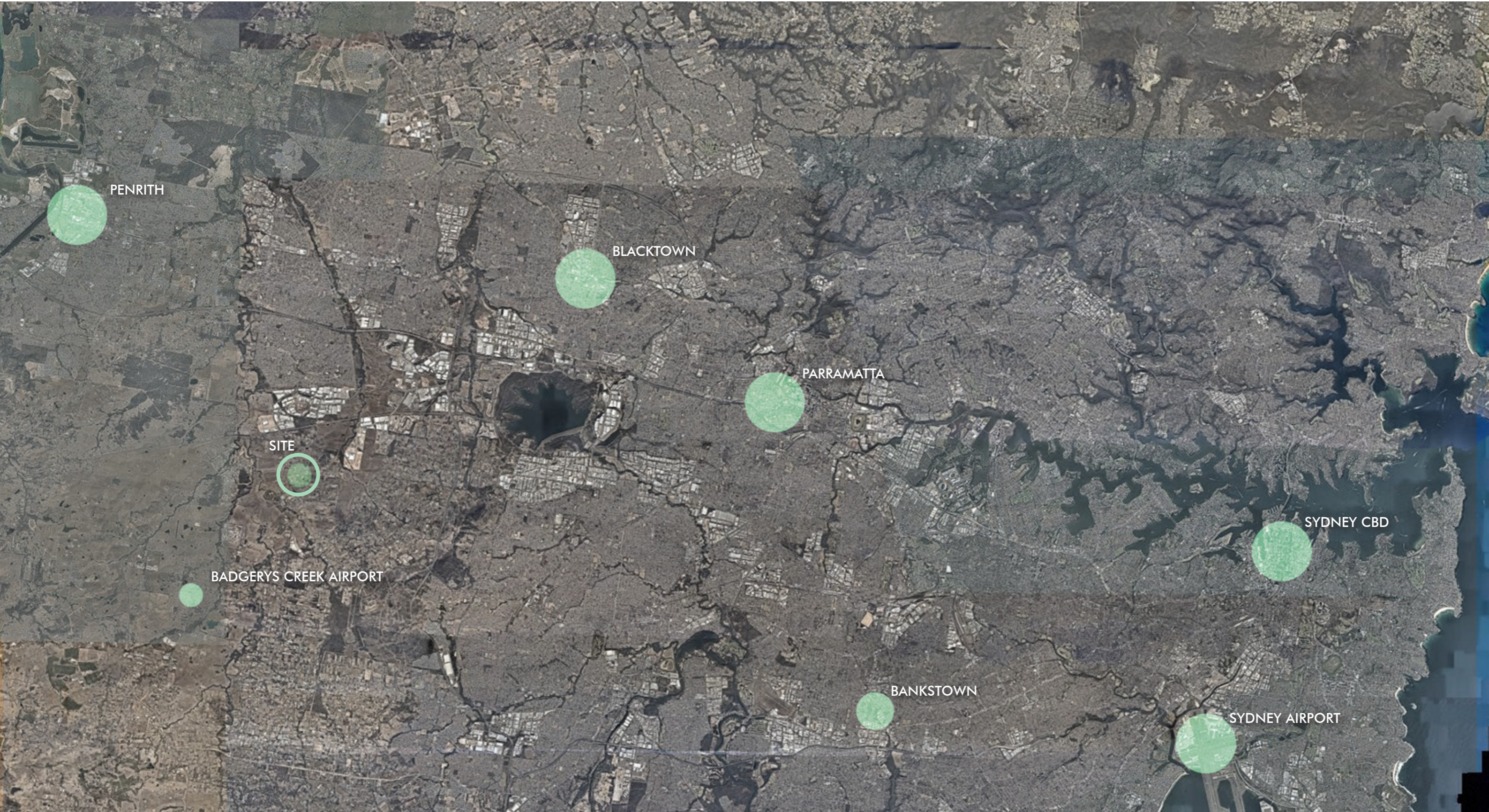


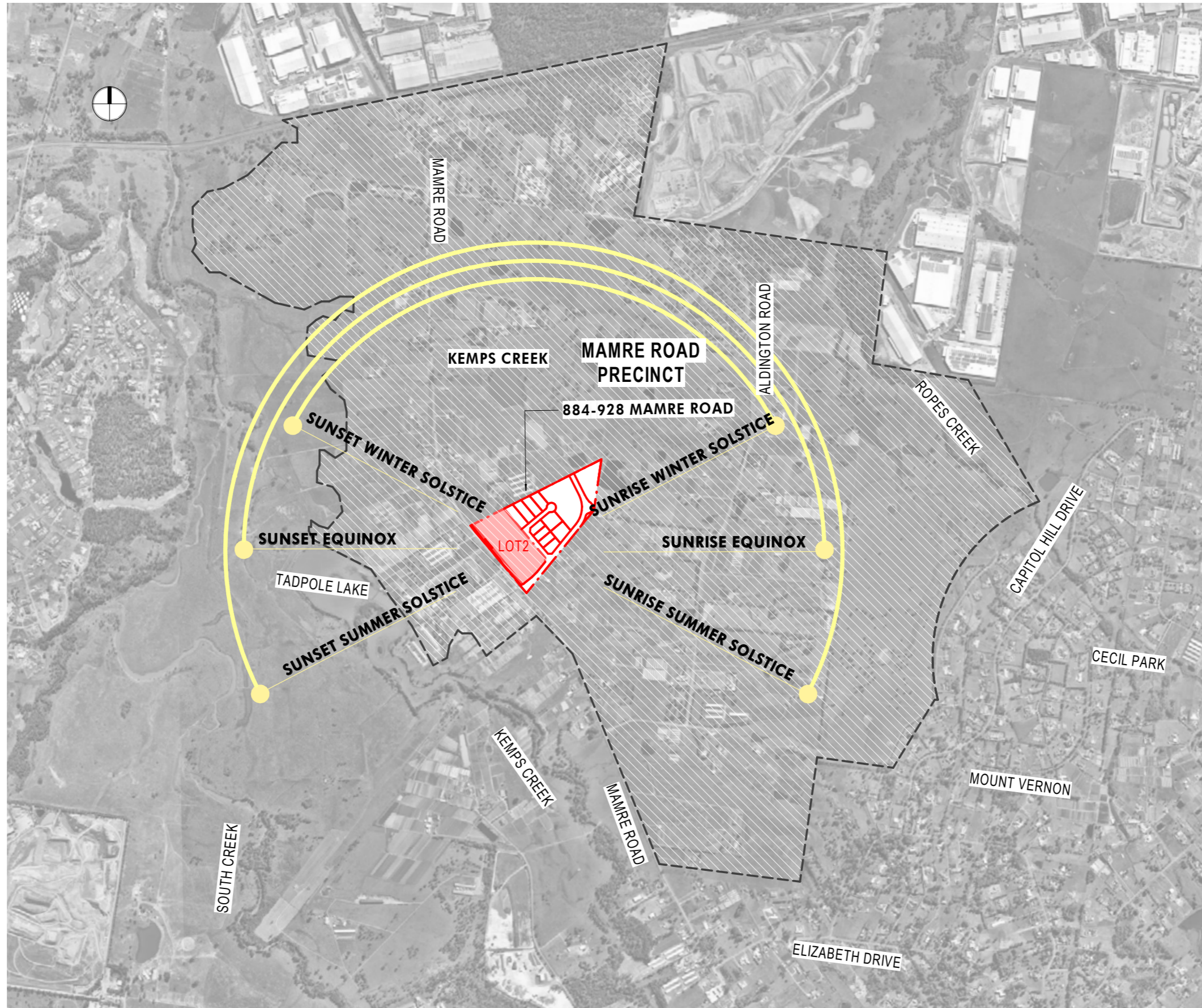
ACCESS ESTATE 884 MAMRE ROAD ARCHITECTURAL DESIGN REPORT

SEPTEMBER 2021 | Rev D

LOCATION



SITE CONTEXT



SITE



ARCHITECTURAL EXPRESSION

LIGHT AND SHADOW



DYNAMIC ROOF FORMS & EXPRESSED EAVES

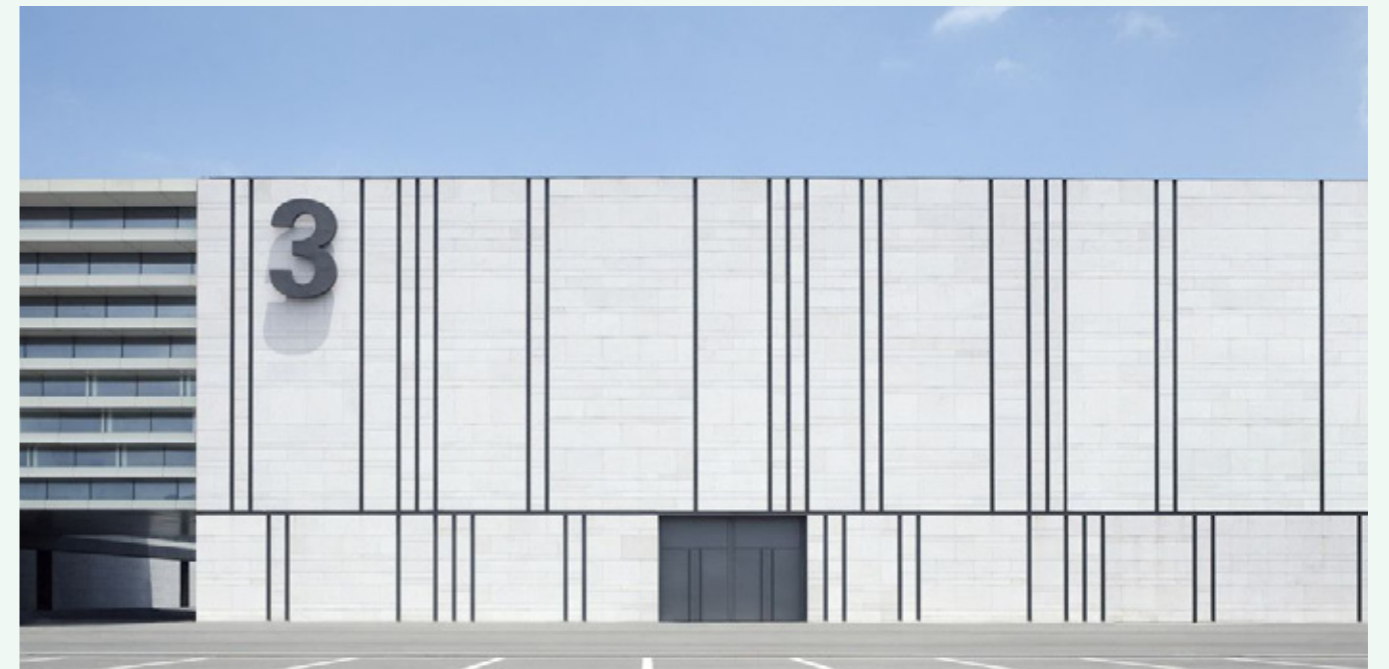


ARCHITECTURAL EXPRESSION

TEXTURAL CONTRAST & RELIEF



VARIABLE SPACINGS & OPTICAL EFFECTS



WAREHOUSES



ESTATE DISCIPLINE

PRECEDENT STUDY : First Estate Business Park, ALTIS PROPERTY



The purpose of this document is to guide proposed developments within the Kemps Creek Industrial Estate, known as "Access Estate". Rather than prescribing a rigid set of architectural details to be adhered to, this document seeks to provide a framework to enable future developments to contribute to the character envisaged for the estate and in keeping with its core principles of sustainability and with regards to the design principles of Clause 31 of SEPP WSEA Guidelines and the objectives for Good Design and Better Placed (Government Architect, NSW 2017). The resultant estate should be architecturally harmonious, not homogenous nor disjointed.

First Estate Business Park is an estate with a similar approach, albeit with a different architectural language. Some of these are highlighted below.

DESIGN FEATURES

WALLS



Vertical wall patterns featuring brightly coloured stripes characterise the buildings in this development.

CORPORATE IDENTIFICATION



Primary colour dado walls and horizontal stripes provide warehouses with a corporate identification.

OFFICES



The office components express the same primary colour accents.

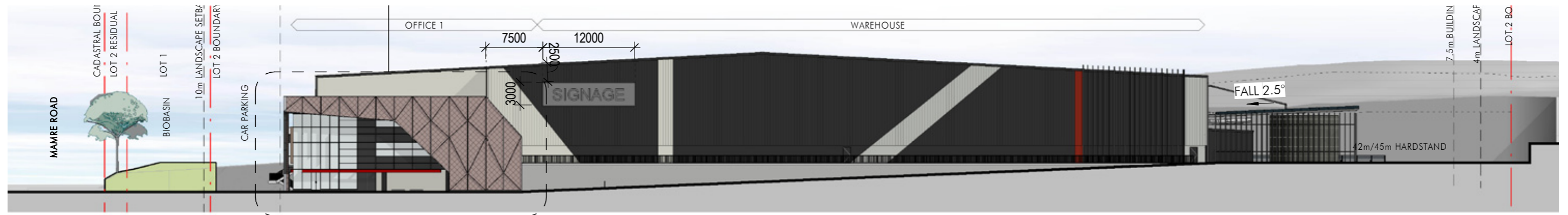


PROMINENT ELEVATIONS



DESIGN FEATURES – STANDARD WAREHOUSE

PROMINENT SHORT-END ELEVATION



WALLS

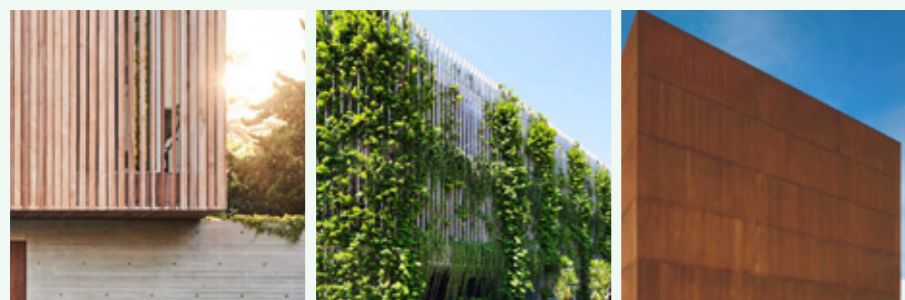
General wall materials and finishes should be applied in accordance with the “Prominent Elevation” diagram in this document. Prominent elevations contribute to the character of the development. Textural/material contrasts, shadows and translucency should be considered.



FEATURE CORNERS / ACCENT MATERIAL

Each warehouse should express an accent material at corners of prominent elevations. Where required, estate numbering should be incorporated into this use of this material. This accent material should be viewed as a warehouse identity and should be expressed in the office design as well.




The chosen materials should be in keeping with the sustainable identity of the estate: Timber, green wall/trellis, corten, precast, or equivalent materials.



ROOFS

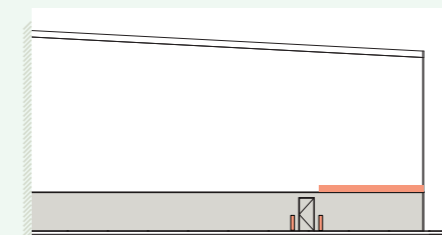
Dynamic forms, expressed eaves and overhangs on prominent corners should be incorporated in the roof design. Light colours should be used on the roof as darker colours absorb more heat. Roof top solar panels should be implemented to harvest energy. Rainwater collection strategies should also be considered.



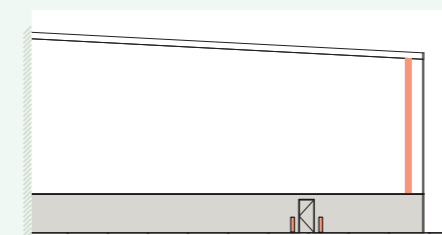
-  SURFMIST SHEETING
-  TRANSLUSCENT SHEETING
-  SOLAR PANNELLING

CORPORATE IDENTIFICATION

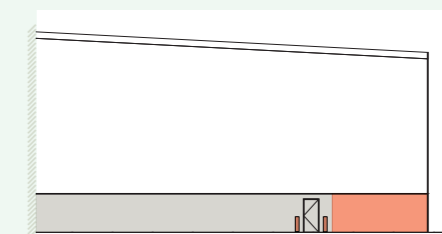
Corporate identification colours should be expressed with subtlety on the corners of warehouses as per the diagrams below:



- Bollards
- Thin horizontal band



- Thin Vertical stripe



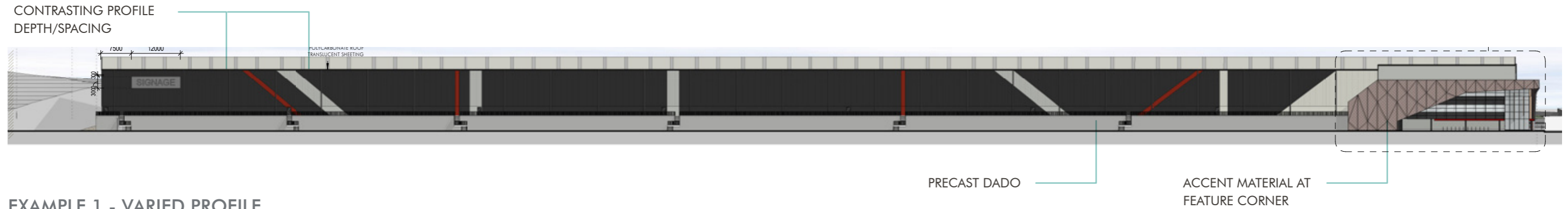
- Block of colour on the dado wall

PALETTE

-  Corporate ID Altis
- OR
-  Corporate ID Tenant Colour

DESIGN FEATURES – STANDARD WAREHOUSE

PROMINENT LONG-END ELEVATION



EXAMPLE 1 - VARIED PROFILE

DESIGN INTENT & PRINCIPLES

Regular breaks in material, texture, patterning or in the articulation of the form should be used to avoid relentless long-end elevations.

Textural contrasts are encouraged in addition to material colour changes for prominent elevations.

Downpipes should be considered as a part of the elevational composition. They could be expressed as a feature or their locations could inform the breakup.

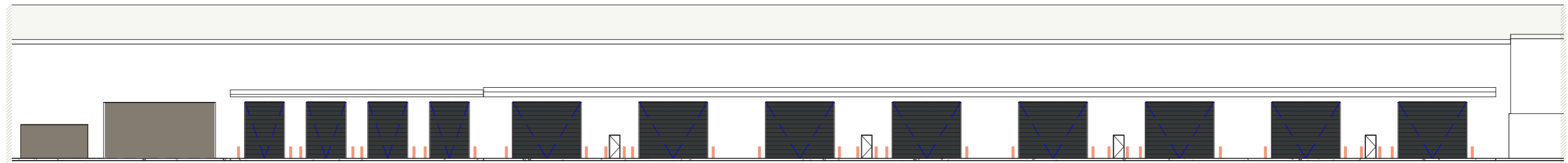


PALETTE

- MONUMENT CLADDING / PRECAST
- SHALE GREY METAL CLADDING / PRECAST
- POWDERCOATED ALUMINIUM FACADE FINIS

DESIGN FEATURES – STANDARD WAREHOUSE

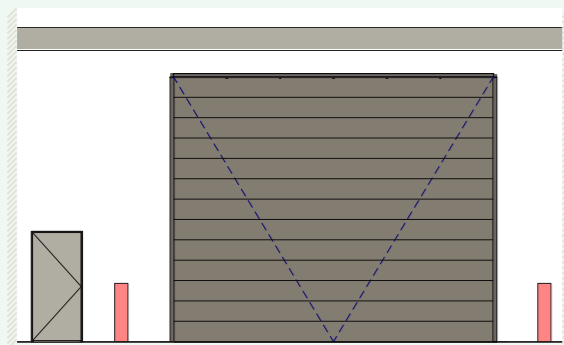
DOCK ELEVATION



DOORS, BOLLARDS & STAIRS

Due to the number of roller shutters, doors etc. present on this elevation, less relief/articulation is required. Roller shutter colour should contrast with the walls surrounding it and should reference the accent colour present elsewhere in the scheme.

Corporate ID colour, either for Altis or tenant ID should be expressed in the bollard colour.



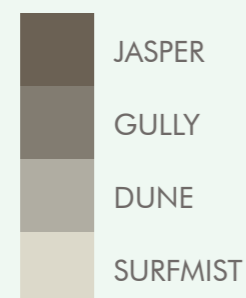
Corporate ID – Altis



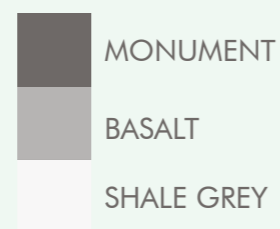
Corporate ID – Tenant



Warm Neutrals



Greys

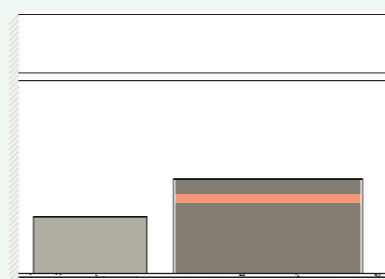


SPRINKLER TANKS & PUMP ROOMS

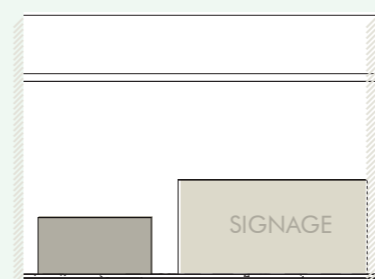
Sprinkler tanks and pump rooms should be located away from prominent elevations if possible. Finish and colour should be sympathetic to that of the rest of the warehouse.

If the location of a tank is visually prominent, measures should be taken to arrive at a good architectural outcome. Acceptable options below:

CORPORATE ID ACCENT



SIGNAGE



DOWNPIPES

Similar to the long-end elevations, downpipe locations should be considered as a part of the dock elevational composition. Downpipe locations can inform pattern or material breakup.



OFFICES



MATERIAL PALETTE – EXTERNAL

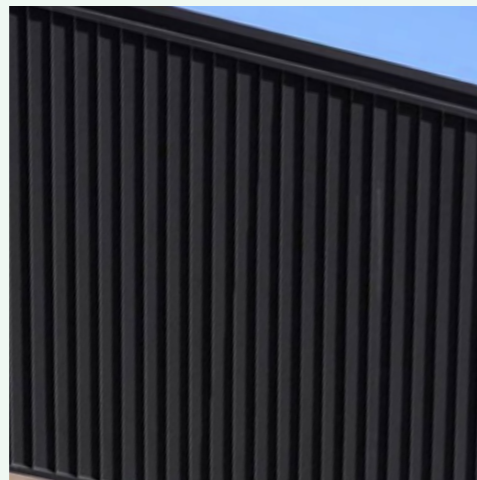
DESIGN INTENT & PRINCIPLES

- Sustainable, low-impact materials
- Natural, robust
- Unfinished/raw
- Recycled/local where appropriate
- Palette should evoke ‘sustainability’

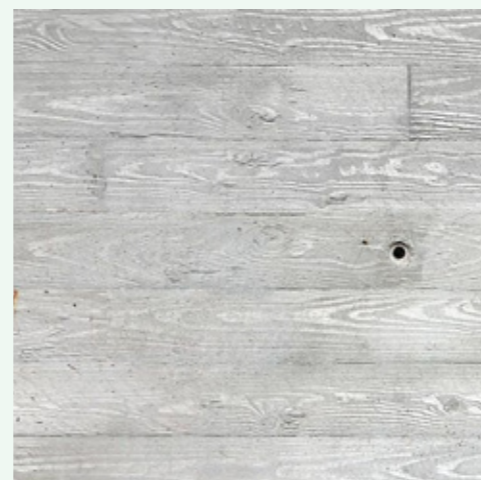
TIMBER



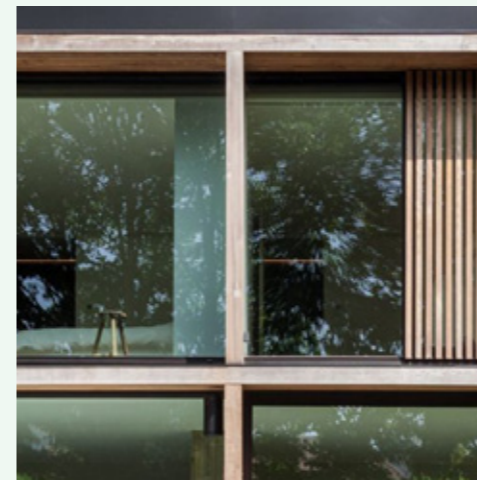
LONGLINE



TEXTURED CONCRETE



GLAZING



BRICK/PAVER



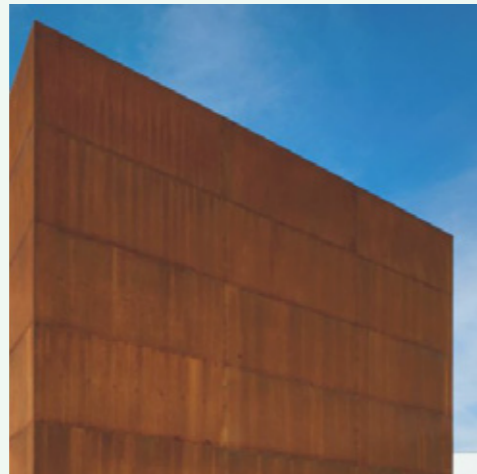
GREEN WALL



STEEL STRUCTURE



CORTEN



FC



GLAZING



STEEL CLADDING



PREFINISHED METAL CLADDING



Note: These materials have been selected as preferred, equivalent materials can be used.

MATERIAL PALETTE – EXTERNAL



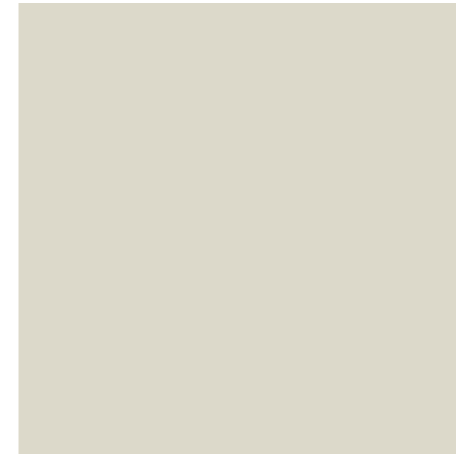
PRECAST CONCRETE DADO WALLS
PAINTED TO MATCH COLORBOND
SHALE GREY



PRECAST CONCRETE DADO WALLS
PAINTED TO MATCH COLORBOND
MONUMENT



PRECAST CONCRETE DADO WALLS
PAINTED TO MATCH ALTIS RED



PRECAST CONCRETE DADO WALLS
PAINTED TO MATCH COLORBOND
SURFMIST



COLORBOND MATT "SHALE GREY"
METAL SHEETING WALLS



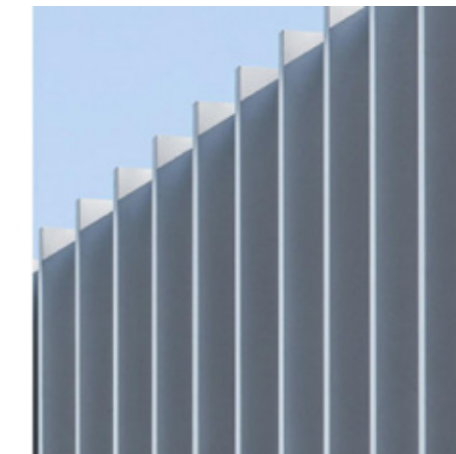
COLORBOND MATT "MONUMENT"
METAL SHEETING WALLS



COLORBOND MATT METAL SHEETING
WALLS TO MATCH ALTIS RED



COLORBOND MATT "SURFMIST" METAL
SHEETING WALLS



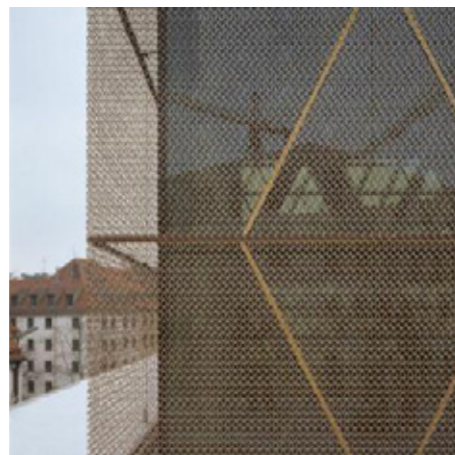
POWDERCOATED ALUMINIUM FACADE
FINS



COLORBOND ROOF SHEETING
SURFMIST



TRANSLUCENT GLAZING



BRONZE POWDERCOATED PERFORATED
METAL MESH SCREEN



PERFORATED METAL WITH GREEN WALL



SUNSHADE BLADE



COLOURBACK GLASS DARK GREY

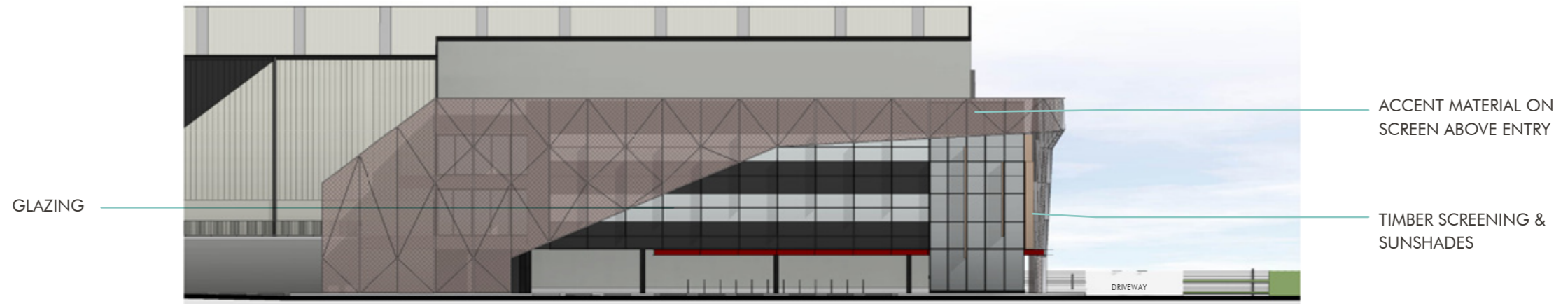


FIBRE CEMENT CLADDING - DARK GREY

Note: These materials have been selected as preferred, equivalent materials can be used.

DESIGN FEATURES

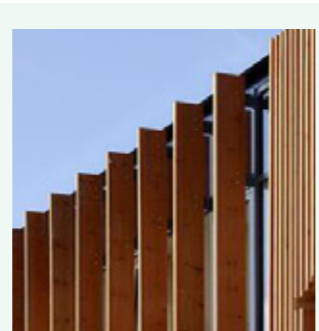
DOUBLE STOREY OFFICE



ACCENT MATERIAL



SUNSHADING



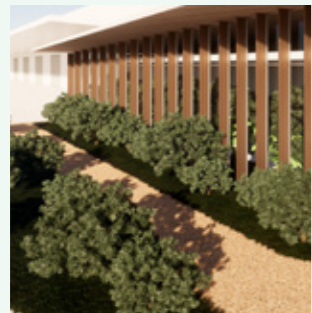
OFFICE ENTRY



DESIGN FEATURES

SINGLE STOREY OFFICE

EXTERNAL / INTERNAL LANDSCAPE



Landscaping should be considered as an integral part of the office design.

Planting can provide solar & privacy screening

SUNSHADING



Adequate sunshading should be provided to lessen solar heat-gain load.

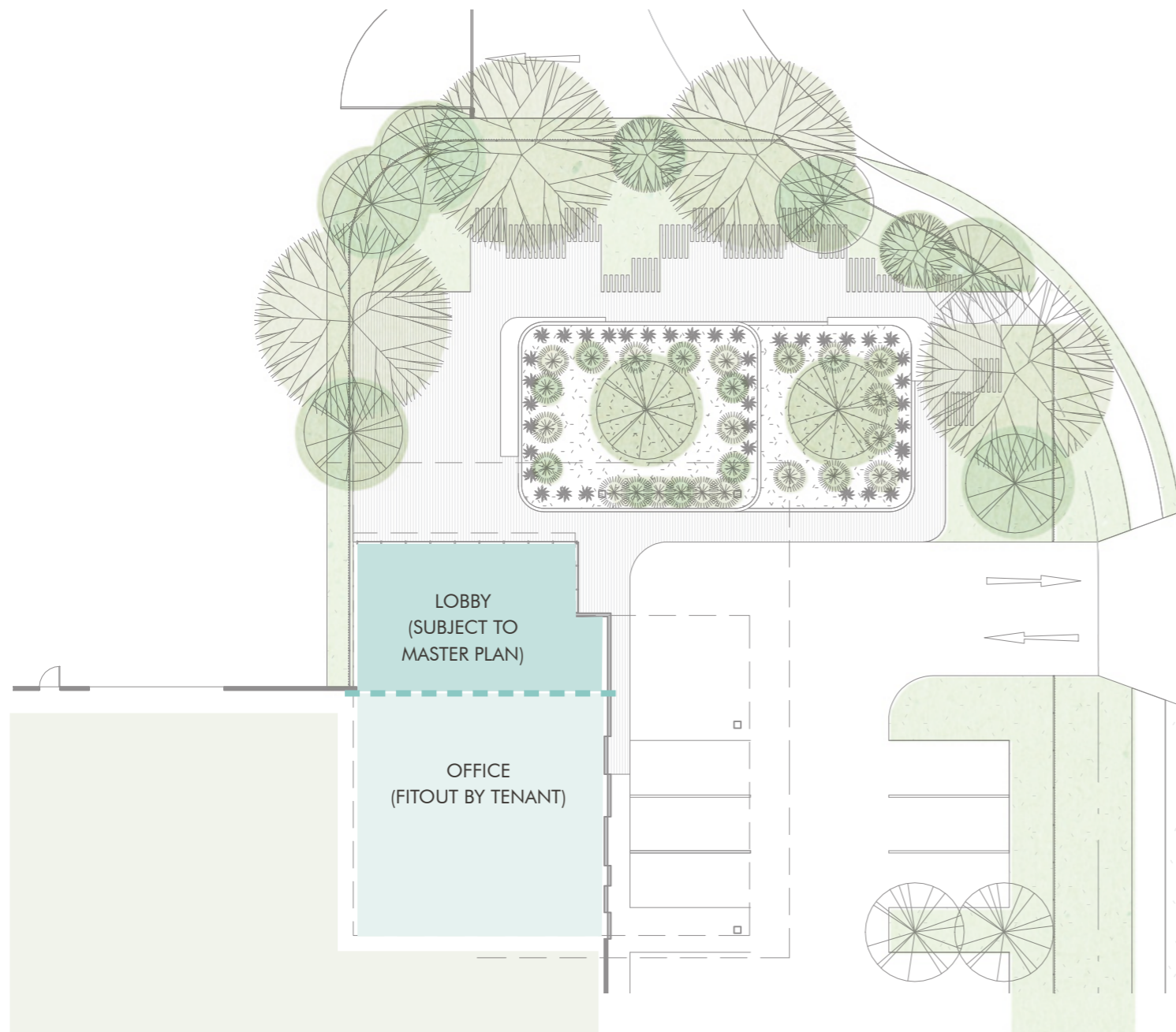
Accent material chosen for estate numbering could be referenced



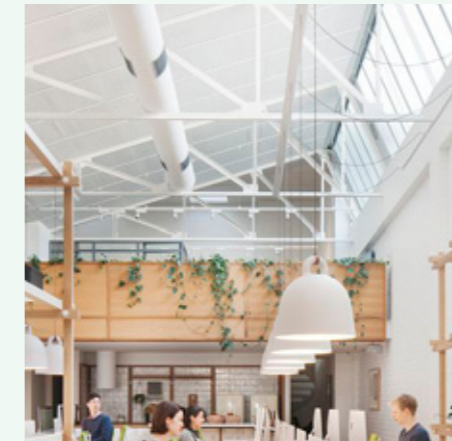
PALETTE

- GLASS
- CORTEN
- TIMBER
- PREFINISHED METAL CLADDING

INTERIORS

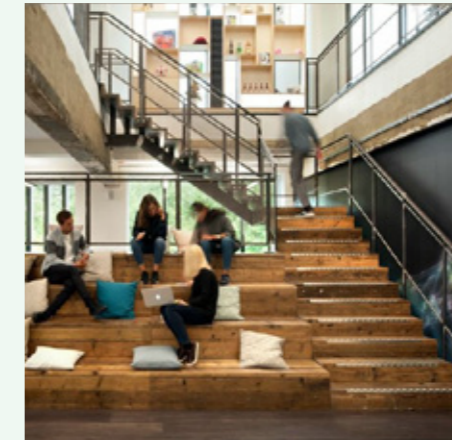


The lobby/reception areas of the offices are subject to this architectural master plan. The office areas beyond this are by the tenant and are not considered in this document.



Exposed roof structure and building services are encouraged rather than suspended ceilings.

This provides both a more generous volume and the opportunity for natural lighting through high-level windows or skylights.



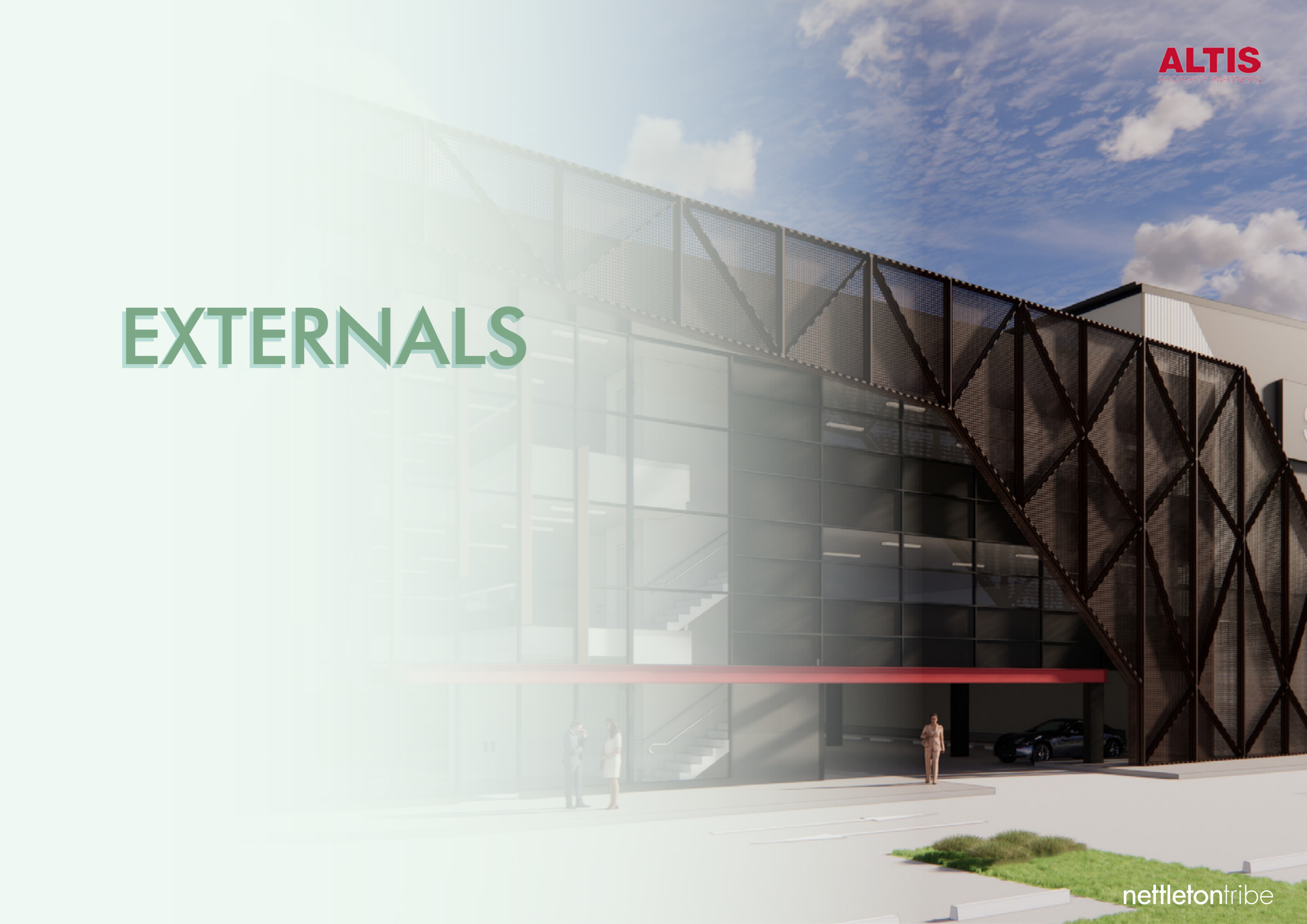
The material palette should be consistent with that noted earlier in this document.

In addition to loose items, some furniture and seating could be an integrated part of the interior lobby spaces.



Green walls or other feature planting should be included.

EXTERNALS



DESIGN FEATURES



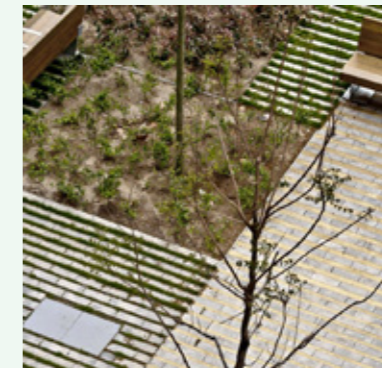
LANDSCAPING

Landscaping of office areas should be considered as an integral part of the design of the office component. A mixture of hard and soft landscaping should be employed. Water sensitive design principles/ rain gardens etc. should be employed. Terracing/level changes are encouraged. Deep soil zones should be provided for large trees. Native/indigenous plants should be selected.



PEDESTRIAN PATHWAY

Pedestrian pathways should be considered and are encouraged to deliberately channel movement through landscaped areas.

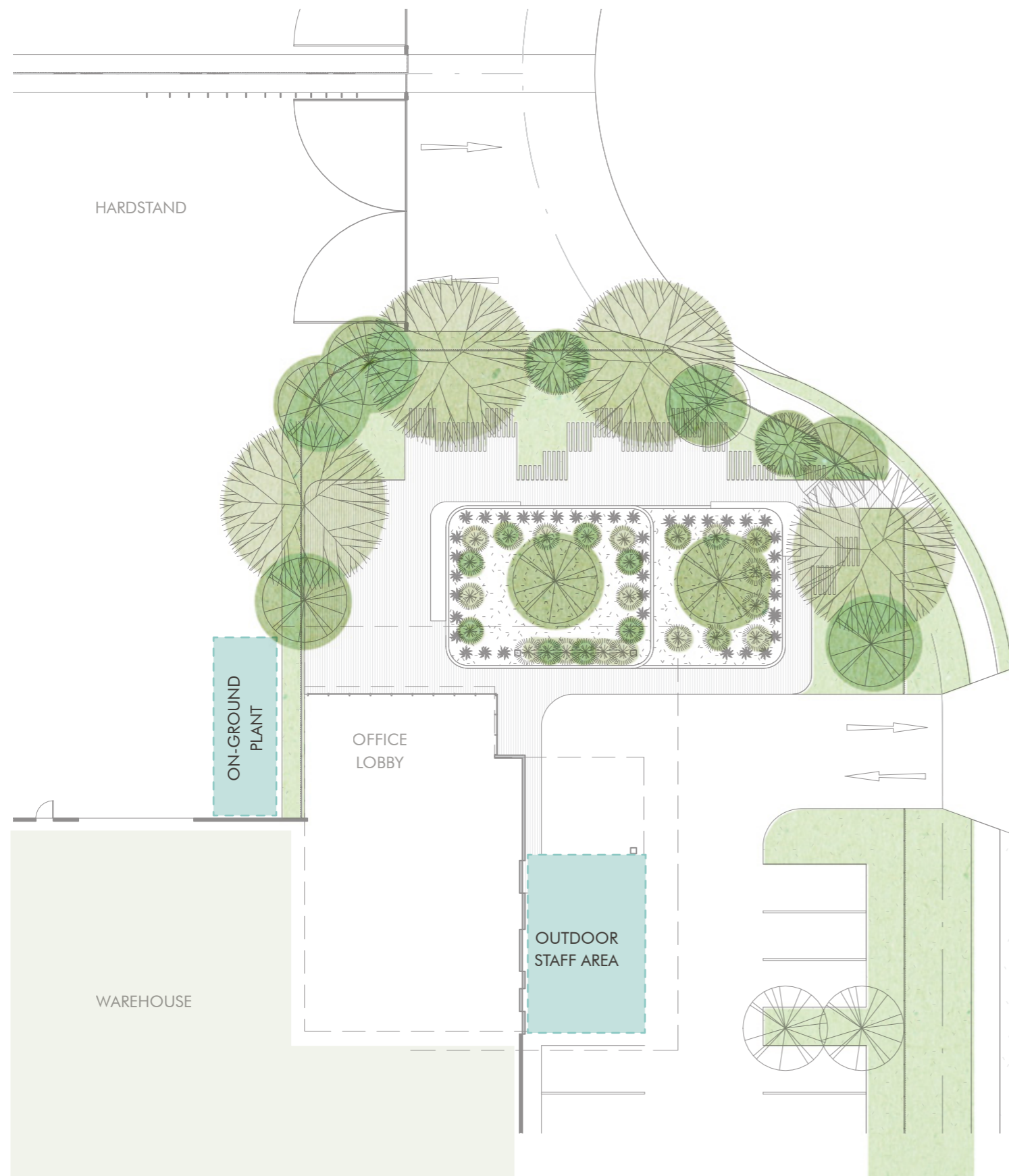


BICYCLE PARKING

Bike parking should be integrated in the landscape design and should be located in close proximity to office entry.

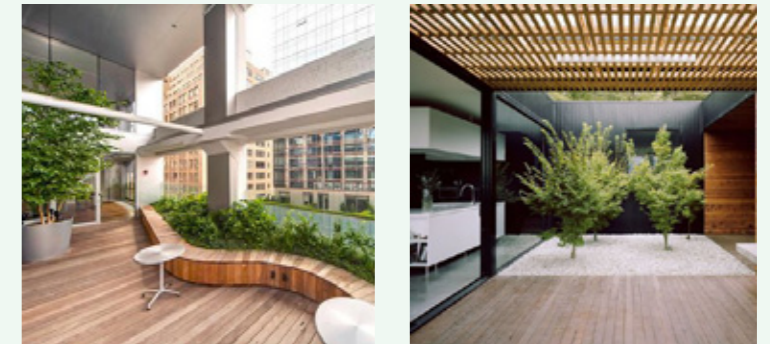


DESIGN FEATURES



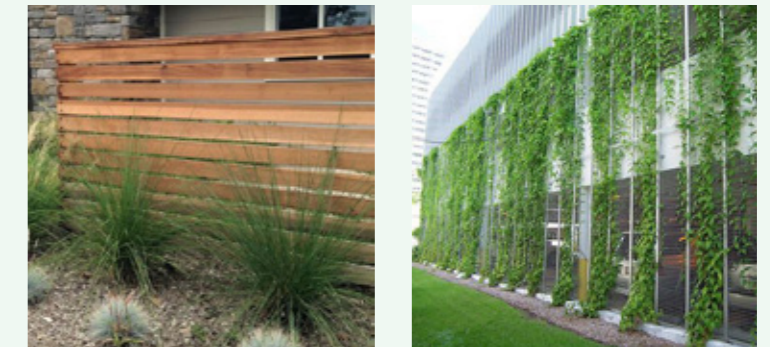
OUTDOOR STAFF AREA

Outdoor staff area should be meaningfully incorporated in the design of the office component. Office undercroft areas are encouraged to be utilised rather than ad-hoc external shade structures. Planting and furniture should be sympathetic to architectural language.



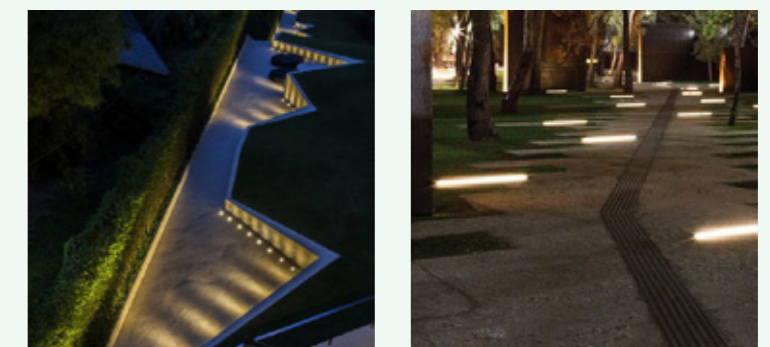
ON-GROUND PLANT

On-ground plant should be located away from the public areas. Screening and planting with a sympathetic architectural language should be used to obscure machinery from view.



LIGHTING

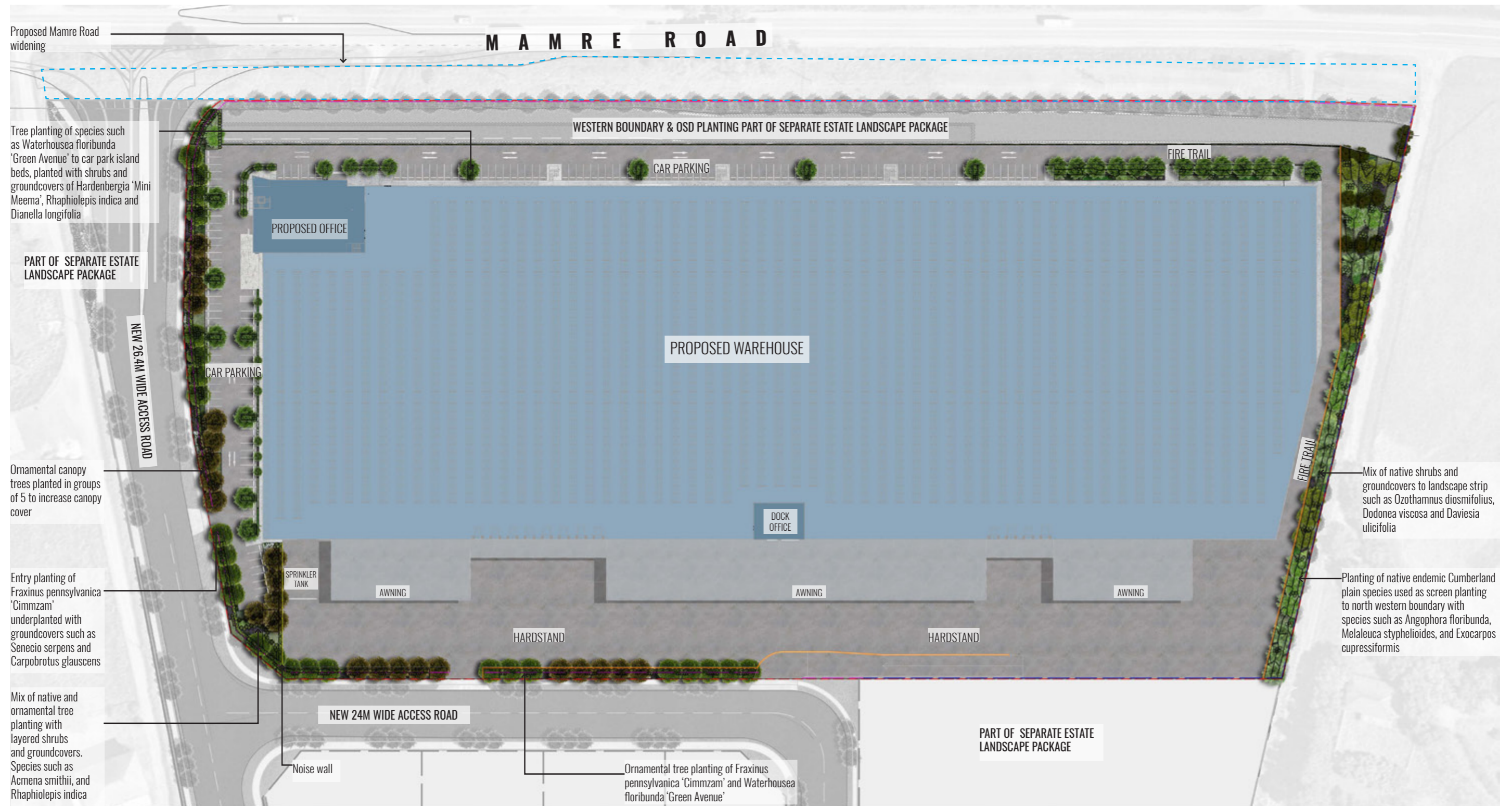
Landscape lighting should be of a high quality and should be meaningfully included in the landscaping design around office areas.



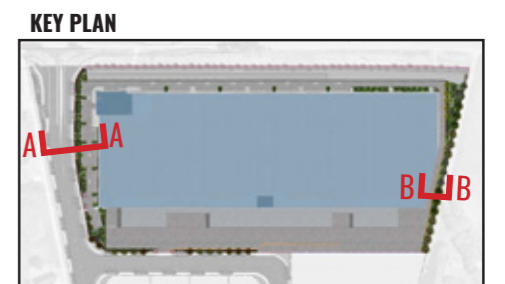
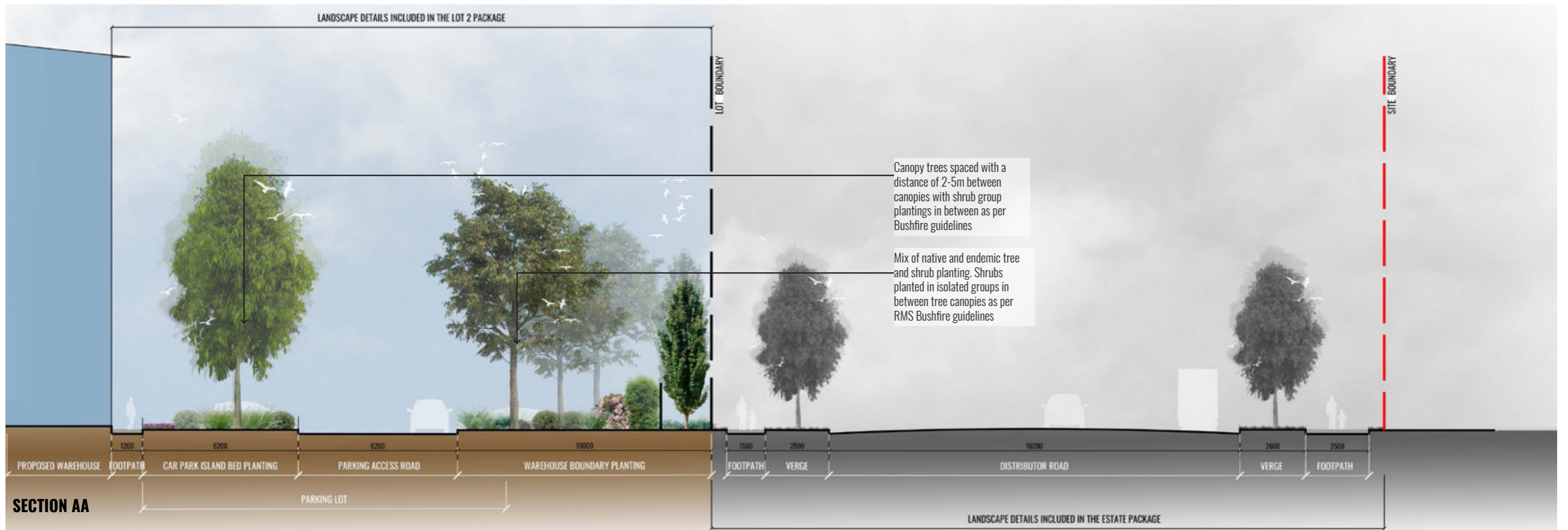
LANDSCAPE MASTER PLAN – ESTATE



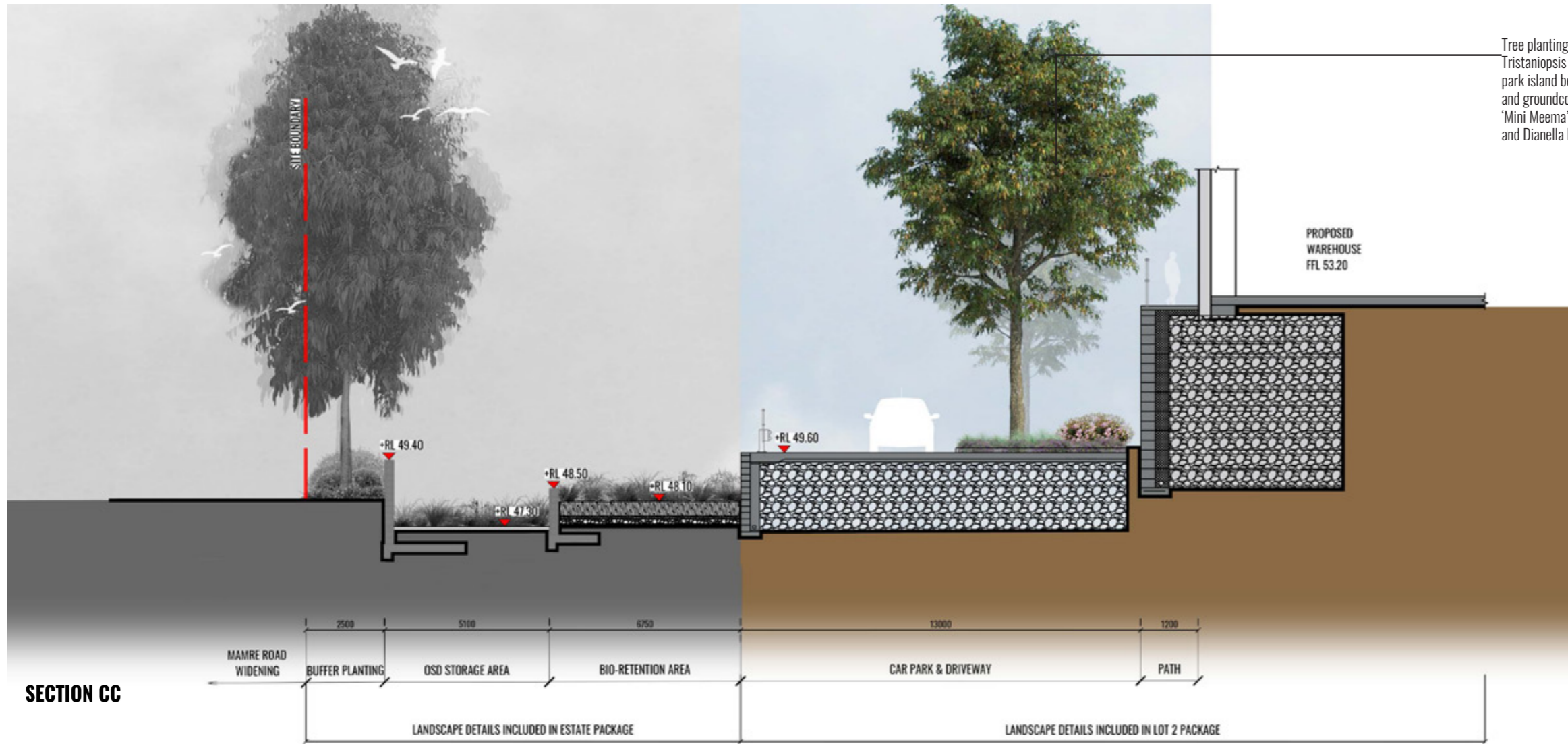
LANDSCAPE MASTER PLAN – SITE



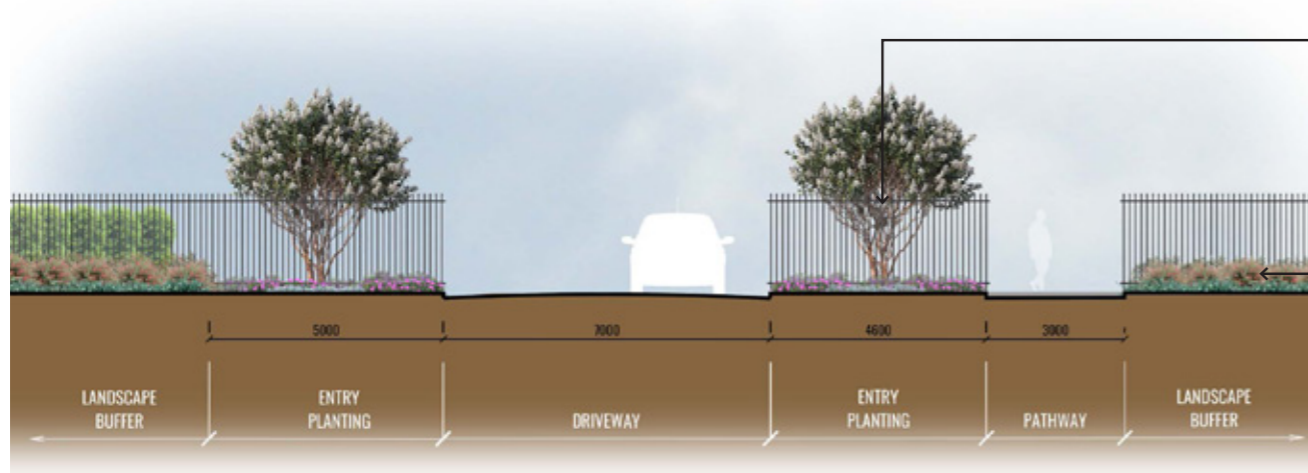
LANDSCAPE SECTION



LANDSCAPE SECTION

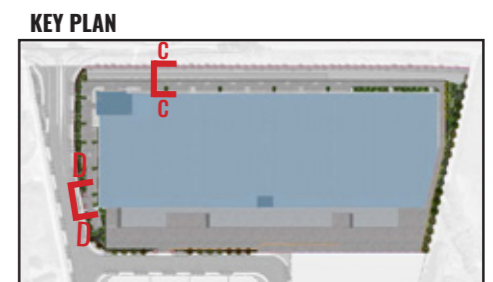


Tree planting of species such as *Tristaniopsis laurina* 'Lucious' to car park island beds, planted with shrubs and groundcovers of *Hardenbergia* 'Mini Meema', *Raphiolepis indica* and *Dianella longifolia*

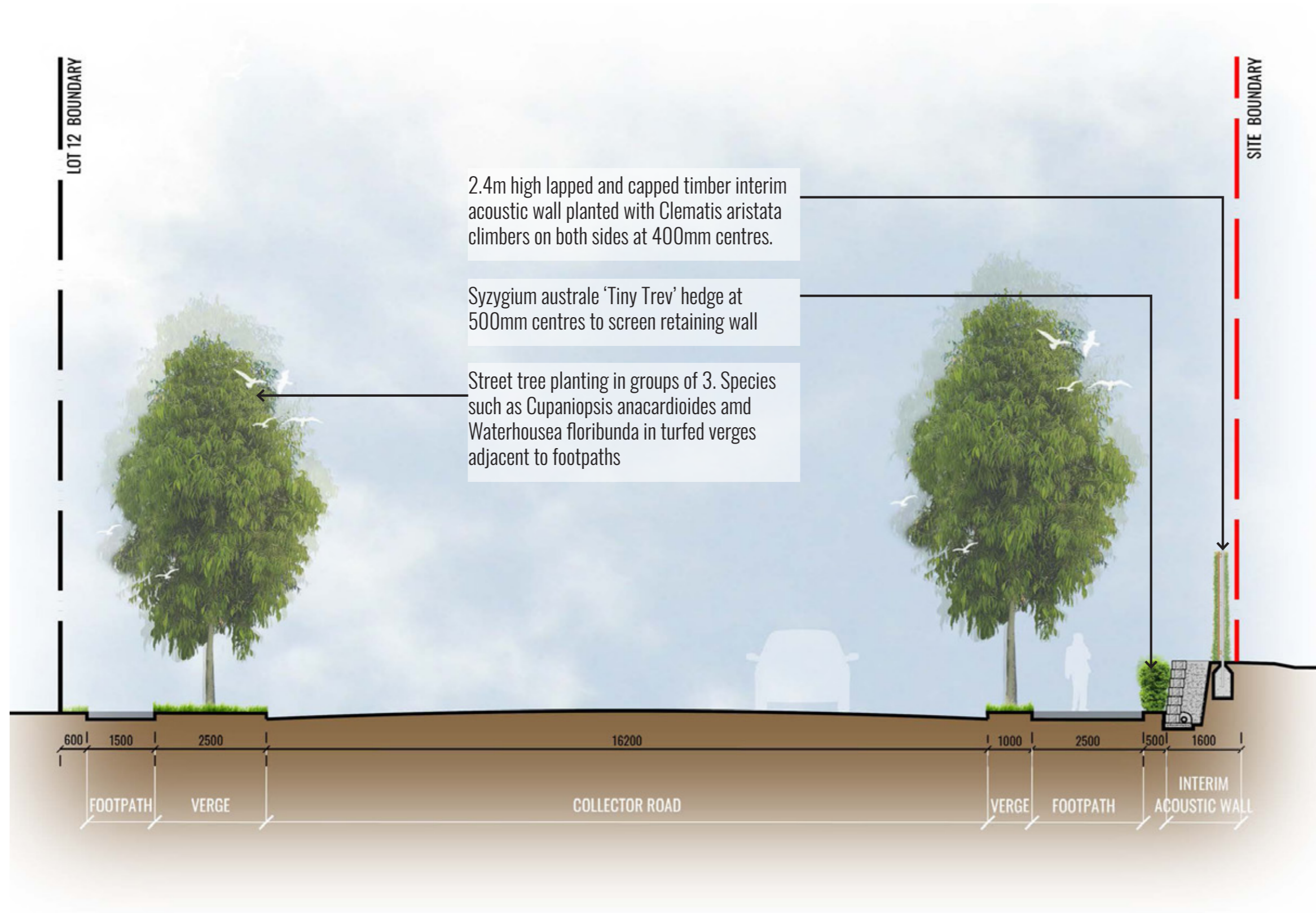


Entry feature planting of flowering Crepe Myrtle trees underplanted with groundcovers such as *Senecio serpens*, *Carpobrotus glaucens* *Hardenbergia* 'Mini Meema'

Layered planting of shrubs and groundcovers. Species such as *Grevillea rosmarinifolia*, *Ozothamnus diosmifolius* and *Scaevola albida*



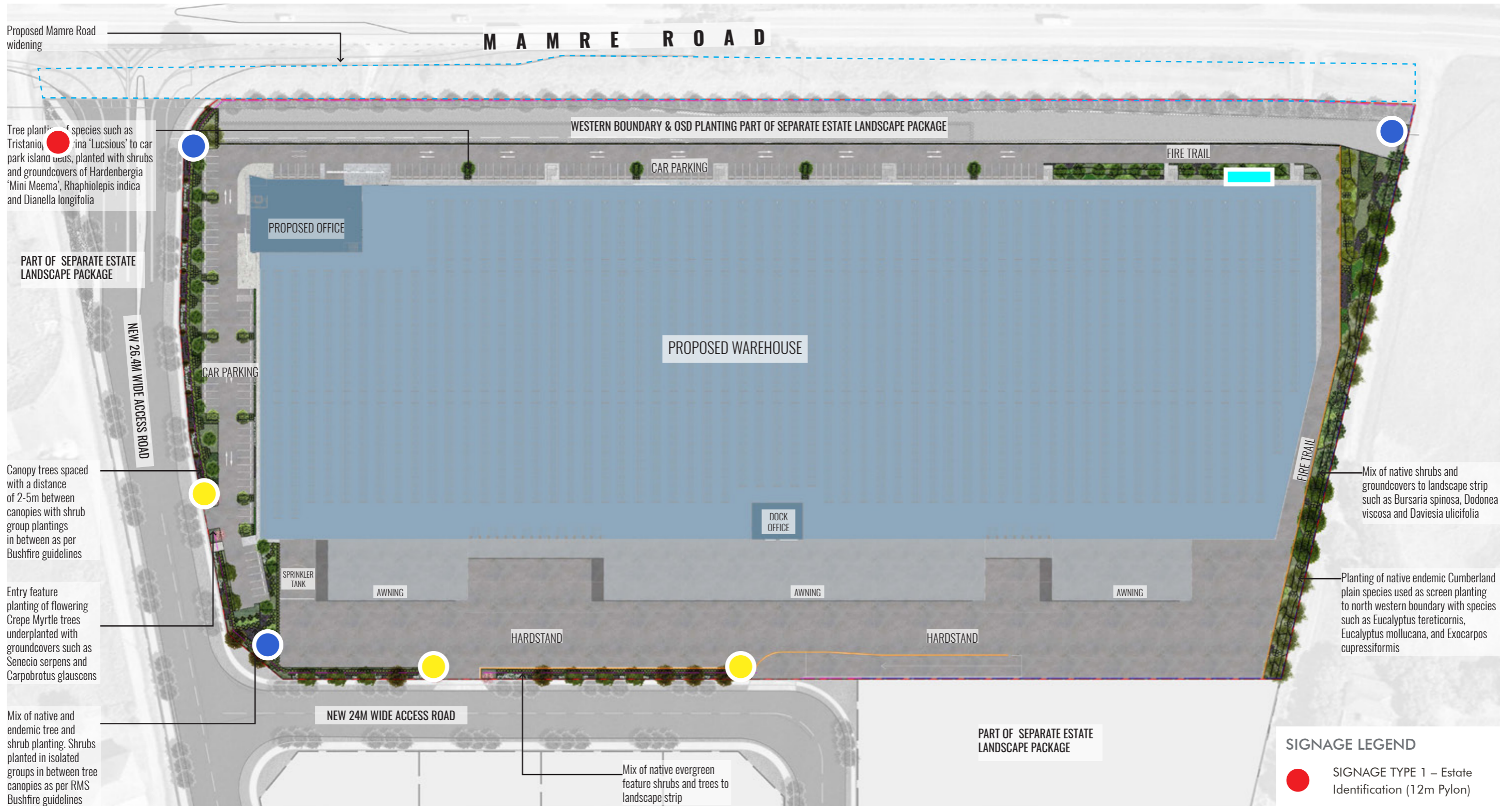
LANDSCAPE SECTION



SECTION EE - INTERIM ACOUSTIC WALL

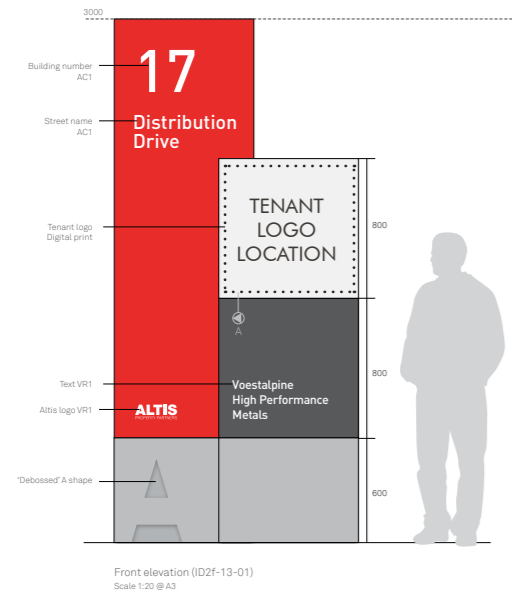


SIGNAGE LOCATIONS

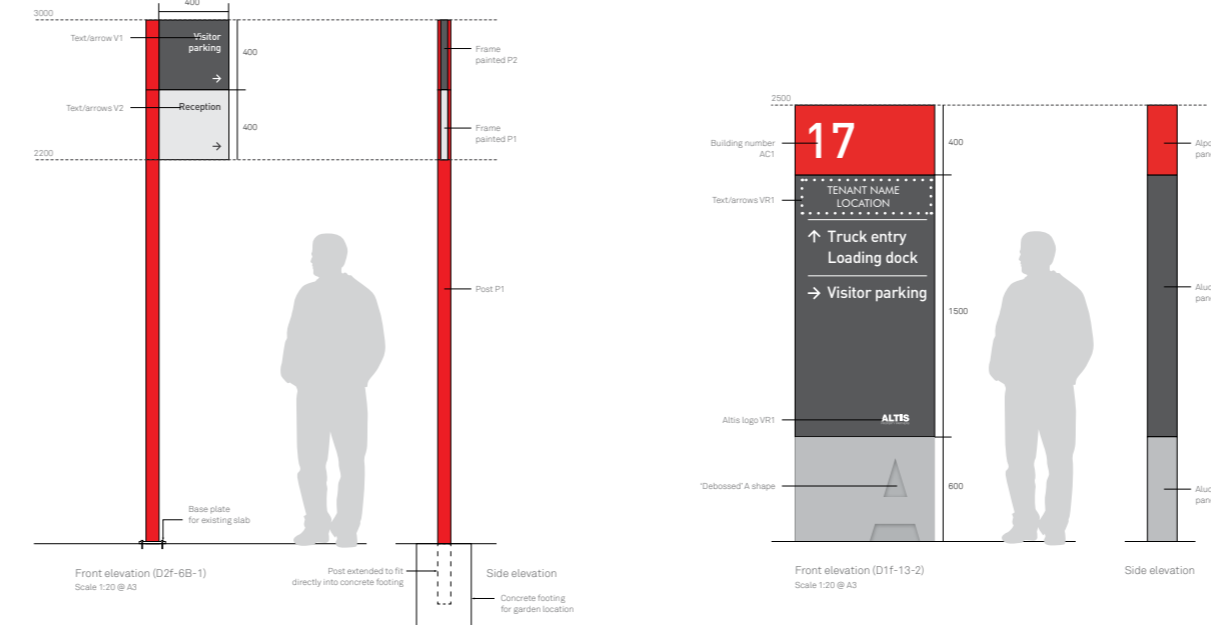


SIGNAGE

TENANT IDENTIFICATION



TENANT DIRECTIONAL



TENANT SIGNAGE

Tenant signage to be of a high quality finish with individual lettering or something similar rather than flat applied sign or painted lettering.

The signage should be located on visually prominent corners away from the office and could be integrated into the feature corner.

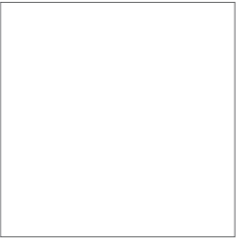
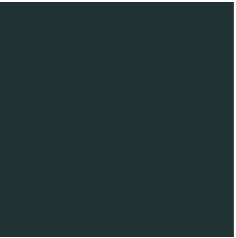




WAREHOUSE NUMBERING

Estate signage/warehouse numbering should be applied to give cohesion to the warehouses in the estate. Signage should be integrated into the feature/accent materials expressed at the corners, rather than paint or a flat face-fixed sign.



TYPICAL COLOURS & MATERIALS SCHEDULE

<p>C1</p> 	<p>C2</p>  <p>Alucabond A2 Anthracite Grey 105</p> <p>Vinyl V2 Avery 900 Supercast 962 Storm Grey (matches Pantone 446)</p> <p>Paint P2 match Pantone 446</p>
<p>C3</p>  <p>Alpic A3 Apple Red</p> <p>Vinyl V3 Avery 900 Supercast 987 Spicy Red</p> <p>Paint P3 match Pantone 1795</p>	<p>C4</p>  <p>Alucabond A4 Signal Grey 120</p>

