

STRUCTURAL DESIGN BRIEF

FOR

GREENWICH HAMMONDCARE

97-115 River Road, Greenwich, NSW

Our Ref: SY210-019				
Revision	Date	Comment	By	Checked
A	14-April-22		WA	LS



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1. Introduction

This Structural Design Brief is submitted to the Department of Planning, Industry and Environment (DPIE) in support of a State Significant Development Application (SSD-13619238) for the redevelopment of Greenwich Hospital into an integrated hospital and seniors living facility on land identified as 97-115 River Road, Greenwich (the site). The extent of the site is shown below.



The subject proposal is for the detailed design and construction of the facility following its concept approval under SSD-8699. Specifically, SSD-13619238 seeks approval for the following:

- Demolition of the existing hospital building and associated facilities at the site;
- Construction of a new hospital facility and integrated healthcare campus comprising of hospital, residential aged care, seniors housing, overnight respite, across:

- A new main hospital building up to RL 80.0;
- Two new seniors living buildings, Northern building up to RL 56.36, and Southern building up to RL 60.65;
- A new respite care building up to RL 56.9;
- Construction of associated site facilities and services, including pedestrian and vehicular access and basement parking;
- Site landscaping and infrastructure works; and
- Preservation of Pallister House which will continue to host dementia care and administrative functions.

This report sets out the structural performance requirements of the proposed new development components.

The structure aims to assist this fundamental role by ensuring the client and architectural intentions are met with a buildable solution to budget and program.

In accordance with section 4.39 of the Environmental Planning & Assessment Act 1979 (EP&A Act), the Secretary's Environmental Assessment Requirements (SEARs) for SSD-13619238 were issued on 24 February, 2021. This report has been prepared to respond to the following SEARs:

<i>SEAR</i>	<i>Relevant section of report</i>
Plans and documents: <ul style="list-style-type: none"> • Geotechnical and structural reports 	Section 2 - 4
Plans and documents: <ul style="list-style-type: none"> • Diagrams, structural plan, illustration and drawings to clarify the design intent of the proposal 	Appendix A

2. Site Characteristics and Proposed Development

2.1 The Site

The site comprised the grounds of Greenwich Hospital and has northern and eastern frontages onto River Road and St. Vincent's Road, respectively. The southern site boundary and northern portion of the western site boundary are lined by the residential properties. The south-western portion of site boundary is lined by Gore Creek Reserve.

2.2 Soil Conditions

Refer to the geotechnical investigation report by JKGeotechnics dated 22 March 2022 for the soil investigation data and geotechnical recommendations.

Excavation will incorporate temporary batters at the high levels of cohesionless soils with subsequent vertical cutting of the sandstone bedrock below. Conventional retaining wall independent or connected to the main structure may be constructed at the base of the batters and consequently backfilled.

3. Proposed Structural Design

3.1 Foundations

Based on the soil investigation results, sandstone bedrock is expected to be exposed at bulk exaction level at 2.3-7.6m below existing surface levels. Shallow pad and strip footings founded in weathered sandstone bedrock will be incorporated throughout the project.

3.2 Ground Slab and In Ground Structures

The ground slab to the carpark areas are sawn cut slabs on grade.

The slabs on ground to occupied areas are sawn cut slabs on grade of an increased thickness to reduce the number of joints and provide a more robust floor for sensitive uses. The subgrade to these areas shall have a 100mm subbase compaction to 98% maximum dry density.

Conventional sub slab drainage and a vapour barrier will be incorporated throughout.

Pits and culverts may be precast or in-situ subject to build preference.

3.3 Suspended Slabs

Suspended slabs will be post-tensioned and the detailed design will be by van der Meer or an external PT designer as required by the builder.

Movement joints have been nominated while construction joints and temporary movement joints are subject to coordination with build methodology and project architect.

Exposed concrete slabs will be constructed to the highest degree of crack control in accordance with AS3600 in conjunction with project approved membranes (by others).

Formwork typology will be subject to the builders preferred construction however metal deck formwork cannot be incorporated over the pool area.

Back propping shall ensure that construction loads are evenly applied to supporting floors and does not impose loads greater than design loads. This will be achieved by appropriate reshoring of formwork systems.

3.4 Columns and Walls

Vertical elements of the structure will predominantly be reinforced concrete. However, the implementation of precast columns and walls are viable and subject to future head contractor input.

Proprietary products will be considered and reviewed as requested by the builder who will obtain client approvals as appropriate. Careful consideration in regard to condensation, combustibility and effective stiffness will be done by van der Meer and the project team.

3.5 External Structures & Roofs

The proposed structure of the hospital and senior's living buildings will provide 19m minimum clearance from the existing Pallister house building which will eliminate any adverse effect on the structural integrity of the exiting heritage building during the construction phase and at final condition of the new structure.

Structure for any external tanks and ramps may consist of a stiffened slab on ground with screw piles subject to ground conditions with reinforced concrete slabs and walls over.

Roof structure of the senior's living building is proposed as light weight metal roof on structural steel framing and concrete and steel columns. All plant equipment on the hospital building roof slab shall be installed on plinths with adequate vibration isolation.

Concrete roofs are required to have a high degree of crack control with particular attention to crack resistance at areas of landscape areas on suspended slabs.

4. **Criteria**

4.1 General

The following outlines the structural design loading criteria for the development. Notwithstanding the below, the structure will allow for all imposed loads as outlined by the relevant codes

4.2 Design Life

The design life adopted for all structural elements is 50 years in accordance with the BCA.

The continued satisfactory performance of the structures designed to the criteria outlined in this report assumes an appropriate and comprehensive maintenance regime specific to those structures will be developed and implemented by the building owner as part of the overall maintenance program of the facility.

4.3 Design Codes and Standards

The following codes and standards will form the basis for the structural design but are not limited to the following:

1. Building Code of Australia (BCA)2019
2. AS/NZS 1170.0 2002 Structural Design Actions - General Principles
3. AS/NZS 1170.1 2002 Structural Design Actions - Permanent, Imposed and Other Actions
4. AS/NZS 1170.2 2011 Structural Design Actions - Wind Actions
5. AS 1170.4 2007 Minimum Design Loads on Structures - Earthquake Loads
6. AS 2159 2009 Piling Code
7. AS/NZS 3600 2018 Concrete Structures
8. AS/NZS 3610 1995 Formwork for Concrete
9. AS/NZS 3700 2011 Masonry Code
10. AS/NZS 4100 1998 Steel Structures
11. AS/NZS 4600 2005 Cold Formed Steel Structures

12. AS4678 2002 Earth Retaining Structures
13. AS1397 2011 Continuous hot-dip metallic coated steel sheet and strip – Coatings of zinc and zinc alloyed with aluminium and magnesium
14. AS2670 Part 2 1990 Evaluation of human exposure to whole-body vibration

4.4 Other References

Architectural documentation by Bickerton Masters.

4.5 BCA Importance Level

The hospital building will be designed for Importance level 3 to the building code of Australia. The seniors living building will be designed for Importance level 2.

4.6 Loading

Refer to the architectural documents and attached loading plans for the extent of different floor use areas and hence the different live and superimposed dead loadings. Unless noted otherwise the following loads will be adopted;

Loading due to weight of building materials will be calculated based on the following densities:

- | | | | |
|----|----------------------|------|-------------------|
| 1. | Reinforced Concrete: | 25 | kN/m ³ |
| 2. | Steel | 78.5 | kN/m ³ |

Superimposed Dead Loads

Imposed loads in the form of Superimposed Dead Loads (SDL) are to be applied based on information provided on current architectural drawings at the time of this brief.

- | | | |
|----|-------------------------|--------|
| 1. | Back of house | 1.5Kpa |
| 2. | Car Park | 0.5Kpa |
| 3. | Data Rooms & Corridors, | 2.4kPa |
| 4. | External plant | 3kPa |

5.	Foyer	1.5Kpa
6.	Hospital Wards/ Senior's living residential	1.5Kpa
7.	Landscape Podium	20.0Kpa (soil, plants, walls)
8.	Landscape Roof	8Kpa (soil, plants, walls)
9.	Office Areas	1.5kPa
10.	Roof	1.5Kpa (excl plant)
11.	Storage	0Kpa
12.	Waste collection / Loading Dock	1.5Kpa

Live Loads

Loads in the form of Live Loads are to be applied based on information provided on current architectural drawings at the time of this brief.

1.	Back of house	7.5Kpa	
2.	Car Park	2.5Kpa	
3.	Data Rooms	5.0kPa	
4.	External plant	7.5kPa	
5.	Foyer & Corridors	4.0pa	
6.	Hospital Wards/ Senior's living residential		2.0Kpa
7.	Landscape Podium	4.0Kpa	
8.	Office Areas	3.0kPa	
9.	Operating Theatres	3.0Kpa	
10.	Roof	2.0Kpa (excl plant)	
11.	Storage	5.0Kpa	
12.	Waste collection / Loading Dock	15.0Kpa	

Wind Load

Wind loading applied to the structural elements will be assessed in accordance with AS1170.2 2011 Structural Design Actions – Wind Actions.

The following design parameters are proposed:

- Region = A2
- Importance Level = 3
- Return Period = 1:1000
- Terrain Category = TC3.0
- Basic Wind Speeds:
 - Ultimate V_{1000} = 46 m/s
 - Serviceability (SLS1) V_{25} = 37 m/s
- Structure Height Z = 12 m
- Terrain/Height Multiplier $M_{z,cat}$ = 0.90
- Wind Directional Multiplier M_d = 0.8 – 1.0
- Topographic Multiplier M_t = 1.0
- Shielding Multiplier M_s = 1.0

Internal and external pressure coefficients, local pressure factors and area reduction factors will be applied as required in accordance with AS1170.2:2011.

4.7 Seismic Loading

Earthquake Loads applied to the structural elements for hospital/ senior's living buildings will be assessed in accordance with AS1170.4:2007.

- Importance Level I = 3/ 2
- Probability Factor k_p = 1.3/ 1.0
- Hazard Factor Z = 0.08

- Sub Soil Class = Be
- Structural Ductility Factor = 2
- Earthquake Design Category = II

The lateral loads shall be calculated in accordance with the above parameters. The structure will be designed to resist these lateral loads by incorporating a combination of ductile shear and lift shaft walls. The resultant lateral displacements shall be considered in the design and coordination of movement joints and separations between the concrete and external steel structures, respectively.

4.8 Earth Pressure Loading

Earth retaining structures (if required) shall be designed in accordance with the recommendations in the Geotechnical Investigation Report.

Retaining walls shall be designed for a surcharge load resulting from an applied Live Load of 20 kPa.

Retaining walls and basement slabs shall be considered as drained and hence will not be designed for hydrostatic pressure.

4.9 Serviceability

Deflection limits

The following deflection limits are in accordance with AS1170.0:2002 Table C1 and AS3600:2018 Table 2.3.2 with consideration to the finishes of the building.

Structural Element	Deflection Type	Limit
Overall building structure	Lateral sway due to serviceability wind load	height/500
	Lateral sway due to ultimate earthquake loads	Inter-storey drift limit of height/150
Floor slabs – spans (no sensitive partitions)	Long-term deflection	span/250 or 25 mm,

Floor slabs – spans (with sensitive partitions)	Incremental deflection	span/1000
Floor slabs – cantilevers (no sensitive partitions)	Long-term deflection	cantilever/125 or 20 mm whichever is less
Floor slabs – cantilevers (with sensitive partitions)	Incremental deflection	cantilever/500
Transfer beams	Long-term deflection	10 mm maximum
Transfer beams/ cantilevers	Long-term deflection	10 mm maximum
Façade interfaces (Perimeter Beams)	Incremental deflection	20 mm maximum but no more than span/1000 differential along the façade where a support may be a column strip, beam, or a column.
Footings	Long-term settlement	10 mm maximum
	Differential	5mm maximum
Steel Beams	Total Deflections	Span/360 or 25mm maximum
Steel Purlins & Girts	Total Deflections	Span/250 or 25mm maximum

Lateral Deformation Under Earthquake Load

Under seismic load, the movement joints between the buildings shall account for pounding avoidance whilst concurrently considering long term creep, elastic shortening and thermal movements of the building.

Durability

Concrete

The requirements of AS3600:2018 Section 4 will be applied to all reinforced concrete. For concrete piles in contact with the soil, requirements of AS2159:2009 will apply. The following exposure classifications and minimum concrete strength will be adopted:

Surface Location	Exposure Classification	Minimum Concrete Strength	Durability Co
Exterior	B1	40 MPa	45 mm
Interior	A2	32 MPa	30 mm
In Contact with the Ground	A2	32 MPa	50 mm
Concrete Piles in Soil	Mild	32 MPa	60 mm

Structural requirements for certain elements may increase concrete strengths above the minimum required for durability. Minimum cover in all circumstances to be 30 mm.

Steelwork

All steelwork shall be painted with a protective coating system in accordance with AS2312:2002. All exposed structural steelwork will require a high standard protective coating system, based on a durability level of 25+ years. This level of durability may be increased or decreased at the client's discretion.

Vibration Performance

Floors shall be designed to comply with the acceleration and velocity constraints outlined in relevant standards. The R factor method as outlined in AS2670.2 will be incorporated as the standard for the project.

Performance requirements for all indoor spaces including hospital wards, waiting rooms, public spaces, consultation rooms and seniors living residential shall be R=4. Notwithstanding the use of sensitive equipment in any of those spaces.

This level of vibration control shall be achieved in absolute. I.e. In spite of floor uses adjacent or above, the occupants in each of the areas outlined shall experience movements within the controls of those associated R values respectively.

Assessment shall be made for two people weighing 100kg each walking out of phase. The requirements to isolate the plant equipment on springs/damper mounts shall be evaluated and recommendation will be provided to the mechanical engineer.

4.10 Fire Resistance and Thermal Effects

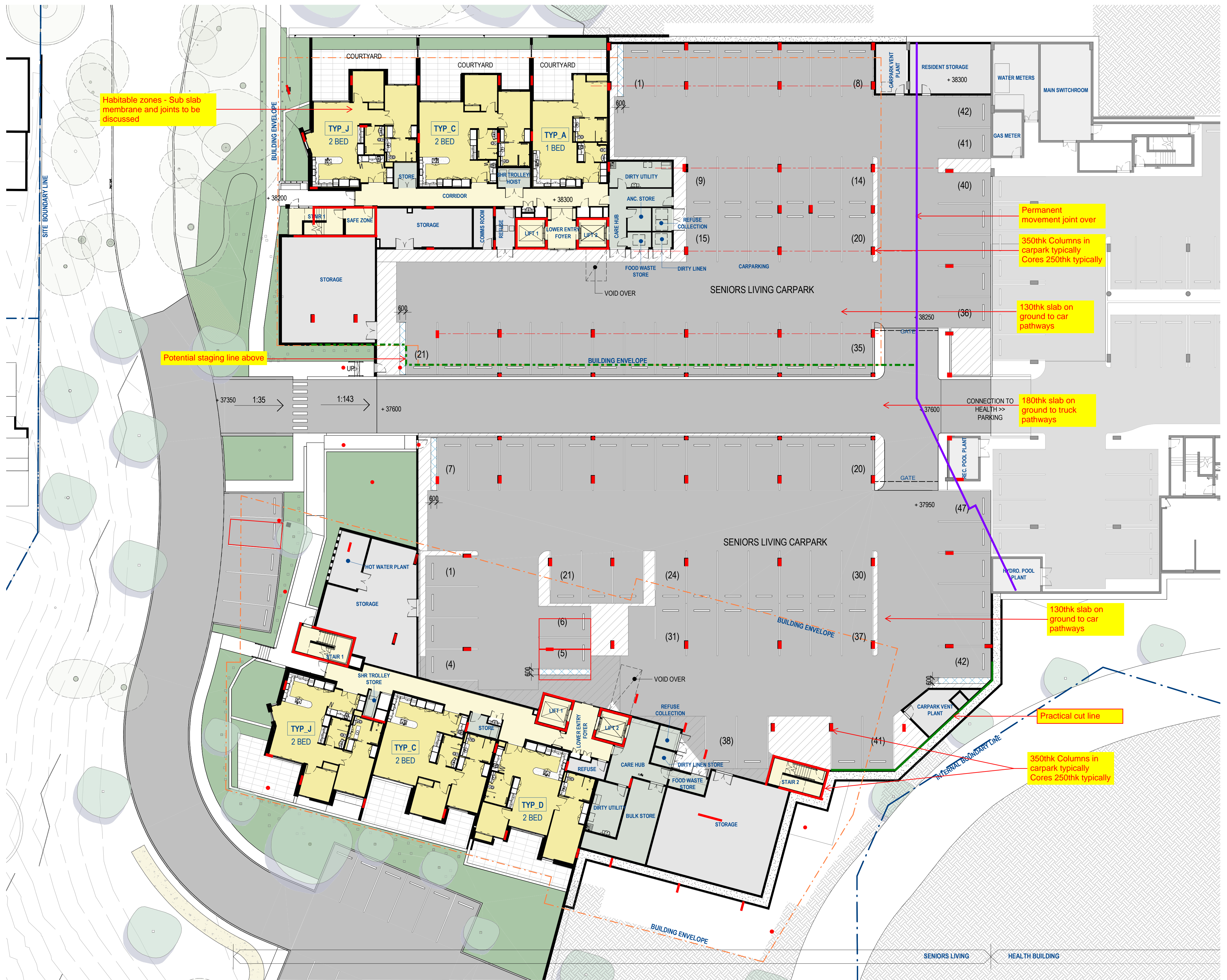
A Building Code of Australia Report has been prepared by Blactett Maguire + Goldsmith. Fire Resistance Levels (FRL) for all structural elements shall be obtained from this report.

Concrete covers are in accordance with AS3600:2018 Section 5.

5. Conclusion

This report sets out the design criteria for the proposed development. It outlines the design standards and sources of reference, design loads, durability and limit state design requirements. The proposed structural framing plans and estimated elements sizes are provided in Appendix A. It is noted that the structural performance for the proposed development is within the code requirements and limitations and no exceptions or noncompliance issues are anticipated subject to implementing the proposed structural sketches and the design criteria illustrated in this report.

Appendix A – Structural Sketches



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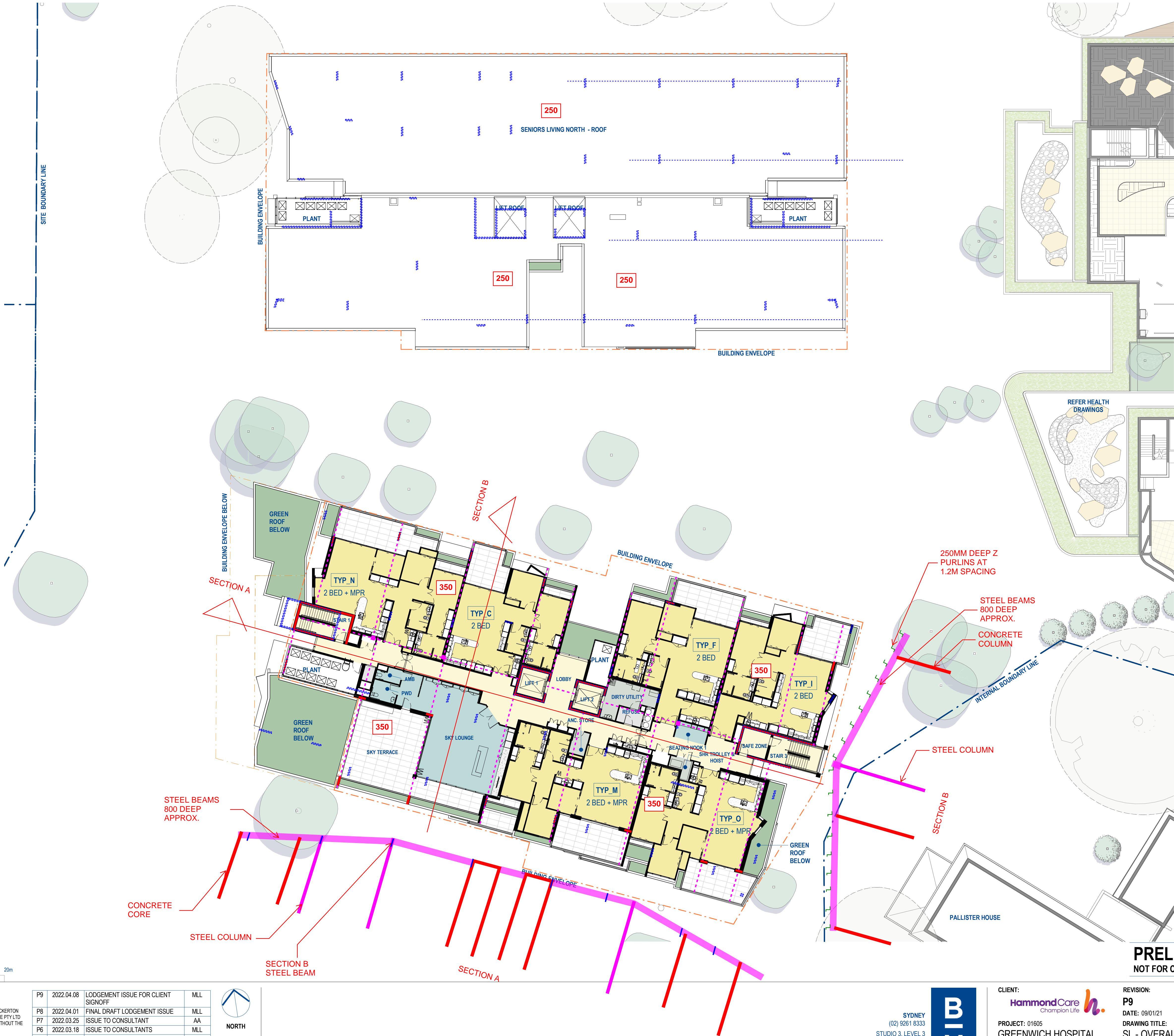
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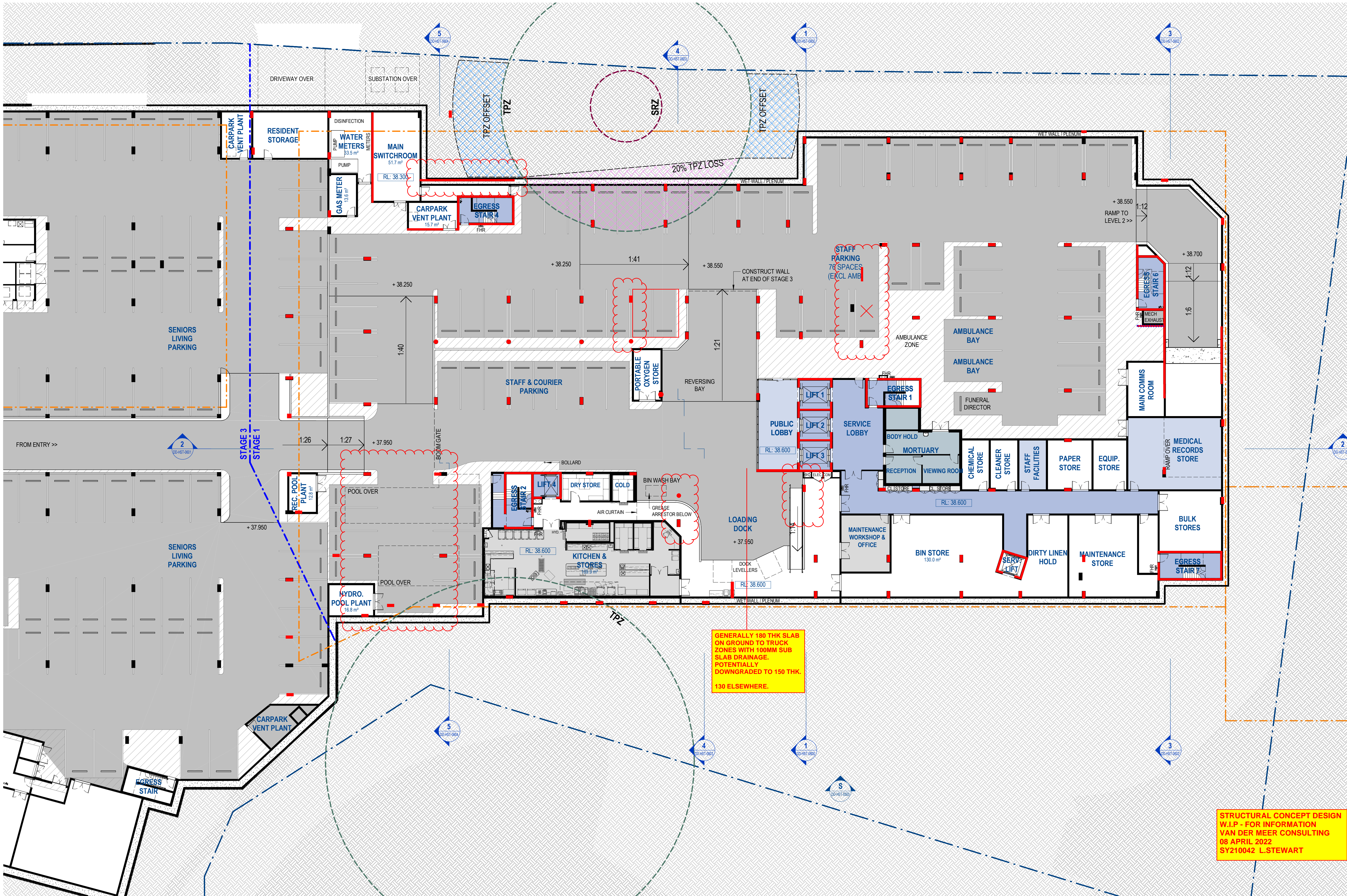
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P14	2022.03.04	ISSUE TO CONSULTANTS	AMac
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LEGEND - PLAN

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	Room Number		Property Boundary
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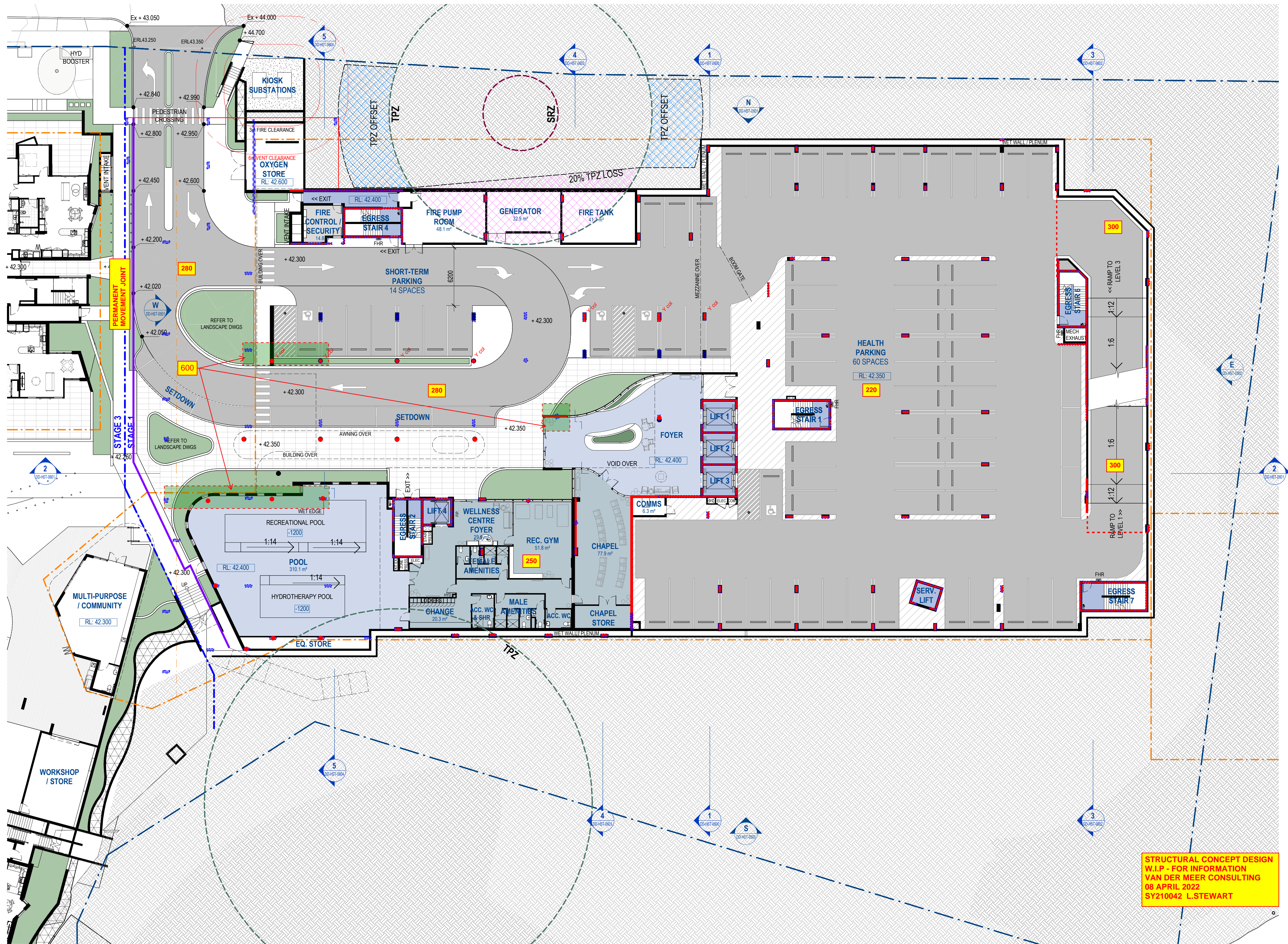
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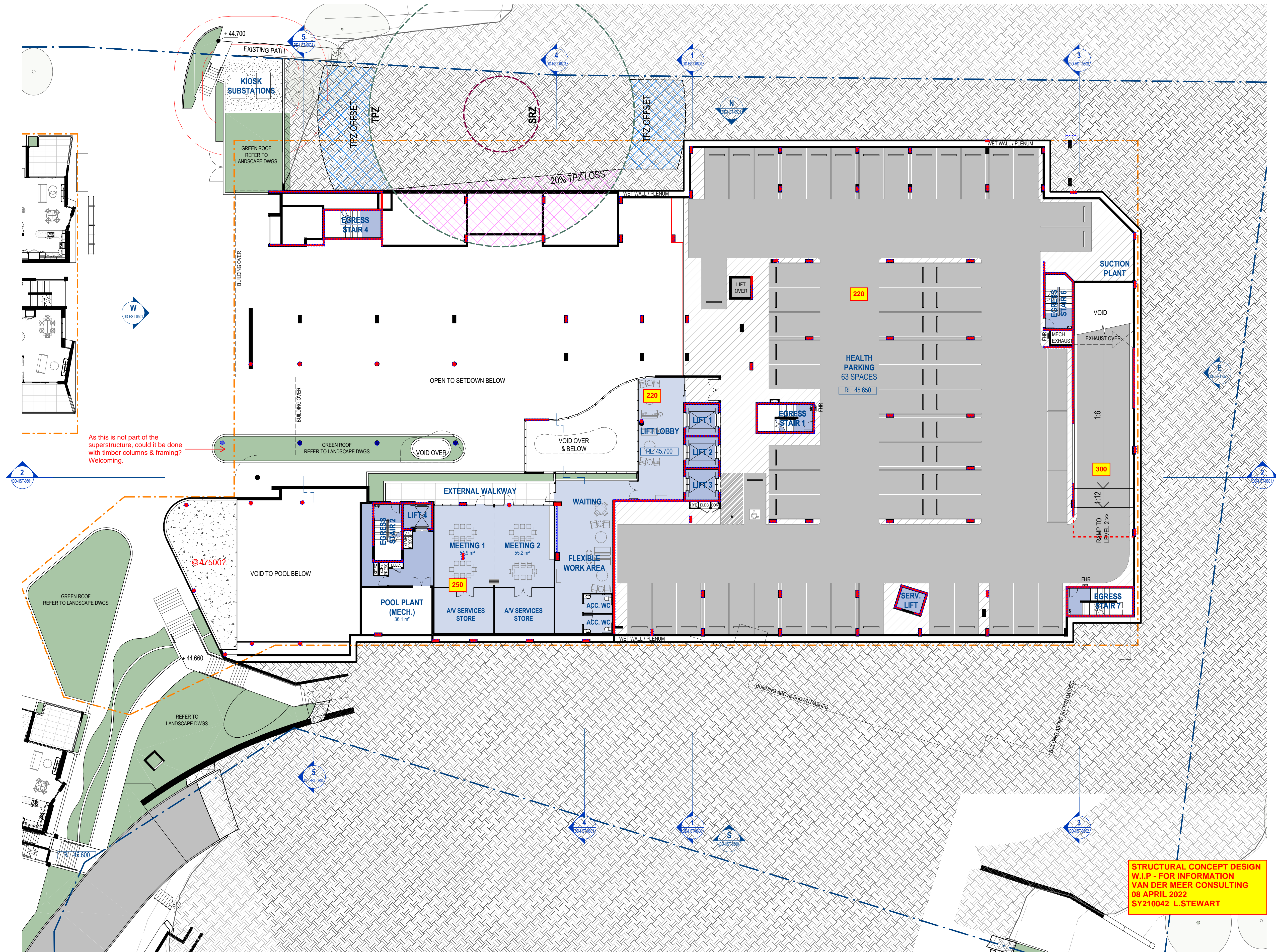
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DATE:
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	Room Number		Property Boundary
	Detail Number of Section / Elevation		
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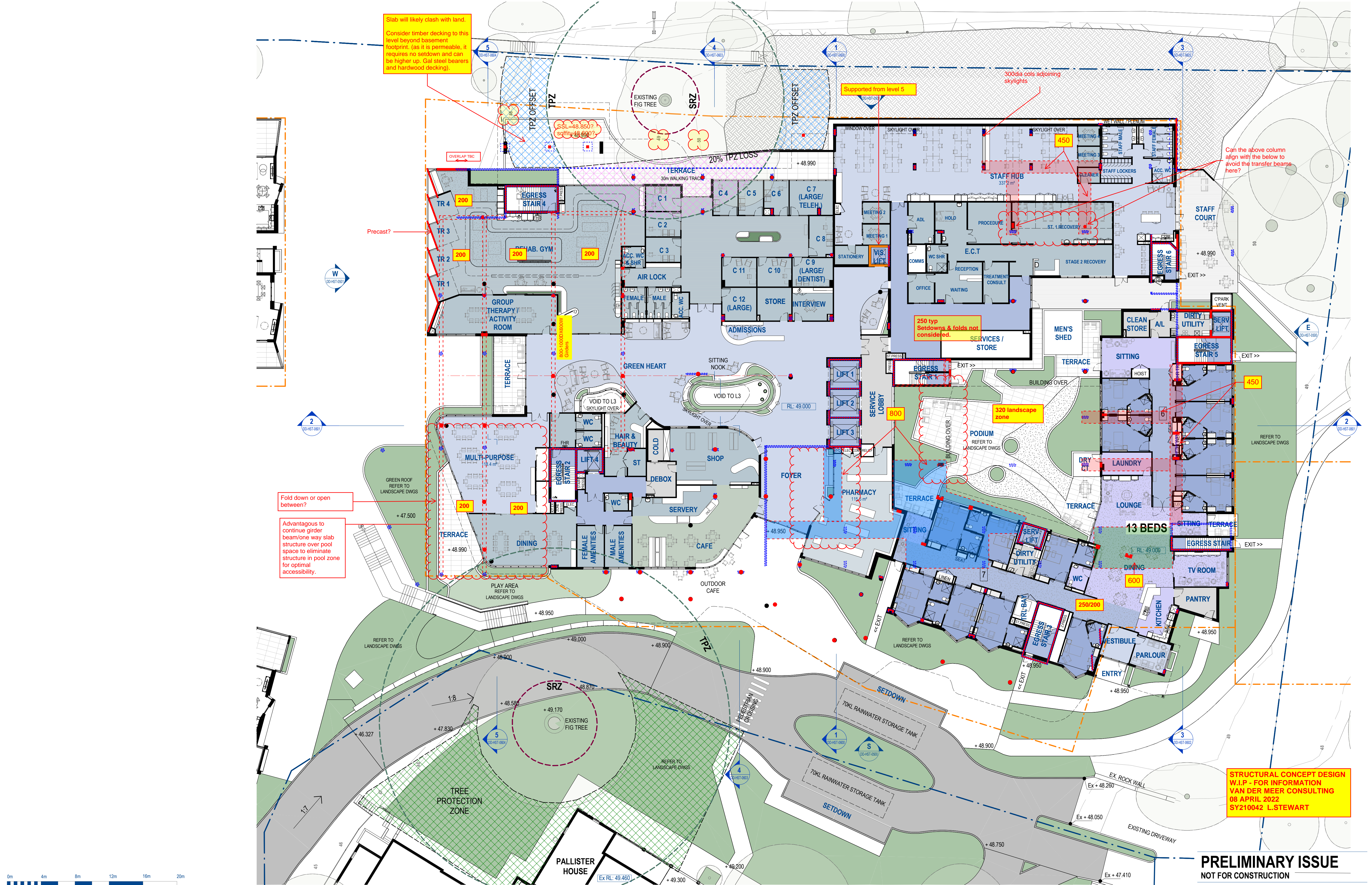


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REV	DATE	DETAILS	INITIALS



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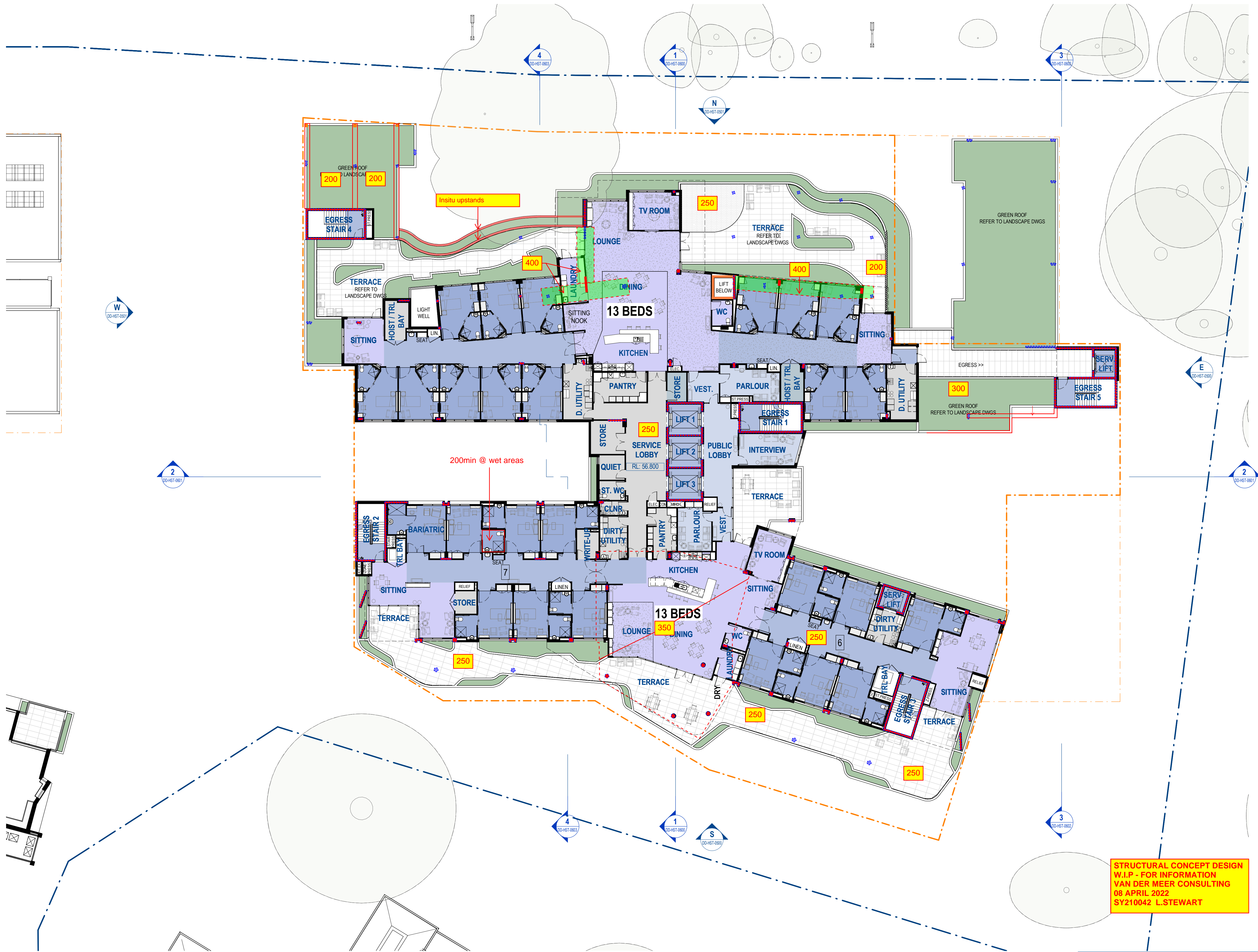
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REV	DATE	DETAILS	INITIALS



LEGEND - PLAN

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
ROOM NAME 000	Room Name Room Number		Planning Envelope
	Detail Number of Section / Elevation Sheet Number of Section / Elevation		Property Boundary

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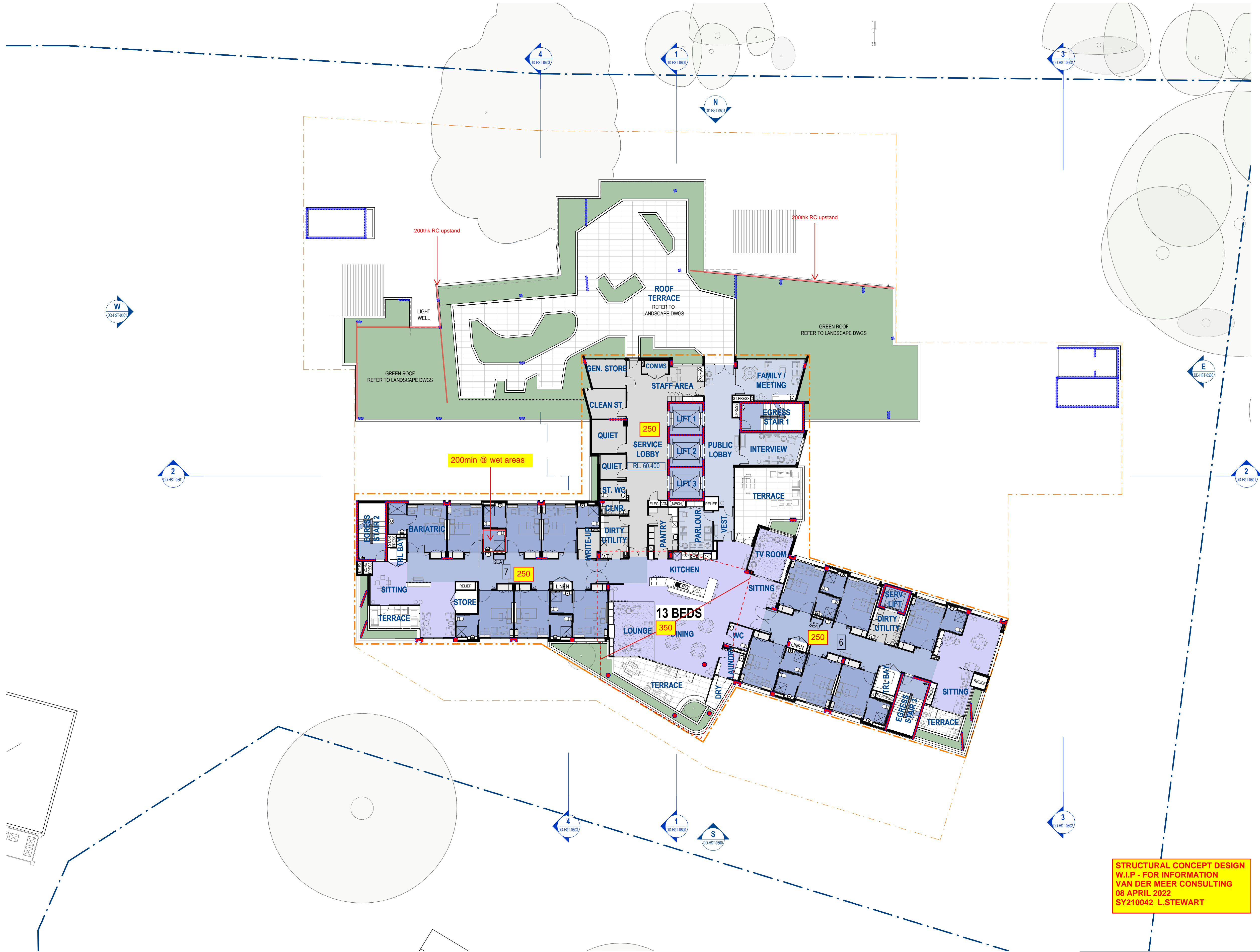
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REV	DATE	DETAILS	INITIALS



LEGEND - PLAN

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	Room Name		Planning Envelope
	Room Number		Property Boundary
	Detail Number of Section / Elevation		
	Sheet Number of Section / Elevation		

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000	Room Number		Property Boundary
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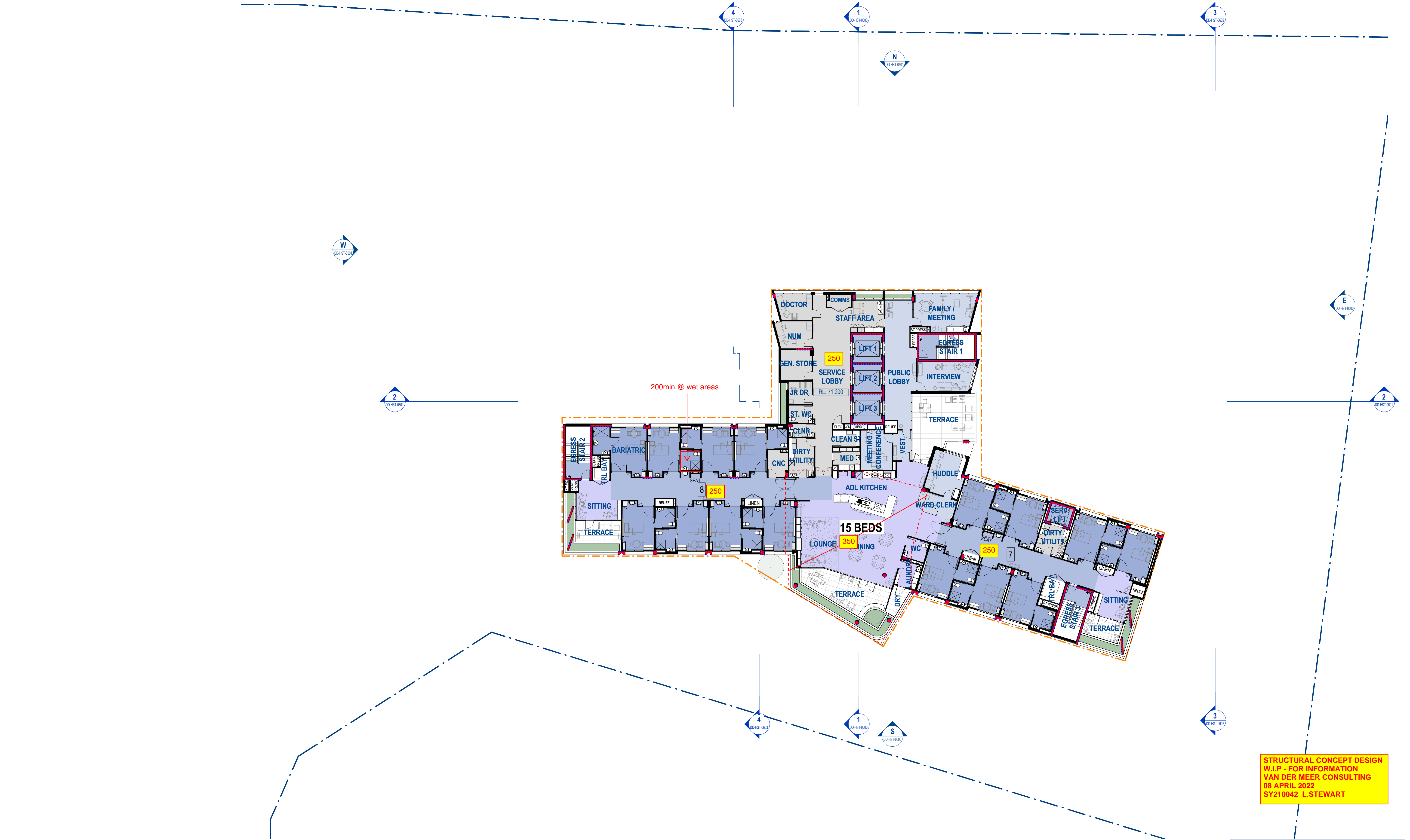


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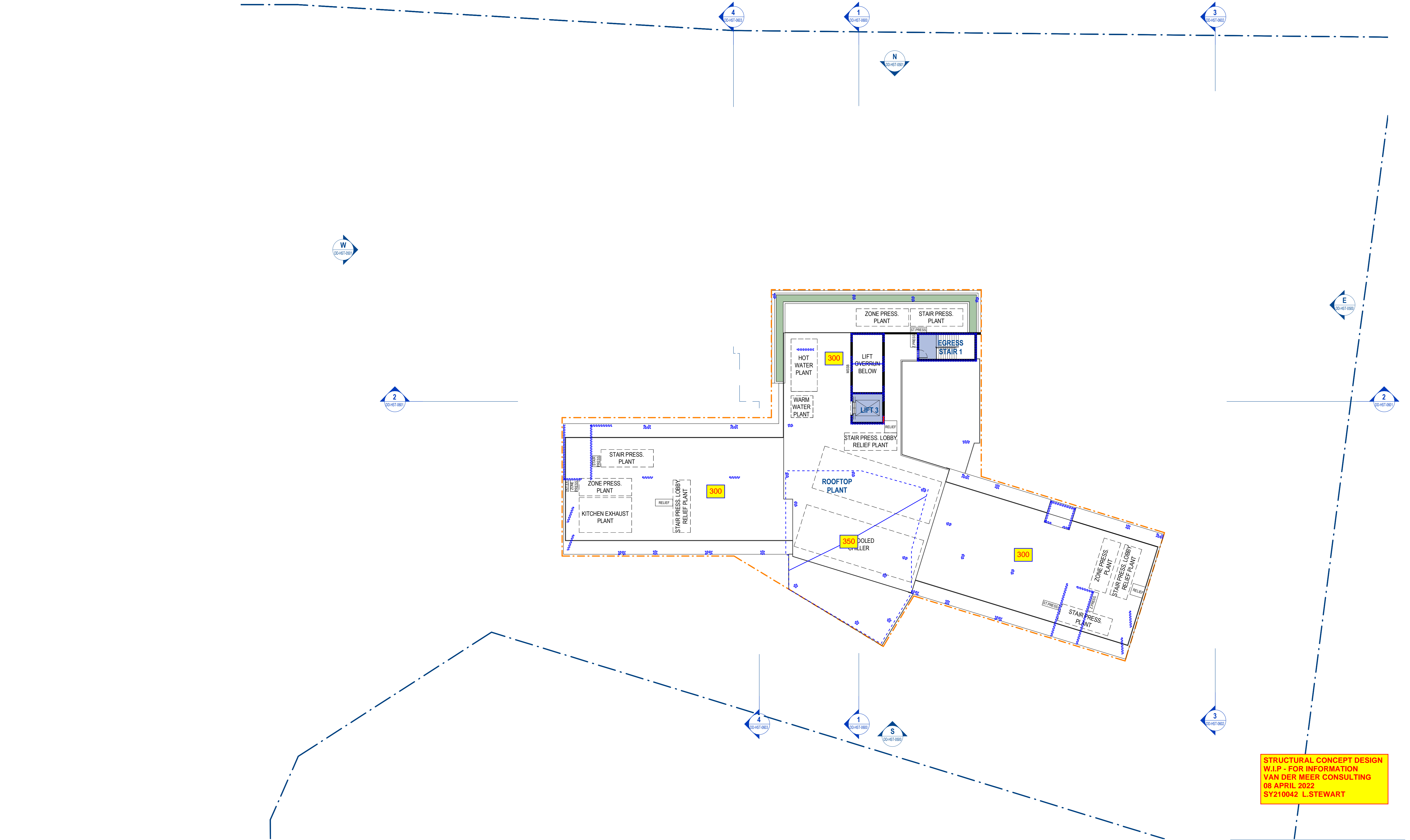
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P12	2022.03.11	ISSUE TO CONSULTANTS	AMac
P11	2022.03.04	ISSUE TO CONSULTANTS	AMac
REV	DATE	DETAILS	INITIALS



LEGEND - PLAN

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	Room Name		Planning Envelope
	Room Number		Property Boundary
	Detail Number of Section / Elevation		
	Sheet Number of Section / Elevation		

SYDNEY
(02) 9261 8333
STUDIO 3, LEVEL 3
35 BUCKINGHAM STREET
SURRY HILLS 2010, NSW
www.bickertonmasters.com.au



CLIENT:
HammondCare
Champion Life
PROJECT: 01605
GREENWICH HOSPITAL
REDEVELOPMENT
RIVER RD, GREENWICH

REVISION: DRAWING No:
P16 DD-HST-0110
DATE:
DRAWING TITLE:
H&C - OVERALL PLAN - L11 / ROOF
DRAWN: NAH CHECKED: SCALE: 1 : 200 @A1

NSW NOMINATED ARCHITECT: ANDREW MASTERS (9037) 8/04/2022 4:09:39 PM