

50, 11-21 Underwood Road Homebush Business Park Homebush, NSW, 2140

WWW.SDSENGINEERING.COM.AU

SYMEC Group Pty. Ltd. T/As SDS Engineering ABN 62 609 585 006

DILAPIDATION REPORT

74 EDINBURGH ROAD, MARRICKVILLE NSW 2204

DOCUMENT CONTROL

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Lot	202 in DP1133999

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1.0 - INTRODUCTION

SDS Engineering was engaged by Central Civil in undertaking a dilapidation inspection report pertaining to the construction of a proposed industrial development at the subject site. The dilapidation inspection report was required to satisfy State Significant Development (Ref No.: SSD-10468, Dated: 09/03/2022) requirements associated with the approval for the works.

2.0 - SITE DESCRIPTION

The subject site, formally identified as 74 Edinburgh Road, Marrickville NSW 2204 (Lot 202 in DP1133999) is an irregular shaped block, approximately 2.75 Ha in area, situated on the southern side of Edinburgh Road. The site slightly slopes to the rear and is bound by, industrial warehousing, Edinburgh Road and Sydney Steel Road. The site was vacant at the time of the inspection.

3.0 - FIELDWORK

An inspection of the subject site and the surrounding area was conducted on Monday 26th September 2022. Methods included a detailed site walk-over and the surrounding environment for visual inspection and photographic documentation. It is important to note that this inspection was of a visual nature only, and no attempts were made at dismantling, penetrating, force-opening, digging, breaking-apart, removing or moving objects, or any other invasive procedure.

3.1 - AREAS INSPECTED

Areas inspected around the site were as per the scope provided by Central Civil, and included the following:

- All public assets on Edinburgh Road and Sydney Steel Road within a distance of 20 metres of the subject site including all pavements, kerbs, gutters, footpaths, civil assets, street furniture, signage and landscaped areas.
- Accessible external portions of the 74 Edinburgh Road.

3.2 - AUSTRALIAN STANDARDS

There is no Australian Standard that is applicable to dilapidation surveys and reports. *AS4349.1 (2007): Inspection of Buildings – Pre-purchase Inspections – Residential Buildings* is a standard for similar types of inspections. In ensuring best practise, relevant prescriptions of this standard have been adopted in the procedures carried out for this dilapidation survey and report.

4.0 - TERMINOLOGY

An explanation of terminology used in the description of existing defects and the conditions of private and public assets in and around the subject site is highlighted in table one. It should be noted that these descriptions and their associated commentary are qualitative in nature, and depend on the inspector's judgement in assessment. General considerations in assessment include, but are not limited to:

- The function of the inspected element, and the importance in the role it serves
- The age of the inspected element and what is considered typical degradation
- Underlying causes which may have contributed to the materialisation of the defect



Table 1: Explanation of Terms

Term	Description
Good	Indicates that there are no defects evident and the elements described are in good condition for their age.
Reasonable	Indicates that the element may have minor defects that should be noted, but not significant enough to need immediate rectification or remediation.
Poor	Indicates that general maintenance or minor repair works may be warranted
Defective	Indicates there is a significant fault or failure of the item that should be rectified or remediated as soon as possible.

5.0 - LIMITATIONS

This inspection was conducted by SDS Engineering in general accordance with industry standards and current professional practise. The inspection was carried out for, and is only relevant to the project at hand. The information presented is believed to be accurate as of the date of issue, but it should be noted that variations and changes to site conditions can occur, and may invalidate the recommendations given herein.

This document is not a comprehensive building report dealing with private or public assets from every aspect. It is not a certificate of compliance with the requirements of any act, regulation, ordinance or by-law. It is not a structural report, and does not serve to comment on or highlight structural performance. This report does not and cannot make comment upon defects that may have been concealed or invisible at the time of assessment. Subsequently, this report is not a guarantee that defects do not exist in any inaccessible or partly inaccessible areas or sections of the subject site and its surrounds. Furthermore, it is limited in its scope, and generally excludes detection of defects that are subject to:

- Prevailing weather conditions
- The presence or absence of timber pests
- Gas-fittings
- Common property areas
- Environmental considerations or concerns
- Proximity of the property to flight paths, railway corridors or areas of congested traffic
- Noise levels
- Issues pertaining to health and safety

- Heritage concerns
- Security concerns
- Fire protection
- Site drainage
- Detention and identification of illegal building works
- Durability of exposed finishes
- Neighbourhood problems.

In the event of any controversy or claim arising out of, or relating to this report, it will be settled by arbitration, in accordance with the rules of the Institute of Arbitrators Australia. Any judgements from such arbitration shall be binding upon both parties.

5.1 - DISCLAIMER OF LIABILITY

No liability shall be accepted by SDS Engineering on account of failure of this report to highlight any problems in area/s or section/s of the subject site, physically inaccessible for inspection, or to which access for inspection is denied by or to the inspector (including but not limited to an area/s or section/s so specified by the report). Except as provided herein, no liability shall be accepted for physical or financial injury, loss or damage or consequential loss or damage of any kinds arising out of the inspection services provided by the Consultant's negligence. The Consultant's liability or breach of a condition or warranty implied by Division 2 of Part V of the Trade Practices Act (1974) [other than s.69] is hereby limited to the supplying of the inspection service again or the payment of the cost of having the inspection service supplied again.



5.2 - DISCLAIMER OF LIABILITY TO THIRD PARTIES

This report was produced for the sole benefit of the named Client that engaged SDS Engineering. No liability is accepted by SDS Engineering, in contract or tort, towards third parties that rely on this report wholly or in part, and third parties acting or relying on the contents therein do so at their own risk.

5.3 - COPYRIGHT

All related Council authorities are granted a perpetual non-exclusive license to make use of the copyright in all images supplied of Council assets within the report, including the right to make copies available to third parties as though they were Council image.

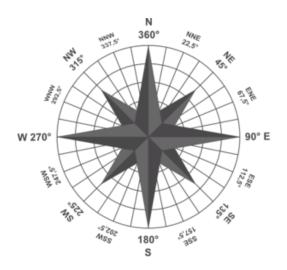
5.4 - AERIAL IMAGERY SUPPLIED

Corresponding aerial imagery supplied highlighting locations of defects is indicatively only. This aerial imagery is derived from the Google Maps® Application Programming Interface (API) under a commercial license agreement. Global Positioning System (GPS) data derived from our photographic equipment is used to generate aerial imagery. GPS data is typically accurate within five metres, however it is important to note accuracy is dependent on a wide variety of factors such as satellite geometry, signal blockage associated with proximity to buildings, trees, bridges and other obstructions, signal interference, as well as atmospheric conditions. Variations in GPS inaccuracy may be as large as 50 metres; however, this is typically not the case, and images are commonly accurate to within less than one metre. SDS Engineering accepts no liability in the accuracy of supplied aerial imagery corresponding to defect locations.

Aerial imagery is typically not provided for documentation of internal areas of structures, as it remains irrelevant, or individual small residential lots, as these sites are prone to signal blockage and GPS inaccuracy.

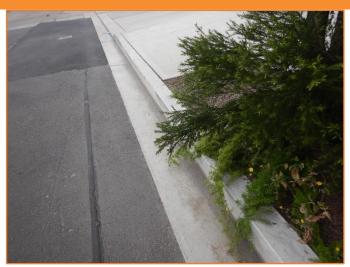
5.5 - BEARINGS

Bearing data derived from digital compasses in photographic equipment is provided on aerial imagery supplied and is indicative of the photo direction. Whilst digital compasses typically remain quite accurate, they may be susceptible to signal interference and/or temporary miscalibration. The field of view of photographic documentation will vary depending on the zoom settings used, however bearing directions are aligned with the centre of the image. The figure below highlights the bearing regime used for reporting. SDS Engineering accepts no liability in the accuracy of the supplied bearings or directions in which photographic evidence has been captured.





APPENDIX 'A' - EDINBURGH ROAD



Lat:-33.90762 Lng:151.169606666667 Dir:NaN

Figure 1: Reasonable - General condition of kerb and gutter.



Lat:-33.9076216666667 Lng:151.169555 Dir:NaN

Figure 2: Reasonable - General condition of kerb and gutter. Minor spalling observed.



Figure 3: Reasonable - General condition of driveway layback.







Figure 4: Reasonable - General condition of driveway layback. Minor cracking observed.





Figure 5: Reasonable - General condition of driveway layback. Minor cracking observed.





Figure 6: Reasonable - General condition of driveway layback.







Figure 7: Reasonable - General condition of driveway layback. Minor spalling observed.

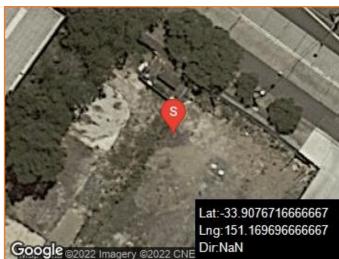




Figure 8: Reasonable - General condition of driveway layback.





Figure 9: Reasonable - General condition of driveway splay. Minor cracking and spalling observed.







ebcrew Group Pty. Ltd Step Up Removals Earthling Designs Lng:151.16989 Dir:NaN

Figure 10: Reasonable - General condition of kerb and gutter.



Figure 11: Reasonable - General condition of kerb and gutter. Minor cracking observed





Figure 12: Reasonable - General condition of kerb and gutter.







Up Removals Citymove Lat:-33.907875 Lng:151.169975 Dir:NaN

General condition of kerb and gutter and kerb outlet.





Figure 14: Reasonable - General condition of kerb and gutter.



Figure 15: Reasonable - General condition of kerb and gutter. Minor spalling observed.







Step Up Removals Lat:-33.9079216666667 Lng: 151.170061666667 Dir:NaN

Figure 16: Reasonable - General condition of kerb and gutter.









Figure 18: Reasonable - General condition of kerb inlet pit.





Citymove Lat:-33.90799 Lng:151.170236666667 Dir:NaN

Figure 19: Reasonable - General condition of kerb inlet pit. Minor cracking observed.



Lat:-33.9080033333333 Lng:151.170278333333 Dir:NaN

Figure 20: Reasonable - General condition of driveway layback.



Figure 21: Reasonable - General condition of flexible pavement. Minor physical damage observed.







Citymove Lat:-33.9080083333333 Lng: 151.170241666667 Dir:NaN

Figure 22: Reasonable - General condition of kerb and gutter. Major spalling observed.





Figure 23: Reasonable - General condition of kerb and gutter.



Figure 24: Reasonable - General condition of kerb and gutter. Minor spalling observed.







Lat:-33.908095 Lng:151.170395 Dir:NaN

Figure 25: Reasonable - General condition of kerb and gutter. Minor spalling observed.





Figure 26: Reasonable - General condition of kerb and gutter. Minor spalling observed.





Figure 27: Reasonable - General condition of driveway layback.





Lat:-33.9081516666667 Lng:151.170451666667 Dir:NaN

Figure 28: Reasonable - General condition of driveway layback. Minor cracking observed.



Lat:-33.9081583333333 Lng:151.170485 Dir:NaN

Figure 29: Reasonable - General condition of kerb and gutter. Minor cracking observed.



Lat:-33.9081816666667 Lng:151.17052 Dir:NaN

Figure 30: Reasonable - General condition of kerb and gutter. Minor cracking observed.



Lat:-33.9082616666667

Lng:151.17059 Dir:NaN



Figure 33: Reasonable - General condition of kerb and gutter. Minor cracking observed.



Lat:-33.9082733333333 Lng:151.170663333333

Dir:NaN









(Lat:-33.90834 Lng:151.170751666667 Dir:NaN

Figure 37: Reasonable - General condition of kerb and gutter.



Lat:-33.90836 Lng:151.170795 Dir:NaN

Figure 38: Reasonable - General condition of kerb inlet pit.



H O Lat:-33.90839166666667 Lng:151.170813333333 Good a

Figure 39: Reasonable - General condition of kerb and gutter.





Figure 40: Reasonable - General condition of kerb and gutter. Minor cracking observed.

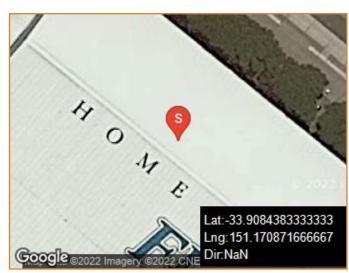




Figure 41: Reasonable - General condition of kerb and gutter.

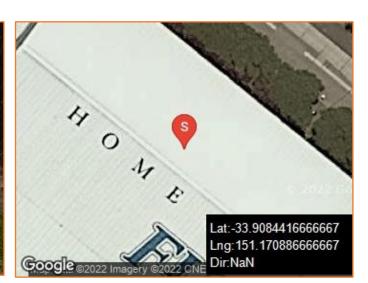




Figure 42: Reasonable - General condition of kerb and gutter.

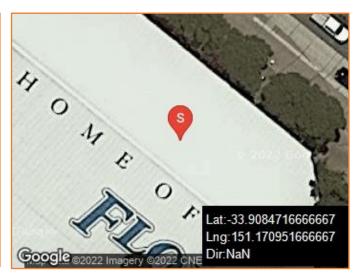






Figure 43: Reasonable - General condition of kerb and gutter. Minor hairline cracking observed.

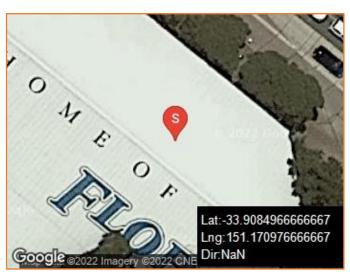




Figure 44: Reasonable - General condition of kerb and gutter.

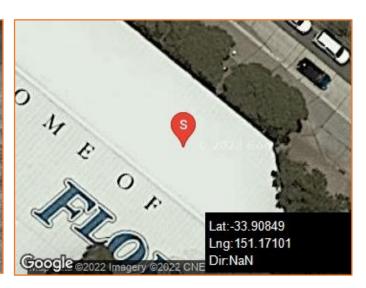
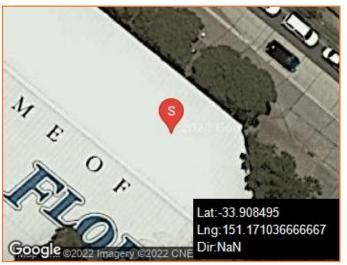




Figure 45: Reasonable - General condition of kerb and gutter.







Lat:-33.90872 Lng:151.171145 Dir:NaN

Figure 46: Poor - General condition of flexible pavement. Extensive cracking observed. Previous repairs observed.





Figure 47: Reasonable - General condition of service pit.



Figure 48: Poor - General condition of flexible pavement. Extensive cracking observed. Previous repairs observed.





74 Edinburgh Road, Marrickville NSW 2204



Google 2022 Imagery 2022 CNE Dir:NaN

Figure 49: Poor - General condition of flexible pavement. Extensive cracking observed. Previous repairs observed.



Lat:-33.908565
Lng:151.171356666667
Dir.NaN

Figure 50: Poor - General condition of flexible pavement. Extensive cracking observed. Previous repairs observed.



Figure 51: Reasonable - General condition of flexible pavement. Minor cracking observed.







Lat:-33.908565 Lng:151.171275 Dir:NaN

Figure 52: Reasonable - General condition of service pit. Minor cracking observed.



Lat:-33.9085633333333 Lng:151.17127 Dir:NaN

Figure 53: Reasonable - General condition of service pit. Minor cracking



Lat:-33.9085516666667 Lng:151.171253333333 Dir:NaN

Figure 54: Reasonable - General condition of flexible pavement.





Lat:-33.90853333333333 Lng: 151.171218333333 Dir:NaN

Figure 55: Reasonable - General condition of service pit.



Edinburgh Rd Lat:-33.9085233333333 Lng:151.171206666667 Dir:NaN



Figure 57: Reasonable - General condition of flexible and rigid pavement.

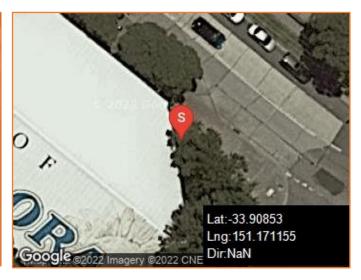






Figure 58: Reasonable - General condition of rigid pavement. Minor cracking observed.

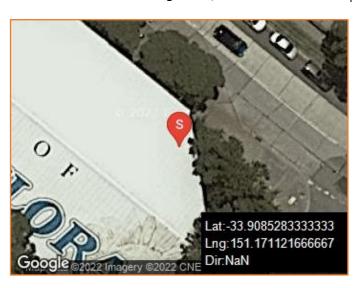




Figure 59: Reasonable - General condition of rigid pavement. Minor cracking observed.

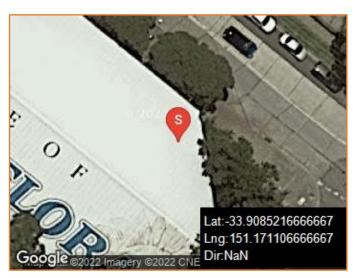




Figure 60: Reasonable - General condition of rigid pavement. Minor cracking observed.

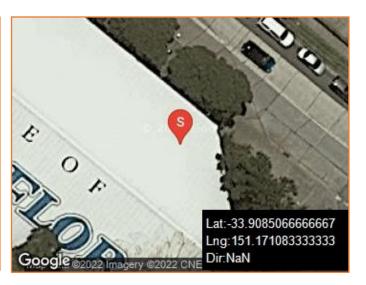






Figure 61: Reasonable - General condition of rigid pavement. Minor cracking observed.

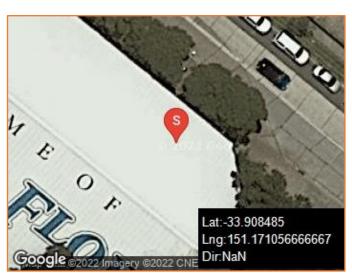




Figure 62: Reasonable - General condition of flexible and rigid pavement. Minor cracking observed

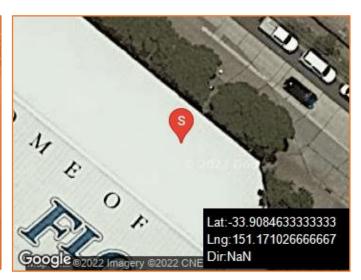
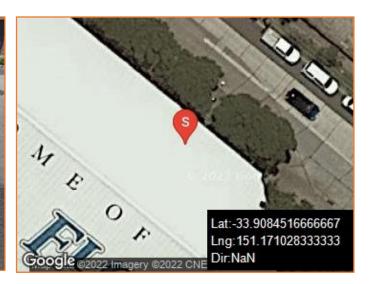




Figure 63: Reasonable - General condition of flexible and rigid pavement. Minor cracking observed.







Lat:-33.9084183333333 Lng:151.171053333333 Dir:NaN

Figure 64: Reasonable - General condition of rigid pavement.



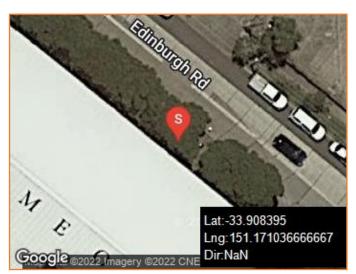
Lat:-33.90840333333333 Lng:151.171048333333 Dir:NaN

Figure 65: Reasonable - General condition of flexible and rigid pavement.

Minor cracking observed.



Figure 66: Reasonable - General condition of service pit. Minor cracking observed.







Lat:-33.90838333333333 Lng:151.171031666667 Dir:NaN

Figure 67: Reasonable - General condition of rigid pavement.



Edinburgh Rd Lat:-33.9083683333333 Lng:151.171038333333 Dir:NaN

Figure 68: Reasonable - General condition of service pit.



Figure 69: Reasonable - General condition of flexible and rigid pavement. Minor physical damage observed.







Lat:-33.9083683333333 Lng:151.170953333333 Dir:NaN

Figure 70: Reasonable - General condition of flexible and rigid pavement.



Lat:-33.9082983333333
Lng:151.171

Google ©2022 Imagery ©2022 CNE

Dir:NaN

Figure 71: Reasonable - General condition of flexible and rigid pavement.



Figure 72: Reasonable - General condition of flexible and rigid pavement.







Sole Tattoo Gallery Rose & Co.ffee Lat:-33.9080883333333 Lng:151.17112 Dir:NaN

Figure 73: Reasonable - General condition of flexible and rigid pavement.



Sole Tattoo Gallery Rose & Co.ffee Lat:-33.9080766666667 Lng:151.171093333333 Dir:NaN

Figure 74: Reasonable - General condition of flexible and rigid pavement.



Sole Tattoo Gallery Rose & Co.ffee Lat:-33.90808 Lng:151.171063333333 Dir:NaN

Figure 75: Reasonable - General condition of flexible and rigid pavement.





Sole Tattoo Gallery

Rose & Co.ffee Elorist

Lat:-33.908065
Lng:151.171038333333

Dir:NaN

Figure 76: Reasonable - General condition of flexible and rigid pavement.



Sole Tattoo Gallery

Sole Tattoo Gallery

Lat:-33.9080516666667

Lng:151.170963333333

Dir:NaN

Figure 77: Reasonable - General condition of service pit.





Figure 78: Reasonable - General condition of flexible and rigid pavement.





Firestone Family-friendly Sole Tattoo Gallery Lat:-33.907945 Lng:151.170913333333 Dir:NaN

Figure 79: Reasonable - General condition of flexible and rigid pavement.



Figure 80: Reasonable - General condition of service pit.



Figure 81: Reasonable - General condition of flexible and rigid pavement.









Lat:-33.9080866666667 Lng:151.170528333333 Dir:NaN Google ©2022 Imagery

Figure 82: Reasonable - General condition of flexible and rigid pavement.



Lat:-33.908045 Lng:151.170491666667 Dir:NaN

Figure 83: Reasonable - General condition of flexible and rigid pavement. Minor cracking observed.



Figure 84: Reasonable - General condition of service pit. Minor cracking observed.







Lat:-33.9080383333333 Lng:151.170478333333 Dir:NaN



at:-33.9080266666667 Lng:151.170453333333 Dir:NaN



Lat:-33.9079966666667 Lng:151.170426666667 Dir:NaN Google @2022 Imagery @2022

Figure 87: Reasonable - General condition of flexible and rigid pavement.





Lat:-33.9079616666667 Lng:151.170415 Dir.NaN

Figure 88: Reasonable - General condition of flexible and rigid pavement.



Lat:-33.9079583333333 Lng:151.170403333333 Dir:NaN

Figure 89: Reasonable - General condition of flexible and rigid pavement.



Lat:-33.90795
Lng:151.1704
Dir:NaN

Figure 90: Reasonable - General condition of flexible and rigid pavement.





Edinburgh Rd Lat:-33.9079083333333 Lng:151.170355 Dir:NaN

Figure 91: Reasonable - General condition of flexible and rigid pavement.

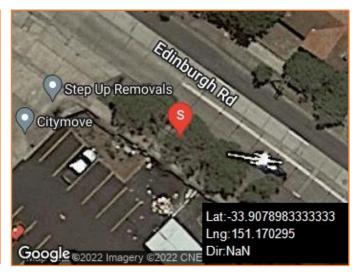


Edinburgh Re Lat:-33.9078966666667 Lng:151.170358333333 Dir:NaN

Figure 92: Reasonable - General condition of traffic island and signage. Minor rotation observed.



Figure 93: Reasonable - General condition of flexible and rigid pavement.





74 Edinburgh Road, Marrickville NSW 2204



Citymove

Lat:-33.9078966666667

Lng:151.170263333333

Dir:NaN

Figure 94: Reasonable - General condition of traffic island and signage.



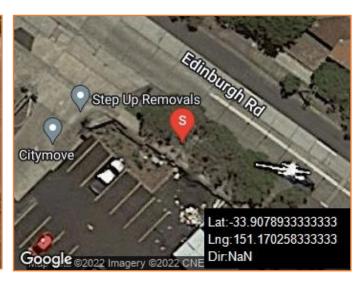
Citymove

Lat:-33.90789
Lng:151.17026
Dir:NaN

Figure 95: Reasonable - General condition of service pit.



Figure 96: Reasonable - General condition of flexible and rigid pavement.





74 Edinburgh Road, Marrickville NSW 2204



Figure 97: Reasonable - General condition of rigid pavement. Minor cracking observed.





Figure 98: Reasonable - General condition of rigid pavement. Minor cracking observed.





Figure 99: Reasonable - General condition of rigid pavement. Extensive cracking observed.







Step Up Removals Lat:-33.9078116666667 Citymove Lng:151.170133333333 Dir:NaN

Figure 100: Reasonable - General condition of rigid pavement. Extensive cracking observed.



Step Up Removals Lat:-33.9077733333333 Lng:151.170106666667 Dir:NaN

Figure 101: Reasonable - General condition of rigid pavement. Extensive cracking observed.



olnburgh Rd Step Up Removals Lat:-33.9077483333333 Lng:151.170071666667 Dir:NaN

Figure 102: Reasonable - General condition of rigid pavement. Extensive cracking observed.





Edinburgh Rd Lat:-33.9077266666667 Step Up Remova Lng: 151. 17005 Dir:NaN

Figure 103: Reasonable - General condition of rigid pavement. Extensive cracking observed.



Edinburgh Rd Lat:-33.907715 Lng:151.170025 Step Up Rem Dir:NaN

Figure 104: Reasonable - General condition of flexible and rigid pavement. Minor cracking observed.



Edinburgh Rd Lat:-33.9077283333333 Step Up Rem Lng:151.17002 Dir:NaN

Figure 105: Reasonable - General condition of flexible pavement.





*Edinburgh Rd Lat:-33.9077166666667 Lng:151.169991666667 Dir:NaN

Figure 106: Reasonable - General condition of flexible pavement.





Figure 107: Reasonable - General condition of service pit.





Figure 108: Reasonable - General condition of flexible and rigid pavement.





Edinburgh Rd at:-33.9076983333333 Lng:151.169936666667 Dir:NaN

Figure 109: Reasonable - General condition of flexible and rigid pavement. Minor cracking observed.





Figure 110: Reasonable - General condition of flexible and rigid pavement. Minor cracking observed.



Figure 111: Reasonable - General condition of flexible and rigid pavement.







Lat:-33.90768833333333 Lng: 151.169728333333 Dir:NaN

Figure 112: Reasonable - General condition of footpath and service pit.



Lat:-33.90767 Lng:151.16973 Dir:NaN



Lat:-33.9076366666667 Lng:151.16977 Dir:NaN Google @2022 Imagery

Figure 114: Reasonable - General condition of footpath.





Lat:-33.9076416666667 Lng:151.169821666667 Dir:NaN

Figure 115: Reasonable - General condition of footpath.





Figure 116: Reasonable - General condition of footpath.



Edinburgh Rd Lat:-33.9077316666667 Lng:151.170008333333 Dir:NaN

Figure 117: Reasonable - General condition of service pit.





Edinburgh Rd Lat:-33.90772333333333 Step Up Re Lng: 151. 170005 Dir:NaN

Figure 118: Reasonable - General condition of driveway crossover.



at:-33.90774 Lng:151.170028333333 Dir:NaN

Figure 119: Reasonable - General condition of driveway crossover. Minor cracking observed.



Lat:-33.90774333333333 Lng:151.170023333333 Dir:NaN

Figure 120: Reasonable - General condition of driveway crossover. Minor cracking observed.





Step Up Removals Lat:-33.9077866666667 Lng:151.170051666667 Dir:NaN

Figure 121: Reasonable - General condition of driveway crossover.



Step Up Removals Lat:-33.9077916666667 Lng:151.170063333333 Dir:NaN

Figure 122: Reasonable - General condition of driveway crossover. Major cracking observed.



Figure 123: Reasonable - General condition of driveway crossover. Major cracking observed.







Figure 124: Reasonable - General condition of footpath. Major cracking observed.

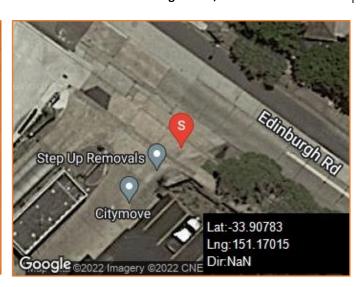




Figure 125: Reasonable - General condition of footpath.





Figure 126: Reasonable - General condition of signage.







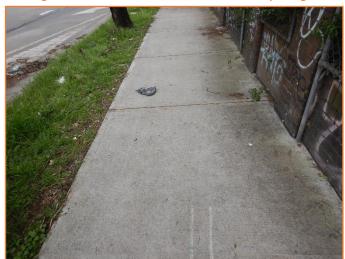
Step Removals Citymove Lat:-33.9078616666667 Lng:151.170186666667 Dir:NaN Google ©2022 Imagery ©2022 CNE

Figure 127: Reasonable - General condition of service pit.



Step (s temovals Citymove Lat:-33.9078683333333 Lng:151.170195 Dir:NaN Google ©2022 Imagery

Figure 128: Reasonable - General condition of street planting.



Step Up Removals Citymove Lat:-33.9078866666667 Lng:151.170206666667 Dir:NaN Google ©2022 Imagery ©2022

Figure 129: Reasonable - General condition of footpath.





Step Up Removals Citymove

Citymove

Lat:-33.9078816666667

Lng: 151.170166666667

Dir:NaN

Figure 130: Reasonable - General condition of street planting.



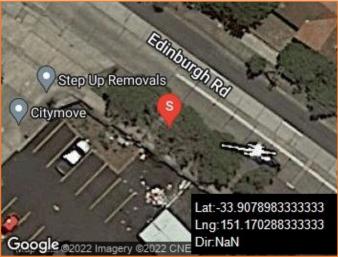


Figure 131: Reasonable - General condition of footpath.



Edinburgh Rd
ep Up Removals

Lat:-33.9079083333333
Lng:151.170336666667
Dir.NaN

Figure 132: Reasonable - General condition of footpath.





Edinburgh Rd Lat:-33.9079283333333 Lng:151.170341666667 Dir:NaN

Figure 133: Reasonable - General condition of street planting.

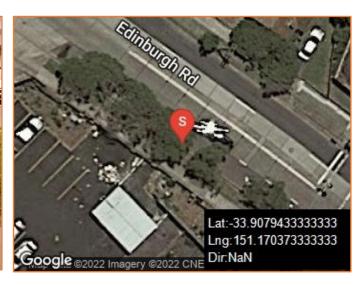




Figure 134: Reasonable - General condition of footpath.



Figure 135: Reasonable - General condition of street planting.







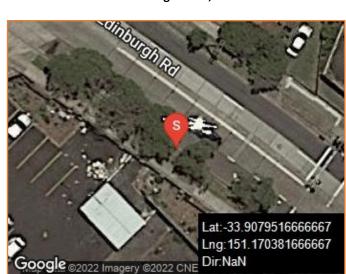


Figure 136: Reasonable - General condition of footpath.





Figure 137: Reasonable - General condition of footpath.



Figure 138: Reasonable - General condition of monopole assembly and substation.







Lat:-33.9080416666667 Lng:151.170428333333 Dir:NaN

Figure 139: Reasonable - General condition of footpath.



Lat:-33.90806 Lng:151.170436666667 Dir:NaN

Figure 140: Reasonable - General condition of inlet pit and service pit.



Lat:-33.908065 Lng:151.170445 Dir:NaN

Figure 141: Reasonable - General condition of service pit.





Lat:-33.9080583333333 Lng: 151.170458333333 Dir:NaN

Figure 142: Reasonable - General condition of service pit.





Figure 143: Reasonable - General condition of footpath.



Lat:-33.908075 Lng:151.170511666667 Dir:NaN Google ©2022 Imagery ©2022

Figure 144: Reasonable - General condition of service pit.





Lat:-33.90808333333333 Lng:151.170505 Dir:NaN Google ©2022 Imagery



Lat:-33.9080883333333 Lng:151.170518333333 Dir:NaN



Lat:-33.90807 Lng:151.170531666667 Dir:NaN Google ©2022 Imagery ©2022

Figure 147: Reasonable - General condition of footpath.





Figure 150: Reasonable - General condition of footpath.





Lat:-33.9081866666667 Lng:151.170671666667 Dir:NaN

Figure 151: Reasonable - General condition of service pit.



Lat:-33.9082083333333 Lng:151.170708333333 Dir:NaN

Figure 152: Reasonable - General condition of substation.



Lat:-33.9082216666667 Lng:151.170721666667 Dir:NaN Google

Figure 153: Reasonable - General condition of service pit.





Lat:-33.9082316666667 Lng:151.17074 Dir:NaN

Figure 154: Reasonable - General condition of service pit.



Lat:-33.908235 Lng:151.170738333333 Dir:NaN



Lat:-33.90823 Lng:151.170758333333 Dir:NaN

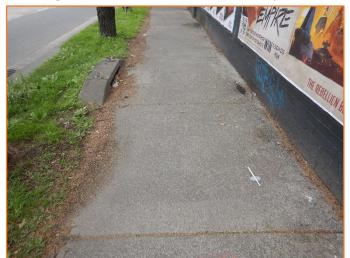
Figure 156: Reasonable - General condition of street planting.





Lat:-33.908225 Lng: 151.170768333333 Dir:NaN

Figure 157: Reasonable - General condition of footpath.



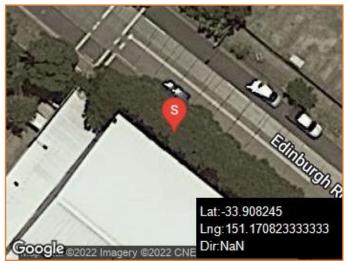




Figure 159: Reasonable - General condition of street planting.







Lat:-33.9082266666667 Lng:151.170863333333 Dir:NaN

Figure 160: Reasonable - General condition of inlet pit and service pit.





Figure 161: Reasonable - General condition of footpath.



Figure 162: Reasonable - General condition of street planting.







Lat:-33.90822 Lng:151.17092 Dir:NaN

Figure 163: Reasonable - General condition of footpath.





Figure 164: Reasonable - General condition of street planting and signage.



Figure 165: Reasonable - General condition of footpath.







Lat:-33.9082683333333 Lng:151.171 Dir:NaN

Figure 166: Reasonable - General condition of street planting.

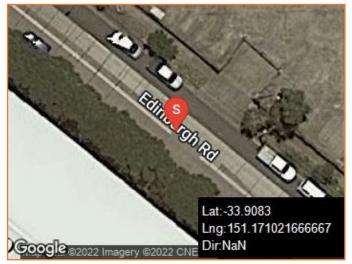




Figure 167: Reasonable - General condition of footpath.



Figure 168: Reasonable - General condition of signage.







Lat:-33.908335 Lng:151.17103 Dir:NaN

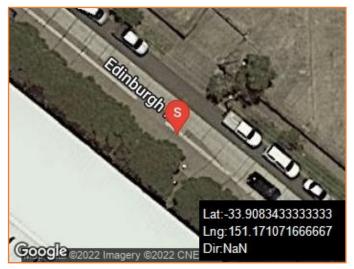
Figure 169: Reasonable - General condition of street planting.







Figure 171: Reasonable - General condition of Australian Post box.







Lat:-33.90836
Lng:151.17107
Dir:NaN

Figure 172: Reasonable - General condition of footpath.



Lat:-33.9083633333333 Lng:151.171093333333 Dir:NaN

Figure 173: Reasonable - General condition of service pit.



Lat:-33.908365
Lng:151.171093333333
Dir.NaN

Figure 174: Reasonable - General condition of inlet pit and service pit.





Lat:-33.908366666667
Lng:151.17108
Dir:NaN

Figure 175: Reasonable - General condition of footpath.



Lat:-33.9083783333333
Lng:151.171081666667
Dir:NaN

Figure 176: Reasonable - General condition of street planting.



Figure 177: Reasonable - General condition of footpath.







Lat:-33.90842
Lng:151.17112
Dir.NaN

Figure 178: Reasonable - General condition of street planting.



Lat:-33.9084316666667 Lng:151.171151666667 Dir:NaN

Figure 179: Reasonable - General condition of service pit.



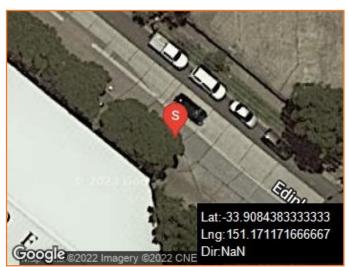


Figure 180: Reasonable - General condition of footpath.





Lat:-33.9084383333333 Lng: 151. 17121 Dir:NaN

Figure 181: Reasonable - General condition of street planting.



Lat:-33.908435 Lng:151.171206666667 Dir:NaN Google

Figure 182: Reasonable - General condition of footpath. Previous repairs observed.



Lat:-33.9084383333333 Lng:151.17123 Dir:NaN Google mana In

Figure 183: Reasonable - General condition of signage.







Figure 184: Reasonable - General condition of footpath.





Figure 185: Reasonable - General condition of footpath.



APPENDIX 'B' - SYNDEY STEEL ROAD



Figure 186: Reasonable - General condition of footpath. Minor cracking observed. Previous repairs observed.





Figure 187: Reasonable - General condition of footpath. Minor cracking observed.

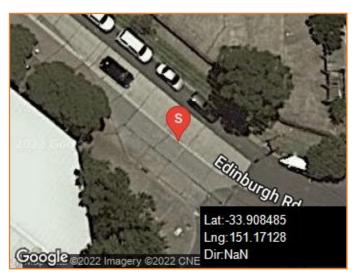




Figure 188: Reasonable - General condition of footpath. Minor cracking observed.







Lat:-33.9085466666667 Lng:151.171268333333 Dir:NaN

Figure 189: Reasonable - General condition of footpath.



Edinburgh Rd

Lat:-33.90862
Lng:151.171281666667

Dir.NaN

Figure 190: Reasonable - General condition of flexible pavement. Minor physical damage observed.



Figure 191: Reasonable - General condition of flexible pavement. Minor physical damage observed.







Lat:-33.908615 Lng:151.171461666667 Dir:NaN

Figure 192: Reasonable - General condition of flexible pavement. Minor cracking observed.





Figure 193: Reasonable - General condition of flexible pavement. Minor cracking observed.



Figure 194: Reasonable - General condition of flexible pavement. Minor cracking observed.







Lat:-33.9087016666667 Lng:151.171388333333 Dir:NaN Google

Figure 195: Reasonable - General condition of flexible pavement.



Lat:-33.908705 Lng:151.171345 Dir:NaN

Figure 196: Reasonable - General condition of flexible pavement. Minor cracking observed.



Figure 197: Reasonable - General condition of flexible pavement.







Lat:-33.90871 Lng:151.17134 Dir:NaN

Figure 198: Reasonable - General condition of flexible pavement.



Lat:-33.90875 Lng:151.171336666667 Dir:NaN

Figure 199: Reasonable - General condition of flexible pavement.



Lat:-33.9087816666667 Lng:151.171313333333 Dir:NaN Google

Figure 200: Reasonable - General condition of flexible pavement.





Lat:-33.908765 Lng:151.1713 Dir:NaN

Figure 201: Reasonable - General condition of flexible pavement. Minor cracking observed. Previous repairs observed.



Lat:-33.908755 Lng:151.171271666667 Dir:NaN

Figure 202: Reasonable - General condition of flexible pavement. Minor physical damage observed.



Figure 203: Reasonable - General condition of flexible pavement.

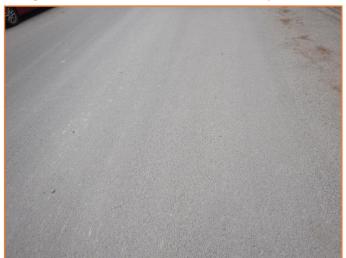






Lat:-33.9087583333333 Lng: 151.171258333333 Dir:NaN

Figure 204: Reasonable - General condition of flexible pavement.



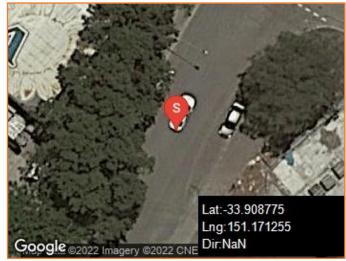


Figure 205: Reasonable - General condition of flexible pavement.





Figure 206: Reasonable - General condition of service pit.





Lat:-33.90881 Lng:151.171216666667 Dir:NaN

Figure 207: Reasonable - General condition of flexible pavement. Minor cracking observed.





Figure 208: Reasonable - General condition of flexible pavement. Major cracking observed.



Lat:-33.90887 Lng:151.17121 Dir:NaN

Figure 209: Reasonable - General condition of flexible pavement.





Lat:-33.9088983333333 Lng:151.171218333333 Dir:NaN

Figure 210: Reasonable - General condition of flexible pavement.





Figure 211: Reasonable - General condition of flexible pavement. Minor cracking observed.



Lat:-33.9088983333333 Lng:151.171165 Dir:NaN

Figure 212: Reasonable - General condition of flexible pavement.





Lat:-33.90893333333333 Lng:151.17116 Dir:NaN

Figure 213: Reasonable - General condition of flexible pavement. Minor cracking observed.



Lat:-33.9089666666667 Lng: 151.17118 Dir: NaN

Figure 214: Reasonable - General condition of flexible pavement.



Figure 215: Reasonable - General condition of flexible pavement. Minor physical damage observed.

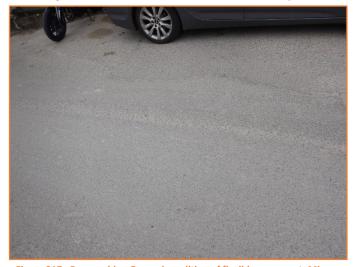






Lat:-33.9090433333333 Lng:151.171168333333 Dir:NaN

Figure 216: Reasonable - General condition of service pit.



Lat:-33.90903333333333 Lng:151.171166666667 Dir:NaN

Figure 217: Reasonable - General condition of flexible pavement. Minor cracking observed.



Figure 218: Reasonable - General condition of flexible pavement. Minor cracking observed.







Lat:-33.90906 Lng:151.171123333333 Dir:NaN

Figure 219: Reasonable - General condition of flexible pavement. Minor cracking observed.





Figure 220: Reasonable - General condition of flexible pavement. Minor cracking observed.



Figure 221: Reasonable - General condition of flexible pavement. Major cracking observed.







at:-33.90911 ng:151.171041666667

Figure 222: Reasonable - General condition of flexible pavement. Minor cracking observed.



at:-33.909145 Lng:151.171041666667

Figure 223: Reasonable - General condition of flexible pavement. Minor cracking observed.



Lat:-33.909155 Lng:151.171041666667 Dir:NaN

Figure 224: Reasonable - General condition of flexible pavement. Minor cracking observed.





Lat:-33.9091683333333 Lng:151.171038333333 Dir:NaN

Figure 225: Reasonable - General condition of flexible pavement. Minor cracking observed. Previous repairs observed.



Lat:-33.909175 Lng:151.171033333333 Dir:NaN

Figure 226: Reasonable - General condition of flexible pavement. Minor cracking observed. Previous repairs observed.



Figure 227: Reasonable - General condition of flexible pavement. Extensive cracking observed. Previous repairs observed.







Lat:-33.9092383333333 Lng:151.170981666667 Dir:NaN

Figure 228: Reasonable - General condition of flexible pavement. Extensive cracking observed. Previous repairs observed.

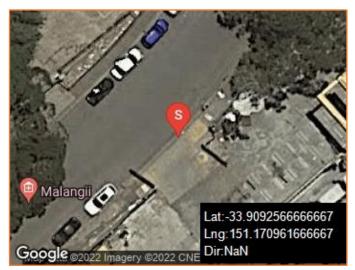


Lat:-33.9092533333333 Lng:151.170968333333 Dir:NaN

Figure 229: Reasonable - General condition of flexible pavement. Minor cracking observed.



Figure 230: Reasonable - General condition of flexible pavement. Minor physical damage observed.







Lat:-33.9092516666667 Lng:151.17092 Dir:NaN

Figure 231: Reasonable - General condition of flexible pavement. Minor cracking observed.



Lat:-33.90924 Lng:151.170903333333 Dir:NaN

Figure 232: Reasonable - General condition of flexible pavement. Minor cracking observed.



Malangii Lat:-33.90923333333333 Lng: 151.17089 Dir:NaN

Figure 233: Reasonable - General condition of flexible pavement.



74 Edinburgh Road, Marrickville NSW 2204



Malangii Lat:-33.9092366666667 Lng:151.170871666667 Dir:NaN

Figure 234: Reasonable - General condition of flexible pavement. Major cracking observed.



Malangii Lat:-33.9092466666667 Lng:151.170866666667 Dir:NaN

Figure 235: Reasonable - General condition of flexible pavement. Major cracking observed.



Figure 236: Reasonable - General condition of flexible pavement. Minor physical damage observed.







Malangii
Lat:-33.9093
Lng:151.170856666667
Dir:NaN

Figure 237: Reasonable - General condition of flexible pavement.



Malangii

Lat:-33.909305
Lng:151.170835
Dir:NaN

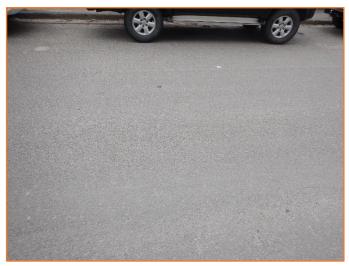
Figure 238: Reasonable - General condition of flexible pavement. Minor cracking observed.



Figure 239: Reasonable - General condition of flexible pavement. Minor cracking observed.







Malangii Lat:-33.90930333333333 Lng: 151.170798333333 Dir:NaN

Figure 240: Reasonable - General condition of flexible pavement.



Malangii Sydney Steel Rd Lat:-33.9093416666667 Lng:151.170763333333 Dir:NaN

Figure 241: Reasonable - General condition of flexible pavement.



Figure 242: Reasonable - General condition of flexible pavement. Minor cracking observed.







Google ©2022 Imagery ©2022 CINE Dir:NaN

Figure 243: Reasonable - General condition of flexible pavement. Minor cracking observed.





Figure 244: Reasonable - General condition of flexible pavement.



Figure 245: Reasonable - General condition of flexible pavement. Minor cracking observed.







Malangii (1)

Sydney St S Rd

Sydney St S Rd

Lat:-33.9094266666667

Lng:151.170676666667

Dir:NaN

Figure 246: Reasonable - General condition of flexible pavement.



Sydney Steel Rd

Lat:-33.909465
Lng:151.170648333333

Dir:NaN

Figure 247: Reasonable - General condition of flexible pavement.



Figure 248: Reasonable - General condition of flexible pavement. Previous repairs observed.







Malangii
Saydhey Steel Rd

Lat:-33.909425
Lng:151.170576666667

Dir:NaN

Figure 249: Reasonable - General condition of flexible pavement.



Sydney Steel Rd

Lat:-33.9094783333333
Lng:151.170516666667
Dir:NaN

Figure 250: Reasonable - General condition of flexible pavement. Major cracking observed.



Sydney Steel Rd

Lat:-33.9095133333333
Lng: 151.170505
Dir:NaN

Figure 251: Reasonable - General condition of flexible pavement. Major cracking observed.





Sydney Steel Rd

Lat:-33.9095116666667
Lng:151.170508333333

Dir:NaN

Figure 252: Reasonable - General condition of flexible pavement. Major cracking observed.



Sydney Steel Rd

Lat:-33.9095283333333

Lng:151.17053

Dir:NaN

Figure 253: Reasonable - General condition of flexible pavement. Minor physical damage observed.





Figure 254: Reasonable - General condition of flexible pavement.





Sydney Steel Rd

Sydney Steel Rd

Lat:-33.909555

Lng:151.170506666667

Dir:NaN

Figure 255: Reasonable - General condition of flexible pavement.



Sydney Steel Rd

Lat:-33.9095533333333

Lng:151.170465

Dir:NaN

Figure 256: Reasonable - General condition of flexible pavement.



Sydney Steel R. Lat:-33.90958
Lng:151.170438333333
Dir:NaN

Figure 257: Reasonable - General condition of flexible pavement.





Sydney Steel Rd Lng:151.170455

Figure 258: Reasonable - General condition of flexible pavement. Major cracking observed.



Sydney Steel Rd Lat:-33.9096566666667

Figure 259: Reasonable - General condition of flexible pavement. Major cracking observed.



Figure 260: Reasonable - General condition of flexible pavement. Major cracking observed.





74 Edinburgh Road, Marrickville NSW 2204



Sydn Sizeal Rd Lng: 151.170366666667 Dir:NaN

Figure 261: Reasonable - General condition of flexible pavement. Previous repairs observed.

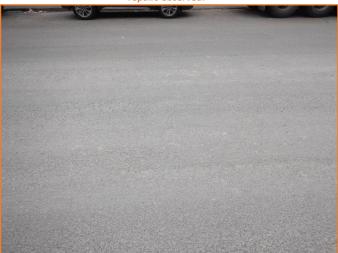




Figure 262: Reasonable - General condition of flexible pavement.



Figure 263: Reasonable - General condition of flexible pavement. Minor cracking observed.







an Russian Steel Rd Lng: 151.170346666667 Dir:NaN

Figure 264: Reasonable - General condition of flexible pavement.



Sydney Steel Rd Lat:-33.909635 Lng:151.17026 Dir:NaN

Figure 265: Reasonable - General condition of flexible pavement.



Sydney Steel Rd Lat:-33.9096566666667 Lng:151.170238333333 Dir:NaN

Figure 266: Reasonable - General condition of flexible pavement.



74 Edinburgh Road, Marrickville NSW 2204



Sydney Steel Rd

Google 62022 Images

Figure 267: Reasonable - General condition of flexible pavement.



Sydney Steel Rd St. 11.1

Figure 268: Reasonable - General condition of flexible pavement. Minor cracking observed.



Sydney Steel Rd S III III Lng:151.170203333333 Dir:NaN

Figure 269: Reasonable - General condition of flexible pavement.





Figure 270: Reasonable - General condition of flexible pavement. Major cracking observed.

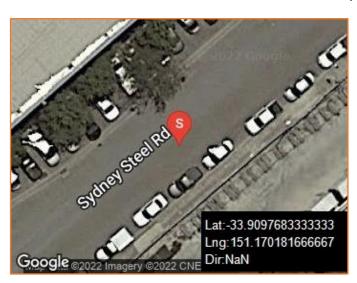




Figure 271: Reasonable - General condition of flexible pavement.





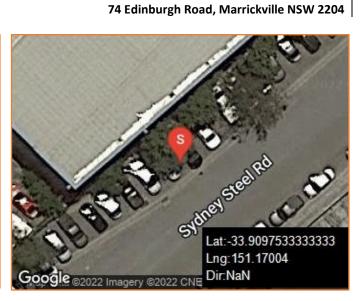
Figure 272: Reasonable - General condition of flexible pavement.







Figure 273: Reasonable - General condition of flexible pavement. Major cracking observed.



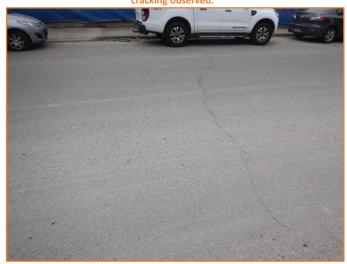


Figure 274: Reasonable - General condition of flexible pavement. Major cracking observed.

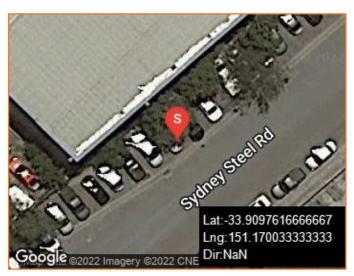
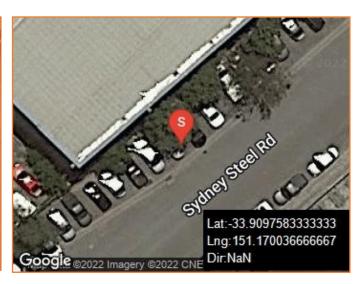




Figure 275: Reasonable - General condition of service pit. Minor cracking observed.





Dilapidation Report 74 Edinburgh Road, Marrickville NSW 2204



Figure 276: Reasonable - General condition of service pit. Minor cracking observed.

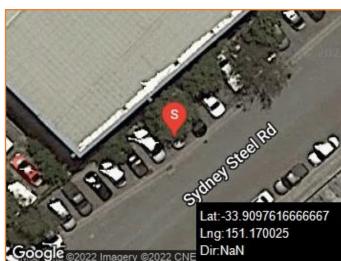




Figure 277: Reasonable - General condition of flexible pavement.





Figure 278: Reasonable - General condition of flexible pavement.







Sydney Steel Rd

Lat:-33.9098566666667

Lng:151.170001666667

Dir:NaN

Figure 279: Reasonable - General condition of flexible pavement. Minor cracking observed.



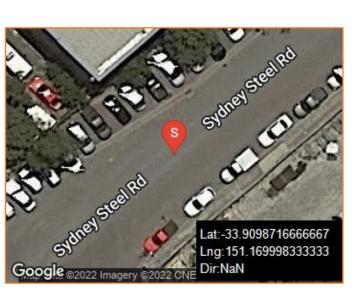


Figure 280: Reasonable - General condition of flexible pavement.



Figure 281: Reasonable - General condition of flexible pavement.







Coogle 2003 Images (2003 CNE Dir.NaN

Figure 282: Reasonable - General condition of flexible pavement.



Google ©2022 Imagery ©2022 CNE

Figure 283: Reasonable - General condition of flexible pavement.



Lat:-33.9100266666667 Lng:151.169888333333

Figure 284: Reasonable - General condition of flexible pavement.





Sydney Steel Rd

Lat:-33.9100383333333
Lng:151.169878333333
Dir:NaN

Figure 285: Reasonable - General condition of flexible pavement.



Lat:-33.9100683333333 Lng:151.16986 Dir:NaN

Figure 286: Reasonable - General condition of flexible pavement.



Lat:-33.9101116666667 Lng:151.169818333333 Dir:NaN

Figure 287: Reasonable - General condition of flexible pavement.





Lat:-33.9101183333333 Lng:151.1698 Dir:NaN

Figure 288: Reasonable - General condition of flexible pavement.



Lat:-33.9101183333333 Lng: 151.169753333333 Dir:NaN

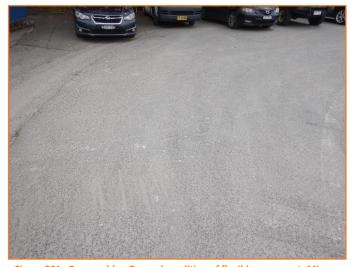
Figure 289: Reasonable - General condition of flexible pavement.



Figure 290: Reasonable - General condition of flexible pavement.







Lat:-33.9100883333333 Lng:151.169715 Dir:NaN

Figure 291: Reasonable - General condition of flexible pavement. Minor physical damage observed.





Figure 292: Reasonable - General condition of flexible pavement.



Figure 293: Reasonable - General condition of flexible pavement.







Google ©2022 Imagery ©2022 CNF Dir:NaN

Figure 294: Reasonable - General condition of flexible pavement.



Lat:-33.9099316666667
Lng:151.169805
Dir:NaN

Figure 295: Reasonable - General condition of flexible pavement.



Lat:-33.91005
Lng:151.169693333333
Dir:NaN

Figure 296: Reasonable - General condition of kerb and gutter.





Lat:-33.91006
Lng:151.169668333333

Google ©2022 Imagery ©2022 CNE

Dir:NaN

Figure 297: Reasonable - General condition of signage. Minor rotation





Figure 298: Reasonable - General condition of kerb and gutter.



Figure 299: Reasonable - General condition of kerb and gutter.





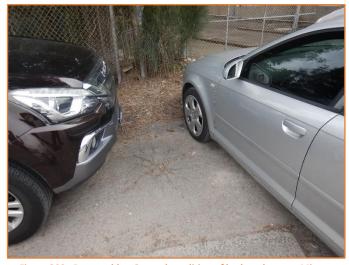


Figure 300: Reasonable - General condition of kerb and gutter. Minor cracking observed.





Figure 301: Reasonable - General condition of kerb and gutter.





Figure 302: Reasonable - General condition of kerb and gutter.







Lat:-33.909805
Lng:151.169908333333
Dir:NaN

Figure 303: Reasonable - General condition of signage.





Figure 304: Reasonable - General condition of signage.



Figure 305: Reasonable - General condition of flexible pavement and signage. Moderate potholes and cracking observed.







Google @2022 Imagery @2022 CNF Dir:NaN

Figure 306: Reasonable - General condition of kerb and gutter.



Sydney Steel Rd
Sydney Steel Rd
Lat:-33.90984
Lng: 151.169926666667
Dir.NaN

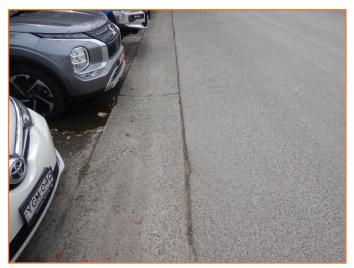
Figure 307: Reasonable - General condition of kerb and gutter. Minor cracking observed.



Figure 308: Reasonable - General condition of grated inlet pit. Minor cracking observed.







Google @2022 Imagent @2022 CNE Dir.NaN

Figure 309: Reasonable - General condition of kerb and gutter.



Figure 310: Reasonable - General condition of kerb and gutter.



Lat:-33.9098016666667 Lng:151.169986666667 Dir:NaN

Figure 311: Reasonable - General condition of kerb and gutter.





Google ©2022 Imagery ©2022 CNE

Figure 312: Reasonable - General condition of kerb and gutter.



Google ©2022 Imagery ©2022 CNE Control of the contr

Figure 313: Reasonable - General condition of kerb and gutter.

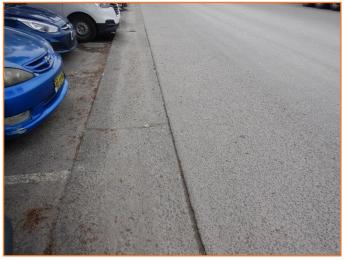
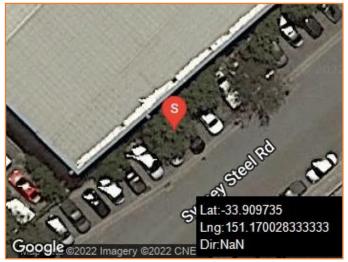
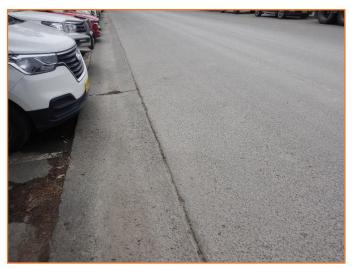


Figure 314: Reasonable - General condition of kerb and gutter.







Lng: 151.170048333333

Figure 315: Reasonable - General condition of kerb and gutter.



Figure 316: Reasonable - General condition of kerb and gutter. Minor spalling observed.

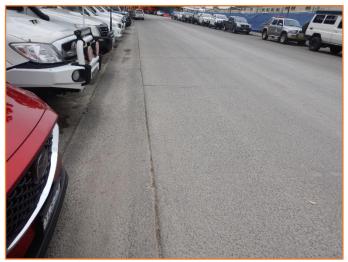




Figure 317: Reasonable - General condition of kerb and gutter.







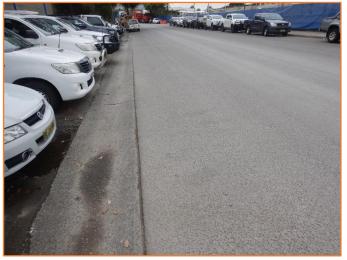
Google ©2022 Imagery ©2022 CNE Lat:-33.909655
Lng:151.170126666667
Dir:NaN

Figure 318: Reasonable - General condition of kerb and gutter.



Google ©2022 Imagery ©2022 CNE Sydney Steel Rd

Figure 319: Reasonable - General condition of kerb and gutter.

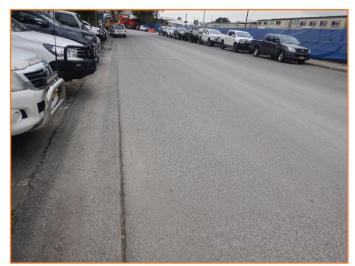


Google ©2022 Imagery ©2022 CNE

Figure 320: Reasonable - General condition of kerb and gutter.



74 Edinburgh Road, Marrickville NSW 2204



Lat:-33.9095766666667 Lng:151.170281666667 Dir:NaN

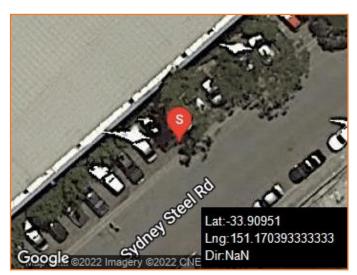
Figure 321: Reasonable - General condition of kerb and gutter.





Figure 323: Reasonable - General condition of kerb and gutter. Minor cracking observed.









Google ©2022 Imagery ©2022 CNE Dir:NaN

Figure 324: Reasonable - General condition of kerb and gutter.



Lat:-33.909505
Lng:151.170431666667

Dir:NaN

Figure 325: Reasonable - General condition of kerb and gutter.



Google @2022 Imagen @2022 CNE Dir.NaN

Figure 326: Reasonable - General condition of kerb and gutter.





Lat:-33.90946
Lng: 151.1705033333333
Google ©2022 Imagery ©2022 CNE
Dir:NaN

Figure 327: Reasonable - General condition of kerb and gutter.



Malangii
Sydney Steel Rd

Lat:-33.90943
Lng:151.170533333333

Dir:NaN

Figure 328: Reasonable - General condition of kerb and gutter.



Coogle @2022 Imagery @2022 CNE Dir.NaN

Figure 329: Reasonable - General condition of signage.





Lat:-33.909355
Lng:151.170525
Dir:NaN

Figure 330: Reasonable - General condition of signage.





Figure 331: Reasonable - General condition of service pit.



S Malangii
Sydney Steel Rd

Sydney Lat:-33.90935
Lng:151.17061

Dir:NaN

Figure 332: Reasonable - General condition of service pit.





Figure 333: Reasonable - General condition of signage. Minor rotation observed.





Figure 334: Reasonable - General condition of kerb and gutter.





Figure 335: Reasonable - General condition of grated inlet pit.







Figure 336: Reasonable - General condition of signage. Minor rotation observed.





Figure 337: Reasonable - General condition of kerb and gutter.





Figure 338: Reasonable - General condition of kerb and gutter.







Sydney Steel Rd

Sydney Steel Rd

Lat:-33.9093583333333

Lng:151.170671666667

Dir:NaN

Figure 339: Reasonable - General condition of kerb and gutter. Minor cracking observed.



Sangii (a)

Lat:-33.9093366666667

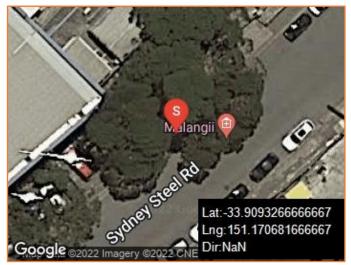
Lng:151.170681666667

Google ©2022 Imagery ©2022 CNE Dir:NaN

Figure 340: Reasonable - General condition of kerb and gutter.



Figure 341: Reasonable - General condition of kerb and gutter.







Malangii
Lat:-33.9092783333333
Lng:151.170695
Dir:NaN

Figure 342: Reasonable - General condition of kerb and gutter. Minor cracking observed.



Figure 343: Reasonable - General condition of kerb and gutter. Minor cracking observed.



Malangii Lat:-33.9092366666667
Lng:151.17072
Dir:NaN

Figure 344: Reasonable - General condition of kerb and gutter.





Figure 345: Reasonable - General condition of kerb and gutter.



Figure 346: Reasonable - General condition of kerb and gutter.



Lat:-33.9091966666667
Lng: 151.170776666667
Dir:NaN

Figure 347: Reasonable - General condition of kerb and gutter. Minor cracking observed.





Lat:-33.9091866666667 Lng:151.170788333333 Dir:NaN





Figure 349: Reasonable - General condition of kerb and gutter.



Lat:-33.9091433333333 Lng:151.170845 Dir:NaN

Figure 350: Reasonable - General condition of kerb and gutter.





Lat:-33.9091266666667 Lng:151.170878333333 Dir:NaN

Figure 351: Reasonable - General condition of kerb and gutter.



Google ©2022 Imagery ©2022 CNE Lat:-33.90912
Lat:-33.90912
Lng:151.170905
Dir:NaN

Figure 352: Reasonable - General condition of kerb and gutter.



Lat:-33.9090966666667 Lng:151.170935 Dir:NaN

Figure 353: Reasonable - General condition of kerb and gutter.





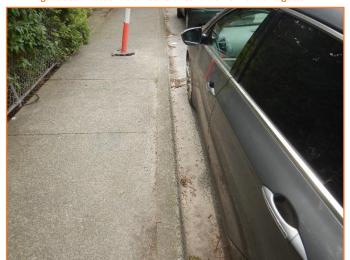
Lat:-33.9090733333333 Lng:151.170956666667 Dir:NaN

Figure 354: Reasonable - General condition of kerb and gutter.



Lat:-33.90904 Lng:151.170968333333 Dir:NaN

Figure 355: Reasonable - General condition of kerb and gutter.



Coogle ©2022 Imagery ©2022 CNE Lat: -33.909005
Lng: 151.1709666666667
Dir:NaN

Figure 356: Reasonable - General condition of kerb and gutter.





Coogle 2222 Imagent 2222 CNF Dir:NaN

Figure 357: Reasonable - General condition of kerb and gutter.





Figure 358: Reasonable - General condition of kerb and gutter.



Lat:-33.908945
Lng: 151.170983333333
Dir:NaN

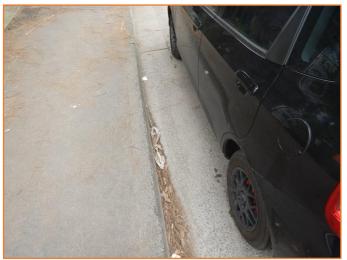
Figure 359: Reasonable - General condition of kerb and gutter.





Lat:-33.908915
Lng:151.170996666667
Dir:NaN

Figure 360: Reasonable - General condition of kerb and gutter.



Lat:-33.9088866666667 Lng:151.171025 Dir.NaN

Figure 361: Reasonable - General condition of kerb and gutter.



Figure 362: Reasonable - General condition of kerb and gutter. Minor cracking observed.







Lat:-33.908845
Lng:151.171073333333
Dir:NaN

Figure 363: Reasonable - General condition of kerb and gutter.



Lat:-33.9088266666667 Lng:151.17108 Google ©2022 Imagery ©2022 CNE Dir:NaN

Figure 364: Reasonable - General condition of kerb and gutter.



Lat:-33.9088016666667 Lng:151.17109 Dir:NaN

Figure 365: Reasonable - General condition of kerb and gutter.





Lat:-33.908775
Lng:151.1711
Dir:NaN

Figure 366: Reasonable - General condition of kerb and gutter.





Figure 367: Reasonable - General condition of kerb and gutter.



Lat:-33.9087566666667 Lng:151.171116666667 Dir:NaN

Figure 368: Reasonable - General condition of kerb and gutter. Minor spalling observed.





Lat:-33.908755
Lng:151.171118333333
Dir:NaN

Figure 369: Reasonable - General condition of kerb and gutter.



Lat:-33.9087466666667 Lng:151.17113 Dir:NaN

Figure 370: Reasonable - General condition of kerb and gutter. Minor cracking observed.



Figure 371: Reasonable - General condition of kerb and gutter. Minor cracking observed.







Lat:-33.9087216666667 Lng:151.171158333333 Dir:NaN

Figure 372: Reasonable - General condition of kerb and gutter.



Lat:-33.9086966666667 Lng:151.171178333333 Dir:NaN

Figure 373: Reasonable - General condition of kerb and gutter.



Lat:-33.908675
Lng: 151.17121
Dir:NaN

Figure 374: Reasonable - General condition of kerb and gutter.





Lat:-33.908655
Lng:151.171228333333
Dir:NaN

Figure 375: Reasonable - General condition of kerb and gutter.



Edinburgh Rd

Lat:-33.90864
Lng:151.171253333333

Dir:NaN

Figure 376: Reasonable - General condition of kerb and gutter.



Edinburgh Rd

S

Lat:-33.908625
Lng:151.171251666667

Dir:NaN

Figure 377: Reasonable - General condition of kerb and gutter.





Lat:-33.9085766666667 Lng:151.171286666667 Dir:NaN

Figure 378: Reasonable - General condition of service pit.



Lat:-33.90859
Lng:151.17129

Google ©2022 Imagery ©2022 CNE

Line State of the stat

Figure 379: Reasonable - General condition of footpath.



Edinburgh Rd

S

Lat:-33.9085983333333

Lng:151.171301666667

Dir:NaN

Figure 380: Reasonable - General condition of footpath.





Edinburgh Rd

Lat:-33.908625
Lng:151.171295

Dir:NaN

Figure 381: Reasonable - General condition of service pit.



Edinburgh Rd

S

Lat:-33.9086483333333
Lng:151.1712766666667
Dir:NaN

Figure 382: Reasonable - General condition of service pit.



Figure 383: Reasonable - General condition of monopole assembly.





Edinburgh Rd

S

Lat:-33.9086183333333
Lng:151.171256666667
Dir:NaN

Figure 384: Reasonable - General condition of footpath.



Edinburgh Rd

Lat:-33.9086483333333
Lng:151.171236666667
Dir:NaN

Figure 385: Reasonable - General condition of service pit.



Google \$2022 Imagery \$2022 CNE Lat:-33.90869
Lng: 151.171203333333
Dir:NaN

Figure 386: Reasonable - General condition of footpath. Minor cracking observed.





Lat:-33.9086916666667 Lng:151.171203333333 Dir:NaN

Figure 387: Reasonable - General condition of footpath.



Lat:-33.9087183333333 Lng:151.17119 Dir:NaN

Figure 388: Reasonable - General condition of street planting.



Lat:-33.9087733333333 Lng:151.171133333333 Dir:NaN

Figure 389: Reasonable - General condition of street planting.





Lat:-33.90878
Lng:151.171138333333
Dir:NaN

Figure 390: Reasonable - General condition of footpath.



Lat:-33.9087683333333 Lng:151.171141666667 Dir:NaN

Figure 391: Reasonable - General condition of street furniture. Major physical damage observed.



Lat:-33.9087733333333 Lng:151.171126666667 Dir:NaN

Figure 392: Reasonable - General condition of street planting.





Lat:-33.90878
Lng:151.171123333333
Dir:NaN

Figure 393: Reasonable - General condition of footpath.



Lat:-33.90878
Lng:151.171125
Dir:NaN

Figure 394: Reasonable - General condition of street planting.



Lat:-33.9087983333333 Lng:151.171113333333 Dir:NaN

Figure 395: Reasonable - General condition of footpath. Minor cracking observed.





Coogle ©2022 Imagery ©2022 CNF Dir:NaN

Figure 396: Reasonable - General condition of street planting.



Lat:-33.9087816666667 Lng:151.171123333333 Dir:NaN

Figure 397: Reasonable - General condition of footpath.



Lat:-33.90881 Lng: 151.171125 Dir:NaN

Figure 398: Reasonable - General condition of street planting.





Lat:-33.9088333333333 Lng:151.171106666667 Dir:NaN

Figure 399: Reasonable - General condition of street planting.



Lat:-33.9088366666667 Lng:151.171116666667 Dir:NaN

Figure 400: Reasonable - General condition of footpath.



Google ©2022 Imagery ©2022 CNE

Lat:-33.90884
Lng:151.171108333333
Dir:NaN

Figure 401: Reasonable - General condition of footpath.





Lat:-33.908845
Lng:151.1711
Dir:NaN

Figure 402: Reasonable - General condition of footpath.



Lat:-33.9088966666667 Lng:151.171065 Dir:NaN

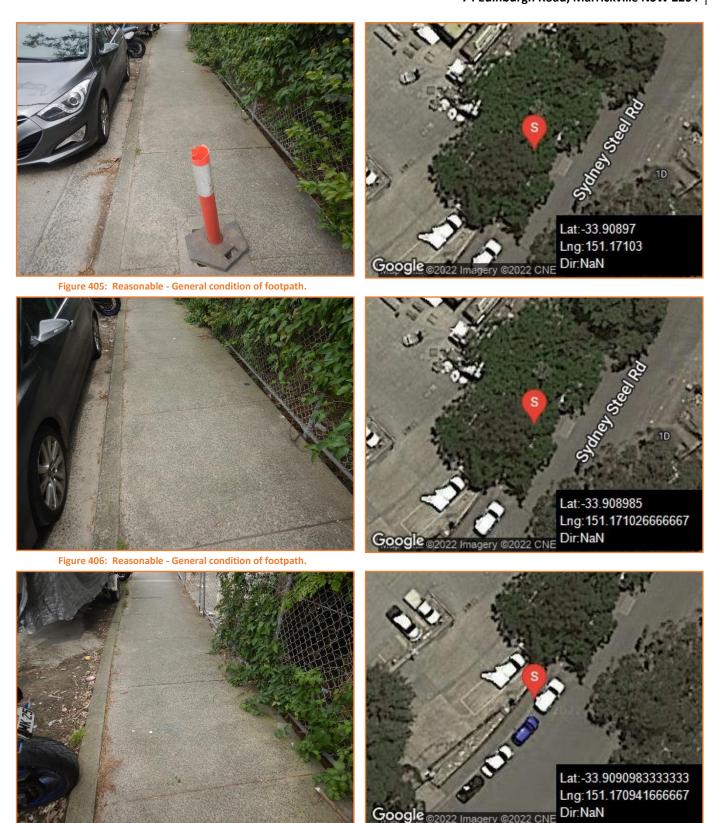
Figure 403: Reasonable - General condition of footpath and signage. Major physical damage observed.



Lat:-33.9089716666667 Lng:151.171041666667 Dir:NaN

Figure 404: Reasonable - General condition of footpath.











Lat:-33.9091 Lng:151.170921666667 Dir:NaN

Figure 408: Reasonable - General condition of footpath.



Lat:-33.9090516666667 Lng:151.170918333333 Dir:NaN

Figure 409: Reasonable - General condition of footpath.



Lat:-33.9090516666667 Lng:151.170916666667 Dir:NaN

Figure 410: Reasonable - General condition of footpath. Minor cracking observed.





Figure 411: Reasonable - General condition of footpath. Minor cracking observed.





Figure 412: Reasonable - General condition of footpath.





Figure 413: Reasonable - General condition of footpath. Minor cracking observed.







Lat:-33.90913 Lng:151.170898333333 Dir:NaN

Figure 414: Reasonable - General condition of footpath.





Figure 415: Reasonable - General condition of driveway crossover. Minor cracking observed.



Lat:-33.90919
Lng:151.170846666667

Dir:NaN

Figure 416: Reasonable - General condition of driveway crossover. Extensive cracking observed.





Lat:-33.9091966666667
Lng:151.170836666667
Dir:NaN

Figure 417: Reasonable - General condition of driveway crossover.

Extensive cracking observed.



Lat:-33.9091983333333
Lng: 151.170828333333
Google ©2022 Imagery ©2022 CNE Dir:NaN

Figure 418: Reasonable - General condition of service pit. Extensive cracking observed.



Lat:-33.909205
Lng:151.170821666667
Dir:NaN

Figure 419: Reasonable - General condition of driveway crossover. Minor cracking observed.





Figure 420: Reasonable - General condition of footpath. Minor cracking observed.



Malangii
Lat:-33.90922
Lng: 151.170795
Dir:NaN

Figure 421: Poor - General condition of footpath. Extensive cracking and differential settlement observed.



Figure 422: Poor - General condition of footpath. Extensive cracking observed.







Malangii
Lat:-33.9092233333333
Lng:151.1707666666667
Dir:NaN

Figure 423: Poor - General condition of footpath. Extensive cracking observed.



Malangii Lat:-33.90923
Lng:151.170756666667

Dir:NaN

Figure 424: Reasonable - General condition of footpath. Major cracking observed. Previous repairs observed.



Figure 425: Reasonable - General condition of footpath. Minor cracking observed.







Malangii

Malangii

Lat:-33.9092783333333

Lng:151.17071

Dir.NaN

Figure 426: Reasonable - General condition of service pit.



Malangii
Lat:-33.9092616666667
Lng: 151.1707766666667
Dir: NaN

Figure 427: Reasonable - General condition of footpath. Minor cracking observed.



Google ©2022 Imagery ©2022 CNE Dir:NaN

Figure 428: Reasonable - General condition of footpath.





Lat:-33.909055
Lng:151.170926666667
Dir:NaN

Figure 429: Reasonable - General condition of footpath. Previous repairs observed.





Figure 430: Reasonable - General condition of footpath.



Figure 431: Reasonable - General condition of footpath. Previous repairs observed.







Figure 432: Reasonable - General condition of footpath. Previous repairs observed.





Figure 433: Reasonable - General condition of footpath. Major physical damage observed. Previous repairs observed.





Figure 434: Reasonable - General condition of footpath. Previous repairs observed.







Lat:-33.9088383333333 Lng:151.171043333333 Dir:NaN

Figure 435: Reasonable - General condition of footpath. Minor cracking observed.





Figure 436: Reasonable - General condition of footpath.





Figure 437: Reasonable - General condition of footpath.





Lat:-33.9088316666667 Lng:151.171061666667 Dir:NaN

Figure 438: Reasonable - General condition of footpath. Minor cracking observed.



Lat:-33.9086733333333 Lng:151.171166666667 Dir:NaN

Figure 439: Reasonable - General condition of footpath. Minor cracking observed.



Lat:-33.9085583333333 Lng:151.171215 Dir:NaN

Figure 440: Reasonable - General condition of footpath. Minor cracking observed. Previous repairs observed.



APPENDIX 'C' - 74 EDINBURGH ROAD

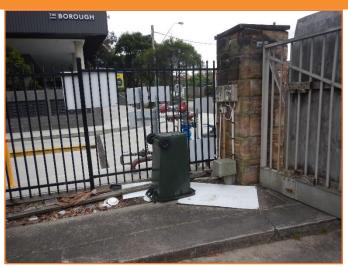






Figure 443: Reasonable - General condition of fence.





Figure 444: Reasonable - General condition of fence.



Figure 445: Reasonable - General condition of fence.



Figure 446: Reasonable - General condition of fence.





Figure 447: Reasonable - General condition of fence.



Figure 448: Reasonable - General condition of fence.



Figure 449: Reasonable - General condition of fence.





Figure 450: Reasonable - General condition of fence.



Figure 451: Reasonable - General condition of fence.



Figure 452: Reasonable - General condition of fence.





Figure 453: Reasonable - General condition of fence.



Figure 454: Reasonable - General condition of fence.

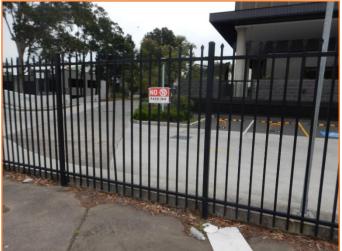


Figure 455: Reasonable - General condition of fence.





Figure 456: Reasonable - General condition of fence.



Figure 457: Reasonable - General condition of fence.

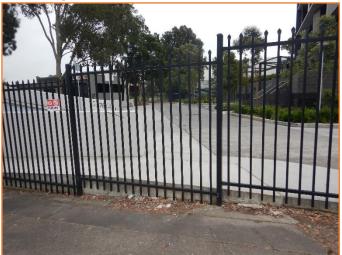


Figure 458: Reasonable - General condition of fence.





Figure 459: Reasonable - General condition of fence.



Figure 460: Reasonable - General condition of fence.



Figure 461: Reasonable - General condition of fence.



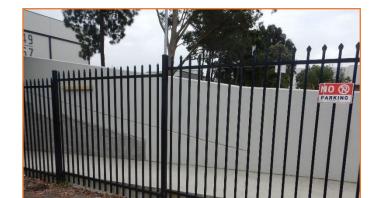


Figure 462: Reasonable - General condition of fence.



Figure 463: Reasonable - General condition of fence.



Figure 464: Reasonable - General condition of fence.





Figure 465: Reasonable - General condition of fence.



Figure 466: Reasonable - General condition of fence.



Figure 467: Reasonable - General condition of fence.





Figure 468: Reasonable - General condition of fence.



Figure 469: Reasonable - General condition of fence.



Figure 470: Reasonable - General condition of fence.





Figure 471: Reasonable - General condition of fence.



Figure 472: Reasonable - General condition of fence.



Figure 473: Reasonable - General condition of fence.





Figure 474: Reasonable - General condition of fence.

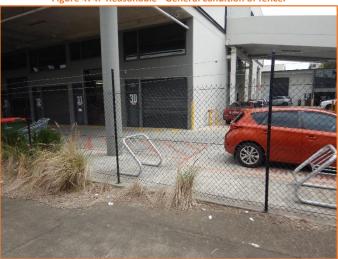


Figure 475: Reasonable - General condition of fence.



Figure 476: Reasonable - General condition of fence.





Figure 477: Reasonable - General condition of fence.



Figure 478: Reasonable - General condition of fence.



Figure 479: Reasonable - General condition of fence.





Figure 480: Reasonable - General condition of fence



Figure 481: Reasonable - General condition of fence.



Figure 482: Reasonable - General condition of fence.





Figure 483: Reasonable - General condition of fence



Figure 484: Reasonable - General condition of fence.



Figure 485: Reasonable - General condition of fence.





Figure 486: Reasonable - General condition of fence.



Figure 487: Reasonable - General condition of fence.



Figure 488: Reasonable - General condition of fence.



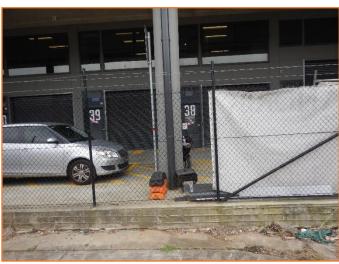


Figure 489: Reasonable - General condition of fence.

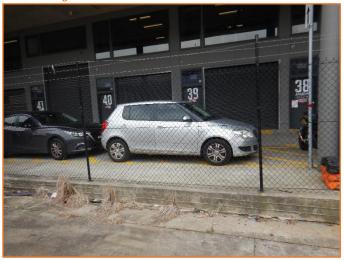


Figure 490: Reasonable - General condition of fence



Figure 491: Reasonable - General condition of fence.



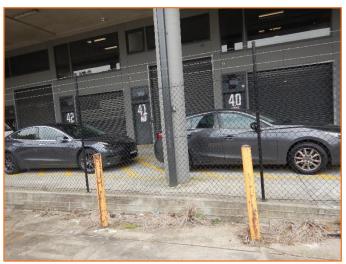


Figure 492: Reasonable - General condition of fence.



Figure 493: Reasonable - General condition of fence.



Figure 494: Reasonable - General condition of fence.





Figure 495: Reasonable - General condition of fence.



Figure 496: Reasonable - General condition of fence.



Figure 497: Reasonable - General condition of fence.





Figure 498: Reasonable - General condition of fence.



Figure 499: Reasonable - General condition of fence.



Figure 500: Reasonable - General condition of fence.





Figure 501: Reasonable - General condition of fence.



Figure 502: Reasonable - General condition of fence.



Figure 503: Reasonable - General condition of fence.





Figure 504: Reasonable - General condition of fence.





Figure 506: Reasonable - General condition of fence.





Figure 507: Reasonable - General condition of fence.



Figure 508: Reasonable - General condition of fence.



Figure 509: Reasonable - General condition of fence.









Figure 512: Reasonable - General condition of fence.





Figure 513: Reasonable - General condition of fence.



Figure 514: Reasonable - General condition of fence



Figure 515: Reasonable - General condition of fence.





Figure 516: Reasonable - General condition of fence.



Figure 517: Reasonable - General condition of fence.



Figure 518: Reasonable - General condition of fence.





Figure 519: Reasonable - General condition of fence.





Figure 521: Reasonable - General condition of fence.





Figure 522: Reasonable - General condition of fence.



Figure 523: Reasonable - General condition of fence



Figure 524: Reasonable - General condition of fence.





Figure 525: Poor - General condition of fence. Major physical damage observed.





Figure 527: Poor - General condition of fence. Major physical damage observed.







Figure 529: Reasonable - General condition of fence.



Figure 530: Reasonable - General condition of fence. Minor physical damage observed.





Figure 531: Reasonable - General condition of fence.





Figure 533: Reasonable - General condition of fence.





Figure 534: Reasonable - General condition of fence.



Figure 535: Reasonable - General condition of fence.



Figure 536: Reasonable - General condition of fence.





Figure 537: Reasonable - General condition of fence.



Figure 538: Reasonable - General condition of fence.



Figure 539: Reasonable - General condition of external wall.





Figure 540: Reasonable - General condition of external wall.





Figure 542: Reasonable - General condition of external wall.





Figure 543: Reasonable - General condition of external wall.



Figure 544: Reasonable - General condition of external wall.



Figure 545: Reasonable - General condition of external wall.





Figure 546: Reasonable - General condition of external wall.



Figure 547: Reasonable - General condition of external wall.



Figure 548: Reasonable - General condition of external wall.





Figure 549: Reasonable - General condition of external wall.





Figure 551: Reasonable - General condition of fence.





Figure 552: Reasonable - General condition of fence





Figure 554: Reasonable - General condition of fence.





Figure 555: Reasonable - General condition of fence.

