree of historical associational significance.*

## Flat Building "Alabama" Including Interior

<b>Address</b>	5 Ithaca Road, Elizabeth Bay	
<b>Date Established</b>	1926	
<b>Architect</b>	Unknown	
<b>Heritage Listing</b>	Sydney LEP 2012 I588	

Source: Heritage NSW

### Statement of Significance

*5 Ithaca Road is of local historic and aesthetic significance.*

*It provides evidence of early flat development in Elizabeth Bay and is indicative of the small scale entrepreneurial development of the inter-war years which saw higher density apartment living developed on relatively small sites close to the city and the waterfront.*

*Architecturally No 5 Ithaca Road is an interesting local example of the eclecticism of the Inter-war period in Australia with its mix of Neoclassicalism, Georgian Revival and Italianate influences and detail. Even as in its day, the building was seen to represent the conundrum facing architecture at this time, with the old historic styles trying to meet the challenges of new functional requirements and structural possibilities, it today provides an interesting reminder of these important historical debates and changes.*

*The building is a good example of historic layering with its original 1926 two storeys, the more simply detailed 1928 storey and its substantially and sympathetic renovations from 1987. It still however retains its essential 1920s form and character, particularly in view from the main Ithaca Road frontage.*

*Situated in a prominent location, and being highly visible from the adjoining Beare Park and foreshore areas, and from surrounding streets, the building is a local landmark.*

*Internally the building retains evidence of the original spatial layout, with its unusual large Court/living room along the north-east side of each apartment and substantially proportioned "Best bedrooms/living rooms" with their French doors openings on the street elevation.*

## Greenway – all buildings and works, grounds and grove of Sydney Pink Gums

<b>Address</b>	24 Wentworth Road, Vaucluse	
<b>Date Established</b>	1923	
<b>Architect</b>	Leslie Wilkinson	
<b>Heritage Listing</b>	Woollahra LEP 2014 I1995	

Source: Sydney Living Museums

### Statement of Significance

*The classified 1923 Mediterranean style villa on this property is placed with great sympathy and harmony with these remnant trees, such that courtyards contain individual trees as specimens in their own right.*

Greenway, named after the influential colonial architect Francis Greenway, was designed by Professor Leslie Wilkinson and became his primary residence. Wilkinson favoured colonial styles and made popular the classical revival styles of the 1920s and 30s. Greenway was designed by Wilkinson as a very traditional Georgian and Mediterranean Revival residence, exemplified by simple, symmetrical and 'elegant' design, in terms of bulk and façade details. Greenway features many elements of the Mediterranean and Georgian Revival styles, including multi-paned windows, use of stucco, window shutters, Marseille tile roofing, and the use of arches (which introduce a minor element of Spanish Mission style into the building). Greenway was also designed by Wilkinson to appear rustic, as if it were in Tuscany, and was heavily influenced by the native landscaping around Vaucluse.

## Flat Building “Lisgar House” Including Interior

<b>Address</b>	30-32 Carrington Street, Sydney	
<b>Date Established</b>	1927	
<b>Architect</b>	Gilbert Hughes & Maloney	
<b>Heritage Listing</b>	Sydney LEP 2012 I1692	

Source: Heritage NSW

## Statement of Significance

*The construction of Lisgar House was part of an ongoing tradition that established the CBD as an important commercial and financial focus, and, generally, reflects an important period of the development in the 1920s. An association with the original owners, the St Joseph's Investment and Building Society, is maintained by the statue of St Joseph the carpenter centrally located at the top level (moved from the original building). The relatively tall scale of this Georgian Revival style building and its unusual cornice treatment make it a rare example of the period. It is comparable to Beneficial House in George Street formerly Peapes menswear, and to some extent also the Royal Automobile Club in Macquarie Street. The building is an important contributor to the townscape character around Wynyard Park.*

## Former Commercial Building Including Interiors – Beneficial House

<b>Address</b>	285-287 George Street, Sydney	
<b>Date Established</b>	1923	
<b>Architect</b>	Wilson, Neave & Berry (Hardy Wilson)	
<b>Heritage Listing</b>	Sydney LEP 2012 I1765	

Source: Visit Sydney

## Statement of Significance

*Beneficial House is noteworthy for its former lengthy association with “Peapes Menswear” (1923-1970), a particularly well-known Sydney retail store, and its contribution to creating an image for the store. It reflects the importance of George Street as a principal retailing thoroughfare and, generally, an important period of development during the 1920s. The building is of aesthetic significance as one of very few surviving commercial examples of Inter-war Georgian Revival style architecture and the work of Hardy Wilson. It is strikingly similar to British Airways House also attributed to Wilson, Neave & Berry, and has*

## Former Commercial Building Including Interiors – Beneficial House

parallels with Lisgar House. It is a good example of the style and contributes significantly to the streetscape of George Street. The combination of Georgian Revival style in the brick façade, windows and section of tiled roof with a Commercial Palazzo style sandstone base adds to the architectural interest of the building.

## Former Metropolitan “Usher’s Hotel Including Interiors

<b>Address</b>	64-68 Castlereagh Street, Sydney
<b>Date Established</b>	1923
<b>Architect</b>	H.E. Ross and Rowe
<b>Heritage Listing</b>	Sydney LEP 2012 I1693



Source: Commercial Real Estate

### Statement of Significance

The former Usher’s Metropolitan Hotel reflects a long period of development important for the city, from the early 1900s through to the 1930s. The many changes made to the building reflect the changing needs of this central part of the city. It is representative of the work of the architectural firm of H E Ross & Rowe in the city context. The building is particularly noteworthy as an early example of the importance of the hospitality industry in Sydney, in its former use as a hotel. It is representative of the Commercial Palazzo style, and also displays Georgian Revival details. It contributes to the townscape character of its place within the important Martin Place precinct.

### 5.2.2. Summary

The above comparative analysis shows that the Inter-War Georgian Revival and Mediterranean Revival styles are not necessarily rare within Sydney, however many examples of the style were constructed as individual residences or as commercial buildings. In addition to Wilkinson House, only three other examples of Inter-War Georgian/Mediterranean revival flat buildings were identified: ‘Linden’, ‘Martin Hall’, and ‘Alabama’. Therefore, flat buildings could be interpreted as a rare use of the Georgian and Mediterranean Revival styles.

Of the buildings included within this comparative analysis, Wilkinson House was the last to be completed. Dating to 1928, the other flat buildings included pre-date Wilkinson House by up to four years. These flat buildings, particularly Linden and Martin Hall, share several similarities with Wilkinson House and these three flat buildings exemplify many of the characteristics of the Georgian and Mediterranean Revival styles. While Alabama is largely Georgian Revival in character, it also features elements of Neo-Classical and Provincial Italianate styles which distinguishes it from Wilkinson House, Linden and Martin Hall. Martin Hall however has had its integrity reduced through the intrusive modification to its façade, in which it was recently rendered. Linden appears to lean more towards the Mediterranean style however, and its points of difference include window styles, rendered lintels, a traditional 1920s parapet with dentils and pediment, a pedimented portico, doric columns, and ashlar masonry base at the ground level. Wilkinson House arguably features the

most decorative façade, with ornamental features such as cartouche, elaborate plaster doorway, arched windows, columns, and decorative eaves and upper frieze not seen at the other three flat buildings.

Similarly, Greenway and Sherland Lodge feature quite simple, symmetrical elevations. Elements such as multi-paned windows, the pitched roof shape with tiles and deep eaves, and rendered string courses are replicated at Wilkinson House. These two buildings differ from Wilkinson House overall in terms of their function as individual residences rather than flat buildings, and that each building was originally rendered with stucco. Each façade is much simpler than Wilkinson House, however there are many noticeable similarities in the overall design of these buildings with Wilkinson House. As Greenway was the home of Sodersten's mentor, Leslie Wilkinson, it can be assumed that Sodersten was familiar with the house (and perhaps had been there), and may have been influenced by its design in addition to the classical Revival styles favoured by Wilkinson.

The three commercial buildings within the Sydney CBD - Lisgar House, Beneficial House, and the Ushers Metropolitan Hotel – feature several architectural similarities with Wilkinson House and (except for Lisgar House which is contemporaneous) pre-date the construction of Wilkinson House. As examples of the classical revival styles favoured by Sodersten's mentor Leslie Wilkinson, these grand commercial buildings may have influenced Sodersten. These examples appear far grander than Wilkinson House, likely on account of their commercial function and prominence within the Sydney CBD. Each of these commercial examples of the Georgian Revival style feature sandstone bases of one to two floors, and employ grand arched entryways with decorative features such as fanlights, painted friezes and decorative stone formations. Usher's Metropolitan Hotel also features elements of the Commercial Palazzo style, such as the use of wrought iron Juliet balconies. Decorative stone features, such as dentils, arches, and quoins are present across each building. Other than these few differences, the overall character of the upper levels of the buildings are similar to that of Wilkinson House, featuring symmetrical design, aligned windows, multi-paned windows, and arches.

While Wilkinson House is not numerically a rare example of the Inter-War Mediterranean or Georgian styles, with many other examples prevalent within Sydney, Wilkinson House blends the Georgian and Mediterranean styles in a unique and distinctive way which is not seen in the other examples included in the above comparative analysis. Wilkinson House is largely Georgian revival in proportions, with decorative elements incorporating Mediterranean styles. Furthermore, the dentil brickwork on the upper frieze, the use of Marseille tiles, sprocketed eaves with patterning, and hipped roof also incorporate some elements which can be seen in Sodersten's later work which is more in tune with the Art Deco style. While there are several other examples of Inter-War Mediterranean Revival and Inter-War Georgian Revival buildings within Sydney, Wilkinson House is distinctive and does not look like these other examples. For these reasons, it would not be considered rare, however could be seen to be representative as a significant variation of these revival styles and of Sodersten's work.

Overall, each building, including Wilkinson House, retains overall integrity and intactness of the façade, with limited modifications and each appear to be relatively typical examples of the Georgian and Mediterranean Revival styles with some elements of other Inter-War styles.

# 6. HERITAGE SIGNIFICANCE

Before making decisions to change a heritage item, an item within a heritage conservation area, or an item located in proximity to a heritage listed item, it is important to understand its values and the values of its context. This leads to decisions that will retain these values in the future. Statements of heritage significance summarise the heritage values of a place; why it is important and why a statutory listing was made to protect these values.

## 6.1. BUILT HERITAGE SIGNIFICANCE ASSESSMENT

The Heritage Council of NSW has developed a set of seven criteria for assessing heritage significance, which can be used to make decisions about the heritage value of a place or item. The following assessment of heritage significance has been prepared in accordance with the former NSW Heritage Division's *Assessing Heritage Significance* guidelines and with reference to the existing statements of significance for the subject site.

### 6.1.1. Sydney LEP 2012 & State Heritage Inventory

Table 31 below includes the significance assessment for Wilkinson House as provided within the Sydney LEP and the State Heritage Inventory for the local listing. Below extracts only include elements that are relevant to Wilkinson House. For the full significance assessment for the Sydney Church of England Girls Grammar School Group, please refer to the State Heritage Inventory listing or the SCEGGS Darlinghurst Conservation Management Plan.

Table 11 - Sydney Church of England Girls Grammar School Group Significance Assessment from SHI

Criteria	Discussion
A) Historical Significance	<i>Wilkinson House is associated with the historical development of SCEGGS on the Darlinghurst Site for its function as the School boarding house since 1962.</i>
B) Associative Significance	<i>Barham is significant as it's associated with the prominent architect John Verge. The house, built in 1833 is one of the few surviving examples of Verge's work. Verge was prolific during the 1830s, designing many significant houses, including Tusculum, Rockwall House and Tempe House. The house is also associated with the Colonial Secretary of 1837, Edward Deas Thomson, the original owner of the building and founding member of SCEGGS.</i>  <i>Wilkinson House, built 1926 as Gwydir Flats, is historically significant for its association with the architect Emil Sodersten.</i>
C) Aesthetic/Technical Significance	<i>Barham is aesthetically significant as it still retains many of the original Verge features and details. The quality of the structure is evident in the extant features. The site of Barham was selected for its setting on the hill commanding significant views over Sydney Harbour.</i>  <i>The Chapel Building is aesthetically significant for its close association with Barham. The architectural character is distinctive of the Federation period and retains a strong architectural presence on the site. Elements of the Chapel Building are distinctive including the 1926 Chapel and the stained glass windows associated with the Chapel.</i>  <i>Wilkinson House is aesthetically significant for its original design intent as residential flats. The flats are evident through the intact decorative plaster ceilings of the original room configurations. In addition the entry</i>

Criteria	Discussion
	<p><i>foyer is intact and of very high quality. However the exterior of the buildings has not been constructed or resolved to the quality shown in the original drawings by Sodersten.</i></p>
<b>D) Social Significance</b>	<p><i>The School's prominence on Bourke, Forbes and Thomson Streets and its general landmark qualities are of social significance. The School has maintained a strong overriding and constant philosophy regarding the importance of the education of young women spiritually, academically and physically for the challenges of adult life and the need to prepare them for tertiary education and professional careers. SCEGGS was the first School of this kind for women in Sydney.</i></p> <p><i>Barham is associated with the historical development of SCEGGS Darlinghurst on the site and continues to be the focus of the School. It plays an important role in the social development of the School and its appreciation of the traditional role of SCEGGS. Barham has social significance as a physically identifiable feature of the School's history on the site. The house plays an important role in the current community of SCEGGS.</i></p> <p><i>The Chapel Building has social significance for its association with the School boarders. The building, particularly the Chapel, currently plays an important role in the social and religious development of students at the School.</i></p> <p><i>Wilkinson House has been associated with the historical development of SCEGGS Darlinghurst over a forty year period, playing an important role in the life of past and present boards and staff. It continues to provide a focus of memories of their time at the school as well as being associated with traditions that contribute to the continually developing sense of the School's identity.</i></p>
<b>E) Research Potential</b>	N/A
<b>F) Rarity</b>	N/A
<b>G) Representativeness</b>	<p><i>Barham is representative of early colonial domestic architecture in NSW. Barham is also representative of the significant work of architect John Verge and for the development of large houses being built in the area which commanded spectacular views over Woolloomooloo and Sydney Harbour.</i></p> <p><i>The Chapel Building has local significance to the Darlinghurst area and is representative of a purpose-built school building.</i></p> <p><i>Although not constructed to the original level of detail, Wilkinson House is representative of the construction of apartment buildings during the 1920s and of the use of an eclectic collection of architectural styles, displaying references to Inter-War Mediterranean, Spanish Mission and Georgian Revival influences.</i></p>

## 6.1.2. 2001 Conservation Management Plan

The following significance assessment for Wilkinson House has been extracted from the 2001 CMP prepared by GML Heritage.

Table 12 – Significance assessment for Wilkinson House taken from CMP 2001

Criteria	Discussion
<b>A) Historical Significance</b>	<p>Originally named the <i>Gwydir Flats</i>, the construction of the three-storey Wilkinson House epitomises the residential flat building boom of the 1920s and reflects the permanent change in the residential pattern within the inner suburbs of Sydney, such as Darlinghurst, during this period.</p> <p>The building is also notable for its continual use over the last 75 years as residential accommodation, forty years of which were as a school boarding house.</p>
<b>B) Associative Significance</b>	<p>Wilkinson House is associated with the early work of the prominent early twentieth-century architect, Emil Sodersten.</p> <p>Wilkinson House is also associated with the historical development of Sydney Church of England Girls Grammar School (SCEGGS Darlinghurst), for its function as a boarding house since 1962 and with the long-serving headmistress, Ms Dorothy Wilkinson, after whom the building was renamed.</p>
<b>C) Aesthetic/Technical Significance</b>	<p>Although not constructed with the original level of detail, Wilkinson House retains most of its original features including the decorative plaque, the elaborate front door, the balconies, and the decorative pattern brickwork as well as evidence of its former use as residential flats, including the relatively intact floor layouts, the central stair and entry foyer.</p> <p>The building's design continued the eclectic tradition using a collection of architectural styles with generally classically inspired elements throughout, the most obvious being Inter-War Mediterranean, Inter-War Spanish Mission and classical Georgian Revival influences.</p> <p>The building's residential character also makes a positive contribution to the Streetscape of Forbes and St Peters Streets and to the East Sydney and Darlinghurst Heritage Conservation Area.</p> <p>The aesthetic significance has been diminished through the addition of security grilles to external openings and the sound barrier panels located on the ground and first floor balconies.</p>
<b>D) Social Significance</b>	<p>As a boarding house, Wilkinson House has had a forty-year association with SCEGGS Darlinghurst, playing an important role in the life of past and present boarders and staff during this period as well as providing the focus for their memories of their time at the School.</p> <p>The boarders themselves have contributed greatly to the 'building up' of school, folklore and tradition, which is important in the development of the School's spirit and sense of identity. In accommodating the</p>

Criteria	Discussion
	<p>boarders, the building has therefore also played an important role in the continually developing sense of identity for the School.</p> <p>Although a detailed social significance assessment has not been undertaken, it is likely that Wilkinson House has social significance to former boarders and members of staff. Conservation policies have therefore been formulated on this basis.</p>
<b>E) Research Potential</b>	<p>Wilkinson House has not been assessed for archaeological potential, although, due to the likely excavation necessary to construct the building, it is unlikely that the site retains potential to yield any further information on either the earlier c1860 terraces or the period before.</p> <p>The fabric of the house itself and its construction details are typical of their time.</p> <p>Wilkinson House therefore does not meet this criterion.</p>
<b>F) Rarity</b>	<p>Although it is not a rare example of a residential flat building, or of a particular architectural style, Wilkinson House is likely to be one of the last remaining examples in Sydney of Emil Sodersten's early work and possibly his first as a practising architect.</p>
<b>G) Representativeness</b>	<p>Wilkinson House is representative of architect designed residential apartment buildings constructed during the construction boom of the early twentieth-century and in particular the Inter-War period.</p> <p>It also represents the eclectic use of a number of architectural styles in the construction of residential flat buildings during the Inter-War period, including Mediterranean, Spanish Mission and Georgian Revival influences.</p>

### 6.1.3. Revised Significance Assessment

The Heritage Council of NSW has developed a set of seven criteria for assessing heritage significance, which can be used to make decisions about the heritage value of a place or item. There are two levels of heritage significance used in NSW: state and local. The following assessment of heritage significance has been prepared in accordance with the 'Assessing Heritage Significance' guidelines.

Table 13 - Assessment of Heritage Significance

Criteria	Significance Assessment
<b>A – Historical Significance</b> <p><i>An item is important in the course or pattern of the local area's cultural or natural history.</i></p>	<p>Wilkinson House, originally known as the Gwydir Flats, is associated with historical development of the inner eastern suburbs within the 1920s and 1930s, and notably exemplifies the transition from private dwellings to flat buildings in this period. Residential flat buildings became popular within the inter-war period in the inner city resulting from the need to provide more affordable housing within close proximity to the Sydney CBD.</p>

Criteria	Significance Assessment
	<p>Designed in 1926 and completed in 1928, the Gwydir Flats are an early example of the modernisation of the Darlinghurst area in the Inter-War period. The flats were constructed following the sale of a group of mid-Victorian terraces to a developer, who subsequently saw the terraces demolished and replaced with the Gwydir Flats.</p> <p>The purchase and alterations of Wilkinson House by SCEGGS in 1960 is also associated with the significant growth of SCEGGS' student body and the need to purchase surrounding land for the future development of the school. The Gwydir Flats was a highly convenient purchase for the school, located adjacent to the SCEGGS site and as a residential flat building of small one-bedroom flats, lended itself perfectly for conversion into boarders accommodation. The building is notable for its continual residential use for almost 75 years, prior to its conversion a Senior Education Centre in 2002.</p> <p><i>Wilkinson House reaches the threshold of local significance under this criterion.</i></p>
<p><u>Guidelines for Inclusion</u></p> <ul style="list-style-type: none"> <li>▪ shows evidence of a significant human activity <input checked="" type="checkbox"/></li> <li>▪ is associated with a significant activity or historical phase <input checked="" type="checkbox"/></li> <li>▪ maintains or shows the continuity of a historical process or activity <input type="checkbox"/></li> </ul>	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> <li>▪ has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/></li> <li>▪ provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/></li> <li>▪ has been so altered that it can no longer provide evidence of a particular association <input type="checkbox"/></li> </ul>
<p><b>B – Associative Significance</b></p> <p><i>An item has strong or special associations with the life or works of a person, or group of persons, of importance in the local area's cultural or natural history.</i></p>	<p>Wilkinson House has strong associations with Inter-War architect Emil Sodersten, one of Australia's most significant and prolific modern architects. Sodersten typically specialised in and is better known for his Art Deco designs of the 1930s. Sodersten was trained by the notable Sydney architect Professor Leslie Wilkinson, a specialist in the Georgian and Mediterranean Revival styles which likely influenced his early work. Sodersten designed the entirety of the structure, including interiors, and it is one of his earliest solo designs as an architect. Furthermore, it is likely the earliest remaining structure within Australia of which Sodersten can be considered the primary architect.</p> <p>Wilkinson House is also associated with SCEGGS as an organisation, in addition to numerous students who boarded at Wilkinson House in the period between 1960 and 2001. The Gwydir Flats building was purchased by</p>

Criteria	Significance Assessment
	<p>SCEGGS in 1960 and became a significant part of the school as boarder's accommodation for over forty years.</p> <p><i>Wilkinson House reaches the threshold of local significance under this criterion.</i></p>
<p><u>Guidelines for Inclusion</u></p> <ul style="list-style-type: none"> <li>▪ shows evidence of a significant human occupation <input checked="" type="checkbox"/></li> <li>▪ is associated with a significant event, person, or group of persons <input checked="" type="checkbox"/></li> </ul>	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> <li>▪ has incidental or unsubstantiated connections with historically important people or events <input type="checkbox"/></li> <li>▪ provides evidence of people or events that are of dubious historical importance <input type="checkbox"/></li> <li>▪ has been so altered that it can no longer provide evidence of a particular association <input type="checkbox"/></li> </ul>
<p><b>C – Aesthetic Significance</b></p> <p><i>An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in the local area.</i></p>	<p>Wilkinson House is aesthetically significant as an example of the Inter-War Mediterranean and Georgian Revival styles which were favoured during the 1920s may be interpreted as a relatively late example of this style within Sydney, constructed in 1926-8. Characteristic features of these styles seen at Wilkinson House include; focus on balanced proportions; multi-paned glass windows; use of arches; hipped roof form; deep eaves; decorative brickwork including dentils; grand entrance doorway; decorative plaster features inspired by classical architecture, such as Doric columns, barley twists, deep architraves, and cartouches.</p> <p>Wilkinson House is significant as perhaps the earliest remaining work of Emil Sodersten's in Australia, completed in 1928. As the earliest example of Sodersten's work, Wilkinson House, particularly its exteriors, are of significance for its ability to demonstrate the progression of Sodersten's architectural style from largely Georgian and Mediterranean Revival designs, which demonstrate his early training by Wilkinson and adherence to the classical revival styles popular within the mid-1920s to his progression towards a typical Art Deco style in which he became known for.</p> <p>The layout of each flat showed Sodersten's commitment to ensuring that each flat (and therefore resident) had access to outdoor spaces/balcony, natural light, private kitchen and bathroom, and storage spaces. Decorative features within flats, such as decorative plaster ceilings, dentil cornices, skirting boards do remain. However, the interiors of Wilkinson House have been largely modified from its conversion to boarding accommodation in the 1960s and for use as a Senior Education Centre in 2002.</p>

Criteria	Significance Assessment
	<p>These modifications have degraded the original layouts interpretation reducing their legibility as use as flats. Sodersten is not known for the design of his interiors and they were not designed by a significant interior designer, as opposed to other buildings of Sodersten's which incorporated designs by Marion Hall Best.</p> <p>The entrance foyer and lounge hall, on the other hand, to are a significant element of the interior. It is a grand entrance with high quality decorative features such as scallop-patterned fanlights, chandelier, vaulted ceiling, grand fireplace, and timber floorboards. The interiors of the entrance lobby and lounge hall demonstrate Sodersten's focus to provide a grand and traditional communal space within the flat building.</p> <p>Due to its prominent location at the corner of Forbes and St Peter's Streets and residential character, Wilkinson House also contributes to the East Sydney Heritage Conservation Area.</p> <p><i>Wilkinson House reaches the threshold of local significance under this criterion.</i></p>
<p><u>Guidelines for Inclusion</u></p> <ul style="list-style-type: none"> <li>▪ shows or is associated with, creative or technical innovation or achievement <input checked="" type="checkbox"/></li> <li>▪ is the inspiration for a creative or technical innovation or achievement <input type="checkbox"/></li> <li>▪ is aesthetically distinctive <input checked="" type="checkbox"/></li> <li>▪ has landmark qualities <input checked="" type="checkbox"/></li> <li>▪ exemplifies a particular taste, style or technology <input checked="" type="checkbox"/></li> </ul>	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> <li>▪ is not a major work by an important designer or artist <input type="checkbox"/></li> <li>▪ has lost its design or technical integrity <input type="checkbox"/></li> <li>▪ its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/></li> <li>▪ has only a loose association with a creative or technical achievement <input type="checkbox"/></li> </ul>
<p><b>D – Social Significance</b></p> <p><i>An item has strong or special association with a particular community or cultural group in the local area for social, cultural or spiritual reasons.</i></p>	<p>A detailed social significance assessment has not been undertaken, however, Wilkinson House has social significance to SCEGGS students and community, particularly those who boarded there during the late 20<sup>th</sup> century. The building may be assumed to have significance as the location of many women's formative years and the significant personal action of relocating from regional NSW to Sydney for their schooling.</p> <p>It has also likely contributed to the sense of place and character of the area felt by both SCEGGS students and Darlinghurst residents due to its landmark qualities.</p>

Criteria	Significance Assessment
	<p><i>Wilkinson House reaches the threshold of local significance under this criterion.</i></p>
<p><u>Guidelines for Inclusion</u></p> <ul style="list-style-type: none"> <li>▪ is important for its associations with an identifiable group <input checked="" type="checkbox"/></li> <li>▪ is important to a community's sense of place <input checked="" type="checkbox"/></li> </ul>	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> <li>▪ is only important to the community for amenity reasons <input type="checkbox"/></li> <li>▪ is retained only in preference to a proposed alternative <input type="checkbox"/></li> </ul>
<p><b>E – Research Potential</b></p> <p><i>An item has potential to yield information that will contribute to an understanding of the local area's cultural or natural history.</i></p>	<p>Wilkinson House was the site of four terrace buildings constructed in the 1850s. There may be some low archaeological potential associated with these terraces, particularly associated with any former cesspits, yard scatters, rubbish pits, or drainage channels within the area, which may remain present in localised portions of the site.</p> <p>Further analysis of the building fabric of Wilkinson House is not anticipated to provide additional information regarding engineering, architectural practices, or design which is not evident elsewhere.</p> <p><i>Wilkinson House does not reach the threshold of local significance under this criterion.</i></p>
<p><u>Guidelines for Inclusion</u></p> <ul style="list-style-type: none"> <li>▪ has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/></li> <li>▪ is an important benchmark or reference site or type <input type="checkbox"/></li> <li>▪ provides evidence of past human cultures that is unavailable elsewhere <input type="checkbox"/></li> </ul>	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> <li>▪ the knowledge gained would be irrelevant to research on science, human history or culture <input type="checkbox"/></li> <li>▪ has little archaeological or research potential <input type="checkbox"/></li> <li>▪ only contains information that is readily available from other resources or archaeological sites <input type="checkbox"/></li> </ul>
<p><b>F – Rarity</b></p> <p><i>An item possesses uncommon, rare or endangered aspects of the local area's cultural or natural history.</i></p>	<p>Wilkinson House is one of only two Mediterranean/Georgian Revival buildings designed by Sodersten, and as such provides a rare example of his work in these more classical styles. Sodersten however is better known for his work in the Art Deco style for which he became a primary practitioner. Wilkinson House is therefore not considered to be one of his primary works. Wilkinson House is rare as Sodersten's earliest surviving building which reflects his origins in architecture and the formative influence of Professor Leslie Wilkinson. Wilkinson House may also be of interest as an example of a building where Sodersten also designed the interiors, however successive</p>

Criteria	Significance Assessment
	<p>alterations have diminished the legibility of the interiors (with the exception of the entrance foyer and lounge hall) to the extent that it is not considered a good example.</p> <p>Furthermore, while the Inter-War Georgian Revival and Mediterranean Revival styles are not necessarily rare within Sydney, only four other Georgian Revival and Mediterranean Revival residential flat buildings were identified within the Sydney area. This architectural style was more commonly utilised for commercial buildings and private dwellings. These additional flat buildings have also been somewhat modified (with the exception of Cheddington, also designed by Sodersten) and are not purely Georgian/Mediterranean Revival in style, combining elements of Spanish Mission, Provincial Italianate, and federation styles.</p> <p><i>Wilkinson House reaches the threshold of local significance under this criterion.</i></p>
<p><u>Guidelines for Inclusion</u></p> <ul style="list-style-type: none"> <li>▪ provides evidence of a defunct custom, way of life or process <input data-bbox="732 1051 755 1084" type="checkbox"/></li> <li>▪ demonstrates a process, custom or other human activity that is in danger of being lost <input data-bbox="732 1147 755 1181" type="checkbox"/></li> <li>▪ shows unusually accurate evidence of a significant human activity <input data-bbox="732 1244 755 1277" type="checkbox"/></li> <li>▪ is the only example of its type <input data-bbox="732 1340 755 1374" type="checkbox"/></li> <li>▪ demonstrates designs or techniques of exceptional interest <input data-bbox="732 1437 755 1471" type="checkbox"/></li> <li>▪ shows rare evidence of a significant human activity important to a community <input data-bbox="732 1534 755 1567" type="checkbox"/></li> </ul>	<p><u>Guidelines for Exclusion</u></p> <ul style="list-style-type: none"> <li>▪ is not rare <input data-bbox="1367 1012 1391 1046" type="checkbox"/></li> <li>▪ is numerous but under threat <input data-bbox="1367 1087 1391 1123" type="checkbox"/></li> </ul>
<p><b>G – Representative</b></p> <p><i>An item is important in demonstrating the principal characteristics of a class of NSWs (or the local area's):</i></p> <ul style="list-style-type: none"> <li>▪ <i>cultural or natural places; or</i></li> <li>▪ <i>cultural or natural environments.</i></li> </ul>	<p>Wilkinson House is representative of an Inter-War flat buildings and reflects the residential flat building boom of the 1920s and changing residential occupation of the inner suburbs of Sydney, during this period.</p> <p>Wilkinson House is a representative example of the Inter-War Georgian and Mediterranean Revival architectural styles. It is a fine example of the somewhat unusual application of these styles to residential flat buildings. Wilkinson House features several key characteristics of the style, such as symmetrical, simple facades, multi-paned windows, decorative brickwork, arches, decorative</p>

Criteria	Significance Assessment
	<p>plaster details, and deep eaves. The remaining original entrance lobby and lounge hall is highly intact and is a fine example of the grandeur of 1920s apartment entrances, featuring many ornate details such as decorative glass, fireplaces, and ceilings.</p> <p><i>Wilkinson House reaches the threshold of local significance under this criterion.</i></p>
<p><b>Guidelines for Inclusion</b></p> <ul style="list-style-type: none"> <li>▪ is a fine example of its type <input checked="" type="checkbox"/></li> <li>▪ has the principal characteristics of an important class or group of items <input checked="" type="checkbox"/></li> <li>▪ has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity <input checked="" type="checkbox"/></li> <li>▪ is a significant variation to a class of items <input checked="" type="checkbox"/></li> <li>▪ is part of a group which collectively illustrates a representative type <input type="checkbox"/></li> <li>▪ is outstanding because of its setting, condition or size <input type="checkbox"/></li> <li>▪ is outstanding because of its integrity or the esteem in which it is held <input type="checkbox"/></li> </ul>	<p><b>Guidelines for Exclusion</b></p> <ul style="list-style-type: none"> <li>▪ is a poor example of its type <input type="checkbox"/></li> <li>▪ does not include or has lost the range of characteristics of a type <input type="checkbox"/></li> <li>▪ does not represent well the characteristics that make up a significant variation of a type <input type="checkbox"/></li> </ul>

## 6.2. STATEMENT OF SIGNIFICANCE

### 6.2.1. State Heritage Inventory (Sydney LEP 2012)

The following statement of significance has been extracted from the State Heritage Inventory. Only text relevant to Wilkinson House has been extracted. For the full statement of significance please refer to the State Heritage Inventory or the SCEGGS Darlinghurst CMP.

*Originally named the Gwydir Flats, Wilkinson House is significant at a local level primary for its historic, aesthetic and social values. It a prominent location, the building makes a positive contribution to Forbes and St Peters Streets and to the Heritage Conservation Area. It is notable for its continuing residential use over the last 75 years and provides evidence of the residential flat building boom of the 1920s that permanently changed the residential pattern of Darlinghurst.*

*Wilkinson House is associated with the early stages of the career of the prominent early twentieth-century architect, Emil Sodersten, and could be, if not the first commission, then perhaps the last remaining of his early buildings in Sydney.*

*As a boarding house, the building has been associated with the historical development of SCEGGS Darlinghurst over a forty years period, playing an important role in the life of past and present boarders and staff. It continues to provide a focus of memories of their time at the*

*school as well as being associated with traditions that contribute to the continually developing sense of the School's identity.*

*Although not constructed to the original level of detail, Wilkinson House is representative of the construction of apartment buildings during the 1920s and of the use of an eclectic collection of architectural styles, displaying references to Inter-War Mediterranean, Spanish Mission and Georgian Revival influences.*

*Wilkinson House is significant for its continuous use since it was built for accommodation and for the long association with SCEGGS boarders and their strong attachment to the building as their 'home.' The building has historic social significance for its association with SCEGGS boarders. The building is historically significant for its association with Emil Sodersten, a key architect of the inter-war period in Sydney. Significant elements include original plaster ceilings to the majority of the building and ability to interpret the original apartment configuration, the intact entry foyer and lobby.*

### **6.2.2. CMP (2001) Statement of Significance**

The following statement of significance has been extracted from the 2001 CMP for Wilkinson House:

*Originally named the Gwydir Flats, Wilkinson House is significant at a local level primarily for its historic, aesthetic and social values.*

*In a prominent location, the building makes a positive contribution to Forbes and St Peters Streets and to the Heritage Conservation Area. It is notable for its continuing residential use over the last 75 years and provides evidence of the residential flat building boom of the 1920s that permanently changes the residential pattern of Darlinghurst.*

*Wilkinson House is associated with the early stages of the career of the prominent early twentieth-century architect, Emil Sodersten and could be, if not his first commission, then perhaps the last remaining of his early buildings in Sydney.*

*As a boarding house, the building has been associated with the historical development of SCEGGS Darlinghurst over a forty-year period, playing an important role in the life of past and present boarders and staff. It continues to provide a focus for memories of their time at the school as well as being associated with traditions that contribute to the continually developing sense of the School's identity.*

*Although not constructed to the original level of detail, Wilkinson House is representative of the construction of apartment buildings during the 1920s and of the use of an eclectic collection of architectural styles, displaying references to Inter-War Mediterranean, Spanish Mission and Georgian Revival influences.*

### **6.2.3. Revised Statement of Significance**

The revised statement of significance prepared by Urbis for this CMP is as follows:

Wilkinson House, originally constructed as the Gwydir Flats, is historically significant within Darlinghurst and inner city for its ability to demonstrate the historic transition towards residential flat building in the Inter-War period, which was necessary to accommodate higher density and more affordable housing close to the Sydney CBD in this period. Wilkinson House is also historically significant for its association with SCEGGS (the Sydney Church of England Girls Grammar School) and its students, and was acquired and altered by the school in order to provide boarders accommodation for the growing number of school students during the 1960s and its subsequent conversion to a Senior Education Centre in 2002 has continued its use and association with the school for over 60 years.

In addition to its association with SCEGGS, Wilkinson House is also associated with Emil Sodersten, the prominent and notable Sydney based architect who was a leading practitioner of the Art Deco style. Wilkinson House is aesthetically significant as a fine example of the Inter-War Georgian and Mediterranean Revival styles. It retains many characteristics of these

styles, such as symmetrical and balanced facades and proportions, multi-paned Georgian windows, arches, decorative brickwork, and classical Mediterranean inspired elements such as Doric columns, barley twists, and cartouches. Wilkinson House is the earliest surviving building designed by Sodersten, and is one of only two Mediterranean and Georgian Revival buildings designed by Sodersten and as such provides a rare example of his work in these more classical styles. However, Sodersten is better known for his work in the Art Deco style and is not considered to be one of his primary works. The entrance foyer and lounge hall are also fine examples of Sodersten's focus on providing grand and traditional communal spaces.,

Wilkinson House is also likely to demonstrate social significance on account of its over 60 year association with SCEGGS, particularly boarders who experienced their formative years there. The building also likely contributes to the community's sense of place – both that of SCEGGS students and Darlinghurst residents – on account of its landmark qualities and contributes to the significance of the East Sydney Heritage Conservation Area.

## 6.3. SIGNIFICANT VIEWS AND VISTAS

Significant views to Wilkinson House have been identified previously in Section 2.2. Figure 140 and Table 14 provide a summary of the views and significant views to and from Wilkinson House.

Table 14 – Significant views to Wilkinson House

View	Location & Direction	Significance	Image
1	Forbes Street, West	High	
2	Forbes Street, North	High	

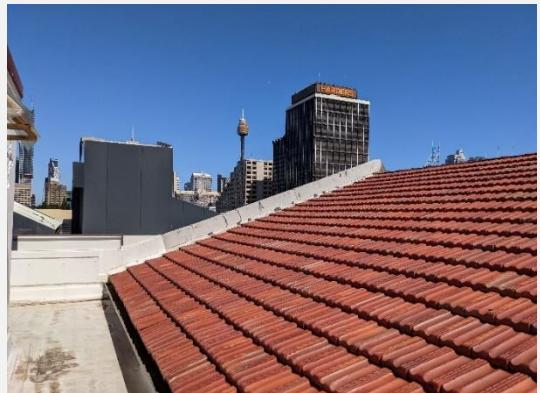
View	Location & Direction	Significance	Image
3	Forbes Street, South	Moderate	
4	St Peters Street, South	High	
5	Wilkinson House, west	High	



Figure 140 – Significant views to Wilkinson House

## 6.4. LEVELS AND GRADINGS

The Heritage Council of NSW recognises four levels of heritage significance in NSW: Local, State, National and World. The level indicates the context in which a heritage place is important (for example, local heritage significance means the place is important to the local area or region). Heritage places that are rare, exceptional or outstanding beyond the local area or region may be of state or national significance.

In most cases, the level of heritage significance for a place has a corresponding statutory heritage listing and responsible authority for conserving them.

Different components of a place may contribute in different ways to its heritage value. The gradings of significance adopted for this CMP are based on those definitions as developed by the Heritage Council of NSW, as included in Table 15 with the inclusion of a Neutral grading.

Table 15 – Gradings of Significance

Grading	Justification	Status
Exceptional	Rare or outstanding element directly contributing to the place's overall heritage significance; they retain a high degree of integrity and intactness.	Fulfils criteria for local or state listing.

Grading	Justification	Status
High	Element has a high degree of original fabric and demonstrates a key element of the place's significance.	Fulfils criteria for local and/or state listing.
Moderate	Element is altered or modified; has little heritage value but contributes to the overall significance of the item.	May fulfills criteria for local listing.
Little	Element may be difficult to interpret or may have been substantially modified.	Does not fulfill criteria for local or state listing.
Neutral	Elements do not add or detract from the site's overall heritage significance.	Does not fulfill criteria for local or state listing.
Intrusive	Elements are damaging to the place's heritage significance.	Does not fulfill criteria for local or state listing.

Each element's significance has been graded having specific regard to its contribution to the overall significance of the place, its period of construction and its condition. It is noted that no elements of Wilkinson House are considered to be of Exceptional significance. The corresponding stage of development for elements is outlined in Table 16.

Table 16 – Stages of Development

Stage	Description	Date
Stage 1	Original Gwydir Flats	1926-1960
Stage 2	SCEGGS boarders use	1960-2001
Stage 3	SCEGGS classrooms and offices	2001-present

## 6.5. DIAGRAMS OF SIGNIFICANT ELEMENTS

The following plans identify and grade the significant elements of Wilkinson House. Please note the following diagrams of significant elements are to be read in conjunction with the Schedule of Significant Elements provided above in Section 6.6. The grading of elements in the following diagrams refer to the overall form, structure, and spaces.

## SIGNIFICANCE GRADING Basement

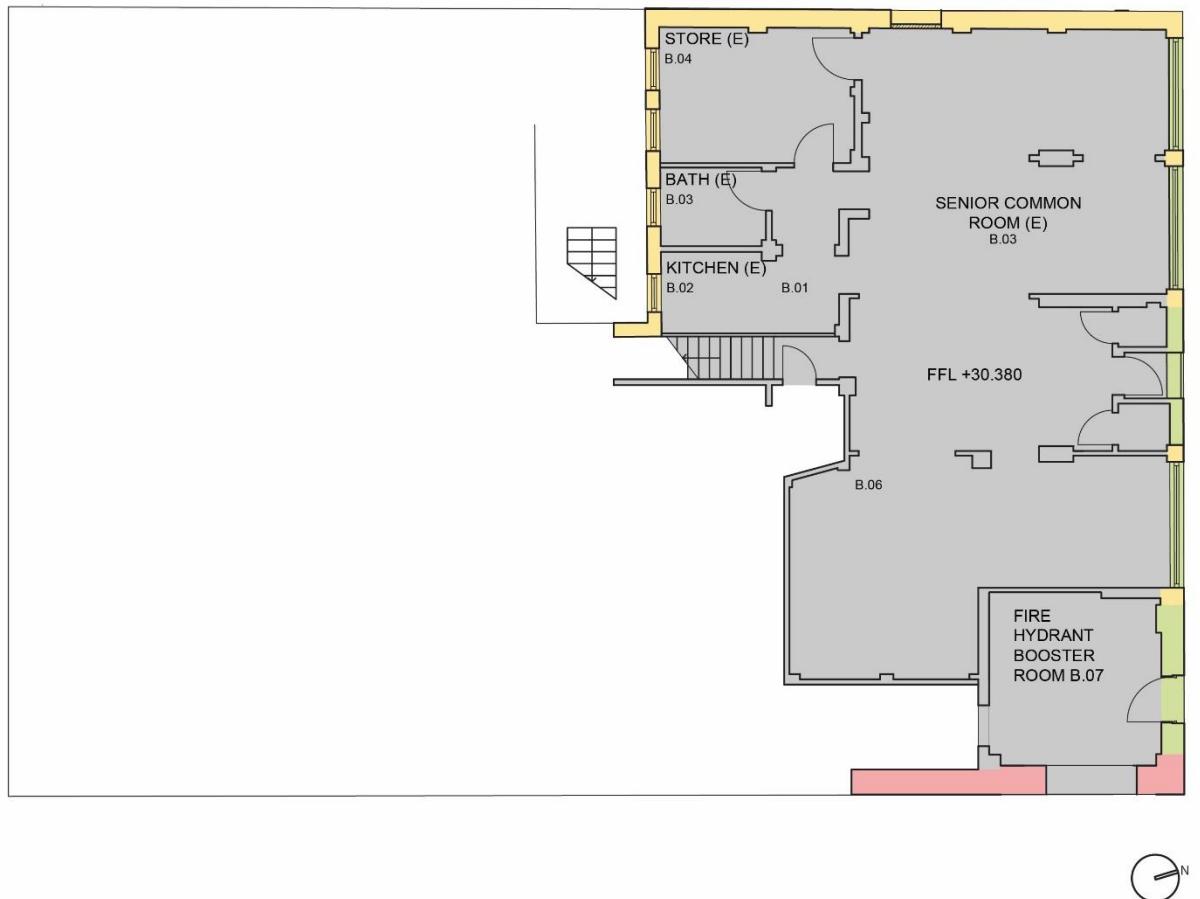


Figure 141 – Significance grading of basement level of Wilkinson House.

# SIGNIFICANCE GRADING

## Ground Level

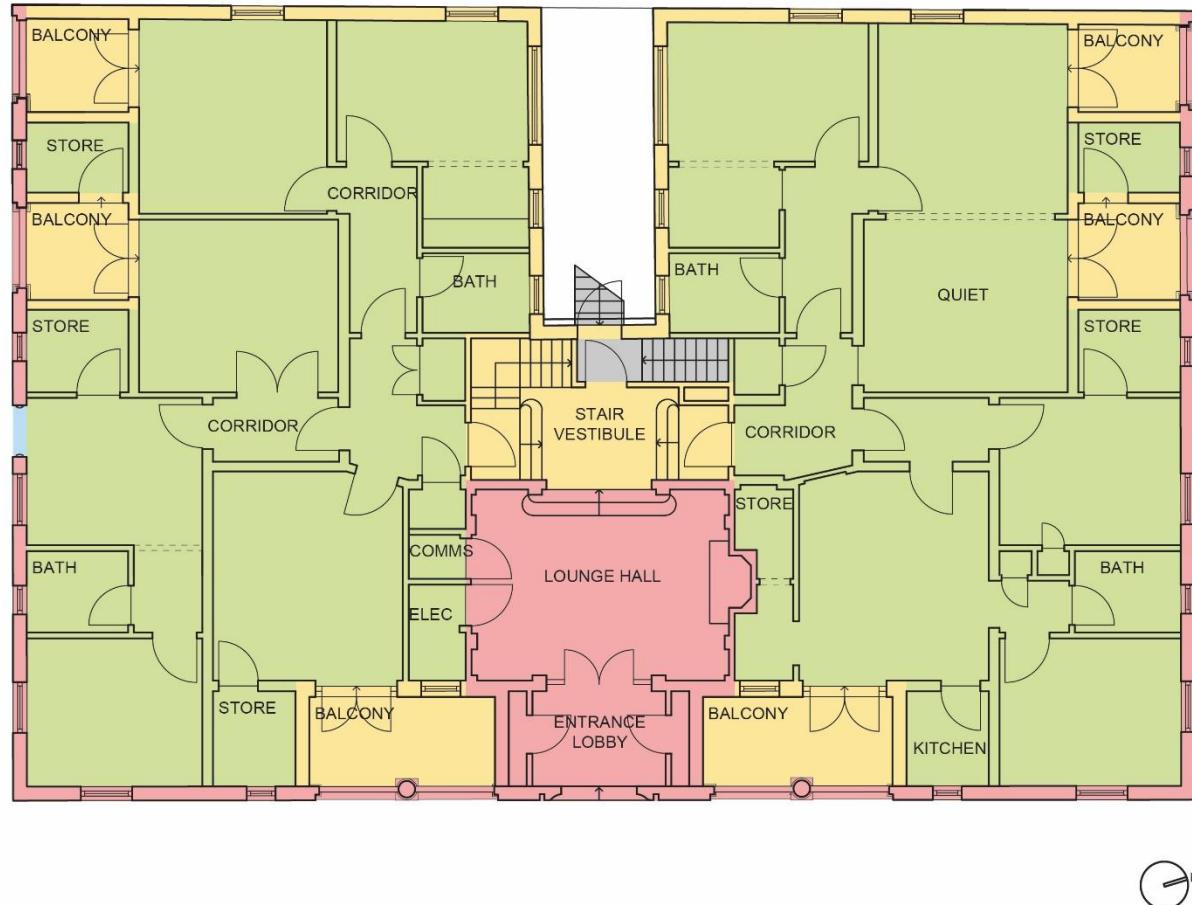


Figure 142 – Significance grading of ground level of Wilkinson House

# SIGNIFICANCE GRADING

## Level 1



Figure 143 – Significance grading of Level 1 of Wilkinson House

*Grading refers to the significance of the overall heritage value structure and spaces. For significance rankings of individual elements and further detail, refer to the Schedule of Significant Elements.*

**Key**

- Exceptional
- High
- Moderate
- Little
- Neutral
- Intrusive

## SIGNIFICANCE GRADING Level 2

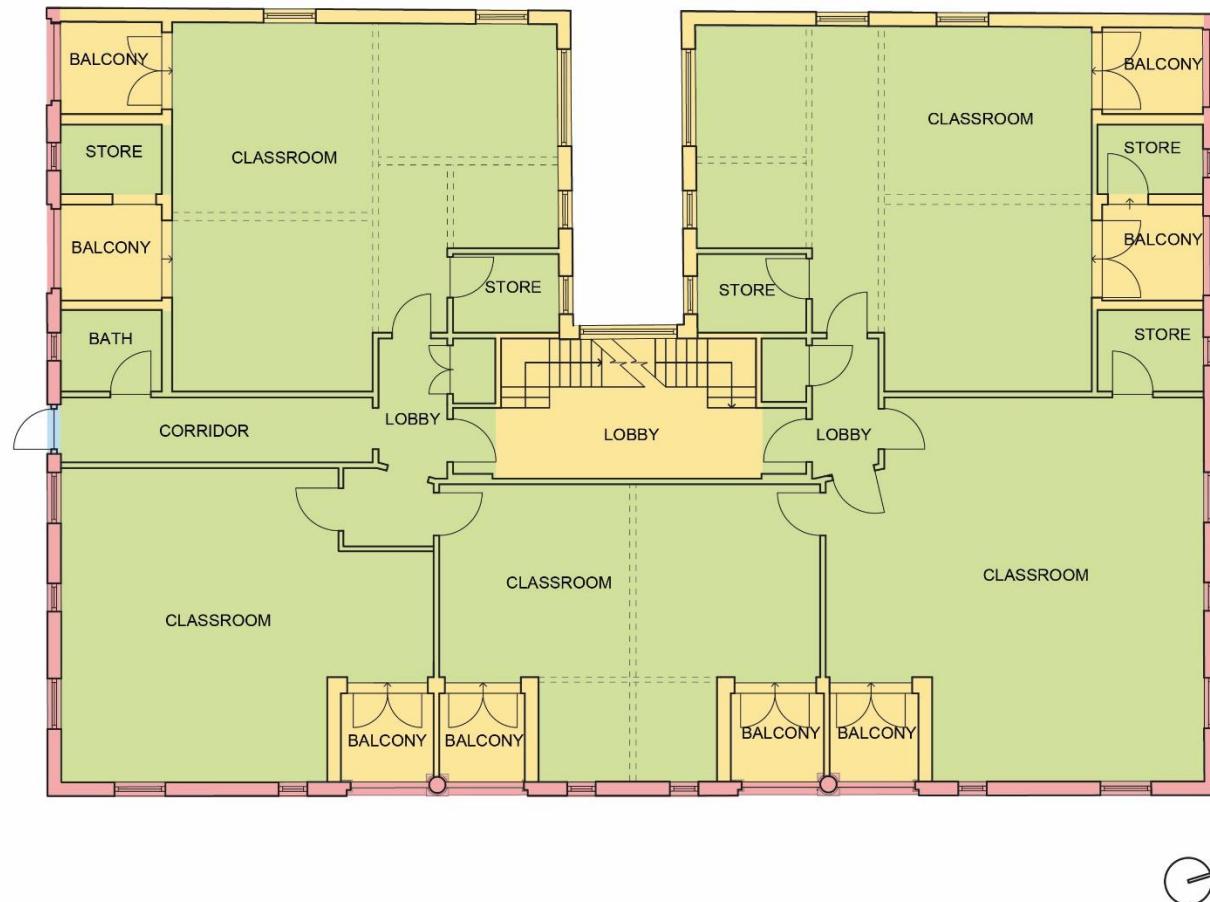


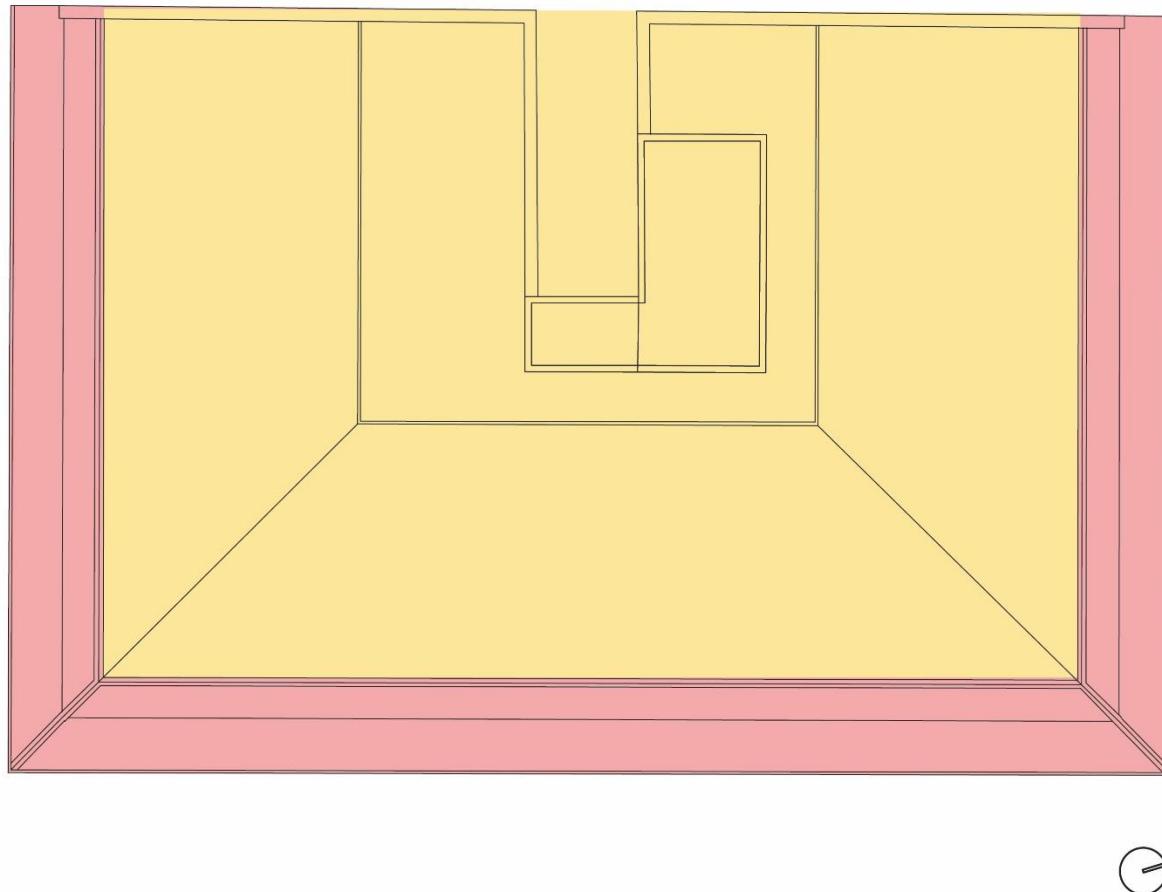
Figure 144 – Significance grading of Level 2 of Wilkinson House

Grading refers to the significance of the overall heritage value structure and spaces. For significance rankings of individual elements and further detail, refer to the Schedule of Significant Elements.

**Key**

- Exceptional
- High
- Moderate
- Little
- Neutral
- Intrusive

## SIGNIFICANCE GRADING Roof



Grading refers to the significance of the overall heritage value structure and spaces. For significance rankings of individual elements and further detail, refer to the Schedule of Significant Elements.

Key
Exceptional
High
Moderate
Little
Neutral
Intrusive

Figure 145 – Significance grading of the roof of Wilkinson House

# SIGNIFICANCE GRADING

## Elevation East



Grading refers to the significance of the overall heritage value structure and spaces. For significance rankings of individual elements and further detail, refer to the Schedule of Significant Elements.

Key	Exceptional
	High
	Moderate
	Little
	Neutral
	Intrusive

Figure 146 – Significance grading of east elevation of Wilkinson House



## SIGNIFICANCE GRADING

### Elevation North

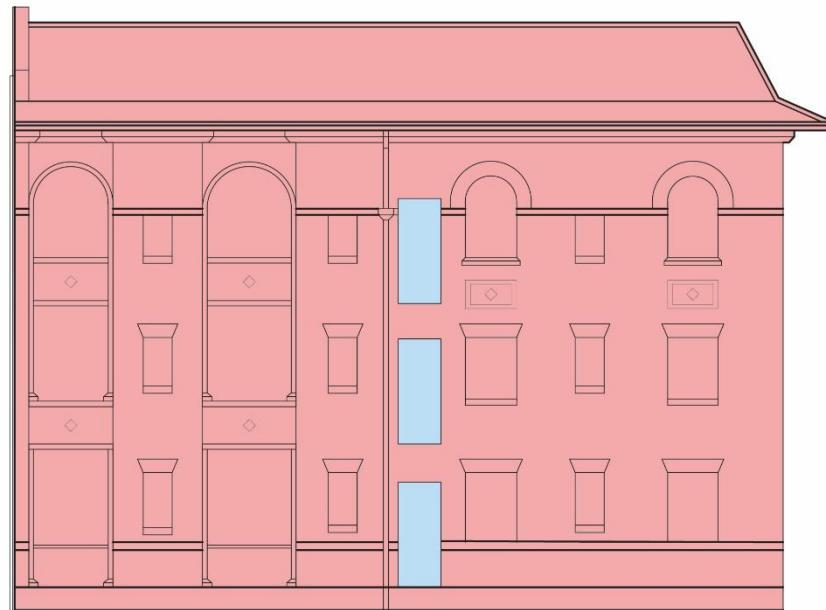
Grading refers to the significance of the overall heritage value structure and spaces. For significance rankings of individual elements and further detail, refer to the Schedule of Significant Elements.

Key	
Exceptional	
High	
Moderate	
Little	
Neutral	
Intrusive	

Figure 147 – Significance grading of north elevation of Wilkinson House

# SIGNIFICANCE GRADING

## Elevation South

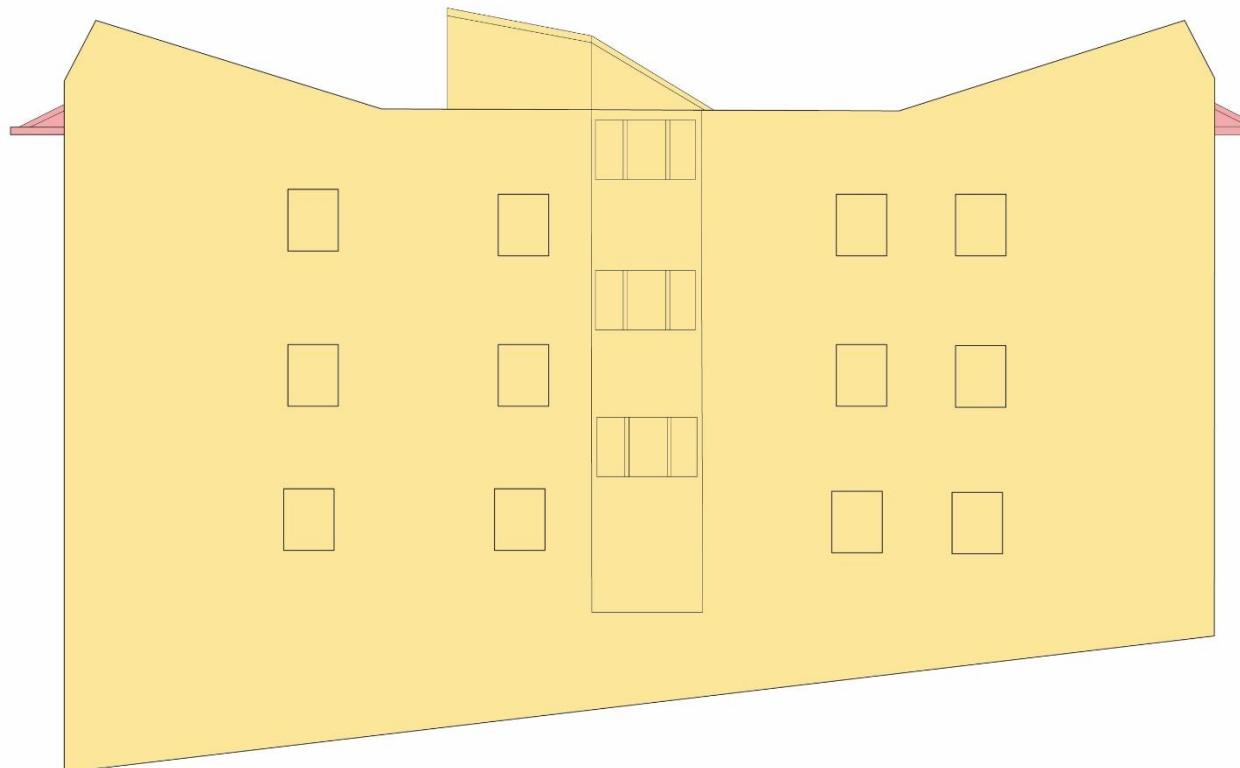


Grading refers to the significance of the overall heritage value structure and spaces. For significance rankings of individual elements and further detail, refer to the Schedule of Significant Elements.

Key
Exceptional
High
Moderate
Little
Neutral
Intrusive

Figure 148 – Significance grading of south elevation of Wilkinson House

## SIGNIFICANCE GRADING Elevations West



Grading refers to the significance of the overall heritage value structure and spaces. For significance rankings of individual elements and further detail, refer to the Schedule of Significant Elements.

Key	
Exceptional	
High	
Moderate	
Little	
Neutral	
Intrusive	

Figure 149 – Significance grading of west elevation of Wilkinson House

## 6.6. SCHEDULE OF SIGNIFICANT ELEMENTS

Various elements of Wilkinson House have been graded below in relation to their contribution to the overall heritage significance of the place. Elements include buildings, structures and other elements that are located within the curtilage of the place.

This schedule of significant elements does not include a comprehensive list of movable heritage items within Wilkinson House.

Table 17 – Schedule of Significant Elements

Element	Description	Stage	Grading
<b>Exterior</b>			
<b>Overall form</b>			
Principal form	Overall form, massing, scale and architectural character of Wilkinson House	1	High
	External walkways connecting to the Centenary Sports Hall	3	Neutral
<b>Roof</b>			
Overall roof form	Half hipped roof form (outer face)	1	High
	Catslide roof (inner face)	1	Moderate
Structure	Timber roof structure	1	Moderate
	Roof terrace space	1	Moderate
Roof terrace	Marseille terracotta roof tiles	2	Little
Cladding	Roofing membrane to roof terrace	3	Neutral
Stairwell overrun	Rooftop room to central stairwell including timber door and vents	1	Moderate
<b>General Elevation Elements</b>			
Brickwork (inc. decorative)	All red brickwork on south, east and north elevation	1	High
	Brickwork dentils	1	High
	Common brickwork at west elevation	1	Moderate
	Recessed brick friezes below balconies and windows	1	High
	Rendered string courses	1	High
Eaves	Deep eaves; soffits; and decorative air vents	1	High
Balconies (inc. columns)	Balcony alignment, Doric columns, barley twist arches and arched lintels	1	High
Windows	All double hung timber sash windows on the north, west and south elevations	1	High

Element	Description	Stage	Grading
Rainwater goods	Double hung timber sash windows on west elevation and in lightwell Steel multi-paned windows to lightwell Contemporary gutters Remnant cast iron downpipes Contemporary downpipes and hoppers	1 1 2/3 1 2/3	Moderate Moderate Neutral Moderate Neutral
Services and Security	Security bars on balconies Services chased into brickwork (eg. fire sprinklers) Services attached at mortar joints	2 2-3 2-3	Intrusive Intrusive Neutral
<b>Forbes Street (east) Elevation</b>			
Overall Elevation	Overall elevation and original architectural details	1	High
Front Entrance	Front door architraves, cornices, corbels, acroteria, and fanlight Timber double leaf door (further investigation needed, if original High significance) Hardware to timber double leaf door	1 1 or 2/3 2/3	High High or Little Neutral
Cartouche	Ornate plaster cartouche	1	High
School emblem	SCEGGS school crest	2	Moderate
'Wilkinson House' text	Wilkinson House lettering	2	Moderate
Light fittings and candelabra	Metal candelabra adjacent to front door	1	High
<b>St Peters St (north) Elevation</b>			
Overall Elevation	Overall elevation and original architectural details	1	High
Columns	Rendered columns to basement elevation	1	Moderate
Brick infill	Brick infill to basement elevation	2	Little
Doors	Door to sprinkler room and basement	2	Little
Windows	Aluminium framed windows at basement level	2	Little

Element	Description	Stage	Grading
<b>South Elevation</b>			
Overall Elevation	Overall elevation and original architectural details	1	High
Openings	New openings and doors at Ground, Level 1 and 2	2-3	Intrusive
Balconies	Later windows used to enclose balconies at Level 1	2-3	Intrusive
<b>West Elevation</b>			
Overall elevation	Overall elevation and original architectural details	1	Moderate
Light well	Original light well structure and form	1	Moderate
Additions	Skillion roof addition to lightwell at basement	2	Neutral
<b>Interior</b>			
<b>General Internal Elements</b>			
Structure	Timber structure including bearers and joists	1	Moderate
	Concrete structure to basement, staircase and balconies	1	Moderate
Staircase	Central staircase, timber balustrade, and terrazzo flooring from Ground level to Level 2	1	Moderate
	Concrete treads from Level 2 to roof level	1	Little
Balconies	All balcony elements include concrete floors, stone threshold, timber boarded ceilings	1	Moderate
Ceilings	Original decorative plaster ceilings in former lounge rooms and bedrooms	1	Little
	Original decorative plaster cornices	1	Little
	All contemporary suspended ceilings	3	Neutral
Doors	All original timber doors (including hardware)	1	Little
	All contemporary timber doors and hardware	2-3	Neutral
Timberwork	All original timber skirtings, architraves and picture rails	1	Little
	Original timber floorboards	1	Little
	All contemporary timber skirtings, architraves and picture rails	2-3	Neutral

Element	Description	Stage	Grading
Floors	All contemporary floor finishes including carpet and tiles	2-3	Neutral
Kitchens & Bathrooms	All kitchen and bathroom fitouts	2-3	Neutral
Services	All existing services	2-3	Neutral
<b>Basement Level</b>			
Space	Overall basement space including remnant walls of former garage and shop spaces	1-3	Neutral
	Overall sprinkler room space	1-3	Neutral
Staircase	Staircase to ground level	3	Neutral
<b>Ground level</b>			
Spaces	Entrance lobby and lounge hall	1	High
	Staircase vestibule	1	Moderate
	Balconies	1	Moderate
	Existing floor layout (modified)	1-3	Little
Entrance lobby and lounge hall	All original fabric including vaulted ceiling, fireplace, plaster cornices and pilasters, timber doors, skirting, architraves and floors, terrazzo flooring, leadlight fanlights and sidelights	1	High
	Former office and telephone booths	1-2	Little
Staircase Vestibule	Opening from lounge hall to stair vestibule	1	High
	Terrazzo stairs in stair vestibule	1	Moderate
<b>Level 1</b>			
Spaces	Existing floor layout (modified)	1-3	Little
	Staircase vestibule	1	Moderate
	Balconies (original)	1	Moderate
	Balconies (enclosed at south)	1-3	Little
<b>Level 2</b>			
Spaces	Existing floor layout (modified)	1-3	Little
	Staircase vestibule	1	Moderate
	Balconies	1	Moderate

# 7. OPPORTUNITIES AND CONSTRAINTS

## 7.1. INTRODUCTION

The conservation planning process established by the *Burra Charter* (the Australia ICOMOS Charter for the Conservation of Places of Cultural Significance) requires that relevant constraints be identified for developing conservation policies for places of significance. These constraints include:

- Obligations arising from the cultural significance of the place;
- Physical constraints of the place, including environmental factors and the physical condition of the fabric;
- Relevant statutory and non-statutory controls;
- Owner's needs, resources and other external constraints; and
- Obligations involved in undertaking research, maintaining records and communicating the heritage values of the place.

The assessment of the following specific constraints and opportunities will result in appropriate policies for Wilkinson House.

## 7.2. OBLIGATIONS ARISING FROM STATUTORY AND NON-STATUTORY REQUIREMENTS

Approvals for works to the site may be required under the *EP&A Act* as outlined above in Part 1, Section 7 of the SCEGGS Darlinghurst campus CMP. This section should be referred to prior to undertaking any works. Any future proposed changes Wilkinson House must be undertaken in accordance with the relevant planning legislation, the NSW Heritage guidelines and provisions, the best practice principles of the *Burra Charter* and with reference to the provisions of this CMP and Part 1 CMP.

As Wilkinson House is listed as part of the SCEGGS School group under the *Sydney LEP 2012*, any proposed development is required to be accompanied by, at a minimum, a Heritage Impact Statement.

## 7.3. OBLIGATIONS ARISING FROM HERITAGE SIGNIFICANCE AND INTEGRITY OF FABRIC

This CMP provides an analysis of the significance of the subject site in its present form. It has been determined that the Wilkinson House is individually significant at a local level for its historic, associative, aesthetic, and representative values and for its rarity (refer to Section 6.2.3).

This places an obligation on the owners, occupiers and users of the place and any other stakeholders responsible for or involved in the maintenance and management of the building, to conserve this identified significance. This includes internal and external fabric, elements and structures of the place identified in Sections 6.5 and 6.6.

Any future proposed changes to the place must be undertaken in accordance with the *Sydney LEP 2012* and *Sydney DCP 2012*, the *Burra Charter* and with reference to the policy recommendations of this CMP (Part 2) and the Part 1 CMP. Management of the place should seek to retain and enhance the places significance and character. The significance of the site is summarised in Section 6.2.

Specific policies for the treatment of fabric have been set out below in Section 7.7.7 and Section 8. However, general constraints in relation to the elements, fabric and spaces of heritage significance and setting include:

- The Statement of Significance embodies the core heritage values of Wilkinson House. All future decisions and works to the building must be guided by the Statement of Significance and the identified significant spaces, fabric and building elements identified in this CMP (Part 2) and the Part 1 CMP, together with any additional detailed research and assessment. This significance is defined in Sections 6.5 and 6.6. Fabric and spaces of High significance should generally be retained and conserved, with consideration for policies herein.
- Management and maintenance of Wilkinson House should aim to conserve its heritage significance whilst facilitating appropriate ongoing use. The place should be maintained in accordance with the

cyclical maintenance plan included in Section 9. If any future major works are proposed, a Schedule of Conservation Works should be prepared.

- Works should be undertaken in accordance with the principles of the Australia ICOMOS, the *Burra Charter*.
- The contribution that the building makes to St Peters and Forbes Street as well as the East Sydney Heritage Conservation Area should be maintained and conserved along with significant views and vistas identified in Section 6.3.
- The contribution the building makes to the SCEGGS Darlinghurst campus and the significance of the campus as a whole
- Works to achieve compliance or environmental performance standards should be carefully considered in conjunction with heritage advice.
- Elements identified as intrusive should be removed.

## 7.4. HISTORICAL ARCHAEOLOGY

The assessment of archaeological potential (Section 4.3.1) and significance (Section 4.3.3) have established that there is low potential for historical archaeological relics to occur within the footprint of Wilkinson House.

Based on these findings, the following recommendations are made:

- Before any works are undertaken which would impact the ground surface, an application should be made for an Excavation permit exception under Section 139(4) of the *Heritage Act 1977*.
- Archaeological monitoring should also be undertaken throughout the course of any works which would impact the ground surface and should follow the guidelines as provided in Section 7.4.1 below.
- In the event that potential relics are identified during the course of archaeological monitoring, mechanical excavation must immediately cease, Heritage NSW be contacted and an application be made for an Excavation permit under Section 140 of the *Heritage Act 1977*.

\* In the event that the proposal is a State Significant Development (SSD), the provisions of the *Heritage Act 1977*, do not apply. The development application will instead be assessed under Division 5.2 of the *Environmental Planning and Assessment Act 1979* (EP&A Act). Projects approved under Division 5.2 do not require approval under Part 4 of the *Heritage Act 1977*, however, accompanying documentation must outline proposed mitigations measures for any potential harm to relics. The Standard Secretary's Environmental Assessment Requirements (SEARs) must also be strictly adhered to.

*Note: This section provides management recommendations in respect of locally significant relics only. In the event that relics of potential State significance are recovered during the course of works, all works must cease, Heritage NSW be notified, and the relevant permits be obtained.*

### 7.4.1. Archaeological Monitoring

In general, archaeological monitoring should adhere to the following:

- Demolition should be undertaken in such a way as to minimise impacts to foundations and subsurface structures. The archaeologist should initially be consulted about the proposed demolition methodology.
- The archaeologist should be present at all times where there is potential to remove historical archaeological resources.
- Where a mechanical excavator is used, it must have a flat or mud bucket, rather than a toothed bucket, to ensure a level ground surface.
- All machinery should work backwards from a slab surface in order to avoid damage to any exposed archaeological relics.
- The soil should be removed in layers, which reflect the archaeological stratigraphy and as instructed by the archaeologist.

## 7.5. ABORIGINAL ARCHAEOLOGY

The archaeological assessment has established that there is low potential for Aboriginal archaeological resources to occur within the footprint of Wilkinson House.

Based on these findings, the following recommendations are made:

- Although considered highly unlikely, should any Aboriginal objects, archaeological deposits be uncovered during any site works, a Chance Find Procedure must be implemented. The following steps must be carried out:
  - All works stop in the vicinity of the find. The find must not be moved 'out of the way' without assessment.
  - The archaeologist and Aboriginal representative on site examine the find, provides a preliminary assessment of significance, records the item for the AHIMS register and decides on appropriate management. Such management may require further consultation with the Aboriginal Cultural Heritage Regulation Branch of the Department of Premier and Cabinet (DPC), preparation of a research design and archaeological investigation/salvage methodology and decision on temporary care and control.
  - Depending on the significance of the find, reassessment of the archaeological potential of the subject area may be required, and further archaeological investigation undertaken.
  - Reporting may need to be prepared regarding the find and approved management strategies. Any such documentation should be appended to the ACHAR and revised accordingly.
  - Works in the vicinity of the find can only recommence when all management measure all implemented, and the find is removed from the activity area. Should the find be an unmovable item such as an engraving or grinding groove located on a sandstone surface, further management measures will need to be introduced to avoid harm to the find.
- In the unlikely event that human remains are uncovered during any site works, the following must be undertaken:
  - All works within the vicinity of the find immediately stop.
  - Site supervisor or other nominated manager must notify the NSW Police and DPC.
  - The find must be assessed by the NSW Police, and may include the assistance of a qualified forensic anthropologist.
  - Management recommendations are to be formulated by the Police, DPC and site representatives.
  - Works are not to recommence until the find has been appropriately managed.
- While an ACHA has been prepared for the whole site, future applications may require the continuation of or renewal of the consultation process in accordance with the Consultation Requirements for Proponents (DECCW, 2010).

## 7.6. SCEGGS DARLINGHURST REQUIREMENTS

### 7.6.1. 2040 Masterplan and Concept SSDA (SSD 8993)

A 2020 Masterplan for the progressive redevelopment of the site was prepared and endorsed by the former South Sydney Council in the 1990s. The 2020 Masterplan envisaged substantial new buildings to be constructed on the site including works within the St Peters Precinct. At the completion of the Joan Freeman Science and Technology building in 2013, the 2020 Masterplan had largely been realised.

In 2012 SCEGGS Darlinghurst commenced a process to develop a new masterplan to guide future development across the site, referred to as the 2040 Masterplan. This updated masterplan provides the long term vision for the staged development of the site over the next twenty years to 2040. The SCEGGS 2040 Masterplan "Our Path Ahead", gives form to the school's vision for the future needs of the school to meet contemporary and evolving learning and education standards.

The State Significant Development (SSD 8993) lodged to DPIE in February 2019 sought to realise the 2040 Masterplan. The SSD comprised both the Concept DA (for the Masterplan) and a detailed Stage 1 DA for the proposed demolition of Wilkinson House and the construction of a new four storey education building.

The Concept DA sought consent for the redevelopment of the campus in three stages:

- Stage 1 – Redevelopment of Stage 1 – Wilkinson House
- Stage 2 – Conservation works to Barham House and development of new three storey Administration Building
- Stage 3 - Demolition of existing buildings and construction of a new six storey Multi-purpose building.

The Concept DA proposed demolition of a number of buildings and structures across the SCEGGS Darlinghurst campus including:

- Wilkinson House
- Old Science Buildings
- Library Building
- Old Gym
- Additions to Chapel Building
- Additions to Barham

In place of the demolished buildings and structures, a new multipurpose building was proposed in the former location of the Old Science Building, Library Building, Old Gym and additions to the Chapel Building. A new addition was also proposed to the east of Barham to function as a new Administration Building. Wilkinson House was proposed to be demolished and replaced with a new building.

As part of the SSDA submission, an options analysis for the redevelopment (including adaptive re-use options) of Wilkinson House was considered.

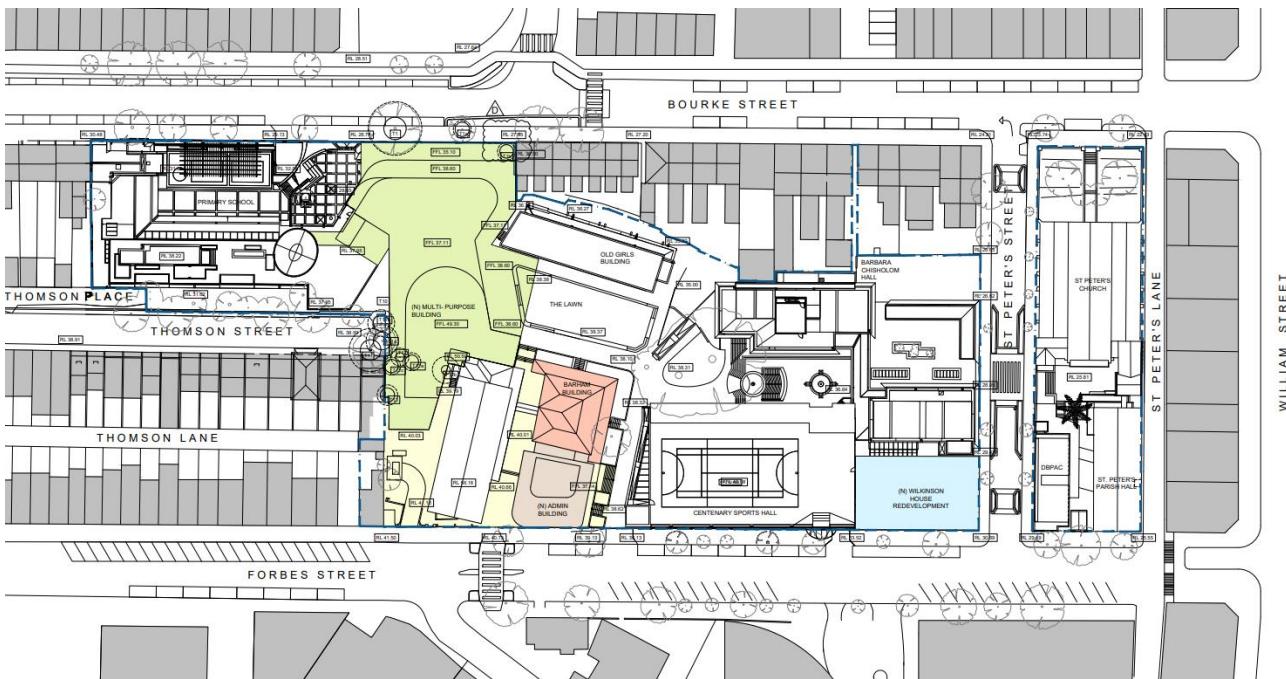


Figure 150 – Approved Concept Site Plan.

Source: Approved SSD-8993, 22 May 2020, Sheet no 1 of 38.

On 22 May 2020, the Independent Planning Commission (IPC) approved the Concept DA for the development of the SCEGGS Darlinghurst campus. The approved Concept SSDA included new building envelopes, building locations, vehicular access points, and land uses to accommodate the works required by the SCEGGS 2040 Masterplan.

Specifically, concept approval was granted for:

- demolition of Science and Library Building, Old Gym Building, part of additions to Barham Building;
- conservation works to the existing Barham Building for use for general school purposes;
- three building envelopes and land use comprising:
  - maximum six storey Multi-Purpose Building envelope for general school purposes and childcare centre and including pick-up/drop-off and car parking facilities;
  - four storey Wilkinson House building envelope for general school purposes (as Amended by Condition A5); and
  - maximum three storey Administration Building Envelope for general school purposes.

Development Consent was not granted for Stage 1 works to Wilkinson House, including the demolition of existing Wilkinson House, excavation of a basement and construction of a new 4 storey building for general school purposes. The Concept Approval only approved the existing building envelope of the Wilkinson House.

DPIE in their assessment of SSD 8993 concluded that the proposed demolition and replacement of Wilkinson House was justified on the basis of the educational needs of the school. However, the IPC held a view that the adaptive re-use of the building had not been sufficiently explored. The IPC therefore did not approve demolition of the existing Wilkinson House, excavation of basement and construction of a new 4 storey building for general school purpose or the construction of 10 temporary demountable classrooms for use during Stage 1 works. All other works as part of the Concept DA, however, were approved.

## 7.6.2. Stage 1 Concept DA Conditions of Consent

As part of the modified Conditions of Consent for the Concept Proposal, Conditions A13 and B4A requires the preparation of CMPs for the whole of the SCEGGS Darlinghurst campus and Wilkinson House as part of the Stage 1 detailed SSDA. This CMP has been prepared to satisfy Condition B4A for the development of a detailed CMP for Wilkinson House:

B4A. A detailed CMP for Wilkinson House must be prepared by a suitably qualified heritage consultant. The CMP for Wilkinson House must:

- (a) be consistent with the endorsed overarching CMP in condition A13;
- (b) be prepared in consultation with Council;
- (c) include details of options for the adaptive re-use of Wilkinson House; and
- (d) be submitted prior to or with the future detailed development application for Wilkinson House, associated with the Concept Approval.

The Part 1 CMP for the overall SCEGGS Darlinghurst campus (dated 26 November 2021), was endorsed by the Planning Secretary on 8 December 2021 and satisfied Condition A13 of SSD 8993.

#### **7.6.2.1. Previous Adaptive Reuse Options Analysis**

As part of the Condition, details of the options for the adaptive re-use of Wilkinson House must be addressed. As part of SSDA 8993, options for the redevelopment (including adaptive re-use options) of Wilkinson House were considered in the following reports prepared by TKD Architects:

- TKD Architects, *SCEGGS Darlinghurst Masterplan 2040, Architectural Design Report* (January 2019)
- TKD Architects, *SCEGGS Darlinghurst, Stage 1 Detailed Design Proposal (SSD 8993), Wilkinson House Options Analysis* (November 2018)

Three options were considered in these reports, which can be largely summarised as follows:

- Option A: Refurbishment of Wilkinson House
  - Option A aimed to retain most of the existing building but demolished existing internal walls and the south elevation recessed balconies to rationalise the interior to form larger learning spaces.
  - The entry foyer and main circulation stairs were proposed to be retained and one of the ground floor apartments retained and refurbished.
  - New structural support was required to achieve the larger spaces necessitated the removal of original walls, ceilings, cornices and skirtings. The ground floor was proposed to require localised demolition of the floor to accommodate the installation of new pad footings.
- Option B: Principal Facades Retained
  - Option B aimed to retain most of the existing building façade and roof form facing the street but replaced the building interior with a new concrete floor structure, lift and circulation stair.
  - The new concrete floor structure was proposed to be aligned with the floor levels in the adjacent Joan Freeman Building to improve access and connections, increase ceiling heights and allowing the reticulation of new building services.
  - The south and west elevations were demolished allowing for new full height glazing on these facades. The remaining recessed balconies were reduced to a minimum depth of 1.2m to improve the efficiency of the internal learning spaces.
  - An additional level to the building was also proposed. The building addition level sat within the existing roof form so that there was no visual impact to the street. The existing roof was to be salvaged and rebuilt so as to allow the construction of the new concrete floor structure.
- Option C: New Building
  - Option C comprised the demolition of the Wilkinson House building and its replacement with a new purpose-built building.
  - The new building maximised the amount of useful and flexible learning space for the school. The floor levels had been amended to align with the adjacent Joan Freeman building, providing improved access and increased ceiling heights (3500mm minimum floor to floor height).

- The facade was a contemporary expression of the proposed learning building, incorporating sun shading and high performance glazing, allowing for natural ventilation. The fenestration incorporated vertical precast concrete blades that relate to the adjacent Joan Freeman building.

An assessment of each of the adaptive reuse options was undertaken and were assessed against the criteria of: learning needs, BCA, access and circulation, structural, civil, natural light and ventilation, services, energy performance, acoustics, streetscape and urban context, bulk and scale, overshadowing, visual analysis, heritage and cost benefit.

Following this analysis, it was concluded that Wilkinson House did not adequately serve the School's education objectives and the alternatives to replacement of the building were concluded to not meet the School's requirements for the provision of larger flexible, contemporary learning spaces. The replacement of the building with a purpose-built educational facility was considered to be the only option that would accommodate flexible learning spaces to a contemporary standard (i.e. Option 3).

However, the Independent Planning Commission in *SCEGGS Darlinghurst Concept and Stage 1 (SSD 8993) Statement of Reason for Decision* (22 May 2020) found that the complete demolition of Wilkinson House would result in an adverse impact to the Heritage Item and the Conservation Area. The Commission appreciated the need for the school to provide contemporary learning spaces and understood there could be difficulties and additional costs involved in retaining or adaptively reusing the building either under Option A or B. However, the Commission did not accept the Department's assessment that the Applicant had presented a strong argument for full demolition of Wilkinson House as the only means to meet current and future education demands. The alternatives to full demolition were determined to not have been sufficiently explored such as the adaptive re-use options presented in Options A or B. As a result, the demolition of Wilkinson House and construction of a new building was not approved with the Application only being granted approval for the Concept Proposal.

## 7.7. BROAD STRATEGIES FOR THE ADAPTIVE REUSE OF WILKINSON HOUSE

The following sections builds upon the broad strategies for the adaptive reuse of Wilkinson House, as demonstrated in Part 1, Section 8.7.

### 7.7.1. What is Adaptive Reuse?

Before revisiting the options for the adaptive reuse of the Wilkinson House, it is necessary to understand and contextualise the meaning of adaptive reuse itself.

The *Burra Charter* provides principles for the adaptation of places of cultural significance. A places' cultural significance means the aesthetic, historic, scientific, social or spiritual values for past, present and future generations. The cultural significance of Wilkinson House is embodied in Statement of Cultural Significance as defined in Section 6.2.3 of this report. The cultural significance of a place itself is embodied in its fabric (defined in Section 6.5 and 6.6), setting, use, associations, meaning, records, related places and related objects.

Any proposed changes or adaptations to a place of cultural significance should always aim to retain and conserve the cultural significance of a place (Article 2). Any changes that are proposed to a place of cultural significance should always understand the places cultural significance first, develop policies for the management of the place and finally manage the place in accordance with these policies (Article 6.1). Policies for the management of the place must be based on an understanding of the places cultural significance (Article 6.1) and should consider other factors affecting the future of the place (ie. owners needs, resources, external constraints and physical condition) (Articles 6.2 and 6.3).

Where a change of use is proposed to a place, any new use should be compatible with the place (Article 7.2) and should involve minimal change to significant fabric, respect associations and meanings and where possible should provide for continuation of activities and practices that contribute to the cultural significance of the place. Adaptation of a place is acceptable only where the adaptive use has minimal impact on the cultural significance of the place (Article 21.1) and should involve minimal change to significant fabric, achieved only after consideration of alternatives (Article 21.2).

Adaptive reuse has also been defined under *Cracknell & Lonergan Architects Pty Ltd v Council City of Sydney [2016] NSWLEC 1159* as:

*“Adaptively re-using a building means coming to terms with the existing fabric, juggling the constraints and opportunities it presents and using the existing fabric to provide a stimulus for the re-interpretation of the building.”*

## 7.7.2. Use Options

Any proposed future adaptive reuse of Wilkinson House will need to be compatible with the significance of the place. Generally, the use of a place should be consistent with its significance. Wilkinson House has served three different uses since its completion in 1928, as a residential flat building, boarding house and currently as a classrooms and staff rooms.

Any proposed new use for the building would necessitate modifications to ensure that the requirements of the National Construction Code are met. This includes modifications for egress, access, fire safety, earthquake stability, sustainability and so on. These requirements would be necessary even if it was proposed to reinstate either of the former uses of the building, such as a residential flat building or a boarding house. There is no desire or need by SCEGGS Darlinghurst to reinstate either of the former uses of Wilkinson House, particularly given the small number of boarders which are all adequately accommodated at St Vincent's College in Potts Point. Divestment of the Wilkinson House is also not desirable given the constrained nature of the SCEGGS Darlinghurst campus and the schools need for as much space as necessary to continue to provide their high-quality educational environment.

The SCEGGS Darlinghurst campus is also located within an R1 General Residential land zoning, which does not allow for other uses which may be suitable for Wilkinson House given its size and previous uses, such as commercial premises, functions centre, tourist and visitor accommodation. Other uses which are permitted under the existing zoning such as food and drink premises, childcare facilities and community facilities may be appropriate to be accommodated within Wilkinson House, however, all of these uses would still require a degree of change to the place.

It is thus considered that the adaptive reuse options for Wilkinson House should be for uses that will allow for the continued use by SCEGGS Darlinghurst for educational purposes, while also respecting other layers of Wilkinson House's significance as it relates to the design of Emil Sodersten and its original use as a residential flat building.

## 7.7.3. Owner Requirement, SCEGGS Darlinghurst

In order to determine what broad adaptive reuse strategies are appropriate for Wilkinson House, it is first necessary to understand the places cultural significance (Section 6.1) and its fabric (Sections 6.3 and 6.4). Following this understanding, it is necessary to understand the needs of the existing owners of the place, SCEGGS Darlinghurst. A substantial component of Wilkinson Houses' cultural significance is its lengthy historical association with SCEGGS Darlinghurst and the use of the place by the school over the past 60 years as both a boarding house from the 1960s until 2000s and its continued use as part of the school's facility offering as general learning areas, staff rooms, study and student rooms since 2002. While the original use of Wilkinson House as designed by Emil Sodersten was for small one bedroom flats, the original use of the building only lasted between 1928 and 1960, a total of 32 years.

The following section provides an outline of the existing use of Wilkinson House, the current and future educational needs of the school as a whole and the challenges that Wilkinson House poses in its current configuration. This section has been developed with input from SCEGGS Darlinghurst and the wider consultant team who are involved in addressing the conditions of SSDA 8993 and preparing the SSDA for the Stage 1 detailed design for the adaptive reuse of Wilkinson House.

### Schools are Critical Social Infrastructure which need to Evolve

Schools are critical social infrastructure which support the delivery of high-quality educational outcomes for children.

A high-quality educational environment can improve children's opportunities for achieving better learning outcomes while at school, which in turn can enhance broader learning, health and employment outcomes later in their adult life.

Schools are a key driver for productivity, economic prosperity, and global competitiveness.

Both public and independent schools have an important role in delivering this critical social infrastructure.

There is an ongoing shift in teaching methods in schools. Teachers are using new, more flexible, approaches to delivering curricula. This extends to buildings and spaces for teaching, which are increasingly required to be modern, fit-for-purpose, flexible learning spaces for students. Flexible, large and adaptable classroom spaces enabled for technology, collaboration and personalised learning experiences provide much better learning outcomes.

Schools are places of inspiration and new buildings can positively influence teaching and learning over decades. To achieve this, school buildings need to be able to accommodate evolution in teaching and learning.

## **Existing Main Campus Situation & Uses**

SCEGGS currently lacks adequately sized flexible General Learning Areas (GLAs) over the whole of the main campus. SCEGGS secondary school currently has a total of 50 GLAs that are timetabled across the campus. The 50 GLAs are located across seven existing buildings, including Wilkinson House. Only 24 of these (48%) are GLA's that can accommodate 27 students each (Wilkinson House currently has 4 of these 24 classrooms). A further 21 (42%) of these are specialist classrooms. The remaining GLAs (5 GLAs) are undersized.

At present, Wilkinson House accommodates five learning spaces varying in size from 41sqm to 57sqm, which do not comply with EFSG requirements.

In addition, the School's experience from using Wilkinson House since 2001 is that the layout of the learning spaces do not work well, as they are:

- Dark, irregular spaces with pockets and corners of spaces obscuring visual connection and surveillance of students.
- Inadequate sightlines and difficult to access
- Irregular room shapes hinder flexibility in setting up varied learning configurations.

The adaptive reuse strategies for Wilkinson House must also be considered with an understanding of the overall needs and uses for the whole of the SCEGGS Darlinghurst campus.

As part of the approved Concept DA, uses for the proposed new buildings were defined as follows:

- New Administration Building – main school entrance, staff facilities, meeting rooms, and administration functions. This replaces the existing additions to Barham and along with works to Barham and Chapel consolidates and enhances existing administrative functions and staff facilities.
- Barham Building – school executive, meeting rooms, and staff facilities.
- Multi-purpose building – general learning areas, and the possibility of a new indoor swimming pool, information and research centre, and/or a childcare premises. This replaces and enhances the existing uses that will have been removed due to the demolition of the Old Science Building, Library Building, Old Gym and additions to Barham and Chapel Buildings, and potentially provides for new facilities such as a possible new indoor swimming pool and childcare premises.

Whilst Wilkinson in its current form lends itself to more smaller scale functions such as meeting rooms, staff facilities, administration and study spaces, these uses are adequately resourced by the proposed renewal of Barham, Chapel and the new administration building. The below further outlines why the requisite number of GLAs cannot be completely accommodated within the proposed new buildings for the SCEGGS Darlinghurst campus.

## **Administration Centre**

The Administration Building has been proposed as a building envelope for administration functions supporting the School's operations, which is envisaged to include:

- Revitalised School Entry
- Main Reception
- Consolidated Administrative and Staff Facilities
- Restoration and Reconstruction of Barham

- Replaces redundant and ad hoc additions to the building that are in poor condition
- Provides a welcoming, accessible and secure entry to the school campus
- Creates a purpose-built Administration Building which has been designed to replace the east additions to Barham

The creation of the Administration Centre to the east of Barham is envisaged to enhance and elevate Barham, the Central Lawn and is to be located at the symbolic heart of the campus. The removal of the additions also allows for a strong connection from the front gate down to the Central Lawn and the main circulation spine of the school which will improve the entry experience and wayfinding. The generally small floorplate of the Administration Centre cannot accommodate the large and flexible floor plates that are needed for the new GLAs that are needed on the campus.

Further, Wilkinson House cannot be used for purely administrative purposes primarily due to its location in the far north-east corner of the campus. The use of Wilkinson House as an administrative centre would fragment the existing centralised administration zone which has always been located in the centre of the School around Barham. Locating the administration centre of the School elsewhere on the campus would adversely affect the functionality and operational efficiency of the School.

### **Multi-purpose Building**

Whilst specific uses have not been fully determined for the Multi-purpose building the uses could include child care, pool and library, which spatial requirements demand large floor plates on a single level. The building will also accommodate parking and drop off in its lowest level.

Some new GLAs will need to be accommodated within the Multi-purpose Building to replace the GLAs that will be lost as a result of the demolition of the Old Gym Building, Science and Library Buildings. However, the Multi-purpose Building also needs to be able to still accommodate wide building floor plates, providing the opportunity for large floor plates, double height tiered learning areas and other larger educational facilities such as a pool or library that cannot be accommodated elsewhere within the main campus. The number of GLAs needed across the campus will not be fully satisfied just within the new Multi-purpose Building.

### **Wilkinson House Current Use**

SCEGGS has owned Wilkinson House for over 60 years and since closing boarding facilities in 2001, the building has been used for teaching purposes, including for five classrooms as well as offices, meeting rooms and study spaces. The existing spaces were created to accommodate additional staff and student spaces over 20 years ago. The original use of Wilkinson House as a flat building provided limited means for its reuse without substantial intervention to the internal fabric of the buildings. The resulting spaces created in the early 2000s were designed to suit the smaller residential size spaces. However, while the existing uses as offices and study spaces are better suited to these small areas, these uses have become redundant and accommodating appropriately sized and shaped general learning areas has been a limitation since the building's conversion in the early 2000s. Despite the joining of larger space such as former living rooms and bedrooms, namely on Levels 1 and 2, the resulting spaces are between 41-57m<sup>2</sup> square metres, which are deficient when assessed against the NSW Department of Education minimum classroom size of 60m<sup>2</sup>. Other than the small size of these spaces, they are also oddly shaped due to the recessed balcony spaces (appropriate to the original apartment function), corridors and former bathrooms and kitchen spaces.

The ongoing use of these spaces for learning and teaching facilities has reached the end of their practical lifespan, with spaces within Wilkinson House being the least desirable in the school for learning, and not meeting the school's ongoing requirements. These inadequacies include:

- most classrooms are less than DoE requirement (60m<sup>2</sup>).
- spaces are not flexible, inefficient and poorly shaped.
- layout and recessed balconies cause child supervision issues, which do not meet contemporary space requirements for child protection
- new internal structural columns impact spaces.
- narrow corridors and floors do not align with Joan Freeman Building.
- centralised stair and balconies limit nook-free teaching spaces.
- The existing buildings does not meet BCA compliance due to a number of elements including:

- Egress width through the main stair is only 900mm, compared to the BCA minimum requirement of 1000mm for egress.
- The balustrade to the main circulation stair is only 950mm high, compared to the BCA minimum requirement of 1000mm minimum for safety.
- No equitable access is provided within Wilkinson House. Access within Wilkinson House is via narrow corridors and a narrow stair that do not properly cater for the volume of students moving between classes or two-way circulation, which results in bottlenecks.
- The main circulation stair does not incorporate compliant handrails, contrasting nosings and tactile indicators.
- In addition, no equitable access is provided to Wilkinson House from the wider campus. Access to Wilkinson House is via an arrangement of narrow ramps from Wilkinson House southern facade and the Centenary Sports Hall, and wayfinding is not clear. Entry into Wilkinson House is via a narrow side entry door on each level.
- The current ceiling height is lower than the minimum National Construction Code required 2400mm, and well below the NSW Department of Education required 2700mm ceiling height
- The façade, windows, doors and the roof of the existing building are poorly insulated with poor thermal performance resulting in higher levels of heat gain and heat loss. The lack of shading on windows results in blinds being drawn for the majority of the day. The inefficient nature of the façade and roof results in high energy usage and inclusion of insulation will reduce the size of available learning spaces. The existing façade contains small ‘domestic’ windows designed for a series of smaller residential spaces which provide low levels of natural light and inadequate natural ventilation.

While Wilkinson House has been used for teaching purposes (classrooms, offices and study space) for the past 20 years, they are no longer suitable for the current and future requirements of the school. A simple refurbishment of Wilkinson House cannot be adapted to provide modern, fit-for-purpose, large and flexible learning spaces for students.

### **SCEGGS Needs**

Retaining the existing situation within Wilkinson House does not meet contemporary learning standards nor does it meet the schools pedagogical requirements for learning.

SCEGGS require contemporary learning spaces that provide:

- Flexible and adaptable spaces for different and changing learning needs
- Spaces that cater for different Modes of Learning – from Independent Study through to Collaborative Group Work and Presentations
- Teaching and learning spaces that are accessible for all students
- A stimulating environment
- High levels of natural light and ventilation
- Visual connections to the outside

The State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017 was introduced as state-wide policy to streamline the planning requirements for schools in recognition of how vital school infrastructure is for NSW. The redevelopment of Wilkinson House is required to meet the essential educational need of SCEGGS for larger contemporary classrooms to cater for needs of the current and future community. Any proposed adaptive reuse of Wilkinson House would need to achieve a high quality design in accordance with Clause 35(6)(a) and the design quality principles set out in Schedule 4 of the Education SEPP. It will need to contribute positively to the streetscape, deliver greater energy efficiency and contribute to healthy lifestyles for children.

### **Need for Adaptive Reuse**

As established, Wilkinson House is in need of adaptive reuse to meet the needs of the school both at present and into the future. By not undertaking adaptive reuse of Wilkinson House the result would:

- not provide for a resilient and adaptable building with high environmental performance that can evolve over time to meet future requirements.
- not achieve appropriate BCA standards and therefore would fail to optimise health and safety within the site and would restrict the ability to deliver accessible and inclusive spaces.
- result in compromised learning spaces that would not be engaging and fully accessible for a wide range of educational and informal uses.
- provide inappropriate and inefficient indoor learning spaces, with reduced access to sunlight, natural ventilation and outlook.
- would potentially result in adverse amenity impacts on adjoining neighbours by forcing new buildings elsewhere on the site to be larger/higher. Any proposed adaptive reuse of Wilkinson House will need to ensure that the building is BCA compliant, achieves equitable access and resolves any existing amenity issues.

Any adaptive reuse strategy for Wilkinson House, will also be required to include some provision for large and appropriately shaped GLAs, to ensure the needs of the school are met for the future. Any new uses to be accommodated in Wilkinson House would need to be of a high standard and would need to provide appropriate teaching and learning environments to a contemporary standard that includes up to date facilities and allows flexibility to further develop and upgrades these facilities in the future.

#### **7.7.4. Broad Adaptive Reuse Strategies**

As detailed above, Wilkinson House is presently underutilised and does not meet the needs of the school and options for its adaptive reuse need to be explored. As established in the Section 6.2.2, the significance of Wilkinson House is two-fold, both for its association with Emil Sodersten and for its ongoing use and association with SCEGGS since the 1960s. Significant fabric of the place, as established in Section 6.5 and 6.6, is largely contained to the external primary facades and key spaces of the entrance lobby and lounge hall, which are graded as being of high significance. While the interiors of the building do retain original fabric and a degree of integrity, they are largely assessed to be of moderate and little significance, and reflect generic interiors of the period, typical of the former residential flat building. It is considered that the ongoing use of the place for educational purposes is of paramount importance to ensure the overall heritage significance of the place is retained while also ensuring the most significant aspects of the place as they relate to Emil Sodersten's design, are conserved. In order to retain this ongoing use and association, a higher degree of intervention into fabric of Moderate and Little significance is considered to be appropriate. It is this position that has led to the conservation approach adopted within this CMP.

#### **Broad Conservation Guidelines**

In order to appropriately guide any adaptive reuse options for Wilkinson House general conservation guidelines were established by Urbis in late 2020 to guide the future adaptive reuse of Wilkinson House as detailed SSDA under the Concept Approval (SSD 8993):

- The future use of Wilkinson House should be compatible with its conservation and ideally will facilitate its ongoing use for the SCEGGS Darlinghurst campus and for education or related purposes.
- The revised statement of significance for Wilkinson House, as presented in Section 6.2.3 embodies the core heritage values of Wilkinson House and its contribution to the overall SCEGGS campus. All future decisions and works to the Wilkinson House must be guided by the Statement of Significance and the significance fabric and building elements identified Sections 6.5 and 6.6.
- Management and maintenance of Wilkinson House should aim to conserve its heritage significance to the greatest extent feasible whilst facilitating appropriate ongoing or new uses. Works should be sympathetic to fabric of high significance and repairs should be undertaken over replacement, if possible. Where required, works to fabric of high significance should be undertaken as a priority in situ, in preference to removal and reinstatement.
- Works should be undertaken in accordance with the principles of *The Burra Charter*. Impact on fabric of high significance should be considered and the appropriate approvals obtained.
- The significant character of Wilkinson House as an Inter-War Georgian Revival and Mediterranean style building should be retained and conserved along with its defining contribution as a corner building to the streetscape of Forbes and St Peters Street and as a contributory item in the East Sydney HCA.

- New additions proposed in future development should be modest in scale and easily discernible as new works. Such additions should be set back from the primary façade and roof ridgeline to retain the visual prominence of the Wilkinson House from the streetscape and maintain legibility of the heritage building.
- Works to achieve compliance or environmental performance standards should be carefully considered in conjunction with heritage advice.
- Any repair, conservation or reconstruction works to significant elements or facades should be undertaken with appropriate supervision by a suitably qualified heritage consultant/architect and/or relevant materials specialist/s or conservator.

## 7.7.5. Opportunities & Constraints for Adaptive Reuse Options

Based on the broad strategies for the adaptive reuse for Wilkinson House, and to further explore adaptive reuse options of Wilkinson House, a Concept Design Competition was held with four architectural firms over the course of November 2020 to February 2021 including Tonkin Zulaikha Greer (TZG) Architects, Smart Design Studio, Tanner Kibble Denton (TKD) Architects and John Wardle Architects.

Each of the four architectural firms were cognisant of the decision of the IPC and their commentary around pursuing an adaptive reuse option that accorded with either Options A or B, as described above. During the course of the design competition, Urbis provided the above broad conservation strategies, as well as further detailed opportunities and constraints as they relate to particular elements of the place to provide further guidance in the development and refinement of the adaptive reuse options being explored by each firm.

The provided opportunities and constraints were developed with an understanding of the heritage significance of the place and its fabric:

### Opportunities

- **North elevation, basement level.** The basement level façade was originally a garage area and has been variously infilled throughout of the building's history. The existing windows, doors and brick infill to this level of the façade may be altered to suit the proposed adaptive reuse of the building, provided any new intervention into this portion of the façade is sympathetic to the character, rhythm and materiality of the upper levels of the north façade.
- **Security bars:** All existing bars to windows and balcony openings should be removed as they detract from aesthetic significance of the building.
- **Internal modifications.** The interiors of Wilkinson House across each of its levels have been variously modified to suit the changing use of the building from residential flat building, to boarding house and to its current use as classroom and office spaces. While some understanding of the original layout of the residential flat building can be read in the retained internal elements of the building including retained internal walls, decorative plaster ceilings and balconies, these interior elements are not considered to be intrinsic to the significance of Wilkinson House and could be considered for removal provided that sufficient interpretation of the original layout is incorporated into any proposed design. Salvage of representative elements may also be considered for interpretation.
- **Western façade and lightwell.** The western façade of the building is the least significant façade of the building and is the plainest in its design due to being the only rear façade. There is opportunity to modify and/or remove the western façade if needed. While the light well is an original element, it is considered that there is opportunity to alter the lightwell, provided that any proposed design interprets and/or integrates a new lightwell.
- **Southern façade.** While the southern façade includes many of the same detailed elements that are seen on the two primary façade (north and east) this façade has been variously modified to accommodate later uses of the building. This includes alterations to the balcony openings, some of which have been infilled or converted to internal spaces and connection of the southern staircase which links with the Centenary Sports Hall. Due to these alterations to the façade and the southern façade being a secondary façade, there is more flexibility for further alterations.
- **Staircase.** The existing staircase, while original to Wilkinson House, there is opportunity for the proposed redevelopment of Wilkinson House to remove this staircase if it would result in an overall better outcome for Wilkinson House in terms of ensuring its ongoing use and conservation of other significant fabric including the primary facades. The staircase itself is not an exceptional example of its type and is

considered to be merely representative. Options for the interpretation of the location and fabric of the staircase within the new redevelopment should also be explored.

- **Relocation of plant room.** The existing plant room is located in the north-eastern corner of the lower ground floor of Wilkinson House. An opportunity exists to remove the existing plant room and to relocate the plant room to elsewhere on the SCEGGS campus, if desired. Alternate locations may include areas of the campus that are of lesser significance and that would not require impact on fabric that is considered to be of heritage significance.

## Constraints

- **Entrance Lobby and Lounge Hall.** The entrance lobby and lounge hall are one of the remaining internal elements of Wilkinson House which has remained substantially remained intact and is the most elaborate and detailed of the internal spaces of Wilkinson House. The entrance lobby and lounge hall should be retained in any proposed adaptive reuse of the building and consideration should be given to re-establishing the foyer as an entry /meeting place for the building, even if only for special occasions/events.
- **North and East facades.** Due to the Wilkinson House being located on the corner of St Peters and Forbes Street, both the north and east facades are considered to be primary facades of the building. Both facades (excluding the northern basement facade) are substantially intact and retain their original details. Any proposed adaptive re-use of the building must retain and conserve these facades. No additional openings should be introduced to the facades.
- **Roof form.** The roof form of the building is a unique and defining elements of the buildings' overall design. The roof form, as seen from the public domain should be retained and conserved. However, there is opportunity for interventions to the roof form behind the existing ridgeline, such as for expansion of the existing roof deck or creation of a new level, provided that any proposed addition does not alter the roof form of the building as viewed from the public domain.
- **Balconies.** The small balconies that are located across the ground, first and second floors are considered to be of Moderate significance and all remain substantially intact including the original timber French doors. While it is preferable to retain these balconies, if the removal of the balconies is required in order to accommodate and ensure the ongoing use of the building for educational uses, it is considered appropriate for the balconies to be altered, provided that sufficient interpretation of the balconies layout and relation to the facades is included.

### 7.7.6. Adaptive Reuse Options Analysis

Urbis attended eight workshops along with Project Directions, and representatives from SCEGGS Darlinghurst at which Urbis provided feedback on each of the concepts at both a preliminary and final stages in order to provide heritage advice and guidance on each of the concept designs and to outline each options viability and feasibility in relation to heritage considerations. Further internal meetings were undertaken between SCEGGS Darlinghurst, Project Directions and Urbis to discuss each of the design options and to determine the most appropriate adaptive reuse option that balanced the heritage values of the site and the future needs and requirements of SCEGGS Darlinghurst.

Each of the design concepts were analysed according to their heritage impacts on Wilkinson House (as per the broad conservation strategies and identified opportunities and constraints), and with regard for the significance of the wider SCEGGS Darlinghurst campus and the East Sydney HCA. A summary of the analysis of each of the four options is provide in Table 18 overleaf. Each of the options presented were further variations to Options A and B as developed by TKD as part of the refused Stage 1 DA (part of the Concept Approval (SSD 8993)).

Table 18 - Adaptive Reuse Options Analysis

Design Concept	TKD	TZG	John Wardle	Smart Design Studio	Evaluation
Retention of facades	North & East	North, East & partial south	North, east, south	North, east, south and partial west	All proposals acceptable on heritage terms. All retained existing window openings and balcony openings and details on north and east facades.
Retention of Vestibule	Reconstructed	Retained and modified	Presumed demolition and reconstruction at new ground level	Retain and/or reconstruct	Retention of vestibule is preferred from a heritage perspective. Therefore, the TZG and potentially Smart Design Studio proposed are preferable in this aspect.
Retention of balconies	Setback between original wall and new glazed façade. No retention of balcony spaces.	Retained balconies on eastern elevation. Removed on north and south. Interpretation of original layout in floor finishes.	All balconies removed. Internal glazed wall behind principal elevation.	All balconies removed. Interpretation of original layout in floor and ceiling finishes. Balcony doors proposed to be reused for internal doors to GLAs.	Only the TZG proposal retains any balcony in full. Urbis is of the opinion that it is not necessary to retain the balconies if sufficient interpretation is incorporated, such as incorporation of original layout in floor and/or ceiling finishes. Thus all options were acceptable in this aspect.
Retention of terracotta roof form	Roof retained on north and east façades to ridgeline	Roof retained on north and east façades to ridgeline	Roof retained on north, east and south façades to ridgeline	Roof replaced with new cooper (or terracotta) roof to match original form on north and east facade with louvres	All except Smart Design Studios concept retained the primary portions of the roof to the ridgeline at the north and east façade. The Smart Design Studio option could retain the roof as others have or use terracotta, rather than cooper as the new finish. Removal of the roof and finishes requires assessment.

Design Concept	TKD	TZG	John Wardle	Smart Design Studio	Evaluation
<b>Use of existing side (south) passage</b>	New addition proposed to be located in space with GLA's. Minimal setback from the eastern boundary is provided.	New addition proposed to be located in the space with staircase and circulation. The new addition is sufficiently setback from the eastern boundary.	No addition proposed in space, only new gate and landscaping proposed.	New lift and circulation proposed in space. The addition is sufficiently setback from the eastern boundary.	TKD is the only concept that requires a deeper setback from the principal façade to accentuate the original form and prominence of Wilkinson House.  TZG's concept is a simple effective design.  Smart Design Studio's concept is an elegant, contemporary use of glass bricks allowing for the expression of new against old and further enabling the southern façade to remain visible, and the building to remain legible in the round.
<b>Internal staircase</b>	Removed	Removed	Removed	Removed	Potential for interpretation/retention of fabric accepted by Smart Design Studio.
<b>Floor levels</b>	All floor levels changed. New core offset from the retained elevations.  New floor levels do not intersect with any original openings.	New construction retaining the existing floor levels.  Retention of existing level of vestibule.	All floor levels changed with new core linking with retained façade.  New floor levels do not intersect with any original openings.	All internal structures removed, however new levels match existing.	Preference for levels to match existing for consistency with external openings.
<b>Excavation</b>	Unknown but likely similar to other proposals.	1 metre	Unknown but likely similar to other proposals	1 metre	No objections to lowering basement floor levels and excavation for a full basement, provided that the structural integrity of the building is ensured and does not require

Design Concept	TKD	TZG	John Wardle	Smart Design Studio	Evaluation
					unacceptable impacts to retained portions of the building.
Reuse of materials	Minimal retention and reuse of materials to be demolished.	Retention and restoration of entrance lobby and lounge hall in situ.	Demolition of entrance lobby and lounge hall and reinstatement at higher level. Proposed reuse of bricks from demolished western facade	Reuse of bricks from areas to be demolished. Potential demolition and rebuild of vestibule, some fabric retained.	Reuse of materials is encouraged. All have the potential to reuse salvaged materials.
Use of roof space	No additional use of roof except for solar and sustainability measures.	New roof terrace at west with Senior common room at east.	Roof terrace with two GLAs and Yr12 Common Room	Small terrace, common room, staff room and amenities Expressed ability to modify to school brief	Although not a heritage issue, the reuse of the roof space for a terrace is a compatible use for the building and is supported.
Interpretation	No known interpretation other than retention of original elevations.	Retention of significant fabric and interpretation of original residential flat building layout in floor finishes.	No known interpretation other than retention of original elevations and some reuse of brick	Interpretation of original layout in floor and ceiling finishes, reuse of brickwork. Retention of original façade and possibly vestibule. Possible investigation for reuse of the stair balustrade as an art piece. Use of traditional materials such as terrazzo.	The interpretation of the original layout as designed by TZG and Smart Design Studio is supported.  The potential for additional interpretative devices is possible for the John Wardle and TKD concepts.

Design Concept	TKD	TZG	John Wardle	Smart Design Studio	Evaluation
<b>General Design</b>	Sophisticated design concept except for the addition to the south, however the breakout area and staircase to the west is dependent on significant alterations JFTSC	Use of timber framed construction is environmentally and aesthetically sound.	Overall sophisticated design concept. Well resolved roof level and new Wilkinson Room is elegant in design. High quality interior design	Well resolved use of materials and details. Sophisticated GLA fitout design. Proposed lift core adds complementary glazed element.	John Wardle and Smart Design Studio have well resolved interior detailing at this stage.  Smart Designs Studios roof form is well conceived and elegant however detailed design of this element to be undertaken and heritage assessment is required.
<b>Height of building</b>	The overall built form is below the height limit.	Generally, the overall built form is below the height limit, except for a small section of the new roof at the northern side.	Generally overall built form below height limit. Lift overrun is within height limit.	Proposed new roof form is 200mm higher than existing, however is in keeping with western parapet wall height. A view analysis showed the additional height should not impact on any significant views from Horizon apartments. Lift overrun exceed height limit	Generally, all are under height limit of 15m, except for small sections of the roof.
<b>General services</b>	New plant room located on Level 2. Possible relocation of fire sprinkler to north-	Retained sprinkler room at basement level.  Bathrooms at Basement and Level 2	Sprinkler room to be relocated elsewhere on campus.  2 bathrooms only at basement level	Sprinkler room retained at basement.  New cleaners stores at basement and roof.	Cost of relocation of sprinkler room to be considered for TKD and John Wardle proposals. TZG and Smart retain in existing location. Either retention in

Design Concept	TKD	TZG	John Wardle	Smart Design Studio	Evaluation
	<p>west corner in sub basement.</p> <p>No bathrooms. To be shared with adjacent buildings</p>			<p>Large sports store at basement.</p> <p>2 x 2 bathrooms at ground and roof.</p>	<p>existing position or relocation is acceptable.</p> <p>Incompatible location of plant at Level 2 in TKD design in relation to external elevation openings.</p>
<b>GLAs and spaces proposed</b>	<p>6 GLAs, potentially 7 with Level 2 (multipurpose 250m<sup>2</sup>), excluding basement (allows for 2 x 55m<sup>2</sup> and 4 x 70-78m<sup>2</sup>)</p> <p>One staircase links all levels set within void at south-west</p> <p>Breakout spaces at west.</p>	<p>9 GLAs proposed with 6 x 71m<sup>2</sup>, 1 x 58m<sup>2</sup> and 2 x 48 m<sup>2</sup> (space cut by balcony)</p> <p>Additional breakout space on each floor</p> <p>Staff rooms</p> <p>Careers hub</p> <p>Senior common room</p>	<p>7 GLAs proposed, generally 60m<sup>2</sup> plus balcony space (20m<sup>2</sup>)</p> <p>Senior common room, Wilkinson Room, General breakout areas.</p> <p>Tight circular staircase from Levels 2 to roof. Appears to be using JFTSC fire stair for access from Level 1 to Level 2. Necessity of new entry via St Peters Street to be determined.</p> <p>Multipurpose space could be expanded if entry not needed.</p>	<p>9 GLAs proposed with 75-79 m<sup>2</sup>. Additional small 55 m<sup>2</sup> GLA also proposed.</p> <p>Senior common room</p> <p>Staff, counselling and careers room.</p> <p>Breakout spaces on each floor</p>	<p>All proposals, except TKD, allow for at least 6 GLAs of minimum 60m<sup>2</sup>. Smart Design Studio proposes the most and largest GLAs.</p>

## 7.7.7. Conclusion

Each of the final four designs presented variations on Options A and B which were initially explored by TKD as part of SSDA 8993. Each of the final four designs presented were considered to be well designed and considered and were generally all compliant with the broad conservation guidelines and opportunities and constraints outlined previously. While having varying degrees of impact on significant fabric of Wilkinson House, all were considered to have an acceptable level of impact provided that some refinements were made.

Of the four designs, it was considered that the designs presented by Smart Design Studio and TZG proposed the best balance between a positive heritage outcome, sophisticated and environmental high-quality design and the needs of the School. Both required some change in design, but these changes could be readily accommodated and is consistent with the broad adaptive reuse strategies and identified opportunities and constraints. TZG was considered the most resolved for heritage fabric retention while Smart Design Studio was considered a more sophisticated contemporary design.

Following a review of the each of the four options, Smart Design Studio was chosen as the winning entry due to its sophisticated contemporary design, its response to the heritage values of the place and meeting the future needs and requirements of the School.

This CMP (both Parts 1 and 2) provides the strategies for future conservation and management of the adaptive reuse of Wilkinson House having regard for the identified opportunities and constraints and the site context. The design development for detailed DA submission of the Wilkinson House must be developed in line with the information presented within this section for its adaptive reuse, have regard to the heritage significance of the place and its fabric (Sections 6.2.3, 6.5 and 6.6), and address the conservation policies presented in Section 8 of this CMP and relevant policies in Part 1.

# 8. CONSERVATION POLICIES

## 8.1. WHAT IS A CONSERVATION POLICY?

A conservation policy explains the principles to be followed to retain, conserve, restore or reveal the heritage significance of a place, and how that significance can be enhanced and maintained. This relies on a full understanding of the significance of the place, and a review of the constraints and opportunities arising from that significance.

## 8.2. RELATIONSHIP TO PART 1 CMP

The conservation policies provided in this section build upon those as presented in Part 1 of this CMP. The conservation policies presented here are specific only to Wilkinson House. When proposing to undertake any works to Wilkinson House, policies both within this CMP (Part 2) and Part 1 must be referred to. Some policies are similarly worded to those in Part 1 to ensure that it is clear how Wilkinson House is to be retained and conserved.

## 8.3. ADOPTION, IMPLEMENTATION & REVIEW

### 8.3.1. Adoption of Conservation Management Plan

#### Guidelines

- This CMP (Part 2) along with Part 1 should be adopted by present and future owners as a guide for the management, conservation and maintenance of Wilkinson House.
- If ownership of the property is transferred, a copy of this CMP (Part 2) and Part 1 should be provided to the new owner.
- All persons responsible for the management and maintenance of the place should be familiar with the significance of Wilkinson House and of the SCEGGS Darlinghurst campus and the CMPs (Parts 1 and 2).
- Conservation works undertaken in accordance with the CMPs (Parts 1 and 2) should only be undertaken in consultation with experienced heritage and conservation professionals.

#### Policy

Policy 1. This CMP (Part 2) along with the Part 1 CMP should be adopted by present and future owners of the place, and used as a guide for management and conservation, and in conjunction with any proposals for future development or adaptive re-use of Wilkinson House.

Policy 2. A copy of this CMP (Parts 2) and Part 1 should be retained on-site at all times, for the use by those responsible for the management and conservation of the place. In the event of sale, a copy of the CMP should be provided to the new owner.

Policy 3. A copy of the CMPs (Parts 1 and 2) should be submitted to the City of Sydney Council and Department of Planning, Industry and Environment (DPIE) for reference purposes.

Policy 4. The policies in the CMPs (Parts 1 and 2) are not to be read in isolation but rather in conjunction with any comprehensive guides to the conservation management of the place.

### 8.3.2. Statutory Obligations

#### Background

Various legislation applies to the management of the site (refer to Part 1, Section 7). The SCEGGS Darlinghurst campus is listed under Part 1 of Schedule 5 of the *Sydney Local Environmental Plan (LEP) 2012* (Item No. I301) as 'Sydney Church of England Girls Grammar School group including Barham, Chapel Building and Wilkinson House and their interiors and grounds'. Wilkinson House is one of the three significant buildings identified as being of significance as part the SCEGGS Darlinghurst campus.

Approvals may be required for the works to the heritage item and exemptions may be required for maintenance or minor works (with notifications and approval required in writing). Approval may also be required for works in the vicinity of the site.

Any works to the property should comply with appropriate legislation, policies and guidelines, as amended from time to time, including but not limited, to the *Heritage Act 1977*, the Building Code of Australia (including the National Construction Code), the Australia ICOMOS *The Burra Charter* (revised 2013) and relevant environmental planning documentation of the Sydney LEP and DCP as outlined in Part 1, Section 7 of this CMP.

## **Guidelines**

Approval is required for development works to the heritage item from the City of Sydney Council, or other consent authorities dependent on the approvals pathways. Reference should be made to Part 1 and 2 of this CMP and the requirements set out in the *Sydney LEP 2012* and/ or other applicable legislation to determine the appropriate approvals required for any proposed works.

Future proposed changes to Wilkinson House need to be undertaken in accordance with the relevant LEP and DCP. A heritage impact statement may be required to assess any works to the place.

Any works to have the place comply with National Construction Code (NCC) requirements should be guided by the heritage significance of the place.

Any works to the place for Building Code of Australia (BCA) / National Construction Code (NCC) compliance purposes may require a heritage impact statement in accordance with the former NSW OEH Heritage Division guidelines and deemed-to-comply solutions may be appropriate. Works should be cognisant of the significance of Wilkinson House and the SCEGGS Darlinghurst campus.

## **Policy**

Policy 5. Any future proposed changes to the site need to be assessed in accordance with the relevant provisions of the *Sydney Local Environment Plan 2012* and *Sydney Development Control Plan 2012*, the policies of Part 1 and 2 of this CMP, and the heritage inventory forms recommended management. An archaeological assessment may be required to assess any subsurface works to the site.

Policy 6. Parts 1 and 2 of this CMP should be submitted to the relevant consent authority as part of any application for new development proposals. Where appropriate or requested, it should be accompanied by a heritage impact statement that assesses the specific impacts of the proposal against relevant legislation and policies in Parts 1 and 2 of this CMP.

Policy 7. A heritage impact statement and / or archaeological assessment should be prepared for all proposals for new development within the property. Where relevant, the HIS and/or archaeological assessment should assess impacts on the setting, views, built elements and potential archaeological resource as appropriate.

### **8.3.3. Review of Conservation Management Plan**

#### **Background**

This CMP should be subject to periodic review to ensure that the document remains relevant to ongoing change and use of the place, and statutory compliance and to incorporate updated information.

#### **Guidelines**

- This CMP should be reviewed and updated every 10 years, or alternatively in conjunction with and/or following any major adaptive re-use or development proposal, to remain relevant to ongoing change, use of the place and statutory compliance. Prior to the review, if substantial change in the management or use of the place is proposed that is not covered by policies in this CMP, then the policy section should be updated following review.
- Reviews of the CMP should be based on *The Burra Charter* and other guidelines by the former NSW OEH Heritage Division. Reviews should also consider any other relevant legislation, planning frameworks and widely recognised conservation practices and procedures.

- Reviews should be undertaken by experienced heritage practitioners in conjunction with relevant ownership and management representatives.

## Policy

Policy 8. This CMP should be reviewed and updated every 10 years or alternatively in conjunction with and/or following any major adaptive re-use or development proposal to remain relevant to ongoing change, use of the place and statutory compliance or if substantial alterations and additions are proposed. Irrespective of the requirement to review the document every 10 years, the CMP should continue to be used for on-going heritage management until such reviews are completed.

Policy 9. The current NSW State Heritage Register inventory should be updated to reflect the Historical Overview (Section 3), Statement of Significance (Section 6.2.3) and Conservation Policies (Section 8) in this CMP.

## 8.4. MANAGING HERITAGE SIGNIFICANCE

### 8.4.1. Statement of Cultural Significance

#### Background

The Statement of Significance included at Section 6.2.3 embodies the core heritage values of Wilkinson House. All future decisions and works to the building must be guided by the statement of cultural significance and the identified significant spaces, fabric, views and built elements identified in this CMP, together with any additional detailed research and assessment. It is noted that no fabric of Wilkinson House has been identified as having Exceptional significance.

#### Guidelines

- Owners, lessees, occupiers and stakeholders responsible for and involved in the maintenance and management of the place should be aware of the identified significance and aim to conserve and enhance this significance as well as identified significant internal and external fabric and spaces.

#### Policy

Policy 10. The Statement of Significance set out in this report is to be accepted as the basis for future conservation of the fabric and values of Wilkinson House (Section 6.2.3). All future works to the place should be cognisant of the significant built elements, fabric, spaces, views and archaeological resource identified in this CMP, together with any additional detailed research and assessment.

Policy 11. Elements of **high** significance have a high degree of original fabric; they demonstrate a key aspect of the place's overall heritage significance and must be retained and conserved; retention should be considered in-situ; minor change is allowed so long as significant values and fabric are retained and conserved.

Elements of **moderate** significance have been altered or modified or do not demonstrate a key aspect of the significance of the place; they contribute to the place's overall heritage significance. Change is allowed so long as it does not adversely affect values and fabric of high significance.

Elements of **little** significance do not substantially add to the significance of the place in a positive way, though neither do they detract from its overall significance. Elements of little significance may also reflect fabric that is reproduction or may have been substantially altered or modified or may reflect non-significant phases of development. Changes are allowed so long as it does not adversely affect values and fabric of high significance.

Elements of **neutral** significance neither add nor detract from the places overall significance. Changes are allowed so long as its odes not adversely affect values and fabric of high significance.

**Intrusive** elements are damaging to the place's overall heritage significance; they should be considered for removal or alteration.

Policy 12. A suitably qualified and experienced heritage consultant/architect should be engaged to guide and provide advice on any proposed works to the building.

Policy 13. All repair, conservation and reconstruction works to significant elements must be undertaken with appropriate supervision by a suitably qualified heritage specialist or relevant materials specialist or conservator, with reference to historical documentation, and in accordance with any relevant legislative or statutory constraints.

Policy 14. All contractors, consultants and project managers engaged to work on the building should be suitably qualified and demonstrate conservation skills, experience and techniques appropriate to the trade, fabric or services.

Policy 15. Unless otherwise stated in these policies, surviving original and early elements and fabric identified as having high significance must be retained intact, and conserved.

Policy 16. Elements of high significance must not be obscured by new works, structures or services where possible, and must be clearly visible and interpreted as part of any new works.

Policy 17. Where elements of high significance have been damaged, they are to be repaired with sympathetic materials in preference to replacement. Significant elements should be repaired in-situ wherever possible.

Policy 18. If changes to elements of high significance are required, they should be carefully considered and the approach should be one of minimal intervention; as much as necessary, as little as possible.

Policy 19. Intervention for purposes other than conservation of the fabric is to occur in areas of lower (little, neutral and intrusive) rather than higher (high and moderate) significance.

Policy 20. Any elements of significance proposed for demolition, removal or alteration, should be subject to archival photographic recording, copies of which should be retained on site and provided to the relevant consent authorities. This should include photography and / or measured drawings as deemed necessary. Archival recordings should be undertaken in accordance with the former NSW OEH Heritage Division's Guidelines for '*Photographic Recording of Heritage Items Using Film or Digital Capture*'.

## 8.4.2. Best Practice Heritage Management (the Burra Charter)

### Background

Article 3 of *The Burra Charter* (revised 2013) indicates that conservation is based on a respect for the existing fabric of a place and should, therefore, involve the least possible physical intervention to prevent distortion of the evidence provided by the fabric. One of the key objectives of contemporary conservation practice is to retain as much of the significant original fabric as possible in order to preserve the essential integrity of the heritage resource.

### Guidelines

- Management of the place should generally follow the principles and conservation methodology of *The Burra Charter* (revised 2013). The document provides the methodology under which works to significant places should be undertaken and provides the guidelines for the management of heritage significance.
- All personnel engaged in works with the potential to have an impact on the heritage values of Wilkinson House should generally have proven experience and qualifications in the relevant field of heritage conservation. This includes both professionals and tradespeople.
- Fabric of high significance must be retained, conserved and maintained in accordance with *The Burra Charter*.

### Policy

Policy 21. The future conservation and management of the place should be carried out in accordance with the principles of *The Burra Charter*. *The Burra Charter* advocates a cautious approach to change: *do as much as necessary to care for the place and to make it useable, but otherwise change it as little as possible so that its cultural significance is retained*.

Policy 22. Reconstruction is appropriate only where there is sufficient evidence to reproduce an earlier state of the fabric. Reconstruction should be identifiable on close inspection or through additional interpretation. (Burra Charter Article 20)

## 8.5. USE

### Background

The ongoing use of Wilkinson House is vital to the retention of heritage significance and maintenance of the item. Ongoing sustainable and viable uses would encourage and facilitate the conservation and maintenance of Wilkinson House, and new uses should be considered with a goal to conserve and enhance the identified heritage values of the property whilst providing for those uses. Uses that require alteration or intervention that degrade elements of high significance, or irreversibly alter the interpretation of the place are not appropriate.

### Guidelines

It is preferable for the use of Wilkinson House to be used for educational purposes as deemed necessary to ensure its continued and effective use as part of the SCEGGS Darlinghurst campus.

While Wilkinson House was originally designed as a flat building and continued this use until 1960 when SCEGGS purchased and converted the place to boarding house, Wilkinson House has a longer history as part of the SCEGGS Darlinghurst campus than for its original use as a flat building. Its use as part of the school also contributes to its historical and social values. It is considered appropriate for Wilkinson House to be adaptively reused as the needs of the school evolve and change, provided that the heritage values and fabric of high significance are maintained and conserved.

The former function as residential flats and boarder's accommodation has been identified as redundant and superfluous to the school's needs. The Stage 1 Detailed DA (to be undertaken) seeks approval for the adaptive reuse of the building for teaching purposes, which necessitates alterations and additions to accommodate the future learning and teaching requirements of the school. Refer to Section 7.7 for the adaptive reuse options considered for Wilkinson House and further discussion.

### Policy

Policy 23. The use and occupation of the site for the school is of heritage significance and of paramount importance.

Policy 24. The future use of the building should be compatible with its conservation and ideally will facilitate its ongoing use for the SCEGGS Darlinghurst campus and for education or related purposes. Changes to the fabric and spaces that arise from pedagogical requirements should be made with due regard to the significance of the existing fabric and spaces.

Policy 25. Any proposed use of Wilkinson House should be compatible with the identified heritage values and significance of the building. Uses which require an unacceptable degree of intervention for upgrade to building compliance would not be acceptable.

Policy 26. Any future adaptation of the interior to suit new uses should aim to retain the entrance lobby and lounge hall. Alterations should maintain and conserve fabric of high significance as identified in Sections 6.5 and 6.6.

Policy 27. New and future uses should interpret the original division of spaces and levels of the building, such as the incorporation of ceiling or floor inlays.

Policy 28. New internal fitouts to Wilkinson House are acceptable provided the identified heritage values and significance of Wilkinson House are maintained or interpreted.

Policy 29. Uses should enhance the appreciation of the site's heritage values and significance, ensure the conservation of the identified significant building elements, fabric and context as identified in this CMP (Part 2) and Part 1 CMP, and accommodate the activities, services and fittings which are essential to the use without damaging significant elements and fabric.

Policy 30. New services (eg fire safety provisions, lift, air conditioning, toilets etc) required for upgrades or new use should avoid damage, destroying or compromising the buildings or any interior spaces, element and fabric of high significance.

Policy 31. Services associated with any proposed food and beverage uses (eg kitchens and bathrooms) should be restricted to areas currently provided for that use and/or areas of lesser significance. This does not preclude the installation of reversible stand-alone fit-outs, which can be demonstrated to have little intervention on significant fabric.

## **8.6. MANAGING CHANGE: ALTERATIONS, ADAPTATION & NEW WORK**

### **8.6.1. Managing Change: Basis of Approach**

#### **Background**

Any proposed modifications to Wilkinson House must take into consideration the identified heritage significance of the building and the SCEGGS Darlinghurst campus and must have regard to the total resource. New works should ensure that the significance is not eroded but considers opportunities to reinstate and interpret lost elements and character.

#### **Guidelines**

- Article 15, 22 and 27 of *The Burra Charter* establish the principles and processes for managing significance in the event of change and new work. The impact of proposed changes should be assessed with reference to the statement of significance and policy for managing change. Existing fabric, use, associations and meanings should be adequately recorded prior to making any change. New work should respect and enhance, rather than distort or obscure, significance. Changes which reduce significance should be reversible. *The Burra Charter*, Articles 16 to 21 inclusive, establish the conservation processes to significant fabric and spaces, whether it be maintenance, preservation, restoration, reconstruction or adaptation. Refer to Part 1, Appendix A for a copy of *The Burra Charter*.
- Any major works to the building, particularly to the exterior, should be based upon investigation including further physical analysis. The results of such investigations and analysis, along with changes made to the building, need to be recorded and added to the existing archive on the place or incorporated into a report as appropriate.

#### **Policy**

##### **Use of *The Burra Charter***

Policy 32. The future conservation and development of Wilkinson House should be carried out in accordance with the principles of the Australia ICOMOS *The Burra Charter*.

Policy 33. While recognising the need for change, the approach to high significance fabric should be a cautious one of minimal intervention. New work should respect and enhance significance, rather than distort or obscure significance. Changes which reduce significance should be reversible (*The Burra Charter*, Article 3).

Policy 34. Intervention for purposes other than the conservation of building fabric should occur in areas of Little, Neutral or Intrusive significance.

##### **Further investigation and recording**

Policy 35. Any major works to the building need to be based on the results of further investigation (such as during construction or investigative works) including:

- Further physical analysis to determine the extent of original or early fabric and finishes, obscured or covered over;
- Further physical analysis to identify original fabric, including but not limited to, windows, doors, ceilings and floor structures;
- Further physical analysis and identification of reconstructed fabric suitable for required intervention in preference to original components; and
- Any relevant condition assessments.

Policy 36. The results of further analysis and all new evidence uncovered during works to Wilkinson House should be recorded to provide an on-going resource for reconstruction, repair and maintenance.

This should be added to the existing archive on the place or incorporated into a report or addendum to this CMP, as appropriate.

### **Recording future changes**

Policy 37. All changes to Wilkinson House should be carefully recorded in report format and/or incorporated as an addendum to this CMP, as appropriate.

## **8.6.2. External Alterations and Additions**

### **Guidelines**

- Sections 6.5 and 6.6. of this report set out the gradings of significance of the exterior elements and fabric and should form the basis of the approach for future works.
- The existing external envelope of the primary built form of Wilkinson House is to be retained, conserved and interpreted. The original character of Wilkinson House is to be retained and conserved and significant fabric should remain exposed.
- Unsympathetic alterations and additions that dominate the heritage character of the building or obscure the principal elevations are discouraged. Removal of intrusive fabric (as identified in the CMP) is encouraged.
- Proposed alterations should consider the impact upon the SCEGGS Darlinghurst campus, the East Sydney HCA and heritage items in the vicinity.
- Modifications to Wilkinson House may be subject to approval under the *Sydney LEP 2012* and may be subject to preparing a heritage impact statement in accordance with the former Office of Environment and Heritage Guidelines.

### **Policy**

#### **External Alterations and Additions to Wilkinson House**

Policy 38. Major vertical additions to Wilkinson House may not be appropriate if they require change to the outer roof form. New additions should be setback from the ridgeline and should retain the visual prominence of the original roof form from Forbes and St Peters Street.

Policy 39. New works should enhance the character and significance of the place through conservation works, exposure of significant fabric and through interpretative design. New works should enhance the interpretation of association with the historical use and development of the SCEGGS Darlinghurst campus

Policy 40. New additions to Wilkinson House are appropriate to the west and south, provided that sufficient setback is provided from Forbes and St Peters Street, such that the original form and facades remain visually prominent and where any additions are recessive and sympathetic in terms of their form, materiality and detailing.

### **Elevations**

Policy 41. The form, scale, general configuration and principal elevations (north and east) of Wilkinson House identified as having high significance should be retained and conserved. Modifications to the south elevation is permitted, provided that any new design complements the architectural character of Wilkinson House and incorporates appropriate setbacks.

Policy 42. The primary elevations of Wilkinson House (north and east) are highly intact. There should be no further openings to the original elevations graded as high significance.

Policy 43. Modifications to the basement level north elevation are appropriate. Any proposed new materials to be introduced to this façade must use high quality materials that are complementary to the character of Wilkinson House. Any proposed alterations and additions should have regard for the proportions and fenestration of the original façade and must incorporate a high proportion of solid to void to express the base of the building.

Policy 44. Removal of the existing staircase connecting Wilkinson House to the Centenary Sports Hall and JFSTC is encouraged. Any new addition to the south façade should maintain an adequate setback from Forbes Street and should ideally retain views to the three eastern most bays of the

south elevation to ensure appreciation of Wilkinson House in the round from Forbes Street. Any proposed development to the south should also have regard for the scale of Wilkinson House and ensure that the heritage item remains visually prominent in the streetscape.

Policy 45. Modifications to the west façade, including the lightwell, are appropriate, provided that interpretation of the location of the original lightwell is incorporated into any new design.

Policy 46. Any original fabric removed from either the south or west elevations should be reused within the building or salvaged for future reinstatement or for use in repairs.

Policy 47. Any alterations or additions required to safeguard the ongoing use of the place should be of high material quality and demonstrate design excellence.

Policy 48. Any alterations and additions are to be designed and constructed in a way that conserves, maintains and interprets the place. This will require detailed consideration of the location, form, height and scale of any additions as well as consideration of materials and finishes proposed. Works should minimise impact on the overall character and highly significant fabric

Policy 49. Where changes are proposed to fabric of high significance, they are to be carefully considered to minimise negative impact.

Policy 50. The existing fenestration should be maintained and conserved. This includes make good works to the frames of existing doors and windows.

Policy 51. The original balconies are retained in their original form (excluding two balconies on Level 1 which have been altered and enclosed). The original balconies to the east and north facades should be retained in the first instance. However, the balconies have been assessed to be of moderate significance and are not considered to make a defining contribution to the building facades other than to provide a sense of depth and articulation. Removal/ infill of balconies is able to be supported, where required to facilitate open plan internal teaching spaces and in accordance with the following guidelines:

- Balconies should not simply be infilled with windows, the façade should maintain a sense of depth and articulation.
- Any infill should be setback behind the Doric columns.
- Transparent materials, such as glazing, are preferred to ensure the balcony openings continue to be read as open spaces.
- French doors and other identified significant components should be salvaged for reuse.

## **Roof**

Policy 52. The half hipped roof with sprocketed eaves is prominent in views from Forbes and St Peters Street. The roof should preferably be maintained and conserved. Where a new roof is proposed, new works should maintain the expressed outer roof form, boarded eaves and decorative vent panels.

Policy 53. The existing Marseille roof tiles to Wilkinson House are not original. The roof cladding may be replaced with new materials provided that they are in keeping with the character and overall materiality/ palette of the building.

Policy 54. New works to the roofs are to:

- Ensure new roof coverings and roof plumbing (eg. flashings, guttering and rainwater heads and downpipes) are adequately designed and maintained to effectively dispose of water;
- Ensure the location and profile of new downpipes and rainwater heads are based on physical or documentary evidence including profiles typical of the relevant period and/or as displayed in the original 1926 plans; and
- Ensure materiality of replacement roof fabric is sympathetic to the character and materiality of the building

## **Services (Exterior)**

Policy 55. New services should be rationalised and sympathetically located to mitigate heritage impacts.

Policy 56. Reuse existing service runs where possible to minimise intervention into significant fabric.

Policy 57. New services should be developed in consultation with a suitably qualified heritage consultant. It is preferable that services are not chased into significant fabric as identified in Sections 6.5 and 6.6. New surfaces are able to be surface mounted where required.

### Security

Policy 58. SCEGGS Darlinghurst have particular security needs that progressively need to be updated. Any proposed security measures to be installed at Wilkinson House should be informed by a heritage consultant to determine solutions that will minimise impact of significant fabric. Any new security measures should be reversible and involve little or no intervention to significant fabric.

Policy 59. The existing security bars to all balconies should be removed and any penetrations made good. Any future security measure required to the balcony openings should ensure the original balcony openings are maintained.

### Signage and Lighting

Policy 60. Any future proposed signage for Wilkinson House should be developed as part of a holistic signage strategy for the SCEGGS Darlinghurst campus that is sympathetic to the overall significance and existing use of both Wilkinson House and the campus. Signage, including any way-finding and signage for building compliance, should be developed in consultation with a suitably qualified heritage consultant.

Policy 61. External lighting should be inconspicuous and sympathetic to the heritage character of the elevations and reuse existing/original services, where possible. The qualities of the primary elevations should be emphasised through a co-ordinated lighting strategy. Lighting strategies should be consistent with City of Sydney Council lighting policy.

### Paint Schemes and Finishes

Policy 62. Existing original external materials and finishes of the façades should be retained and conserved. Painted surfaces intended to be painted should be maintained in appropriate colours. All unpainted surfaces (i.e. facebrick) originally intended to be unpainted should remain unpainted.

Policy 63. Research is to be undertaken to establish the original significant colour schemes/ finishes to the heritage item. Original schemes may be reinstated, however appropriate contemporary colour schemes may also be considered. New colour schemes should be guided by heritage advice and should incorporate an appropriate number of colours so as to reinforce the architectural features of the building.

## 8.6.3. Internal Alterations and Additions

### Guidelines

- Sections 6.5 and 6.6. and of this report provides a schedule of significant internal elements and fabric that should form the basis of approach for all works. In general, the interiors are assessed to be of little to moderate significance and have been subject to various and successive alterations and additions. Remnant original features include some decorative plaster ceilings and cornices, timber skirting boards, architraves and picture rails. These remnant features are not considered to be aesthetically distinctive, rather they are typical of the period. The only space/ fabric nominated as being of high heritage significance is the ground floor entrance lobby and lounge hall. .
- Having regard for the altered nature of the internal spaces and generally lesser significance, extensive internal refurbishment, including demolition is feasible, where required to facilitate the ongoing educational use and to ensure the building is fit for purpose. Any proposed design for the internal refurbishment of Wilkinson House must have explored all possible alternatives to facilitate the ongoing use of the building for educational use before determining any extensive intervention. Any proposed internal refurbishment must also ensure a high quality design that also includes robust interpretative elements to ensure the ongoing interpretation of the early history and original design of Wilkinson House.

## Policy

### General

Policy 64. New work is to:

- Enhance the character of the interiors through the exposure of significant original fabric and spaces: and
- Retain/conserve elements identified to be of high significance within the building.

Policy 65. Intrusive elements as identified in this CMP may obscure highly significant fabric. Intrusive elements should preferably be removed to expose original fabric and structure, where these elements survive.

Policy 66. The original entrance lobby and lounge hall should be maintained and conserved, including all of its original features as identified in the schedule of significant elements. Access to the space from Forbes Street should be re-established, even if only on special occasions.

Policy 67. The original staircase and its associated vestibules should in the first instance be retained. If its removal is required to ensure the ongoing use of the place for educational purposes in association with SCEGGS Darlinghurst, the timber balustrade should be considered for salvage and interpreted on site. Interpretation of the use of terrazzo flooring is also encouraged.

Policy 68. The original layout of the flat building has been substantially degraded overtime and is not considered to be intrinsic to the significance of Wilkinson House. Alterations to the floor layout are acceptable, provided that interpretation of the original floor layout is incorporated into any new design. This could include new floor and/or ceiling inlays that interpret the original layout.

Policy 69. If changes are proposed to the interiors that would remove the original cornices, skirtings, architraves and picture rails, they should be salvaged and in the first instance reused on site or sold to a second hand materials dealer.

### Services

Policy 70. The upgrading of services within the building is to comply with the following approach:

- Minimise impact on significant fabric, by maximising the exposure of heritage fabric and minimising penetration through fixings and to heritage fabric, utilising existing penetrations where feasible;
- New services including sprinkler valves, electrical rooms, plant, ductwork, distribution boards, fire panels, electrical boards etc. should be located in areas of lesser significance, in areas that are not visible, have been previously modified or in the area of existing services (including stairs, lift core, lift motor room and/ or WCs) where possible;
- Not conflict with window and door openings;
- Be complimentary to the interiors; and
- Minimise the extent of services required by enhancing natural ventilation and natural light, where permissible.

### 8.6.4. Compliance with Building Regulations

In any major upgrade of the buildings, new works will need to comply with the BCA/ NCC and Australian Standards under Section 94 of the *Environmental Planning and Assessment Regulations 2000*. To minimise adverse interventions and to assist in maximising the exposure of significant heritage fabric, alternate solutions to the deemed to satisfy provisions of the BCA should be derived from performance based assessments particularly in relation to structural provisions, fire resistance and stability, fire separation, provisions for access and egress, sound transmission and isolation and energy efficiency. Professional advice should always be obtained. Should conflicts arise between compliance and cultural significance the Heritage Council of NSW is able to provide advice and assistance in seeking appropriate compliance solutions through its Technical Committee.

## Guidelines

- Any modification to significant fabric or spaces in the building for BCA/ NCC compliance purposes may be subject to undertaking a heritage impact statement in accordance with the former Office of Environment and Heritage Guidelines.
- New works should aim to reduce the environmental impact of new construction and building fit outs.
- Works to achieve sustainability outcomes should consider conservation objectives and may not be supported where required modifications might detrimentally impact on identified significant fabric or finishes.

## Policy

Policy 71. To minimise adverse interventions and to assist in maximising the exposure of significant heritage fabric, alternate solutions deemed to satisfy provisions of the BCA/ NCC should be derived from performance based assessments particularly in relation to structural provisions, fire resistance and stability, fire separation, provisions for access and egress, sound transmission and isolation, and energy efficiency.

Policy 72. The existing staircase is not compliant with NCC standards and does not provide sufficient width for use by the school. In order to ensure the ongoing use of Wilkinson House as part of the SCEGGS Darlinghurst campus, it may be necessary to remove and replace this staircase. Refer to Policy 67 for further guidance.

## Equitable Access

*The Commonwealth Disability Discrimination Act (DDA) makes it unlawful to discriminate against people on the grounds of disability. Section 23 of the Act requires equal access to premises which the public, or a section of the public, is entitled or allowed to use.*

Policy 73. Prior to designing any new equitable access solutions, investigate best international practice solutions to improve the accessibility of the building for all, while retaining heritage significance in a manner that minimises impact.

Policy 74. Alteration of fabric to facilitate universal access is appropriate, but only after investigation of alternative strategies. Adaptation should be located in spaces of lower significance, minimise damage to fabric identified to be conserved and provide for the removal of the alterations without further damage to retained fabric.

Policy 75. Where compliance with the DDA is likely to have an adverse heritage impact on significant fabric, formal advice on alternative means of compliance shall be sought from expert consultants. Site specific performance-based solutions may be appropriate. Where there is a conflict between the DDA and the heritage significance of the building (particularly the retention of high significance), alternative options to achieve compliance should be investigated and dispensation options explored prior to any intervention.

Policy 76. The existing entrance lobby and lounge hall are set at a lower level than the rest of the ground floor. Any proposed new solution to achieve equitable access into and out of this space should be designed to ensure elements of high significance are retained and minimal impact is experienced. Any proposed solution for access this area should be design in consultation with an appropriately qualified heritage consultant.

## Fire Separation

*The National Construction Code (NCC), incorporating the Building Code of Australia (BCA) is a national set of building regulations with some state-specific variations. The performance requirements of the BCA are mandatory, although the introductory sections of the Code make clear that not all requirements will apply to a given case. The Code also includes 'deemed-to-satisfy' requirements which are accepted as meeting the performance requirements. However, the Code also makes provision for alternative solutions to meet the performance requirements, subject to satisfactory verification.*

Under the *Environmental Planning and Assessment (EP&A) Regulation 2000*, all new building work must be carried out in accordance with the *Building Code of Australia*. In the case of an existing building, there is generally no requirement to comply with the BCA unless works are being carried out. However, where works (in particular alterations or additions) are proposed to the place, the building will need to comply on

completion with the relevant [performance] requirements of the *Building Code of Australia* (EP&A Act Regulation Clause 145). Where an existing building has a change of use, the structural capacity and fire safety of the building must be appropriate for the new use. For a building which undergoes alterations without a change of use, the structural capacity and fire safety of the building must not be reduced by the work (EP&A Act Regulation Clause 143).

In certain circumstances, exemption can be obtained from the requirements of the BCA under Clause 187 of the EP&A Regulation. Because, in most cases, there will be an acceptable alternative solution to satisfy the performance requirements of the BCA, applications for exemption are sought rarely. If such an application is contemplated, it should be sought at development application stage. The Fire, Access and Services Advisory Panel of the Heritage Council of NSW may be able to assist in resolving conflicts between heritage and regulatory requirements. The building is not to be used for any purpose for which compliance with building regulations would adversely affect its significance. This policy is not intended to rule out, for example, the sympathetic installation of fire safety equipment to enable a building to continue to be used.

Compliance with building regulations is to be achieved using their objectives and performance requirements rather than deemed-to-satisfy provisions. The Building Code of Australia permits alternatives to its deemed-to-satisfy requirements provided that these can be demonstrated to achieve at least the same level of compliance with its performance requirements.

**Policy 77.** Changes to achieve fire safety should preferably occur in areas of lesser heritage significance. Fire services should be designed in consultation with a suitably qualified heritage consultant and specialist fire engineer with demonstrated experience in working with heritage items.

## **8.7. CONSERVATION & MAINTENANCE**

### **Background**

Conservation and maintenance aim to conserve and enhance the identified heritage values of the asset wherever possible. Change should be considered with a goal of conserving and enhancing the identified heritage values of the asset, wherever possible, while accommodating its continued and ongoing use.

Wilkinson House is currently in a good condition. Regular maintenance and scheduled conservation works are required to be implemented to conserve the heritage significance and identified significant fabric of the place. Ongoing maintenance should be undertaken in accordance with a cyclical maintenance plan.

### **Guidelines**

- Maintenance should aim to conserve and enhance the identified heritage values of the place.
- Fabric identified as having high significance is to have priority works undertaken when required. Impact on significant fabric is to be considered and the appropriate approvals sought.
- Maintenance work should be prioritised according to the heritage significance and vulnerability to deterioration of individual elements and fabric.
- Management and maintenance of the place should aim to conserve its heritage significance. Works are to be sympathetic to high significant fabric. Repairs are to be undertaken instead of replacement, where possible.
- The minimum standards of maintenance and repair under Section 118 of the *Heritage Act 1977* and as specified in the *Heritage Regulations 2012*, are recommended to be applied to the place to ensure its long-term conservation. The minimum standards refer to weatherproofing, fire protection, security and essential maintenance, to ensure the significance of the place is retained.
- A Cyclical Maintenance Plan has been prepared in Section 9 of this report to guide the conservation of the fabric of Wilkinson House. The plan should be adopted as a minimum requirement for maintenance works. It is noted that this schedule will need to be supplemented by further physical investigation into the fabric to identify additional required works and latent conditions.
- Any repair, conservation or reconstruction works to significant elements or facades are to be undertaken with appropriate supervision by a suitably qualified heritage consultant /architect, or relevant materials specialist/s or conservator and with reference to historical documentation.
- Maintenance works to the buildings should be undertaken on a regular basis to avoid the need for substantive conservation works.

## **Policy**

Policy 78. Maintenance works and minor repairs are recommended to be undertaken in accordance with the minimum standards of maintenance and repair under Section 118 of the *Heritage Act 1977* as specified in the *Heritage Regulations 2012*.

Policy 79. The Cyclical Maintenance Plan (Section 9) should be adopted and implemented as part of the ongoing management and maintenance of the property.

Policy 80. Any reconstruction or restoration works should be based on historical documentation rather than speculation.

Policy 81. Materials used for repair and reconstruction should preferably be traditional materials used in the construction of the place. Missing or damaged fabric will be replaced observing the 'like for like' principle. For example, replace with similar fabric (eg timber with same species timber) or replace with new fabric of similar appearance, or replace with different fabric of similar profile and dimensions (whilst remaining apparent as new work).

## **Skills and experience**

Policy 82. Professional and trade skills with heritage experience appropriate to the site or building's fabric and significance are to be employed to carry out maintenance and conservation works. This is particularly pertinent for any maintenance and conservation works to elements identified to be of high significance (Sections 6.5 and 6.6.). This is essential to ensure protection of heritage fabric and values as well as optimal use of funding to carry out works.

## **Masonry**

Policy 83. Retain and maintain all original masonry ranked of high significance. Unpainted masonry must remain unpainted.

Policy 84. Where brick repairs are required, repair rather than replace, where possible. Any new bricks must match size, shape and colour of the original.

Policy 85. Retain original mortar and pointing where possible, where replacement or repairs to mortar are required;

- Do not rake joints unless absolutely necessary; retain as much original pointing as possible.
- Do not widen existing masonry joints under any circumstances.
- Mortar is to match in appearance including colour and joint profile, strength and composition as the original adjacent.
- Where inappropriate repairs have been made these should be removed and replaced with mortar to match original in accordance with the above.

Policy 86. Where necessary to reduce rainwater penetration and prolong its life, masonry features may be capped with lead.

## **Doors and windows**

Policy 87. Original doors and windows on the north, east and south elevations identified as being of high significance are to be retained and repaired in preference to removal and/or replacement. Where replacement is unavoidable, any new elements should be date stamped and should accord with the original design intent of Emil Sodersten.

Policy 88. Repaint, varnish or polish timber windows and/or doors in accordance with their original finishes.

Policy 89. Original window glass should be preserved and re-used wherever possible.

Policy 90. All original leadlight windows should be maintained and conserved.

Policy 91. Investigation into the front double leaf door should be undertaken to determine if it is a modified original door. If original, the door should be restored. If later fabric, it may be retained or replaced with another timber door appropriate to the style of Wilkinson House.

## **Roofing**

- Policy 92. The roof membrane to roof terrace may be replaced, if required, with an appropriate material.
- Policy 93. Replace gutters, downpipes and rainwater heads using profiles and sizes appropriate to the architectural style of the building where required by condition and based on documentary and on-site evidence.
- Policy 94. Where downpipes are required to be removed and replaced with new downpipes they should be located in the existing position and/or in accordance with the original 1926 plans and must not chase into any brickwork.
- Policy 95. Installation of new downpipes and rainwater heads should not alter fabric of high heritage significance (i.e. cut out sections of brickwork).

## **Floors**

- Policy 96. Floor finishes throughout the building should, where appropriate to functional requirements, interpret original finishes.
- Policy 97. The existing timber and terrazzo floors in the entrance lobby and lounge hall should be maintained and conserved.

## **8.8. HISTORICAL ARCHAEOLOGY**

### **Background**

The assessment of archaeological potential (Section 4.3.1) and significance (Section 4.3.3) have established that there is low potential for historical archaeological relics to occur within the footprint of Wilkinson House. Section 7.4 outlines management guidelines for areas of archaeological potential in order to avoid impacts to historical archaeological resources. Management recommendations are provided in respect of locally significant relics only.

### **Policy**

- Policy 98. Before any works are undertaken which would impact the ground surface, an application should be made for an Excavation permit exception under Section 139(4) of the Heritage Act 1977.
- Policy 99. Archaeological monitoring should be undertaken throughout the course of any works which would impact the ground surface and should follow the guidelines as provided in Section 7.6.1 below.
- Policy 100. In the event that potential relics are identified during the course of archaeological monitoring, mechanical excavation must immediately cease, Heritage NSW be contacted and an application be made for an Excavation permit under Section 140 of the Heritage Act 1977.
- Policy 101. In the event that relics of potential State significance are identified during the course of works, all works must cease, Heritage NSW be notified, and the relevant permits be obtained.
- Policy 102. In the event that the proposal is a State Significant Development (SSD), the provisions of the *Heritage Act 1977*, do not apply. The development application will instead be assessed under Division 5.2 of the *Environmental Planning and Assessment Act 1979* (EP&A Act). Projects approved under Division 5.2 do not require approval under Part 4 of the *Heritage Act 1977*, however, accompanying documentation must outline proposed mitigations measures for any potential harm to relics. The Standard Secretary's Environmental Assessment Requirements (SEARs) must also be strictly adhered to.

## **8.9. ABORIGINAL ARCHAEOLOGY**

### **Background**

The archaeological assessment has established that there is low potential for Aboriginal archaeological resources to occur within the footprint of Wilkinson House.

Based on these findings, the following recommendations are made:

## **Policy**

Policy 103. Although considered highly unlikely, should any Aboriginal objects, archaeological deposits be uncovered during any site works, a Chance Find Procedure must be implemented.

Policy 104. In the unlikely event that human remains are uncovered during any site works, the following must be undertaken:

- All works within the vicinity of the find immediately stop.
- Site supervisor or other nominated manager must notify the NSW Police and DPC.
- The find must be assessed by the NSW Police, and may include the assistance of a qualified forensic anthropologist.
- Management recommendations are to be formulated by the Police, DPC and site representatives.
- Works are not to recommence until the find has been appropriately managed.

Policy 105. While an ACHA has been prepared for the whole site, future applications may require the continuation of or renewal of the consultation process in accordance with the Consultation Requirements for Proponents (DECCW, 2010).

Policy 106. In accordance with the Draft Connecting with Country Framework produced by the Government Architects office, design of future development should be undertaken in consultation with Aboriginal community groups to ensure that development responds appropriately to the environment and the cultural heritage values of the area. Future developments should also consider Aboriginal cultural heritage values in interpretation strategies and plans.

## **8.10. CURTILAGE, SETTING AND VIEWS**

### **Background**

Wilkinson House is identified as a significant building within the curtilage of the SCEGGS Darlinghurst campus local heritage listing under the *Sydney LEP 2012*. For the purposes of this CMP, the curtilage of Wilkinson House is defined as the buildings existing footprint.

Wilkinson House occupies a prominent corner location at the intersection of Forbes and St Peters Street. Views to Wilkinson House are primarily limited to these surrounding streets. of

No future works should be undertaken either at the place, or surrounding the place, which would have a substantial and detrimental impact the identified significance of the place, views to and from Wilkinson House (Section 6.3).

## **Policy**

Policy 107. The significant facades, overall form and landmark quality of the Wilkinson House should be respected and retained.

Policy 108. The significant visual and associative relationship between Wilkinson House, the SCEGGS Darlinghurst campus and the East Sydney HCA should be retained, conserved and interpreted.

Policy 109. Proposed alterations to Wilkinson House should consider the potential impact on heritage items in the vicinity and the character of the streetscape.

Policy 110. All works to Wilkinson House should enhance the setting of the site.

Policy 111. New development should not detract from, or obscure, the significant elevations and overall form of the building. Any proximate redevelopment should be of an appropriate scale to enhance, and not dominate, the setting of Wilkinson House.

Policy 112. The following significant views should be conserved (refer to Figure 123):

- View 1: View from Forbes Street west
- View 2: View from Forbes Street north
- View 3: View from Forbes Street south

- View 4: View from St Peters Street south
- View 5: View from Wilkinson House roof west to CBD

## 8.11. INTERPRETATION & FURTHER INVESTIGATION

### Background

Interpretation is an essential part of the conservation process. A variety of methods may be used to interpret the significant values and associations of Wilkinson House and identified in the Historical Themes and Assessment of Significance section of this CMP. Methods of interpretation may include conserving original features and fabric, reconstructing missing or damaged elements based on documentary and/or archaeological evidence, introducing interpretative devices (such as discreet labelling), the use of historic photographs, preserving evidence of original finishes and fabric (e.g. a cleaned patch of original wall colour), facilitating access for specialist study and/or presentation in publications and websites.

The primary interpretation device for Wilkinson House for its continued ongoing use in association with SCEGGS Darlinghurst and its continued understanding as a rare example of Emil Sodersten's early works as an Inter-War Georgian Revival and Mediterranean style flat building. There is potential to provide information about Wilkinson House's history, both as a flat building and as a boarding house for SCEGGS through a light-touch approach.

### Guidelines

Interpretation should be consistent with the NSW Heritage Manual, the former NSW Heritage Division's Interpreting Heritage Places and Items: Guidelines (August 2005) and the NSW Heritage Council's Heritage Interpretation Policy (endorsed by the Heritage Council August 2005).

- Policy 113. The primary interpretation device is the ongoing use of Wilkinson House and its association with the SCEGGS Darlinghurst.
- Policy 114. A Heritage Interpretation Plan should be prepared for Wilkinson House, as part of a wider Heritage Interpretation Strategy for the SCEGGS Darlinghurst campus.
- Policy 115. Interpretation of Wilkinson House should consider the historical evolution the place from flat building, to boarding house, to educational spaces.
- Policy 116. The highest form of interpretation is the retention and conservation of significant fabric, spaces and relationships and accordingly, significant elements should be retained, exposed and interpreted in accordance with their grading of significance and specific policies herein.
- Policy 117. Preservation, restoration and reconstruction of key significant elements, areas and fabric are the preferred method of interpreting important attributes and associations of the place. Where adaptation is part of the conservation work, measures should be incorporated to show the location, character and/or role of removed or altered elements, where appropriate.
- Policy 118. Appropriate measures to interpret the history and significance of Wilkinson House should be incorporated into any new work. Interpretation measures may include physical site elements which reflect past features as well as signage incorporating historic photographs and historical accounts.
- Policy 119. Archaeological remains should be retained in situ where possible, to assist in interpreting the chronology of the site and the significant values. Any display or storage of archaeological material should be subject to further advice or be in conjunction with future archaeological assessment.

## 8.12. IMPLEMENTATION STRATEGIES

The following table lists strategies for implementing the conservation policies for the place. The strategies have been cross-referenced to conservation policies above and prioritised as follows:

- high priority works should be undertaken within the next twelve months;
- medium priority works should be undertaken within the next two to four years; and
- low priority works should be undertaken within the next five years.

Table 19 – Implementation strategies for conservation policies

Strategy	Conservation Policy	Priority
Adopt CMP to guide management of the place	Policy 1	High – From finalisation of report
Implement the Cyclical Maintenance Plan	Policy 79	High – Ongoing and regular process
Provide copies of the CMP to the consent authorities	Policy 3	Upon finalisation of CMP
Undertake CMP review	Policy 8	As required/within 10 years or subsequent to major adaptive reuse of development proposal
Heritage advice should be obtained from appropriately qualified and experienced conservation consultants for decisions affecting the significant fabric of the site.	Policy 12	High – ongoing
Preparation of Heritage Interpretation Plan for Wilkinson House	Policy 114	Medium – in conjunction with any major works proposed to the building

## 9. CYCLICAL MAINTENANCE PLAN

This Cyclical Maintenance Plan was prepared to provide guidance for the ongoing maintenance and management of heritage fabric at the property. Minimum standards of maintenance and repair under Section 118 of the *Heritage Act 1977* and as specified in the *Heritage Regulations 2012*, should be used as a guide to ensure Wilkinson House' long-term conservation. The minimum standards refer to water tightness, fire protection, security and essential maintenance, to ensure that the good condition of the property is maintained.

This Cyclical Maintenance Plan outlines the following information:

- Current condition and immediate works;
- Required ongoing maintenance; and
- Monitoring and maintenance requirements and recording.

### 9.1. MAINTENANCE MANAGEMENT

This Cyclical Maintenance Plan should inform an ongoing plan of maintenance for the place which should be implemented by a nominated manager to maintain the condition of the building. The responsibilities of a nominated manager are outlined as below:

- Ensure the continuous protective care of Wilkinson House is carried out in accordance with the cyclical maintenance plan;
- Ensuring responsible and competent trades people experienced in heritage work and traditional materials and methods carry out maintenance on the site;
- Maintaining an up-to-date trade person register.
- Ensuring all maintenance work carried out, including description of the work, date of completion, estimated and actual cost, contractor and warranties have been properly recorded in a "Maintenance Logbook".
- Recording reported defects, emergency corrective maintenance and expenses;
- Ensuring all periodic inspection surveys have been done in accordance with the Maintenance Plan;
- Ensuring all work to be carried out does not detrimentally affect the significant fabric of Wilkinson House (significant elements have been identified in Section 6.5 and 6.6 of this CMP).
- Programming and coordinating maintenance work involving a number of interrelated works to be carried out in appropriate order and working hours;
- Ensuring maintenance works to be carried out do not disturb and/or conflict with the requirements of the occupants and the users of the building. Note that some work may need to be carried out "out of hours";
- Ensuring documentation (e.g. drawings and samples of workmanship, materials or components) of the maintenance and repair works, as appropriate for the job, have been done by specialists where necessary; and
- Maintaining samples for future identification and usage as reference.

### 9.2. FUTURE EMERGENCY MAINTENANCE AND REPAIRS

Emergency maintenance and repairs due to accidental, unforeseen or storm damage should be repaired as soon as possible to prevent further damage or degradation to the item. Any short-term emergency, temporary or short-term repairs should be reversible and not damage or remove significant fabric.

Table 20 – Emergency Maintenance and Repairs

Item	Frequency
Blocked or broken stormwater or sewer lines	Repair as they occur as soon as possible
Clearing of blocked gutters or downpipes	Repair as they occur as soon as possible
Broken water supply lines	Repair as they occur as soon as possible
Damaged or defective light fittings	Repair as they occur as soon as possible
Vandalism that allows access to the building	Repair immediately with temporary measure eg screw fixed ply sheeting to broken window.
Storm damage to external fabric	Repair as they occur as soon as possible
Breaking of defective security including locks latches and alarms	Repair as they occur as soon as possible

## 9.3. MAINTENANCE GUIDELINES

Avoid the following:

### Roofing

- Walking on roof sheeting.
- Combining dissimilar metals (e.g. Copper surfaces draining onto galvanised roof sheeting, gutters or downpipes).
- Placing ladders or leaning objects onto soft copper or stainless-steel gutters or ridges.
- Replacing roofing in part with roofing of alternate material, design or colour.
- If replacing 100% of roof, advice must be sought from heritage consultant on suitable replacement

### Masonry

- Covering wall vents and damp proof courses with garden beds, soil, or structure
- Building up garden beds adjoining masonry
- Applying anti-graffiti or protective coatings to masonry unless specifically tested and approved for brick and approved by a heritage architect or consultant
- Inappropriate cleaning including, water jets or pressure washers, wire brushes or chemical detergents that may damage masonry or mortar.

### Joinery

- Replacing original hardware unless necessary and preferably approved by heritage architect or consultant.
- Removing original hardware, keep in place and install new adjacent.
- Installing or replacing hardware with new not in keeping with the building.
- Installing one way or different coloured glass when replacing glazing.
- Replacing original joinery, patch repair where required.

- Using difference timber species to repair joinery where possible.

## **Paint**

- Painting surfaces not previously painted such as face brick, stone works and terracotta details.
- Using inappropriate colours.
- Stripping paint surfaces back to substrate without heritage advice (evidence of existing colour schemes must be retained).

Table 21 – Cyclical Maintenance Plan

Item	Frequency				Further Comments
	12 Months	2 Years	5 Years	10 Years	
<b>External</b>					
<b>General</b>					
Cleaning					
		<p>Clean external painted masonry surfaces (including painted surfaces). Clean down with water to remove built up dust and pollutants. Do not use acid or abrasive blasting. Use only low-medium pressure water (maximum 100psi) and weak surfactants.</p> <p>Clean other surfaces (e.g. painted timber): Blowvac, vacuum, brush down only or use low pressure water only.</p>			
<b>Generally</b>					
Pest Control					
		<p>Termite inspection and report by suitably qualified pest inspector.</p>			
<b>Paint Generally</b>					
External	Inspection, condition & repair/maintenance report by appropriate personnel.		Previously painted surfaces. Prepare and paint in approved colours.	Detailed inspection by Heritage Consultant / Architect with appropriate personnel and prepare	

Item	Frequency				Further Comments
	12 Months	2 Years	5 Years	10 Years	
	Inspection including; flaking or chalking that may indicate damp.				repair and maintenance report.
<b>Timber joinery</b>	Inspection, condition & repair/maintenance report by appropriate personnel.		Previously painted surfaces. Prepare and paint in approved colours	Detailed inspection by Heritage Consultant / Architect with appropriate personnel and prepare repair and maintenance report.	
<b>External</b>					
Windows, doors etc.	Inspection including rotting, damage, lose or damaged mouldings, parting beads and stop beads, binding sashes, weather tight door fit, cracked or broken glass, weathered sills, decay, hardware, and locks are in working order.				
<b>Masonry</b>	Inspection, condition & repair/maintenance report by appropriate personnel as soon as possible.			Detailed inspection by Heritage Consultant / Architect with appropriate personnel and prepare repair and maintenance report.	Clean as necessary. Determine appropriate cleaning method in consultation with the heritage consultant to avoid damage to masonry.
<b>(brickwork)</b>					
Walls, sills, parapets, footings	Inspection including; vegetation growth, cracking, delamination, crumbling, missing or flaking pointing, evidence of surface salt, damp proof				Abrasive methods must be avoided.

Item	Frequency				Further Comments
	12 Months	2 Years	5 Years	10 Years	
	courses and water egress and shedding.				<p>Do not apply any surface treatments unless required to solve specific issues.</p> <p>Determine treatments in consultation with heritage consultants and manufacturer.</p> <p>Where necessary, repair or replace deteriorated material with new material that matches the original.</p> <p>Determine appropriate material in consultation with heritage consultant.</p> <p>If repointing is required, only repoint joints where there is evidence of deterioration. Determine appropriate composition, colour and striking in consultation with the heritage consultant.</p>
Concrete	Inspection, condition & repair/maintenance report by appropriate personnel.	Previously painted surfaces: Prepare and paint in approved colours	Detailed inspection by Heritage Structural Engineer with appropriate personnel and prepare		

Item	Frequency				Further Comments
	12 Months	2 Years	5 Years	10 Years	
		Inspection including; vegetation growth, cracking, delamination, spalling, carbonation/corrosion of reinforcement, aggregate exposure, evidence of surface salt, and water egress and shedding.		repair and maintenance report.	
<b>Rainwater goods</b>  Gutters, rainwater heads, downpipes, support bracket etc.	Inspection, condition & repair/maintenance report by appropriate personnel.  Gutter and downpipes:  Inspect gutters and downpipes clear any debris and ensure they are free flowing.  Check brackets are all secure and are draining effectively.	Inspection, condition & repair/maintenance report by appropriate personnel.  Inspection including; damage, weathering, deterioration, corrosion, blockages, water ingress, fall of gutters, brackets downpipes, sumps and rainwater heads.	If previously painted:  Prepare and paint in approved colours	Detailed inspection by Heritage Consultant / Architect with appropriate personnel and prepare repair and maintenance report.	
<b>Roofing membrane</b>		Inspection, condition & repair/maintenance report by appropriate personnel.		Detailed inspection by Heritage Consultant / Architect with appropriate personnel and prepare	

Item	Frequency				Further Comments
	12 Months	2 Years	5 Years	10 Years	
		Inspection including; damage, weathering, deterioration, water ingress		repair and maintenance report.	
<b>Roofing</b> Terracotta tiles	Ensure that the roof material provide a weather tight covering for the structure	Inspection, condition & repair/maintenance report by appropriate personnel.  Inspection including; Tiles that have slipped, cracked, broken or become porous. Inspect for timber shingles that have slipped, cracked, decayed or badly formed.		Detailed inspection by Heritage Consultant / Architect with appropriate personnel and prepare repair and maintenance report.	
<b>Glass</b>	Surface cleaning using water and detergent (as required).				If replacement glazing is required match the new glazing to the existing glazing in the respective window/door.  Determine appropriate type in consultation with the heritage consultant.  Do not use reflective films over glass.

Item	Frequency				Further Comments
	12 Months	2 Years	5 Years	10 Years	
<b>Metal Work</b>		Inspection, condition & repair/maintenance report by appropriate personnel.			Clean as necessary with method determined in consultation with heritage consultant and manufacturer. Cleaning methods must not alter colour or texture of metal.
<b>Structure (general)</b>			Investigate structural members and systems for weakened points. Inspection, condition & repair/maintenance report by appropriate personnel.  Inspection including;  Sub-floor, walls and roof structure, unapproved penetrations, sagging and subsidence.  Termite & Pest Inspection and Report by Specialist		
<b>Security</b>	Inspect walls, roof and other building elements, doors, windows and other closures, glazing, locking and latching mechanisms.				

Item	Frequency				Further Comments
	12 Months	2 Years	5 Years	10 Years	
	Inspect electronic surveillance and alarm systems and any other security components				
<b>Internal</b>					
<b>Paint Generally</b>		Inspection, condition & repair/maintenance report by appropriate personnel.  Inspection including; flaking or chalking that may indicate damp.		Detailed inspection by Heritage Consultant / Architect with appropriate personnel and prepare repair and maintenance report.  Previously painted surfaces. Prepare and paint in approved colours	
<b>Walls</b>	Surface clean with damp cloth	Inspection, condition & repair/maintenance report by appropriate personnel.  Inspection including; checking for cracks indicating structural movement (if substantial structural engineer to inspect)	Inspection, condition & repair/maintenance report by appropriate personnel.  Inspection including; plaster and tiled surfaces and finishes for cracking, drummy and failing plaster, evidence of rising or falling damp	Detailed inspection by Heritage Consultant / Architect with appropriate personnel and prepare repair and maintenance report.  Complete unscheduled maintenance and conservation repairs as required in report.	

Item	Frequency					Further Comments
	12 Months	2 Years	5 Years	10 Years		
		Repair to match existing as required.	Repair to match existing as required.	Previously painted surfaces. Prepare and paint in approved colours		
<b>Floors (general)</b>	Vacuum as required  Clean spillages as they occur.		Inspection, condition & repair/maintenance report by appropriate personnel.  Inspection including;  Loose seams and unsecured edges.			
<b>Timber joinery</b>  <b>Internal</b>  Windows, doors, balustrades, ceiling and handrails etc.		Inspection, condition & repair/maintenance report by appropriate personnel. Repairs as required in report.  Inspection including rotting, damage, lose or damaged mouldings, parting beads and stop beads, binding sashes, weather tight door fit, cracked or broken glass, weathered sills, decay, hardware, and locks are in working order.	Inspect condition of surface finish for defective or failing finish. If repainting or refinishing is required within the next five years schedule.	Detailed inspection by Heritage Consultant / Architect with appropriate personnel and prepare repair and maintenance report.  If previously painted, prepare and paint in approved colours. Alternate finishes: Inspect for condition and refinish if required.		

Item	Frequency				Further Comments
	12 Months	2 Years	5 Years	10 Years	
Ceilings		<p>Inspection, condition &amp; repair/maintenance report by appropriate personnel.</p> <p>Inspection including; checking for cracks indicating structural roof movement, sagging ceilings and water damage (if substantial structural engineer to inspect)</p> <p>Repair to match existing as required.</p>		<p>Detailed inspection by Heritage Consultant / Architect with appropriate personnel and prepare repair and maintenance report.</p> <p>Prepare and paint in approved colours</p>	
<b>Ventilation</b>					
Sub Floor		<p>Check sub floor ventilation is clear of obstructions and debris and functioning correctly.</p> <p>Check sub floor for signs of damp and sub floor walls for signs of rising damp.</p>		<p>Detailed inspection by Heritage Consultant / Architect with appropriate personnel and prepare repair and maintenance report.</p> <p>Complete unscheduled maintenance and conservation repairs as required in report.</p>	

Item	Frequency				Further Comments
	12 Months	2 Years	5 Years	10 Years	
<b>Walls</b> Internal	Surface clean with damp cloth	Check wall vents are functioning free from obstructions paint build up and operating correctly if mechanical.		Detailed inspection by Heritage Consultant / Architect with appropriate personnel and prepare repair and maintenance report.	
<b>Roof space</b>		Check vents are functioning free from obstructions paint build up and operating correctly if mechanical.		Detailed inspection by Heritage Consultant / Architect with appropriate personnel and prepare repair and maintenance report.	
<b>Services</b>					
<b>Services</b> Fire services	Inspection, condition & repair/maintenance report by appropriate personnel.  Inspection including; fire services and fixtures including sprinkler and hydrant line, exits signs, smoke detectors and controls, fire control room, fire doors etc. in accordance with Australian Standards and regulations.			Detailed inspection by Heritage Consultant / Architect with appropriate personnel and fire consultant and prepare repair and maintenance report.	

Item	Frequency				Further Comments
	12 Months	2 Years	5 Years	10 Years	
<b>Services</b> Stormwater, water and sewage	Inspection, condition & repair/maintenance report by appropriate personnel.  Inspection including; dish drains and sumps for blockages, internal and external taps for leaks and drips.				Detailed inspection by Heritage Consultant / Architect with appropriate personnel and prepare repair and maintenance report.
<b>Services</b> Electricity	Inspection, condition & repair/maintenance report by appropriate personnel.  Inspection including; all electrical appliances and systems are in safe working order approved by a qualified electrician.				Detailed inspection by Heritage Consultant / Architect with appropriate personnel and prepare repair and maintenance report.
<b>Services</b> Air Conditioning	Inspection, condition & repair/maintenance report by appropriate personnel and air conditioning contractor.  Repairs as required in report				Detailed inspection by Heritage Consultant / Architect with appropriate personnel and air conditioning specialist and prepare repair and maintenance report.

Item	Frequency				Further Comments
	12 Months	2 Years	5 Years	10 Years	
Plaques/interpretation	Wipe with lint free soft cloth as required				Do not clean with abrasive agents

# DISCLAIMER

This report is dated 17 January 2022 and incorporates information and events up to that date only and excludes any information arising, or event occurring, after that date which may affect the validity of Urbis Pty Ltd (**Urbis**) opinion in this report. Urbis prepared this report on the instructions, and for the benefit only, of SCEGGS (**Instructing Party**) for the purpose of a Development Application (**Purpose**) and not for any other purpose or use. To the extent permitted by applicable law, Urbis expressly disclaims all liability, whether direct or indirect, to the Instructing Party which relies or purports to rely on this report for any purpose other than the Purpose, and to any other person which relies or purports to rely on this report for any purpose whatsoever (including the Purpose).

In preparing this report, Urbis was required to make judgements which may be affected by unforeseen future events, the likelihood and effects of which are not capable of precise assessment.

All surveys, forecasts, projections and recommendations contained in or associated with this report are made in good faith and on the basis of information supplied to Urbis at the date of this report, and upon which Urbis relied. Achievement of the projections and budgets set out in this report will depend, among other things, on the actions of others over which Urbis has no control.

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Whilst Urbis has made all reasonable inquiries it believes necessary in preparing this report, it is not responsible for determining the completeness or accuracy of information provided to it. Urbis (including its officers and personnel) is not liable for any errors or omissions, including in information provided by the Instructing Party or another person or upon which Urbis relies, provided that such errors or omissions are not made by Urbis recklessly or in bad faith.

This report has been prepared with due care and diligence by Urbis and the statements and opinions given by Urbis in this report are given in good faith and in the reasonable belief that they are correct and not misleading, subject to the limitations above.

## **APPENDIX A**

## **RESIDENTS OF CALLAGHANS TERRACES**

The below comprises of those who resided in Callaghan's Terraces, as recorded in the Sands Directory.

Year	Residents	Owner/Landlord	Source
1858	Ann Street 109 – Mrs Emma Soutar 111 – Frederick Bowney 113 – James Byrne 115 – John Nichols, drayman	D. Cooper owned 109 Francis Callaghan 111-5	Sands
1861	Ann Street 109 – Francis Callaghan 111 and 113 - Not listed 115 – Peter Martin, shoemaker	Francis Callaghan	Sands
1863	Ann Street 109 – William Newman, bookseller 111 – John Halloran, Judge's Messenger 113 - Not listed 115 – George Donaldson, moulder	Francis Callaghan	Sands
1864	Ann Street 109 – William Newman, bookseller 111 – John Halloran 113 – John Collins, storekeeper 115 – Alfred Taylor	Francis Callaghan	Sands
1865	Ann Street 109 – William Newman 111 – John Halloran 113 - Mrs C., Pegus, ladies school 115 – Michael Binness, blacksmith	Francis Callaghan	
1866	Ann Street 109 – William Newman 111 – John Halloran 113 – Hood H.M. Pegus, Customs 115 – Samuel Cronan	Francis Callaghan	

Year	Residents	Owner/Landlord	Source
1867	<i>Ann Street</i> 179 – William Newman, salesman 181 – John Halloran 183 – Alfred Stapleton, cabinet maker 185 – Elias Noyes, master mariner	Francis Callaghan	
1868-69	<i>Ann Street</i> 179 – William Newman, bookseller Mrs Dawson 181 – John Halloran 183 – Alfred Stapleton 185 – Michael Rowohl	Francis Callaghan	
1870	<i>Ann Street</i> 179 – William Newman 181 – C. Aiken, saddler 183 – Alfred Stapleton 185 – Michael Rowohl	Francis Callaghan	
1871	<i>Ann Street</i> 179 – Charles Edwards, master mariner 181 – Mrs Mary Elliott 183 – Sackville McKay 185 – Mrs Jessie Burley, tailoress	Charles Edwards	
1872	Not available	Charles Edwards	
1873	<i>Ann Street</i> 179 – Charles Edwards, master mariner 181 – Mrs Elliott 183 – Mrs Aldis 185 – Ernest Williams	Charles Edwards	
1874	Not available	Charles Edwards	
1875	<i>Ann Street</i> 179 – Mrs. E. Cazso	Charles Edwards	

Year	Residents	Owner/Landlord	Source
	181 – Miss Tremain 183 – Richard James Gittins, com. Traveller 185 – Ernest Williams, hairdresser		
1876	<i>Forbes Street</i> 179 – Mrs Palmer 181 – Miss Jarman 183 – James Booty 185 – John E. Bateman, painter	Charles Edwards	
1877	179 – James Campbell 181 – Miss Rose Jarman 183 – James Booty, theatrical agent 185 – John E. Bateman, painter	Charles Edwards	
1878	Not available	Charles Edwards	
1879	179 – J. Campbell, accountant 181 – Mrs Sarah Brown 183 – Not listed 185- W. Hinton, draughtsman	Charles Edwards	
1880	179 – James Campbell 183 – Richard T. Carrat, draper 185 – Miss Kate O'Neill 233 - Mrs J. Delgarno, senior	Charles Edwards	
1881	Not available	Charles Edwards	
1882	165 – James Campbell 167 – Charles Edwards, master mariner 169 – John Meacie, tailor 171 – Hugh B. Scott, signwriter	Charles Edwards	
1883	165 – Vacant 167 – Charles Edwards 169 – Bernard Hall 171 – George Nash	Charles Edwards	Sands

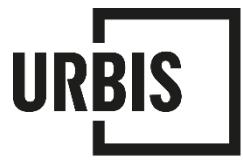
Year	Residents	Owner/Landlord	Source
1884	165 – Mrs Gorman 167 – Charles Edwards 169 – Bernard Halle 171 – George Nash	Charles Edwards	Sands
1885	165 – Charles Edwards, master mariner 167 – Bernard Halle 169 – Charles Read 171 – George Nash	Charles Edwards	Sands
1886-7	165 – Charles Edwards, master mariner 167 – Bernard Halle 169 – James W. Walker 171 – George Nash Mrs Onslow “Barham”	Charles Edwards	Sands
1888	165 – Charles Edwards, master mariner 167 – Bernard Halle 169 – James W. Walker, compositor 171 – George Nash, clerk	Charles Edwards	Numbers are correct at 165-171 for 1888
1889	165 – Charles Edwards 167 – James W. Walker, compositor 169 – Miss Alison 171 – George Nash, clerk	Charles Edwards	
1890	165 – J. Wilson, jeweller 167 – James W. Walker, compositor 169 – R. Clark, com. Agent 171 – George Nash	Charles Edwards	Sands
1891	165 – Mrs H. Kingsmill Shaw 167 – Charles H. Read 169 – Charles Armstrong 171 – Not Listed (Mrs J Punch in R&A Books)	Charles Edwards	Sands

Year	Residents	Owner/Landlord	Source
1892	165 – Mrs E. Burnett 167 – Charles H. Read 169 – William Ellis 171 – Francis Woolfe		Sands
1893	165 – Edward Williams 167 – Charles H. Read 169 – Miss Evans 171 – Mrs Fife		Sands
1894	165 – Edward Williams, tailor 167 – Charles H., Read, traveller 169 and 171 – Not listed		Sands
1895	165 – William Davis 167 – Charles H., Read, traveller 169 – Not listed 171 – William Arnold, jeweller		Sands
1896	165 – Not listed 167 – Charles H., Read, traveller 169 – William Sinclair 171 – George Bruce	Dr Scot Skerving	Sands
1897	165 – Mrs A. Bastian 167 – Charles H., Read, traveller 169 – Not listed 171 – George Bruce		Sands
1898	165 – Mrs A. Bastian		Sands
1899	165 – Mrs A. Bastian 167 and 169 – Not Listed 171 – George King		Sands
1900	165 – Mrs S. Bastian 167 -J.E. Moody 169 – Frank S. Simmonds		Sands

Year	Residents	Owner/Landlord	Source
	171 – Mrs M. Henderson		
1901	165 – Mrs Agnes Wallace 167 – Not listed 169 – Henry Moseley 171 – Not listed		Sands
1902	165 – Mrs Agnes Wallace 167 – John Matthews, saddler 169 – Mrs Josephine Snow 171 – Mrs Emma Eggers		Sands
1903	165 – Mrs Agnes Wallace 167 – William Gooch 169 – James William Fuller, waiter 171 – James Baxter, traveller		Sands
1904	165 – Mrs Agnes Wallace 167 – Henry Williams 169 – Not listed 171 – George Baker		Sands
1905	165 – Mrs Agnes Wallace 167 – James Cosgrove 169 – Arthur Bates 171 – Mrs F.A. Levy		Sands
1906	165 – Mrs Agnes Wallace 167 – Mrs Annie Peel 169 – Arthur Bates 171 – Edward Candrick		Sands
1907	165 – Mrs Agnes Wallace 167 – Mrs Annie Peel 169 – Arthur Bates 171 – Not listed		Sands
1908	165 – Mrs Agnes Wallace		Sands

Year	Residents	Owner/Landlord	Source
	167 – Mrs Annie Peel 169 – Arthur Bates 171 – W. Parker		
1909	165 – Mrs Agnes Wallace 167 – Mrs Annie Peel 169 – Arthur Kavanagh 171 – Mrs M. Cameron		Sands
1910	165 – Miss Annie Mackintosh 167 – John Clark 169 – Joseph Gard 171 – Mrs M. Cameron		Sands
1911	165 – Miss Annie Mackintosh 167 – John Clark 169 – Edward Chimmery 171 – Stanley Summers		Sands
1912	165 – Miss Annie Mackintosh 167 – George Hooke 169 – Frank Raper 171 – William Griffin		Sands
1913	165 – Miss Annie Mackintosh 167 – George Hooke 169 – Arthur Everett 171 – Mrs Ellen Unsworth		Sands
1914	165 – Miss Annie Mackintosh 167 – William Snowdon 169 – Arthur W. Everett 171 – Charles J. Thorpe		Sands
1915	165 – Miss Annie Mackintosh 167 – William Snowdon 169 – Joseph Vickery		Sands

Year	Residents	Owner/Landlord	Source
	171 – Mrs F. Wright		
1916-8	165 – Miss Annie Mackintosh 167 – William Snowdon 160 – Joseph Vickery 171 – Mrs Hilda G. Oxenford		Sands
1919-25	165 – Miss Annie Mackintosh 167 – William Snowdon 169 – Joseph and Clara Vickery 171 – James Regan	City Mutual Life Assurance Company	Sands Clara Vickery listed in Rates & Assessment Books
1926	165 – Miss Annie Mackintosh 167 – William Snowdon 169 – Thomas M. Dougall Miss Jean J. Dougall 171 – James Regan	City Mutual Life Assurance Company	Sands



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