



Access Assessment Report

72-74 Maitland Street, Muswellbrook – Stage 1



Project: 72-74 Maitland Street, Muswellbrook – Stage 1

Reference No: 111917-Access-r04

Date: 20 September 2021

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Document Control




Revision	Date	Description
111917-Access-r1	23 October 2020	Final Access Assessment Report (Stage 0)
111917-Access-r02	28 October 2020	Final Access Assessment Report (Stage 0) – Update site address and site plan for Stage 0.
111917-BCA-r03	24 June 2021	Final Access Assessment Report (Stage 0) – Update report to reflect plan revisions and increase to student and staff population numbers F2.3.
111917-Access-r04	20 September 2021	Final Access Assessment Report (Stage 1) – Update report to reflect minor plan updates to student and staff amenities and change reference to 'Stage 1' with a description of works added in Annexure D.
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EXECUTIVE SUMMARY

This document provides an assessment of the architectural design drawings for the proposed development at Lot100 DP1261496 72-74 Maitland Street, Muswellbrook – Stage 1 , against the Deemed-to-Satisfy provisions of the provisions relating to Access for Persons with a Disability.

Part 2 'Matters for Further Consideration' of this report outlines the identified compliance issues that require further information or consideration and/or assessment as Performance Solutions.

Any Performance Solution will need to be detailed in a separate report and must clearly indicate methodologies for achieving compliance with the relevant Performance Requirements.

Item	Description	BCA Provision
Compliance Matters to be Addressed		
1.	Handrails	DtS Provision – D2.17
2.	Access to Buildings	DtS Provision – D3.2
3.	Parts of Building to be Accessible	DtS Provision – D3.3
4.	Accessible Carparking	DtS Provision – D3.5
5.	Accessible Sanitary Facilities	DtS Provision – F2.4

The Annexures of this Report provide detailed assessments of the proposal against all compliance requirements.

1 BASIS OF ASSESSMENT

1.1. Location

The building development, the subject of this report, is located at 72-74 Maitland Street, Muswellbrook – Stage 1. The development is to be delivered in a staged approach, with the construction of Stage 1 to deliver one (1) administration and staff area; five (5) General Learning Areas (GLAs); one (1) Science classroom; one (1) staff and student amenities block (including one (1) end of trip facility); Covered Outdoor Learning Area (COLA); and ancillary step/ramp access to each.

A detailed description of the encompassing development works supplied by NBRS Architecture has been provided within Annexure D of the report.

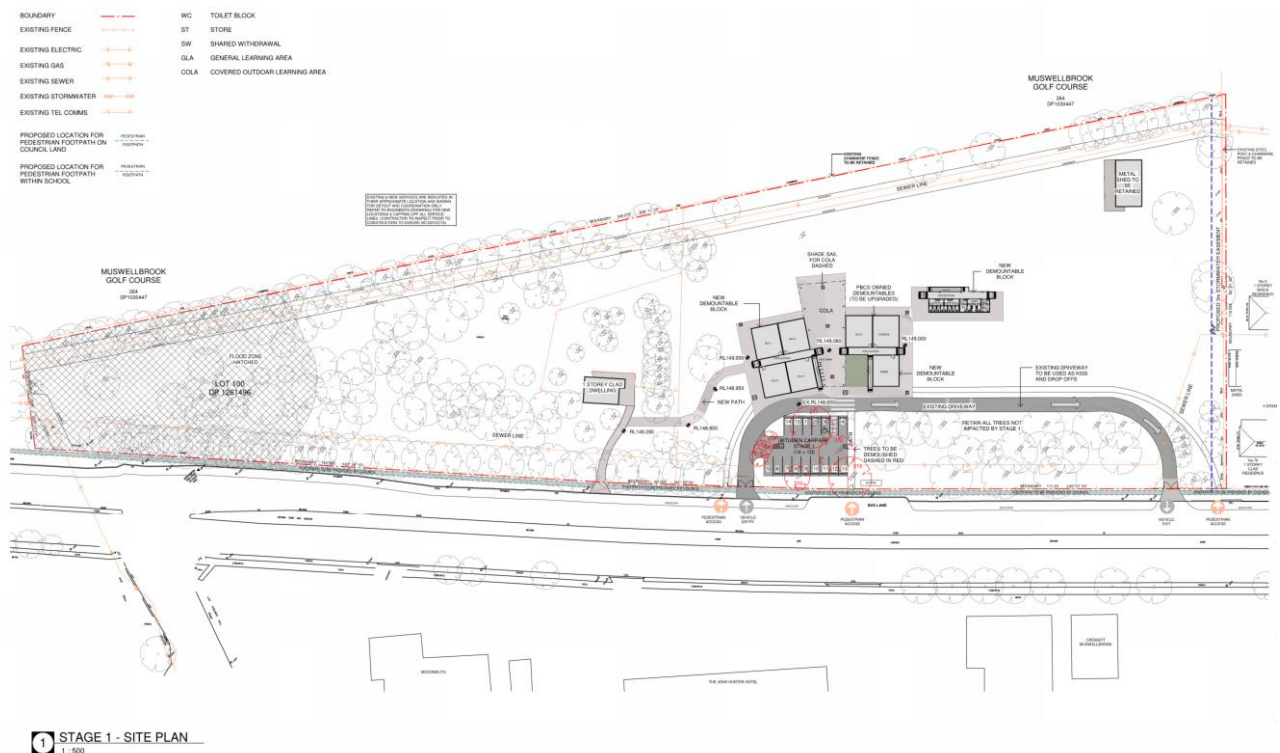


Figure: Staged delivery of School Campus – Stage 1

1.2. Purpose

The purpose of this report is to assess the proposed buildings against the documents and their relevant Deemed to Satisfy requirements. The report is intended to clearly outline those areas where compliance is not achieved and provide recommendations to achieve compliance:

- > Disability Discrimination Act 1992 (DDA);
- > Disability Access to Premises Standards 2010 (Premises Standards);
- > Building Code of Australia 2019 (BCA2019) Volume 1 Amendment 1 – Part D3 and F2.4; and
- > Applicable Australian Standards AS1428.1:2009, AS1428.4.1:2009 and AS2890.6:2009.

1.3. Limitations

This report is limited to an assessment of the access and amenity provisions for people with a disability against the documents as outlined in 1.2 above. It is not an assessment of the proposal against all provisions of the BCA2019 and if this is required, a separate report will be necessary.

This report does not include nor imply any detailed assessment for design, compliance or upgrading for:

- > The structural adequacy or design of the building;
- > The inherent derived fire-resistance ratings of any existing or proposed structural elements of the building (unless specifically referred to); and
- > The design basis and/or operating capabilities of any existing or proposed electrical, mechanical or hydraulic fire protection services.

This report does not include, or imply compliance with:

- > The Disability Discrimination Act (it cannot be guaranteed that that a complaint under the DDA will not be made, however should the building comply with BCA2019 and the Premises Standard then those responsible for the building cannot be subject to a successful complaint);
- > BCA2019 Sections B, C, E, F, G, H, I, J, Parts D1 and D2;
- > Demolition Standards not referred to by the BCA2019;
- > Work Health and Safety Act;
- > Construction Safety Act;
- > Requirements of other Regulatory Authorities including, but not limited to, Telecommunications Supply Authority, Water Supply Authority, Electricity Supply Authority, Work Cover, Roads and Maritime Services (RMS), Local Council, ARTC, Department of Planning and the like;
- > Conditions of Development Consent issued by the Local Consent Authority; and
- > This report does not assess the safety of the particular aspects of the building but merely the minimum standards called up by the documents outlined in Part 1.2 of this report.

1.4. Federal Disability Discrimination Act (DDA)

Disability is broadly defined and includes disabilities which are physical, intellectual, psychiatric, neurological, cognitive or sensory (a hearing or vision impairment), learning difficulties, physical disfigurement and the presence in the body of disease causing organisms.

All organisations have a responsibility, under the DDA, to provide equitable, dignified access to goods and services and to premises used by the public. Premises are broadly defined and would include all areas included within the subject development.

The DDA applies nationally and is complaint based. While the Disability (Access to Premises – Buildings) Standards 2010 and the BC2019 are recognised as a design standard to satisfy certain aspects of the DDA, compliance with the BCA2019 and the referenced standards does not guarantee that a complaint will not be lodged.

1.5. Disability Access to Premises Standards (Premises Standards)

The aim of the Premises Standards is to provide the building and design industry with detailed information regarding the required access provisions associated with the design and construction of new buildings and upgrade to existing buildings.

The Premises Standards intend to provide certainty for the building industry in relation to meeting the requirements for access in new and upgraded buildings. They only apply to elements addressed within the Standards. All other elements related to premises will still be subject to the existing provisions of the DDA.

The Premises Standards generally align with the BCA2019 and reference a range of Australian Standards relating to access and other associated matters.

They do not apply to existing buildings that are not undergoing upgrade, however they introduce the concept of the “Affected Part”. This means that new works need to be connected to the building’s Principal Pedestrian Entrance by an accessible path of travel. This can mean that upgrade to the building may be necessary even where none is proposed.

1.6. Design Documentation

This report has been based on the Design plans and Specifications listed in Annexure A of this Report.

1.7. Definitions

Accessible

Having features to enable use by people with a disability.

Accessway

A continuous accessible path of travel (as defined in AS 1428.1) to, into or within a building.

Continuous Accessible Path of Travel

An uninterrupted path of travel to, into or within a building providing access to all access facilities.

Luminance Contrast

The light reflected from one surface or component, compared to the light reflected from another surface or component.

Ramp

An inclined surface on a continuous accessible path of travel between two landings with a gradient steeper than 1 in 20 but not steeper than 1 in 14.

Tactile Indicators

Tactile Ground Surface Indicators (TGSIs)

Truncated cones and/or bars installed on the ground or floor surface, designed to provide pedestrians who are blind or vision-impaired with warning or directional orientation information

2 KEY COMPLIANCE CONSIDERATION

2.1. General

The following is a summary of all the individual elements that relate directly to the ability of a person with a disability to access all the portions of the building required to be accessible.

Accessibility has been assessed against the documents outlined in Part 1.2 of this Report. The Annexures to this report provides a detailed assessments of the proposal against ALL relevant Deemed-to-Satisfy Provisions and prescriptive requirements

Note: It is important that the Annexures are read in conjunction with the items below, as some matters may not have had sufficient information provided to allow a detailed assessment to be undertaken.

The abbreviations outlined below have been used in the following tables.

N/A	Not Applicable. The Deemed-to-Satisfy clause is not applicable to the proposed design.
Complies	The relevant provisions of the Deemed-to-Satisfy clause have been satisfied by the proposed design.
CRA – Refer Annexure C	'COMPLIANCE READILY ACHIEVABLE'. It is considered that there is not enough information included in the documentation to accurately determine strict compliance with the individual clause requirements. However, with further design development, compliance can readily be achievable. This item is to be read in conjunction with the BCA Specification included within Annexure C of this report.
FI	Further Information is necessary to determine the compliance potential of the building design.
PS	Performance Solution with respect to this Deemed-to-Satisfy Provision is necessary to satisfy the relevant Performance Requirements.
DNC	Does Not Comply.
Noted	BCA Clause simply provides a statement not requiring specific design comment or confirmation.

2.2. Classification

Under the provisions of Parts A6 of BCA2019 and Part A4 of the Access Code, the building has been classified as follows:

Table 1. Building Classification

Class	Level	Description
9b & 10a	Ground Floor	Classrooms, Staff & Student Amenities Block

2.3. Dimensions and Tolerances

The Premises Standards and BCA contains the minimum standards for building construction and safety, and therefore generally stipulates minimum dimensions which must be met. BCA Logic's assessment of the plans and specifications has been undertaken to ensure the minimal dimensions have been met.

The designer and builder should ensure that the minimum dimensions are met onsite and consideration needs to be given to construction tolerances for wall set outs, applied finishes and skirtings to corridors and bathrooms for example, tiling bed thicknesses and the like which can adversely impact on critical matters such as access for people with disabilities, stair and corridor widths and balustrade heights.

2.4. Performance Based Design – Performance Solutions

Currently no Performance Solutions are being proposed to satisfy the relevant Performance Requirements of the BCA.

2.5. Council's Development Control Plan Requirements (DCP)

Muswellbrook Shire DCP Section 9 Local Centre Development provides Council's planning controls on the provision of Accessibility.

The Controls for Accessibility under Clause 9.1.4 of Part 9 of the above referenced DCP are as follows:

9.1.4 Accessibility

Objectives

- a) To ensure that equitable access is provided to new commercial buildings and existing buildings undergoing a change of use or alterations and additions.
- b) To ensure that developments comply with the provisions of the Disability Discrimination Act 1992.

Controls

- (i) New buildings or buildings undergoing alterations and additions or a change of use are required to provide equitable provision of access to and circulation within the premises for people with disabilities in accordance with the provisions of AS 1428.1.
- (ii) Continuous accessible paths of travel shall be provided:
 - from parking spaces, public streets and walkways to building entrance(s);
 - between buildings, facilities and spaces that are on the same site;
 - to connect the building entrance(s) with all spaces and facilities within the building; and
 - to minimise travel distance between each accessible element of the building and of facilities within it.
- (iii) For the purposes of subsection 9.1.4(ii), access shall be provided to and within all the areas or facilities of the building where there is a reasonable expectation of access by any owner, occupier, employee, or visitor. It does not include any area if access would be inappropriate because of the particular purpose for which the area is used.
- (iv) Council may vary these provisions if compliance will cause major difficulties or unjustifiable hardship to a person or organisation. Each claim for unjustifiable hardship is determined on a case by case basis taking into account the following:
 - Whether there is a benefit or a detriment to any person concerned;
 - How it affects the disability of the person concerned; and
 - The financial cost.

And considering the following circumstances:

- technical limits;
- topographical restrictions;
- safety, design and construction issues; and
- does not rely on the 'public domain' to solve access issues within the site.

2.6. Areas Required to be Accessible

The following areas of the building are required to be accessible:

Table 2. Areas Required to be Accessible

Area / Room	Description
Class 9b (Classrooms)	To and within all areas normally used by the occupants at the school
Class 10a (Amenities block)	To and within the accessible sanitary facility, change room, public shelter or the like within the public non-habitable building

Note: The limitations and exemptions of Clauses D3.2, D3.3 and D3.4 of the BCA2019 and Access Code been considered where applicable in the process of developing the above table.

2.7. Design Items Requiring Attention

2.8. D2.17 Handrails

The handrails installed within the school are to include a second handrail provision at a height range of 665mm to 750mm where the buildings are to be occupied by Primary Students.

2.9. D3.1 General Building Access Requirements

Under the Disability Discrimination Act 1992 persons with a disability are not to be discriminated against, with respects to access to premises. Under the Disability (Access to Premises) Standard 2010 – “New” building works and “Affected Parts” of existing buildings, are required to provide suitable provisions for access for persons with a disability, as identified within DTS clause D3.1, Table D3.1.

In this instance, the proposed building works are considered “new works” and as a result, are required to achieve compliance with respects to Part D3 of the BCA 2019 and its referenced standards in AS1428.1-2009. Table D3.1 of the BCA requires that access be provided ‘to and within all areas normally used by the occupants’.

2.10. D3.2 Access to Buildings

Each Classroom door clearance & the door clearance of the unisex accessible WC, located within the student amenities block, is to achieve a minimum clear width of 850mm with circulation spaces on both sides of the door complying with Clause 13 of AS1428.1-2009 (illustration below):

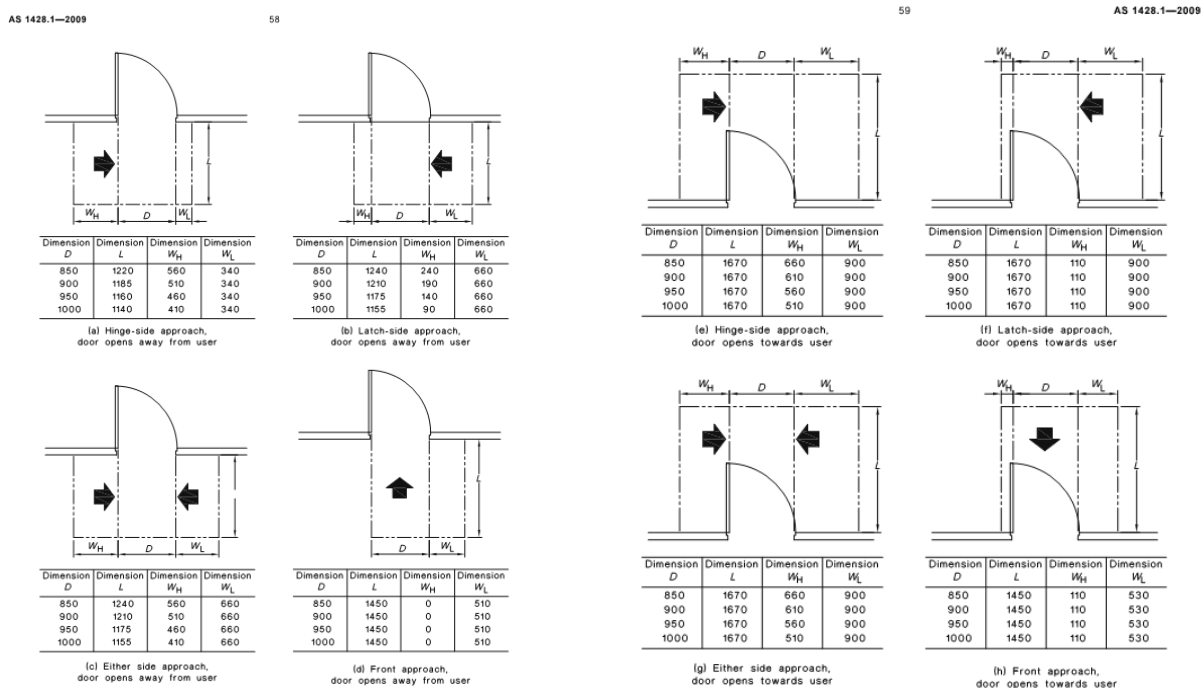


Figure: Accessible door clearance.

2.11. D3.3 Parts of Building to be Accessible

Every stairway, access ramp, and walkway serving the new demountable buildings are required to comply with the relevant provisions as detailed within AS1428.1-2009. While not detailed on the current design plans, the following considerations are to be incorporated on an updated plan set.

Ramp Access – Each ramp shall include the following design provisions:

- (a) Maximum gradients shall not exceed 1 in 14, with a mid-landing provided at 9m intervals along the ramps; and
- (b) Tactile Ground Surface Indicators (TGSIs) are to be provided on the approach to every ramp, excluding walkway where gradients are 1:20 or lesser. TGSIs are to comply with AS1428.4 requirements; and
- (c) Handrail & kerb rail provisions extending along the full length of the ramp. Handrails shall be no less than 865mm and no greater than 1000mm above the plane of the ramp, handrails shall have no obstructions throughout, and shall extend beyond 300mm the top and bottom landings of the ramp with each end turning upon themselves totalling 180 degrees, or alternately, they shall turn down to the ground or be a continuation along the handrail; and
- (d) Comply with all relevant provisions of Clause 12 of AS1428.1-2009.

Currently, the design will need to incorporate kerb rails along each handrail where the handrail does not terminate at the top of the ramp, but rather continues along the remainder of the deck space outside each classroom.

Stair Provisions – Each access stair shall incorporate the following design provisions:

- (a) Tactile Ground Surface Indicators (TGSIs) are to be provided on the approach to every stair. TGSIs are to comply with AS1428.4 requirements; and
- (b) Handrail provisions complying with Clauses 11 & 12 of AS1428.1-2009; and
- (c) Non-slip nosing strips with appropriate luminance contrast; and
- (d) Opaque risers.

Currently, the handrail design of the stairs will need to include a 300mm continuation at the base of the stairs.

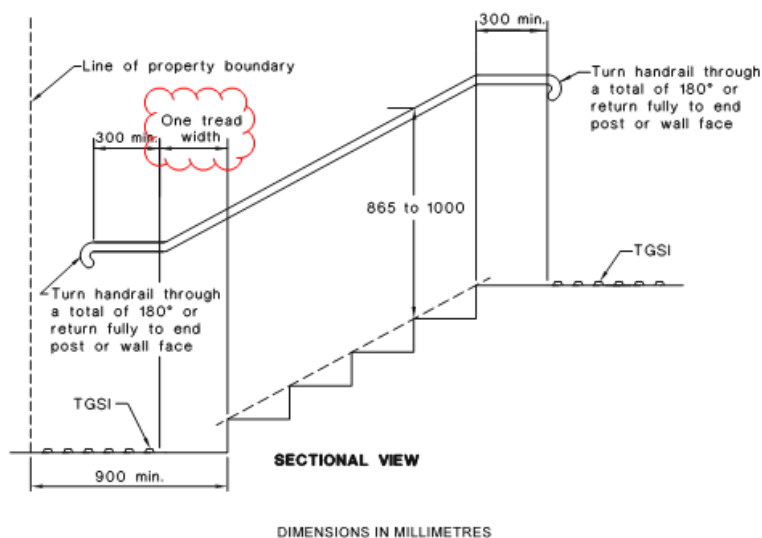


Figure: Typical stair and handrail design.

2.12. D3.5 Accessible Carparking

Initially Stage 1 works proposes a total of 13 carparking spaces as part of the development, of which one has been nominated as an accessible parking space. This sizing, provisions for a shared zone with a bollard, identification signage, and line markings are to comply with the requirements of AS2890.6 for

accessible parking spaces. This generally requires a minimum width of 2400mmx5400mm, with an accompanying shared zone next to the nominated space. In addition, the standard requires all line markings to the shared zone to be in yellow coloured slip resistant paint.

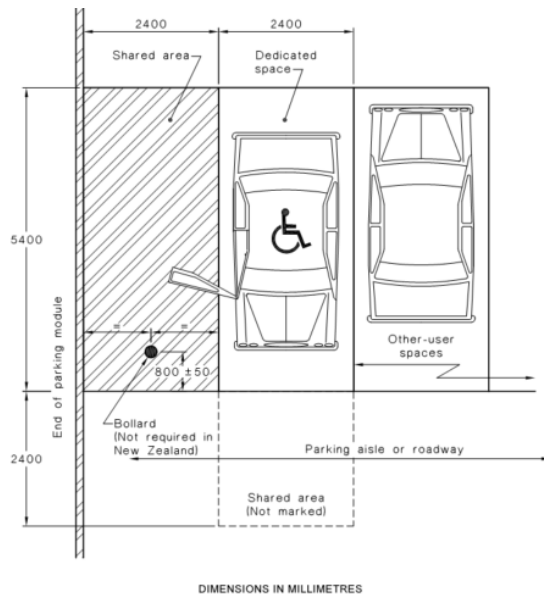


FIGURE 2.2 EXAMPLE OF AN ANGLE PARKING SPACE WITH SHARED AREA ON ONE SIDE ONLY—DIMENSIONS FOR AUSTRALIA ONLY*

Figure: Accessible car parking requirements.

2.13. D3.6 Signage

Where BCA Report No. 111917-BCA-r1 identifies each classroom door requiring an exit sign under Clause E4.5 of the BCA, each exit is to have additional provisions in terms of an accessible tactile and braille exit sign installed adjacent to the door nominating the door as an exit and the level served in this case 'Exit Ground Floor'. Further requirements for sizing and install height are specified in Spec E3.6 of the BCA.

2.14. D3.7 Hearing Augmentation

Where classrooms are to be provided with in built amplification systems, a hearing augmentation system is to be installed.

2.15. D3.12 Glazing on an Accessway

Glazing demarcations in accordance with Clause 6.6 of AS1428.1-2009 will be required where any new frameless or fully glazed panels can be mistaken as a doorway or opening.

2.16. F2.4 Accessible Sanitary Facilities

Currently two unisex accessible sanitary facilities are proposed for the amenities block. One of each is for allocation to staff and students. The construction of these facilities is to comply with Clause 15 of AS1428.1-2006. In addition, the proposed ambulant WC's for both staff and student are to comply with Clause 16 of AS1428.1-2009.

3 STATEMENT OF COMPLIANCE

The design documentation as referred to in this report has been assessed against the applicable provisions for Accessibility as outlined in Part 1.2 of this report. It is considered that such documentation complies or is capable of complying (as outlined in Part 2 of this Report) with those documents.

ANNEXURE A DESIGN DOCUMENTATION

Annexure A – Design Documentation

This report has been based on the following design documentation.

Table 3. Architectural Plans

Architectural Plans Prepared by			
Drawing Number	Revision	Date Title	Title
19055-NBRS-DR-A-SSDA-1000	13	14/09/21	GROUND FLOOR CONCEPT MASTERPLAN
19055-NBRS-DR-A-SSDA-2000	15	14/09/21	STAGE 1 SITE PLAN
19055-NBRS-DR-A-SSDA-2001	8	14/09/21	STAGE 1 FLOOR PLANS

ANNEXURE B PREMISES STANDARDS & BCA ASSESSMENT

Annexure B - Premises Standards & BCA Assessment

N/A	Not Applicable. The Deemed-to-Satisfy clause is not applicable to the proposed design.
Complies	The relevant provisions of the Deemed-to-Satisfy clause have been satisfied by the proposed design.
CRA – Refer Annexure C	‘COMPLIANCE READILY ACHIEVABLE’. It is considered that there is not enough information included in the documentation to accurately determine strict compliance with the individual clause requirements. However, with further design development, compliance can readily be achievable. This item is to be read in conjunction with the BCA Specification included within Annexure C of this report.
FI	Further Information is necessary to determine the compliance potential of the building design.
PS	Performance Solution with respect to this Deemed-to-Satisfy Provision is necessary to satisfy the relevant Performance Requirements.
DNC	Does Not Comply.
Noted	BCA Clause simply provides a statement not requiring specific design comment or confirmation.

Building Code of Australia 2019 Assessment Summary (BCA2019) / Premises Standards (Access Code)

Table 4. BCA 2019 Summary

Clause	Clause Requirements	Comment	Status
Section D: Access and Egress			
Part D2 – Construction of Exits			
D2.15: Thresholds	<p>The threshold of a doorway must not incorporate a step or ramp at any point closer to the doorway than the width of the door leaf unless –</p> <ul style="list-style-type: none"> (a) in patient care areas in a Class 9a health-care building, the door sill is not more than 25 mm above the finished floor level to which the doorway opens; or (b) in a Class 9c building, a ramp is provided with a maximum gradient of 1:8 for a maximum height of 25 mm over the threshold; or (c) in a building required to be accessible by Part D3, the doorway – <ul style="list-style-type: none"> (i) opens to a road or open space; and (ii) is provided with a threshold ramp or step ramp in accordance with AS 1428.1; or (d) in other cases – <ul style="list-style-type: none"> (i) the doorway opens to a road or open space, external stair landing or external balcony; and (ii) the door sill is not more than 190 mm above the finished surface of the ground, balcony, or the like, to which the doorway open. 		CRA – Refer Annexure C
D2.17: Handrails	<ul style="list-style-type: none"> (a) Except for handrails referred to in D2.18, handrails must be – 	A second handrail provision is to be installed at a height of 665mm to 750mm where the buildings are to be used as a Primary School.	DNC – See Part 2 of the Report

Section D: Access and Egress

- (i) located along at least one side of the ramp or flight; and
- (ii) located along each side if the total width of the stairway or ramp is 2 m or more; and
- (iii) in a Class 9b building used as a primary school –
 - (A) have one handrail fixed at a height of not less than 865 mm; and
 - (B) have a second handrail fixed at a height between 665 mm and 750 mm,
- (iv) measured above the nosings of stair treads and the floor surface of the ramp, landing or the like; and
- (v) in any other case, fixed at a height of not less than 865 mm measured above the nosings of stair treads and the floor surface of the ramp, landing, or the like; and
- (vi) continuous between stair flight landings and have no obstruction on or above them that will tend to break a hand-hold; and
- (vii) in a required exit serving an area required to be accessible, designed and constructed to comply with clause 12 of AS 1428.1, except that clause 12(d) does not apply to a handrail required by (a)(iii)(B).
- (b) Handrails –
 - (i) in a Class 9a health-care building must be provided along at least one side of every passageway or corridor used by patients, and must be –
 - (A) fixed not less than 50 mm clear of the wall; and

Section D: Access and Egress

- (B) where practicable, continuous for their full length.
- (ii) In a Class 9c aged care building must be provided along both sides of every passageway or corridor used by residents, and must be –
 - (A) fixed not less than 50 mm clear of the wall; and
 - (B) where practicable, continuous for their full length.
- (c) Handrails required to assist people with a disability must be provided in accordance with D3.3
- (d) Handrails to a stairway or ramp within a sole-occupancy unit in a Class 2 or 3 buildings or Class 4 part of a building must –
 - (i) be located along at least one side of the flight or ramp; and
 - (ii) be located along the full length of the flight or ramp, except in the case where a handrail is associated with a barrier, the handrail may terminate where the barrier terminates; and
 - (iii) have the top surface of the handrail not less than 865 mm vertically above the nosings of the stair treads of the floor surface of the ramp; and
 - (iv) have no obstruction on or above them that will tend to break a handhold, except for newel posts, ball type stanchions, or the like.
- (e) The requirements of (d) do not apply to –
 - (i) handrails referred to in D2.18; or
 - (ii) a stairway or ramp providing a change in elevation of less than 1m; or

Section D: Access and Egress

	<ul style="list-style-type: none"> (iii) a landing; or (iv) a winder where a newel post is installed to provide a handhold. 		
D2.21: Operation of latch	<ul style="list-style-type: none"> (a) A door in a required exit, forming part of a required exit or in the path of travel to a required exit must be readily openable without a key from the side that faces a person seeking egress, by – <ul style="list-style-type: none"> (i) a single hand downward action on a single device which is located between 900 mm and 1.1 m from the floor and if serving an area required to be accessible by Part D3 – <ul style="list-style-type: none"> (A) be such that the hand of a person who cannot grip will not slip from the handle during the operation of the latch; and (B) have a clearance between the handle and the back plate or door face at the centre grip section of the handle of not less than 35 mm and not more than 45 mm; or (ii) a single hand pushing action on a single device which is located between 900 mm and 1.2 m from the floor; and (iii) where the latch operation device referred to in (ii) is not located on the door leaf itself – <ul style="list-style-type: none"> (A) manual controls to power-operated doors must be at least 25 mm wide, proud of the surrounding surface and located – <ul style="list-style-type: none"> (aa) not less than 500 mm from an internal corner; and (bb) for a hinged door, between 1 m and 2 m from the door leaf (cc) for a sliding door, within 2 m of the doorway and clear of a 		CRA – Refer Annexure C

Section D: Access and Egress

	<p>surface mounted door in the open position.</p> <p>(B) braille and tactile signage complying with Clause 3 and 6 of Specification D3.6 must identify the latch operation device.</p> <p>(b) The requirements of (a) do not apply to a door that –</p> <p>(i) serves a vault, strong-room, sanitary compartment, or the like; or</p> <p>(ii) serves only, or is within –</p> <p>(A) a sole-occupancy unit in a Class 2 building or a Class 4 part of a building; or</p> <p>(B) a sole-occupancy unit in a Class 3 building (other than an entry door to a sole-occupancy unit of a boarding house, guest house, hostel, lodging house or backpacker accommodation); or</p> <p>(C) a sole-occupancy unit with a floor area not more than 200 m2 in a Class 5, 6, 7 or 8 building; or</p> <p>(D) a space which is otherwise inaccessible to persons at all times when the door is locked; or</p> <p>(iii) serves –</p> <p>(A) Australian Government Security Zones 4 or 5; or</p> <p>(B) the secure parts of a bank, detention centre, mental health facility, early childhood centre or the like; and</p> <p>it can be immediately unlocked –</p>		
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Section D: Access and Egress

- (C) by operating a fail-safe control switch, not contained within a protective enclosure, to actuate a device to unlock the door; or
- (D) by hand by a person or persons, specifically nominated by the owner, properly instructed as to the duties and responsibilities involved and available at all times when the building is lawfully occupied so that persons in the building or part may immediately escape if there is a fire; or
- (iv) is fitted with a fail-safe device which automatically unlocks the door upon the activation of any sprinkler system (other than a FPAA101D system) complying with Specification E1.5 or smoke, or any other detector system deemed suitable in accordance with AS 1670.1 installed throughout the building, and is readily openable when unlocked; or
- (v) is in a Class 9a or 9c building and –
 - (A) is one leaf of a two-leaf door complying with D1.6(f)(i) or D1.6(f)(iv) provided that it is not held closed by a locking mechanism and is readily openable; and
 - (B) the door is not required to be a fire door or smoke door.
- (c) The requirements of (a) do not apply in a class 9b building (other than a school, an early childhood centre or a building used for religious purposes) to a door in a required exit, forming part of a required exit or in the path of travel to a required exit serving a storey or room accommodating more than 100 persons, determined in

Section D: Access and Egress			
	<p>accordance with D1.13, in which case it must be readily openable –</p> <ul style="list-style-type: none"> (i) without a key from the side that faces a person seeking egress; and (ii) by a single hand pushing action on a single device such as a panic bar located between 900 mm and 1.2 m from the floor; and (iii) where a two-leaf door is fitter, the provisions of (i) and (ii) need only apply to one door leaf if the appropriate requirements of D1.6 are satisfied by the opening of that one leaf. 		
Part D3 – Access for People with a Disability			
D3.0: Deemed-to-Satisfy Provisions	Informational		Noted
D3.1: General Building Access Requirements	<p>Choose the applicable building classes:</p> <p>An accessway complying with AS1428.1 is required to the following:</p> <p>Class 9b –</p> <p>To and within all areas normally used by the occupants.</p> <p>To wheelchair seating spaces provided in accordance with D3.9.</p> <p>To and within all other areas normally used by the occupants, except that access need not be provided to tiers or platforms of seating areas that do not contain wheelchair seating spaces.</p> <p>Class 10a –</p> <p>To and within –</p> <ul style="list-style-type: none"> (a) An accessible sanitary facility; and (b) a change room facility; and 		CRA – Refer Annexure C

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	(c) a public shelter or the like		
D3.2: Access to Buildings	<p>(a) An accessway must be provided to a building required to accessible –</p> <ul style="list-style-type: none"> (i) from the main points of a pedestrian entry at the allotment boundary; and (ii) from another accessible building connected by a pedestrian link; and (iii) from any required accessible carparking space on the allotment. <p>(b) In a building required to be accessible, an accessway must be provided through the principal pedestrian entrance, and –</p> <ul style="list-style-type: none"> (i) through not less than 50% of all pedestrian entrances including the principal pedestrian entrance; and (ii) in a building with a total floor area more than 500 m², a pedestrian entrance which is not accessible must not be located more than 50 m from an accessible pedestrian entrance, except for pedestrian entrances serving only areas exempted by D3.4. <p>(c) Where a pedestrian entrance required to be accessible has multiple doorways—</p> <ul style="list-style-type: none"> (i) if the pedestrian entrance consists of not more than 3 doorways — not less than 1 of those doorways must be accessible; and (ii) if a pedestrian entrance consists of more than 3 doorways — not less than 50% of those doorways must be accessible. <p>(d) For the purposes of (c)—</p>	See notes regarding minimum door widths and circulation spacing.	CRA – Refer Annexure C

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	<ul style="list-style-type: none"> (i) an accessible pedestrian entrance with multiple doorways is considered to be one pedestrian entrance where— <ul style="list-style-type: none"> (A) all doorways serve the same part or parts of the building; and (B) the distance between each doorway is not more than the width of the widest doorway at that pedestrian entrance (see Figure D3.2); and (ii) a doorway is considered to be the clear, unobstructed opening created by the opening of one or more door leaves (see Figure D3.2). (e) Where a doorway on an accessway has multiple leaves, (except an automatic opening door) one of those leaves must have a clear opening width of not less than 850 mm in accordance with AS 1428.1. 		
D3.3: Parts of Buildings to be Accessible	<ul style="list-style-type: none"> > Walkways and ramps must comply with clause 10 of AS 1428.1-2009. > Non-fire-isolated stairways must comply with Clause 11 of AS 1428.1-2009. > Fire-isolated stairways must comply with clause 11 (f) & (g) of AS 1428.1-2009. <p>The accessways must be provided with:</p> <ul style="list-style-type: none"> > Passing spaces (1800x2000mm) complying with AS1428.1 at 20m max. intervals where direct line of sight is not available. > Turning spaces (1540x2070mm) complying with AS1428.1 within 2m of the end of accessways (including corridors or the like); and at 20m max. intervals along an accessway. > An intersection of accessways satisfies the spatial requirements for a passing and turning space. 		

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	Note: The Access to Premises Standards to not provide the concessions provided in sub-cluses (g) and (h) in this clause, hence compliance with the Access to Premises Standards will require the floor covering in the accessible areas to strictly comply with Clause 7.4.1(a) of AS1428.1-2009.		
D3.4: Exemptions	Certain areas can be exempted under this clause if pose a health and safety risk for people with disability and /or access would be inappropriate because the particular purpose for which this area is used (e.g. plant rooms, service areas, heavy / toxic item storage, etc.)	No Exemptions have been applied.	N/A
D3.5: Accessible Car Parking	<p>Accessible carparking spaces to be in compliance with this Clause, AS2890.6 and AS1428.1 in the proportion required by BCA2019 and Council DCP.</p> <p>Generally, accessible carparking spaces compliant with AS2890.6 will require 2400x5400mm plus an adjacent shared zone of 2400x5400mm. Bollard, demarcation and accessible signage to comply with AS2890.6. Vertical clearance to be 2500mm min over the carparking and 2200mm over the accessway, compliant with AS2890.6.</p> <p>Note: Adaptable parking spaces will require to comply with AS4299 (or AS2890.6 if described in DCP).</p> <p>Note: Livable housing parking spaces will require to comply with LHDG only when forming part of the SOU's access.</p>		CRA – Refer Annexure C
D3.6: Signage	<p>> Braille and tactile signage complying with Specification D3.6 and incorporating the international symbol of access, or deafness as appropriate, must identify each:</p> <ul style="list-style-type: none"> ○ sanitary facility; and ○ any space with a hearing augmentation system; and 		CRA – Refer Annexure C

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- identify each door required by E4.5 to be provided with an exit sign and state “Exit” and “Level” and either:
 - (aa) the floor level number; or
 - (bb) a floor level descriptor; or
 - (cc) a combination of (aa) and (bb)
 - > Signage including the international symbol for deafness in accordance with AS 1428.1 must be provided within a room containing a hearing augmentation system identifying –
 - > the type of hearing augmentation; and
 - > the area covered within the room; and
 - > if receivers are being used and where the receivers can be obtained.
 - > Signage to accessible sanitary facilities must identify if the facility is suitable for left or right handed use; and
 - > Signage to identify an ambulant accessible facility in accordance with AS 1428.1 must be located on the door of the facility.
 - > Where a pedestrian entrance is not accessible, directional signage incorporating the international symbol of access, in accordance with AS 1428.1 must be provided to direct a person to the location of the nearest accessible pedestrian entrance;
- Where a bank of facilities is not provided with an accessible unisex sanitary facility, directional signage incorporating the international symbol of access in accordance with AS 1428.1 must be placed at the location of the sanitary facilities that are not accessible, to direct a person to the location of the nearest accessible unisex facility.

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D3.7: Hearing Augmentation	<p>(a) A hearing augmentation system must be provided where an inbuilt amplification system, other than one used only for emergency warning, is installed—</p> <ul style="list-style-type: none"> (i) in a room in a Class 9b building; or (ii) in an auditorium, conference room, meeting room or room for judicatory purposes; <p>or</p> <ul style="list-style-type: none"> (iii) at any ticket office, teller's booth, reception area or the like, where the public is screened from the service provider. <p>(b) If a hearing augmentation system required by (a) is—</p> <ul style="list-style-type: none"> (i) an induction loop, it must be provided to not less than 80% of the floor area of the room or space served by the inbuilt amplification system; or (ii) a system requiring the use of receivers or the like, it must be available to not less than 95% of the floor area of the room or space served by the inbuilt amplification system, and the number of receivers provided must not be less than— <ul style="list-style-type: none"> (A) if the room or space accommodates up to 500 persons, 1 receiver for every 25 persons or part thereof, or 2 receivers, whichever is the greater; and (B) if the room or space accommodates more than 500 persons but not more than 1000 persons, 20 receivers plus 1 receiver for every 33 persons or part thereof in excess of 500 persons; and (C) if the room or space accommodates more than 1000 persons but not more than 2000 persons, 35 receivers plus 1 		CRA – Refer Annexure C
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Section D: Access and Egress

	<p>receiver for every 50 persons or part thereof in excess of 1000 persons; and</p> <p>(D) if the room or space accommodates more than 2000 persons, 55 receivers plus 1 receiver for every 100 persons or part thereof in excess of 2000 persons.</p> <p>(c) The number of persons accommodated in the room or space served by an inbuilt amplification system must be calculated according to D1.13.</p> <p>(d) Any screen or scoreboard associated with a Class 9b building and capable of displaying public announcements must be capable of supplementing any public address system,</p> <p>(e) other than a public address system used for emergency warning purposes only.</p>		
D3.8: Tactile Indicators	<p>(a) For a building required to be accessible, tactile ground surface indicators must be provided to warn people who are blind or have a vision impairment that they are approaching—</p> <p>(i) stairway, other than a fire-isolated stairway; and</p> <p>(ii) an escalator; and</p> <p>(iii) a passenger conveyor or moving walk; and</p> <p>(iv) a ramp other than a fire-isolated ramp, step ramp, kerb ramp or swimming pool ramp; and</p> <p>(v) in the absence of a suitable barrier—</p> <p>(A) an overhead obstruction less than 2 m above floor level, other than a doorway; and</p> <p>(B) an accessway meeting a vehicular way adjacent to any pedestrian entrance to a building, excluding a pedestrian entrance serving an area referred to in</p>		CRA – Refer Annexure C

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	<p>D3.4, if there is no kerb or kerb ramp at that point,</p> <p>except for areas exempted by D3.4. (b)</p> <p>(b) Tactile ground surface indicators required by (a) must comply with sections 1 and 2 of AS/NZS 1428.4.1.</p> <p>Class 3 aged care, Class 9a & 9c not listed above</p> <p>TGSI's to be provided in compliance with this Clause, AS1428.1, AS1428.4.1 and AS4586/HB198 at bottom and top of stairs / ramps (except fire-isolated).</p> <p>Ensure installed full tread width, colour contrasting with adjacent surface, slip resistance and 300mm from the ramp edge of stair riser.</p>		
D3.9: Wheelchair seating spaces in Class 9b Assembly Buildings	Wheelchair seating spaces are required in Class 9b assembly buildings (e.g. cinemas, theatres, etc.) spread evenly throughout with an accessway to / from them, compliant with AS1428.1.		N/A
D3.10: Swimming Pools	At least one accessway to / from the swimming pool to be provided according to this Clause and Table D3.1 and AS1428.1.		N/A
D3.11: Ramps	On an accessway a series of connected ramps must not have a combined vertical rise of 3.6m and a landing for a step ramp must not overlap a landing for another step ramp or ramp.		N/A
D3.12: Glazing on an Accessway	On an accessway, where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS 1428.1.		CRA – Refer Annexure C
Specification D3.6 – Braille and Tactile Signs			

Section D: Access and Egress

1.	Scope	Informational		Noted
2.	Location of Braille and Tactile Signs	The location of braille and tactile signs shall be in accordance with AS1428.1 and Specification D3.6.		CRA – Refer Annexure C
3.	Braille and Tactile Sign Specification	All accessible signage to comply with this clause and AS1428.1. Tactile characters to be raised in sentence case with matt finish.		CRA – Refer Annexure C
4.	Luminance-contrast	All accessible signage to comply with this clause and AS1428.1. The sign background to have at least 30% luminance contrast with the 5mm width border, tactile characters and braille. Luminance contrast to be measured on the location once installed.		CRA – Refer Annexure C
5.	Lighting	Braille and tactile signs to be appropriate illuminated, in compliance with this Clause and AS1428.1. The access pathway must have a minimum luminance contrast of 30%, in accordance with AS1428.1.		CRA – Refer Annexure C
6.	Braille	Braille must be in accordance with the criteria set out by the Australian Braille Authority.		CRA – Refer Annexure C

Specification D3.10 – Accessible Water Entry/Exit for Swimming Pools – N/A**Section E: Services and Equipment****Part E3 – Lift Installations – N/A****Section F: Healthy and Amenity****Part F2 – Sanitary and Other Facilities**

Section F: Healthy and Amenity			
F2.0: Deemed-to-Satisfy Provisions	Informational		Noted
F2.4: Accessible Sanitary Facilities (including Table F2.4)	<p>In a building required to be accessible—</p> <ul style="list-style-type: none"> (a) accessible unisex sanitary compartments must be provided in accessible parts of the building in accordance with Table F2.4(a); and (b) accessible unisex showers must be provided in accordance with Table F2.4(b); and (c) at each bank of toilets where there is one or more toilets in addition to an accessible unisex sanitary compartment at that bank of toilets, a sanitary compartment suitable for a person with an ambulant disability in accordance with AS 1428.1 must be provided for use by males and females; and (d) an accessible unisex sanitary compartment must contain a closet pan, washbasin, shelf or bench top and adequate means of disposal of sanitary towels; and (e) the circulation spaces, fixtures and fittings of all accessible sanitary facilities provided in accordance with Table F2.4(a) and Table F2.4(b) must comply with the requirements of AS 1428.1; and (f) an accessible unisex sanitary facility must be located so that it can be entered without crossing an area reserved for one sex only; and (g) where two or more of each type of accessible unisex sanitary facility are provided, the number of left and right handed mirror image facilities must be provided as evenly as possible; and (h) where male sanitary facilities are provided at a separate location to female sanitary facilities, 	Separate Staff facilities to be provided.	DNC – See Part 2 of the report

Section F: Healthy and Amenity			
	<p>accessible unisex sanitary facilities are only required at one of those locations; and</p> <p>(i) compartment or an accessible unisex shower need not be provided on a storey or level that is not required by D3.3(f) to be provided with a passenger lift or ramp complying with AS 1428.1.</p>		
F2.9: Accessible adult change facilities	<p>(a) Accessible adult change facilities required by (b) –</p> <p>(i) must be constructed in accordance with Specification F2.9; and</p> <p>(ii) cannot be combined with another sanitary compartment,</p> <p>(b) One unisex accessible adult change facility must be provided in accessible part of a-</p> <p>(i) Class 6 building that is a shopping centre having a design occupancy of not less than 3,500 people, calculated on the basis of the floor area and containing a minimum of 2 sole-occupancy units; and</p> <p>(ii) Class 9b sports venue or the like that –</p> <p>(A) has a design occupancy of not less than 35,000 spectators; or</p> <p>(B) contains a swimming pool that has a perimeter of not less than 70 m and that is required by Table D3.1 to be accessible; and</p> <p>(iii) museum, art gallery or the like having a design occupancy of not less than 1,500 patrons; and</p> <p>(iv) theatre of the like having a design occupancy of not less than 1,500 patrons; and</p> <p>(v) passenger use area of an airport terminal building within an airport that accepts domestic and/or international flights that are public</p>		N/A

Section F: Healthy and Amenity

	<p>transport services as defined in the Disability Standards for Accessible Public Transport 2002.</p> <p>(c) For the purposes of (b), design occupancy must be calculated in accordance with D1.13, but excluding any area that –</p> <p>(i) can only be accessed by staff, employees, contractors, maintenance personnel and the like; or</p> <p>(ii) is subject to an exemption under D3.4.</p>		
Specification F2.9 Accessible Adult Change Facilities – N/A			

ANNEXURE C COMPLIANCE SPECIFICATION

Annexure C – Compliance Specification

Design Certification

Further due to the level of detail provided at this stage the following items are to form part of a design statement or specification:

General

1. Tactile ground surface indicators will be installed at the top and bottom of stairways / ramps (other than fire isolated stairways / ramps); and where an overhead obstruction is less than 2 metres above the floor level. Tactile ground surface indicators will comply with Sections 1 and 2 of AS1428.4.1.
2. On an accessway where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights or glazing capable of being mistaken for a doorway or opening will be clearly marked and comply with Clause 6.6 of AS1428.1-2009. A solid non-transparent contrasting line not less than 75mm wide is to extend across the full width of the glazing panel. The lower edge of the contrasting line is to be located between 900-1000mm above the plane of the finished floor level. The contrasting line is to provide a minimum of 30% luminance contrast when viewed against the floor surface or surfaces within 2 metres of the glazing on the opposite side.
3. All doorways will have a minimum luminance contrast of 30% in accordance with Clause 13.1 of AS1428.1-2009.
4. Fixtures and fittings in accessible sanitary facilities will be provided and installed in accordance Clause 15 of AS1428.1-2009.
5. Fixtures and fittings in ambulant facilities will be provided and installed in accordance Clause 16 of AS1428.1-2009.
6. Walkways will comply with Clause 10 of AS1428.1-2009.
7. For the walkways, the floor or ground surface abutting the sides of the walkway will be firm and level of a different material to that of the walkway at the same level and follow the grade of the walkway and extend horizontally for a minimum of 600mm, or be provided with a kerb or kerb rail in accordance with Clause 10.2 of AS1428.1-2009.
8. Stairways will comply with Clause 11 of AS1428.1-2009.
9. Handrails will comply with Clause 12 of AS1428.1-2009.
10. Grabrails will comply with Clause 17 of AS1428.1-2009.
11. Accessible car spaces will achieve compliant headroom clearances in accordance with Clause 2.4 of AS2890.6-2009.
12. Demarcation will be provided in the accessible car space and adjacent shared zone in accordance with Clause 3.1 and 3.2 of AS2890.6. Refer to Annexure B1 for a diagrammatic explanation.
13. Bollards will be provided in the shared disabled car space area in accordance with Clause 2.2.1(e) of AS2890.6-2009. Refer to Annexure B1 for a diagrammatic explanation.
14. Switches and power points will comply with Clause 14 of AS1428.1-2009.
15. Floor and ground floor surfaces on accessible paths and circulation spaces including the external areas will comply with Clause 7 of AS1428.1-2009. Any level difference over 3mm must be ramped according AS1428.1 Clause 10.5.
16. Braille and tactile signage will comply with BCA2019 Clause D3.6.
17. Signage to comply with Clause 8 of AS1428.1-2009.
18. The unobstructed height of a continuous accessible path of travel will be a minimum of 2000mm and 1980mm at doorways.
19. Door handles and the like, will be in accordance with Clause 13.5 of AS1428.1-2009.

ANNEXURE D NBRS ARCHITCTURE SITE DESCRIPTION

19055 PBCS Description wording**Site Description**

The site is triangular in shape, with a northwest/southeast alignment and has an area of 2.432 ha. The site is bound by Muswellbrook Golf Course along the north eastern boundary, Maitland Street along the south western boundary and residential properties to the south eastern boundary (see Figure 1). The site address is 72-74 Maitland Street and is legally described as Lot 100 in Deposited Plan (DP) 1281486 (see Figure 2).

The site is generally level with a slight slope to a watercourse at the north west boundary. This watercourse flows northeast into the adjoining golf course and on to Muscle Creek via a series of dams on the golf course. Muscle Creek flows west into the Hunter River which at its closest is 1.3 km north-west of the site. Stormwater management currently on site is pit and pipe and overland flow.

72-74 Maitland Street was previously used for forestry plantation purposes and is mapped as Muswellbrook State Forest. The site is no longer used for this purpose and currently sits as an empty and underutilised site.

The main vehicular access to the site is from Maitland Street, as well as pedestrian access. Existing vehicular parking on site includes open air at grade parking spaces facing Maitland Street.

In terms of travel, Muswellbrook is approximately three (3) hours from Sydney, three hours (3) from Dubbo, two (2) hours from Tamworth and 90 minutes from Newcastle.



Aerial image of site boundary

NBRSARCHITECTURE.



Site Context

Proposal Summary

Pacific Brook Christian School proposes the staged construction of a new school at 72-74 Maitland Street, Muswellbrook. This will involve site preparation work (including remediation), the removal of 96 trees (7 within Stage 1), civil works, infrastructure works, landscaping, signage and construction works in stages over the next 10 years.

The masterplan will support high-quality educational outcomes to meet the needs of students within the local community as follows:

- Administration building and Library;
 - One (1) staff and student amenities block;
- Junior School facilities;
 - Ten (10) General Learning Areas (GLAs);
 - Two (2) Specialist classroom;
 - One (1) Store; and
 - Covered Outdoor Learning Area (COLA)
- Middle School facilities;
 - Seven (7) General Learning Areas (GLAs);
 - One (1) Science classroom; and
 - Covered Outdoor Learning Area (COLA)
- Senior School facilities;
 - Eight (8) General Learning Areas (GLAs);
 - One (1) Specialist classroom;
 - Three (3) TAS classrooms;
 - Two (2) Food Tech classrooms;
 - One (1) Art classroom;
 - One (1) Drama classroom;
 - Four (4) amenities block;
 - Three (3) Store; and
 - Covered Outdoor Learning Area (COLA)
- Hope School (special needs) facilities;

- o Four (4) General Learning Areas (GLAs);
 - o One (1) Specialist classroom;
 - o Four (4) Shared Withdrawal rooms;
 - o One (1) Office;
 - o One (1) Staff room;
 - o One (1) Interview + Therapy room;
 - o Three (4) amenities block;
 - o Three (3) Store; and
 - o Covered Outdoor Learning Area (COLA)
- Multi-Purpose Hall;
- Maximum student capacity of 656;
- Maximum 65 staff;
- Agricultural teaching facility;
- Maintenance and bus area;
- On-site Parking (67 spaces, inclusive of 1 accessible);
- Bike parking x 36;
- Internal pathways;
- Kiss and drop off areas;
- Bus stop;
- Waste Storage and collection area;
- Signage;
- Bush Chapel
- Removal of 96 trees (total);
- Landscaping (including Bush Chapel);
- Infrastructure works;
- Earthworks;
- Secondary emergency vehicle/ large vehicle access;
- Acoustic and safety fence; and
- Widening of existing vehicular access from Maitland Street

Stage 1 of the masterplan consists of:

- Site remediation;
- Removal of 7 trees;
- Facilities for a maximum of 140 students and 16 staff, including:
 - o One (1) administration and staff area;
 - o One (1) staff and student amenities block (including one (1) end of trip facility);
 - o Five (5) General Learning Areas (GLAs);
 - o One (1) Science classroom; and
 - o Covered Outdoor Learning Area (COLA)
- Internal pathways;
- On-site Parking (15 spaces, inclusive of 1 accessible);
- Bike parking x 6;
- Kiss and drop off areas;
- Bus stop;
- Bin storage and collection area;
- Signage;
- Infrastructure works; and
- Widening of existing vehicular access from Maitland Street.