



50, 11-21 Underwood Road
Homebush Business Park
Homebush, NSW, 2140

WWW.SDSENGINEERING.COM.AU

SYMEC Group Pty. Ltd. T/As SDS Engineering
ABN 62 609 585 006

DILAPIDATION REPORT

74 EDINBURGH ROAD, MARRICKVILLE NSW 2204

THURSDAY, 13 OCTOBER 2022

DOCUMENT CONTROL

Document Information	
Job Number	221079
Document Number	1
Report Title	Dilapidation Report
Site Address	74 Edinburgh Road, Marrickville NSW 2204
Lot	202 in DP1133999

Document Review			
Revision	Date Issue	Description	Issued by
A	13/10/2022	Initial Issue	Amir Entezami

Distribution of Copies			
Revision	Electronic	Paper	Issued to
A	1	0	Central Civil

Authorisation and Release		
Name	Signature	Date
Amir Entezami B.E (Civil) B.E (Environmental) MIEAust (4103488)		13/10/2022



TABLE OF CONTENTS

Document Control	2
1.0 – Introduction	4
2.0 – Site Description	4
3.0 - Fieldwork	4
3.1 – Areas Inspected.....	4
3.2 – Australian Standards	4
4.0 – Terminology	4
5.0 – Limitations.....	5
5.1 – Disclaimer of Liability	5
5.2 – Disclaimer of Liability to Third Parties.....	6
5.3 – Copyright	6
5.4 – Aerial Imagery Supplied	6
5.5 – Bearings.....	6
Appendix ‘A’ – Edinburgh Road	7
Appendix ‘B’ – Syndey Steel Road.....	69
Appendix ‘C’ – 74 Edinburgh Road.....	154



1.0 – INTRODUCTION

SDS Engineering was engaged by Central Civil in undertaking a dilapidation inspection report pertaining to the construction of a proposed industrial development at the subject site. The dilapidation inspection report was required to satisfy State Significant Development (Ref No.: SSD-10468, Dated: 09/03/2022) requirements associated with the approval for the works.

2.0 – SITE DESCRIPTION

The subject site, formally identified as 74 Edinburgh Road, Marrickville NSW 2204 (Lot 202 in DP1133999) is an irregular shaped block, approximately 2.75 Ha in area, situated on the southern side of Edinburgh Road. The site slightly slopes to the rear and is bound by, industrial warehousing, Edinburgh Road and Sydney Steel Road. The site was vacant at the time of the inspection.

3.0 - FIELDWORK

An inspection of the subject site and the surrounding area was conducted on Monday 26th September 2022. Methods included a detailed site walk-over and the surrounding environment for visual inspection and photographic documentation. It is important to note that this inspection was of a visual nature only, and no attempts were made at dismantling, penetrating, force-opening, digging, breaking-apart, removing or moving objects, or any other invasive procedure.

3.1 – AREAS INSPECTED

Areas inspected around the site were as per the scope provided by Central Civil, and included the following:

- All public assets on Edinburgh Road and Sydney Steel Road within a distance of 20 metres of the subject site including all pavements, kerbs, gutters, footpaths, civil assets, street furniture, signage and landscaped areas.
- Accessible external portions of the 74 Edinburgh Road.

3.2 – AUSTRALIAN STANDARDS

There is no Australian Standard that is applicable to dilapidation surveys and reports. *AS4349.1 (2007): Inspection of Buildings – Pre-purchase Inspections – Residential Buildings* is a standard for similar types of inspections. In ensuring best practise, relevant prescriptions of this standard have been adopted in the procedures carried out for this dilapidation survey and report.

4.0 – TERMINOLOGY

An explanation of terminology used in the description of existing defects and the conditions of private and public assets in and around the subject site is highlighted in table one. It should be noted that these descriptions and their associated commentary are qualitative in nature, and depend on the inspector's judgement in assessment. General considerations in assessment include, but are not limited to:

- The function of the inspected element, and the importance in the role it serves
- The age of the inspected element and what is considered typical degradation
- Underlying causes which may have contributed to the materialisation of the defect



Table 1: Explanation of Terms

Term	Description
Good	Indicates that there are no defects evident and the elements described are in good condition for their age.
Reasonable	Indicates that the element may have minor defects that should be noted, but not significant enough to need immediate rectification or remediation.
Poor	Indicates that general maintenance or minor repair works may be warranted
Defective	Indicates there is a significant fault or failure of the item that should be rectified or remediated as soon as possible.

5.0 – LIMITATIONS

This inspection was conducted by SDS Engineering in general accordance with industry standards and current professional practise. The inspection was carried out for, and is only relevant to the project at hand. The information presented is believed to be accurate as of the date of issue, but it should be noted that variations and changes to site conditions can occur, and may invalidate the recommendations given herein.

This document is not a comprehensive building report dealing with private or public assets from every aspect. It is not a certificate of compliance with the requirements of any act, regulation, ordinance or by-law. It is not a structural report, and does not serve to comment on or highlight structural performance. This report does not and cannot make comment upon defects that may have been concealed or invisible at the time of assessment. Subsequently, this report is not a guarantee that defects do not exist in any inaccessible or partly inaccessible areas or sections of the subject site and its surrounds. Furthermore, it is limited in its scope, and generally excludes detection of defects that are subject to:

- Prevailing weather conditions
- The presence or absence of timber pests
- Gas-fittings
- Common property areas
- Environmental considerations or concerns
- Proximity of the property to flight paths, railway corridors or areas of congested traffic
- Noise levels
- Issues pertaining to health and safety
- Heritage concerns
- Security concerns
- Fire protection
- Site drainage
- Detention and identification of illegal building works
- Durability of exposed finishes
- Neighbourhood problems.

In the event of any controversy or claim arising out of, or relating to this report, it will be settled by arbitration, in accordance with the rules of the Institute of Arbitrators Australia. Any judgements from such arbitration shall be binding upon both parties.

5.1 – DISCLAIMER OF LIABILITY

No liability shall be accepted by SDS Engineering on account of failure of this report to highlight any problems in area/s or section/s of the subject site, physically inaccessible for inspection, or to which access for inspection is denied by or to the inspector (including but not limited to an area/s or section/s so specified by the report). Except as provided herein, no liability shall be accepted for physical or financial injury, loss or damage or consequential loss or damage of any kinds arising out of the inspection services provided by the Consultant's negligence. The Consultant's liability or breach of a condition or warranty implied by Division 2 of Part V of the Trade Practices Act (1974) [other than s.69] is hereby limited to the supplying of the inspection service again or the payment of the cost of having the inspection service supplied again.



5.2 – DISCLAIMER OF LIABILITY TO THIRD PARTIES

This report was produced for the sole benefit of the named Client that engaged SDS Engineering. No liability is accepted by SDS Engineering, in contract or tort, towards third parties that rely on this report wholly or in part, and third parties acting or relying on the contents therein do so at their own risk.

5.3 – COPYRIGHT

All related Council authorities are granted a perpetual non-exclusive license to make use of the copyright in all images supplied of Council assets within the report, including the right to make copies available to third parties as though they were Council image.

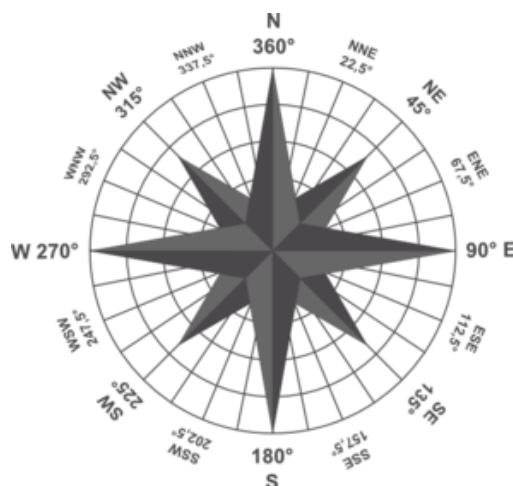
5.4 – AERIAL IMAGERY SUPPLIED

Corresponding aerial imagery supplied highlighting locations of defects is indicatively only. This aerial imagery is derived from the Google Maps® Application Programming Interface (API) under a commercial license agreement. Global Positioning System (GPS) data derived from our photographic equipment is used to generate aerial imagery. GPS data is typically accurate within five metres, however it is important to note accuracy is dependent on a wide variety of factors such as satellite geometry, signal blockage associated with proximity to buildings, trees, bridges and other obstructions, signal interference, as well as atmospheric conditions. Variations in GPS inaccuracy may be as large as 50 metres; however, this is typically not the case, and images are commonly accurate to within less than one metre. SDS Engineering accepts no liability in the accuracy of supplied aerial imagery corresponding to defect locations.

Aerial imagery is typically not provided for documentation of internal areas of structures, as it remains irrelevant, or individual small residential lots, as these sites are prone to signal blockage and GPS inaccuracy.

5.5 – BEARINGS

Bearing data derived from digital compasses in photographic equipment is provided on aerial imagery supplied and is indicative of the photo direction. Whilst digital compasses typically remain quite accurate, they may be susceptible to signal interference and/or temporary miscalibration. The field of view of photographic documentation will vary depending on the zoom settings used, however bearing directions are aligned with the centre of the image. The figure below highlights the bearing regime used for reporting. SDS Engineering accepts no liability in the accuracy of the supplied bearings or directions in which photographic evidence has been captured.



APPENDIX 'A' – EDINBURGH ROAD



Figure 1: Reasonable - General condition of kerb and gutter.



Figure 2: Reasonable - General condition of kerb and gutter. Minor spalling observed.



Figure 3: Reasonable - General condition of driveway layback.





Figure 4: Reasonable - General condition of driveway layback. Minor cracking observed.



Figure 5: Reasonable - General condition of driveway layback. Minor cracking observed.



Figure 6: Reasonable - General condition of driveway layback.





Figure 7: Reasonable - General condition of driveway layback. Minor spalling observed.

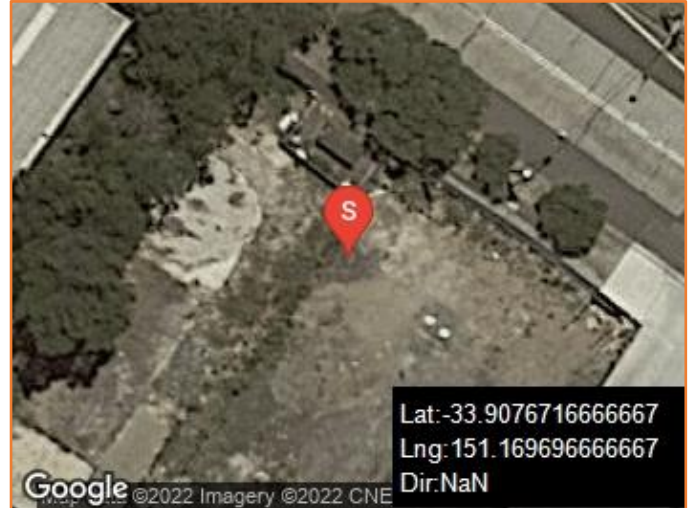


Figure 8: Reasonable - General condition of driveway layback.



Figure 9: Reasonable - General condition of driveway splay. Minor cracking and spalling observed.





Figure 10: Reasonable - General condition of kerb and gutter.



Figure 11: Reasonable - General condition of kerb and gutter. Minor cracking observed.



Figure 12: Reasonable - General condition of kerb and gutter.





Figure 13: Reasonable - General condition of kerb and gutter and kerb outlet.



Figure 14: Reasonable - General condition of kerb and gutter.



Figure 15: Reasonable - General condition of kerb and gutter. Minor spalling observed.





Figure 16: Reasonable - General condition of kerb and gutter.



Figure 17: Reasonable - General condition of kerb and gutter.

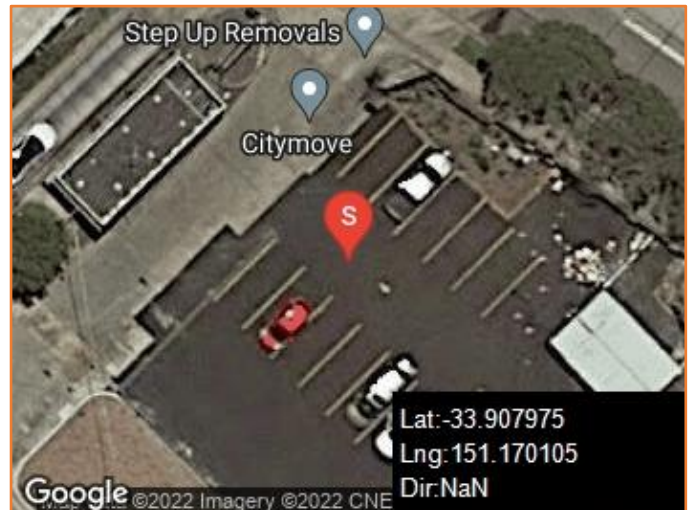


Figure 18: Reasonable - General condition of kerb inlet pit.





Figure 19: Reasonable - General condition of kerb inlet pit. Minor cracking observed.

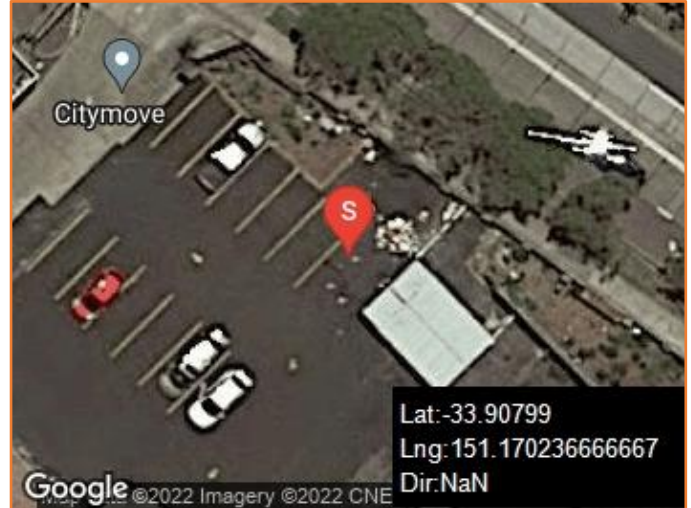


Figure 20: Reasonable - General condition of driveway layback.



Figure 21: Reasonable - General condition of flexible pavement. Minor physical damage observed.





Figure 22: Reasonable - General condition of kerb and gutter. Major spalling observed.



Figure 23: Reasonable - General condition of kerb and gutter.



Figure 24: Reasonable - General condition of kerb and gutter. Minor spalling observed.





Figure 25: Reasonable - General condition of kerb and gutter. Minor spalling observed.



Lat: -33.908095
Lng: 151.170395
Dir: NaN



Figure 26: Reasonable - General condition of kerb and gutter. Minor spalling observed.



Lat: -33.9081183333333
Lng: 151.170425
Dir: NaN



Figure 27: Reasonable - General condition of driveway layback.



Lat: -33.90813
Lng: 151.170435
Dir: NaN





Figure 28: Reasonable - General condition of driveway layback. Minor cracking observed.

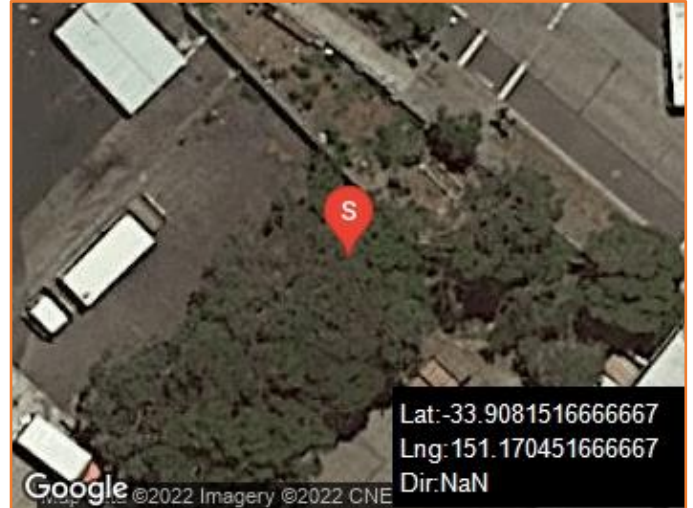


Figure 29: Reasonable - General condition of kerb and gutter. Minor cracking observed.

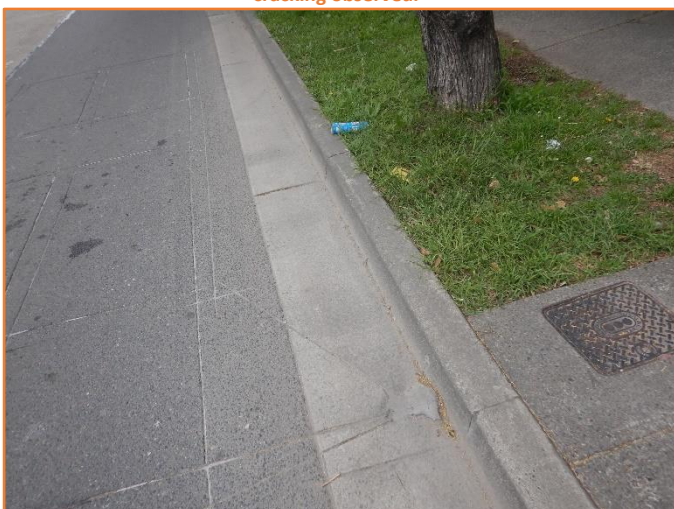


Figure 30: Reasonable - General condition of kerb and gutter. Minor cracking observed.





Figure 31: Reasonable - General condition of kerb and gutter.

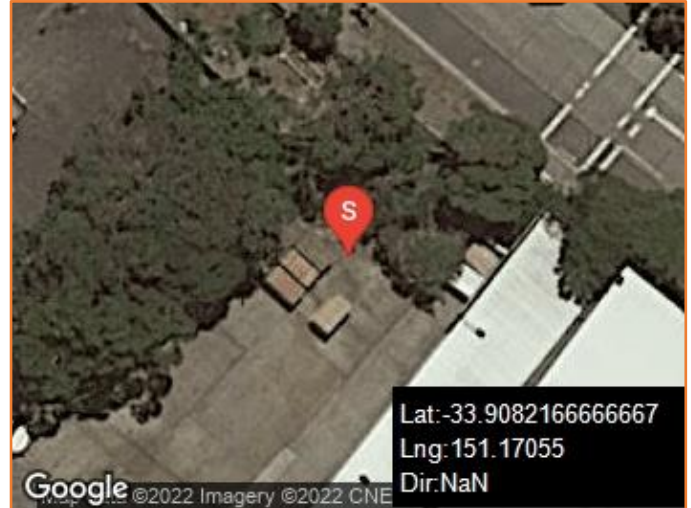


Figure 32: Reasonable - General condition of kerb inlet pit.



Figure 33: Reasonable - General condition of kerb and gutter. Minor cracking observed.





Figure 34: Reasonable - General condition of kerb and gutter.



Figure 35: Reasonable - General condition of kerb and gutter.



Figure 36: Reasonable - General condition of kerb and gutter.

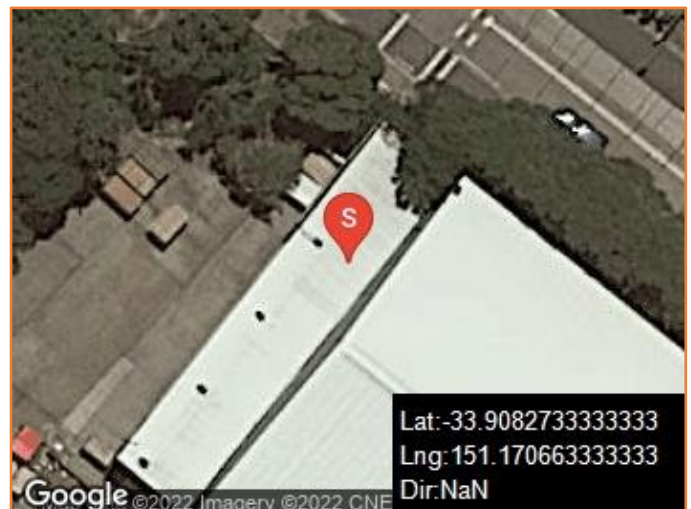




Figure 37: Reasonable - General condition of kerb and gutter.

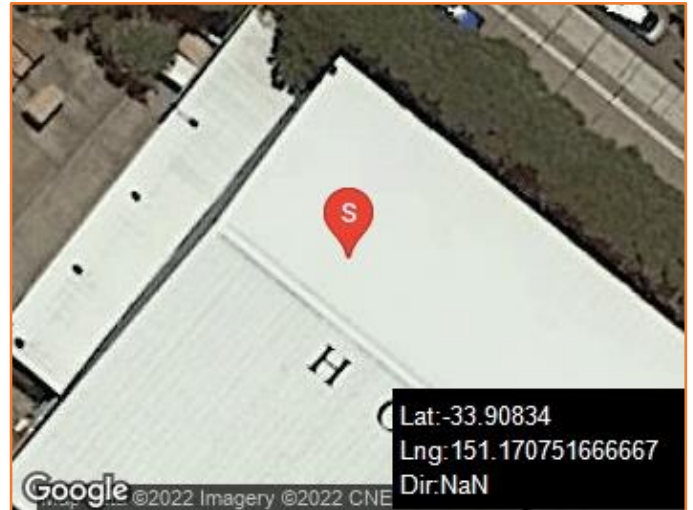


Figure 38: Reasonable - General condition of kerb inlet pit.

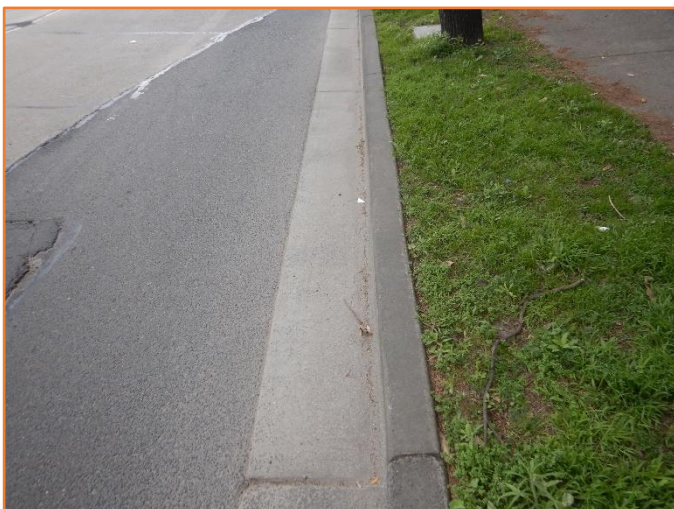
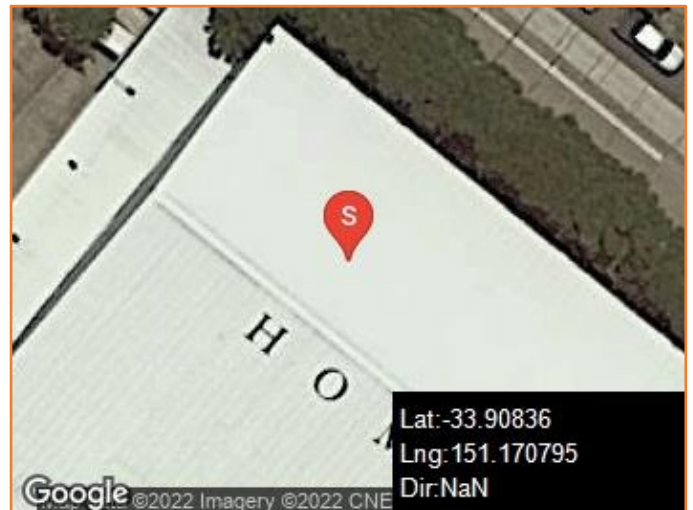


Figure 39: Reasonable - General condition of kerb and gutter.

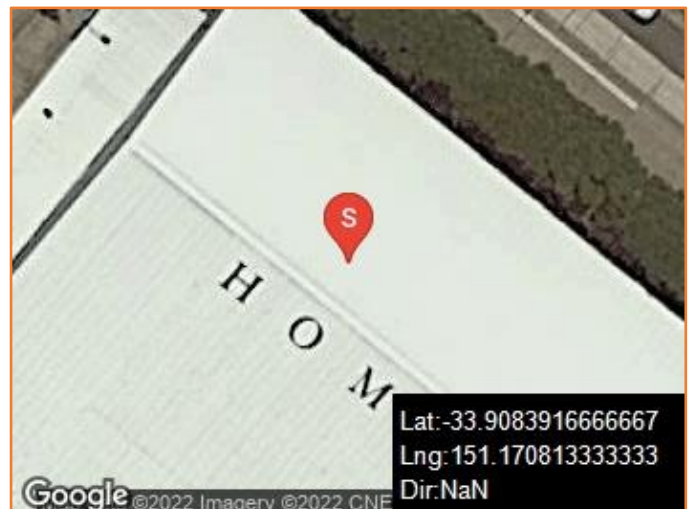




Figure 40: Reasonable - General condition of kerb and gutter. Minor cracking observed.

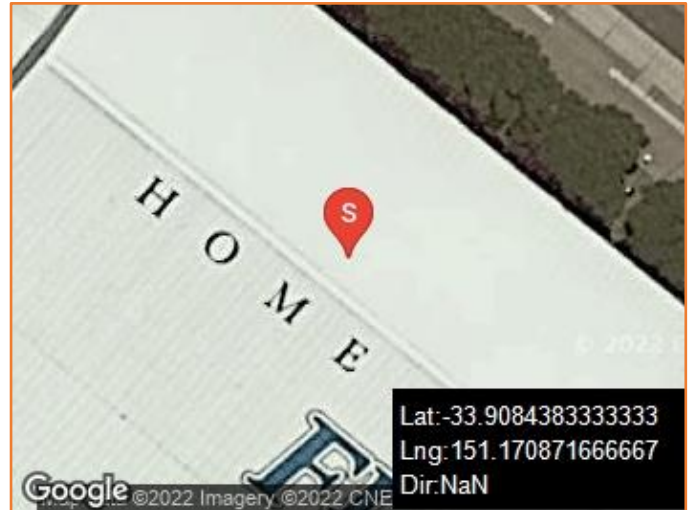


Figure 41: Reasonable - General condition of kerb and gutter.

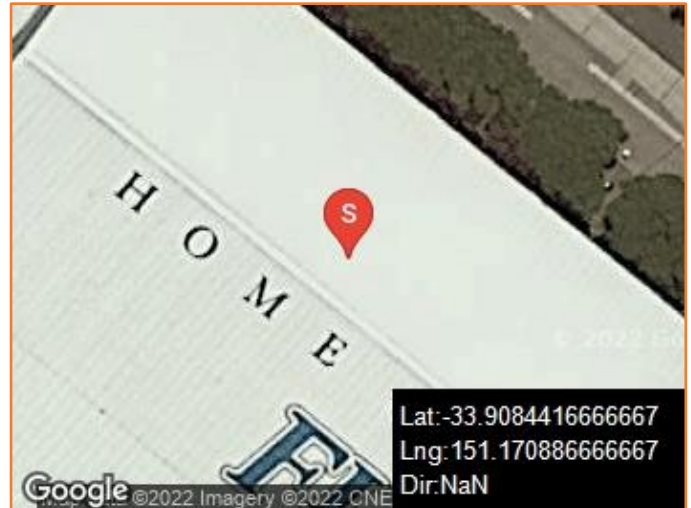


Figure 42: Reasonable - General condition of kerb and gutter.

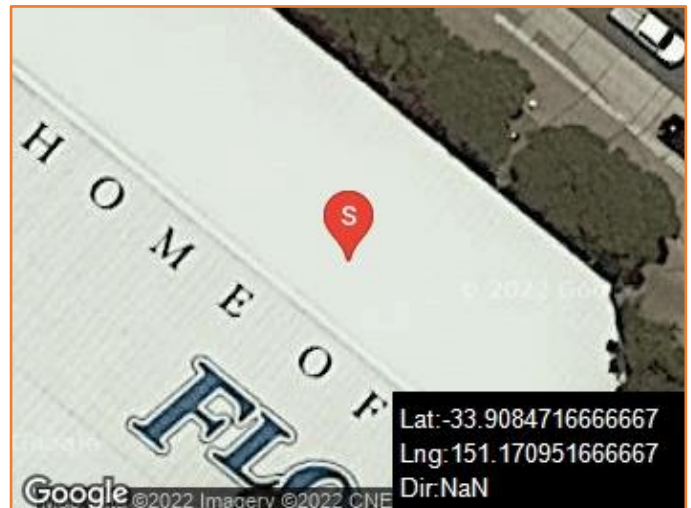




Figure 43: Reasonable - General condition of kerb and gutter. Minor hairline cracking observed.

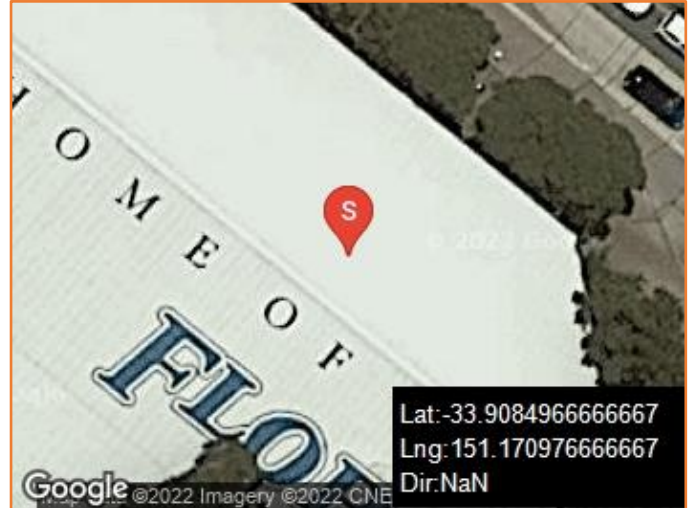


Figure 44: Reasonable - General condition of kerb and gutter.

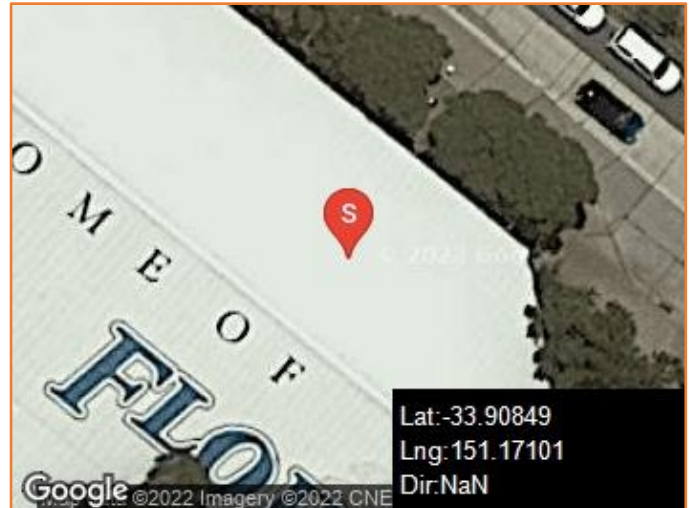


Figure 45: Reasonable - General condition of kerb and gutter.

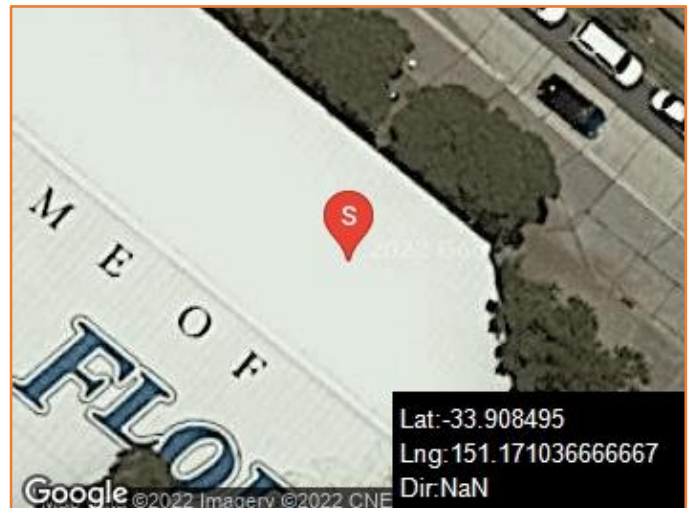




Figure 46: Poor - General condition of flexible pavement. Extensive cracking observed. Previous repairs observed.



Figure 47: Reasonable - General condition of service pit.



Figure 48: Poor - General condition of flexible pavement. Extensive cracking observed. Previous repairs observed.

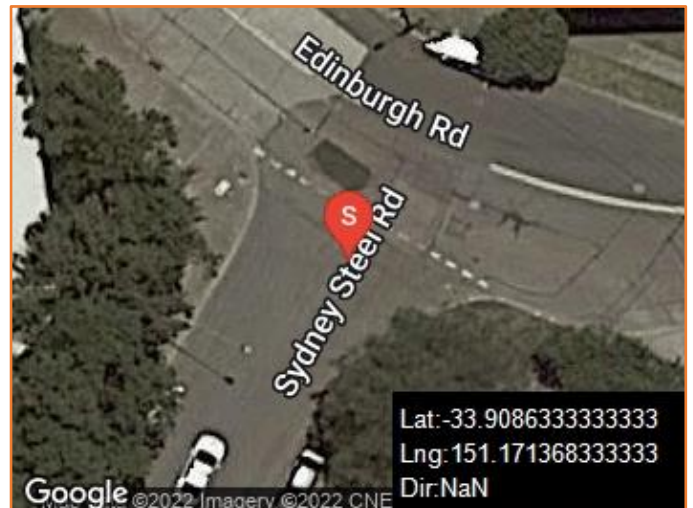




Figure 49: Poor - General condition of flexible pavement. Extensive cracking observed. Previous repairs observed.

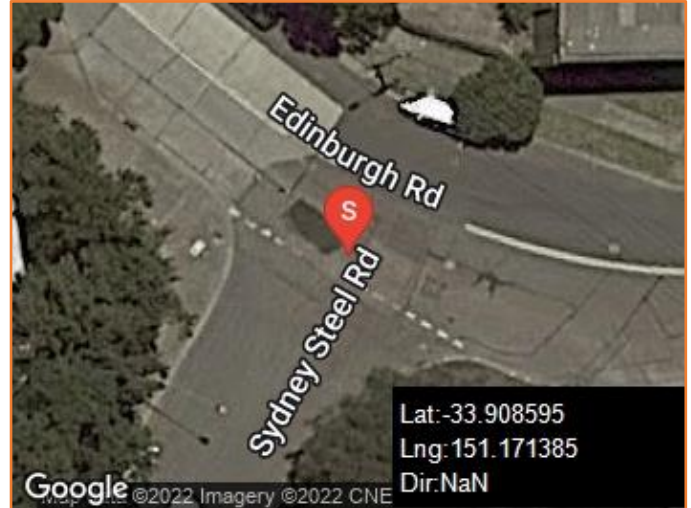


Figure 50: Poor - General condition of flexible pavement. Extensive cracking observed. Previous repairs observed.



Figure 51: Reasonable - General condition of flexible pavement. Minor cracking observed.





Figure 52: Reasonable - General condition of service pit. Minor cracking observed.

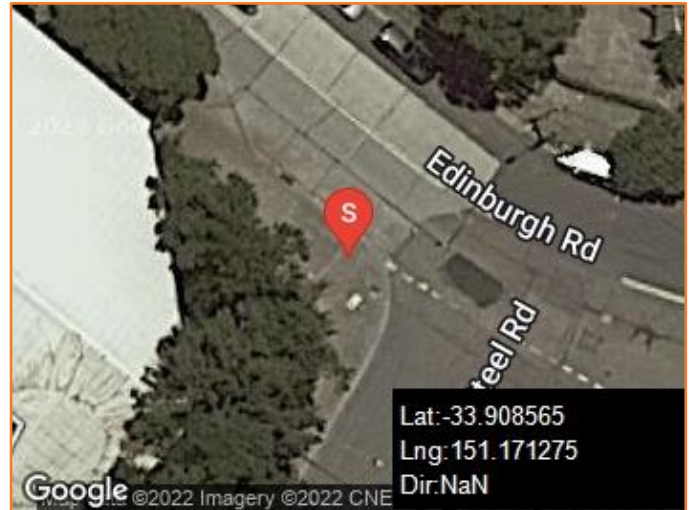


Figure 53: Reasonable - General condition of service pit. Minor cracking observed.

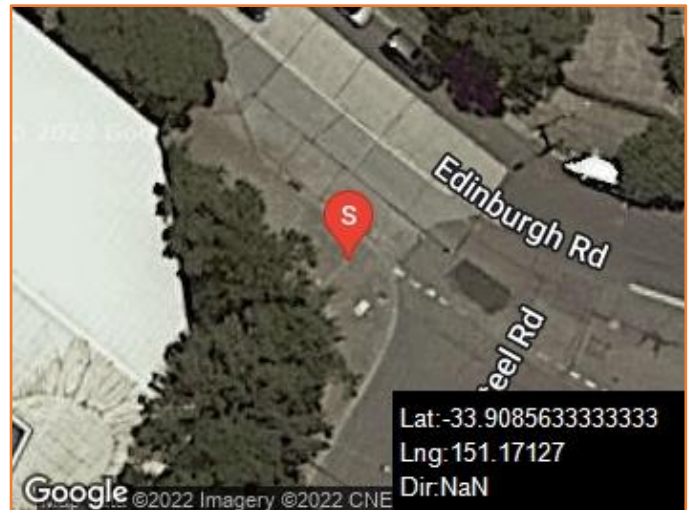


Figure 54: Reasonable - General condition of flexible pavement.





Figure 55: Reasonable - General condition of service pit.



Figure 56: Reasonable - General condition of service pit.

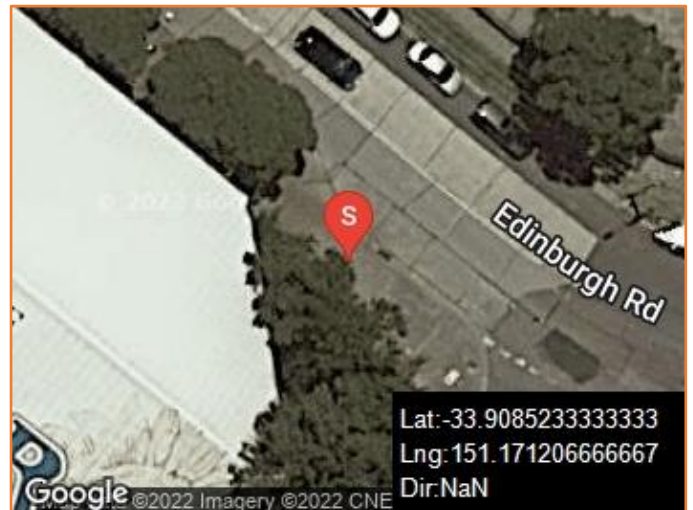


Figure 57: Reasonable - General condition of flexible and rigid pavement.

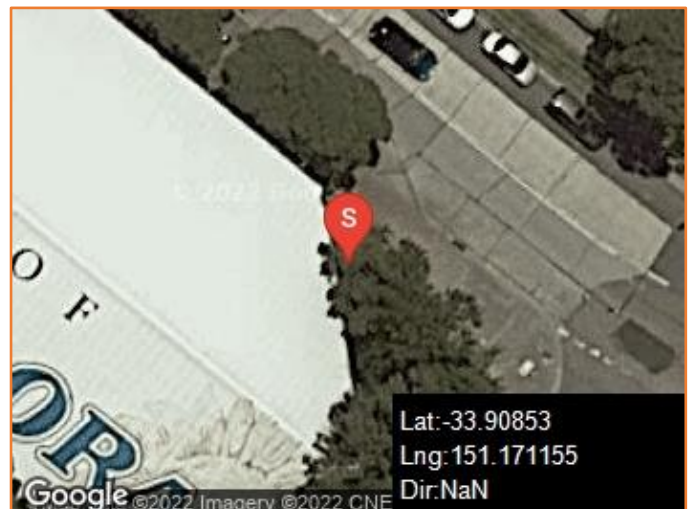




Figure 58: Reasonable - General condition of rigid pavement. Minor cracking observed.

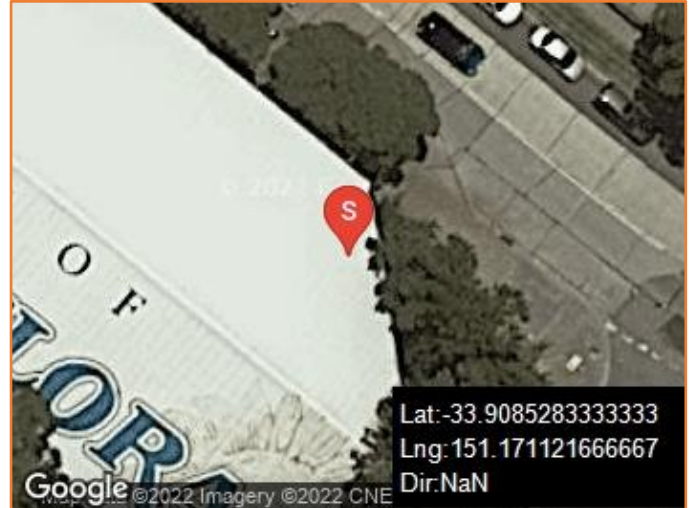


Figure 59: Reasonable - General condition of rigid pavement. Minor cracking observed.



Figure 60: Reasonable - General condition of rigid pavement. Minor cracking observed.

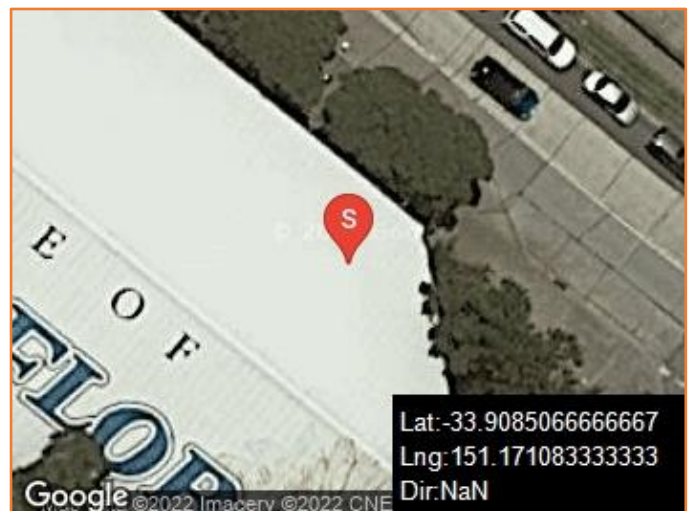




Figure 61: Reasonable - General condition of rigid pavement. Minor cracking observed.

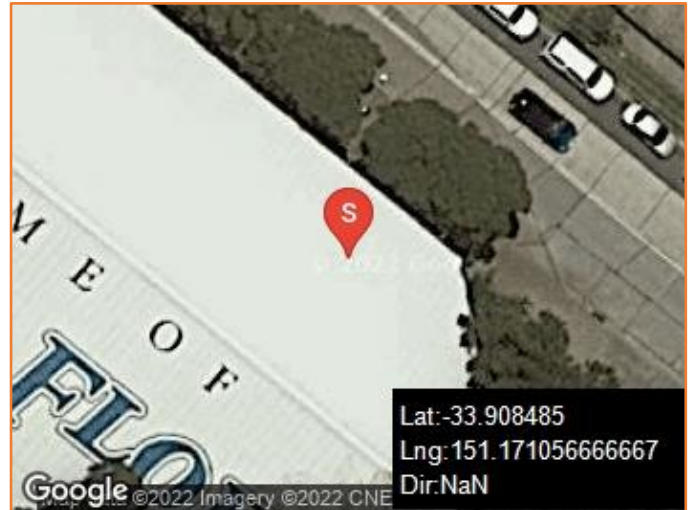


Figure 62: Reasonable - General condition of flexible and rigid pavement. Minor cracking observed.



Figure 63: Reasonable - General condition of flexible and rigid pavement. Minor cracking observed.





Figure 64: Reasonable - General condition of rigid pavement.



Figure 65: Reasonable - General condition of flexible and rigid pavement.
 Minor cracking observed.

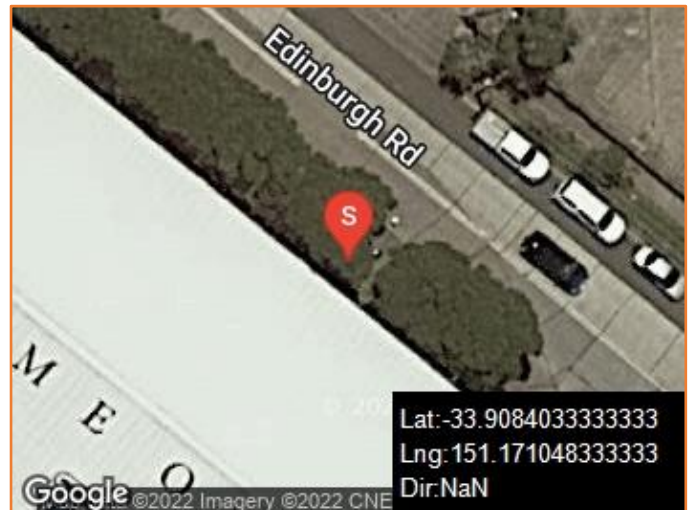


Figure 66: Reasonable - General condition of service pit. Minor cracking observed.





Figure 67: Reasonable - General condition of rigid pavement.

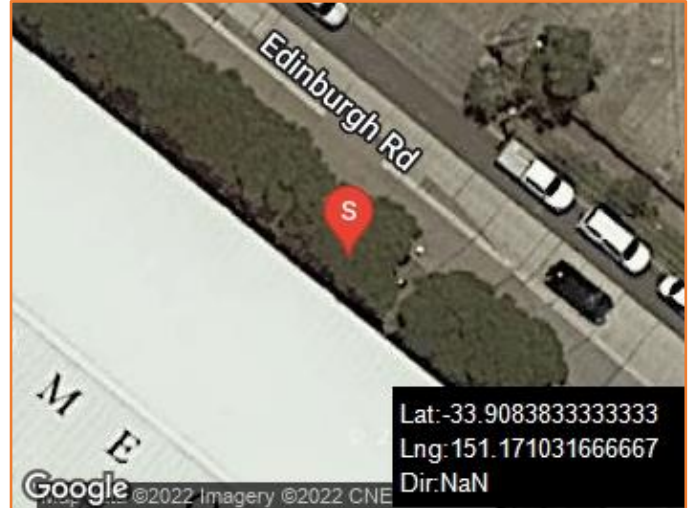


Figure 68: Reasonable - General condition of service pit.

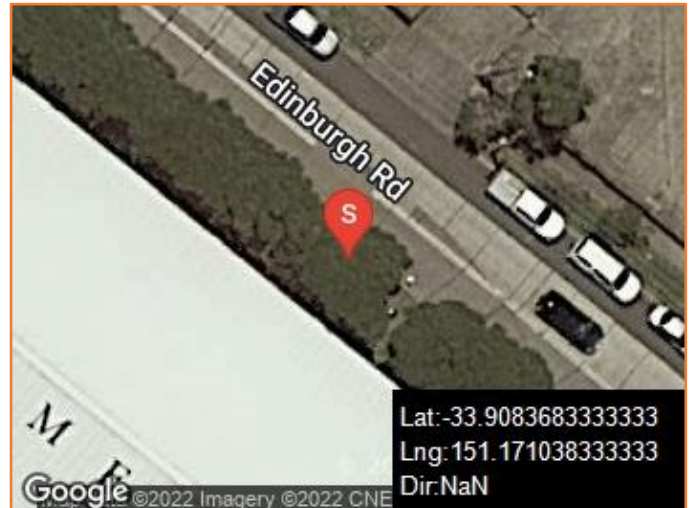


Figure 69: Reasonable - General condition of flexible and rigid pavement.
 Minor physical damage observed.





Figure 70: Reasonable - General condition of flexible and rigid pavement.

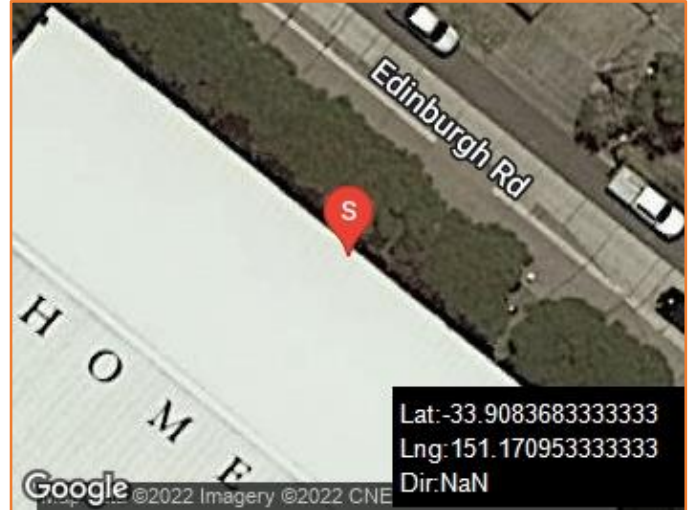


Figure 71: Reasonable - General condition of flexible and rigid pavement.



Figure 72: Reasonable - General condition of flexible and rigid pavement.





Figure 73: Reasonable - General condition of flexible and rigid pavement.



Figure 74: Reasonable - General condition of flexible and rigid pavement.

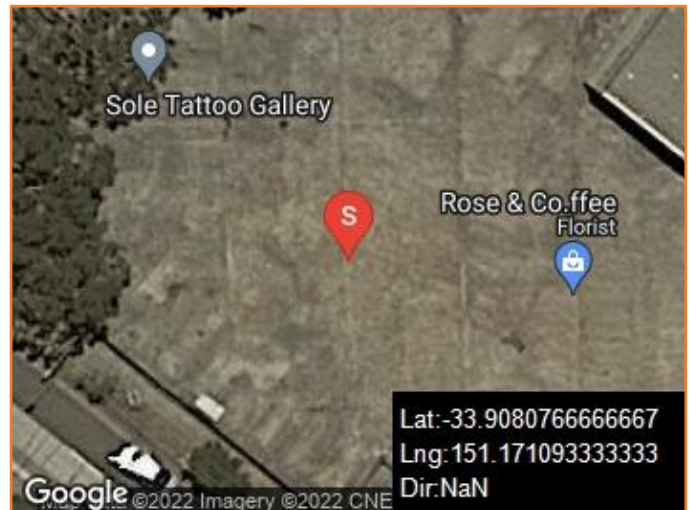


Figure 75: Reasonable - General condition of flexible and rigid pavement.

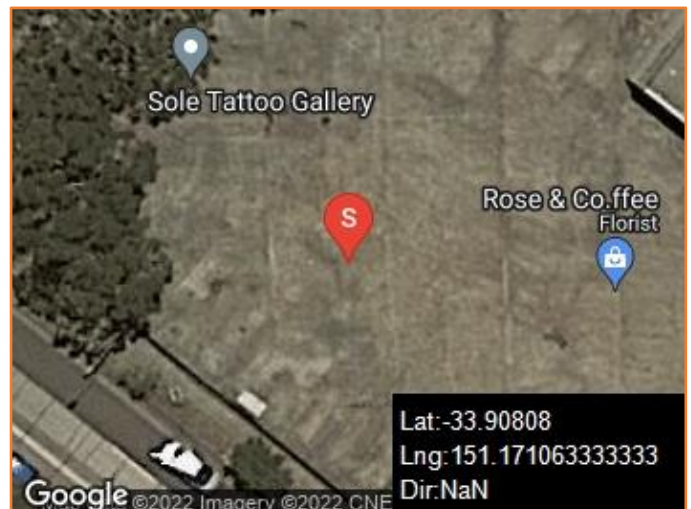




Figure 76: Reasonable - General condition of flexible and rigid pavement.



Figure 77: Reasonable - General condition of service pit.

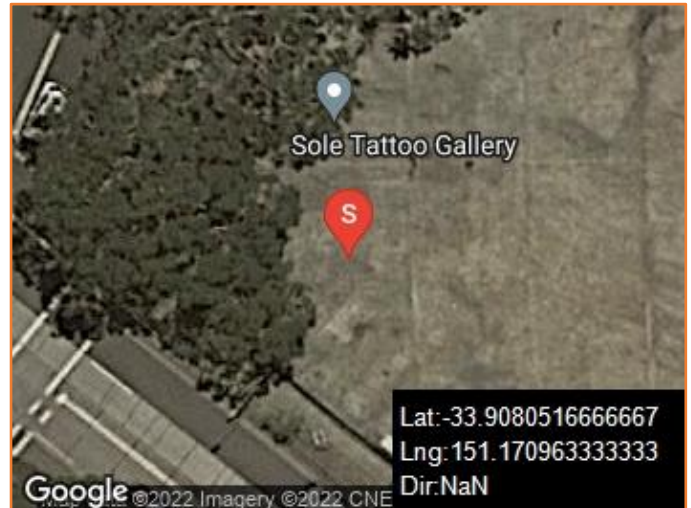


Figure 78: Reasonable - General condition of flexible and rigid pavement.





Figure 79: Reasonable - General condition of flexible and rigid pavement.



Figure 80: Reasonable - General condition of service pit.



Figure 81: Reasonable - General condition of flexible and rigid pavement.





Figure 82: Reasonable - General condition of flexible and rigid pavement.

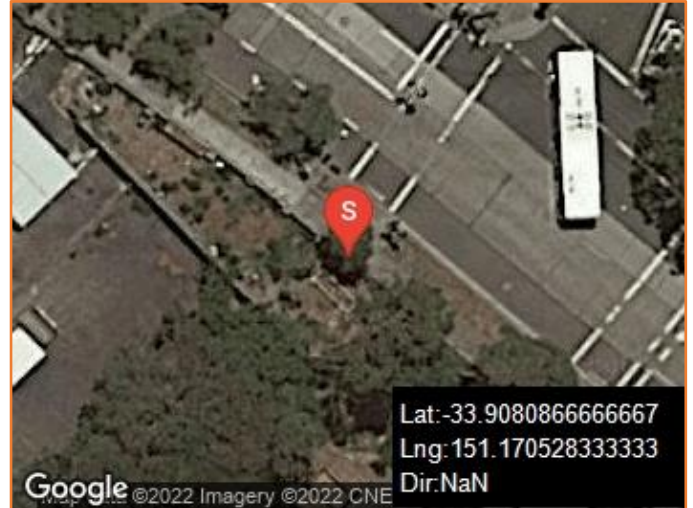


Figure 83: Reasonable - General condition of flexible and rigid pavement.
 Minor cracking observed.



Figure 84: Reasonable - General condition of service pit. Minor cracking observed.





Figure 85: Reasonable - General condition of flexible and rigid pavement.



Figure 86: Reasonable - General condition of flexible and rigid pavement.



Figure 87: Reasonable - General condition of flexible and rigid pavement.





Figure 88: Reasonable - General condition of flexible and rigid pavement.



Figure 89: Reasonable - General condition of flexible and rigid pavement.



Figure 90: Reasonable - General condition of flexible and rigid pavement.





Figure 91: Reasonable - General condition of flexible and rigid pavement.



Figure 92: Reasonable - General condition of traffic island and signage.
 Minor rotation observed.



Figure 93: Reasonable - General condition of flexible and rigid pavement.

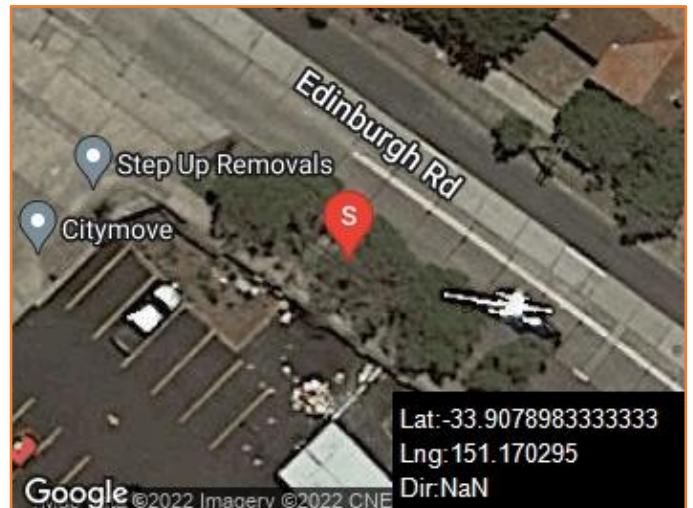




Figure 94: Reasonable - General condition of traffic island and signage.

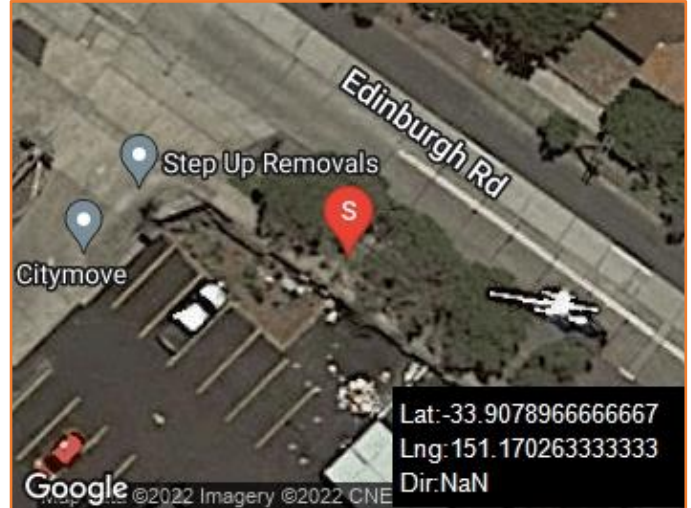


Figure 95: Reasonable - General condition of service pit.



Figure 96: Reasonable - General condition of flexible and rigid pavement.





Figure 97: Reasonable - General condition of rigid pavement. Minor cracking observed.



Figure 98: Reasonable - General condition of rigid pavement. Minor cracking observed.

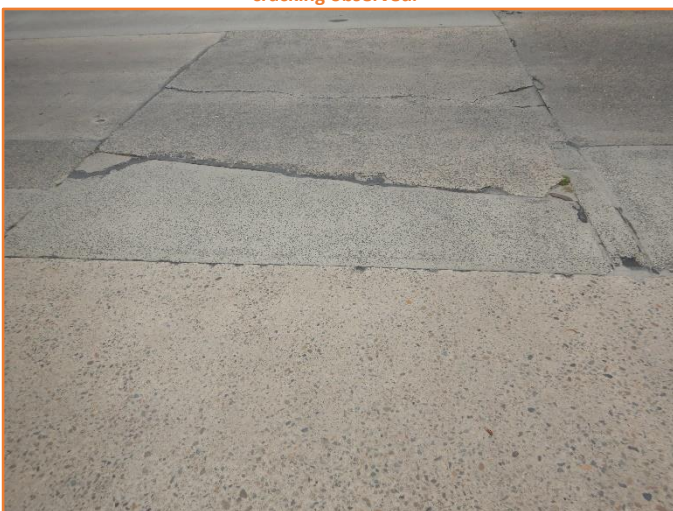
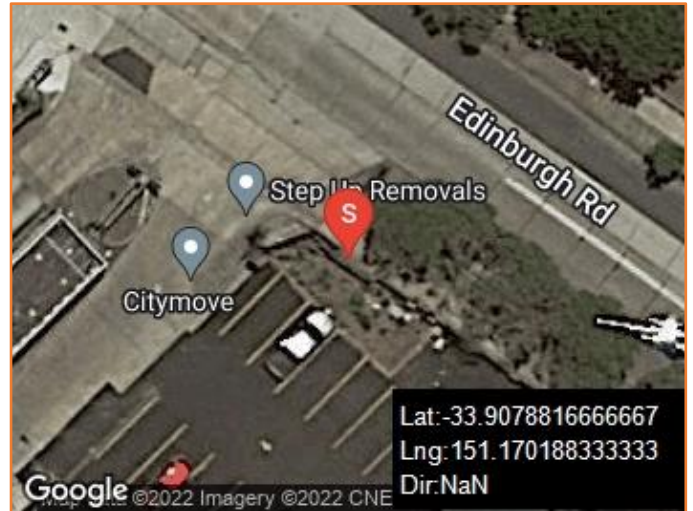


Figure 99: Reasonable - General condition of rigid pavement. Extensive cracking observed.





Figure 100: Reasonable - General condition of rigid pavement. Extensive cracking observed.



Figure 101: Reasonable - General condition of rigid pavement. Extensive cracking observed.

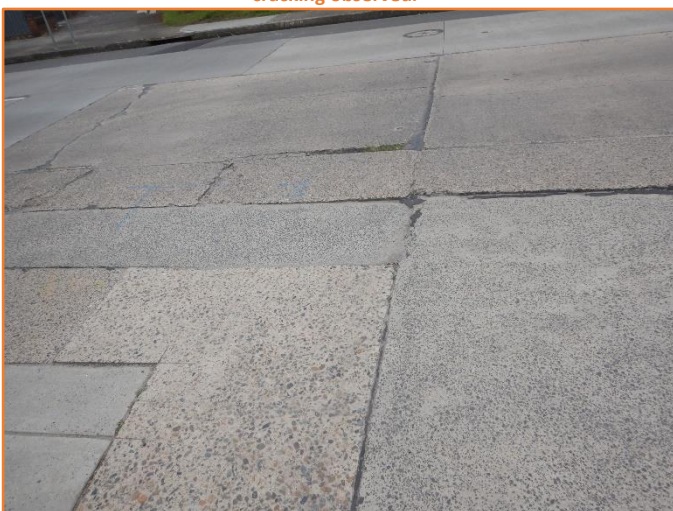


Figure 102: Reasonable - General condition of rigid pavement. Extensive cracking observed.





Figure 103: Reasonable - General condition of rigid pavement. Extensive cracking observed.



Figure 104: Reasonable - General condition of flexible and rigid pavement. Minor cracking observed.

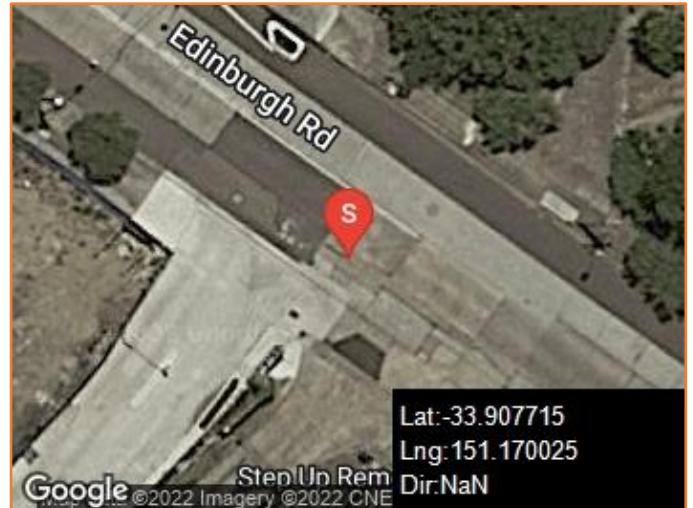


Figure 105: Reasonable - General condition of flexible pavement.





Figure 106: Reasonable - General condition of flexible pavement.



Figure 107: Reasonable - General condition of service pit.



Figure 108: Reasonable - General condition of flexible and rigid pavement.





Figure 109: Reasonable - General condition of flexible and rigid pavement.
 Minor cracking observed.



Figure 110: Reasonable - General condition of flexible and rigid pavement.
 Minor cracking observed.



Figure 111: Reasonable - General condition of flexible and rigid pavement.





Figure 112: Reasonable - General condition of footpath and service pit.



Figure 113: Reasonable - General condition of street planting.

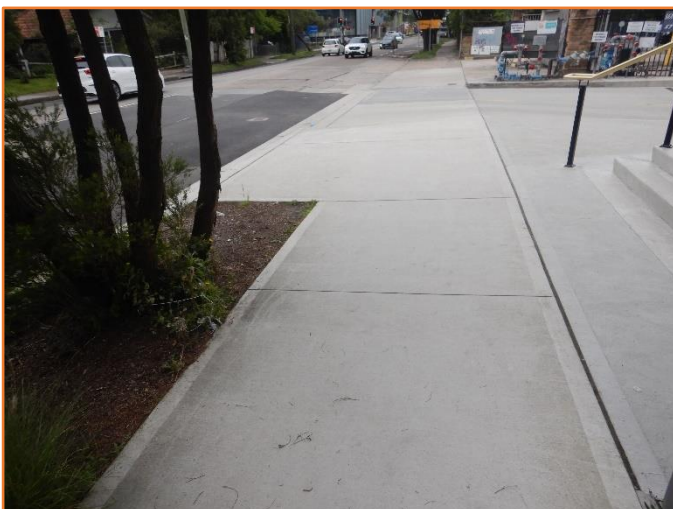
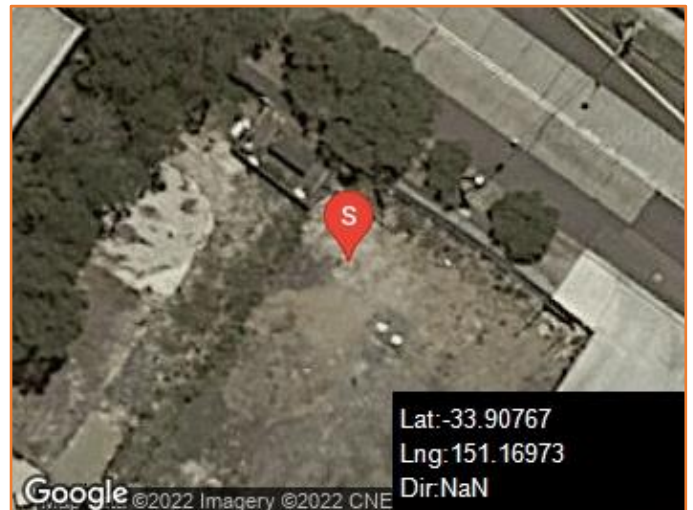


Figure 114: Reasonable - General condition of footpath.





Figure 115: Reasonable - General condition of footpath.



Figure 116: Reasonable - General condition of footpath.



Figure 117: Reasonable - General condition of service pit.





Figure 118: Reasonable - General condition of driveway crossover.



Figure 119: Reasonable - General condition of driveway crossover. Minor cracking observed.



Figure 120: Reasonable - General condition of driveway crossover. Minor cracking observed.





Figure 121: Reasonable - General condition of driveway crossover.



Figure 122: Reasonable - General condition of driveway crossover. Major cracking observed.

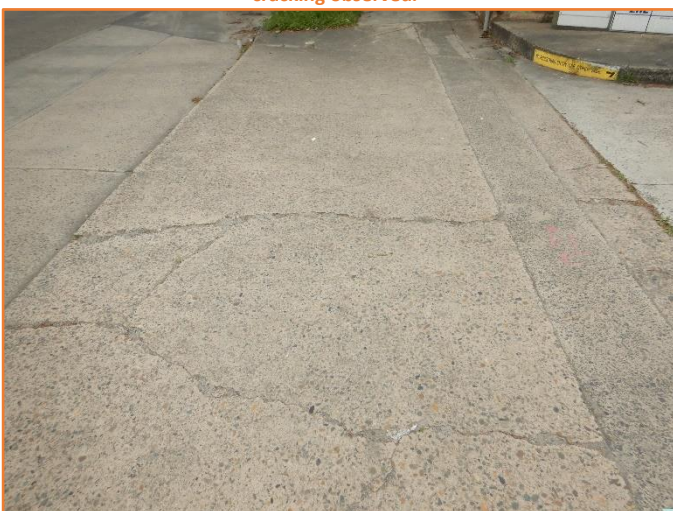


Figure 123: Reasonable - General condition of driveway crossover. Major cracking observed.





Figure 124: Reasonable - General condition of footpath. Major cracking observed.



Figure 125: Reasonable - General condition of footpath.



Figure 126: Reasonable - General condition of signage.





Figure 127: Reasonable - General condition of service pit.



Figure 128: Reasonable - General condition of street planting.



Figure 129: Reasonable - General condition of footpath.



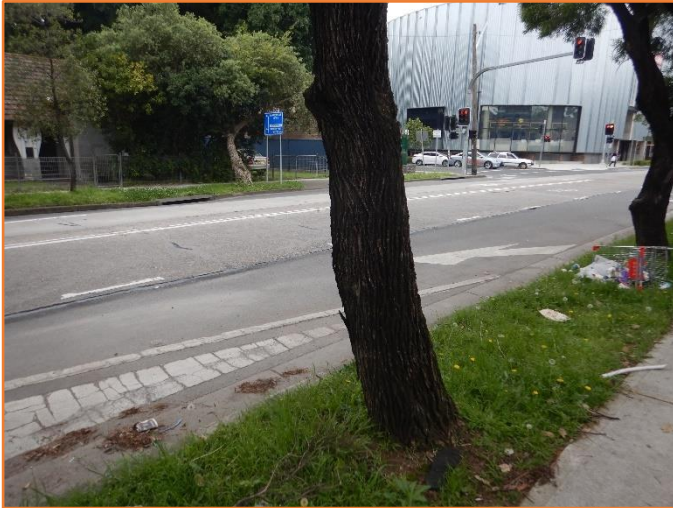


Figure 130: Reasonable - General condition of street planting.



Figure 131: Reasonable - General condition of footpath.

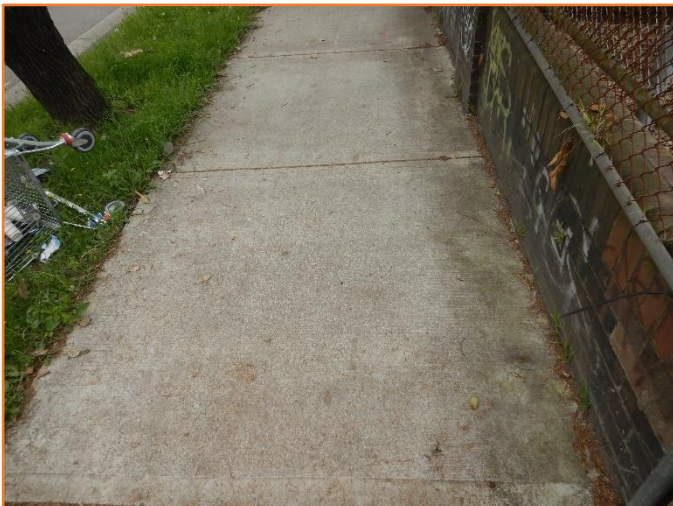
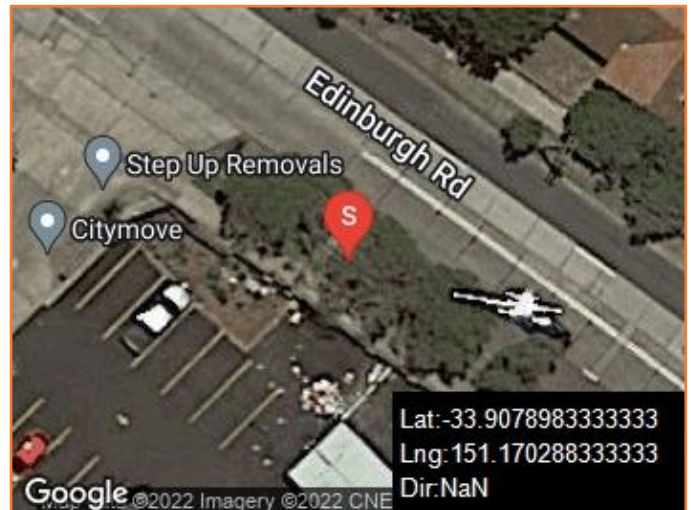


Figure 132: Reasonable - General condition of footpath.





Figure 133: Reasonable - General condition of street planting.



Lat: -33.9079283333333
Lng: 151.170341666667
Dir: NaN

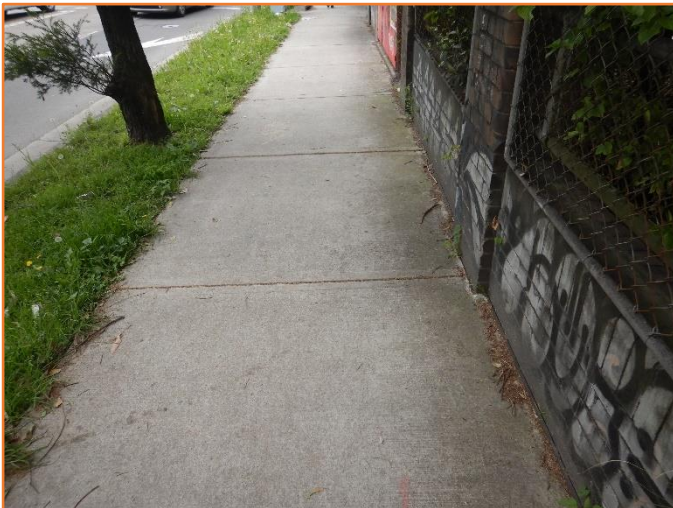


Figure 134: Reasonable - General condition of footpath.



Lat: -33.90793
Lng: 151.17035
Dir: NaN



Figure 135: Reasonable - General condition of street planting.



Lat: -33.9079433333333
Lng: 151.170373333333
Dir: NaN





Figure 136: Reasonable - General condition of footpath.



Figure 137: Reasonable - General condition of footpath.



Figure 138: Reasonable - General condition of monopole assembly and substation.





Figure 139: Reasonable - General condition of footpath.



Figure 140: Reasonable - General condition of inlet pit and service pit.



Figure 141: Reasonable - General condition of service pit.





Figure 142: Reasonable - General condition of service pit.



Figure 143: Reasonable - General condition of footpath.



Figure 144: Reasonable - General condition of service pit.

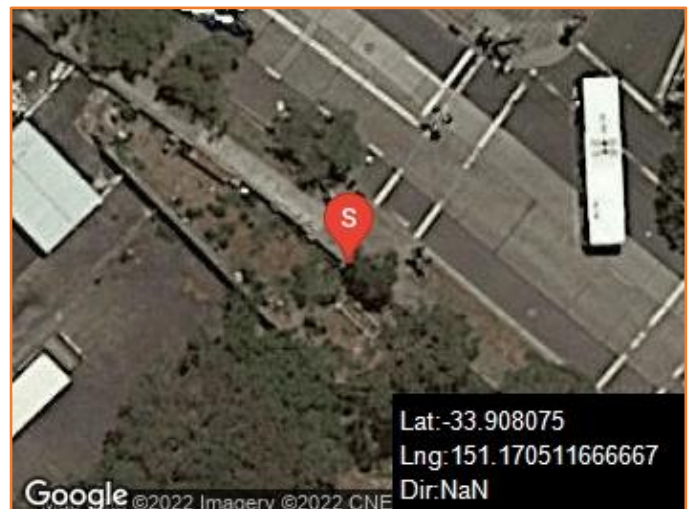




Figure 145: Reasonable - General condition of signage.



Figure 146: Reasonable - General condition of service pit.

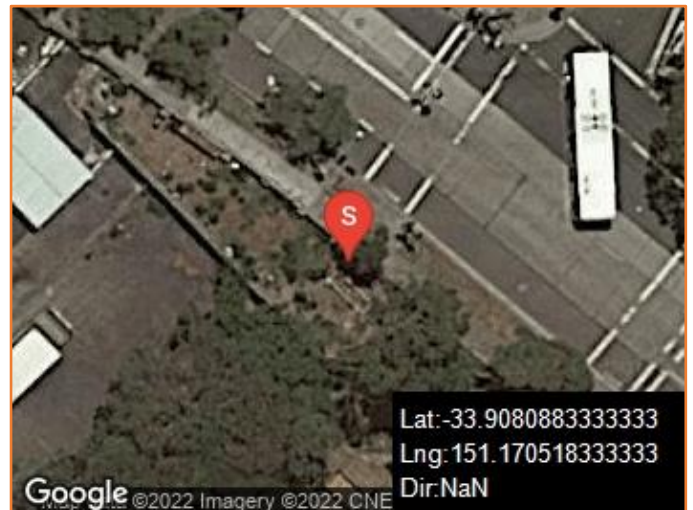


Figure 147: Reasonable - General condition of footpath.





Figure 148: Reasonable - General condition of footpath.



Figure 149: Reasonable - General condition of footpath.



Figure 150: Reasonable - General condition of footpath.





Figure 151: Reasonable - General condition of service pit.



Figure 152: Reasonable - General condition of substation.



Figure 153: Reasonable - General condition of service pit.





Figure 154: Reasonable - General condition of service pit.

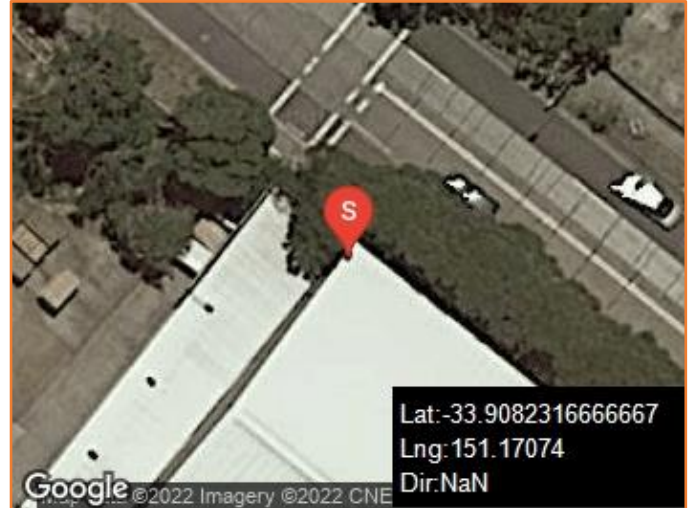


Figure 155: Reasonable - General condition of signage.



Figure 156: Reasonable - General condition of street planting.

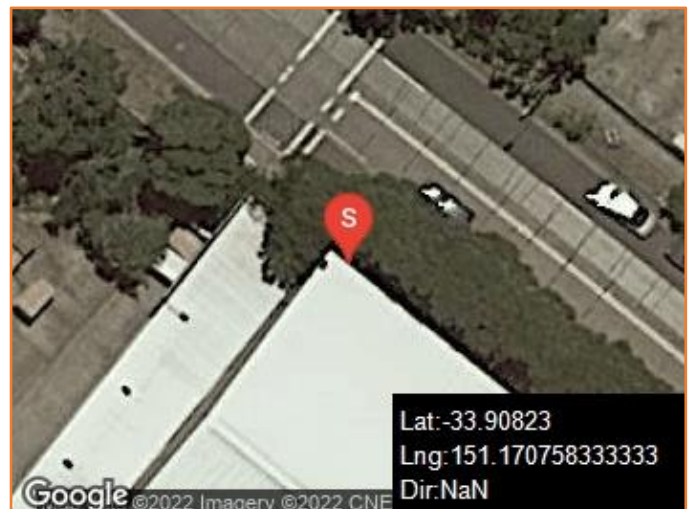




Figure 157: Reasonable - General condition of footpath.

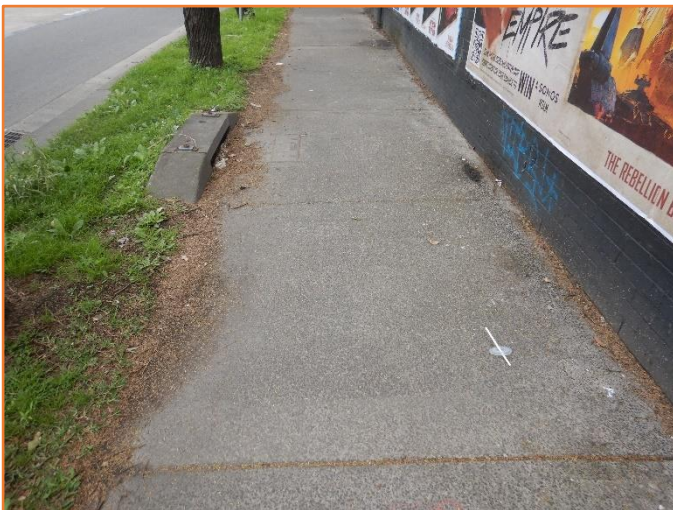


Figure 158: Reasonable - General condition of footpath.

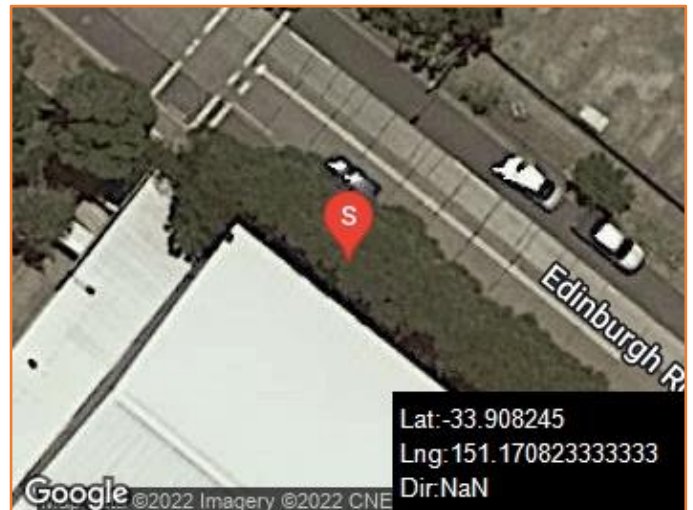


Figure 159: Reasonable - General condition of street planting.





Figure 160: Reasonable - General condition of inlet pit and service pit.



Figure 161: Reasonable - General condition of footpath.



Figure 162: Reasonable - General condition of street planting.





Figure 163: Reasonable - General condition of footpath.



Figure 164: Reasonable - General condition of street planting and signage.



Figure 165: Reasonable - General condition of footpath.





Figure 166: Reasonable - General condition of street planting.

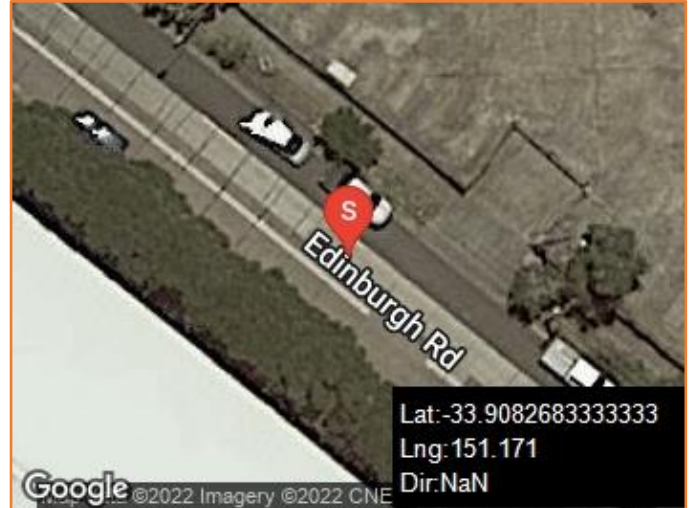


Figure 167: Reasonable - General condition of footpath.

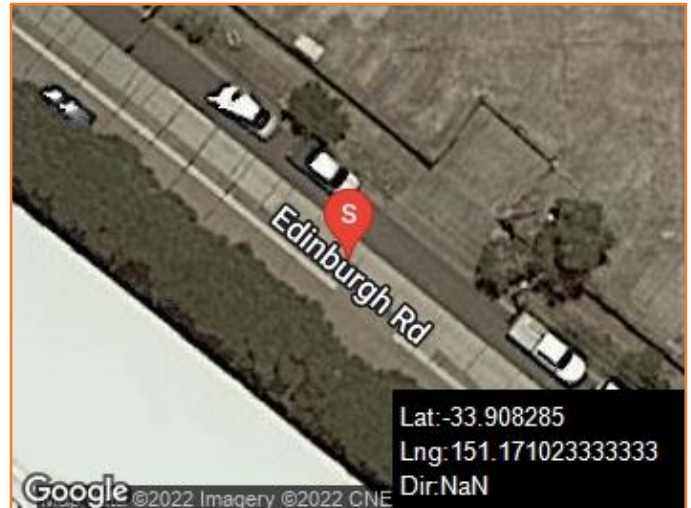


Figure 168: Reasonable - General condition of signage.





Figure 169: Reasonable - General condition of street planting.

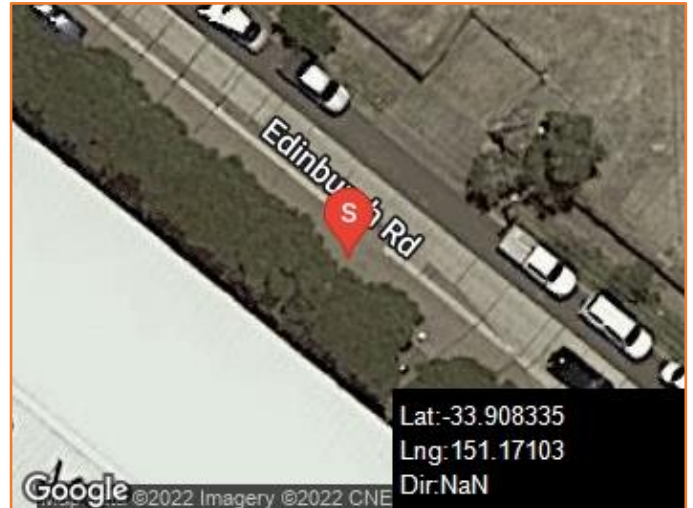


Figure 170: Reasonable - General condition of footpath.



Figure 171: Reasonable - General condition of Australian Post box.

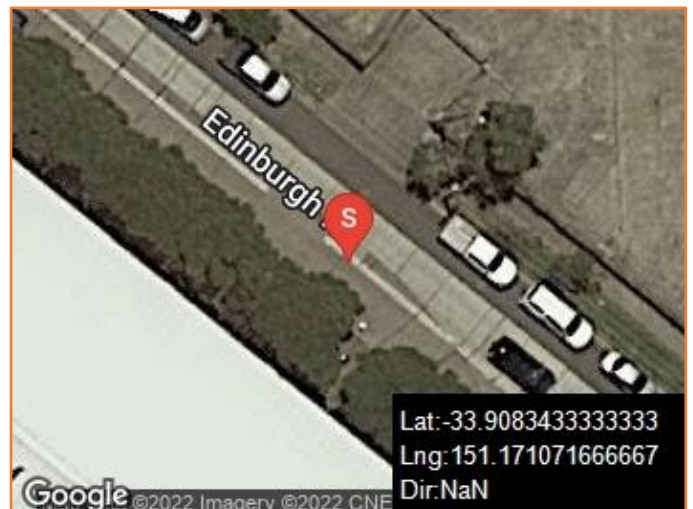




Figure 172: Reasonable - General condition of footpath.

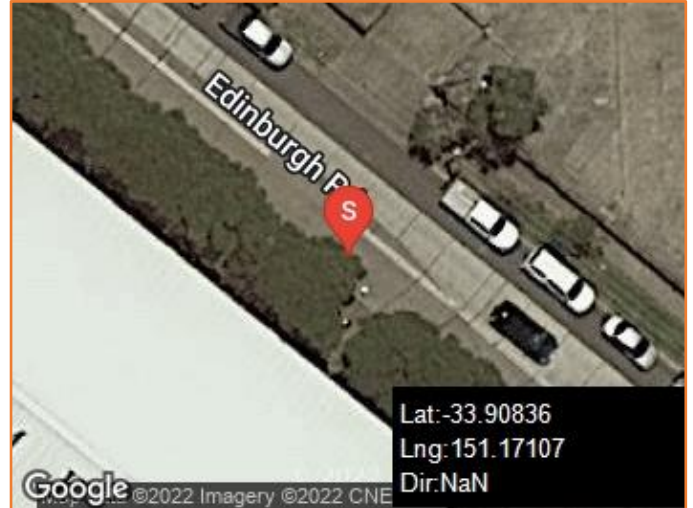


Figure 173: Reasonable - General condition of service pit.

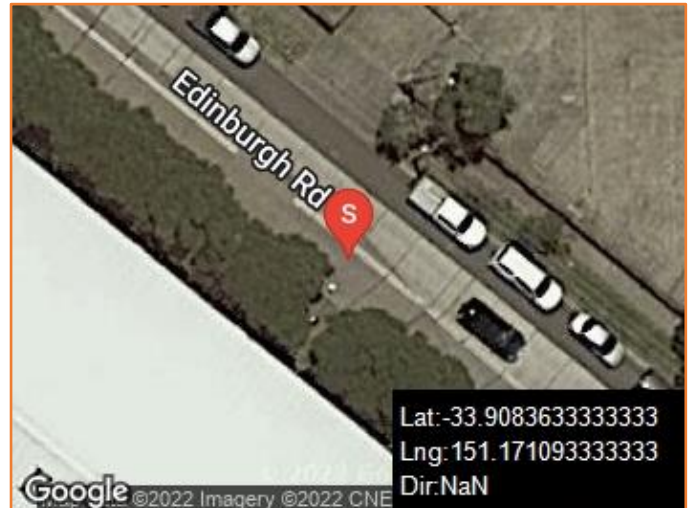


Figure 174: Reasonable - General condition of inlet pit and service pit.

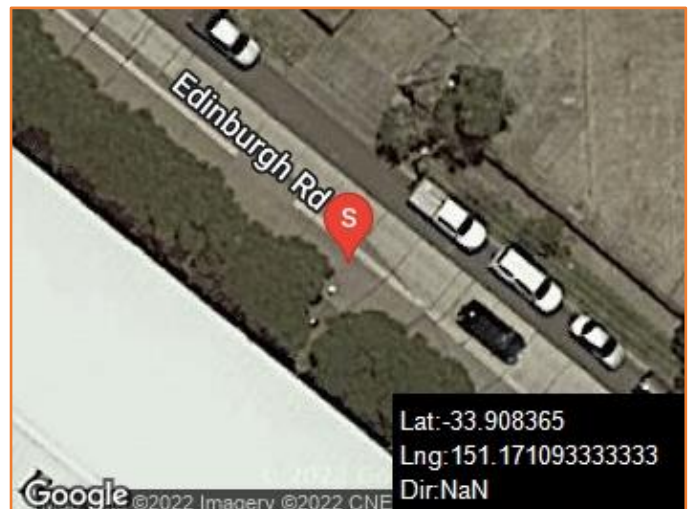




Figure 175: Reasonable - General condition of footpath.

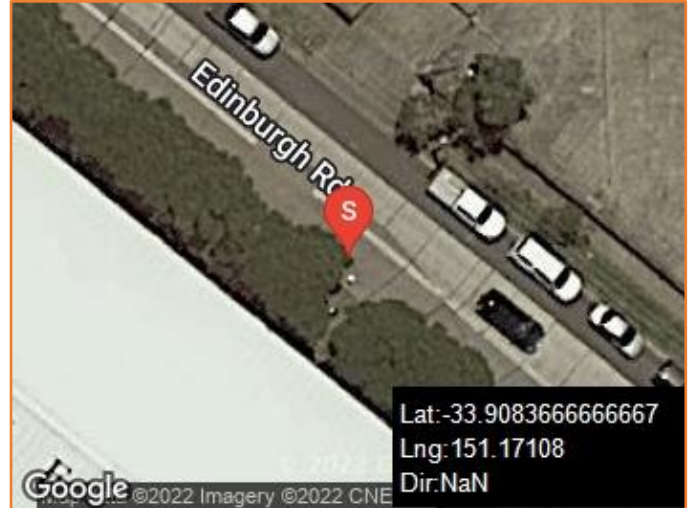


Figure 176: Reasonable - General condition of street planting.



Figure 177: Reasonable - General condition of footpath.





Figure 178: Reasonable - General condition of street planting.



Figure 179: Reasonable - General condition of service pit.



Figure 180: Reasonable - General condition of footpath.





Figure 181: Reasonable - General condition of street planting.



Figure 182: Reasonable - General condition of footpath. Previous repairs observed.



Figure 183: Reasonable - General condition of signage.





Figure 184: Reasonable - General condition of footpath.



Figure 185: Reasonable - General condition of footpath.



APPENDIX 'B' – SYDNEY STEEL ROAD



Figure 186: Reasonable - General condition of footpath. Minor cracking observed. Previous repairs observed.

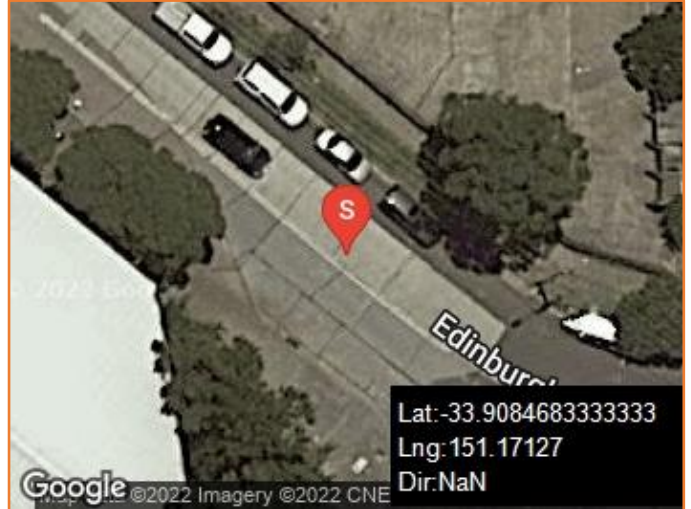


Figure 187: Reasonable - General condition of footpath. Minor cracking observed.

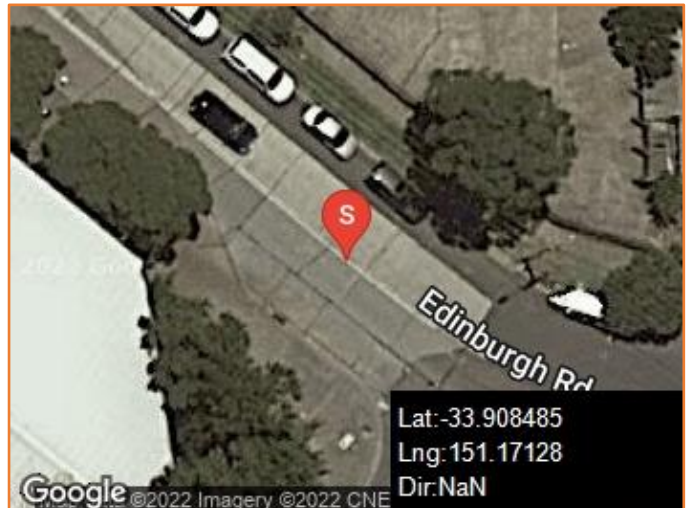


Figure 188: Reasonable - General condition of footpath. Minor cracking observed.

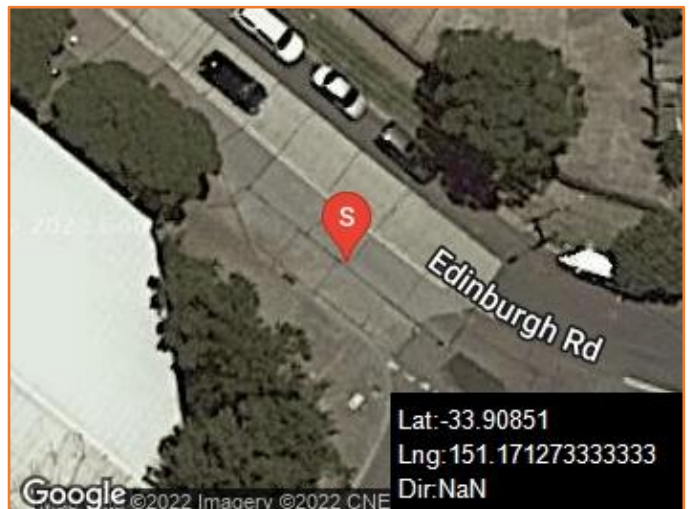




Figure 189: Reasonable - General condition of footpath.



Figure 190: Reasonable - General condition of flexible pavement. Minor physical damage observed.



Figure 191: Reasonable - General condition of flexible pavement. Minor physical damage observed.





Figure 192: Reasonable - General condition of flexible pavement. Minor cracking observed.



Figure 193: Reasonable - General condition of flexible pavement. Minor cracking observed.

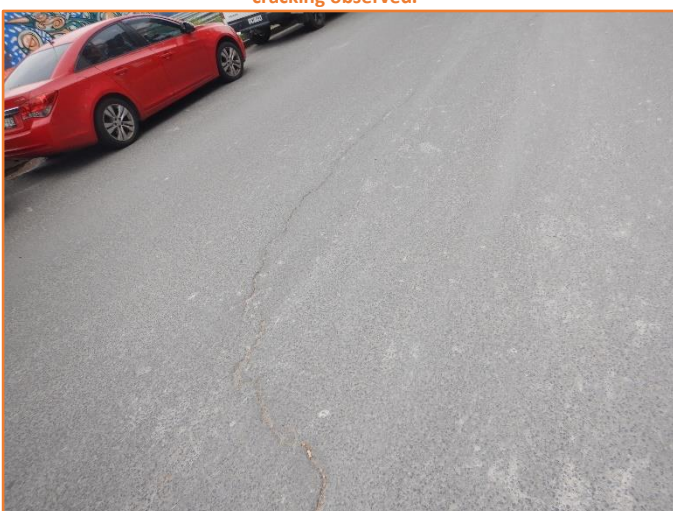


Figure 194: Reasonable - General condition of flexible pavement. Minor cracking observed.





Figure 195: Reasonable - General condition of flexible pavement.



Figure 196: Reasonable - General condition of flexible pavement. Minor cracking observed.



Figure 197: Reasonable - General condition of flexible pavement.

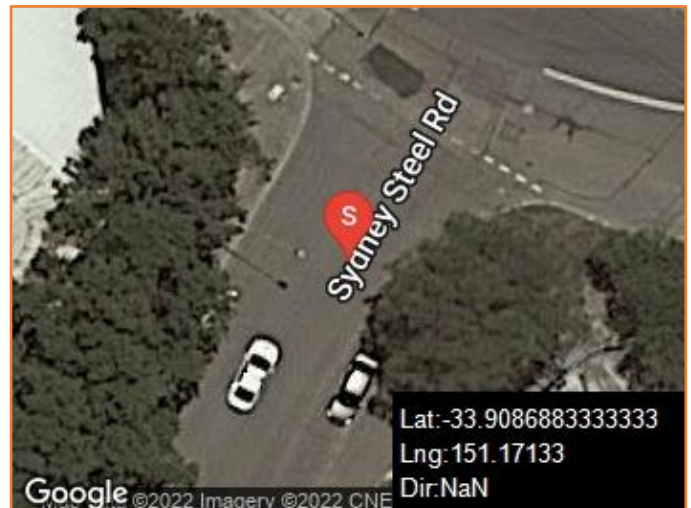




Figure 198: Reasonable - General condition of flexible pavement.



Figure 199: Reasonable - General condition of flexible pavement.



Figure 200: Reasonable - General condition of flexible pavement.





Figure 201: Reasonable - General condition of flexible pavement. Minor cracking observed. Previous repairs observed.



Figure 202: Reasonable - General condition of flexible pavement. Minor physical damage observed.



Figure 203: Reasonable - General condition of flexible pavement.





Figure 204: Reasonable - General condition of flexible pavement.

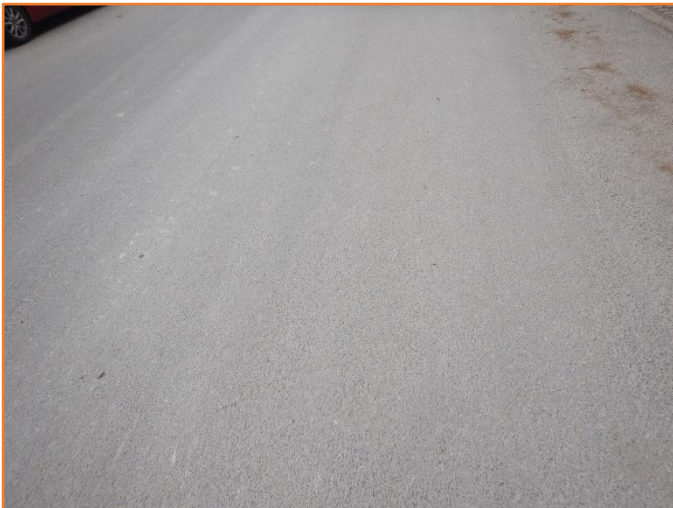


Figure 205: Reasonable - General condition of flexible pavement.



Figure 206: Reasonable - General condition of service pit.

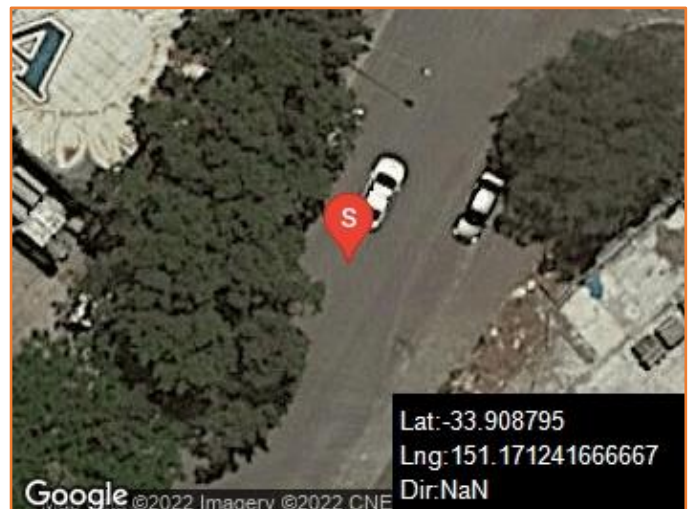




Figure 207: Reasonable - General condition of flexible pavement. Minor cracking observed.



Figure 208: Reasonable - General condition of flexible pavement. Major cracking observed.



Figure 209: Reasonable - General condition of flexible pavement.





Figure 210: Reasonable - General condition of flexible pavement.



Figure 211: Reasonable - General condition of flexible pavement. Minor cracking observed.

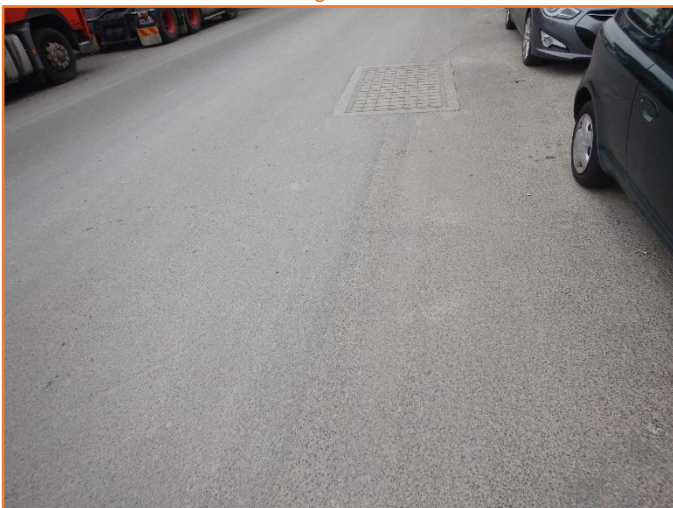


Figure 212: Reasonable - General condition of flexible pavement.





Figure 213: Reasonable - General condition of flexible pavement. Minor cracking observed.

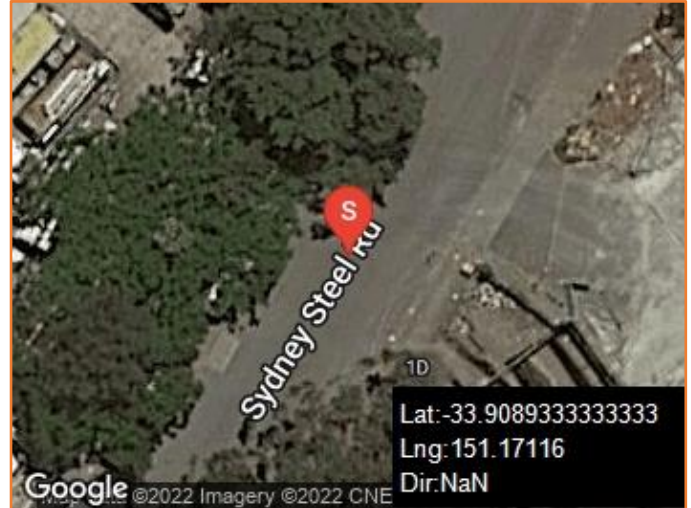


Figure 214: Reasonable - General condition of flexible pavement.



Figure 215: Reasonable - General condition of flexible pavement. Minor physical damage observed.





Figure 216: Reasonable - General condition of service pit.



Figure 217: Reasonable - General condition of flexible pavement. Minor cracking observed.

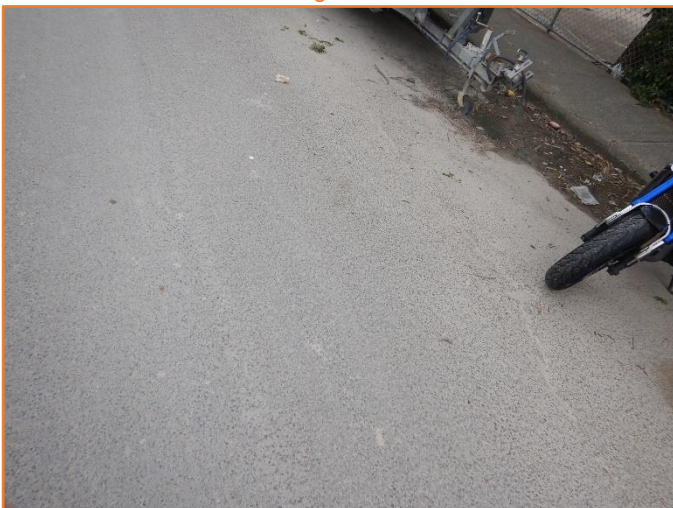


Figure 218: Reasonable - General condition of flexible pavement. Minor cracking observed.





Figure 219: Reasonable - General condition of flexible pavement. Minor cracking observed.

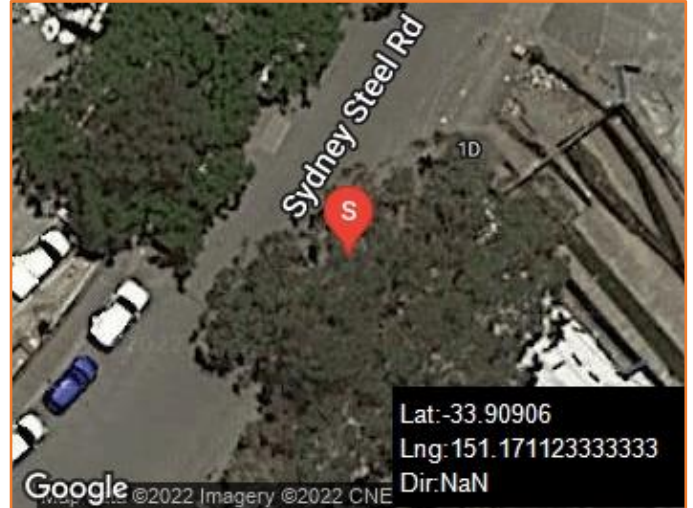


Figure 220: Reasonable - General condition of flexible pavement. Minor cracking observed.



Figure 221: Reasonable - General condition of flexible pavement. Major cracking observed.





Figure 222: Reasonable - General condition of flexible pavement. Minor cracking observed.



Figure 223: Reasonable - General condition of flexible pavement. Minor cracking observed.

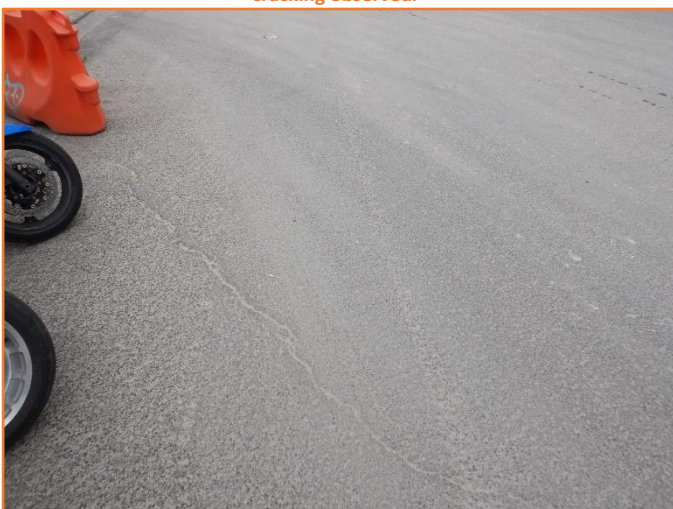


Figure 224: Reasonable - General condition of flexible pavement. Minor cracking observed.





Figure 225: Reasonable - General condition of flexible pavement. Minor cracking observed. Previous repairs observed.



Figure 226: Reasonable - General condition of flexible pavement. Minor cracking observed. Previous repairs observed.

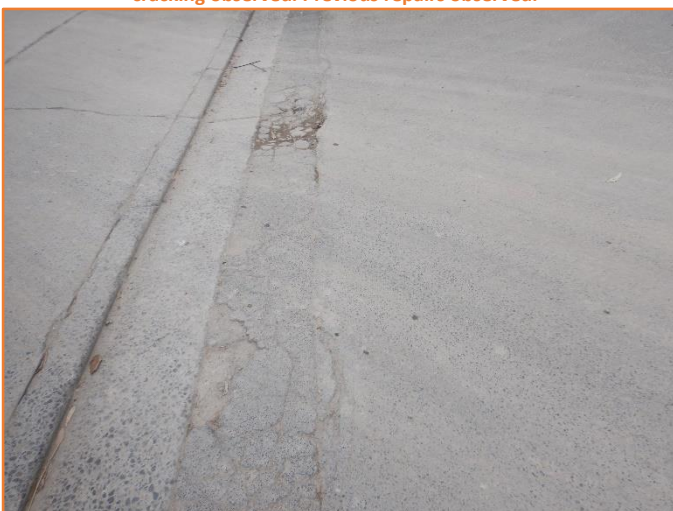


Figure 227: Reasonable - General condition of flexible pavement. Extensive cracking observed. Previous repairs observed.





Figure 228: Reasonable - General condition of flexible pavement. Extensive cracking observed. Previous repairs observed.



Figure 229: Reasonable - General condition of flexible pavement. Minor cracking observed.



Figure 230: Reasonable - General condition of flexible pavement. Minor physical damage observed.





Figure 231: Reasonable - General condition of flexible pavement. Minor cracking observed.



Figure 232: Reasonable - General condition of flexible pavement. Minor cracking observed.



Figure 233: Reasonable - General condition of flexible pavement.





Figure 234: Reasonable - General condition of flexible pavement. Major cracking observed.



Figure 235: Reasonable - General condition of flexible pavement. Major cracking observed.

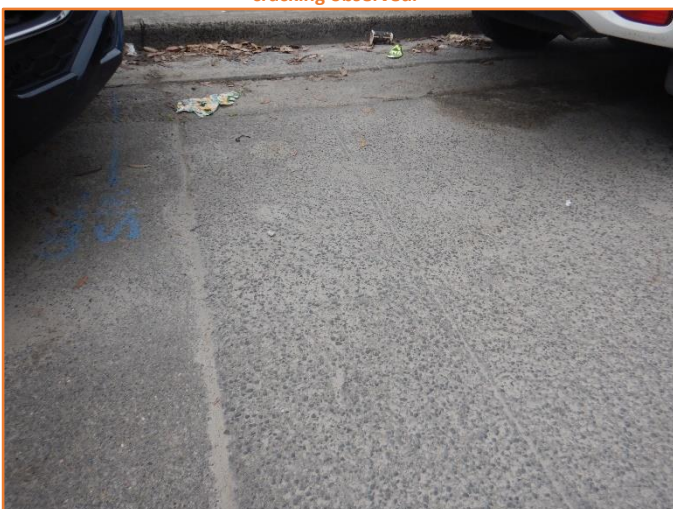


Figure 236: Reasonable - General condition of flexible pavement. Minor physical damage observed.





Figure 237: Reasonable - General condition of flexible pavement.



Figure 238: Reasonable - General condition of flexible pavement. Minor cracking observed.

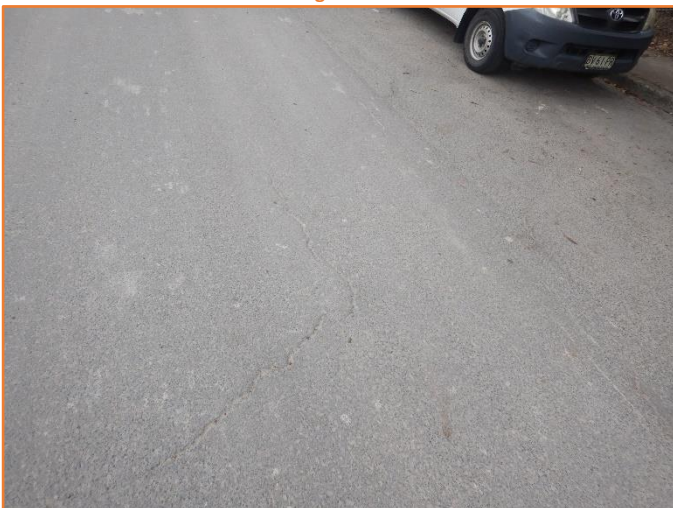


Figure 239: Reasonable - General condition of flexible pavement. Minor cracking observed.





Figure 240: Reasonable - General condition of flexible pavement.



Figure 241: Reasonable - General condition of flexible pavement.



Figure 242: Reasonable - General condition of flexible pavement. Minor cracking observed.





Figure 243: Reasonable - General condition of flexible pavement. Minor cracking observed.



Figure 244: Reasonable - General condition of flexible pavement.



Figure 245: Reasonable - General condition of flexible pavement. Minor cracking observed.





Figure 246: Reasonable - General condition of flexible pavement.



Figure 247: Reasonable - General condition of flexible pavement.



Figure 248: Reasonable - General condition of flexible pavement. Previous repairs observed.





Figure 249: Reasonable - General condition of flexible pavement.



Figure 250: Reasonable - General condition of flexible pavement. Major cracking observed.



Figure 251: Reasonable - General condition of flexible pavement. Major cracking observed.





Figure 252: Reasonable - General condition of flexible pavement. Major cracking observed.



Figure 253: Reasonable - General condition of flexible pavement. Minor physical damage observed.



Figure 254: Reasonable - General condition of flexible pavement.





Figure 255: Reasonable - General condition of flexible pavement.



Figure 256: Reasonable - General condition of flexible pavement.



Figure 257: Reasonable - General condition of flexible pavement.





Figure 258: Reasonable - General condition of flexible pavement. Major cracking observed.

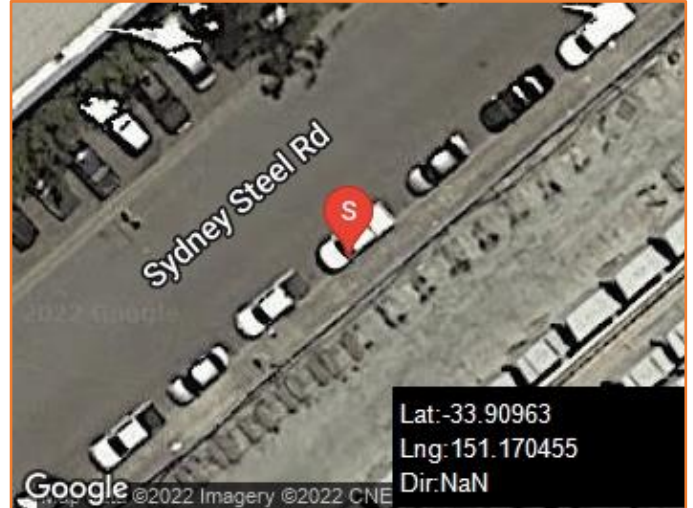


Figure 259: Reasonable - General condition of flexible pavement. Major cracking observed.



Figure 260: Reasonable - General condition of flexible pavement. Major cracking observed.





Figure 261: Reasonable - General condition of flexible pavement. Previous repairs observed.



Figure 262: Reasonable - General condition of flexible pavement.



Figure 263: Reasonable - General condition of flexible pavement. Minor cracking observed.





Figure 264: Reasonable - General condition of flexible pavement.



Figure 265: Reasonable - General condition of flexible pavement.



Figure 266: Reasonable - General condition of flexible pavement.

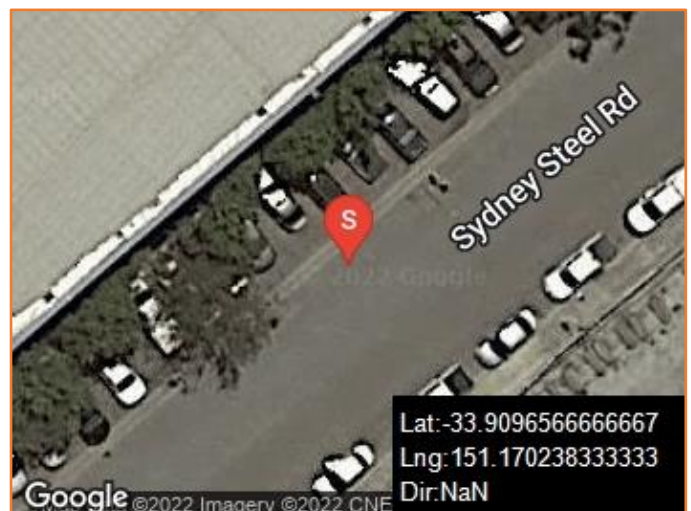




Figure 267: Reasonable - General condition of flexible pavement.



Figure 268: Reasonable - General condition of flexible pavement. Minor cracking observed.



Figure 269: Reasonable - General condition of flexible pavement.





Figure 270: Reasonable - General condition of flexible pavement. Major cracking observed.



Figure 271: Reasonable - General condition of flexible pavement.



Figure 272: Reasonable - General condition of flexible pavement.





Figure 273: Reasonable - General condition of flexible pavement. Major cracking observed.



Figure 274: Reasonable - General condition of flexible pavement. Major cracking observed.



Figure 275: Reasonable - General condition of service pit. Minor cracking observed.

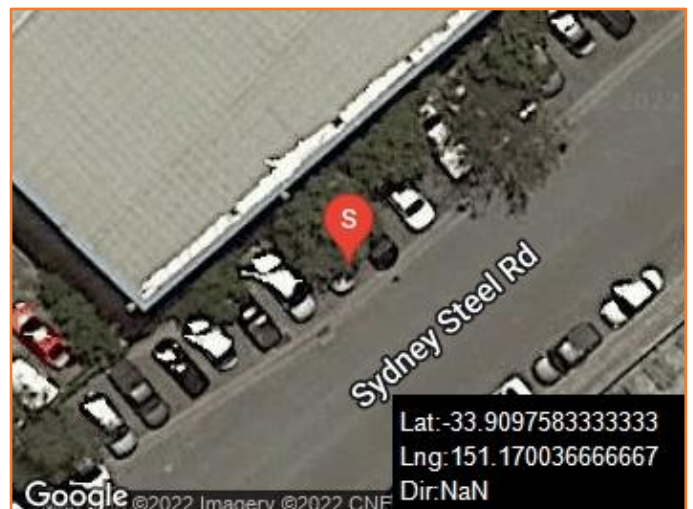




Figure 276: Reasonable - General condition of service pit. Minor cracking observed.

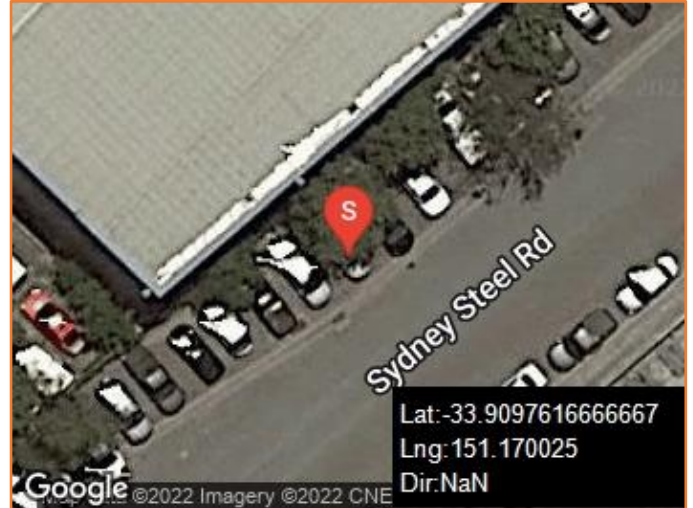


Figure 277: Reasonable - General condition of flexible pavement.



Figure 278: Reasonable - General condition of flexible pavement.





Figure 279: Reasonable - General condition of flexible pavement. Minor cracking observed.

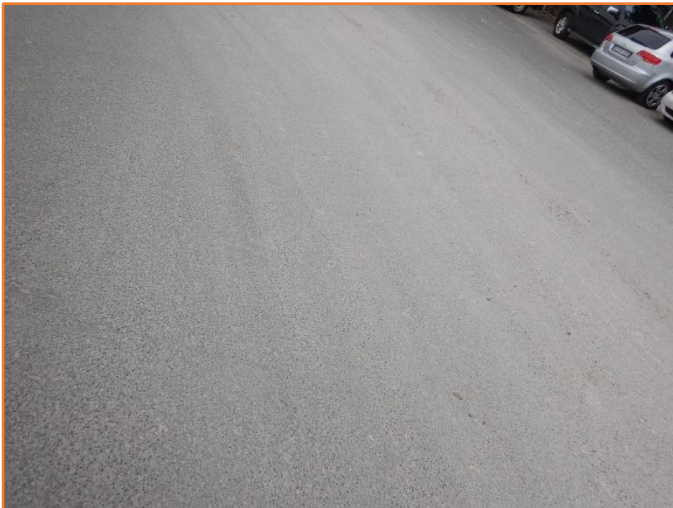


Figure 280: Reasonable - General condition of flexible pavement.



Figure 281: Reasonable - General condition of flexible pavement.





Figure 282: Reasonable - General condition of flexible pavement.



Figure 283: Reasonable - General condition of flexible pavement.



Figure 284: Reasonable - General condition of flexible pavement.





Figure 285: Reasonable - General condition of flexible pavement.



Figure 286: Reasonable - General condition of flexible pavement.



Figure 287: Reasonable - General condition of flexible pavement.





Figure 288: Reasonable - General condition of flexible pavement.



Figure 289: Reasonable - General condition of flexible pavement.



Figure 290: Reasonable - General condition of flexible pavement.





Figure 291: Reasonable - General condition of flexible pavement. Minor physical damage observed.



Lat: -33.9100883333333
Lng: 151.169715
Dir: NaN



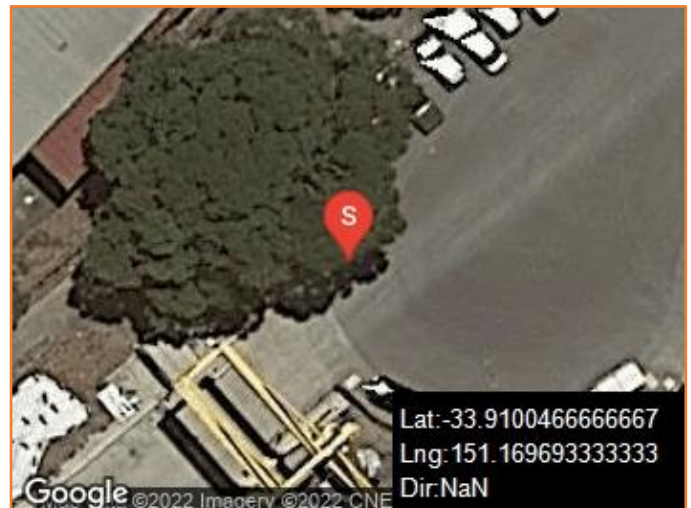
Figure 292: Reasonable - General condition of flexible pavement.



Lat: -33.9100816666667
Lng: 151.1697
Dir: NaN



Figure 293: Reasonable - General condition of flexible pavement.



Lat: -33.9100466666667
Lng: 151.169693333333
Dir: NaN





Figure 294: Reasonable - General condition of flexible pavement.



Figure 295: Reasonable - General condition of flexible pavement.



Figure 296: Reasonable - General condition of kerb and gutter.





Figure 297: Reasonable - General condition of signage. Minor rotation observed.

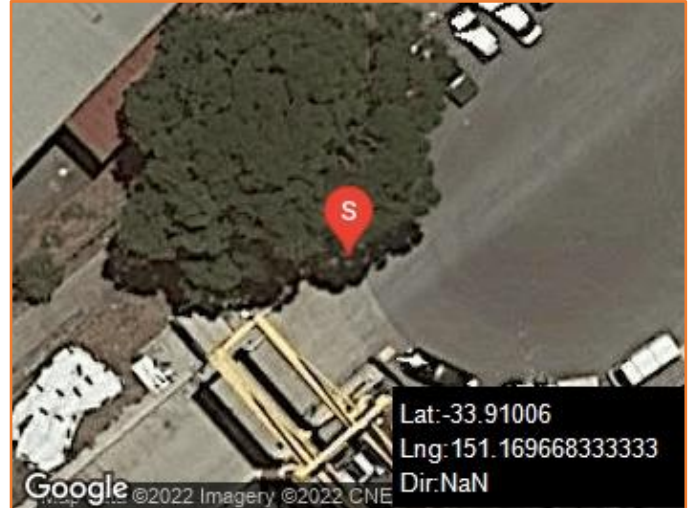


Figure 298: Reasonable - General condition of kerb and gutter.

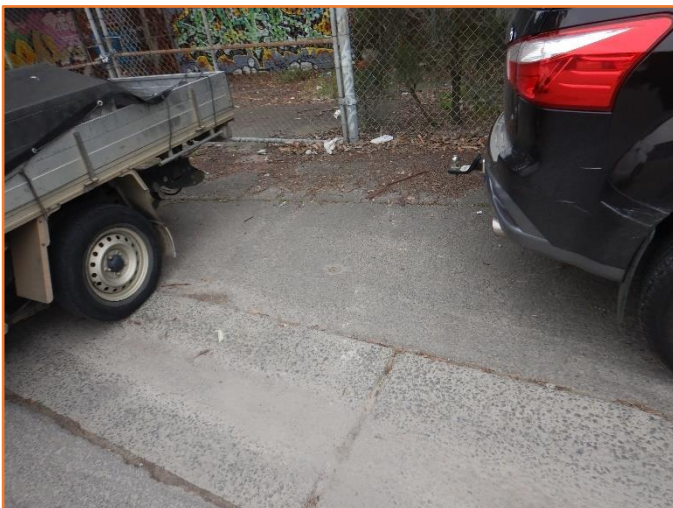


Figure 299: Reasonable - General condition of kerb and gutter.





Figure 300: Reasonable - General condition of kerb and gutter. Minor cracking observed.



Figure 301: Reasonable - General condition of kerb and gutter.



Figure 302: Reasonable - General condition of kerb and gutter.





Figure 303: Reasonable - General condition of signage.



Figure 304: Reasonable - General condition of signage.



Figure 305: Reasonable - General condition of flexible pavement and signage. Moderate potholes and cracking observed.





Figure 306: Reasonable - General condition of kerb and gutter.



Figure 307: Reasonable - General condition of kerb and gutter. Minor cracking observed.

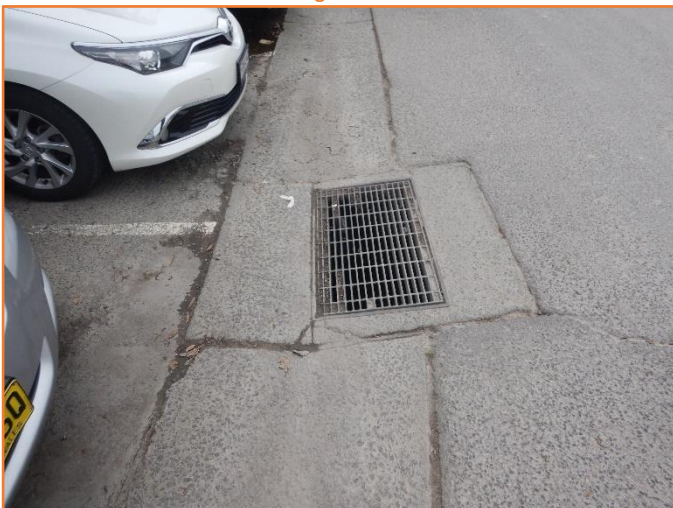


Figure 308: Reasonable - General condition of grated inlet pit. Minor cracking observed.





Figure 309: Reasonable - General condition of kerb and gutter.



Figure 310: Reasonable - General condition of kerb and gutter.



Figure 311: Reasonable - General condition of kerb and gutter.





Figure 312: Reasonable - General condition of kerb and gutter.

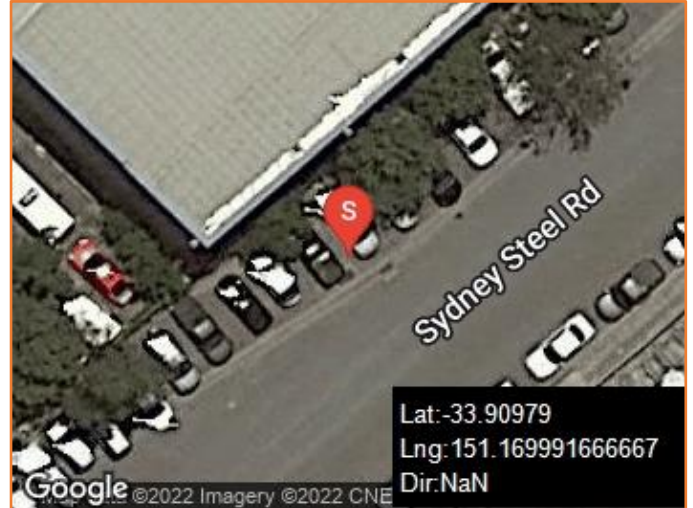


Figure 313: Reasonable - General condition of kerb and gutter.

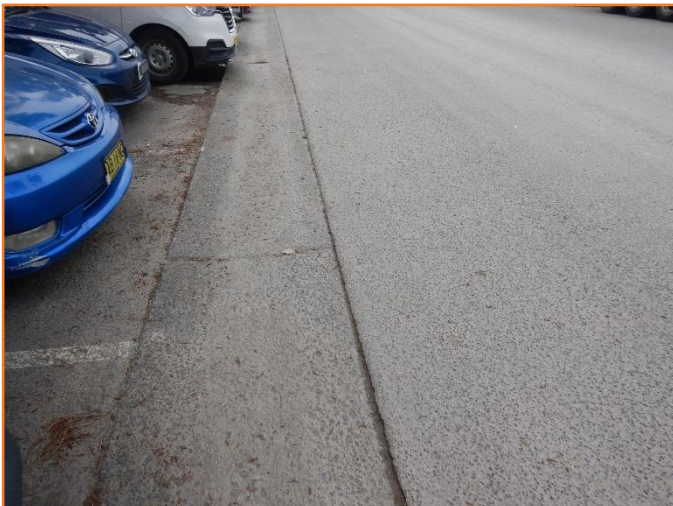


Figure 314: Reasonable - General condition of kerb and gutter.

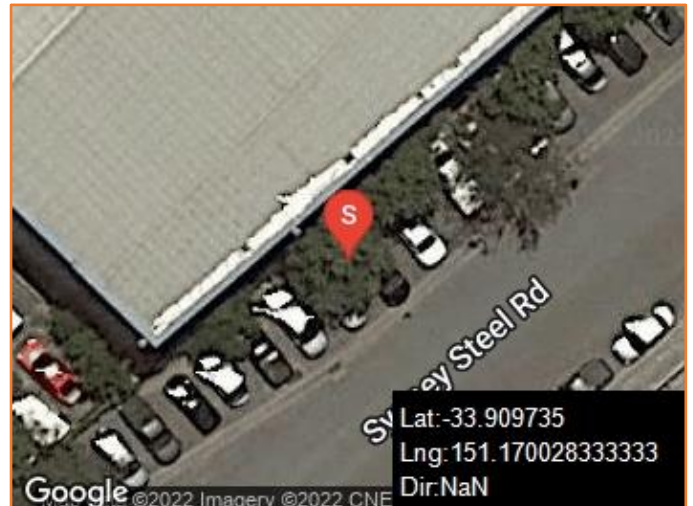




Figure 315: Reasonable - General condition of kerb and gutter.

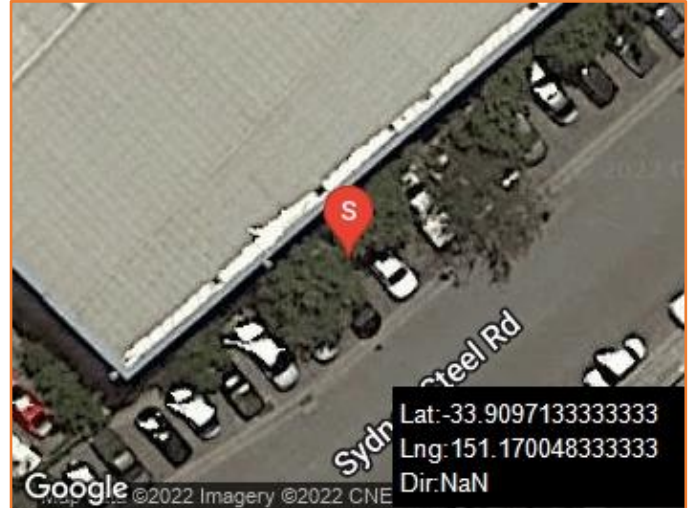


Figure 316: Reasonable - General condition of kerb and gutter. Minor spalling observed.

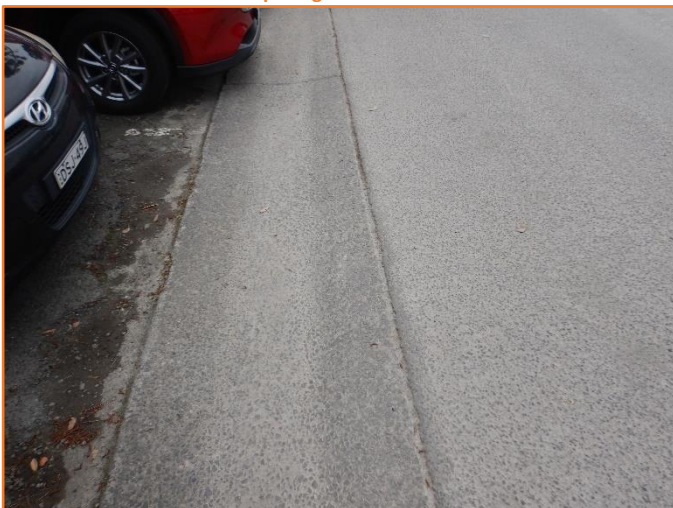


Figure 317: Reasonable - General condition of kerb and gutter.

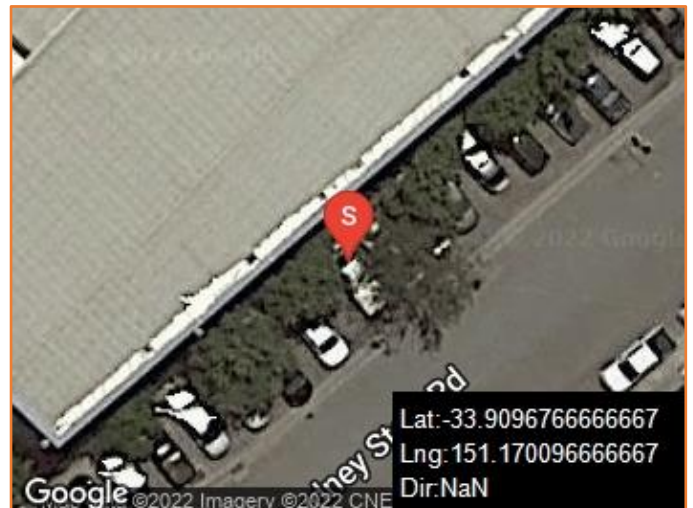




Figure 318: Reasonable - General condition of kerb and gutter.

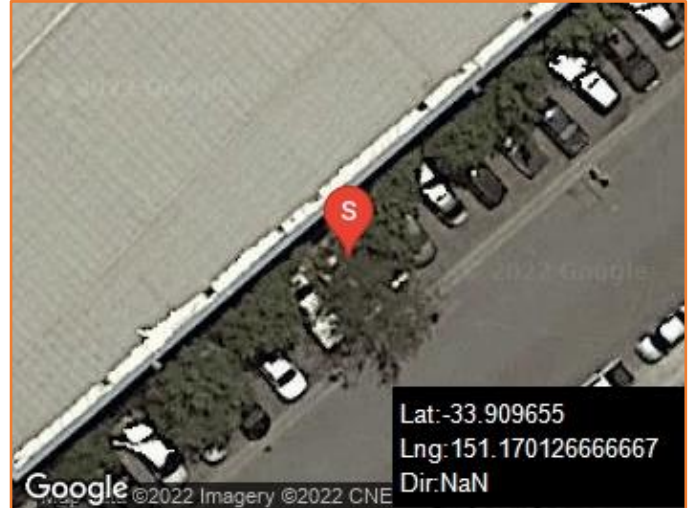


Figure 319: Reasonable - General condition of kerb and gutter.



Figure 320: Reasonable - General condition of kerb and gutter.

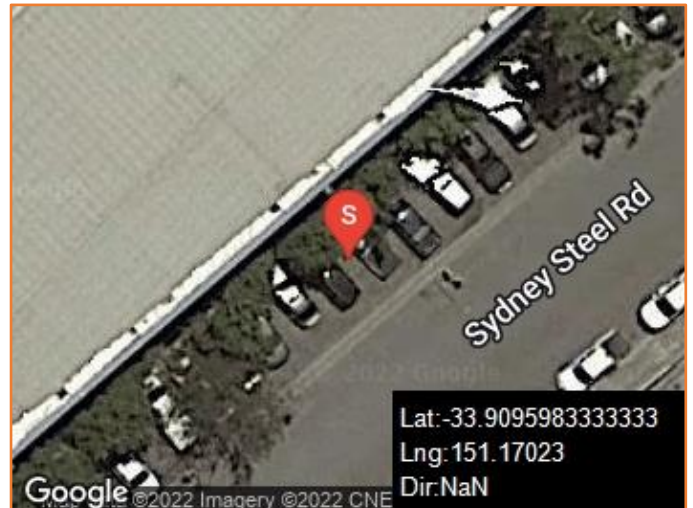




Figure 321: Reasonable - General condition of kerb and gutter.

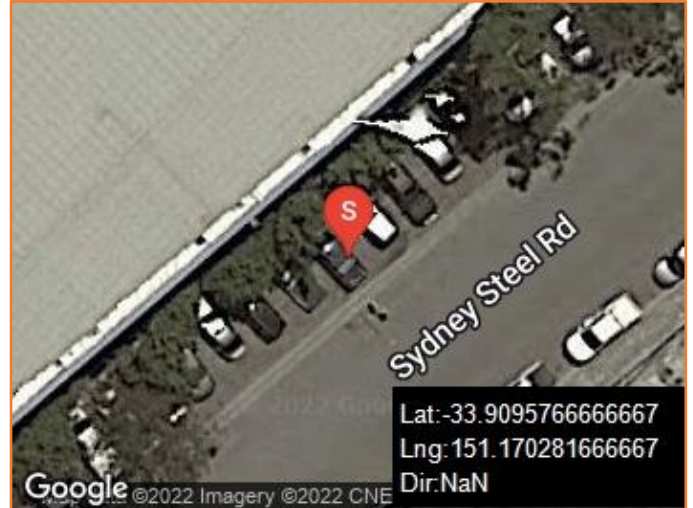


Figure 322: Reasonable - General condition of kerb and gutter.



Figure 323: Reasonable - General condition of kerb and gutter. Minor cracking observed.

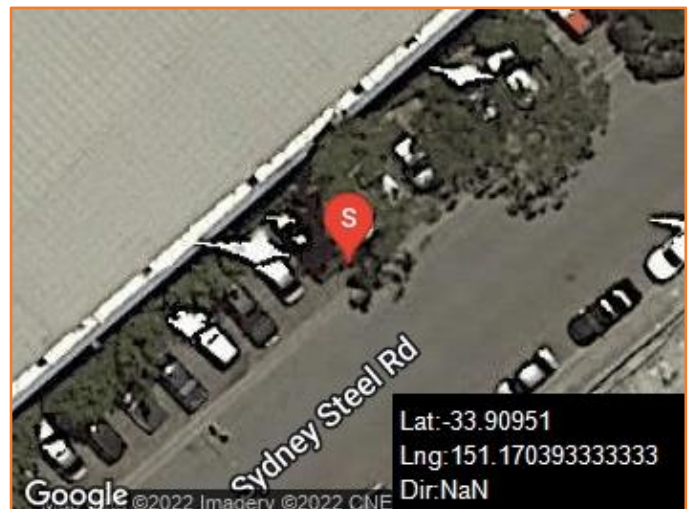




Figure 324: Reasonable - General condition of kerb and gutter.

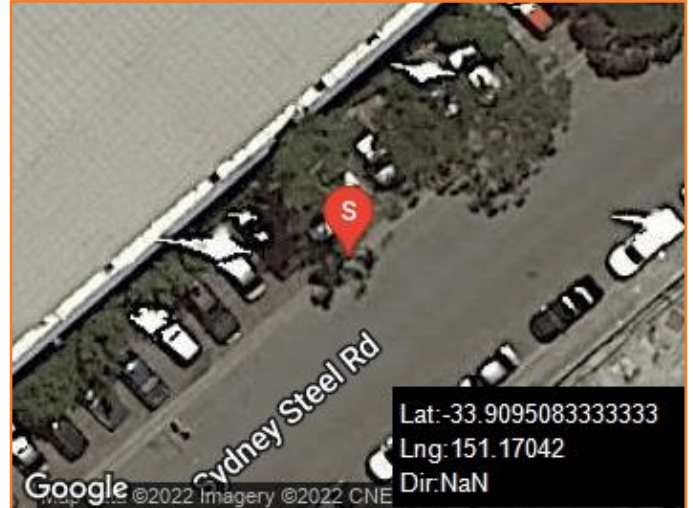


Figure 325: Reasonable - General condition of kerb and gutter.



Figure 326: Reasonable - General condition of kerb and gutter.





Figure 327: Reasonable - General condition of kerb and gutter.



Figure 328: Reasonable - General condition of kerb and gutter.



Figure 329: Reasonable - General condition of signage.





Figure 330: Reasonable - General condition of signage.

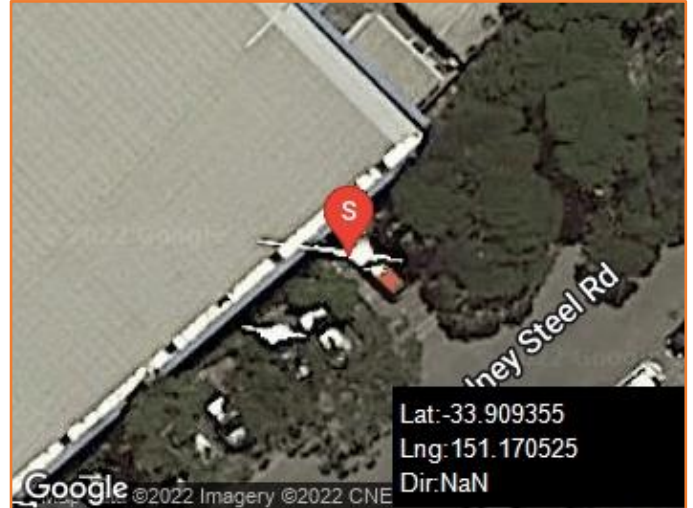


Figure 331: Reasonable - General condition of service pit.



Figure 332: Reasonable - General condition of service pit.





Figure 333: Reasonable - General condition of signage. Minor rotation observed.



Figure 334: Reasonable - General condition of kerb and gutter.



Figure 335: Reasonable - General condition of grated inlet pit.



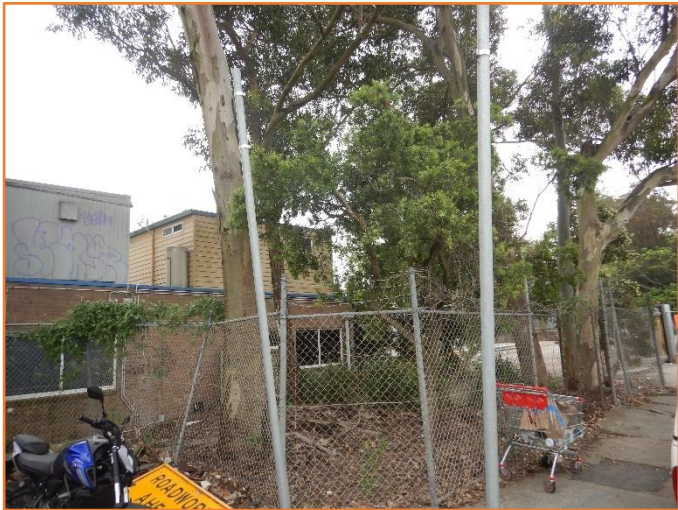


Figure 336: Reasonable - General condition of signage. Minor rotation observed.



Figure 337: Reasonable - General condition of kerb and gutter.



Figure 338: Reasonable - General condition of kerb and gutter.





Figure 339: Reasonable - General condition of kerb and gutter. Minor cracking observed.



Figure 340: Reasonable - General condition of kerb and gutter.



Figure 341: Reasonable - General condition of kerb and gutter.





Figure 342: Reasonable - General condition of kerb and gutter. Minor cracking observed.



Figure 343: Reasonable - General condition of kerb and gutter. Minor cracking observed.

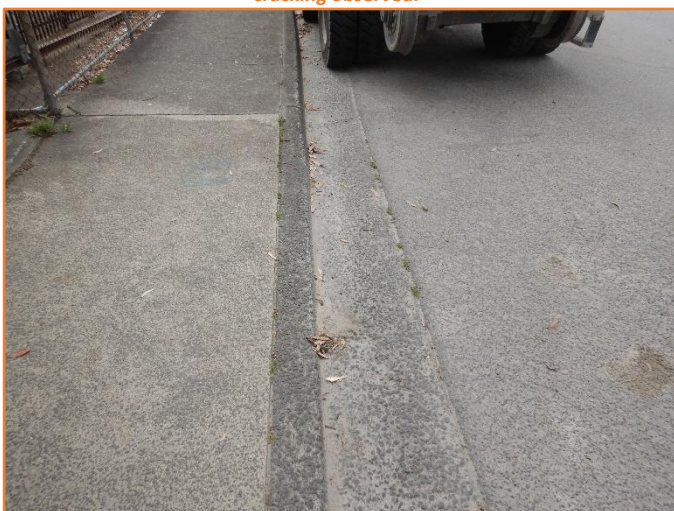


Figure 344: Reasonable - General condition of kerb and gutter.





Figure 345: Reasonable - General condition of kerb and gutter.



Figure 346: Reasonable - General condition of kerb and gutter.

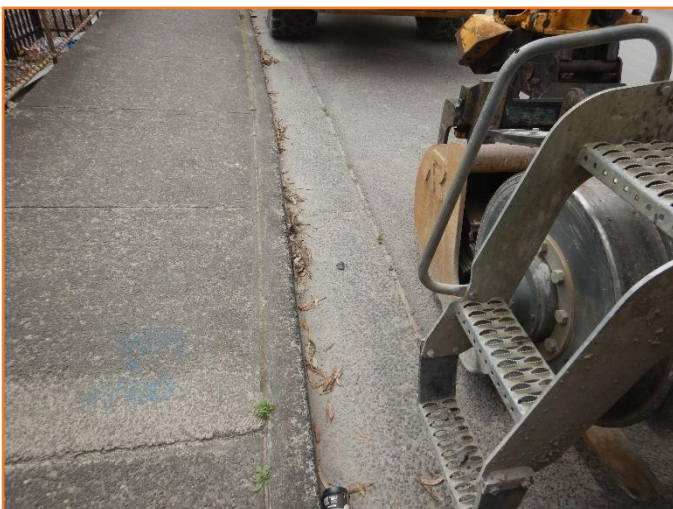


Figure 347: Reasonable - General condition of kerb and gutter. Minor cracking observed.





Figure 348: Reasonable - General condition of kerb and gutter.



Figure 349: Reasonable - General condition of kerb and gutter.



Figure 350: Reasonable - General condition of kerb and gutter.





Figure 351: Reasonable - General condition of kerb and gutter.



Figure 352: Reasonable - General condition of kerb and gutter.



Figure 353: Reasonable - General condition of kerb and gutter.



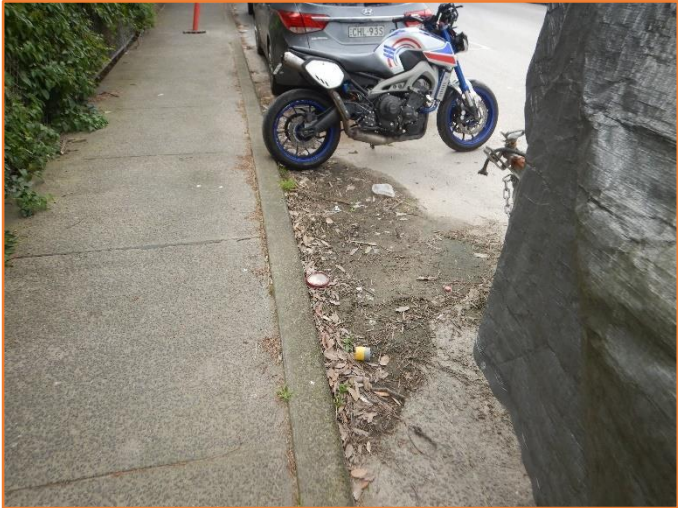


Figure 354: Reasonable - General condition of kerb and gutter.

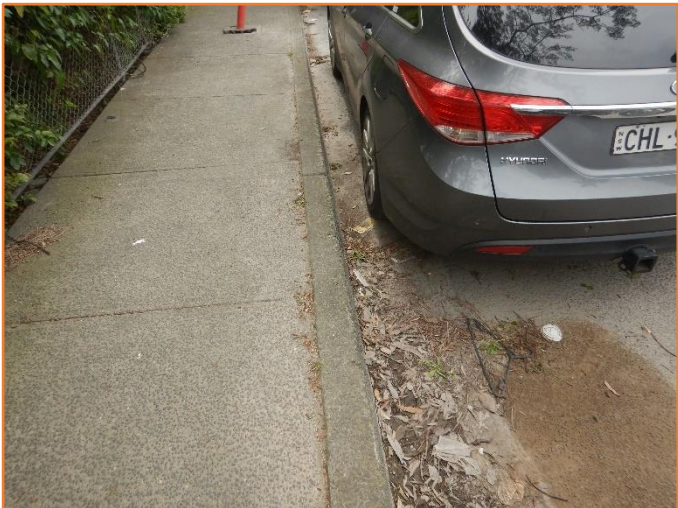


Figure 355: Reasonable - General condition of kerb and gutter.

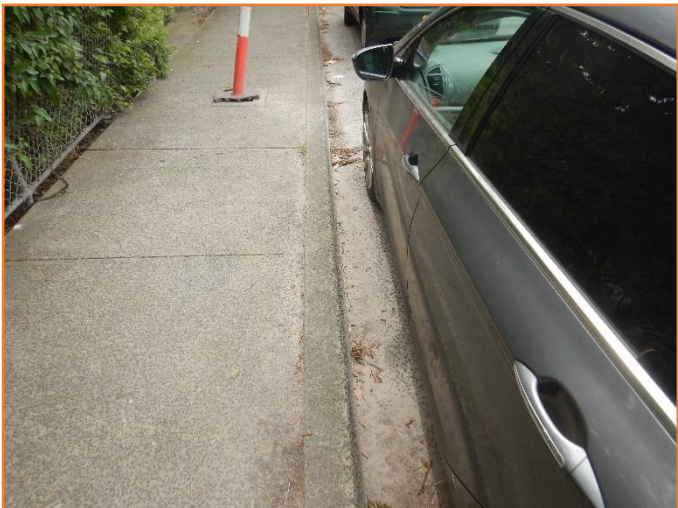
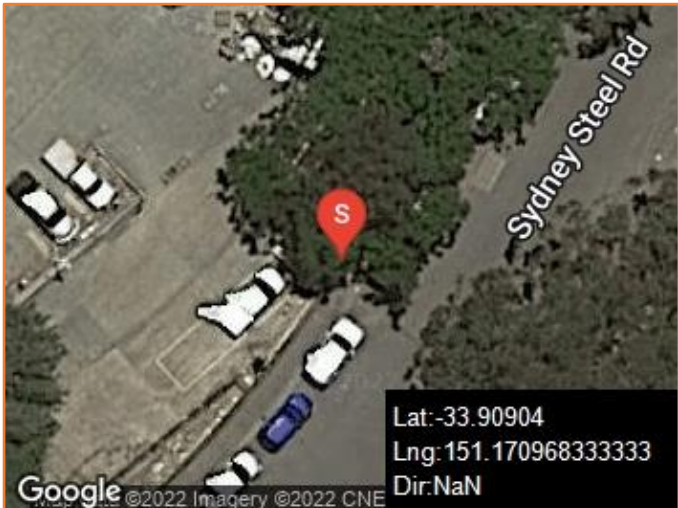


Figure 356: Reasonable - General condition of kerb and gutter.





Figure 357: Reasonable - General condition of kerb and gutter.



Figure 358: Reasonable - General condition of kerb and gutter.



Figure 359: Reasonable - General condition of kerb and gutter.





Figure 360: Reasonable - General condition of kerb and gutter.



Figure 361: Reasonable - General condition of kerb and gutter.



Figure 362: Reasonable - General condition of kerb and gutter. Minor cracking observed.





Figure 366: Reasonable - General condition of kerb and gutter.



Figure 367: Reasonable - General condition of kerb and gutter.

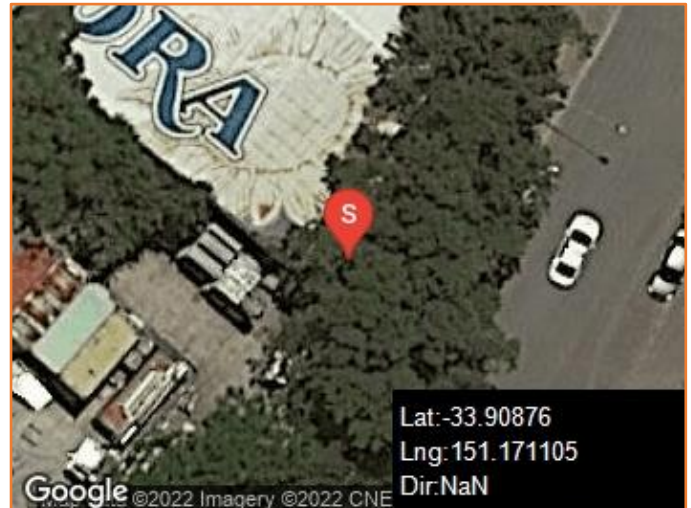


Figure 368: Reasonable - General condition of kerb and gutter. Minor spalling observed.





Figure 369: Reasonable - General condition of kerb and gutter.

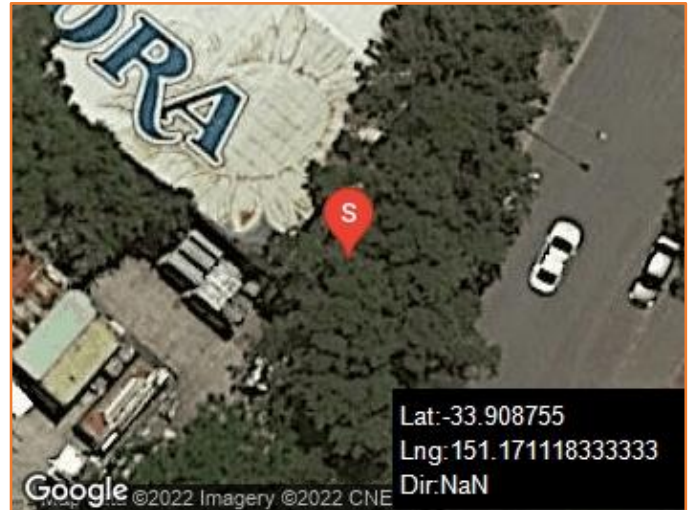


Figure 370: Reasonable - General condition of kerb and gutter. Minor cracking observed.

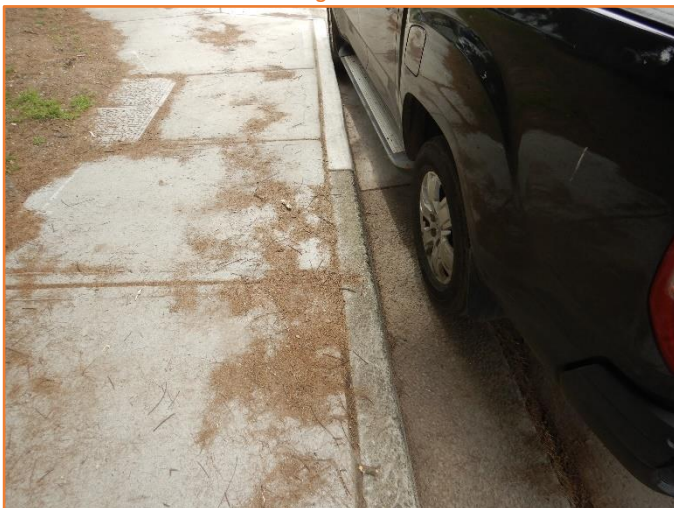
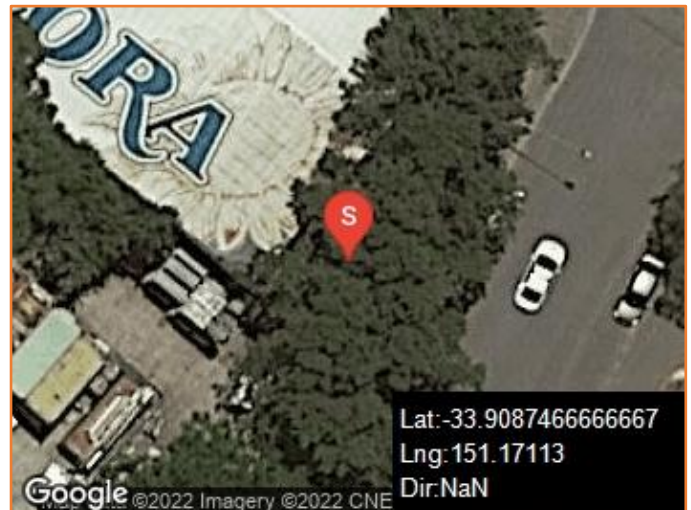


Figure 371: Reasonable - General condition of kerb and gutter. Minor cracking observed.





Figure 372: Reasonable - General condition of kerb and gutter.

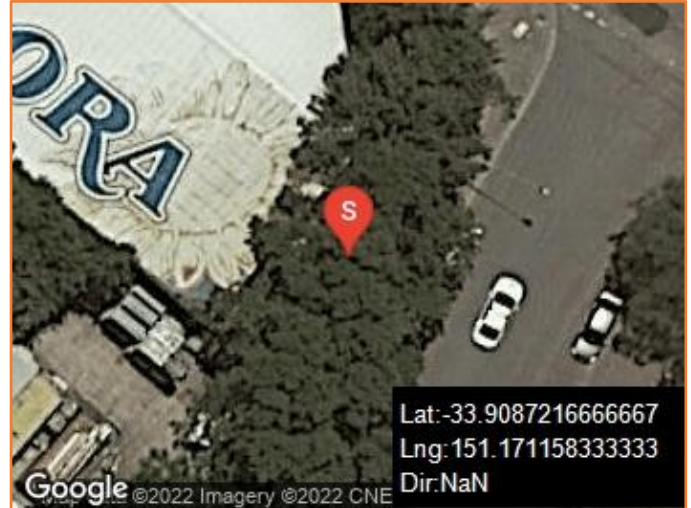


Figure 373: Reasonable - General condition of kerb and gutter.



Figure 374: Reasonable - General condition of kerb and gutter.

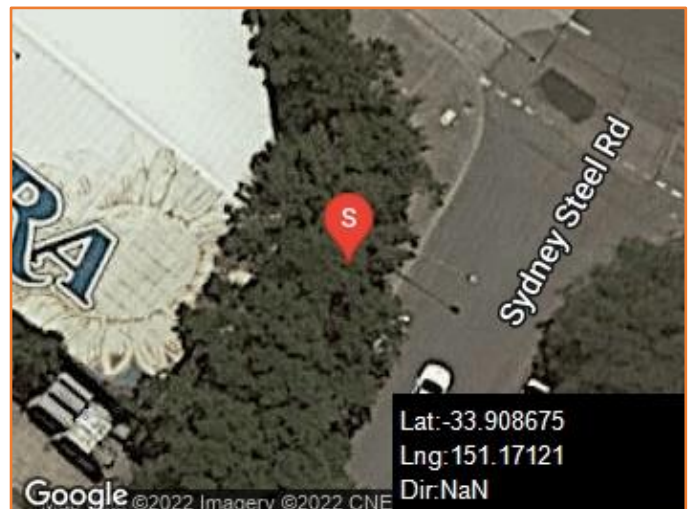




Figure 375: Reasonable - General condition of kerb and gutter.

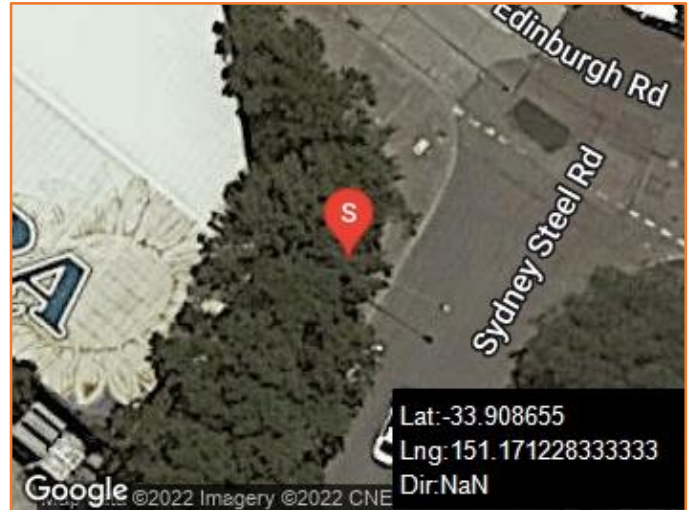


Figure 376: Reasonable - General condition of kerb and gutter.



Figure 377: Reasonable - General condition of kerb and gutter.





Figure 378: Reasonable - General condition of service pit.



Figure 379: Reasonable - General condition of footpath.



Figure 380: Reasonable - General condition of footpath.





Figure 381: Reasonable - General condition of service pit.

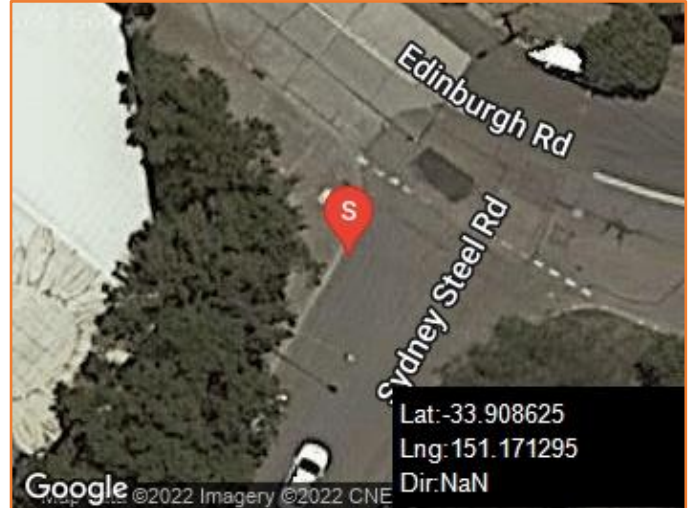


Figure 382: Reasonable - General condition of service pit.



Figure 383: Reasonable - General condition of monopole assembly.





Figure 384: Reasonable - General condition of footpath.

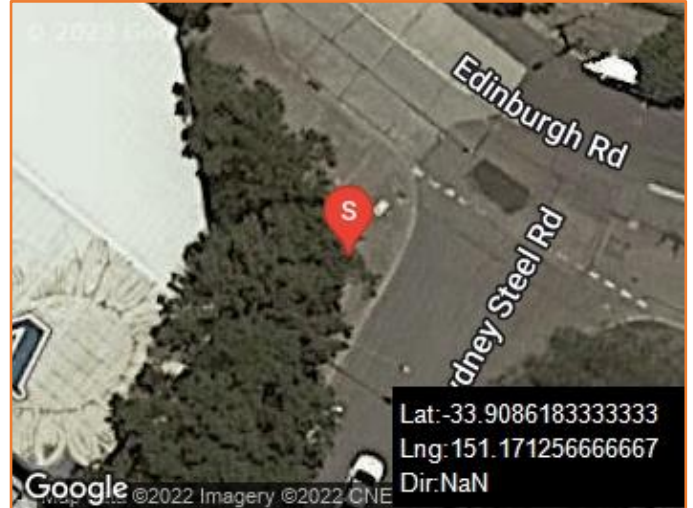


Figure 385: Reasonable - General condition of service pit.



Figure 386: Reasonable - General condition of footpath. Minor cracking observed.

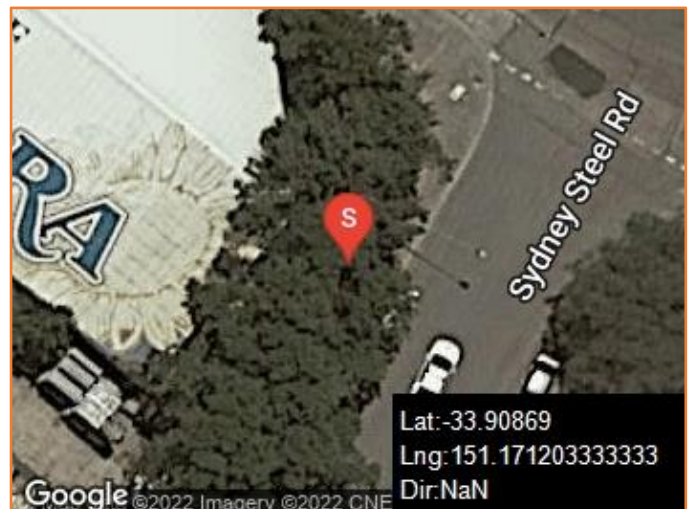




Figure 387: Reasonable - General condition of footpath.

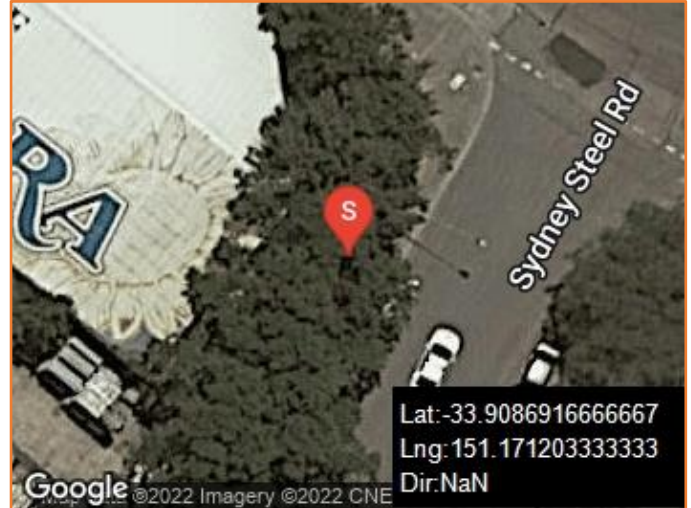


Figure 388: Reasonable - General condition of street planting.

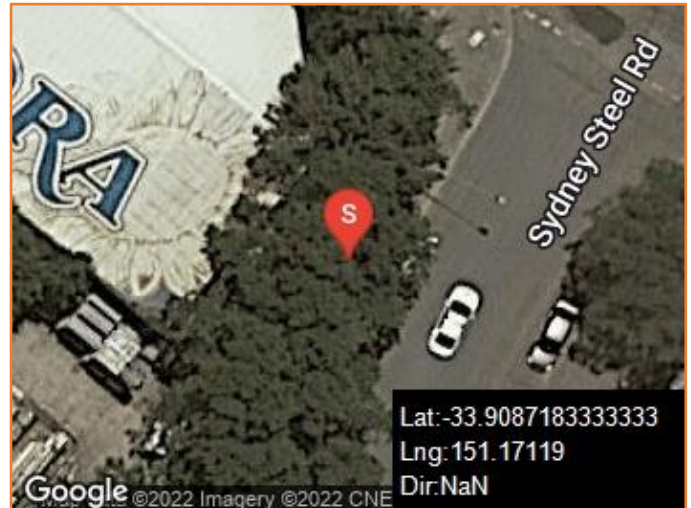


Figure 389: Reasonable - General condition of street planting.





Figure 390: Reasonable - General condition of footpath.



Figure 391: Reasonable - General condition of street furniture. Major physical damage observed.

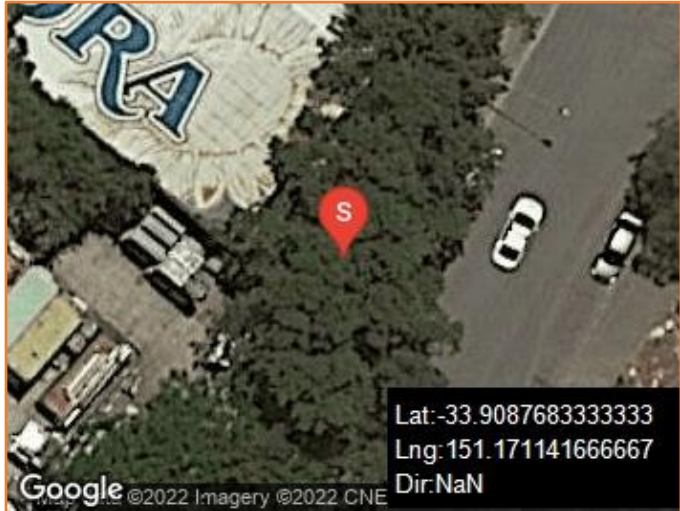


Figure 392: Reasonable - General condition of street planting.





Figure 393: Reasonable - General condition of footpath.

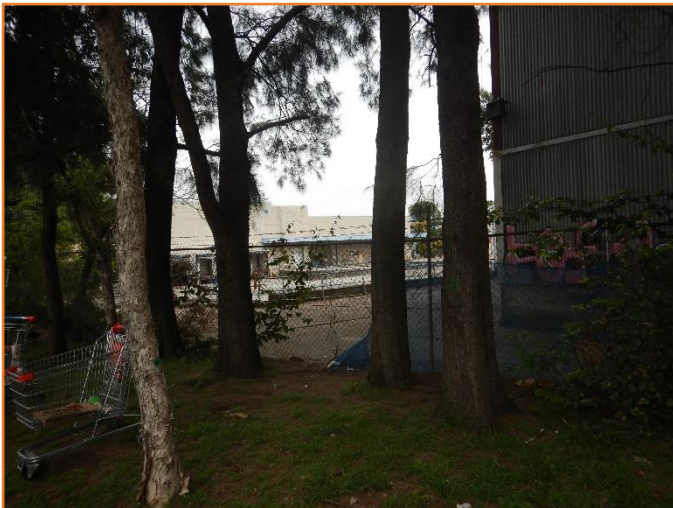
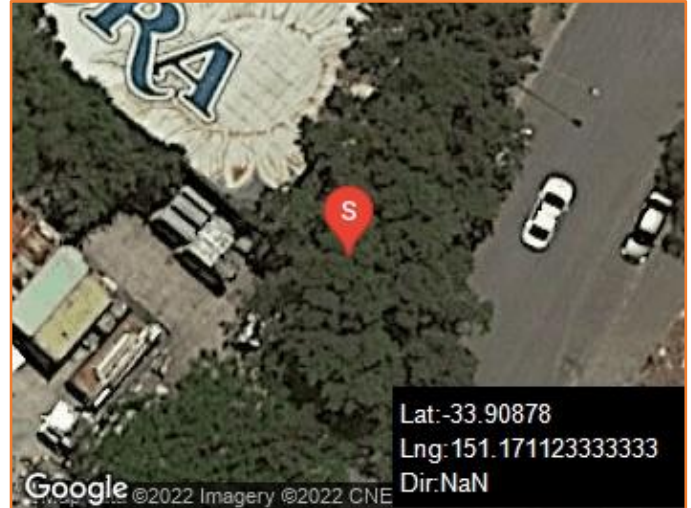


Figure 394: Reasonable - General condition of street planting.



Figure 395: Reasonable - General condition of footpath. Minor cracking observed.





Figure 396: Reasonable - General condition of street planting.



Figure 397: Reasonable - General condition of footpath.



Figure 398: Reasonable - General condition of street planting.





Figure 399: Reasonable - General condition of street planting.

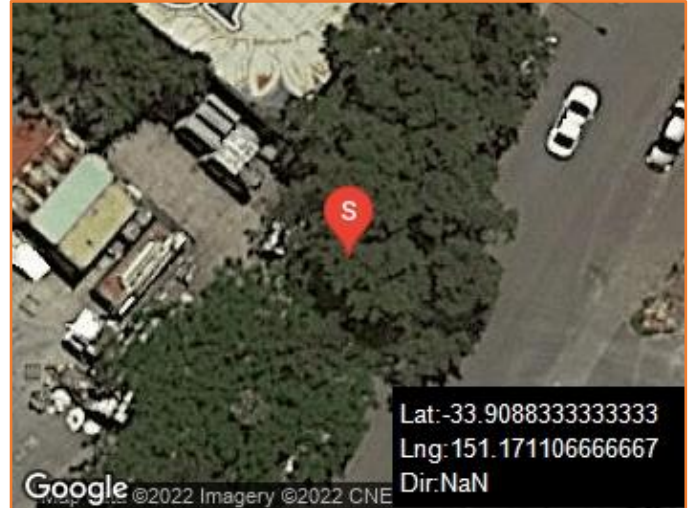


Figure 400: Reasonable - General condition of footpath.



Figure 401: Reasonable - General condition of footpath.





Figure 402: Reasonable - General condition of footpath.



Figure 403: Reasonable - General condition of footpath and signage. Major physical damage observed.



Figure 404: Reasonable - General condition of footpath.





Figure 405: Reasonable - General condition of footpath.



Figure 406: Reasonable - General condition of footpath.

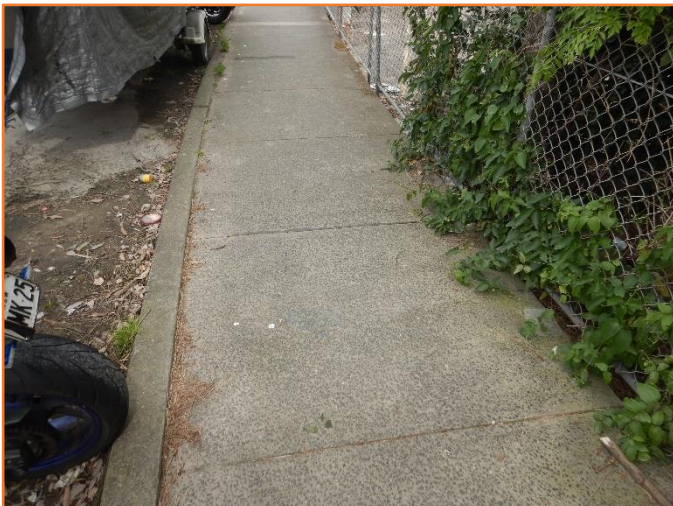


Figure 407: Reasonable - General condition of footpath.





Figure 408: Reasonable - General condition of footpath.



Figure 409: Reasonable - General condition of footpath.



Figure 410: Reasonable - General condition of footpath. Minor cracking observed.

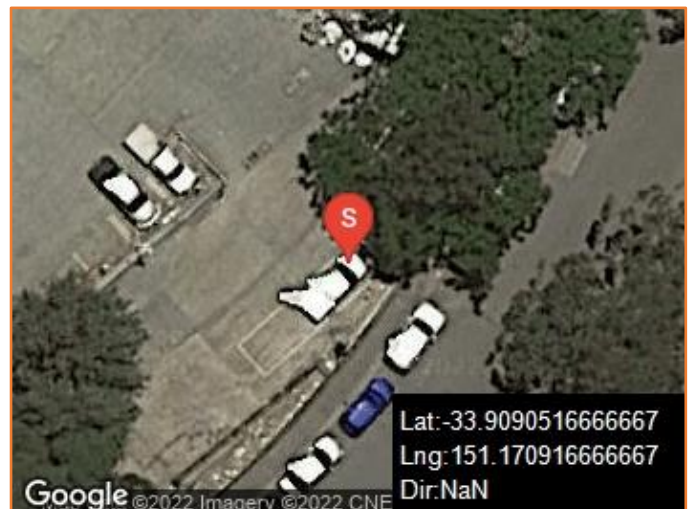




Figure 411: Reasonable - General condition of footpath. Minor cracking observed.

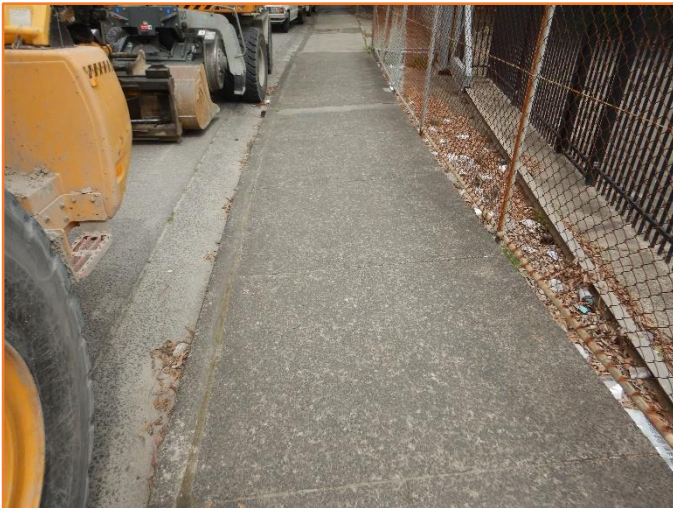
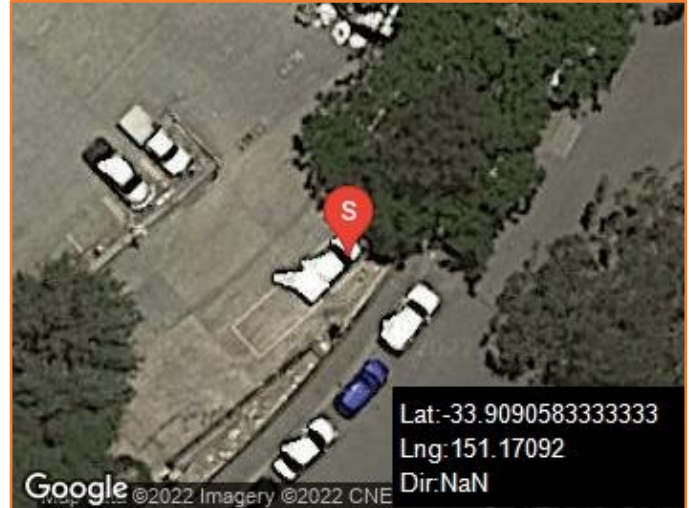


Figure 412: Reasonable - General condition of footpath.

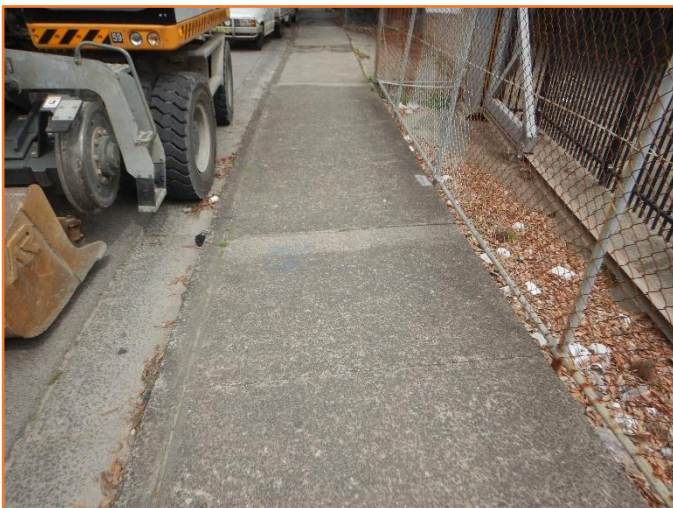


Figure 413: Reasonable - General condition of footpath. Minor cracking observed.





Figure 414: Reasonable - General condition of footpath.

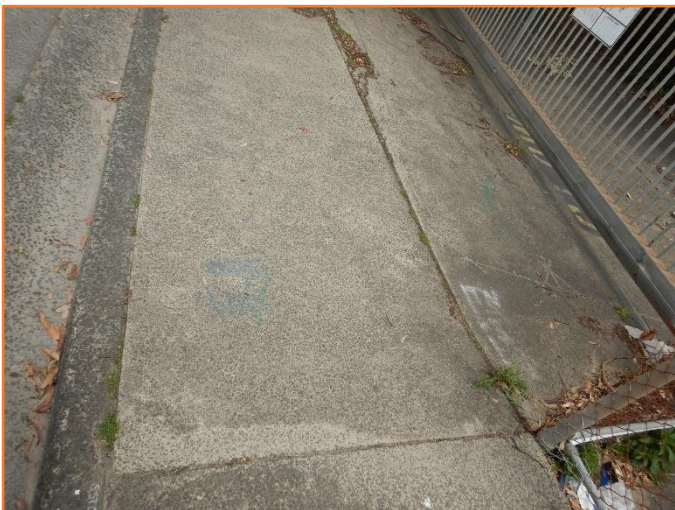


Figure 415: Reasonable - General condition of driveway crossover. Minor cracking observed.

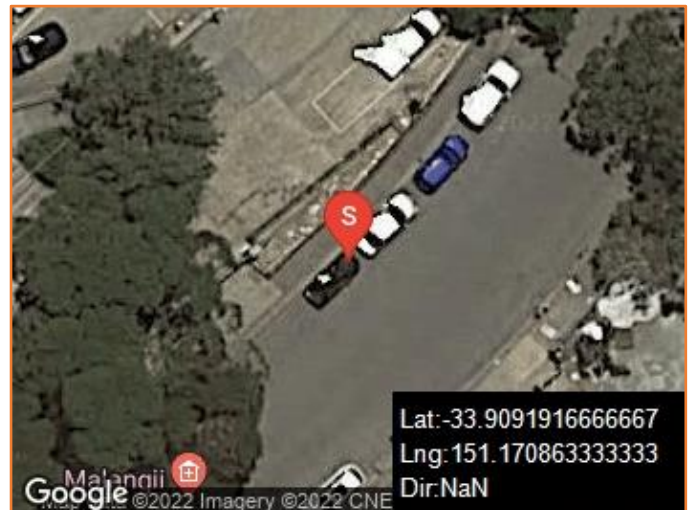


Figure 416: Reasonable - General condition of driveway crossover. Extensive cracking observed.





Figure 417: Reasonable - General condition of driveway crossover.
Extensive cracking observed.



Figure 418: Reasonable - General condition of service pit. Extensive cracking observed.

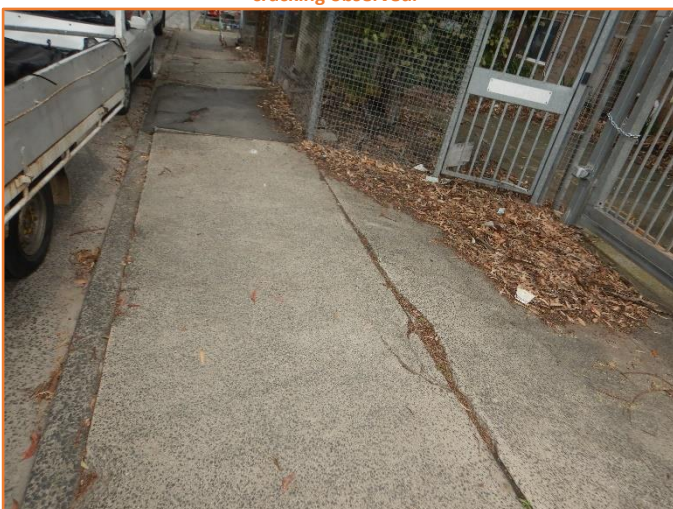


Figure 419: Reasonable - General condition of driveway crossover. Minor cracking observed.





Figure 420: Reasonable - General condition of footpath. Minor cracking observed.



Figure 421: Poor - General condition of footpath. Extensive cracking and differential settlement observed.

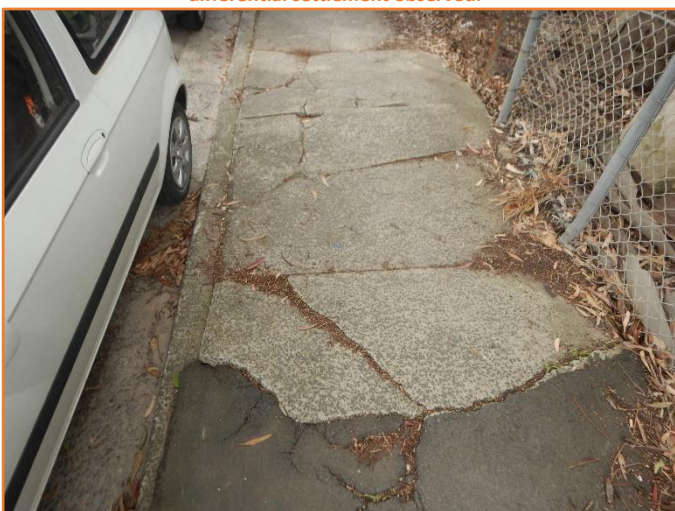


Figure 422: Poor - General condition of footpath. Extensive cracking observed.





Figure 423: Poor - General condition of footpath. Extensive cracking observed.



Figure 424: Reasonable - General condition of footpath. Major cracking observed. Previous repairs observed.

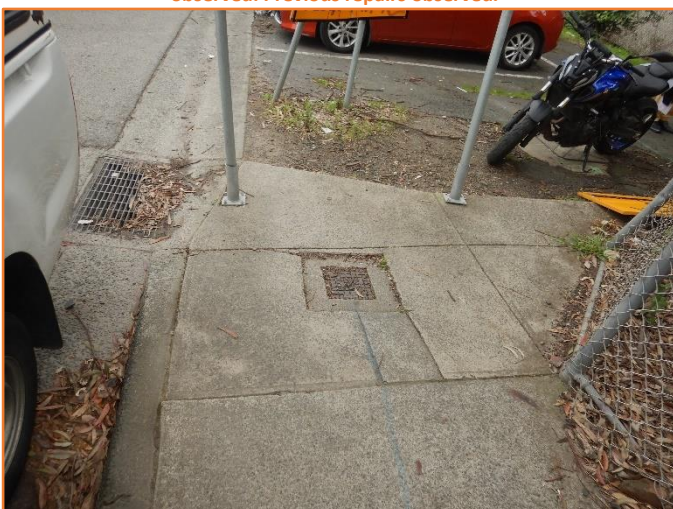


Figure 425: Reasonable - General condition of footpath. Minor cracking observed.





Figure 426: Reasonable - General condition of service pit.

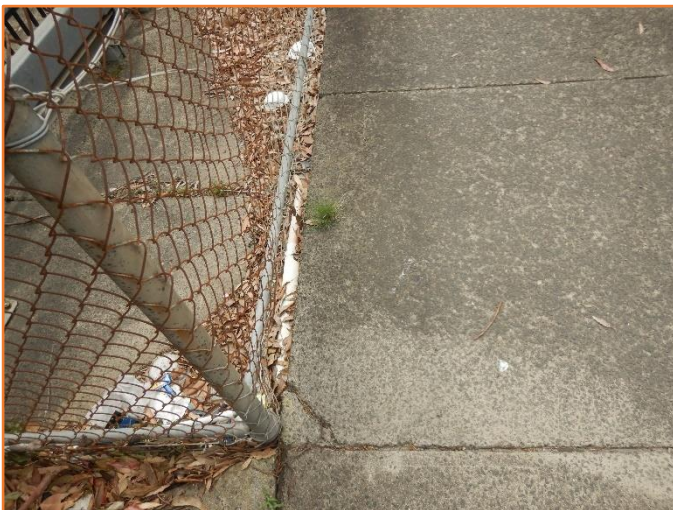


Figure 427: Reasonable - General condition of footpath. Minor cracking observed.

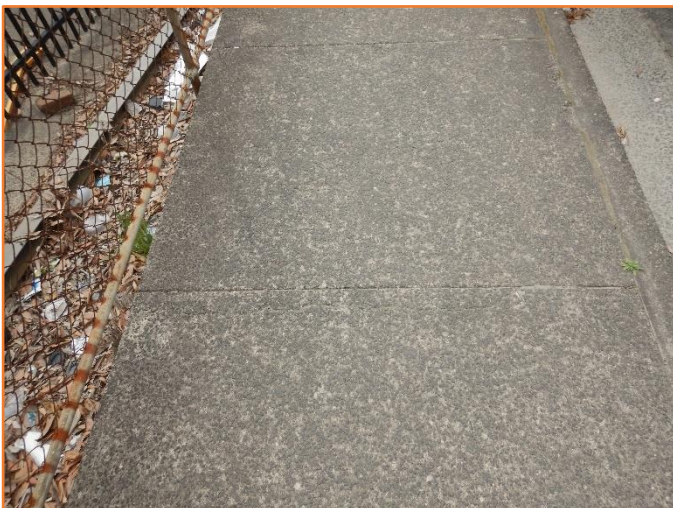


Figure 428: Reasonable - General condition of footpath.





Figure 429: Reasonable - General condition of footpath. Previous repairs observed.

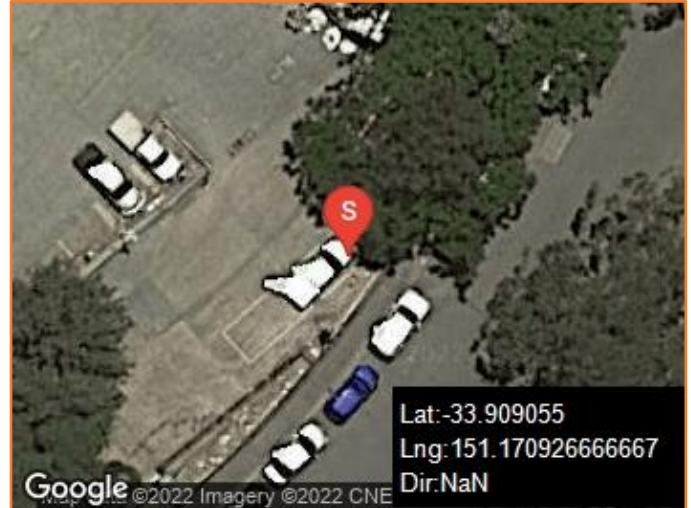


Figure 430: Reasonable - General condition of footpath.



Figure 431: Reasonable - General condition of footpath. Previous repairs observed.





Figure 432: Reasonable - General condition of footpath. Previous repairs observed.



Figure 433: Reasonable - General condition of footpath. Major physical damage observed. Previous repairs observed.



Figure 434: Reasonable - General condition of footpath. Previous repairs observed.





Figure 435: Reasonable - General condition of footpath. Minor cracking observed.



Figure 436: Reasonable - General condition of footpath.



Figure 437: Reasonable - General condition of footpath.





Figure 438: Reasonable - General condition of footpath. Minor cracking observed.



Figure 439: Reasonable - General condition of footpath. Minor cracking observed.

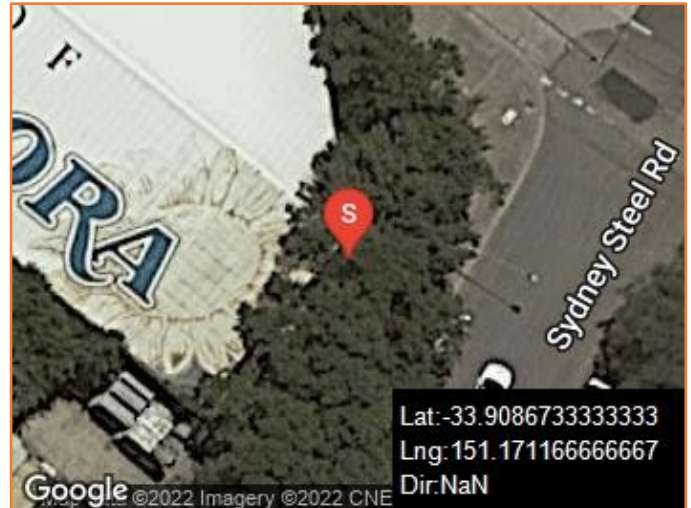


Figure 440: Reasonable - General condition of footpath. Minor cracking observed. Previous repairs observed.



APPENDIX 'C' – 74 EDINBURGH ROAD



Figure 441: Reasonable - General condition of fence.



Figure 442: Reasonable - General condition of fence.



Figure 443: Reasonable - General condition of fence.





Figure 444: Reasonable - General condition of fence.



Figure 445: Reasonable - General condition of fence.

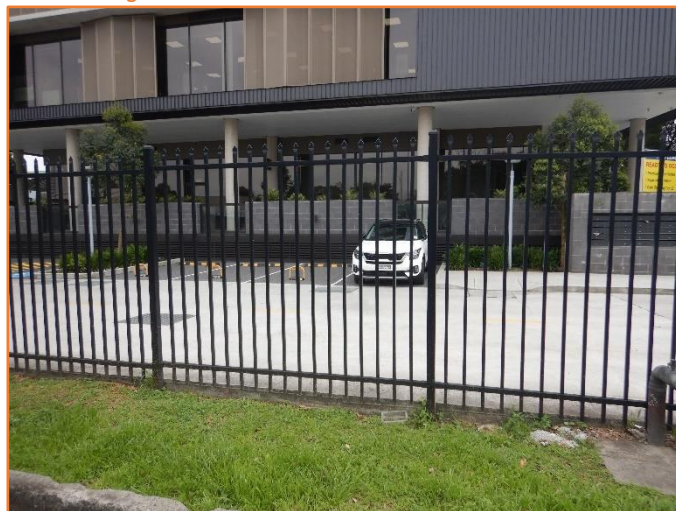


Figure 446: Reasonable - General condition of fence.





Figure 447: Reasonable - General condition of fence.

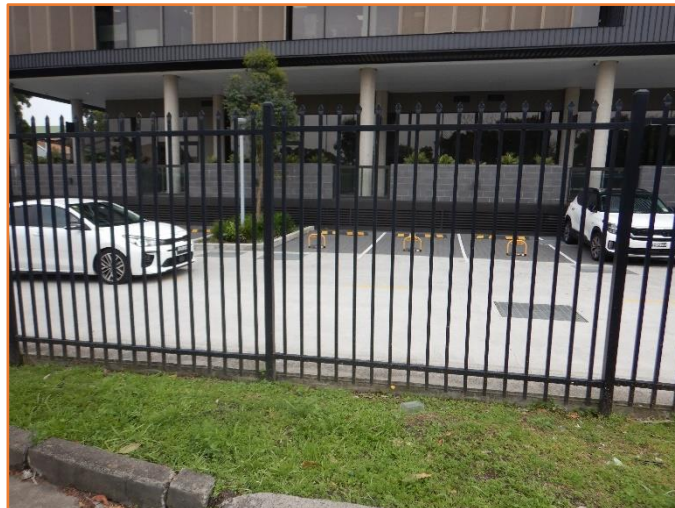


Figure 448: Reasonable - General condition of fence.



Figure 449: Reasonable - General condition of fence.





Figure 450: Reasonable - General condition of fence.

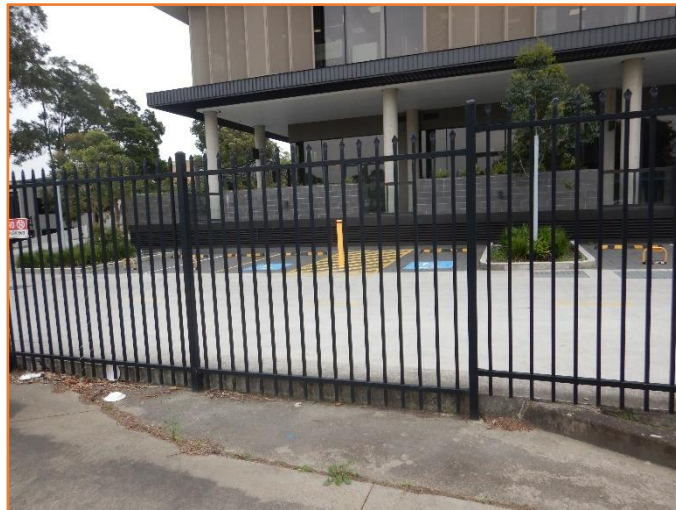


Figure 451: Reasonable - General condition of fence.

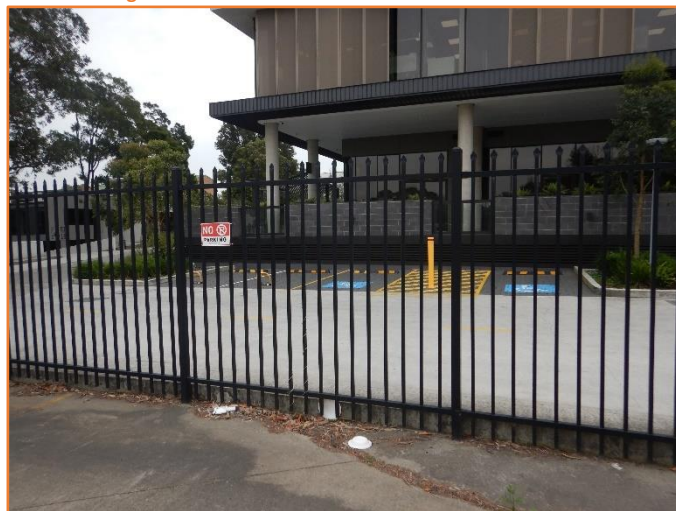


Figure 452: Reasonable - General condition of fence.



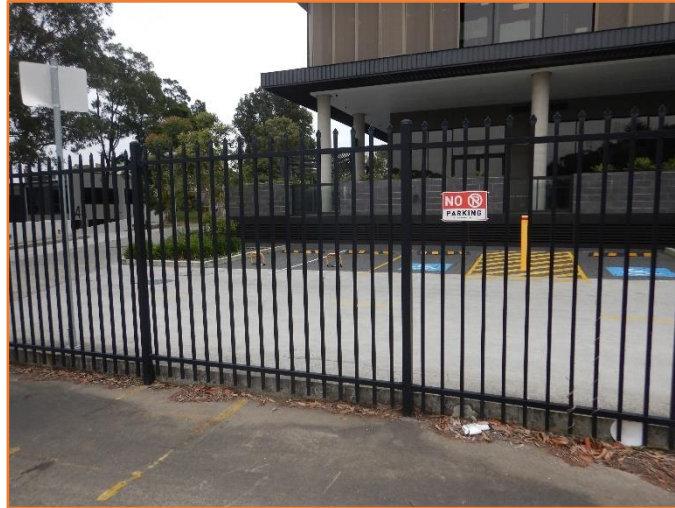


Figure 453: Reasonable - General condition of fence.



Figure 454: Reasonable - General condition of fence.

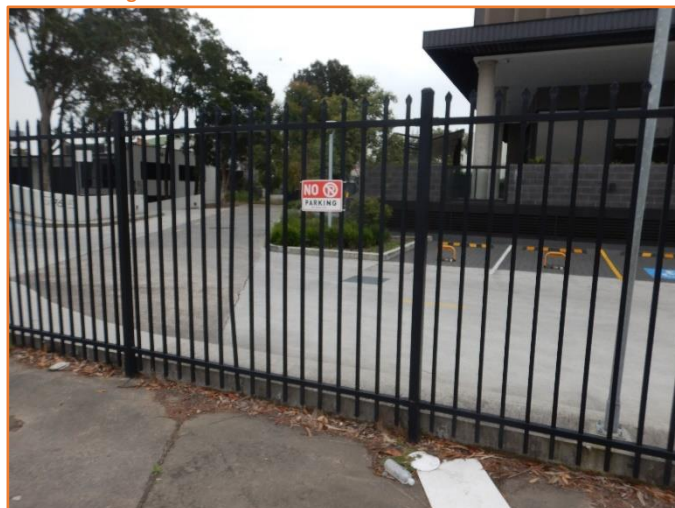


Figure 455: Reasonable - General condition of fence.



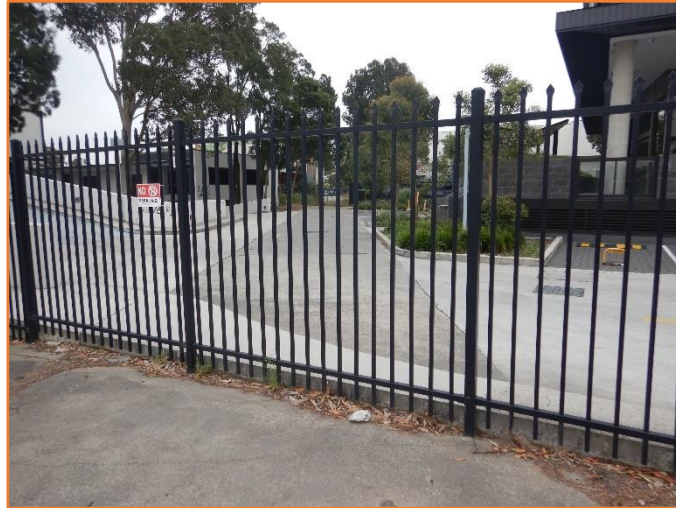


Figure 456: Reasonable - General condition of fence.

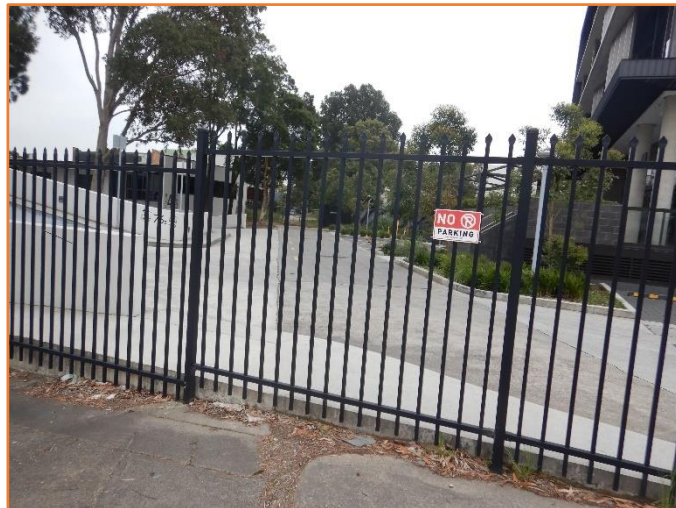


Figure 457: Reasonable - General condition of fence.

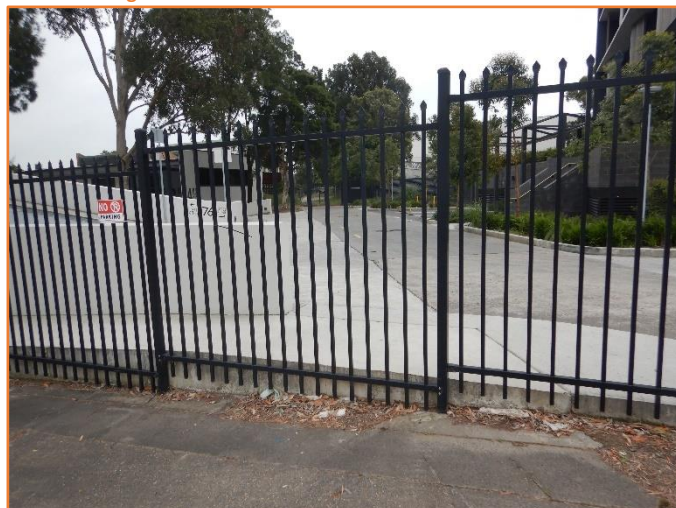


Figure 458: Reasonable - General condition of fence.



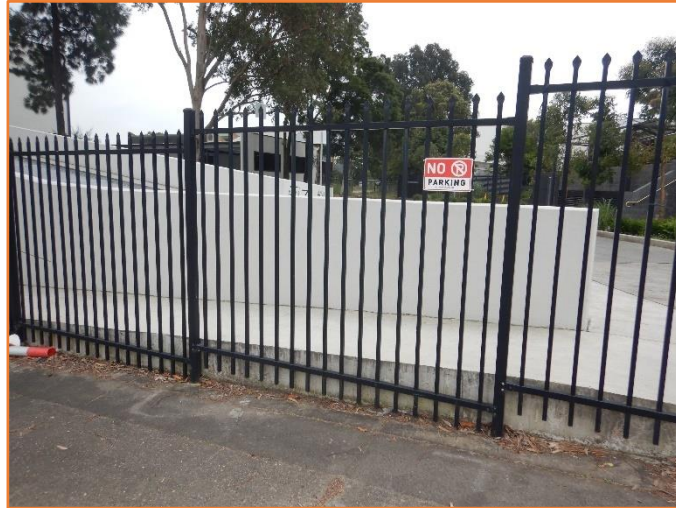


Figure 459: Reasonable - General condition of fence.



Figure 460: Reasonable - General condition of fence.



Figure 461: Reasonable - General condition of fence.



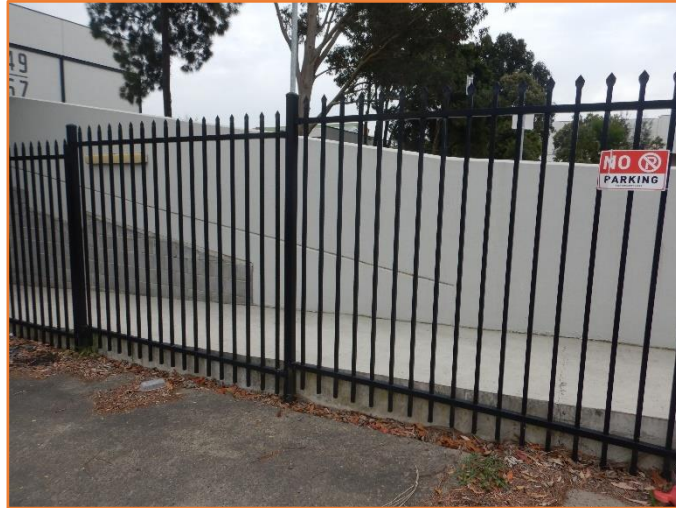


Figure 462: Reasonable - General condition of fence.



Figure 463: Reasonable - General condition of fence.



Figure 464: Reasonable - General condition of fence.





Figure 465: Reasonable - General condition of fence.

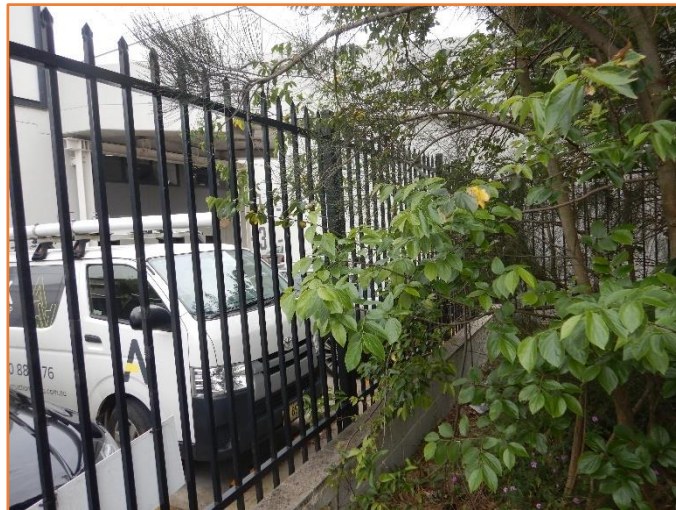


Figure 466: Reasonable - General condition of fence.

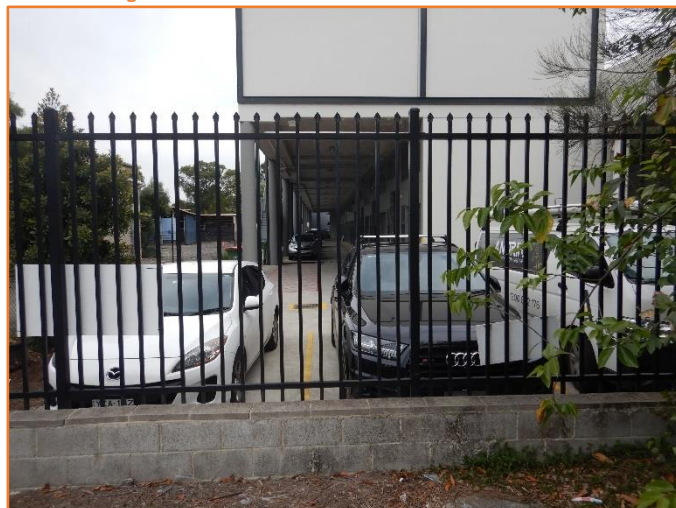


Figure 467: Reasonable - General condition of fence.



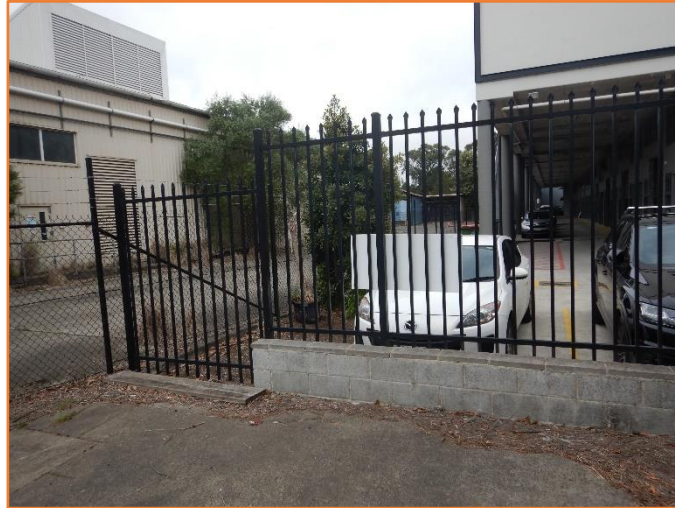


Figure 468: Reasonable - General condition of fence.

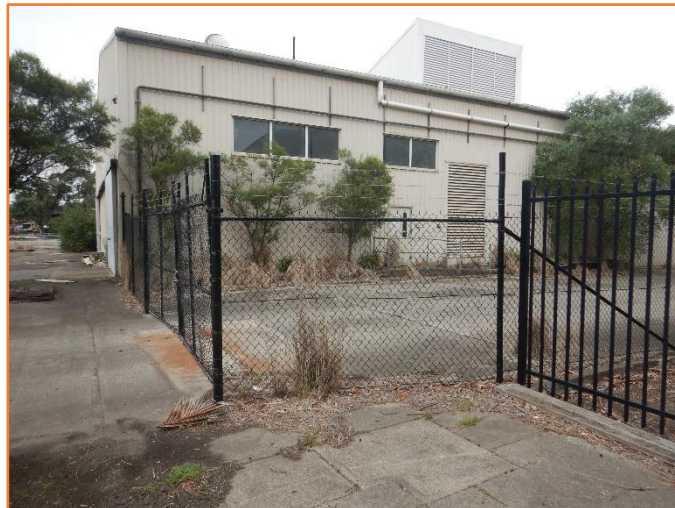


Figure 469: Reasonable - General condition of fence.



Figure 470: Reasonable - General condition of fence.





Figure 471: Reasonable - General condition of fence.



Figure 472: Reasonable - General condition of fence.

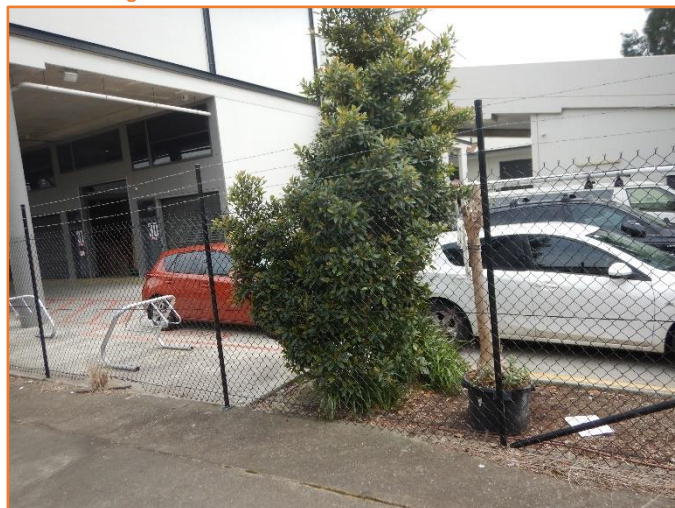


Figure 473: Reasonable - General condition of fence.





Figure 474: Reasonable - General condition of fence.



Figure 475: Reasonable - General condition of fence.



Figure 476: Reasonable - General condition of fence.





Figure 477: Reasonable - General condition of fence.



Figure 478: Reasonable - General condition of fence.

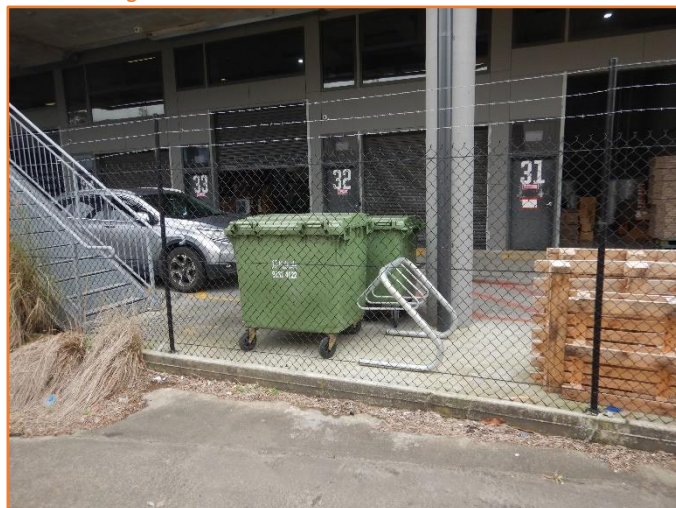


Figure 479: Reasonable - General condition of fence.





Figure 480: Reasonable - General condition of fence.



Figure 481: Reasonable - General condition of fence.



Figure 482: Reasonable - General condition of fence.





Figure 483: Reasonable - General condition of fence.



Figure 484: Reasonable - General condition of fence.



Figure 485: Reasonable - General condition of fence.





Figure 486: Reasonable - General condition of fence.



Figure 487: Reasonable - General condition of fence.



Figure 488: Reasonable - General condition of fence.





Figure 489: Reasonable - General condition of fence.

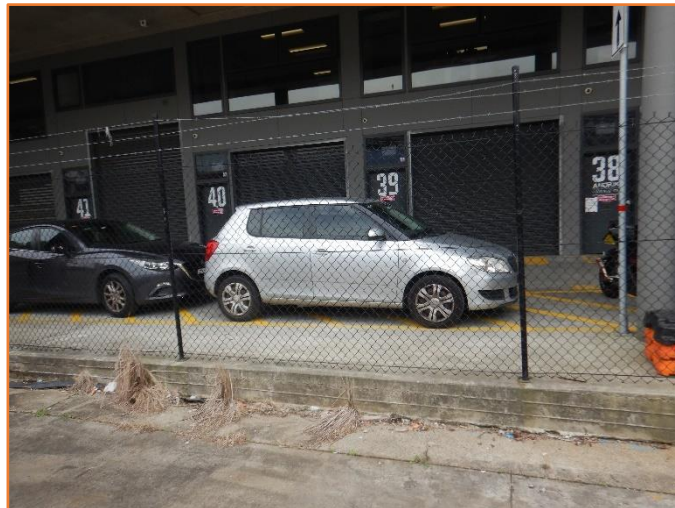


Figure 490: Reasonable - General condition of fence.



Figure 491: Reasonable - General condition of fence.





Figure 492: Reasonable - General condition of fence.

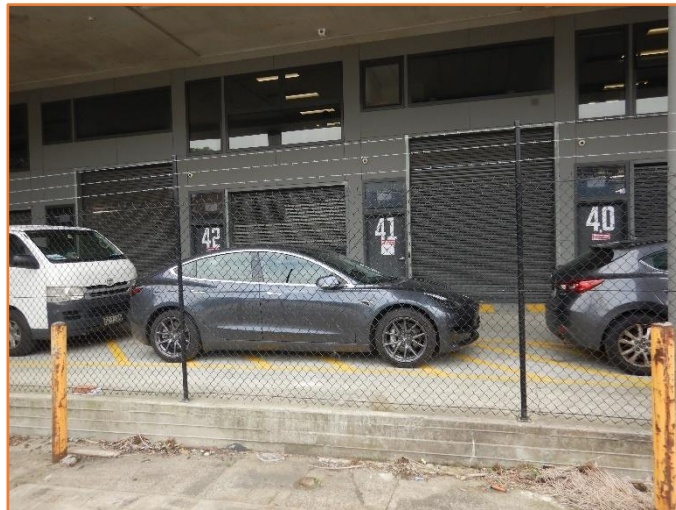


Figure 493: Reasonable - General condition of fence.

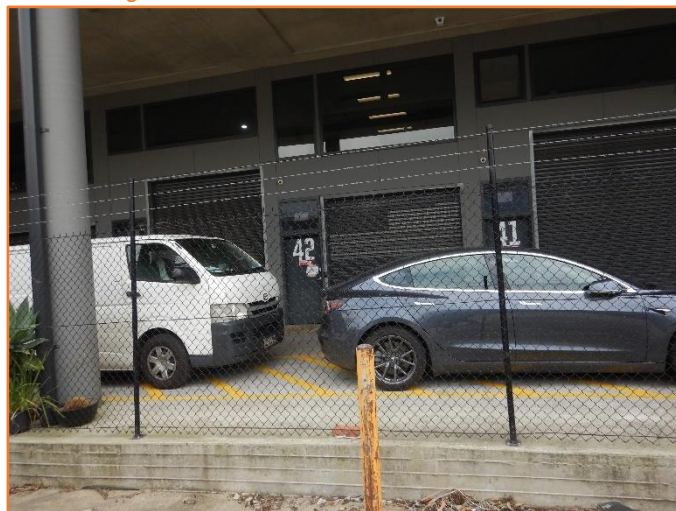


Figure 494: Reasonable - General condition of fence.





Figure 495: Reasonable - General condition of fence.



Figure 496: Reasonable - General condition of fence.



Figure 497: Reasonable - General condition of fence.



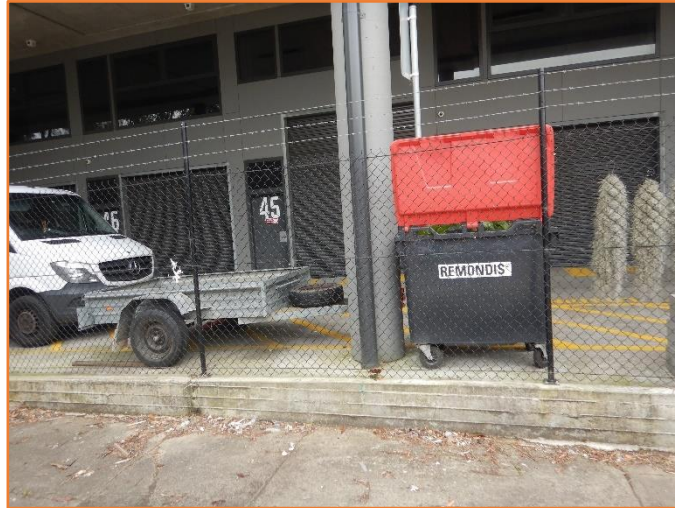


Figure 498: Reasonable - General condition of fence.



Figure 499: Reasonable - General condition of fence.



Figure 500: Reasonable - General condition of fence.





Figure 501: Reasonable - General condition of fence.

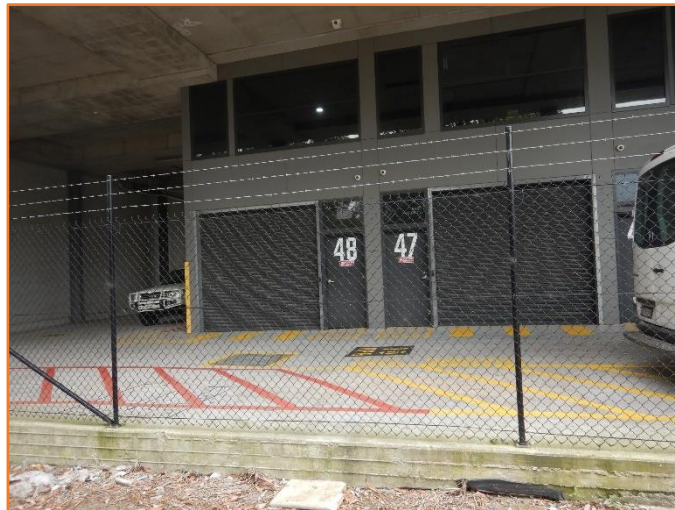


Figure 502: Reasonable - General condition of fence.

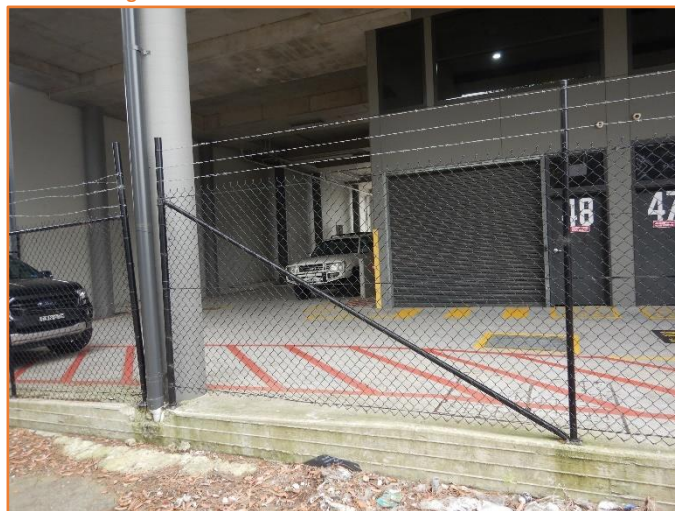


Figure 503: Reasonable - General condition of fence.



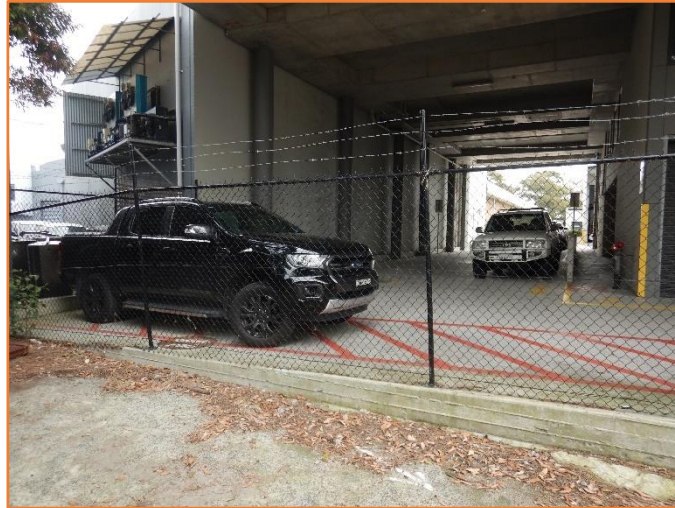


Figure 504: Reasonable - General condition of fence.



Figure 505: Reasonable - General condition of fence.



Figure 506: Reasonable - General condition of fence.





Figure 507: Reasonable - General condition of fence.



Figure 508: Reasonable - General condition of fence.



Figure 509: Reasonable - General condition of fence.





Figure 510: Reasonable - General condition of fence.



Figure 511: Reasonable - General condition of fence.



Figure 512: Reasonable - General condition of fence.





Figure 513: Reasonable - General condition of fence.



Figure 514: Reasonable - General condition of fence.



Figure 515: Reasonable - General condition of fence.



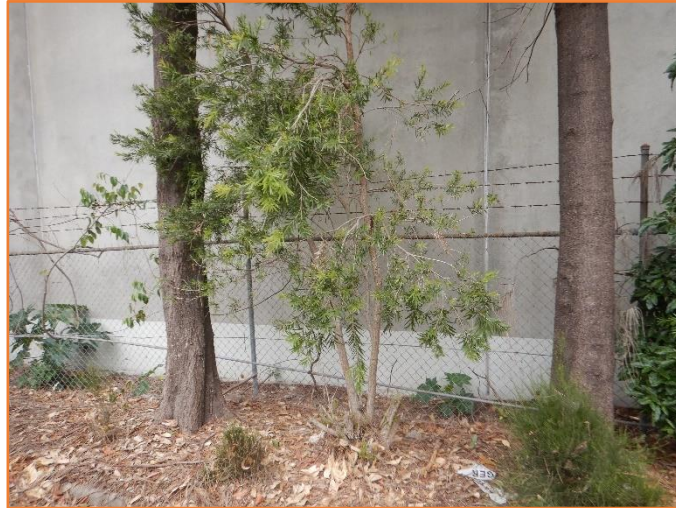


Figure 516: Reasonable - General condition of fence.



Figure 517: Reasonable - General condition of fence.



Figure 518: Reasonable - General condition of fence.





Figure 519: Reasonable - General condition of fence.



Figure 520: Reasonable - General condition of fence.



Figure 521: Reasonable - General condition of fence.





Figure 522: Reasonable - General condition of fence.

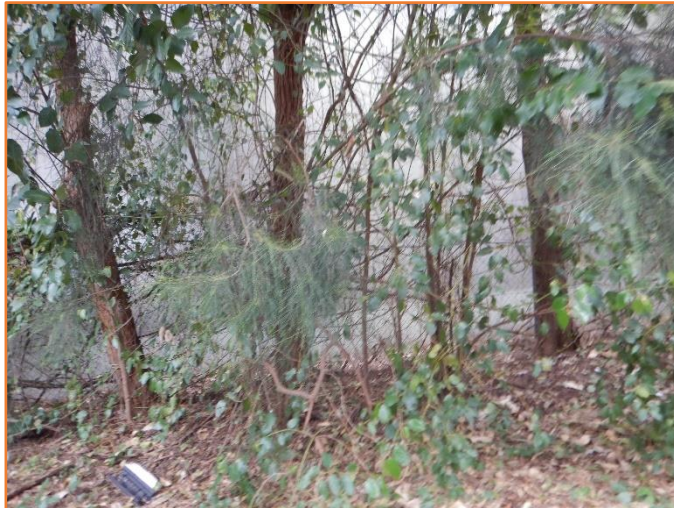


Figure 523: Reasonable - General condition of fence.



Figure 524: Reasonable - General condition of fence.





Figure 525: Poor - General condition of fence. Major physical damage observed.



Figure 526: Poor - General condition of fence. Major physical damage observed.



Figure 527: Poor - General condition of fence. Major physical damage observed.





Figure 528: Reasonable - General condition of fence.



Figure 529: Reasonable - General condition of fence.



Figure 530: Reasonable - General condition of fence. Minor physical damage observed.





Figure 531: Reasonable - General condition of fence.



Figure 532: Reasonable - General condition of fence.

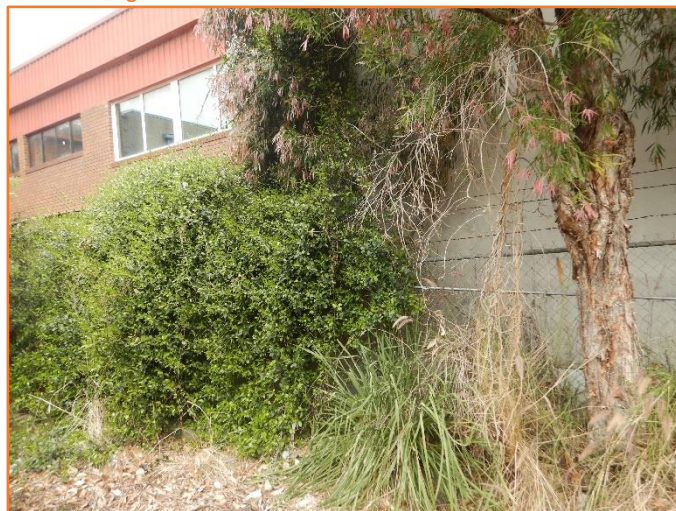


Figure 533: Reasonable - General condition of fence.





Figure 534: Reasonable - General condition of fence.



Figure 535: Reasonable - General condition of fence.



Figure 536: Reasonable - General condition of fence.





Figure 537: Reasonable - General condition of fence.



Figure 538: Reasonable - General condition of fence.



Figure 539: Reasonable - General condition of external wall.





Figure 540: Reasonable - General condition of external wall.



Figure 541: Reasonable - General condition of external wall.



Figure 542: Reasonable - General condition of external wall.



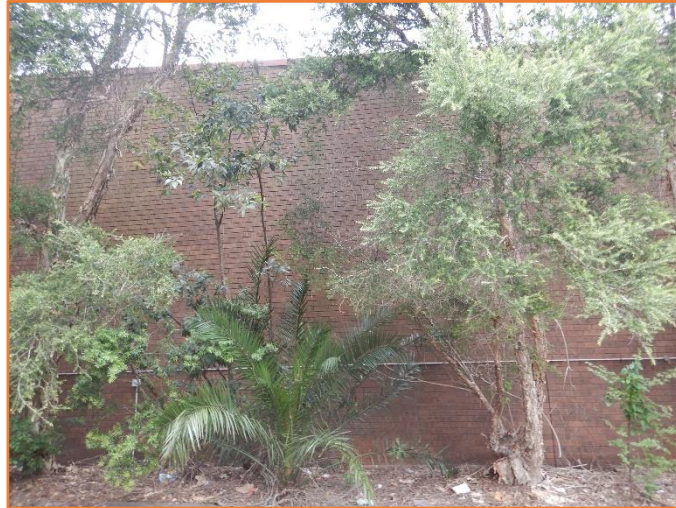


Figure 543: Reasonable - General condition of external wall.



Figure 544: Reasonable - General condition of external wall.



Figure 545: Reasonable - General condition of external wall.





Figure 546: Reasonable - General condition of external wall.



Figure 547: Reasonable - General condition of external wall.



Figure 548: Reasonable - General condition of external wall.





Figure 549: Reasonable - General condition of external wall.



Figure 550: Reasonable - General condition of fence.



Figure 551: Reasonable - General condition of fence.





Figure 552: Reasonable - General condition of fence.



Figure 553: Reasonable - General condition of fence.



Figure 554: Reasonable - General condition of fence.





Figure 555: Reasonable - General condition of fence.

