



CIVIL ENGINEERING: STORMWATER & FLOODING ADVICE
REPORT

Intercontinental Hotel Refurbishment

115-119 Macquarie St, Sydney NSW 2000

PREPARED FOR
Mulpha Hotel Sydney Trust.
Level 5, 99 Macquarie Street
Sydney, 2000

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Civil Engineering Report: Stormwater Report

Revision Schedule

Date	Revision	Issue	Prepared By
17.07.20	1	DRAFT	D. LIGANARIS
27.07.20	2	Final DRAFT	D. LIGANARIS
05.08.20	3	Final	D. LIGANARIS

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1. General

1.1 Introduction

This Stormwater & Flooding Report has been prepared by Northrop Consulting Engineers Pty Ltd (Northrop) for Mulpha Hotel Sydney Trust, and relates to a Stage 2 (Detailed SSDA) for the Intercontinental Hotel Refurbishments works located at 115-119 Macquarie St. This report is intended to address requirements relating to stormwater and flooding as per the Secretary's Environmental Assessment Requirements (SEARS) - SSD-10454 which include:

- 12 – Water & Flooding
 - Prepare a stormwater management report demonstrating how stormwater would be appropriately managed in accordance with Council's requirements
 - Provide an assessment of impacts to surface water & groundwater, including any impacts on acid sulphate soils, background conditions for any water resource likely to be affected, and impacts on hydrology
 - Provide a water quality assessment report to address impacts on water pollution
 - Provide consideration of water sensitive urban design measures
 - Assess flooding impacts in accordance with the Floodplain Development Manual (2005)

1.2 Description of the site

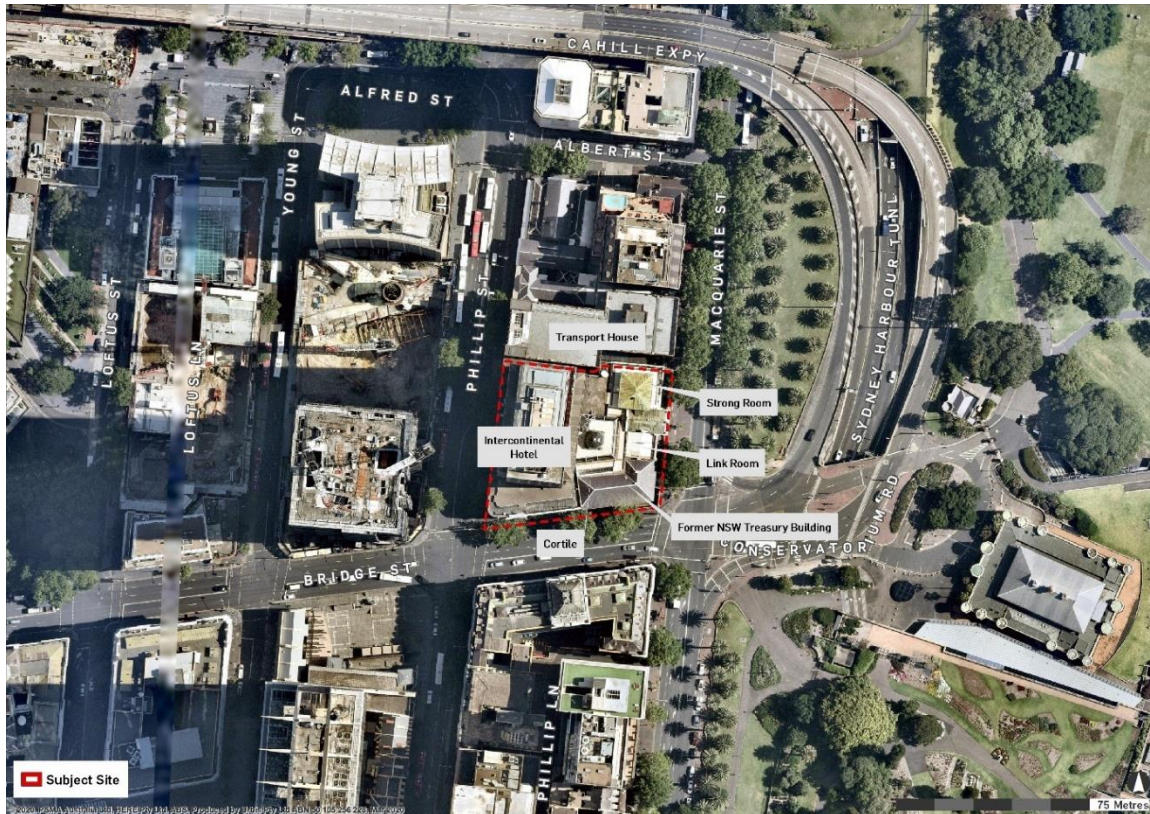
The site comprises two allotments containing the Intercontinental Hotel (incorporating the former NSW Treasury Building) at 115-119 Macquarie Street. The legal description of the site is:

- Lot 40 DP 41315; and
- Lot 4 DP 785393,

The site (115-119 Macquarie Street) contains two interconnected buildings that comprise:

- The 32-storey Intercontinental Hotel tower, which is located on the corner of Phillip and Bridge Streets set above a podium.
- The State Heritage listed former NSW Treasury Building, which is located on the corner of Macquarie and Bridge Streets.

Immediately to the north of the site (99-113 Macquarie Street) is a seven-story commercial building known as Transport House, which is locally heritage listed. This site was part of the SSD 7693 Concept approval. Works relating to this portion of the Concept SSDA site will be progressed via a separate planning approval/application. The building is separated from the Treasury Buildings by a narrow laneway, known as Macquarie Lane.



1.3 Description of the Proposal

The proposal is a Stage 2 (Detailed) SSDA that seeks approval for:

- Various refurbishments to the Intercontinental Hotel tower.
- Alterations to the roof of the Intercontinental Hotel, including expansion of the club lounge and terrace – in compliance with the approved envelope under SSD 7693 (the Concept approval).

The proposed land use is ‘tourist and visitor accommodation’ (including ancillary uses), consistent with the existing use and what was considered/approved under the Concept approval.

From a staging perspective, no works will be undertaken to Transport House due to its sensitivity and requirement for more consideration, including a competitive design process. It is also noted that internal fit outs to hotel rooms has been progressed via a Complying Development Certificate (CDC) process.

The proposal would increase the GFA of the Intercontinental Hotel tower by 250sqm. The proposal also provides a maximum height of building of RL 114.55 (consistent with the envelope approved under the Concept approval).

2. Stormwater Management

In relation to stormwater management and the proposed refurbishment works, there is a proposed extension to the floor area of the existing club lounge on level 32.

In the existing case, there is a sloped section of roof of the building fronting Phillip Street which directs stormwater to the edge of the building which contains a box gutter and a series of downpipes. (Refer Figure 1 below)

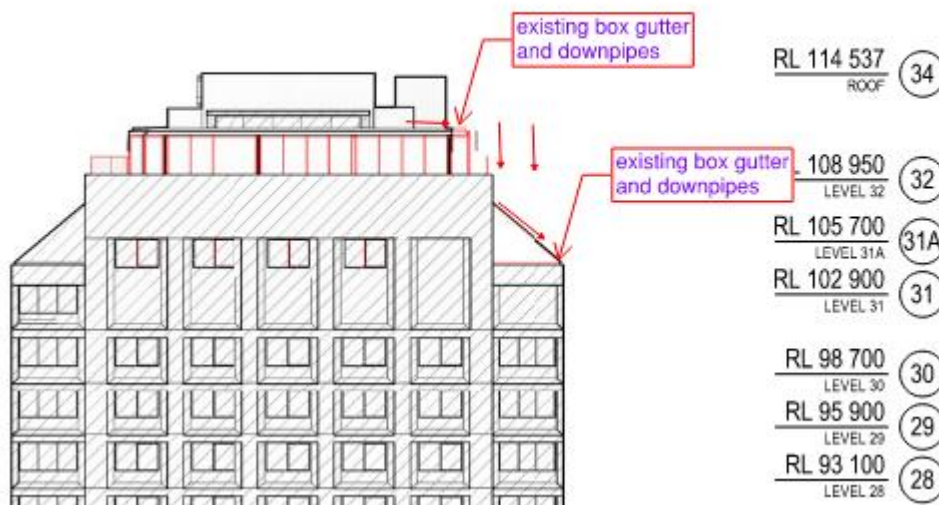
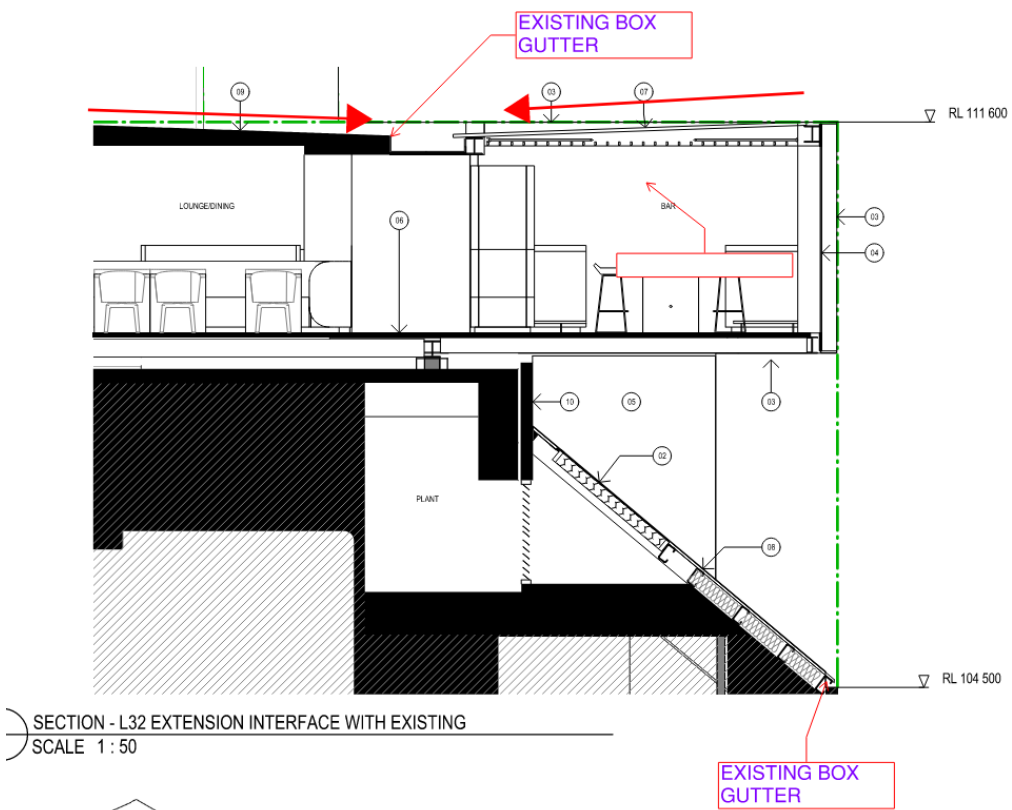
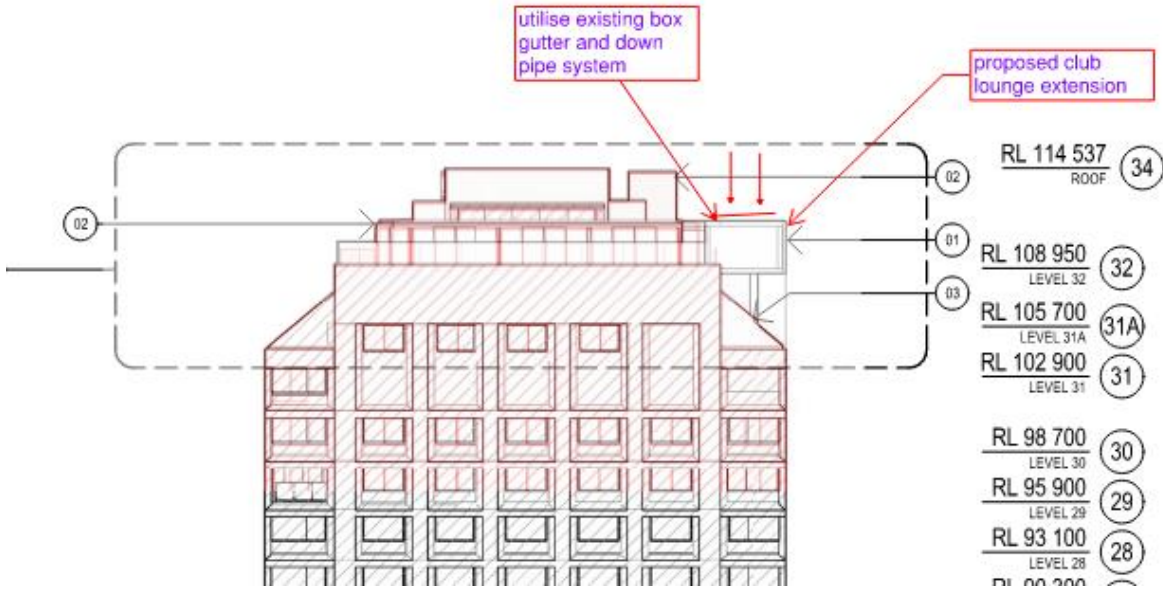


Figure 1: Existing Stormwater Flow & Structures

In the proposed case, the lounge room extends over the roof and so stormwater will be redirected to the existing box gutter on the roof.



SECTION - L32 EXTENSION INTERFACE WITH EXISTING
SCALE 1 : 50

Figure 2 Proposed Stormwater Flow and Structures

2.1 Impacts to Surface Water & Ground water

The proposed refurbishment works do not impact on surface water and groundwater as there is no proposed ground excavation and amendments to the surface water flow regime.

2.2 Water Quality

The proposed refurbishment works involve minor adjustments to stormwater flow as described in section 2 above and do not result in adjustments of impervious/pervious areas for the site and the usage of areas exposed to stormwater are not changing (e.g. existing roof is proposed to be covered by proposed roof of the extended component – as per figure 2). On this premise there are no negative impacts on water quality for the site.

2.3 Flooding Impacts

Upon review of the 'City Area Catchment Floodplain Risk Management Plan – Part 1' prepared by WMA water for the City of Sydney dated September 2016 identified no flooding within the 1% AEP and PMF storm event (Refer Figure 7 & Figure 8 of the above mentioned report).

The proposed refurbishment works do not include changes to floor levels or external works.

On this premise there are not negative impacts on flooding for the site.

3. Conclusion

Northrop Consulting Engineers Pty Ltd (Northrop) have been engaged by Mulpha Hotel Sydney Trust to prepare a Stormwater & Flooding Advice Report for the Intercontinental Hotel Refurbishment works.

The proposed development will involve the extension of the existing top-level club lounge over an existing section of roof.

This report addresses items relating to Stormwater & Flooding in relation to the SEAR's (SSD-10454) and findings are summarized below:

- Stormwater Management – The proposed works involve redirecting some of the existing roof catchment to an alternate existing box gutter & down pipe system. The works have minimal impact on the existing stormwater management and can readily be managed.
- Surface Water & Groundwater impacts – Proposed works have no negative impacts as there is no proposed ground excavation and amendments to the surface water flow regime.
- Water Quality Impacts – Proposed works have no negative impacts on existing water quality levels as there are no adjustments of impervious/pervious areas for the site or usage of areas exposed to stormwater
- Flooding Impacts – the area surrounding the site is not flood prone and proposed works have no negative impacts.

Overall, we are of the opinion that the proposed stormwater management strategy can effectively manage stormwater runoff and ensure that the proposed refurbishment works will not result in any negative impacts.

Should you have any queries regarding this correspondence, please feel free to contact our office on (02) 9241 4188.