

### ANGEL PLACE LEVEL 8, 123 PITT STREET SYDNEY NSW 2000

URBIS.COM.AU Urbis Pty Ltd ABN 50 105 256 228

25 August 2020

Karl Fetterplace Senior Planner, Key Sites Assessments Planning and Assessment Department of Planning, Industry & Environment Karl.Fetterplace@planning.nsw.gov.au

Dear Karl.

### TREASURY CMP – SSD-10454

The SEARs for SSD-10454 contain the following requirement under section 6 Heritage:

Compliance with the current Conservation Management Plan (CMP) and/or any amendments to the CMP, noting that any amendments to the CMP for the former Treasury Buildings must first be endorsed by the Heritage Council and the CMP for Transport House must be accepted by Council.

Urbis contends that the proposal under this SSD-10454 is minor in terms of work proposed within the state heritage register curtilage of the Former Treasury Buildings. Works within the Former Treasury Buildings are restricted to compliance upgrade of existing balustrades where no new intervention is proposed, and removal of later intrusive or neutral fabric without any adverse impacts on significant fabric.

The Conservation Management Plan prepared by Urbis (most recent version dated 21 July 2020) for the Former Treasury Buildings is integral to the management of the place's significance in the face of proposed change. The CMP is in draft form but generally complete at the moment, and is awaiting formal endorsement from the Heritage Council of NSW after an extensive review process.

The SEARs requirement above requires that this formal endorsement occurs prior to the SSD-10454 being lodged for assessment. However, as this SSD-10454 is for very minor works with no adverse impacts, the Conservation Management Plan is not critical to the assessment or management of these works, and Urbis strongly consider that the CMP in its current final draft form is sufficient for the purposes of this SSD-10454 and that formal endorsement prior to lodgement is unnecessary.

Please see attached letter from heritage NSW confirming the same position as stated above, as well as a copy of the current final draft CMP. Please contact me should you have any questions.

Yours sincerely,

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Our ref: DOC20/596041

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By email: Cameron.Sargent@planning.nsw.gov.au

Dear Cameron,

# RE: Intercontinental/Former Treasury Stage 2 SSD-10454 - timing and review and endorsement of the Treasury Conservation Management Plan

As requested, I'm writing to confirm recent discussions with Karl Fetterplace about the timeframe for the Heritage Council's endorsement of the Intercontinental Hotel Former Treasury Building CMP.

We understand that Mulpha are required to lodge an endorsed CMP for the Treasury CMP as part of a HNSW Condition of Consent from the Stage 1 SSD-7693 and the SEARs for the proposed Stage 2 SSD application.

As we noted in our conversation and emails of 13 August, the review of the CMP (latest revision lodged with HNSW in July) is currently in progress and that we anticipate its endorsement within the next 3 months.

The pre-DA consultation discussions with our South Assessments team indicate that the Stage 2 SSD-10454 proposal is generally in compliance with the relevant draft policies in the CMP under review. Therefore, it would be acceptable to HNSW for the SSD to be lodged in parallel with the continuing review and endorsement of the CMP. From our end, and to further clarify, we would support a section 4.55 modification.

Please contact me if you wish to discuss this matter.

#### Yours sincerely



Emma Dortins
Senior Team Leader South Metro Heritage Operations
HERITAGE NSW
Department of Premier and Cabinet
25 August 2020



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## **EXECUTIVE SUMMARY**

Urbis has been engaged by Mulpha Hotel (Sydney) Pty Limited (Mulpha) to prepare the following Conservation Management Plan (CMP) for the Former Treasury Buildings at the corner of Macquarie and Bridge Streets in Sydney, hereafter referred to as the subject site. Mulpha is the owner of the buildings and they are occupied by the InterContinental Hotel, Sydney.

The purpose of a CMP is to outline the significance of a place and providing guiding policy to manage that significance. The CMP provides a careful analysis of why the item is significant, policies on how to retain its significance, and conservation strategies to ensure its long-term viability. The CMP provides a careful analysis of why the site is significant, policies on how to retain its heritage significance, and conservation strategies to ensure its long-term viability.

The former Treasury buildings are identified as both a state listed heritage item under the *Heritage Act 1977*, and a locally listed heritage item under Schedule 5 of the *Sydney Local Environmental Plan* (LEP) *2012*. The subject building and its surrounding context along Macquarie Street are also within the designated Macquarie Street Special Character Area identified in Section 2.1.6 of the Sydney DCP 2012.

The defined heritage curtilage of the Former Treasury Buildings is restricted to only a portion of the legal property area, being the historic buildings along Macquarie Street and Bridge Street and excludes the later hotel development. A detailed explanation of the subject site to which this CMP applies is included at Section 1.4.

#### What is the heritage significance of the Former Treasury Buildings?

The Former Treasury Buildings are collectively identified as a heritage item of state heritage significance under both the NSW State Heritage Register (Item 00355 'Intercontinental Hotel former Treasury Building') and Schedule 5 of the Sydney LEP 2012 (Item 1871 'Former Treasury Building including interiors').

The Proposed Statement of Significance included at Section 5.5.2 and 5.6.2 of this report summarises the heritage values of the place as follows:

The former Treasury buildings at 115 – 119 Macquarie Street (64 Bridge Street) are of State heritage significance for their historical, aesthetic, associative, rarity and representative values. The former Treasury buildings comprise the Original Treasury Building (c.1849-1851), the northern wing extension being the Strong Room building (c.1896-1897) and the Link Building (c.1898-1899), and the Western Wing extension (c.1916-1919). Collectively, the former Treasury buildings are an outstanding example of Sydney's colonial development and in particular of successive Government office development of the over a period of 70 years.

The buildings have a strong association with the Government (and Colonial) Architect's Branch, and in particular the works of Mortimer Lewis, Walter Liberty Vernon and George McRae. The buildings are also considered significant for their long association with the Treasurer's Department (and affiliated department) and were occupied by a number of significant political figures during this period.

The Original Treasury Building is of the Italian Palazzo style, which is referenced in both the northern and western wing extensions. The Original Treasury Building in particular is considered to be rare as is it one of the first public office buildings remaining extant, and an early fine example of a Palazzo style building.

The collective building group is a significant Sydney landmark, comprising highly intact sandstone façades to Macquarie Street and Bridge Street. A number of rooms are highly intact and representative of their period of development and specific use (The Premier's Room; the vault). The site contributes to the streetscapes of Macquarie and Bridge Streets, and also to the colonial Sydney setting of the area. The buildings are associated with and form part of an important group of early public sandstone buildings in Sydney along Bridge, Macquarie and College Streets. The subject Treasury buildings forms part of an important group of public use buildings on the block bounded by Macquarie, Bridge, Phillip and Albert Streets.

The broader InterContinental Hotel site was redeveloped in the 1980s to provide for the existing hotel building, which interfaces with the rear of the Former Treasury Buildings. This development resulted in the loss of fabric to the rear of the Western Wing extension, and construction of the Cortile against the Northern Wing's rear arcade.

The basement floor of the Link building was completely excavated and investigated to lay a new floor during the 1980s. This area is highly disturbed. Other sub floor areas including underneath the basement levels of the Original Treasury Building, the Western Link and the Strong Room, may be less disturbed and may have potential for archaeological relics associated with the construction of these buildings, however these areas will not provide evidence of former significant structures. Intact sub surface archaeological relics beneath the Original Treasury Building have the potential to be of state heritage significance.

#### How should the Former Treasury Buildings be managed and conserved?

Section 8 of this CMP provides conservation policies and guidelines to assist in the management of the heritage values of the item. Any proposed modifications to the heritage item must take into consideration the identified significance and must have regard for the total resource.

When undertaking works to the site, assessment under relevant legislation (refer to Section 6.2) should consider whether the works are likely to impact on the site's heritage significance and/or nominated significant fabric, as identified in this CMP. Reference should be made to the site's Statement of Significance (Sections 5.5.2 and 5.6.2), Schedule of Significant Elements (Section 0 and Appendix B) and its archaeological potential (Section 5.2.2). Any change should be considered with a goal of conserving and enhancing the identified heritage values of the buildings wherever possible, while accommodating its continued use or adaptive reuse. If works may impact on the site's identified heritage significance, a heritage impact statement should be prepared by a suitably qualified heritage consultant in accordance with Heritage NSW / Heritage Council of NSW quidelines.

The Former Treasury Buildings also require regular maintenance and upgrade works to conserve their heritage significance and identified significant fabric. Minimum standards of maintenance and repair under Section 118 of the *Heritage Act 1977* and as specified in the Heritage Regulations 2012, are required to be applied to the buildings to ensure their long-term conservation.

## 1. INTRODUCTION

### 1.1. REPORT PURPOSE

Urbis has been engaged by Mulpha Hotel (Sydney) Pty Limited (Mulpha) to prepare the following Conservation Management Plan (CMP) for the Former Treasury Buildings at the corner of Macquarie and Bridge Streets in Sydney (State Heritage Register Item No. 00355), hereafter referred to as the subject site. Mulpha is the owner. The buildings are occupied by the InterContinental Hotel, Sydney.

The CMP provides a careful analysis of why the item is significant, policies on how to retain its significance, and conservation strategies to ensure its long-term viability.

#### 1.2. CMP METHODOLOGY

This CMP has been prepared in accordance with the NSW Heritage Manual (1996), the Australia ICOMOS Burra Charter (2013) and The Conservation Plan by James Semple Kerr (2000). The report is structured as follows:

Table 1 - Report Structure

Se	ection	Subsections
1.	Introduction	Report purpose, methodology, limitation, author identification and acknowledgements
2.	Site Description	Site location, asset and site description, use and operation, curtilage and condition assessment
3.	Historical Overview	Historical overview of the heritage item and relevant historical themes
4.	Comparative Analysis	Comparative assessment of the buildings considering national and international examples of the period and style
5.	Cultural Heritage Significance	Assessment and statement of heritage significance, identification of significant elements and archaeological potential
6.	Heritage Listings & Statutory Obligations	Statutory heritage listings, obligations under relevant legislation
7.	Opportunities & Constraints	Constraints and obligations as part of the process for developing conservation policies
8.	Conservation Policies	Policies to manage the items significance and implementation strategies for the policies

This report follows a number of on-site inspections undertaken between September and November 2016. The site was inspected by Fiona Binns (Associate Director, Heritage) and Ashleigh Persian (Senior Heritage Consultant).

This report revises the Conservation Analysis, Statement of Cultural Significance, Development Constraints and Draft Conservation Policy Report, prepared by Clive Lucas Pty Ltd in August 1982.

### 1.3. AUTHOR IDENTIFICATION AND ACKNOWLEDGEMENTS

The following report has been prepared by Fiona Binns (Associate Director – Heritage) and Ashleigh Persian (Senior Heritage Consultant). All of the authors support for the proposed statement of significance outlined at Section 5.6.2 and the conservation policies outlined at Section 8.

This report revises the following Conservation Management Plan (CMP):

Conservation Analysis, Statement of Cultural Significance, Development Constraints and Draft Conservation Policy Report, prepared by Clive Lucas Pty Ltd in August 1982

Unless otherwise stated, all drawings, illustrations and photographs are the work of Urbis. The authors would like to thank the following people for their assistance with the compilation of this plan:

• Andy Goonesekera, Director of Engineering, InterContinental Sydney

### 1.4. DEFINING THE SUBJECT SITE: THE FORMER TREASURY BUILDINGS

The subject site, being the Former Treasury Buildings at the corner of Macquarie and Bridge Streets in Sydney (State Heritage Register Item No. 00355), forms part of a larger legally defined land holding known as the InterContinental Hotel Sydney. The broader InterContinental Hotel Sydney site is legally described as the whole of the land within Lot 40 in Deposited Plan 41315 and Lot 4 in Deposited Plan 785393.

The extent of the subject site covers only those early buildings situated along the Macquarie Street and Bridge Street periphery of the InterContinental Hotel Sydney constructed between c.1849-1919, as defined by the State Heritage Register (SHR) curtilage map for Item No. 00355 (only *part* of Lot 40 in Deposited Plan 41315). The remainder of the site is occupied by the 1980s' hotel development to the Phillip Street boundary. Along the Bridge Street portion of the subject site, the later hotel development overlaps with the earlier Treasury buildings. There is a 'cortile' space which provides for a central interface between the subject site buildings and the hotel development. This cortile is a generally square central courtyard covered by a steel framed domed roof, constructed in the 1980s.

The following plans show the extent of the subject site (SHR curtilage for Item No. 00355) on an aerial in the context of the broader InterContinental Hotel Sydney site, and the defined SHR curtilage plan.



Figure 1 – Site Plan, showing the extent of the subject site (SHR curtilage for Item No. 00355) on an aerial in the context of the broader InterContinental Hotel Sydney site

Source: Nearmap 2019 with Urbis annotations

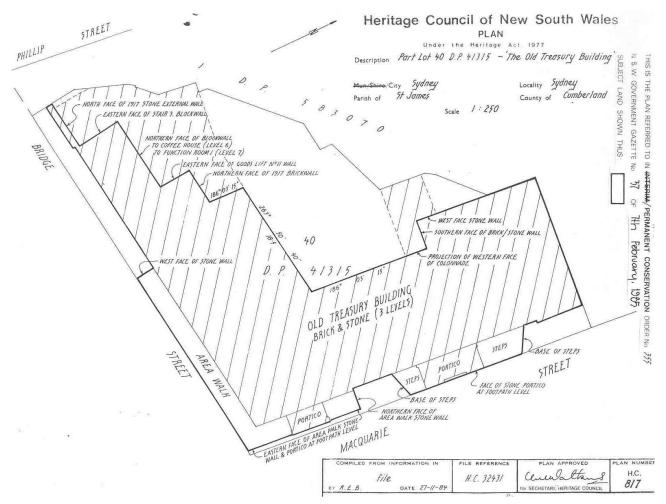


Figure 2 – Existing State Heritage Register NSW Curtilage – only part of Lot 40 Deposited Plan 41315 is listed as a state heritage item

Source: NSW State Heritage Inventory, Intercontinental Hotel Former Treasury Building

The improvements across the broader InterContinental Hotel Sydney site are comprised of four distinct building stages, as follows:

- 1. Original Treasury Building, c.1849-1851 (part of the subject site within the SHR curtilage).
- Northern wing extension to the Treasury along Macquarie Street, including the Link Building and Strong Room Building, c.1896-1899 (part of the subject site – within the SHR curtilage).
- 3. Western wing extension to the Treasury along Bridge Street, c.1916-1919 (part of the subject site within the SHR curtilage, with some areas of 1980s' hotel development overlapping within the curtilage).
- 4. InterContinental Hotel development, comprising the Phillip Street frontage building, the central cortile structure, three basement levels of car parking and hotel tower, c.1982 (outside of the subject site study area).

The above building stages are described in more detail in Section 2.4 of this report.

### 1.5. LIMITATIONS

This report notes the potential for original fabric and finishes that were not able to be investigated as part of the brief for the provision of the CMP, for example original flooring beneath contemporary carpeted finishes. This report follows several site inspections undertaken in October of 2016. Inspection of the Former Treasury Buildings was limited to general and non-invasive inspection. No access was provided to roof spaces or sub floors. The CMP makes recommendations with regard to the management of original fabric should this be recovered.

The CMP study area, and its significance assessment of elements, only relates to the buildings and spaces located within the existing SHR curtilage. There is one exception to this approach only, being the cortile space, which has been assessed at a very high level given its inclusion of early elements (i.e. caged lift and stair) and its direct interface with the rear arcade of the Former Treasury Buildings. The tower and podium of the 1980s' hotel building, which are located outside of the SHR curtilage, are excluded from the subject site assessed in this CMP, have not been assessed for their potential heritage significance, and are not included in the schedule of significant elements or significance diagrams.

### 1.6. GLOSSARY

Common abbreviations and definitions used throughout the report are provided in the table below:

Table 2 – Abbreviations

Abbreviation	Definition	
BCA	Building Code of Australia	
CMP	Conservation Management Plan	
EMP	Environmental Management Plan	
LEP	Local Environmental Plan	
HAMS	Heritage Asset Management Strategy	
HMF	Heritage Management Framework	
REF	Review of Environmental Factors	
RNE	Register of the National Estate	
S170R	Section 170 Heritage and Conservation Register (under the Heritage Act 1977)	
SEPP	State Environmental Planning Policy	
SHR	State Heritage Register of New South Wales (under the Heritage Act 1977)	
TAMP	Total Asset Management Plan	

Table 3 - Glossary of Terms

Term	Definition
Aboriginal object	A statutory term meaning any deposit, object or material evidence (not being a handicraft made for sale) relating to the Aboriginal habitation of the area that comprises New South Wales, being habitation before or concurrent with (or both) the occupation of that area by persons of non- Aboriginal extraction, and includes Aboriginal remains

Term	Definition	
Aboriginal place	A statutory term meaning any place declared to be an Aboriginal place (under s.84 of the <i>National Parks and Wildlife Act 1974</i> ) by the Minister administering the NPW Act, because the Minister is of the opinion that the place is or was of special significance with respect to Aboriginal culture; it may or may not contain Aboriginal objects	
Archaeological assessment	A study undertaken to establish the archaeological significance (research potential) of a particular site and to identify appropriate management actions	
Archaeological potential	The degree of physical evidence present on an archaeological site, usually assessed on the basis of physical evaluation and historical research	
Archaeology	The study of past human cultures, behaviours and activities through the recording and excavation of archaeological sites and the analysis of physical evidence	
Australia ICOMOS	The national committee of the International Council on Monuments and Sites	
Burra Charter	Charter adopted by Australia ICOMOS, which establishes the nationally accepted principles for the conservation of places of cultural significance; Although the <i>Burra Charter</i> is not cited formally in an Act, it is nationally recognised as a document that shapes the policies of the Heritage Council of NSW	
Conservation  All the processes of looking after an item so as to retain its cultural significance; it maintenance and may, according to circumstances, include preservation, restorat reconstruction and adaptation, and will be commonly a combination of more than these		
Conservation  Management Plan		
Conservation policy	A proposal to conserve a heritage item arising out of the opportunities and constraints presented by the statement of heritage significance and other considerations	
Context  The specific character, quality, physical, historical and social characteristics of a build setting; depending on the nature of the proposal, the context could be as small as a rentire suburb		
Curtilage  The geographical area that provides the physical context for an item, and which control to its heritage significance; land title boundaries do not necessarily coincide		
Heritage and Conservation Registers	A register of heritage assets owned, occupied or controlled by a State agency, prepared in accordance with section 170 of the Heritage Act	
Heritage assets	Items of heritage significance identified in a State Government Agency's Heritage and Conservation Register, including items of cultural and natural significance	
Heritage item	A landscape, place, building, structure, relic or other work of heritage significance	
Heritage significance	Of aesthetic, historic, scientific, cultural, social, archaeological, natural or aesthetic value for past, present or future generations	

Term	Definition		
Heritage value	Often used interchangeably with the term 'heritage significance'; there are four nature of significance values used in heritage assessments (historical, aesthetic, social and technical/research) and two comparative significance values (representative and rarity)		
Integrity	A heritage item is said to have integrity if its assessment and statement of significance is supported by sound research and analysis, and its fabric and curtilage and still largely intact		
Interpretation Interpretation explains the heritage significance of a place to the users and the common the need to interpret heritage significance is likely to drive the design of new element the layout or planning of the place			
Maintenance	Continuous protective care of the fabric and setting of a place; to be distinguished from repair; repair involves restoration or reconstruction		
Relics	Relic is defined under the Heritage Act 1977 (NSW) as any deposit, object or material evidence which relates to the settlement of the area that comprises NSW, not being Aboriginal settlement, and is of state or local heritage significance		
Setting  The area around a heritage place or item that contributes to its heritage significant may include views to and from the heritage item; the listing boundary or curtilage heritage place does not always include the whole of its setting			
Treasury	The following terms are used throughout this report:		
	Former Treasury Buildings / Treasury: means the collection of different stages of treasury department buildings located on the subject site, including the Original Treasury Building (c.1849), the Strong Room c.1896, the Link Building c.1898 and the Western Wing c.1916. Refers to that part of the site listed on the State Heritage Register.		
	Original Treasury Building / New Treasury: means the first building constructed on the subject site, at the corner of Macquarie and Bridge Streets, in c.1849.		
	Link Building: means the central bay of the Former Treasury Buildings along Macquarie Street, constructed in c1898-99.		
	Strong Room: means the northern bay of the Former Treasury Buildings along Macquarie Street, constructed in c1896-98.		
	Western Wing: means the western extension to the Original Treasury Building along Bridge Street, constructed in c1916-19.		
	Old Treasury / First Treasury: means the first established Treasury location in the colony of Sydney, at 1 O'Connell Street (corner of Bent Street); William Balcombe's official residence.		
Use	Means the functions of a place, as well, as the activities and the practices that may occur at the place; a compatible use respects the cultural significance of a place		

## 2. SITE DESCRIPTION

### 2.1. LOCATION & ACCESS

The location of the subject site is shown in the following diagrams. The site is located on the western alignment of Macquarie Street, at the corner of Bridge Street, in the Central Business District (CBD) of Sydney, in the Local Government Area (LGA) of the City of Sydney.



Figure 3 - Locality Map showing the approximate location of the subject site in a red circle

Source: SIX Maps 2016, Urbis annotations

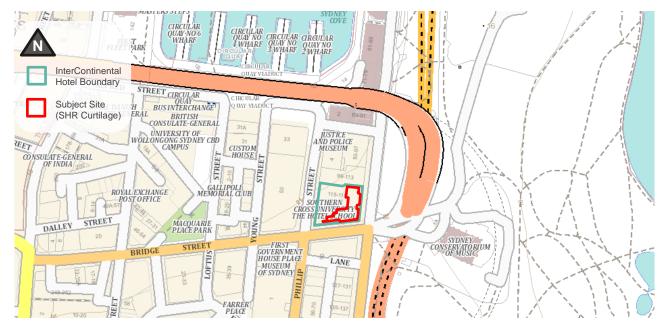


Figure 4 – Locality map showing the subject site outlined in red and the broader InterContinental Hotel Sydney site Source: SIX Maps 2016, Urbis annotations

The subject offers a number of pedestrian access points from Macquarie and Bridge Streets. Vehicular and pedestrian access to the adjoining 1980s' portion of the InterContinental Hotel is available from Phillip Street for both guest vehicles (ramp to reception lobby) and service vehicles (service vehicle entry to basement car parking). Access to the subject site buildings is also available from within the 1980s' hotel development.



Figure 5 – View north west from intersection of Macquarie Street and Bridge Street

Source: Urbis



Figure 6 – View east up Bridge Street from the intersection of Bridge Street and Phillip Street

Source: Urbis



Figure 7 – View north east from the intersection of Bridge Street and Phillip Street

Source: Urbis



Figure 8 – View south west from Bridge Street, near the corner of Phillip Street

Source: Urbis



Figure 9 – Macquarie Street pedestrian entrance (group check-in entrance)

Source: Urbis



Figure 10 – Bridge Street pedestrian access view Meat & Wine Co tenancy

Source: Urbis



Figure 11 – Phillip Street pedestrian access to the hotel (corner of Bridge Street)

Source: Urbis



Figure 12 – Phillip Street vehicular access to the hotel including access to porte cochere on right and access to underground car park on left

Source: Urbis

#### 2.2. **SETTING**

The subject site is located within the northern end of Sydney's Central Business District (CBD). This area of the city is situated within close proximity to major Sydney landmarks including Circular Quay, Sydney Harbour, the Sydney Opera House, the Royal Botanic Gardens and the central commercial centre.

The subject site is situated on the eastern ridgeline of the former Tank Stream valley which ran in a north-south direction through the city along the general alignment of what is now Pitt Street. The natural topography of the subject site slopes down from the corner of Macquarie Street and Bridge Street, down to the north-west towards Phillip Street and Circular Quay. The result of the natural topography of the site is that the basement level the whole site (including the subject Former Treasury Buildings and the adjoining InterContinental Hotel) is below ground level at the Macquarie Street frontage but at grade with Phillip Street to the west.

The subject site is bounded by bitumen and paved footpaths along the Macquarie Street and Bridge Street boundaries. Large street trees line these frontages. Public facilities such as park benches and bins are provided to the Macquarie Street frontage. Opposite the subject site to the eastern alignment of Macquarie Street is a vegetated strip of land separating Macquarie Street from the Cahill Expressway on-ramp. A number of mature Phoenix Palms populate this land, dating back to when they were originally planted in the interwar period.

The intersection of Macquarie Street and Bridge Street provides an unusually large and open forecourt to the Original Treasury Building at the corner, as a result of modern road widening and development of the Cahill Expressway as well as the substantial forecourt to the Conservatorium of Music to the immediate east.

Development proximate to the subject property along the western alignment of Macquarie Street comprises a mixture of commercial and Government development (Transport House, Industrial Relations Commission Court), tourism development (Stamford Hotel, Justice & Police Museum) and residential development (The Astor Residences). Development opposite the subject property along the eastern alignment of Macquarie Street comprises the Sydney Harbour Tunnel and Cahill Expressway road development, and beyond, the Royal Botanic Gardens, Conservatorium of Music and Government House.

The subject site is located within the historical Macquarie Street sandstone precinct of Sydney, comprising some of the oldest public buildings of Australia. The precinct contains a number of early nineteenth century public buildings including Hyde Park Barracks (c.1817-1819), The Mint (c.1811-1816), Sydney Hospital (c.1811), and Parliament House (c.1811). Together with the above properties, the subject Treasury buildings form Australia's most important collection of historic sandstone public buildings. In acknowledgement of this significance, the subject site is noted as being within the boundary of the proposed "Governors' Domain and Civic Precinct" National Heritage Listing. The proposed listing (Place ID 106103 / File 1/12/036/0682) is currently under assessment as at the date of this report.

The subject site and its surrounding context along Macquarie Street are also within the designated Macquarie Street Special Character Area identified in Section 2.1.6 of the Sydney Development Control Plan (DCP) 2012. Section 2.1 of the Sydney DCP explains that Special Character Areas have cultural significance and contribute to the identity and quality of Central Sydney and provides supporting principles for development within these areas.

The subject site previously had physical or visual connections with the other early buildings located on the same block along Albert Street, being the Water Police Court (c.1851), Police Station (c.1858) and a former fire station. These buildings and the subject building all backed onto a tram-way depot along Phillip Street from c.1880s to the early twentieth century. This connection was lost with the removal of the former tram-way depot and construction of the adjoining Transport House building, spanning between Macquarie Street and Phillip Street, in 1938.

The subject site was originally constructed opposite the entrance gates to Government House and Government Stables. The subject property had a visual relationship with the Government House and Botanical Garden development on the eastern alignment of Macquarie Street. However, the gates were removed over time with the continued development of Macquarie Street and Bridge Street. The construction of the Cahill Expressway and Sydney Harbour Tunnel motorways has severed the subject site from the Royal Botanic Gardens and removed the visual relationship formerly existing in this area.

Notwithstanding the urbanisation of the precinct, the subject site has a historically significant setting within the context of the early centre of commerce and Governance in the city. Its historical connections with other significant buildings remain intact along this important civic street.

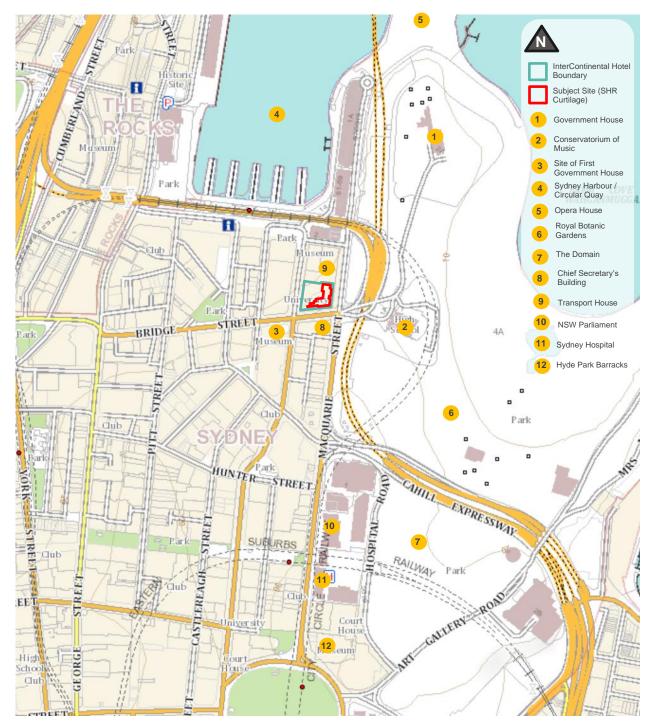


Figure 13 – Diagram identifying the subject site in relation to historically significant buildings and other prominent landmarks in the vicinity

Source: SIX Maps 2019 with Urbis Annotations

### 2.3. SIGNIFICANT VIEWS

The subject site and its Former Treasury Buildings play a significant role in the appreciation of streetscape and townscape values within the immediate precinct, as well as contributing to the general colonial and civic character along Macquarie and Bridge Streets. The former Treasury buildings occupy a prominent corner location and address. Significant views exist between the former Treasury buildings and other prominent Government and administration-based buildings in the area. We have also considered views between the former Treasury buildings and important landmarks within the immediate proximity, including the Opera House etc, notwithstanding that historically significant views may never have existed between these points.



Figure 14 – Views and vistas to and from the Former Treasury Buildings (subject site)

Source: Nearmap 2018 with Urbis Annotations

These views are shown in the below photographs.

Table 4 – Views to and from the Former Treasury Buildings (subject site)

View	Description	Significance	Image
1	Reciprocal view between the former Treasury buildings and the site of First Government House. Views being north-east towards the former Treasury buildings and south-west towards the site of First Government House.	High	
2	View north from Colonial Secretary's Building towards former Treasury Buildings. These sites together once provided one of the key centres of Government administration and management in New South Wales.	High	
3	View north-west from the Royal Botanic Garden entrance gates. The subject former Treasury Buildings have always had a visual relationship with the Domain and Botanic Gardens and this is maintained from particular view points within the gardens.	Moderate	
4	View west from the former Government House stables, now the Sydney Conservatorium of Music. The former Government House stables marked the entrance to the Government House grounds and was already extant when the former Treasury buildings began construction in 1849. Treasury circled.	Moderate	

View	Description	Significance	Image
5	View south-west from the forecourt gardens of Government House towards the former Treasury buildings (not visible). The InterContinental Hotel tower is visible (indicated). It is speculated that a visual relationship once existed between Government House and the former Treasury Buildings given their close physical proximity, however this is now obscured by vegetation and development.	Moderate – no longer exists	
6	View north from the Mitchell Library / State Library of New South Wales towards the former Treasury buildings (not visible). The library represents one of the closest significant Government & community buildings located along Macquarie Street, along the 'Colonial Sydney' corridor. This view is speculated to once have existed but is now obscured by vegetation and new development.	Low – does not exist	
7	View north-west from within the Royal Botanic Gardens adjacent to the Rose Garden. Former Treasury buildings not visible – speculated never visible given the topography of the land at this point and vegetation. The InterContinental Hotel tower is visible (indicated).	Low – does not exist	
8	View south towards the former Treasury buildings (not visible) from the upper steps of the Opera House. The InterContinental Hotel tower is visible (indicated). It is doubtful whether a visual connection was ever shared between the former Treasury buildings and the Opera House / Fort Macquarie, given the topography of the land.	Low – does not exist	

View	Description	Significance	Image
9	View south towards the former Treasury buildings (not visible) from the Cahill Expressway above Circular Quay. The InterContinental Hotel tower is visible (indicated). No visual connection between Circular Quay and the former Treasury buildings exists now or historically. This view corridor has always been visually obscured by quay-side development and the steep topography of the land in this area.	Low – does not exist	

#### **DESCRIPTION OF BUILDINGS** 2.4.

The improvements across the broader InterContinental Hotel Sydney site are comprised of four distinct building stages, as follows:

- 1. Original Treasury Building, c.1849-1851 including the portico (part of the subject site within the SHR curtilage).
- 2. Northern wing extension to the Treasury along Macquarie Street, including the Link Building and Strong Room Building, c.1896-1899 (part of the subject site – within the SHR curtilage).
- 3. Western wing extension to the Treasury along Bridge Street, c.1916-1919 (part of the subject site within the SHR curtilage, with some areas of 1980s' hotel development overlapping within the curtilage).
- 4. InterContinental Hotel development, comprising the Phillip Street frontage building, the central cortile structure, three basement levels of car parking and hotel tower, c.1982 (outside of the subject site study area).



Figure 15 - Site Plan, showing the extent of the subject site (SHR curtilage for Item No. 00355) on an aerial in the context of the broader InterContinental Hotel Sydney site

Source: Nearmap 2019 with Urbis annotations

The existing configuration of the improvements is shown in the phase of development diagrams below, noting the general period for spaces and overall built form. While elements shown may have been reconstructed or altered at later dates, these diagrams are meant to provide a high level holistic indication of the period to which each building dates. The following sections of this report (Sections 2.4.3 to 2.4.6) provide a brief overview of the form, materiality and condition of the buildings. A detailed assessment of principal rooms is included in the Room Data Sheets in Appendix B. Full historical analysis of the development of the buildings, including alterations and additions, is located in Section 3.3 of this report.

### 2.4.1. Phase of Development Diagrams



Figure 16 – Extract of 'as built' plans showing period of construction – Macquarie Street elevation Source: Hassell Architects with Urbis annotations and overlay

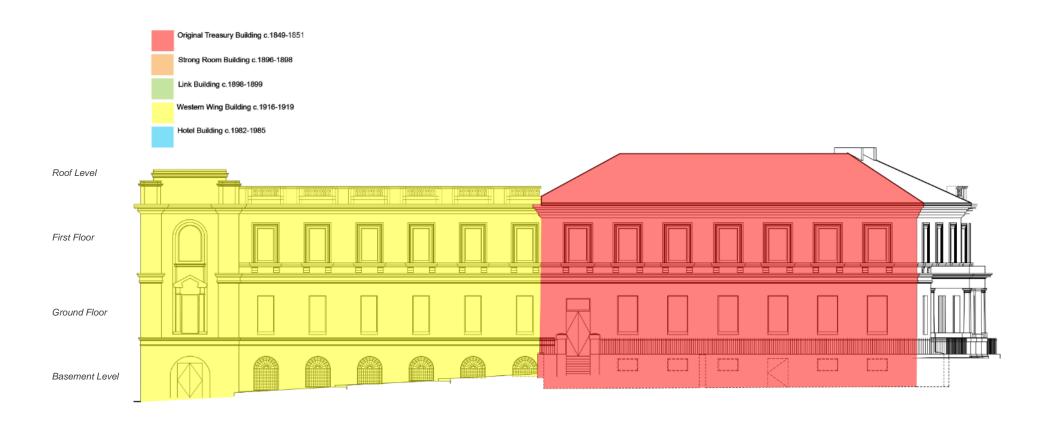


Figure 17 – Extract of 'as built' plans showing period of construction – Bridge Street elevation. Note that the entrance steps to the Bridge Street elevation of the Original Treasury Building were reconstructed in the 1980s, however they are shown in 'red' above, to indicate that they were an original element to the building.

Source: Hassell Architects with Urbis annotations and overlay

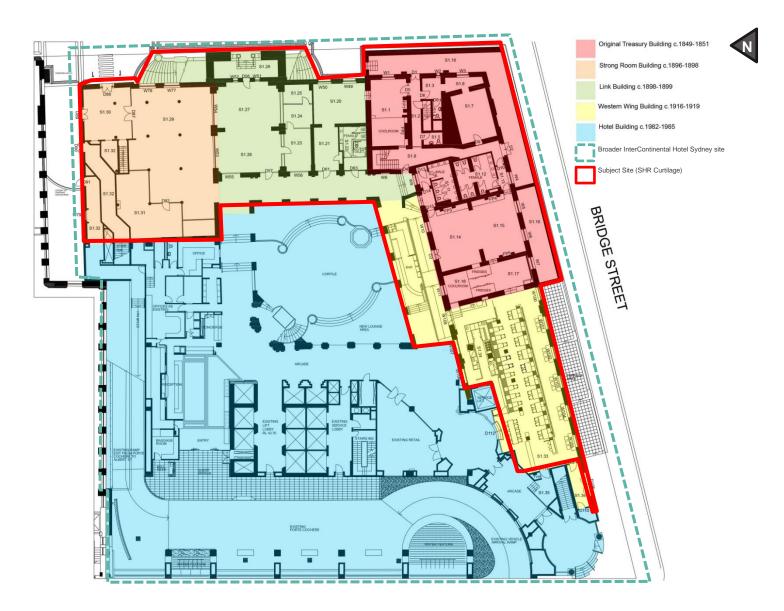


Figure 18 – Extract of 'as built' plans showing period of construction – Basement Floor Source: Hassell Architects with Urbis annotations and overlay

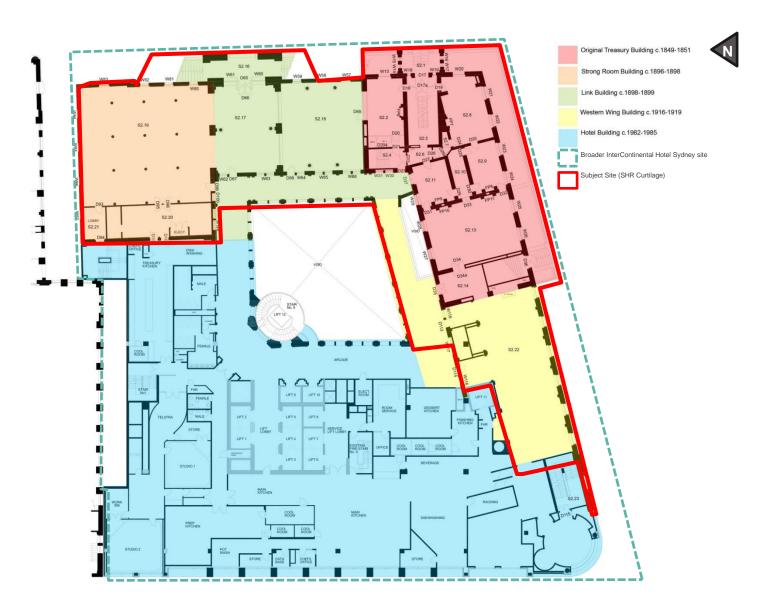


Figure 19 – Extract of 'as built' plans showing period of construction – Ground Floor Source: Hassell Architects with Urbis annotations and overlay

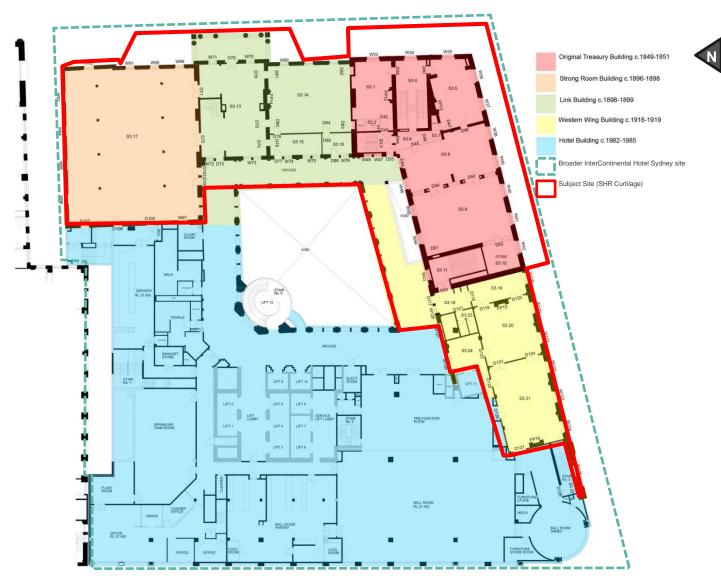


Figure 20 – Extract of 'as built' plans showing period of construction – First Floor

Source: Hassell Architects with Urbis annotations and overlay

# 2.4.2. Annotated Diagrams

- A Original chimney pots missing
- B Slate roof, new slates
- C Front portico added c.1870-74



Figure 21 – Annotated Diagram (Macquarie Street Façade)

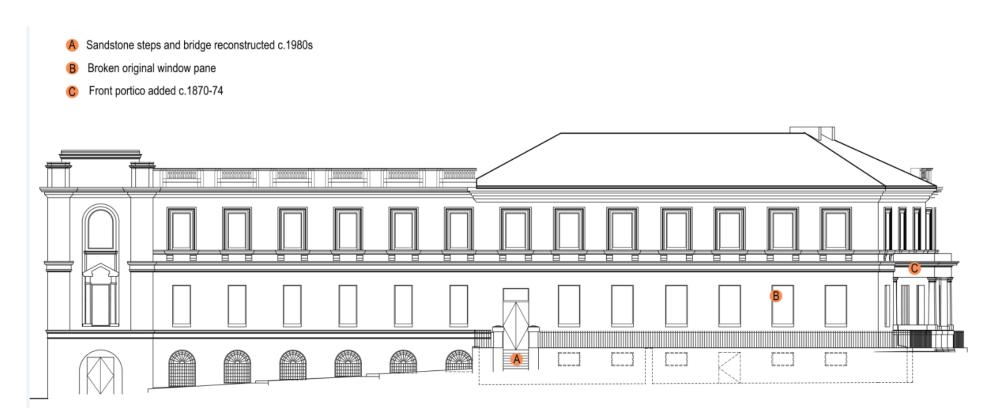


Figure 22 – Annotated Diagram (Bridge Street Façade)

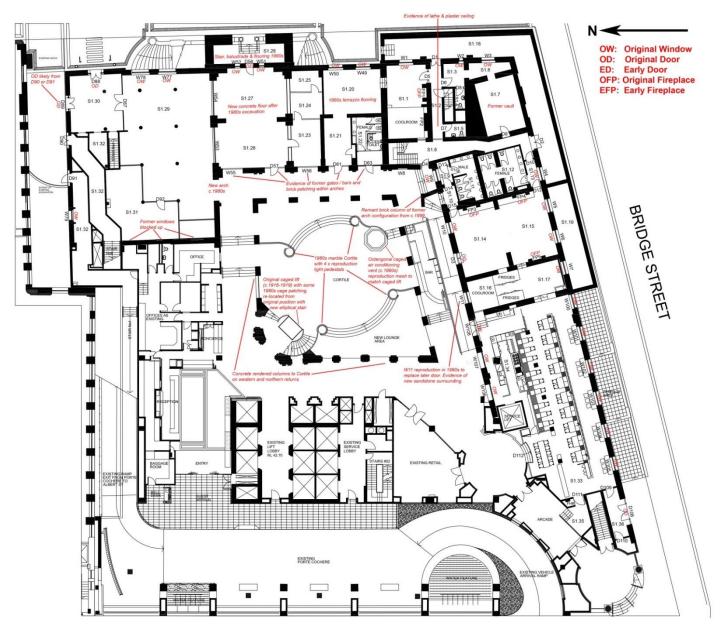


Figure 23 – Annotated Diagram (Basement Level)

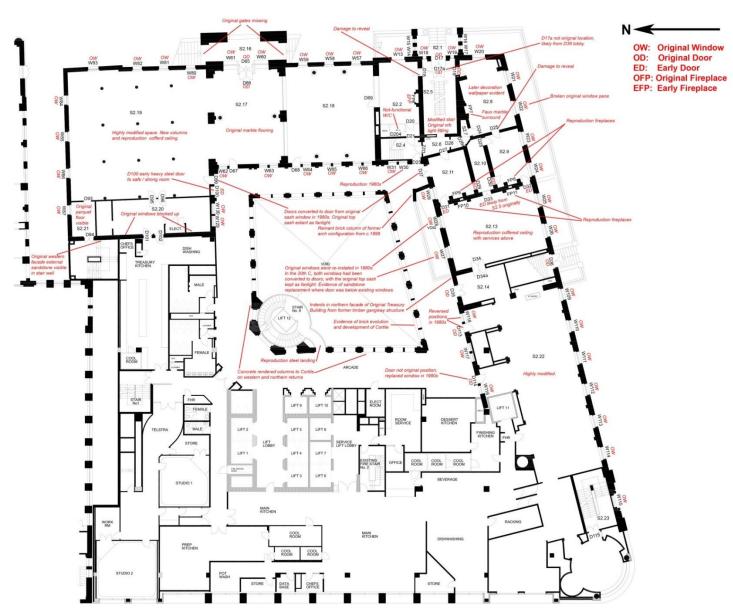


Figure 24 – Annotated Diagram (Ground Floor)

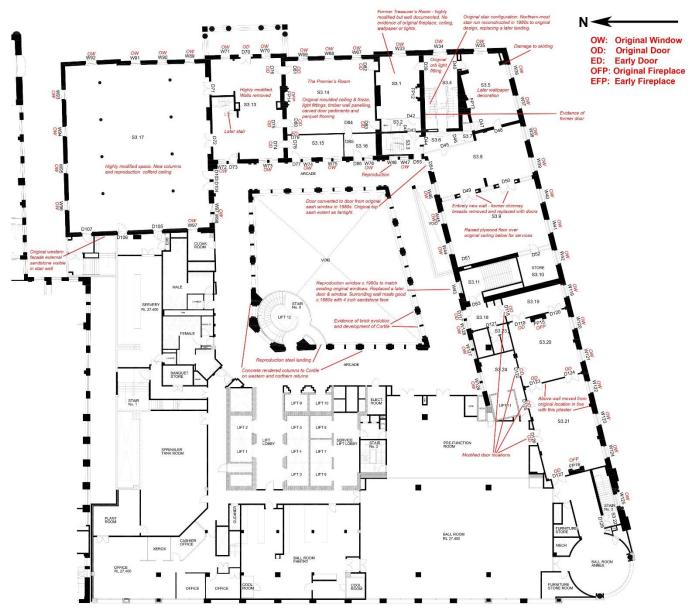


Figure 25 – Annotated Diagram (First Floor)

## 2.4.3. Original Treasury Building

This section relates to the following building stage:



Figure 26 – Diagram indicating building stage relevant to this section of the Historical Overview shaded red *Source: Urbis* 



Figure 27 Photograph of the Original Treasury Building, 2016

Source: Urbis

The form, materiality and condition of the original Treasury Building, designed by the Colonial Architect Lewis Mortimer, and constructed c.1849-1851, is described hereunder.

Table 5 – Physical Analysis: Original Treasury Building

Item	Detail
Architect:	Colonial Architect Mortimer Lewis
Constructed:	c.1849-1851. First occupied for business on 17 October 1851.
Architectural Style:	Victorian Italian Palazzo

Item	Detail
General Description:	The building is an irregular 'L' shaped building over three storeys. The building has its principal frontage to Macquarie Street with a sandstone portico (c.1874) and a secondary frontage to Bridge Street. The building was constructed for the dual occupation of the Department of Treasury and the Auditor-General Department.
	The basement level (set below street level to Macquarie and Bridge Streets, but exposed internally due to the topography of the site) comprises the original Colonial vault, associated ante-chambers, former administration areas and a number of modernised bathrooms. Part of the basement level has been converted into a restaurant.
	The ground floor level comprises a number of small office areas and one large function room. The first floor level also comprises a number of smaller offices and one large function space.
	A central imperial timber staircase and hall connects the three levels. It has been blocked from being used between all levels at present. The rooms within this building are either used for private commercial tenants or associated with the InterContinental Hotel.
Materiality:	The basement level of the building is set below the Macquarie Street level with sandstone foundations. A light well / subterranean walkway extending along the Macquarie Street and Bridge Street frontages provides light to the basement level and provides for ventilation.
	The building has external exposed sandstone walls and a combination of sandstone and brick internal walls. External sandstone walls are ashlar styled and comprise detailed cornices and entablatures.
	Walls are rendered internally and painted or wall-papered.
	Internal flooring is of timber floorboard materiality with later carpet coverings in rooms.
	The building has a timber roof structure with later slate tiles and lead flashing.
	Generally Australian cedar joinery throughout, in particular on the street facing Georgian 12 pane double hung sash windows. A number of original door cases and doors remain intact throughout.
	Some original light fixtures are extant in the principal stair-hall facing Macquarie Street.
	A number of internal ceilings have been replaced or lowered to provide for modern service installation. Some lathe and plaster ceiling evident above false ceiling on basement level.
Distinctive Features:	Exposed sandstone façades including vermiculated sandstone face detailing.
	Vaulted sandstone vault in basement level at the corner of Macquarie and Bridge Street. Original iron doors are missing.
	Composition of original stair hall including stair configuration, original light fixtures and later air-lock screen.
	Proportion and detailing of original windows to the façades, including original window furniture.
	Original joinery throughout.
	Portico and public steps.

### **Item**

#### Detail

#### **General Condition:**

Given the age and continued occupation of the building, overall it presents in a good condition. The original cedar sash windows are in good condition except where later double glazing has resulted in some weathering from overexposure to heat. Signs of rising damp are evident in the basement level rooms along the Macquarie Street frontage associated with later cement renders.

A number of original features including decoration (wallpaper and stencilling), ceilings, cornices, architraves, fireplaces and surrounds and joinery (skirting boards) have been removed or replaced with later reproductions. This is particularly evident in the following spaces:

- S1.7 basement vault with original iron doors missing.
- S2.2 & S3.1 original offices reconfigured with later bathrooms and partitions, new ceilings. All cornicing and original fireplaces removed. Patching of skirting evident.
- S2.8, S2.9, S2.11 and S2.13 all new reproduction fireplace surrounds.
- S2.13 reproduction decorative ceiling below original, deteriorated ceiling.
- S3.9 raised floor level to accommodate services above the decorative ceiling of S2.13

A number of structural changes and interventions have occurred as a result of the 1982-1985 hotel development to provide upgraded services and fire compliance. These changes have resulted in the loss of original fabric or reproduction of features. This is particularly evident in the following spaces:

- \$1.11 & 1.12 converted to bathrooms for the basement level restaurant.
- S1.8, S2.4, S3.3, S3.11 & S2.14 modified to a concrete fire stairwell and exit in conjunction with 1980s' hotel development.
- D2, D4, D21, D22, D23, D43, D44, D55, D36 & D53 new doors for fire exit.



Figure 28 – Eastern façade (Macquarie Street)

Source: Urbis



Figure 29 – Southern façade (Bridge Street)
Source: Urbis



Figure 30 – Eastern façade (Macquarie Street) portico steps



Figure 31 – Eastern façade (Macquarie Street) showing fence

Source: Urbis



Figure 32 – Eastern façade (Macquarie Street) front door Source: Urbis

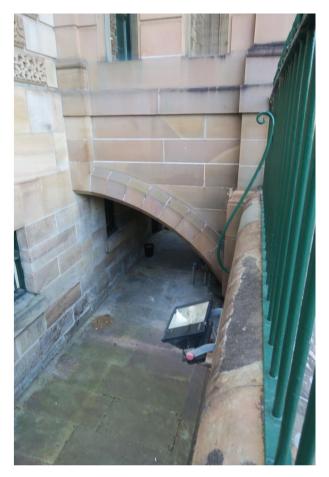


Figure 33 – Eastern façade (Macquarie Street) basement level light well



Figure 34 – Eastern façade (Macquarie Street) sandstone quoins



Figure 35 – Looking down Bridge Street return of sunken basement level light well)

Source: Urbis

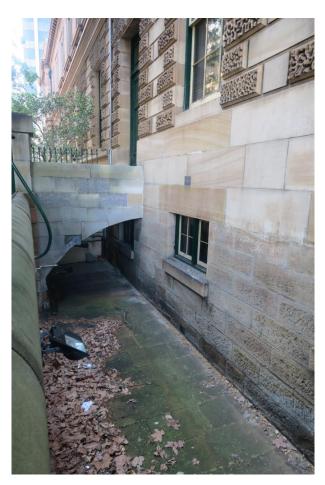


Figure 36 – Bridge Street entrance sandstone bridge (reconstructed)

Source: Urbis



Figure 37 – Bridge Street entrance steeps and bridge (reconstructed).



Figure 38 – S2.9 – ground floor office



Figure 39 – S2.8 – ground floor office

Source: Urbis



Figure 40 – S2.2 – ground floor office

Source: Urbis



Figure 41– S2.13 – the Bridge Room

Source: Urbis



Figure 42 – S2.5 – stair hall

Source: Urbis



Figure 43 - D17A - later air-lock enclosure in stair hall



Figure 44 – S2.5 – original light fitting Source: Urbis



Figure 45 – S2.5 – mid landing of main imperial staircase Source: Urbis



Figure 46 – S3.4 – first floor landing Source: Urbis



Figure 47 – S3.8 – first floor function room ante chamber *Source: Urbis* 



Figure 48 – S3.9 – first floor function room *Source: Urbis* 



Figure 49 – S3.8 – first floor function room ante chamber *Source: Urbis* 



Figure 50 – S3.5 – first floor office Source: Urbis



Figure 51 – S3.1 – first floor office (original Treasurer's Room)



Figure 52 – D39 – original door case (ground floor to S2.2) Source: Urbis



Figure 53 – ground floor S2.2 – fireplace Source: Urbis



Figure 54 – S2.11 – office



Figure 55 - S1.7 - original basement vault (doors missing)

Source: Urbis



Figure 56 - S1.1 -basement rooms (cool room inserted to right)

Source: Urbis



Figure 57 – S1.2 – hallway

Source: Urbis



Figure 58 - S1.16, now part of basement level restaurant tenancy

Source: Urbis



Figure 59 - S1.15, now part of basement level restaurant tenancy



Figure 60 - S1.17, now part of basement level restaurant tenancy



Figure 61 - S1.14, now part of basement level restaurant tenancy

Source: Urbis



Figure 62 – S1.8 – fire escape passage way and stairwell *Source: Urbis* 



Figure 63 - S1.12 - now part of basement level restaurant tenancy, converted to bathroom

### 2.4.4. Northern Wing Extension: Strong Room & Link Building

This section relates to the following building stage:

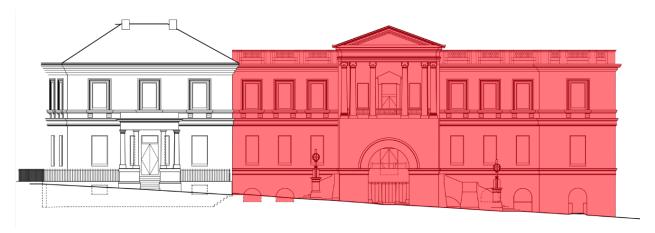


Figure 64 – Diagram indicating building stage relevant to this section of the Historical Overview shaded red *Source: Urbis* 



Figure 65 – Photograph of the Northern Wing Extension, 2016

Source: Urbis

The form, materiality and condition of the Link Building and Strong Room, designed by the Government Architect Walter Liberty Vernon, and constructed c.1896-1899, are described hereunder.

Table 6 – Physical Analysis: Northern Wing Extension

Item	Detail
Architect:	Government Architect Walter Liberty Vernon
Constructed:	Strong Room c.1896-1898 and Link Building c.1898-1899
Architectural Style:	Late Victorian Classical
General Description:	The northern wing extension comprised two parts; the first being a three-storey square strong room fronting Macquarie Street to house important documents within a fireproof shell, and the second being an administration building to link between the original Treasury Building and the new Strong Room.
	The Strong Room was designed to complement the original Treasury Building with an extension of the principal two / three storey form of the original building and a single projecting breakfront, reproducing the exposed sandstone face of smooth and vermiculated detailing. The Link building continued this design, but added a prominent three storey portico with entablature and classical tympanum pediment to the Macquarie Street façade. Both buildings were surmounted by a decorative sandstone parapet.
	A small rooftop addition (c.1914) is located above the Strong Room.
Materiality:	External brick walls with sandstone face to Macquarie Street (eastern façade) comprising smooth faced and vermiculated sandstone. Internal brick walls with plaster and painted finishes.
	Strong room has concrete floors to the basement and ground levels. Part concrete and part remnant parquetry floors. Link building has timber flooring with parquetry detailing. The Strong Room building has a combination of remnant parquetry and concrete flooring with carpet finish.
	Steel and timber framed roof structured with metal and copper roof cladding.
	Romanesque arched brick and sandstone arcade adjoining the western façade of the Link Building. Detailing of the arcade varies on each of the three levels as described below, and is surmounted by a sandstone entablature.
	The basement level return of the arched arcade comprises rough-faced sandstone clad arches and columns.
	The ground level return of the arched arcade comprises a series of brick columns with sandstone entablature and sandstone clad semi-circular arch with recessed sandstone soffit. Between each arch is located a carved cartouche.
	The first level (highest) return of the arched arcade comprises a series of Codussian arches, of which each comprise two brick and sandstone arches, surmounted by a circular sandstone opening, united under a single brick and sandstone arch. The arches are framed by ionic relief sandstone pilasters.
	Generally Australian cedar joinery throughout, in particular on the street facing 12-pane double hung sash windows. A number of original door cases and doors remain intact throughout. A small number of the windows on the southern façade of the Strong Room (adjoining the Link Building arcade) are steel framed.

Item	Detail
	A number of internal ceilings have been replaced or lowered to provide for modern service installation.
Distinctive Features:	The brick and sandstone arcade adjoining the western façade of the Link Building.
	The classical portico and pediment to Macquarie Street with sandstone and Gabo granite columns1.
	The Premier's Room on the first floor of the Link Building is a highly intact internal space with distinct wood panelling, decorative carved door pediments, decorative plaster ceiling, original light fixings and an imposing early Federation marble and tiled fireplace.
General Condition:	Given the age and continued occupation of the building, overall it presents in a good condition. The original cedar sash windows are in good condition except where later double glazing has resulted in some decay from overexposure to heat. Signs of rising damp are evident in the basement level rooms along the Macquarie Street frontage.
	A number of original features including decoration (wallpaper and stencilling), ceilings, cornices, architraves, fireplaces and surrounds and joinery (skirting boards) have been removed or replaced with later reproductions. This is particularly evident in the following spaces:
	S2.19 & S3.17 where the entire space has been reproduced with new columns, ceilings and cornices.
	S.2.18 has a false ceiling to hide services installed.
	S3.13 being a highly modified space.
	A number of structural changes and interventions have occurred as a result of the 1982-1985 hotel development to provide upgraded services and fire compliance. These changes have resulted in the loss of original fabric or reproduction of features. This is particularly evident in the following spaces:
	• S1.26, S1.27, S1.23, S1.24, S1.25, S1.21, S1.20, S1.29, S1.30, S1.32 – basement spaces across the northern wing have been modified to fit in fire stairs, retail spaces and partitioned areas.
	The western façade of the Strong Room building has been amalgamated into the contemporary hotel building, resulting in a number of windows and doors being bricked up or removed, and intervention into the original rear wall for fire stair construction.

 $^{1}$  1915 'No title', Construction and Local Government Journal (Sydney, NSW : 1913 - 1930), 11 October, p. 10. , viewed 09 Nov 2016, http://nla.gov.au/nla.news-article109635409



Figure 66 – Link Building eastern façade Source: Urbis



Figure 67 – Link Building portico Source: Urbis

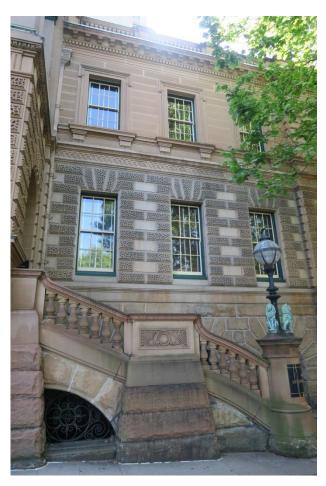


Figure 68 – Strong Room Building eastern façade Source: Urbis



Figure 69 – Strong Room Building northern façade Source: Urbis



Figure 70 – Rear arcade of the Link Building Source: Urbis



Figure 71 – Rear arcade of the Link Building Source: Urbis



Figure 72 – S2.17 – lobby



Figure 73 – S2.17 – lobby

Source: Urbis



Figure 74 – D65 & D66 (entrance doors from Macquarie Street)

Source: Urbis



Figure 75 – S2.17 – later timber partitions between S2.17 and S2.18  $\,$ 



Figure 76 – D66 – lobby timber doors with "Paymaster" and "Receiver" etched glass



Figure 77 - S2.17 - lobby view of pilaster, column and cornice detail



Figure 78 – S2.18 – the Heritage Room (function space) Source: Urbis



Figure 79 – S2.18 – the Heritage Room (function space) Source: Urbis



Figure 80 – S.3.14 – the Premier's Room (function space) Source: Urbis



Figure 81 - S.3.14 – the Premier's Room (function space) Source: Urbis



Figure 82- Original marble fireplace with bevelled blue tiles in S.3.14- the Premier's Room (function space)



Figure 83 – S.3.14 – the Premier's Room (function space) Source: Urbis



Figure 84 - D84 original door in S.3.14 – the Premier's Room (function space)



Figure 85 - D79 later door in S.3.14 – the Premier's Room (function space)

Source: Urbis



Figure 86 – Decorative carved pediments added in c.1904, in S.3.14 – the Premier's Room (function space)

Source: Urbis



Figure 87 – Decorative plaster cornice in S.3.14 – the Premier's Room (function space)



Figure 88 – S3.5 – The Premier's Room ante-chamber *Source: Urbis* 



Figure 89-D84 (timber door to The Premier's Room) & D85 (Baize Door) in S3.16 (panty to The Premier's Room, now storage)



Figure 90 – Refurbished baize doors (D74 & D75) in S3.13

Source: Urbis



Figure 91 – Chamber within S3.13, location of former bathroom for the Premier  $\,$ 

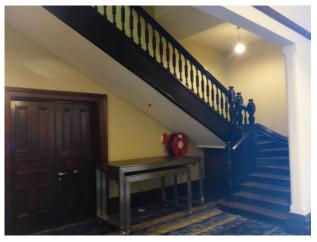


Figure 92 – Staircase (not original) in S3.13 and later D72 *Source: Urbis* 



Figure 93 – View to S3.12, balcony fronting Macquarie Street  $\,$ 



Figure 94 – S1.21 basement area Source: Urbis



Figure 95 – S1.20 basement area

Source: Urbis

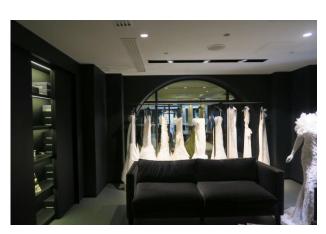


Figure 96 – S1.26 basement retail Source: Urbis



Figure 97– S1.27 basement retail



Figure 98 – S3.17 function space



Figure 99 - S3.17 function space, southern wall

Source: Urbis



Figure 100 - S2.19 function space

Source: Urbis



Figure 101 – S2.19 function space



Figure 102 – S2.21, lobby adjoining S2.19 and leading into fire stairwell  $\,$ 



Figure 103 – S2.21, lobby adjoining S2.19 and leading into fire stairwell

Source: Urbis



Figure 104 – S2.20, later kitchen / storage insertion into rear of Strong Room

Source: Urbis



Figure 105 – S2.20, later kitchen / storage insertion into rear of Strong Room



Figure 106 - S1.29 - group check in area and later arch (c.1982)



Figure 107 – D88 in S1.30, group check in arrival door (steel framed)

Source: Urbis



Figure 108 – View from within S1.30 looking towards S1.29

Source: Urbis



Figure 109 – C.1982 retail insertions into Strong Room – S.1.31

### 2.4.5. Western Wing Extension

This section relates to the following building stage:

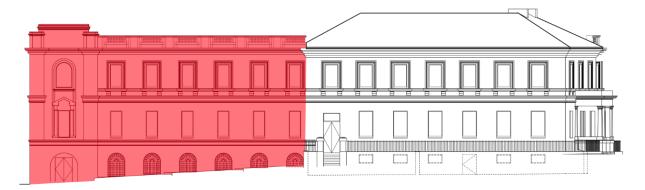


Figure 110 – Diagram indicating building stage relevant to this section of the Historical Overview shaded red *Source: Urbis* 



Figure 111 – Photograph of the Western Wing Extension, 2016

Source: Urbis

The form, materiality and condition of the western wing of the Treasury building, designed by the Government Architect George McRae, and constructed c.1916-1919, is described hereunder.

Table 7 – Physical Analysis: Western Wing Extension

Item	Detail
Architect:	Government Architect George McRae.
Constructed:	c.1916-1919

Item	Detail
Architectural Style:	Follows the architectural proportioning of the original Treasury Building to Bridge Street, including the exposed smooth and vermiculated sandstone face detailing, entablature and fenestration.
General Description:	The building along Bridge Street is an extension of the original Treasury Building.  Externally it presents a similar architectural style to the original Treasury Building and the Strong Room along the northern wing.
	The building has three levels, with the basement level cut into the natural topography of the site and emerging at ground level at the corner of Bridge and Phillip Streets. The 'basement' level comprises a large restaurant tenancy throughout being The Meat & Wine Co.
	The ground level above comprises a large 'all day dining' area associated with the InterContinental Hotel operations, known as Opera Café. The uppermost level (first floor) comprises two large function rooms, ante-chambers, and back-of-house areas associated with InterContinental Hotel operations.
Materiality:	External brick walls with sandstone face to Bridge Street (eastern façade) comprising smooth faced and vermiculated sandstone detailing. Internal brick walls with plaster and paint.
	All floors are concrete with reinforced steel.
	Flat concrete roof behind sandstone parapet, with a malthoid-type roof sheeting.
	Romanesque arched brick and sandstone arcade adjoining the northern façade of the building, constructed in the same detailing as the original arcade.
	Generally maple and Oregon joinery throughout. A number of original door cases and doors remain intact throughout.
	A number of internal ceilings have been replaced or lowered to provide for modern service installation.
Distinctive Features:	The original elliptical staircase surrounding caged lift and lift well, now relocated to north west corner of existing cortile from its original position within a brick tower near the corner of Phillip and Bridge Streets.
	Marble fireplaces on the first floor with surmounted decorative carved timber panels.

### Item Detail **General Condition:** Given the age and continued occupation of the building, overall it presents in a good condition. The original sash windows are in good condition except where later double glazing has resulted in some decay from overexposure to heat. The end of the building towards the corner of Bridge and Phillip Streets is highly modified as a result of integration with the contemporary hotel building in c.1982-1985. A number of structural changes and interventions have occurred as a result of the 1982-1985 hotel development to provide upgraded services and fire compliance. The western end of this building was substantially demolished and integrated with the new hotel development along Phillip Street at this time. These changes have resulted in the loss of original fabric or reproduction of features. The basement level spaces have been substantially altered for a conversion to a restaurant. A service lift and fire stairwell installation have resulted in significant fabric intervention through all three levels.



Figure 112 – Southern façade Source: Urbis



Figure 113 – Bridge Street terrace area Source: Urbis



Figure 114 – S1.33, now a restaurant tenancy



Figure 115 – S1.33, now a restaurant tenancy Source: Urbis



Figure 116 – Later doors (D112) to restaurant Source: Urbis



Figure 117 – Bar within restaurant Source: Urbis



Figure 118 – S1.35, room within restaurant *Source: Urbis* 



Figure 119 – S1.34, restaurant kitchen *Source: Urbis* 



Figure 120 – S2.22 now a café / all day dining area Source: Urbis



Figure 121 – S2.22 now a café / all day dining area Source: Urbis



Figure 122 – S2.22 now a café / all day dining area Source: Urbis



Figure 123 – S2.22 now a café / all day dining area Source: Urbis



Figure 124 – S2.22, south western corner, used for storage



Figure 125 – S2.22 now a café / all day dining area Source: Urbis



Figure 126 – S3.21, function room / former office Source: Urbis



Figure 127 – S3.21, function room / former office Source: Urbis



Figure 128 – D127 in S3.21, function room / former office Source: Urbis



Figure 129 – Original marble fireplace in S3.21, function room / former office



Figure 130 – S3.20, function room, former office *Source: Urbis* 



Figure 131 – S3.20, function room, former office *Source: Urbis* 



Figure 132 – Original marble fireplace in S3.20, function room / former office



Figure 133 – Ceiling in S3.20 showing insertion of services around cornicing

Source: Urbis



Figure 134 – S3.19 lobby / ante-chamber

Source: Urbis



Figure 135 - S3.18 lobby / ante-chamber



Figure 136 – D53 fire doors in S3.18 lobby / ante-chamber *Source: Urbis* 



Figure 137 – S3.11 fire stair Source: Urbis



Figure 138 – S3.22 south western portion of first floor Source: Urbis



Figure 139 – Internal face of W125 in S3.23, a new fire stairwell  $\,$ 

## 2.4.6. Adjoining Hotel Development



Figure 140 – Photograph of the Hotel Building, 2016

Source: Urbis

The form, materiality and condition of the contemporary hotel addition, designed by Kann Finch & Partners Pty Ltd, and constructed c.1982-1985, is described hereunder.

Table 8 - Physical Analysis: Hotel building

Item	Detail
Architect:	Kann Finch & Partners Pty Ltd (in association with Fisher Hudson Pty Limited and Clive Lucas Pty Limited)
Constructed:	1982-1985
Architectural Style:	Contemporary late twentieth century

Item	Detail
General Description:	The 1980s' hotel development comprised the following additions to the site:
	Excavation of the site to provide three levels of basement car parking. Excavation does not extend below the Treasury buildings.
	Two 'basement' floors providing back of house and services areas, built into the natural slope of the site (that is, below the original Treasury basement level, but above subterranean car park levels).
	Construction of an 'L' shaped building of three levels aligning with the basement, ground and first floor levels of the original Treasury buildings. This 'L' shaped building is located along the western Phillip Street boundary and the northern boundary adjoining Transport House, and adjoins with the original buildings to form a central 'Cortile' space with a glazed roof structure. This contemporary space provides hotel specific areas including reception, administration, lift wells, commercial kitchens, plant room space and the existing ballroom.
	The central Cortile space is formed over three levels, with a colonnaded arcade extending the internal perimeter of all buildings, connecting both the historic arcade sections and contemporary 1980s' arcade sections.
	27 floor hotel tower in pre-cast concrete
	This hotel fabric directly interfaces with the SHR curtilage of the heritage item, demonstrated in Figure 15 above.
Materiality:	Reinforced and pre-cast concrete panels.
	Aluminium framed windows.
Distinctive Features:	The c.1916-1919 elliptical staircase and central caged lift, re-used and re-located to be a feature in the north-west corner of the Cortile (non-original location).
General Condition:	The hotel portion of the property is in good practical condition but presents as out-dated in its context as a five star Sydney hotel. The configuration of hotel spaces, particularly on the three levels interlacing with the historic buildings, are poorly arranged with limited amenity.



Figure 141 – Phillip Street façade



Figure 142 – Hotel tower

Source: Urbis



Figure 143 – Porte cohere

Source: Urbis



Figure 144 – Internal face of Phillip Street façade

Source: Urbis



Figure 145 – Reception

Source: Urbis



Figure 146 – Concierge desk

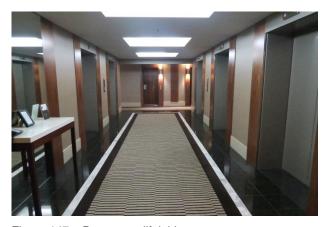


Figure 147 – Passenger lift lobby Source: Urbis



Figure 148 – Typical hotel room floor hallway Source: Urbis



Figure 149 – Typical hotel room



Figure 150 – Typical hotel room



Figure 151 – Typical hotel room



Figure 152 – Typical hotel room

Source: Urbis



Figure 153 – Basement level public spaces around Cortile Source: Urbis



Figure 154 – Passenger lift lobby



Figure 155 – Internal face of new western Cortile return, showing the c.1916-1919 elliptical staircase and lift on the right (not original location)



Figure 156 – Internal face of new northern Cortile return Source: Urbis



Figure 157 – View of the Cortile

Source: Urbis



Figure 158 – Cortile fittings

Source: Urbis



Figure 159 – Cortile roof structure c.1982-1985

Source: Urbis



Figure 160 – Cortile roof structure c.1982-1985



Figure 161 – Cortile decorations that seek to replicate significant fabric to the Macquarie Street frontage of the Link building (1980s' replica fabric)



Figure 162 – Decorative vent cage referential to the caged lift (1980s' replica fabric)

Source: Urbis



Figure 163– Caged lift and elliptical staircase (not original location)

Source: Urbis



Figure 164 – Caged lift and elliptical staircase (not original location)

### 3. HISTORICAL OVERVIEW

### 3.1. HISTORICAL SOURCES

Unless otherwise attributed, the information in this section has been summarised from the *Conservation Analysis*, *Statement of Cultural Significance*, *Development Constraints and Draft Conservation Policy Report*, prepared by Clive Lucas Pty Ltd in August 1982, and expanded and supplemented where possible.

Other historical sources consulted include:

- Land and Property Information
- · City of Sydney Archives
- National Library of Australia
- State Library of New South Wales / Mitchell Library
- State Library of Victoria
- NSW State Records

# 3.2. HISTORICAL OVERVIEW: ABORIGINAL OCCUPATION & EUROPEAN CONTACT

Unless otherwise noted, the following Aboriginal cultural history has been summarised from the Artefact Heritage 2013 *Quay Quarter Sydney: Indigenous and Non-Indigenous Archaeological Assessment* report.<sup>2</sup>

### 3.2.1. Aboriginal Occupation (pre 1788)

Prior to the European colonisation of Sydney Harbour, the Aboriginal people had occupied the Port Jackson harbour area and its islands for thousands of years. Aboriginal people lived in small family or clan groups that were associated with particular territories or places. The traditional owners of the Sydney city region are the Gadigal (Cadi, Cadigal) people. They were of the Darug language group that extended across to the north shore and west to the Cumberland Plain and into the Blue Mountains. The term Eora is also used as a name for the Aboriginal people south of Port Jackson. The term Eora was likely a word used by the Gadigal people to refer to an Aboriginal people on the southern shore of Port Jackson. It is currently used by Gadigal people to refer to the central Sydney area – referred to as 'Eora Country'.<sup>4</sup>

A broad variety of indigenous site types have been recorded in the Port Jackson area. The different site types reflect the varied Aboriginal subsistence and natural resource utilisation activities that were practiced over a period of several thousand years. The sites include middens, sandstone shelters with archaeological deposits, rock engravings, pigment art, and potential archaeological deposits (PAD). It is noted that there are fewer recorded sites on the south side of the harbour than on the north shore. However, this does not necessarily indicate a more intensive use of the environment by Aboriginal people on the north shore, but rather a much lower survival rate of archaeological material on the south side due to dense residential and commercial development.

Archaeological and historical records indicate that marine and estuarine resources formed an important part of the subsistence activities of the Aboriginal people that inhabited the Port Jackson area. Shellfish not only formed an important subsistence resource, but were also utilised as tools. Shell tools included fish-hooks, shell hafted onto spears in various forms, as a tool to repair spears, and as a cutting edge. Other locally available raw materials, including quartz, were also favoured for cutting edges, and in some areas bordering

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<sup>&</sup>lt;sup>2</sup> Artefact Heritage 2013, Quay Quarter Sydney: Indigenous and Non-Indigenous Archaeological Assessment, Sydney.

<sup>&</sup>lt;sup>3</sup> Ibid: 22, 35-36 (cited in Artefact 2013).

<sup>&</sup>lt;sup>4</sup> City of Sydney Council 2002, Indigenous History of City of Sydney, viewed 21 September 2012, http://www.cityofsydney.nsw.gov.au/barani/ (cited in Artefact 2013).

<sup>&</sup>lt;sup>5</sup> Attenbrow, V 2010, Sydney's Aboriginal Past: investigating the Archaeological and Historical Records, 2nd Edition, University of New South Wales Press Ltd, Sydney, p. 118.

readily abundant shellfish in inner Sydney, quartz may have actually been favoured as a cutting edge. The Hawkesbury sandstone that outcrops prominently on the islands, headlands and within the bays of the harbour was used extensively by Aboriginal and later European people for a variety of shelter and subsistence purposes.

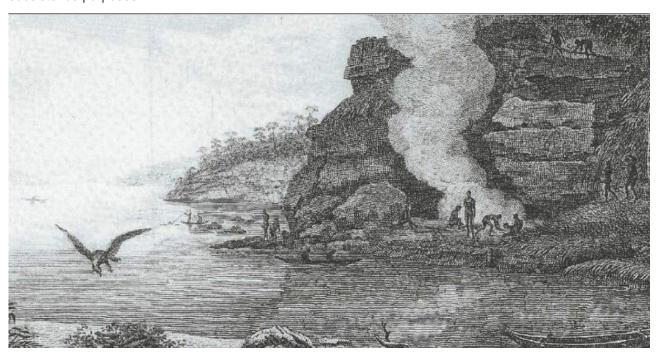


Figure 165 - Aboriginal activities on the shore of Port Jackson in 1824

Source: Peron and Freycinet 1824 in McBryde 1989, in Artefact Heritage 2013

### 3.2.2. European Contact (1788-1800)

The European colonisation of Australia began with the establishment of a colony at Sydney Cove by Captain Arthur Phillip in January 1788 on land inhabited by the Gadigal people. The subject site and immediate surrounds were an integral part of the pre and post contact history of both the Gadigal people and the Aboriginal peoples across the surrounding region.

The likely location of Captain Arthur Phillip's landing site in Sydney Cove was in the vicinity, north of the subject site. At the time of European and Indigenous contact, Governor Phillip estimated that there were about 1,500 Aboriginal people inhabiting the coastal area of Botany Bay, Port Jackson and Broken Bay. Many of the early interactions between the British and the Gadigal were amicable, with Watkin Tench, Captain of the Marine with the First Fleet, noting that the British were greeted by a dozen Aboriginal people, with the landing party and Aboriginal people cautiously approaching before observing one another and exchanging items.

Within days of the initial landing, however, visits by Aboriginal people to the settlers had dropped significantly to the point where colonists were aware that they were being deliberately avoided. This may have been due to hostile behaviour by some of the newcomers, such as robberies by opportunistic convicts. This avoidance was noted by Watkin Tench, as well as Governor Phillip and David Blackburn, Master of the First Fleet ship HMS Supply. Overnor Phillip had sought to establish a connection with the local Aboriginal inhabitants and treat them amicably, stemming from his instructions on setting out from England in 1787 to open a

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<sup>&</sup>lt;sup>6</sup> Baker, N 2004, Archaeological Salvage of an Aboriginal Site at William Street, East Sydney, report to Zonie Construction and Design Pty Ltd, p. 31

<sup>&</sup>lt;sup>7</sup> Thorp, W 1995, *Customs House, Sydney: Archaeological Assessment*, report to City of Sydney Council, p.33.

<sup>&</sup>lt;sup>8</sup> Tench, W 1789, A Narrative of the Expedition to Botany Bay, Printed for J Debrett, opposite Burlington House, Piccadilly, London, pp. 54-58.

<sup>&</sup>lt;sup>9</sup> Attenbrow, V 2010, *Sydney's Aboriginal Past: investigating the Archaeological and Historical Records*, 2<sup>nd</sup> Edition, University of New South Wales Press Ltd, Sydney, p. 14.

<sup>&</sup>lt;sup>10</sup> Attenbrow, V 2010, *Sydney's Aboriginal Past: investigating the Archaeological and Historical Records*, 2<sup>nd</sup> Edition, University of New South Wales Press Ltd, Sydney, p. 14; Neville, D 1975, *Blackburn's Isle*. Terence Dalton Limited, Lavenham, Suffolk.

discourse with the Aborigines and attempt to live in friendship without unnecessary interruption of their activities. 11 By November 1788, Phillip noted that: 12

The natives now avoid us more than they did when we first landed, and which I impute to the robberies committed on them by the convicts, who steal their spears and fish – gigs which they frequently leave in their huts when they go out a fishing and which the people belonging to the transports purchase, though every possible precaution has been taken to prevent it.

Much of 1788 was characterised by the general avoidance of the area by the Aboriginal people, which led Phillip to decide to forcefully capture an Aboriginal person to live on the site of the Governor's house, located at the current intersection of Bridge Street and Phillip Street. An Aboriginal man called Arabanoo was captured at Manly and brought back to the Governor's residence. During the initial period of his forced occupation at the house, Arabanoo was shackled to stop him from escaping. He passed away in 1789 following one of the small pox epidemics that decimated the Aboriginal population of Sydney.<sup>13</sup>

Two Aboriginal men called Bennelong and Colebee were captured in 1789, and were also brought back to be shackled at the Governor's house. Over the next few years, Bennelong became a frequent voluntary visitor to the Governor's house until his death in 1813, and lived in a hut built for him on the eastern shore of Sydney Cove for a time<sup>14</sup> (refer Figure 167).

For the most part, however, relations between local Aboriginal people and European settlers were strained, with Aborigines of the Sydney region quickly becoming fringe dwellers of their own land, outcast in the young town in Sydney. As well as their culture, European settlers brought with them diseases previously unknown in the country. In 1879 one such epidemic, thought to be smallpox, decimated the Aboriginal people of Sydney town, and at least half of the local Aboriginal population died.<sup>15</sup>

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<sup>&</sup>lt;sup>11</sup> McBryde, I 1989, *Guests of the Governor: Aboriginal Residents of the First Government House*, The Friends of the First Government House Site, Sydney, p. 5.

<sup>&</sup>lt;sup>12</sup> Governor Phillip 1788, quoted in McBryde 1989, p. 7.

<sup>&</sup>lt;sup>13</sup> McBryde, I 1989, Guests of the Governor: Aboriginal Residents of the First Government House, The Friends of the First Government House Site, Sydney, p. 9, 11.

<sup>&</sup>lt;sup>14</sup> (ibid)., p. 13, 17.

<sup>&</sup>lt;sup>15</sup> Kelly, M 1997, Anchored in a small cove: A history and archaeology of The Rocks, Sydney, Sydney Cove Authority, Sydney, p. 30.

# 3.2.3. Early European History – Establishment of Sydney Cove and the Governor's Domain

On their arrival in Sydney Cove on 26 January 1788, Governor Phillip and party erected a flagpole near the current site of Customs House to proclaim the establishment of the new colony (Figure 166).



Figure 166 – View of the settlement of Sydney Cove, August 1788, showing the flagpole Source: Hunt & Davidson 2007, p. 30

At this time, the High Water Mark was located approximately where Customs House stands today and the shoreline consisted of some areas of sandy beach at high tide, and exposed mud flats at low tide. <sup>16</sup> Within the first few months of settlement, a Government Wharf was built near the flagpole, approximately on the alignment of present-day Loftus Street. The settlement in July 1788, just a few months after the arrival of the first fleet, is shown mapped in Figure 167, with the approximate location of the subject site indicated in the grounds of First Government House, there indicated as number 1, "A small House building for the Governor".

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<sup>&</sup>lt;sup>16</sup> Thorp, W 1995, Customs House, Sydney: Archaeological Assessment, report to City of Sydney Council, p.12.

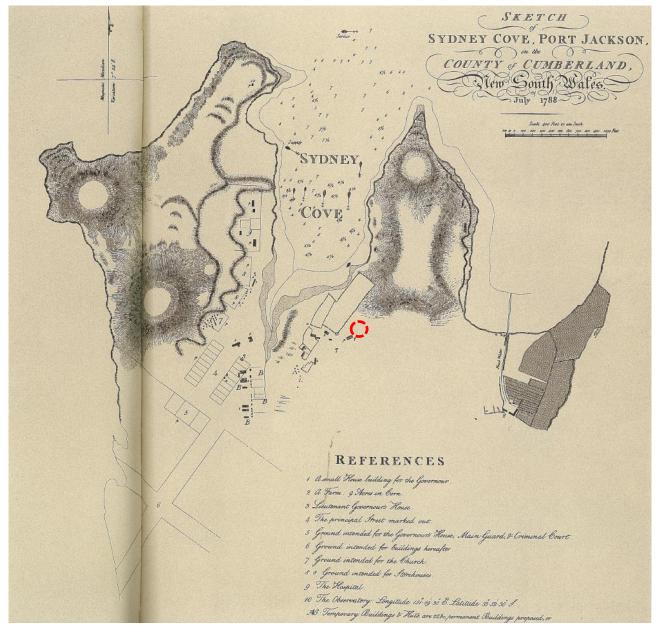


Figure 167 – Sketch of Sydney Cove, Port Jackson in July 1788 (approximate location of the subject site shown outlined in red)

Source: Kelly 1997

In the following years a number of small huts and sheds were built along the shoreline close to the subject site.<sup>17</sup> In the early years of Sydney's development, Governor Phillip declared that convict, military and some civil establishments were to be located on the western side of the cove, and land to the east was to be reserved for the governor's benefit and for administrative and legal establishments.<sup>18</sup> Whatever reasons lay behind this decision of segregation, possibly better land to the east or the natural advantages for conducting ship maintenance and repair on the western side of Sydney Cove (now known as The Rocks), this early spatial determination created "a primary division of functions as well as social classes; buildings to the west and open space to the east".<sup>19</sup>

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<sup>&</sup>lt;sup>17</sup> Thorp, W 1995, Customs House, Sydney: Archaeological Assessment, report to City of Sydney Council, p.13.

<sup>&</sup>lt;sup>18</sup> Ashton, P 2008, East Circular Quay, Dictionary of Sydney, available at

<sup>&</sup>lt;a href="http://www.dictionaryofsydney.org/entry/east\_circular\_quay">http://www.dictionaryofsydney.org/entry/east\_circular\_quay</a>

<sup>&</sup>lt;sup>19</sup> KW Robinson, quoted in Norman Edwards, 'The Genesis of the Sydney Central Business District 1788–1856', in Max Kelly (ed), Nineteenth Century Sydney: Essays in Urban History, Sydney University Press in association with the Sydney History Group, Sydney 1978, p 38, in Ashton, P 2008, East Circular Quay, Dictionary of Sydney, available at <a href="http://www.dictionaryofsydney.org/entry/east\_circular\_quay">http://www.dictionaryofsydney.org/entry/east\_circular\_quay</a>

First Government House was built soon after the arrival of the First Fleet, immediately south-west of the subject site. In a survey of the settlement of New South Wales by Governor Phillip in 1792, the Government House is shown at the site marked "K", which includes gardens associated with the house, and includes the subject site (indicated in Figure 168).

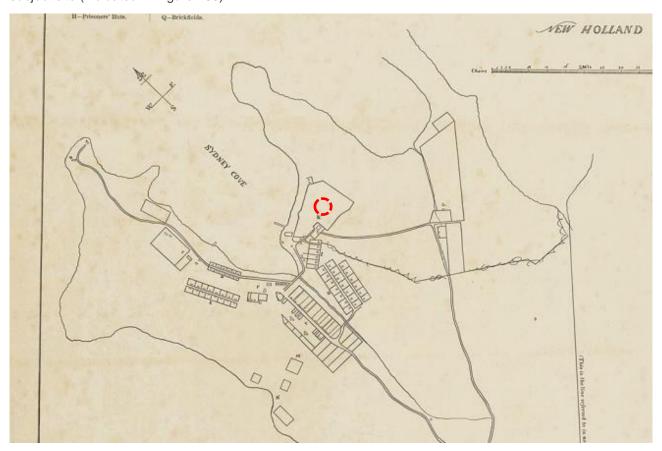


Figure 168 – Phillip's survey of the settlement in New South Wales, New Holland, 1792 (approximate location of the subject site shown in red)

Source: State Library of NSW Call No. Z/CA 8/88

Figure 169 shows First Government House around this time in 1791, and shows the unpaved path leading from the house to the shoreline, and the gardens fronting the house. Figure 170 shows Fernando Brambila's 1793 depiction of Sydney Cove and the Spanish rowing ashore opposite what is today the Sydney Opera House. Brambila was court painter to the Spanish monarch, and had been secretly instructed to report on the new British convict colony at Port Jackson.<sup>20</sup>

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<sup>&</sup>lt;sup>20</sup> British Library United Kingdom: http://www.bl.uk/onlinegallery/onlineex/kinggeorge/v/largeimage82034.html



Figure 169 – First Government House in 1791 (approximate location of the subject site shown in red) Source: Mitchell Library a3461024, in Artefact Heritage 2013



Figure 170 – Brambila's sketch of Sydney Cove in 1793 (approximate location of the subject site shown in red) Source: British Library http://www.bl.uk/onlinegallery/onlineex/kinggeorge/v/largeimage82034.html

Grimes' plan of Sydney from 1800 shows the development of the colony and the Governor's Domain as it expanded towards the north from First Government House, located at the present-day site of the Museum of Sydney (see Figure 171).

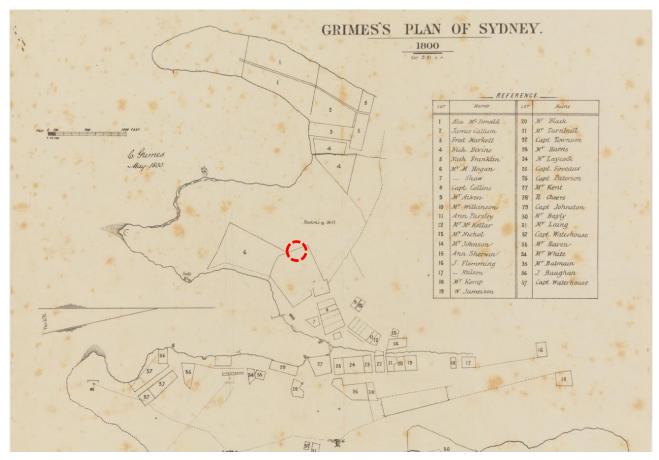


Figure 171 – Grimes' Plan of Sydney, 1800 (approximate location of the subject site shown outlined in red, on the Governor's Domain, and north-west of Boston's mill)

Source: State Library of NSW Call No. Z/Ce 89/13

These plans also display the burgeoning development of the western side of Sydney Cove in its early years, with development concentrated around the Tank Stream and shoreline. Development along the eastern shore was slow due to Governor Bligh's policy that the land in that area was "absolutely necessary" for use of Government House.<sup>21</sup>

The segregation of classes and preservation of the eastern side for open space continued when in October 1812, Governor Macquarie issued orders informing the public that individuals would be "severely punished, for Trespassing on the Government Domain". <sup>22</sup> Cartwright's 'Plan of the Governor's Demesne (Domain)', drawn in 1816 and shown in Figure 172 shaded in green, shows pleasure grounds, gardens and parklands, carriage drives and plantings, forming what is today known as The Domain. The approximate location of the subject site is shown. This plan also suggests that the subject site was located in an area of potentially remnant bushland vegetation that formed part of the pleasure grounds.

The approximate location of the subject site at this time is indicated on this plan, within the forested ridgeline of the 'Pleasure Grounds', north-east of First Government House, between it and the shore (although the approximate distance to the shoreline at this time is not known, the shoreline has moved over time through development and land reclamation). Many of these developments were made by Governor Lachlan Macquarie and his wife Elizabeth following their appointment in Sydney in 1810. The house was considered too small to be used as the centre of government in a growing colony, and was extended by the Macquaries, and included the pleasure grounds, the circular driveway, and the walks and roadways winding through The Domain shown in Figure 172.<sup>23</sup>

<sup>&</sup>lt;sup>21</sup> Ashton, P 2008, East Circular Quay, Dictionary of Sydney, available at

<sup>&</sup>lt;a href="http://www.dictionaryofsydney.org/entry/east\_circular\_quay">http://www.dictionaryofsydney.org/entry/east\_circular\_quay</a>

<sup>&</sup>lt;sup>22</sup> (ibid)

<sup>&</sup>lt;sup>23</sup> Proudfoot, H, Bickford, A, Egloff, B & Stocks, R 1991, Australia's First Government House, Allen & Unwin in conjunction with the Department of Planning, Sydney.



Figure 172 – "A plan of the Governors Demesne land surveyed in the year 1816" watercolour by C. Cartwright, 1816 (approximate location of the subject site shown in red)

Source: State Library NSW, ML M3 811.172/1816/1

In the same year as Cartwright's plan was drawn, Macquarie identified a number of problems with the existing Government House, finding it and its facilities and offices to be "Much decayed and rotten", and plagued with "Constant Dampness in every Room in the House". A Macquarie commissioned architect Francis Greenway for plans for a new Government House, and for stables.

While he renovated First Government House rather than building a new one at this time, the stables were completed in 1819, and are the current site of the New South Wales Conservatorium of Music.<sup>25</sup>

The approximate area of the subject site is shown in Figure 173 in 1822, in much the same configuration, though development to the south and west appears more prolific. The stables are shown completed in this map. Note that in the key for this map, 26 refers to "Government House & Domain", 27 refers to "Governors Stables" and 70 refers to the "Governor's Observatory".

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<sup>&</sup>lt;sup>24</sup> Governor Lachlan Macquarie in a letter to Earl Bathurst on 18 March 1916, in Proudfoot et al. 1991, p. 99

<sup>&</sup>lt;sup>25</sup> Proudfoot, H, Bickford, A, Egloff, B & Stocks, R 1991, Australia's First Government House, Allen & Unwin in conjunction with the Department of Planning, Sydney.

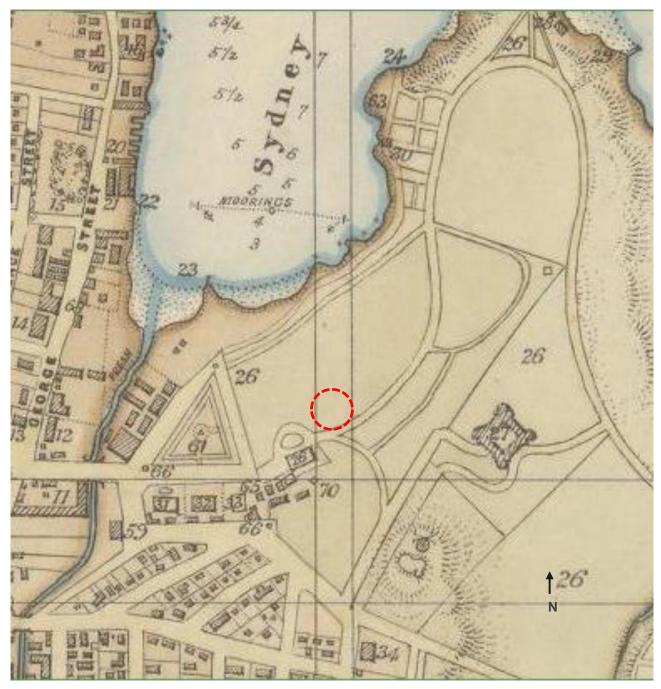


Figure 173 - Plan of the town and suburbs of Sydney, August 1822 (approximate location of the subject site shown in red)

Source: National Library of Australia, Map F 107

Governor Thomas Brisbane arrived in Sydney in November 1821, and preferred Government House at Parramatta rather than First Government House, which was 'largely uninhabited' during Brisbane's term, though Brisbane did advocate the sale or lease of the land on the eastern side of the cove, and the building of a new Government House further inside the Domain. During Governor Darling's reign in 1827, a competition was announced for the design of a new Government House, but this did not go ahead at this time due to more pressing matters in the colony. Major alterations and repairs were made to the house instead in November 1827, but these appear to have destabilised Macquarie's additions to the house.

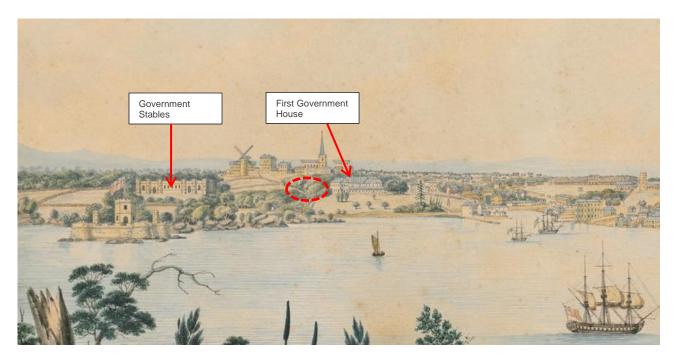


Figure 174 – Extract of "Sydney from the North Shore" watercolour by Joseph Lycett, 1827 (showing the approximate location of the subject site in red circle)

Source: State Library NSW, Digital Order No. Album ID:972904



Figure 175 – Extracts of "Town of Sydney", Hoddle, Larmer & T R Mitchell, 1831 (showing the approximate location of the subject buildings prior to their construction)

Source: "Town of Sydney", Hoddle, Larmer & T R Mitchell, 1831, in Government House Sydney, Historic Houses Trust, 2011

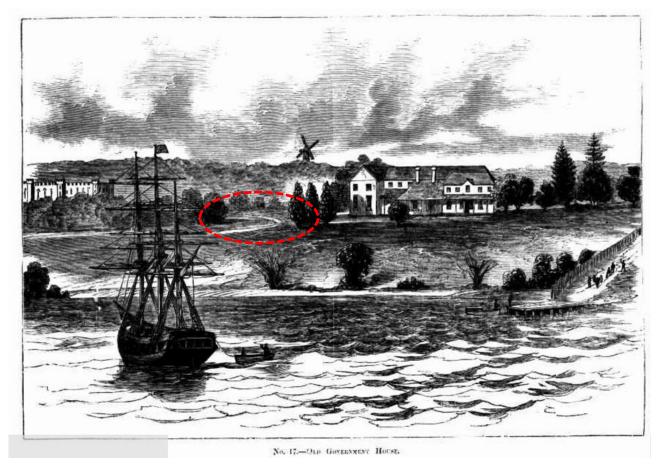


Figure 176 – Sketch of Old Government House, ca.1830-1845 (subject site shown)

Source: 1888 'Views of Old Sydney.', The Sydney Mail and New South Wales Advertiser (NSW: 1871 - 1912), 14 January, p. 80., viewed 09 Nov 2016, http://nla.gov.au/nla.news-article164363546

There were numerous reports of the poor quality of the house in the 1830s and 40s, advocating its demolition and construction of a new Government House.

At the same time, plans were being put forward for the construction of semi-circular quay at Sydney Cove, today's Circular Quay. This involved the adoption of a new street plan giving access to the Quay, and the extension of Phillip Street sealed the fate of First Government House, as development extended towards the eastern side of the Cove. <sup>26</sup> Bridge Street, between Macquarie Street and Macquarie Place was surveyed in 1835 and aligned in 1838<sup>27</sup> (refer Figure 177).

<sup>&</sup>lt;sup>26</sup> (ibid)

<sup>&</sup>lt;sup>27</sup> State Records NSW, Digital ID: NRS13886[X770]\_a110\_000040

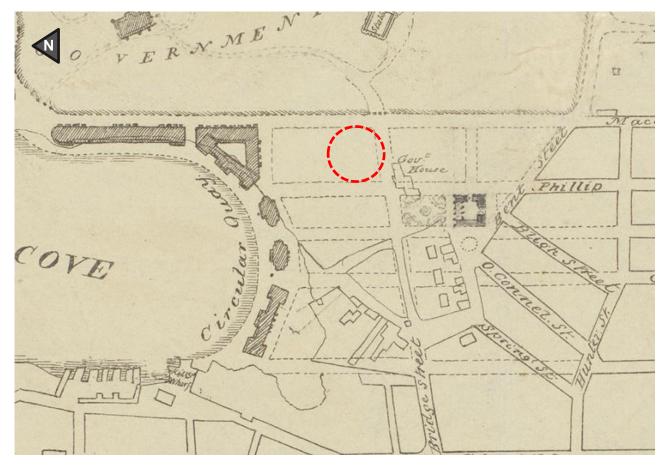


Figure 177 - Plan shewing the site for the New Government House, Public Offices, the Circular Quay & improvements of streets connected therewith / presented by the Editor of the Colonist to his subscribers gratis, 1838 (showing the approximate location of the subject buildings prior to their construction)

Source: State Library NSW, Digital Order No. a8945001

Plans for a new government house had been prepared by English architect Edward Blore in 1824 and in 1837 the foundations for the new castellated gothic Government House were laid and First Government House was dismantled in 1845 (refer Figure 178 for a painting of First Government House just prior to its demolition). The new proposed street alignment resulted in the configuration of Bridge Street and Macquarie Street generally in their present locations. Bridge Street was aligned to the entrance gates of Government House to the north-east, and Macquarie Street was extended north down to Fort Macquarie.

The following painting of camels grazing in the Governor's Domain further suggests that the subject site was potentially located within an area of remnant vegetation.



Figure 178 - View of old Government House - Sydney, George E Peacock 1845 (showing the approximate location of the subject site indicated in red)

Source: State Library NSW ML 658, cited in "Government House Sydney", by the Historic Houses Trust of New South Wales, 2011

The following sketch of First Government House dates from 1847, confirms that the Macquarie Street extension through the Governor's Domain occurred prior to the Treasury building's construction in 1849. Remnant vegetation had been generally cleared to make way for the Macquarie Street extension.



Figure 179 - 1847 drawing by Jacob Jones showing first Government House as the end of its life. Macquarie Street has already been extended through The Domain on the eastern side (left) and the quarrying to build wharfage for Circular Quay is visible in the centre of the picture. Approximate location of the subject site shown outlined in red.

Source: State Library NSW, Call Number DGA 32, Reference Code 457345

### 3.3. HISTORICAL OVERVIEW: SUBJECT PROPERTY

### 3.3.1. Treasury in the Colony

The Treasury is the oldest surviving Government Agency in Australia.<sup>28</sup> The first Colonial Treasurer, William Balcombe, was appointed to the role in April 1824 following an enquiry into Governor Macquarie's administration. The office of the Colonial Treasurer was first established at 1 O'Connell Street (corner of Bent Street); William Balcombe's official residence.<sup>29</sup> Balcombe's private quarters and the Treasury office were housed under the one roof, his wife and children upstairs, the government transactions attended to below<sup>30</sup>. The building housed the Colonial Treasury between 1824 and 1837, and comprised vaults for the Colonial wealth and a number of solid prisoner cells in the basement.<sup>31</sup> Figure 180 below shows William Balcombe's official residence (first Treasury building in Australia) in 1904 before its demolition.



Figure 180 – Photograph of the house at the corner of O'Connell Street and Bent Street; the site of the First Treasury. Photograph taken before its demolition in 1904 for the site's redevelopment for the Colonial Sugar Refining Company

Source: 1904 'SYDNEY MOVING SKYWARD: SITE OF THE FIRST TREASURY.', The Sydney Mail and New South Wales Advertiser (NSW: 1871 - 1912), 20 April, p. 981., viewed 09 Nov 2016, http://nla.gov.au/nla.news-article163987030

The security at O'Connell Street was not considered adequate and in May 1827 the Treasury was directed to move to a building within the Barrack Walls at Barrack Square where the security arrangements were considered better for safeguarding the Civil and Military money of the Government. Over the following decades, the Colonial Treasury was relocated on a number of occasions for reasons of either security or financial expediency. The Department remained, however, close to the Governor's Domain, the precincts of Parliament House, the Colonial Secretary and later the Premier.<sup>32</sup>

By 1849, the Treasury and Audit offices were situated in a dilapidated building in what would be Loftus Street, Sydney. During his term, Colonial Treasurer Campbell Drummond Riddell requested new accommodation, and was promised a new building in Macquarie Street.<sup>33</sup> In August 1849, the Treasury

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<sup>&</sup>lt;sup>28</sup> NSW Treasury, The History of the New South Wales Treasury: 1824-1999, available at http://www.treasury.nsw.gov.au/Golden Heritage/contents

<sup>&</sup>lt;sup>29</sup> 1824 'Classified Advertising', The Sydney Gazette and New South Wales Advertiser (NSW: 1803 - 1842), 20 May, p. 1., viewed 26 Oct 2016. http://nla.gov.au/nla.news-article2182907

<sup>&</sup>lt;sup>30</sup> NSW Treasury, The History of the New South Wales Treasury: 1824-1999, available at http://www.treasury.nsw.gov.au/Golden\_Heritage/contents

<sup>&</sup>lt;sup>31</sup> 1904 'SYDNEY MOVING SKYWARD: SITE OF THE FIRST TREASURY.', The Sydney Mail and New South Wales Advertiser (NSW: 1871 - 1912), 20 April, p. 981., viewed 09 Nov 2016, http://nla.gov.au/nla.news-article163987030
<sup>32</sup> Ibid.

<sup>33</sup> Hotel Inter-continental Sydney, 'A History of the Treasury' 1993

Department vacated the dilapidated building, and by December it was being demolished. The materials were sold for the gross sum of £91.34

The Treasury Department was removed temporarily to a building on Lang Street, facing Charlotte Place / Church Hill (now Lang Park), opposite St. Phillip's Church.<sup>35</sup> The Treasury department remained in occupation of this 'interim' Treasury building for over two years, until the new Treasury at Macquarie Street was completed in October 1851.<sup>36</sup> Figure 181 shows a view of Charlotte Place in the late 1800s with the façade of this interim Treasury office on the right. Figure 182 shows a photograph of the façade of this interim Treasury office slightly later in c.1910.



Figure 181 – "Charlotte Place from Church Hill, Sydney", ca.1880 – 1938, showing the interim Treasury building on the right

Source: State Library VIC, Image H91.300/682 http://handle.slv.vic.gov.au/10381/47815



Figure 182 – Photograph of the old Treasury Building in Church Hill, Sydney c.1910

Source: Harold Cazneaux, PIC Drawer C26 #PIC/8893/175

Figure 183 shows a sketch of the interim Treasury building later in 1914, while Figure 184 is a photograph of the building in 1924, before its pending demolition.

<sup>&</sup>lt;sup>34</sup> 1849 'No title', The Sydney Morning Herald (NSW: 1842 - 1954), 21 December, p. 2., viewed 24 Oct 2016, http://nla.gov.au/nla.news-article12914568

<sup>&</sup>lt;sup>35</sup> 1849 'Government Gazette Notices', New South Wales Government Gazette (Sydney, NSW: 1832 - 1900), 31 August, p. 1286. . viewed 24 Oct 2016. http://nla.gov.au/nla.news-article230392050

<sup>1286.,</sup> viewed 24 Oct 2016, http://nla.gov.au/nla.news-article230392050

36 1849 'SHIPPING INTELLIGENCE.', The Maitland Mercury and Hunter River General Advertiser (NSW: 1843 - 1893), 1 September, p. 3., viewed 24 Oct 2016, http://nla.gov.au/nla.news-article700673



Figure 183 – Sketch of the old Treasury Building in Church Hill, Sydney 1914

Source: Hardy Wilson, PIC Drawer 1344 #R531

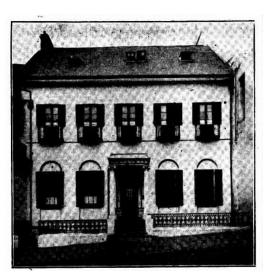


Figure 184 – Photograph of the interim Treasury Building in Lang Street before its pending demolition, 1924

Source: 1924 'HISTORIC BUILDING TO BE DEMOLISHED.', The Sydney Morning Herald (NSW: 1842 - 1954), 10 July, p. 10., viewed 09 Nov 2016, http://nla.gov.au/nla.news-article16155671

Notwithstanding its temporary occupation for no more than two years, it was this building that was credited as being the location of the first gold delivery from the newly discovered gold mines in Bathurst in 1851.<sup>37</sup> Figure 185 below is a sketch from 1876 depicting this famous event.

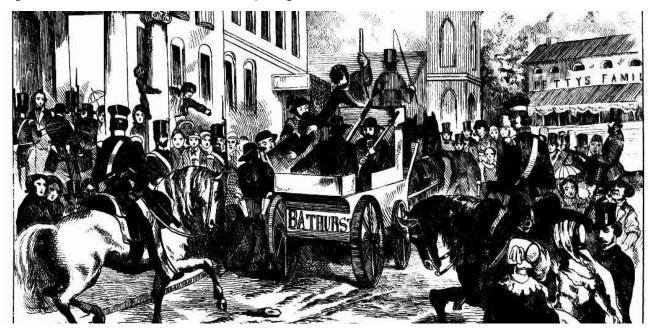


Figure 185 – Sketch depicting the arrival of a gold escort to the 'Sydney Treasury' in 1851

Source: 1876 'BATHURST.—(SUPPLEMENT.)', Illustrated Sydney News and New South Wales Agriculturalist and Grazier (NSW: 1872 - 1881), 31 March, p. 13., viewed 15 Nov 2016, http://nla.gov.au/nla.news-article63333657

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<sup>&</sup>lt;sup>37</sup> 1851 'CONVEYANCE OF GOLD.', New South Wales Government Gazette (Sydney, NSW: 1832 - 1900), 8 July, p. 1065., viewed 15 Nov 2016, http://nla.gov.au/nla.news-article230770135

### 3.3.2. Phase 1: A New Treasury Building

This section of the Historical Overview relates to the following building stage:



Figure 186 – Diagram indicating building stage relevant to this section of the Historical Overview shaded red *Source: Urbis* 

### 3.3.2.1. Selecting the Location

A site for a proposed new Treasury Building was selected on Macquarie Street, on the corner of Bridge Street (refer below Figure 187). The site was an irregular shaped allotment at a corner site due to the alignment of the Bridge Street road at an angle, presumably to respond to the natural topography of the land within this section of the city on a ridgeline and valley down to the Tank Stream. The angle of the site's Bridge Street frontage is caused by the angled Bridge Street east-west alignment meeting the more regulated north-south alignment of the extended Macquarie Street. In this locality, the north-south main streets and avenues typically run straight, while east-west aligned bisecting streets navigate the undulating topography of the immediate area resulting from the natural tank stream depression.

Within the broader context of Sydney at the time, the preferred location for the new Treasury building is understood to be a calculated decision responding to the cultural landscape of the place, with consideration for the following critical elements which all contribute to the site's landmark qualities:

- The site is located on a prominent ridgeline providing visual presence and dominance within what would
  have been a relatively low-scaled city at the time. This ridgeline provides the eastern upper slope of the
  Tank Stream valley which meandered north-south generally along what is now known as Pitt Street. The
  natural topography of the site allowed for a commanding aspect over the colony and extensive views.
- Views of the new Treasury building would have been available from numerous locations throughout the
  city, including from the opposite western ridge of the Tank Stream Valley, York Street. The Treasury
  Building therefore would have contributed to providing the eastern 'book end' of this northern portion of
  the city together with the existing development along York Street to the west. These two ridgleines
  framed this section of the city. The building and location would have been very visible from Circular Quay
  demonstrating its importance and authority over the city. Connections with the Harbour and ports were
  important for trade and administration of the city.
- Macquarie Street since the colonisation of Sydney by Europeans has been used as a centre of
  Governance and administration with many significant institutions located along this corridor. These
  building were located in this location for their proximity to the original Government House and Governor's
  Domain. The location of the new Treasury building in this location continued this tradition of locating
  important community and Government buildings in this precinct and allowed for a consolidation of these
  uses.
- The site provided for an already cleared and managed site, having previously formed part of the Governor's Domain and gardens. While the original vegetation community is not known, it is known that the site of the Original Treasury Building was altered and cultivated following first contact by the Europeans and construction of the Governor's Domain. Plans included in the following sections of the report suggest that the location of the site was potentially located within an area of remnant bushland prior to clearing, however analysis to definitively identify the former vegetation has not been undertaken.

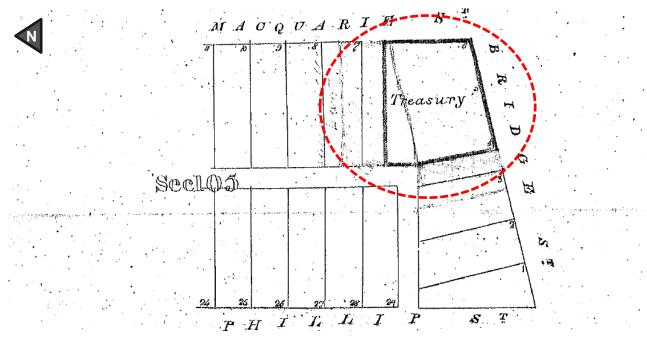


Figure 187 - Extract of survey showing land delineated for Treasury, c.1850

Source: Archives Office 2/648, cited in Clive Lucas Pty Ltd, The Treasury Building: Conservation Analysis, Statement of Cultural Significance, Development Constraints and Draft Conservation Policy, August 1982, p.124

### 3.3.2.2. The New Building

In 1849, the Colonial Architect was asked to provide plans for a new Treasury and Audit Office building in Sydney. As Mortimer Lewis was the Colonial Architect at the time, the plans are generally attributed to his design. The Colonial Treasurer and the Auditor-General decided upon the internal configuration of spaces, which resulted in the new building being effectively split into two halves with a party dividing wall, with each Department gaining a ground and upper level semi-detached building. When the building was first constructed, there was no internal connection between the two Departments.<sup>38</sup>

Two architectural plans prepared by the Colonial Architect, showing proposed elevations of the building, still exist today in the NSW State Library. Of these, one shows the proposed elevation of the building to Macquarie Street (which is very similar to the existing façade of the building), and the other shows a proposed elevation to Bridge Street (albeit only five window bays long in the plan but executed as seven window bays long when constructed). Extracts of these plans are included overleaf at Figure 188 and Figure 189.

Notwithstanding that the design came from Mortimer Lewis, his tenure as Colonial Architect also ended in 1849 and he was succeeded by Edmund Blacket. Edmund Blacket's first entry in the business diary after he assumed the office of Government Architect (December 1849), stated that on 5 December 1849 he "inspected the new Treasury Office", 39 as it was under construction.

39 Herman, M 1963,p.27

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<sup>&</sup>lt;sup>38</sup> Clive Lucas Pty Ltd, The Treasury Building: Conservation Analysis, Statement of Cultural Significance, Development Constraints and Draft Conservation Policy, August 1982



Figure 188 – Elevation of Treasury Building, facing Macquarie Street, c. 1850 Source: State Library NSW, Mitchell Library Collections, V1/Pub/Treas/1



Figure 189 – Elevation of Treasury Building, facing Bridge Street, c. 1850 (not built as drawn – built instead with seven window bays and a door to Bridge Street)

Source: State Library NSW, Mitchell Library Collections, V1/Pub/Treas/2

Calls for tenderers to undertake the construction of the new Treasury Building were advertised in March 1849. 40 The construction of the building spanned two years, wherein additional monies were raised progressively to support the construction; in July 1850, a claim was raised that the expenditure for the building's ornamentation was too extravagant and all accounts should be reviewed. 41 The new Treasury building was completed and ready for occupation by October 1851. 42

The building was to be of dual purpose, housing both the Department of the Colonial Treasurer, and the Auditor-General. The rooms for use by the Department of the Colonial Treasurer were accessed from Macquarie Street and generally comprised the Treasurer's Room, a number of Clerk's rooms, and public receiving rooms. The Auditor-General occupied four rooms to the west of the new building, access separately from Bridge Street (refer below to likely room use as at c.1853 at Figure 190, Figure 191 and Figure 192).

Following the building's completion in 1851,<sup>43</sup> further calls for tenders were issued for the construction of associated outbuildings.<sup>44</sup> Outbuildings included a land sales office, stables, privies and watchman quarters. Soon thereafter, a new iron safe was required to be constructed in the vault of the new building to hold the Treasury stocks.<sup>45</sup>

<sup>&</sup>lt;sup>40</sup> 1849 'TO BUILDERS AND OTHERS.', New South Wales Government Gazette (Sydney, NSW: 1832 - 1900), 20 March, p. 458., viewed 24 Oct 2016, http://nla.gov.au/nla.news-article230365103

<sup>&</sup>lt;sup>41</sup> 1850 'Legislative Council.', The Maitland Mercury and Hunter River General Advertiser (NSW: 1843 - 1893), 20 July, p. 2., viewed 24 Oct 2016, http://nla.gov.au/nla.news-article691771

<sup>&</sup>lt;sup>42</sup> 1851 'Advertising', The Sydney Morning Herald (NSW : 1842 - 1954), 17 October, p. 1. , viewed 26 Oct 2016, http://nla.gov.au/nla.news-article12931307

<sup>&</sup>lt;sup>43</sup> 1851 'Government Gazette Notices', New South Wales Government Gazette (Sydney, NSW: 1832 - 1900), 10 October, p. 1629., viewed 24 Oct 2016, http://nla.gov.au/nla.news-article230771533

<sup>&</sup>lt;sup>44</sup> 1851 'TO BUILDERS AND OTHERS OUTBUILDINGS, NEW TREASURY AND AUDIT OFFICE.', New South Wales Government Gazette (Sydney, NSW: 1832 - 1900), 18 July, p. 1147., viewed 24 Oct 2016, http://nla.gov.au/nla.news-article230770227

<sup>&</sup>lt;sup>45</sup> 1851 'Government Gazette Tenders and Contracts', New South Wales Government Gazette (Sydney, NSW: 1832 - 1900), 8 August, p. 1307., viewed 24 Oct 2016, http://nla.gov.au/nla.news-article230770609

The internal configuration was not impacted as a result of the building's splayed corner site location internally all rooms provided were square, with thick walls, and small angled corridors used to enable square rooms and fill void space.

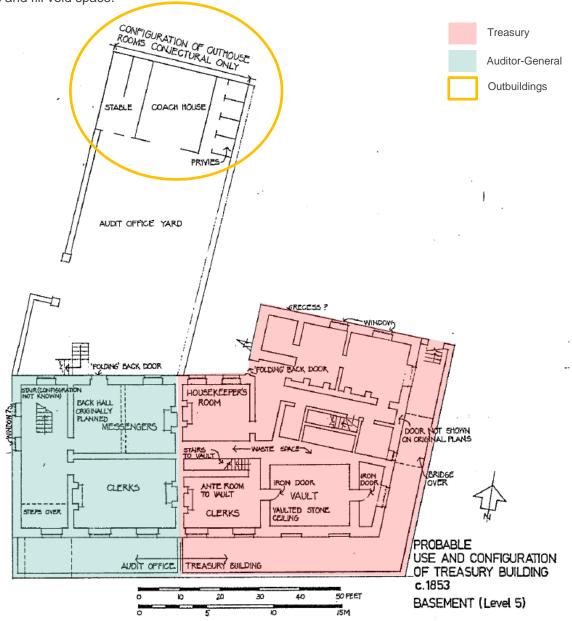


Figure 190 – Probable use and configuration of Treasury Building c.1853 (Basement Floor)

Source: Clive Lucas Pty Ltd 1982, The Treasury Building: Conservation Analysis, Statement of Cultural Significance, Development Constraints and Draft Conservation Policy, p.125

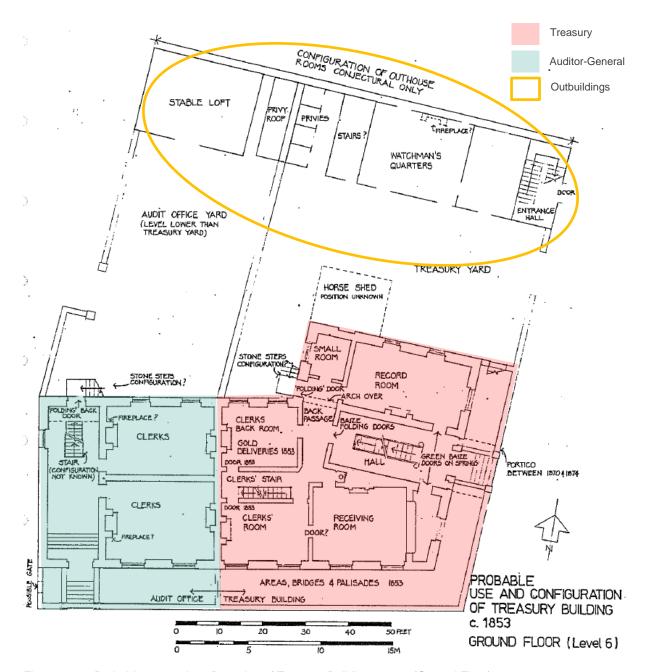


Figure 191 – Probable use and configuration of Treasury Building c.1853 (Ground Floor)

Source: Clive Lucas Pty Ltd 1982, The Treasury Building: Conservation Analysis, Statement of Cultural Significance, Development Constraints and Draft Conservation Policy, p.124

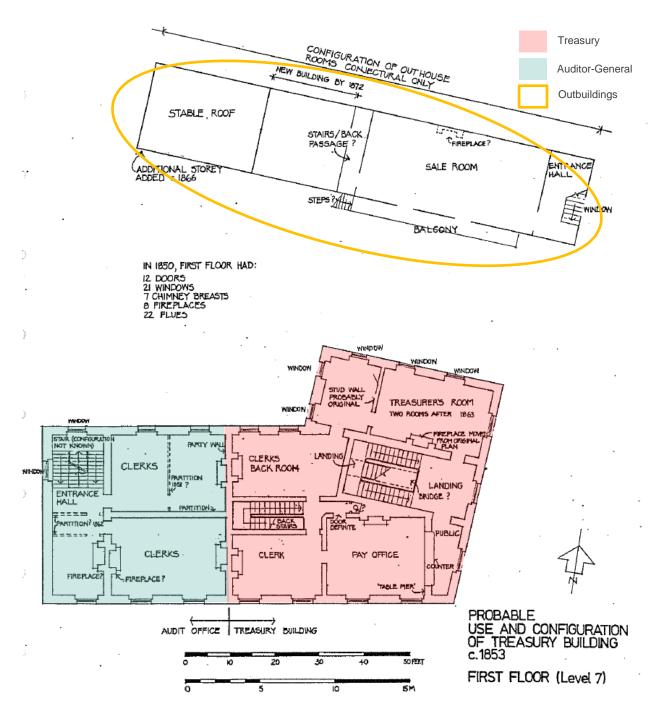


Figure 192 – Probable use and configuration of Treasury Building c. 1853 (Ground Floor)

Source: Clive Lucas Pty Ltd 1982, The Treasury Building: Conservation Analysis, Statement of Cultural Significance, Development Constraints and Draft Conservation Policy, p. 123



Figure 193 – Extract of Painting by Jacob Jansen in 1852, showing the new Treasury building once completed (Bridge Street elevation) and the landscape setting of the Treasury Building

Source: Hotel Inter-continental Sydney, 'A History of the Treasury' 1993

During the period immediately following the construction and opening of the new Treasury Building, the remainder of Macquarie Street was levelled out from the Treasury to the north towards Circular Quay. 46 Twelve years later in 1868, this portion of Macquarie Street was covered in blue metal. 47 The subject site was one of the first buildings along Macquarie Street extending north into the former Governor's Domain and this development demonstrated the realisation of the earlier 1838 plan for the extension of Macquarie Street and surrounding streets (refer earlier to Figure 177). This was the culmination of the plan to consolidate the important Governance and administration uses of the colony in the same general prominent location, with the Treasury sited in a prime position, as a visible landmark atop the ridgeline, and in close proximity to the new Government House (the entrance gates to Government House and the Government Stables were located immediately to the east of the subject site).

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<sup>&</sup>lt;sup>46</sup> City of Sydney Archives, 26/9/077, memorandum dated 24 January 1854

<sup>&</sup>lt;sup>47</sup> City of Sydney Archives, 23/21/65, Reports of the Improvement Committee, 1868

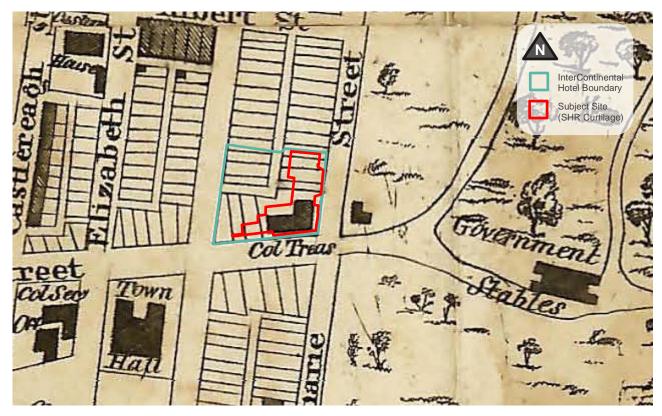


Figure 194 – Extract of Woolcott & Clarke's Map of the City of Sydney, 1854 (showing the new Colonial Treasury as the only building constructed on the block bounded by Macquarie St, Bridge St, Phillip St and Albert St at this time)

Source: City of Sydney Archives. Historical Atlas of Sydney

By 1856, the block bounded by Macquarie Street, Bridge Street, Phillip Street and Albert Street was further developed with a Water Police Court and Police Station on the corner of Albert and Phillip Streets. This building (now the Justice and Police Museum) was the first of numerous Government agency buildings that would be developed on this block after the original Treasury Building. Figure 195 below details the location, scale and materiality of the original Treasury Building (now developed with the adjacent Land Sales Office building) and the Water Police Court building. The detail of the Original Treasury Building shows the physical split in the building and rear yard between the Treasury department and Auditor-General department.

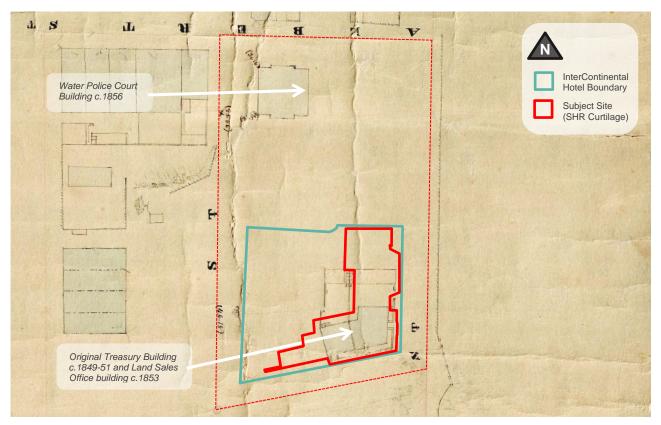


Figure 195 – Extract of City Detail Sheets, c.1856 (Sheet 28). The colour blue indicates stone construction.

Source: City of Sydney Archives. Historical Atlas of Sydney

Despite the important location of the Treasury to be within a broader context of Governance and administration along the Macquarie Street ridgeline, development of prominent residences along the western alignment of the street, to the south of the subject site, followed soon after the construction of the Treasury Building. This is a deviation from the administrative context of the locality and possibly suggests that the wealthier residents wanted to be located within an area of substantial Government influence, and close to important colony amenities such as Circular Quay and the Botanic Gardens. This is shown in the following photograph, which is potentially the earliest photograph of the building following completion in the 1850s.



Figure 196 – View of Macquarie Street from top of Government House. Macquarie Street in the 1850s was lined with stately terraces. (W. Blackwood, 1858) – Original Treasury Building shown shaded with smaller Land Sales Office building in front

Source: Barry Groom & Warren Wickman, 'Sydney - The 1850s - The Lost Collections', 1982

In 1861 the new Treasury Building was described as follows:

"The Treasury and Audit Office: This is a handsome and massive building. Both offices, it will be seen are under the same roof. The former entering from this street and the latter from Bridge Street. The Sale-room for Crown Lands adjoins the Treasury, a notice of which is affixed over the door. Opposite the Treasury we have the guard house and entrance to [Government House]<sup>48</sup>

A more detailed 1865 Trigonometrical Survey (refer Figure 197 below) shows the full development of the site at this time, including the 'L' shaped Treasury Building to Macquarie and Bridge Streets, and the Land Sales Office to the north on Macquarie Street. The survey still confirms that there was a physical separation between the Treasury department and Auditor-General department at this time. Further Government based development adjoining and associated with the Water Police Court had been undertaken.

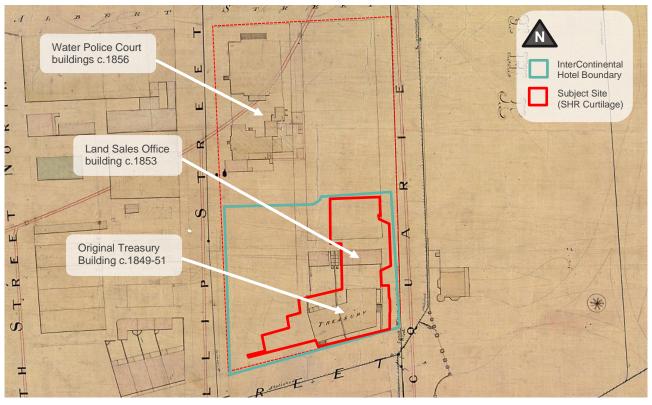


Figure 197 - Extract of the Trigonometrical Survey of Sydney, 1865 (Block B1)

Source: City of Sydney Archives. Historical Atlas of Sydney

The following photographs taken in c.1860 – 1870 show the completed Treasury Building and Land Sales Office building along Macquarie Street (refer below to Figure 198, and Figure 199). Note the sunken basement lightwell with iron palisade fence as currently exists, and the two rear chimneys which have been removed. The Macquarie Street sandstone portico was a later addition added in c.1870-1874 (refer Figure 200).

The Land sales Office is also evident in the following photographs. This building was a single storey rendered structure with lantern window top. A rendered wall extended along the perimeter in front of this building, continuing north from the Treasury palisade fence.

<sup>&</sup>lt;sup>48</sup> Waugh, James William 1861, The Stranger's Guide to Sydney, p.28



Figure 198 – The new Treasury Building completed c.1860-1870

Source: State Library NSW, PXD 524



Figure 199 – Photograph of Treasury Building, 1866, view from the Government House gardens. Entrance gates to Government House visible in the foreground, showing that the grounds were a separate, gated area and outside of the immediate setting of the Treasury building.

Source: State Library VIC, Image No: H15178



Figure 200 – Photograph of Treasury building c.1874 after addition of Portico

Source: State Library NSW, Digital ID a2825030r

A history of the Treasury Department and relevant Treasurers who occupied the building, is included at Section 3.5.

It was around this time that the Colonial Secretary's Building (now known as Chief Secretary's Building) opposite the Treasury Building (on the corner of Macquarie Street and Bridge Street) was constructed (c.1873-1880). The new building, designed by Colonial Architect James Barnet, was to house the Colonial Secretary's Department as well as Public Works, and included a decorative arcaded façade to Bridge Street.<sup>49</sup> The Colonial Secretary's Building was closely linked with the subject Treasury buildings, and many Treasurers and Premiers who occupied the subject building also occupied the Colonial Secretary's Building. The construction of this new building continued the tradition of centralising Government agencies in this precinct, around Government House.

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<sup>&</sup>lt;sup>49</sup> Heritage Inventory Sheet http://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=5045423

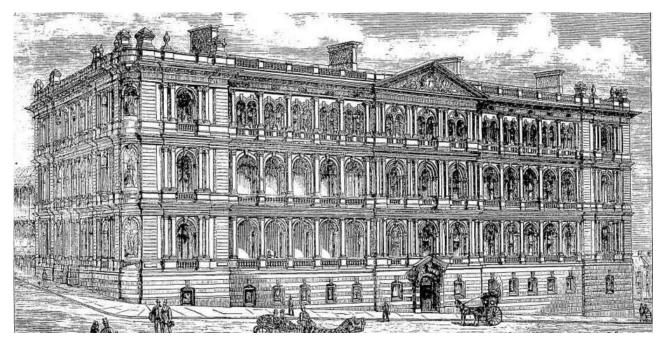


Figure 201 – Artist's impression of proposed Colonial Secretary's building opposite the subject property on corner of Macquarie and Bridge Streets, 1873

Source: 1873 'New Government Offices, Sydney', Australian Town and Country Journal (Sydney, NSW: 1870 - 1907), 13 September, p. 16., viewed 09 Nov 2016, http://nla.gov.au/nla.news-article70480941

Figure 202 shows a map of prominent buildings in Sydney in 1875 ("A Key to the View of Sydney") and identifies the Original Treasury Building (no. 22) as one of these contributory buildings.

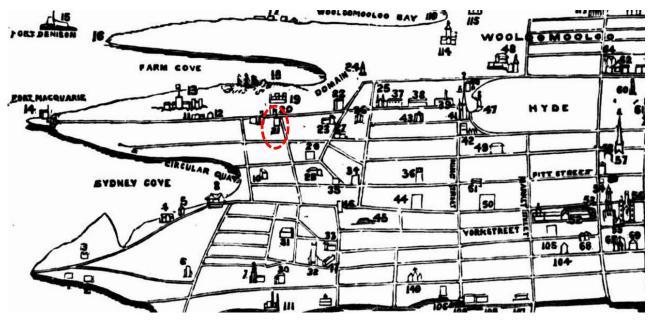


Figure 202 - A Key to the View of Sydney, 1875; the Treasury is identified as Number 21

Source: 1875 'KEY TO THE VIEW OF SYDNEY.', Illustrated Sydney News and New South Wales Agriculturalist and Grazier (NSW: 1872 - 1881), 10 February, p. 21., viewed 09 Nov 2016, http://nla.gov.au/nla.news-article63106473

During the mid to late 1800s, the city of Sydney developed rapidly, particularly along the northern end of Macquarie Street to Circular Quay. Figure 203 below shows a view of this precinct from The Rocks, with the northern elevation of the Original Treasury Building visible in the background. The immediate surrounds including Bridge Street and Phillip Street were heavily built-up with a mixture of store buildings, offices and residences (refer to detailed Dove's Plan below at Figure 204). However, the block bounded by Macquarie Street, Bridge Street, Phillip Street and Albert Street remained generally undeveloped until 1880 with the

Original Treasury Building, Land Sales Office, and Water Police complex being the only improvements (refer Figure 204 overleaf).

The cultural landscape surrounding the Original Treasury Building began to change in this period. Development along the Macquarie Street ridgeline was not restricted to Government uses, with numerous residences and warehouses/stores being developed to take advantage of the proximity to Circular Quay and the centre of commerce in the colony. The Botanic Gardens which were original part of the Governor's Domain, were located to the east of the subject site, and originally gated before being opened to the public.



Figure 203 – Panorama of Sydney Cove and the Quay, c. 1878 (Northern elevation of Original Treasury Building shown shaded in background)

Source: Harvey Shore, From the Quay 1981, p.26



Figure 204 – Extract Dove's Plan of Sydney, 1880 (Blocks 1, 2, 3 & 4) – subject property indicated Source: City of Sydney Archives. Historical Atlas of Sydney



Figure 205 – Photograph of Treasury building c.1880 after addition of Portico

Source: National Library of Australia, Bib ID 140657461-1

Sydney's first steam tramway was established in 1879. The first tram lines were laid from Redfern to the Hunter Street entrance of the Palace Gardens (Royal Botanic Gardens). Shortly thereafter, the lines were extended to a depot constructed at the rear of the Treasury Building, on the land at the corner of Bridge and Phillip Streets. This depot became known as the 'downtown terminus'.<sup>50</sup>

<sup>&</sup>lt;sup>50</sup> Hotel Inter-continental Sydney, 'A History of the Treasury' 1993 p.8



Figure 206 – Extract of 1884 Map of subject site, showing the Treasury Building and outbuildings, along with the new Tram-way at the rear (corner of Bridge and Phillip Streets)

Source: State Library NSW, Mitchell Library Map Collection, Metropolitan Series Detail Map, Map K4, M Ser 4 811.17/1

Photographs and maps in Figure 207 and Figure 208 below also identify the location of the new tramway at the rear of the Treasury Building site.

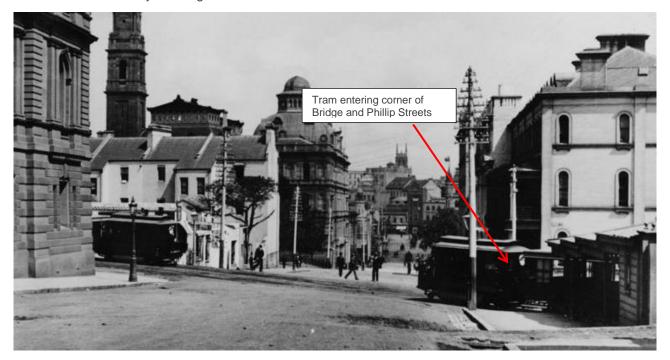


Figure 207 – Photograph of tramway into subject site (view looking west along Bridge Street near corner of Phillip Street, with the corner of Bridge and Phillip Streets at right), 1882

Source: City of Sydney Archives, ArchivePix, Len Stone / Vic Solomons Collection: 70

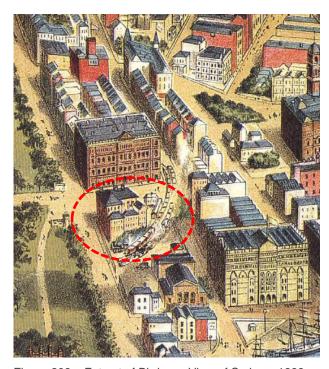


Figure 208 – Extract of Birdseye View of Sydney, 1888 (view facing south)

Source: City of Sydney Archives. Historical Atlas of Sydney

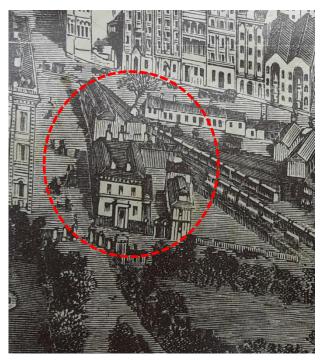


Figure 209 – The City of Sydney, NSW 1890 (view facing west)

Source: Kelly, M. & Crocker, R., Sydney Takes Shape, 1978 Cover

## 3.3.3. Phase 2: Additions to Treasury (North Wing Additions – Strong Room & Link Building)

This section of the Historical Overview relates to the following building stage:

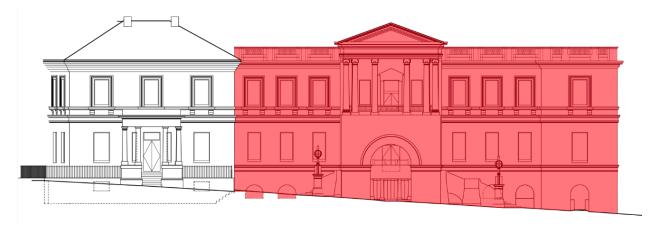


Figure 210 – Diagram indicating building stage relevant to this section of the Historical Overview shaded red Source: Urbis



Figure 211 – Photograph of Treasury Building, c.1895

Source: NSW State Records, Digital ID 4481\_a026\_000231

In 1896 the Public Works Committee was advised that an extension of accommodation at the Treasury Building was required to facilitate ongoing occupation and the centralisation of Government Departments. The growth of the Treasury and Auditor-General Departments necessitated a large extension; the Treasury Department had increased from 12 staff in 1850 to 79 staff in 1896. The department was also anxious for a fire-proof strong room as they had advised that the present vault was unusable.

The Government Architect, Walter Liberty Vernon, was instructed to draw up a scheme to achieve these requirements. The Public Works Committee consulted with Vernon throughout this process, who advised the Committee that alternatives have been considered, including the possibility of constructing additional storeys

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<sup>&</sup>lt;sup>51</sup> 1896 'Treasury Buildings.', Evening News (Sydney, NSW: 1869 - 1931), 17 January, p. 5., viewed 19 Oct 2016, http://nla.gov.au/nla.news-article109914444

<sup>&</sup>lt;sup>52</sup> Clive Lucas Pty Ltd 1982, The Treasury Building: Conservation Analysis, Statement of Cultural Significance, Development Constraints and Draft Conservation Policy, p.6

<sup>&</sup>lt;sup>53</sup> 1896 'PUBLIC WORKS COMMITTEE., The Sydney Morning Herald (NSW: 1842 - 1954), 11 January, p. 5., viewed 19 Oct 2016, http://nla.gov.au/nla.news-article14032868

on top of the existing Treasury Building. However, Vernon concluded that whilst the external walls of the existing Treasury Building would have the strength to support additional storeys, the resultant internal accommodation configuration would make the development inadvisable.<sup>54</sup>

At the time that Vernon was undertaking drawings for the proposed buildings, he also compiled a basic site plan showing the buildings then existing on the site (refer Figure 212 below).

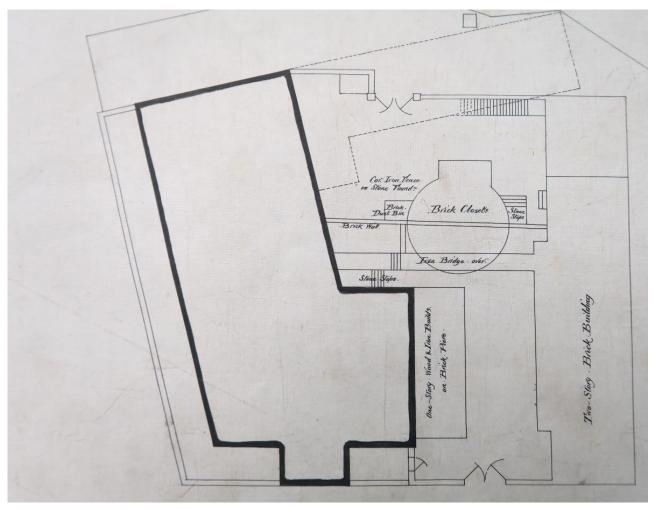


Figure 212 – Site Plan showing buildings, dated 1897 (original Treasury Building shown heavily outlined) Source: State Records NSW, Item No. PB25/7, dated 28 December 1897

Vernon's new proposal included two additional buildings extending north along Macquarie Street from the Original Treasury Building, including a 2,000 square-foot Strong Room. These new additions extended further north than the existing Land Sales Office, which was required to be demolished to allow the development. The proposed Macquarie Street elevation and high-level floor plan for this proposal are included overleaf in and Figure 213 and Figure 215.

Vernon estimated that this extension would cost £22,000.55 This exceeded the original authorised expenditure amount of £13,000 provided by the House, in the Committee of Ways and Means in December 1895.56 The proposed additions were sanctioned in September 1896 under the Public Works Act of 1888.57

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<sup>&</sup>lt;sup>54</sup> 1896 'PUBLIC WORKS COMMITTEE.', The Sydney Morning Herald (NSW: 1842 - 1954), 15 January, p. 5., viewed 19 Oct 2016, http://nla.gov.au/nla.news-article14033348

<sup>&</sup>lt;sup>55</sup> 1896 'PUBLIC WORKS COMMITTEE.', The Sydney Morning Herald (NSW: 1842 - 1954), 15 January, p. 5., viewed 19 Oct 2016, http://nla.gov.au/nla.news-article14033348

<sup>&</sup>lt;sup>56</sup> 1895 'Treasury Buildings Additions.', Barrier Miner (Broken Hill, NSW: 1888 - 1954), 19 December, p. 2., viewed 19 Oct 2016, http://nla.gov.au/nla.news-article44140154

<sup>&</sup>lt;sup>57</sup> 1896 'No. XI. An Act to sanction the carrying out of Additions to the Treasury Building in Macquarie-street, Sydney. [Assented to, 22nd September, 1896.]', New South Wales Government Gazette (Sydney, NSW: 1832 - 1900), 25 September, p. 6725., viewed 19 Oct 2016, http://nla.gov.au/nla.news-article222367604

The works were to be undertaken in three stages, as follows:

- Stage 1: The Strong Room forming an isolated three level building fronting Macquarie Street, north of the existing Land Sales Office.
- Stage 2: Demolition of the Land Sales Office, and construction of a Link Building between the original Treasury Building and the new Strong Room building.
- Stage 3: Proposed reconfiguration of the original Treasury Building. This third stage did not proceed (refer Figure 215 for a high-level sketch of the proposed alterations).

The buildings were designed in a sympathetic classical free style design, replicating the rhythm and proportions of the Original Treasury Building fenestration. A large classical portico with expressed gable pediment and dual sweeping staircase, along with a colonnaded parapet, provided architectural features which deviated from the Original Treasury Building.

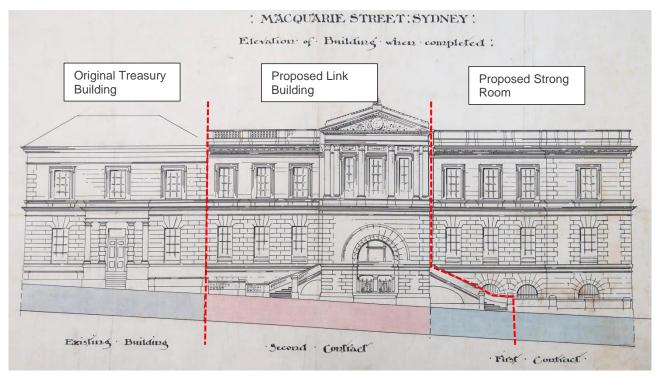


Figure 213 – Extract of Architectural Plan for Proposed Additions to Treasury (proposed north wing including a Strong Room and Link Building)

Source: State Records NSW, Item No. PB25/47 dated 17 December 1895

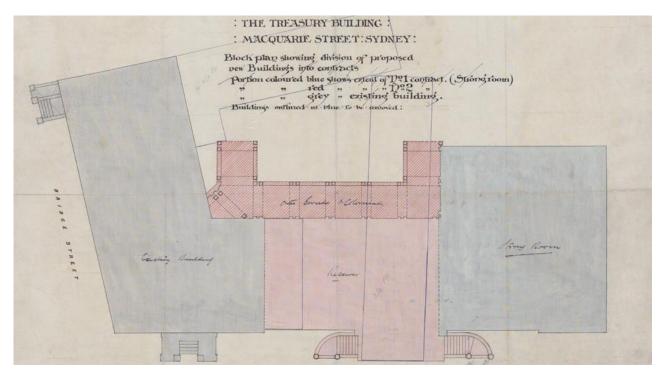


Figure 214 – Extract of Architectural Plan for Proposed Additions to Treasury (proposed north wing including a Strong Room and Link Building with Colonnade)

Source: State Records NSW, Item No. PB25/42 dated 1895

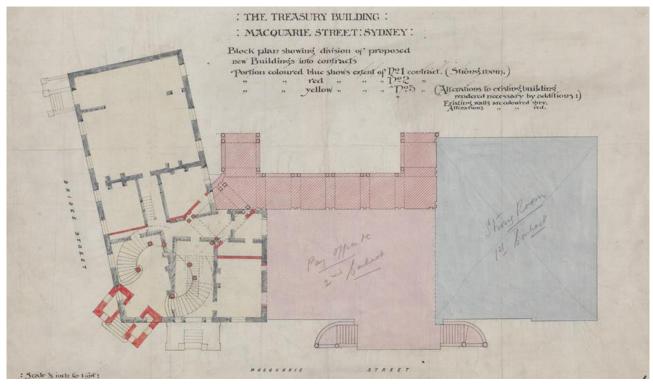


Figure 215 – Extract of Architectural Plan for Proposed Additions to Treasury (showing proposed reconfiguration of existing Treasury Building which did not proceed)

Source: State Records NSW, Item No. PB25/41

The proposed additions to the Treasury Building extending north along Macquarie Street were put to tender in 1898, with ten tenders received, including Messrs J. Steward and Co. for sandstone at £14,939 and Messrs Phippard Bros. for granite at £15,846.<sup>58</sup> The Strong Room was constructed first in 1896 with the Link Building constructed after in c.1899. Extracts of the detailed architectural plans for the Strong Room prepared by Vernon are included hereunder.

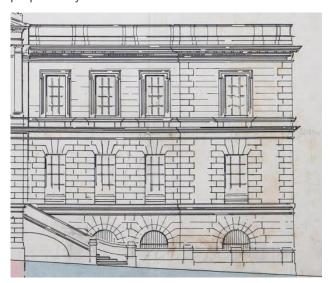


Figure 216 – Elevation to Macquarie Street of Strong Room

Source: State Records NSW, Item No. PB25/47 dated 17 December 1895

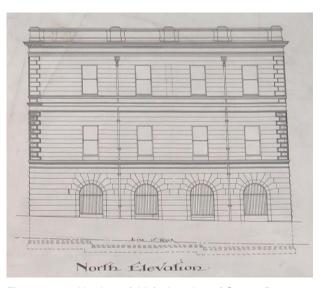


Figure 217 – Northern (side) elevation of Strong Room Source: State Records NSW, Item No. PB25/4099 dated 27 June 1895

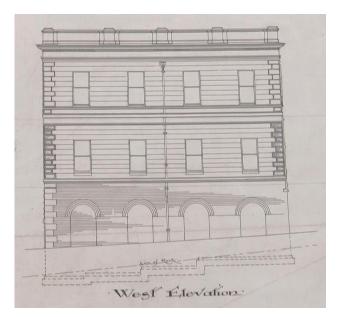


Figure 218 – Western (rear) elevation of Strong Room (now obscured by 1980s' hotel development)

Source: State Records NSW, Item No. PB25/4099 dated 27 June 1895

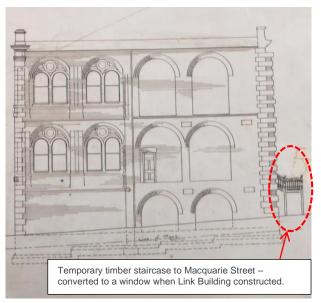


Figure 219 – Southern (side) boundary of Strong Room (to be adjoining Link Building after Link Building constructed)

Source: State Records NSW, Item No. PB25/4099 dated 27 June 1895

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<sup>&</sup>lt;sup>58</sup> 1898 'TREASURY BUILDINGS.', Evening News (Sydney, NSW: 1869 - 1931), 19 April, p. 5., viewed 19 Oct 2016, http://nla.gov.au/nla.news-article109653633

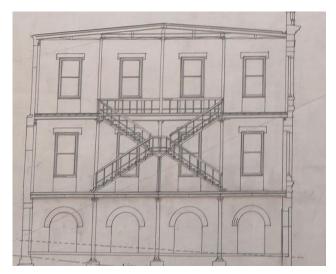


Figure 220 – Section C-D of Strong Room (internal section facing towards inner face of western wall – showing the double narrow-u staircase, now removed)

Source: State Records NSW, Item No. PB25/4099 dated 27 June 1895

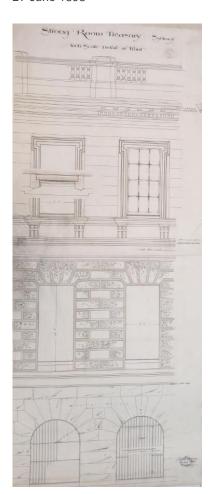


Figure 222 – Strong Room Treasury: Detail of stone façade similar to as constructed

Source: State Records NSW, Item No. PB25/13

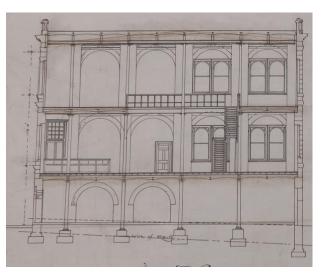


Figure 221 – Section A-B of Strong Room (internal facing towards inner face of southern wall)

Source: State Records NSW, Item No. PB25/4099 dated 27 June 1895

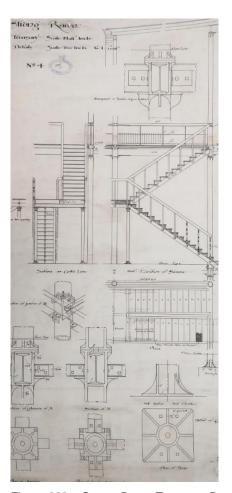


Figure 223 – Strong Room Treasury: Detail of internal double narrow-u stair (now removed)

Source: State Records NSW, Item No. PB25/9

The Strong Room comprised two levels of open plan floor area over a basement foundations level. The following floor plans show the open plan layout of the ground floor and the first floor gallery around the stair case.

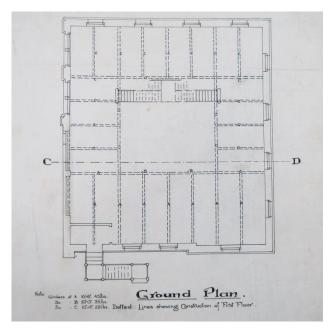


Figure 224 - Strong Room Section C-D (internal facing towards inner face of western wall)

Source: State Records NSW, Item No. PB25/4099 dated 27 June 1895

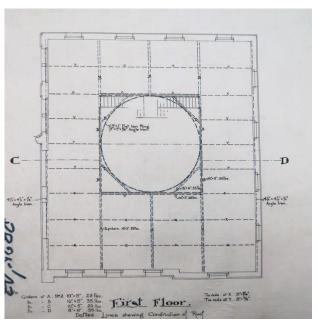


Figure 225 - Strong Room Section A-B (internal facing towards inner face of southern wall)

Source: State Records NSW, Item No. PB25/4099 dated 27 June 1895

Figure 226 and Figure 227 below show photographs from 1896, taken immediately after the completion of the Strong Room building, and prior to the construction of the Link Building.



Figure 226 – Photograph showing recently completed Strong Room building c.1896 (Strong Room building shown shaded)

Source: State Library NSW, Mitchell Library, Small Picture File

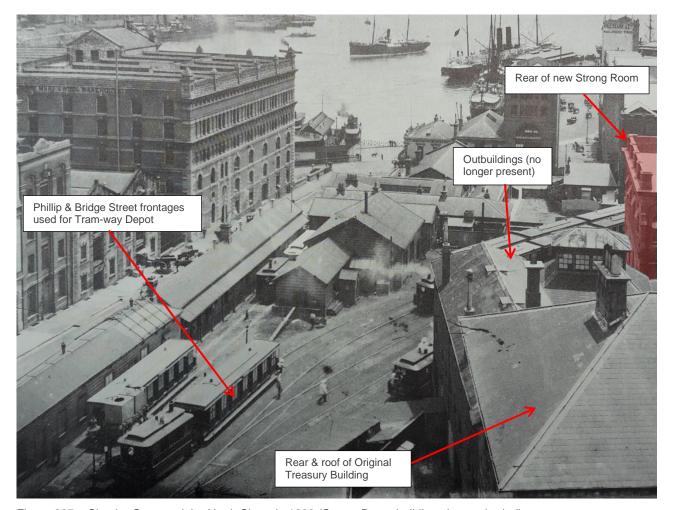


Figure 227 – Circular Quay and the North Shore in 1896 (Strong Room building shown shaded) Source: Harvey Shore, From the Quay 1981, p.31

The next phase of the northern wing additions was the construction of the Link Building in c.1898-1899. The detailed Link Building architectural plans prepared by Vernon are included hereunder.



Figure 228 – Eastern elevation to Macquarie Street of Link Building (generally as constructed)

Source: State Records NSW, Item No. PB25/7, dated 28 December 1897

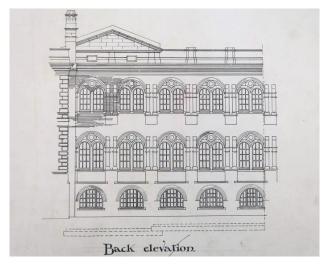


Figure 229 – Back (western) elevation of Link Building (generally as constructed)

Source: State Records NSW, Item No. PB25/45, dated 4 December 1895

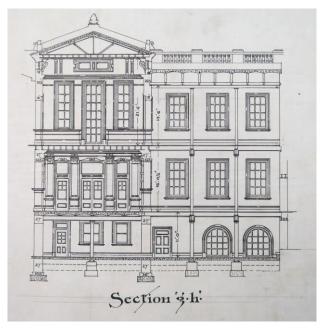


Figure 230 - Section G-H of Link Building (generally as constructed) showing the internal face of the eastern

Source: State Records NSW, Item No. PB25/45, dated 4 December 1895

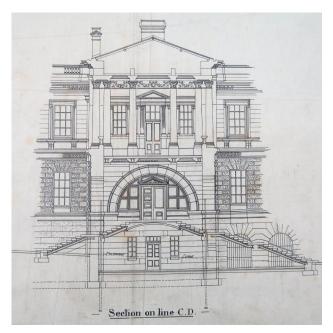


Figure 231 – Section C-D of Link Building (generally as constructed) showing the eastern façade of the Link Building behind the front portico

Source: State Records NSW, Item No. PB25/7, dated 28 December 1897



Figure 232 - Section J-K of Link Building (generally as constructed) showing the exterior face of the arcade

Source: State Records NSW, Item No. PB25/7, dated 28 December 1897



Figure 233 – Section G-H of Link Building (generally as constructed) showing the internal face of the eastern facade

Source: State Records NSW, Item No. PB25/7, dated 28 December 1897

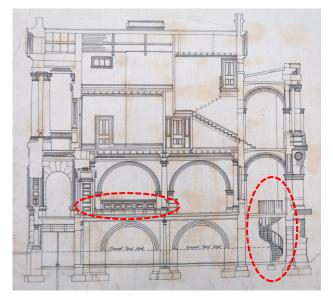


Figure 234 – Section A-B (generally as constructed) showing view south, through the centre of the Link Building (features visible include spiral staircase in rear arcade which is now removed and timber counter on ground floor, also removed)

Source: State Records NSW, Item No. PB25/7, dated 28 December 1897

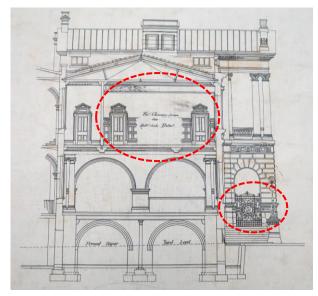


Figure 235 – Section E-F (generally as constructed) showing view north, through the centre of the Link Building (features visible include detail of plaster frieze, timber panelling and carved door pediments in the Premier's Room on the first floor, and wrought iron gates to portico – now removed)

Source: State Records NSW, Item No. PB25/7, dated 28 December 1897

The Link Building comprised two levels of offices and service rooms over a basement foundations level. There was a small mezzanine floor located within the roof space of the central hipped roof bay. The following floor plans show the room layout of each level.

The ground floor was dedicated to a public reception area (lobby) and office space. The first floor was dominated by the grand Treasurer's (later Premier's) Room and associated service rooms. A retiring room, bathroom and balcony were located off the Treasurer's/Premier's Room for the Treasurer's/Premier's exclusive use.

The Premier's Room terminology came about as a result of the evolution of the Treasury Department and the Office of the Premier. While these two offices are quite distinct, prior to 1908, the Treasurer often assumed the role of Premier (or Prime Minister of New South Wales) as well. It is possible that Premier and Treasurer, Sir George Reid occupied the Treasurer's Rooms in the Treasury building between August 1894 and July 1899 but tradition holds that the first Premier (or Prime Minister as sometimes titled) and Colonial Treasurer to occupy the Treasurer's Room in the Treasury building was Sir William Lyne from September 1899 to March 1901. Further detail regarding the evolution and chronology of the Treasury Department is included in Section 3.5 of this report.

As part of the Link building additions, alterations were undertaken to the northern portion of the original Treasury Building to provide for connectivity with the new accommodation. In particular, the former Treasurer's Room on the first floor of the Treasury Building was partitioned into two spaces to provide a waiting room and corridor.

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<sup>&</sup>lt;sup>59</sup> NSW Government, 1999, Golden Heritage: A Joint Exhibition to Commemorate the 175<sup>th</sup> Anniversary of the New South Wales Treasury: 1824-1999, available here http://www.treasury.nsw.gov.au/Golden\_Heritage/home

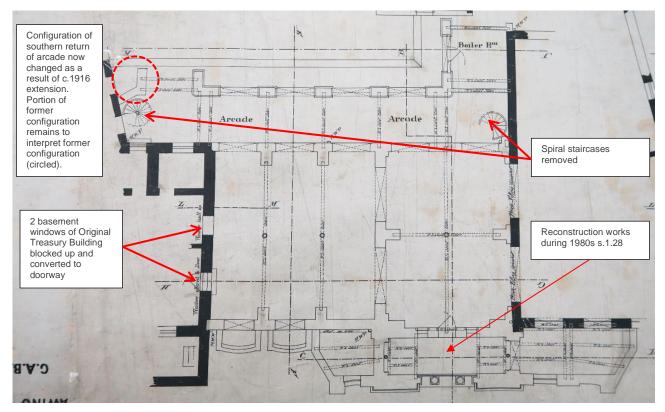


Figure 236 - Basement Floor Plan, by Vernon, December 1897

Source: State Records NSW, Item No. PB25/6 dated 28 December 1897

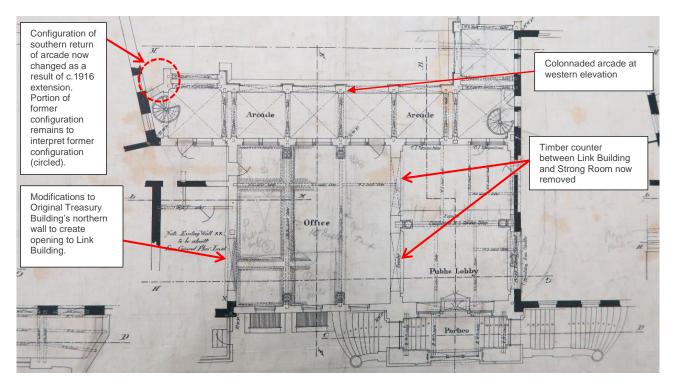


Figure 237 - Ground Floor Plan, by Vernon, December 1897

Source: State Records NSW, Item No. PB25/6 dated 28 December 1897

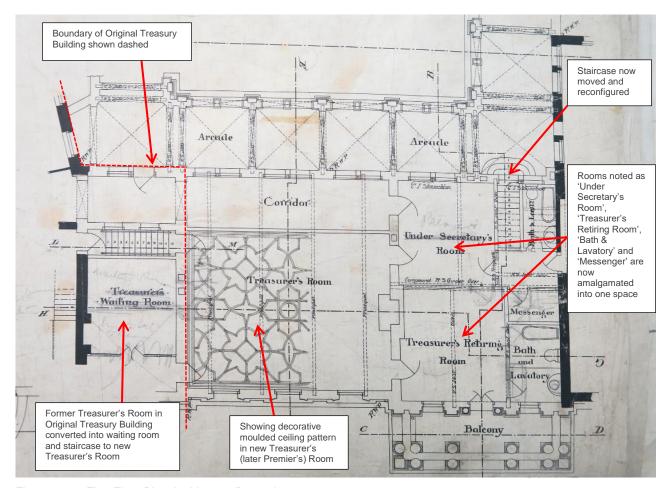


Figure 238 - First Floor Plan, by Vernon, December 1897

Source: State Records NSW, Item No. PB25/6 dated 28 December 1897

One of the most elaborate and significant features of the northern Link Building additions was the inclusion of a colonnaded arcade along the western elevation of the Link Building. The arcade also extended for one bay west, along the southern façade of the Strong Room. The arcade provided brick and sandstone arched openings of varying detail on each level. The following architectural plan prepared by Vernon identifies this detail.

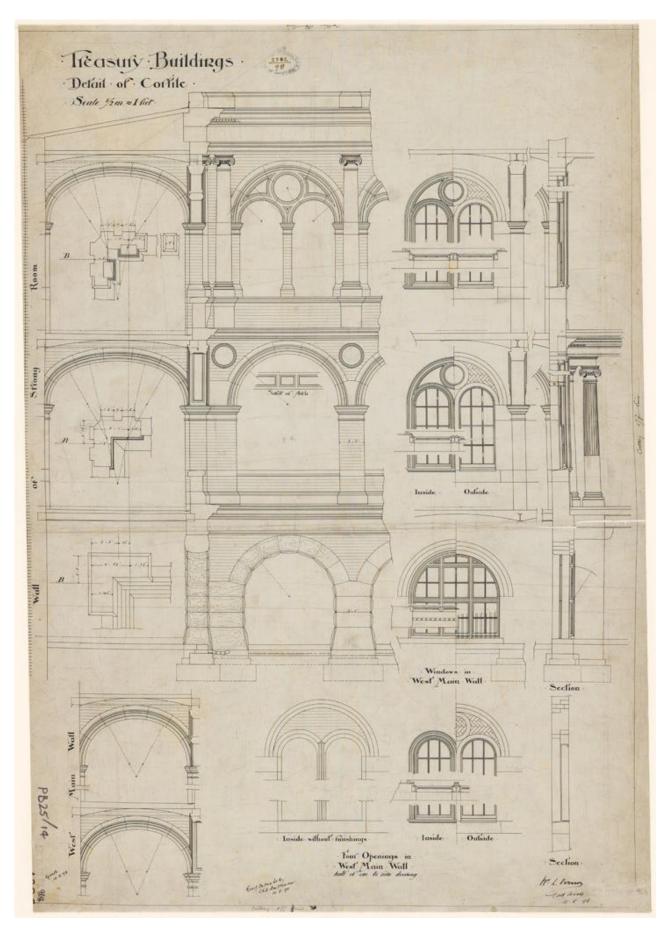


Figure 239 – Treasury Building – Detail of Cortile (arcade) to rear of Link Building, dated 1898 Source: NSW State Records, PB25/14, 1898

The Link Building was mostly complete in c.1899. Figure 240 and Figure 241 show photographs taken c.1899 of the construction of the Link Building. In these photographs, the windows are not yet installed, and the front portico detail is being constructed.



Figure 240 – Photograph of Treasury buildings along Macquarie Street as the Link Building is being completed, c.1899 Source: NSW State Records, Digital ID 4346\_a020\_a020000279



Figure 241 – Photograph of Treasury buildings along Macquarie Street as the Link Building is being completed, c.1899 Source: NSW State Records, Digital ID 4481\_a026\_000345

The prominent Cortile was only visible from the rear of the property. Figure 242 below shows the rear elevation of the Treasury buildings as the Link building is completed (c.1898). The original Treasury Building is centred, with the Link Building to the left. The 'downtown' terminus tram-way is visible in the foreground on the corner of Bridge and Phillip Streets.

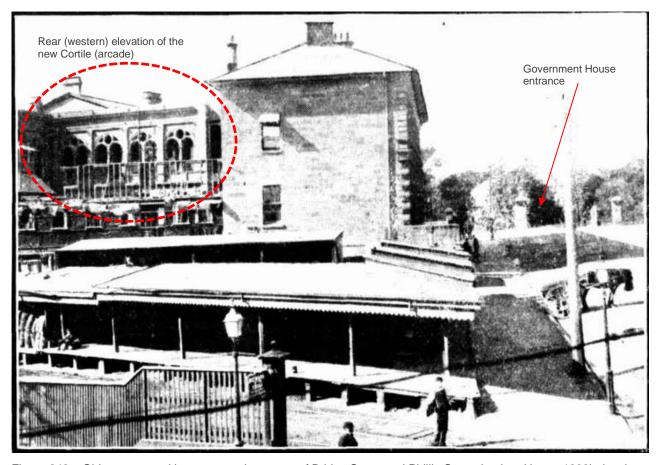


Figure 242 – Old tramway waiting room on the corner of Bridge Street and Phillip Street (undated but c. 1898) showing Treasury buildings and arcade behind (refer to Figure 239)

Source: 1921 'Odd Bits of Old Sydney', Sydney Mail (NSW: 1912 - 1938), 13 July, p. 16., viewed 18 Oct 2016, http://nla.gov.au/nla.news-article162033560

The Link Building extension included a suite of new rooms for the then Treasurer and Premier (Mr George Reid) located on the first floor. The Treasurer/Premier moved into his rooms in 1899, and they were described as commodious and elaborately furnished. Figure 243 and Figure 244 hereunder are photographs taken upon the completion of the Link Building in c.1899 and show the internal detail of the new Treasurer's/Premier's Room. Note that the proposed carved pediments above the doors are missing.

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 $<sup>^{60}</sup>$  1899 'The Treasury.', National Advocate (Bathurst, NSW : 1889 - 1954), 22 November, p. 2. , viewed 19 Oct 2016, http://nla.gov.au/nla.news-article156805966



Figure 243 - Photograph of new Premier's Room in Link Building c.1899 Source: State Library NSW, Digital ID 08866r



Figure 244 - Photograph of new Premier's Room in Link Building c.1899 Source: State Library NSW, Digital ID 08867r

A detailed description of the Treasurer's/Premier's Room was included in the Clarence and Richmond Examiner in November of that year as follows:

"The principal room [Premier's Room] is the finest in all the Government buildings, it is about 35 feet long, about 25 wide, and high in proportion. The walls are beautifully panelled for about one-third of their height from the floor, and the ceiling is a work of art. The furniture is quite in keeping with this fine room and it must have cost a great deal of money".61

The elaborate carved pediments and wallpaper for the Premier's Room weren't added for a couple of years, but were installed by 1904, as shown in Figure 245, being a photograph of the Carruthers Ministry banquet.



Figure 245 - Premier's Room Treasury, Hon J. Carruthers Banquet (c.1904)

Source: State Library NSW, Digital ID d1\_09630

As part of a suite of rooms for the Premier's use, private quarters were constructed with adjoining doors to the Premier's Room. These rooms weren't as elaborate in their detailing and were intended for use as the Premier's lunch room, bedroom and bathroom, 62

The room formerly occupied by the Treasurer in the Original Treasury Building, and adjoining the new Treasurer's/Premier's Room, was converted into a waiting room for the new Treasurer's/Premier's Room and a private staircase for the Treasurer/Premier in c.1899.63 Figure 246 below shows the condition of the former Treasurer's Room in 1899 just prior to its conversion.

<sup>61 1899 &#</sup>x27;THE PREMIER'S ROOMS.', Clarence and Richmond Examiner (Grafton, NSW: 1889 - 1915), 25 November, p. 4., viewed 19 Oct 2016, http://nla.gov.au/nla.news-article61305312

<sup>62 1899 &#</sup>x27;THE PREMIER'S ROOMS.', Clarence and Richmond Examiner (Grafton, NSW: 1889 - 1915), 25 November, p. 4., viewed 19 Oct 2016, http://nla.gov.au/nla.news-article61305312

<sup>63</sup> State Records NSW, Item No. PB25/6, plan showing Additions to Treasury Buildings, Sydney, dated 28 December 1897



Figure 246 – Photograph of former Treasurer's Room in original Treasury Building, c.1899 Source: State Library NSW, Digital ID 08868r

The extended Treasury complex was now considered to be a prominent public building of landmark quality. The buildings were elaborately decorated in public celebration for both the Federation celebrations in 1901 (refer below to photograph in Figure 248), and King Edward's Coronation in 1902.<sup>64</sup>

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 $<sup>^{64}</sup>$  1902 'Coronation Illuminations.' The Australian Star (Sydney, NSW : 1887 - 1909), 18 June, p. 5. , viewed 18 Oct 2016, http://nla.gov.au/nla.news-article229068683



Figure 247 – View of Macquarie Street, undated but c.1900

Source: Macleay Museum cited from Pictoral History: City of Sydney, 2000



Figure 248 – Photograph of Treasury Building for Federation celebrations, 1901

Source: National Library of Australia, Bib ID 140805217-1

Figure 249 shows a c.1905 photograph of Circular Quay, with the northern façade of the new Strong Room building clearly visible from the Quay and located in a prominent location.

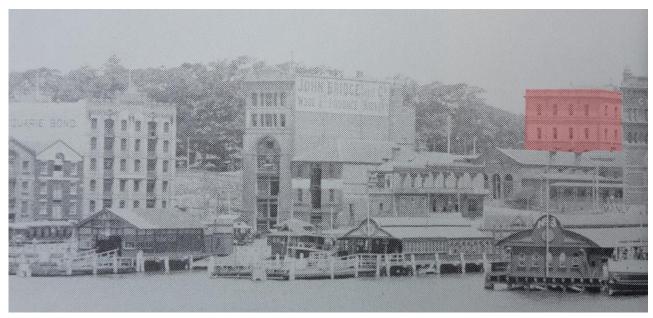


Figure 249 – The Quay in June 1905 (north and west facades of Strong Room visible and shown shaded hereunder) Source: Harvey Shore, From the Quay 1981, p.32

Figure 250 below shows a 1906 photograph with a view of the rear of the subject site. The Cortile arcade is visible in the centre of the site, the original Treasury Building to the right of the Cortile, and a three-level lavatory building connected to the arcade at the left.

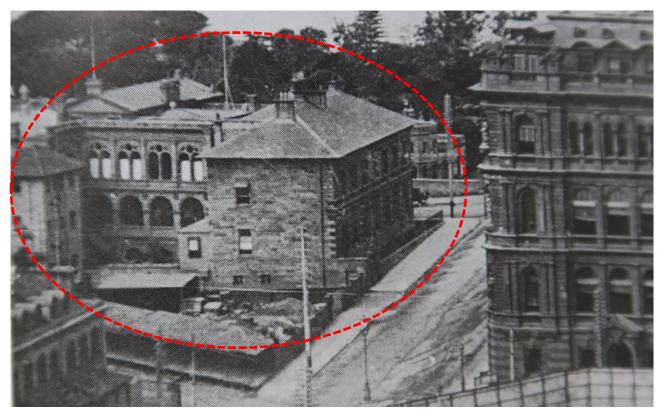


Figure 250 - Birds eye view of the site in 1906

Source: Mitchell Library, Small Picture File, cited in 'Australia's First Government House' by the Department of Planning

The location, scale and prominence of the subject property meant that it became an iconic public landmark and was utilised for postcards in the early twentieth century (refer Figure 251 and Figure 252).



Figure 251 – Undated postcard illustration of Treasury Buildings along Macquarie Street, c.1910 (?)

Source: City of Sydney Archives, ArchivePix, SRC1596

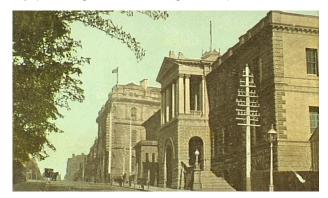


Figure 252 – Undated postcard illustration of Treasury Buildings along Macquarie Street, c.1910 (?)

Source: City of Sydney Archives, ArchivePix, SRC1593

The tramway remained in occupation of the south-western corner of the subject site into the early twentieth century, as shown below in Figure 253 and Figure 254.

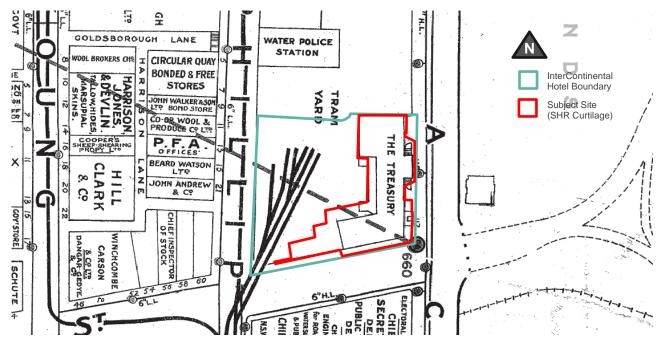


Figure 253 - Extract of City of Sydney Map, 1910

Source: City of Sydney Archives. Historical Atlas of Sydney

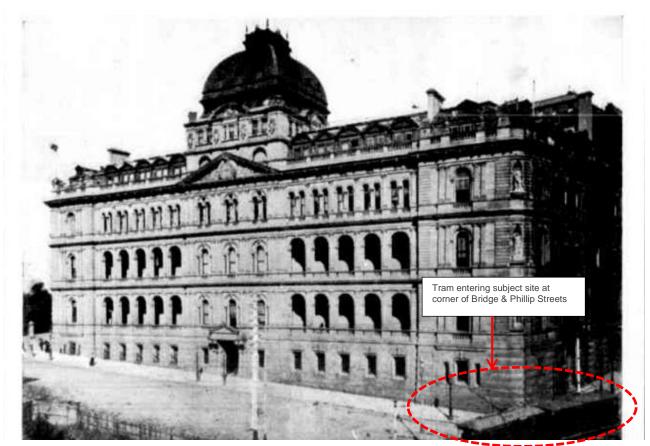


Figure 254 – Photograph of The Chief Secretary's Office on Bridge Street, opposite the Treasury Building; the vacant south western portion of the subject site being used as a Tramway is visible in the bottom left corner. 1911.

Source: 1911 'A RECORD OF REMARKABLE PROGRESS.', The Sydney Mail and New South Wales Advertiser (NSW: 1871 - 1912), 1 March, p. 29., viewed 09 Nov 2016, http://nla.gov.au/nla.news-article164298702



Figure 255 – Photograph of Bridge Street with Treasury on right, c.1910

Source: National Library of Australia, Bib ID 163390991-1



Figure 256 – Photograph of Treasury buildings along Macquarie Street (Treasury, Link and Strong Room), c.1914

Source: State Library VIC, Image No: a09202

In 1914 an additional room was built above the Strong Room to house the Accounts Branch. This was constructed of timber clad in ripple iron and had external venetian blinds. An extract of the architectural plan for this addition is included hereunder at Figure 257.

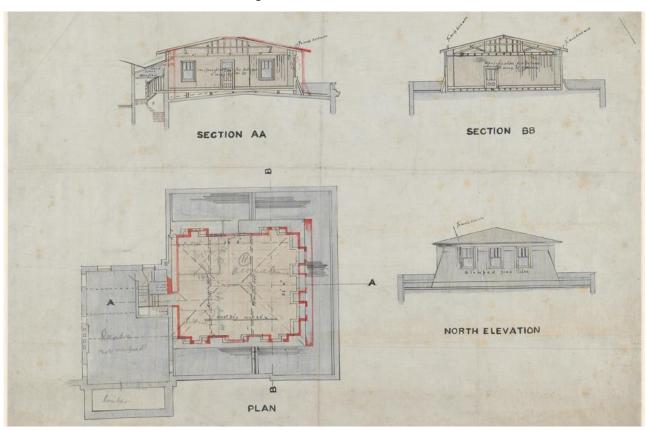


Figure 257 – New addition to Strong Room roof, 1914 Source: State Records NSW, PB25/8 dated 1914

Figure 258 below shows Australian Imperial Force troops marching along Macquarie Street on their way to depart for overseas service. This photograph shows a window on the basement level of northern façade of the Strong Room, which has now been converted to a door.

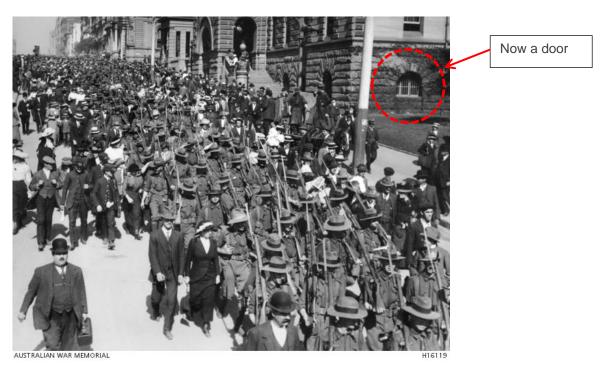


Figure 258 – AIF Troops marching along Macquarie Street, c.1915

Source: Australian War Memorial, ID number H16119

Figure 259 below shows a panoramic view of the subject site and surroundings sometime between 1900 when the northern wing extension was completed, and 1916 when the western wing extension commenced (not visible in the photograph).

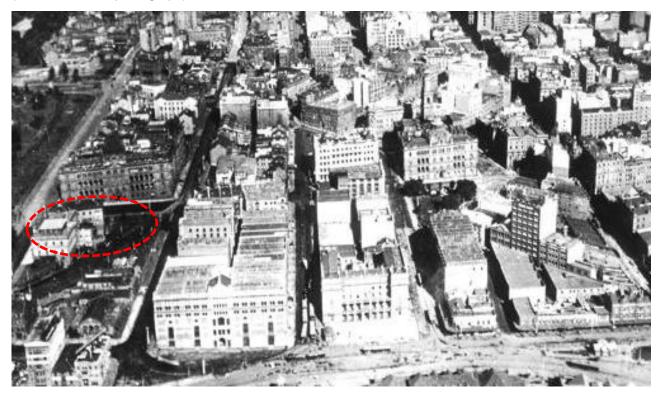


Figure 259 – Panoramic view of Sydney, looking south from Circular Quay, by Frank Walker, showing the subject site occupied by a tram depot. Undated (but certainly between1900-1916 because of the development of adjoining Treasury buildings)

Source: Royal Australian Historical Society, File 020/020903

## 3.3.4. Phase 3: Additions to Treasury (West Wing)

This section of the Historical Overview relates to the following building stage:

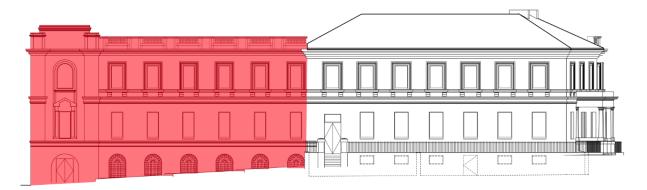


Figure 260 – Diagram indicating building stage relevant to this section of the Historical Overview shaded red *Source: Urbis* 

By 1916 the Treasury offices were overcrowded again and there was a need for additional space. <sup>65</sup> Additions were proposed to the Treasury buildings to accommodate the Premier's office staff who were then scattered about the existing buildings in an awkward manner. <sup>66</sup>

The plan originally comprised a large extension along Phillip Street and then another building to join with the Strong Room, forming a central quadrangle area boarded by a colonnaded arcade.<sup>67</sup> Refer to the Government Architect's (George McRae) plans for this scheme below.

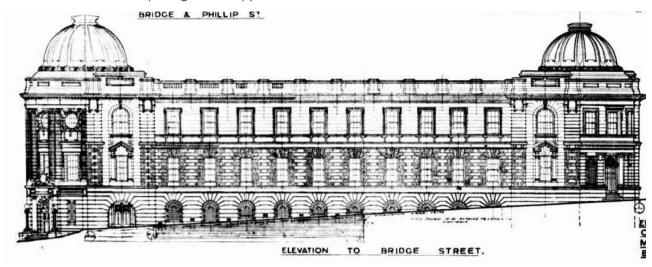


Figure 261 – Additions to Treasury by George McRae in 1916 (Proposed elevation to Bridge Street – domed ends were never constructed)

Source: State Records NSW, PB25/49

<sup>&</sup>lt;sup>65</sup> 1917 'BUILDINGS AND WORKS.', The Sydney Morning Herald (NSW: 1842 - 1954), 2 January, p. 4., viewed 28 Oct 2016, http://nla.gov.au/nla.news-article15718388

<sup>&</sup>lt;sup>66</sup> 1916 'TREASURY BUILDINGS', The Sun (Sydney, NSW: 1910 - 1954), 14 March, p. 6., viewed 28 Oct 2016, http://nla.gov.au/nla.news-article221361825

 $<sup>^{67}</sup>$  1917 'BUILDINGS AND WORKS.', The Sydney Morning Herald (NSW : 1842 - 1954), 2 January, p. 4. , viewed 28 Oct 2016, http://nla.gov.au/nla.news-article15718388

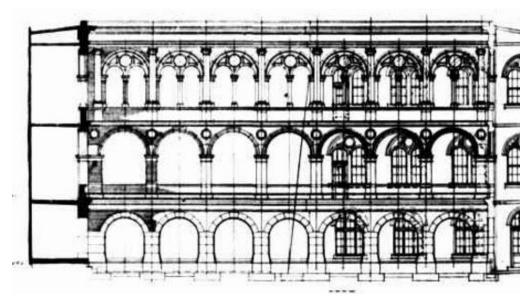


Figure 262 - Additions to Treasury by George McRae in 1916 (proposed elevation of internal Cortile, following the architectural style of Vernon's .1899 Cortile)

Source: State Records NSW, PB25/49

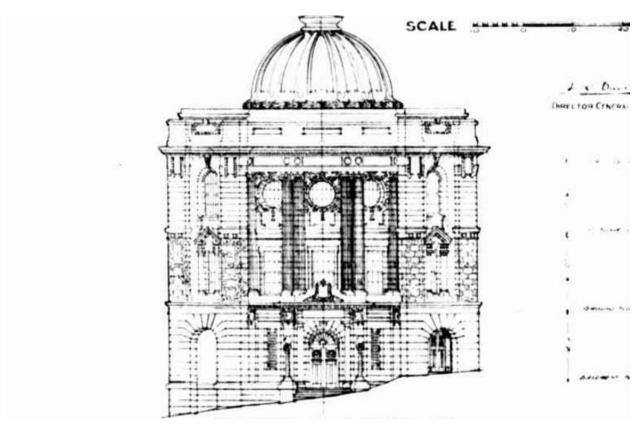


Figure 263 - Additions to Treasury by George McRae in 1916 (Proposed elevation to corner of Bridge & Phillip St – not constructed)

Source: State Records NSW, PB25/49

An artist's impression of the above scheme was included in advertising of the extension, showing the full extent of the proposed alterations.

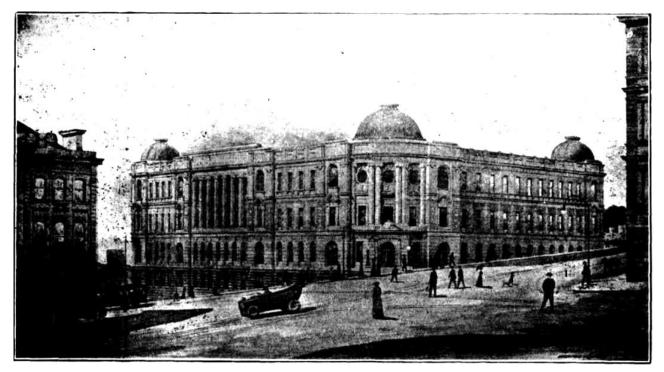


Figure 264 – Artist's impression of proposed McRea alterations (Phillip Street wing and domed ends never constructed)

Source: 1919 'The Treasury Building', Construction and Local Government Journal (Sydney, NSW: 1913 - 1930), 20

January, p. 12., viewed 28 Oct 2016, http://nla.gov.au/nla.news-article108989582

The full extent of this proposal was put on hold due to the impact of the war.<sup>68</sup> The proposed extension was scaled back to comprise of a single building extension along Bridge Street, extending west from the original Treasury Building to the corner of Bridge and Phillip Streets.<sup>69</sup> The extensions were anticipated to cost £15,000.<sup>70</sup> The detailed plans for this scaled back proposal were prepared by George McRae, Government Architect.

 $<sup>^{68}</sup>$  1918 'BUILDINGS AND WORKS. THE TREASURY BUILDING.', The Sydney Morning Herald (NSW: 1842 - 1954), 28 August, p. 9. , viewed 27 Oct 2016, http://nla.gov.au/nla.news-article15800101

<sup>&</sup>lt;sup>69</sup> 1916 'TREASURY BUILDINGS', The Sun (Sydney, NSW: 1910 - 1954), 14 March, p. 6., viewed 19 Oct 2016, http://nla.gov.au/nla.news-article221361825

<sup>&</sup>lt;sup>70</sup> 1916 'ADDITIONS TO THE TREASURY', Northern Star (Lismore, NSW: 1876 - 1954), 15 March, p. 5. , viewed 19 Oct 2016, http://nla.gov.au/nla.news-article92785978

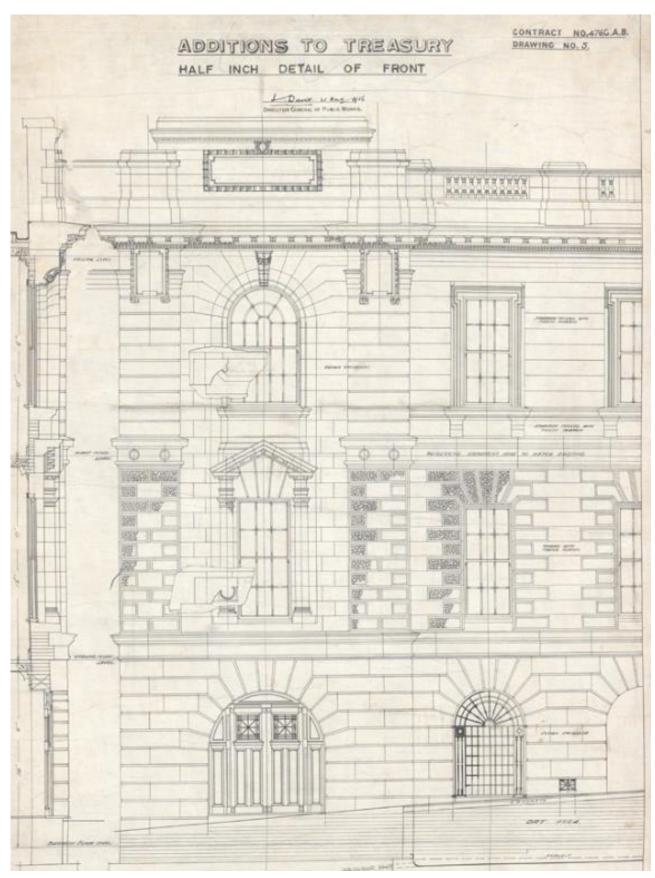


Figure 265 - Additions to Treasury by George McRae in 1916 (Half inch detail of front – Bridge Street elevation) showing elevation as constructed

Source: State Records NSW, PB25/4835 dated 1916



Figure 266 - Additions to Treasury by George McRae in 1916 (Half inch detail of interior)

Source: State Records NSW, PB25/25 dated 1916

Work commenced in March 1916 for the proposed extension. The foundations for the proposed extension were constructed in the location of the existing tram-way depot on the corner of Bridge and Phillip Street. It was anticipated that following the proposed extension, the depot would be closed and the tram lines would be reduced to only one set along Phillip Street.<sup>71</sup>

The design was intended to marry with the existing buildings, using local sandstone from the Government Quarry at Randwick. The elevation to Bridge Street was designed to introduce a new feature of rusticated arches to the basement level given the topography of the street, but also replicate features of the original Treasury Building and the 1890's northern wing extension in the use of the main cornice and general façade fenestration.<sup>72</sup>

The extension was completed in 1918 within the revised budget estimate of £30,000,<sup>73</sup> double the estimated budget in 1916. This cost was considered extravagant spending to some in a period of war and the Department of Public Works and the Treasurer's Department received criticism for it.<sup>74</sup> Many of the internal features of the building were considered unnecessary adornment, including the "*elaborate woodwork*"

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<sup>&</sup>lt;sup>71</sup> 1916 'TREASURY BUILDINGS', The Sun (Sydney, NSW: 1910 - 1954), 14 March, p. 6., viewed 28 Oct 2016, http://nla.gov.au/nla.news-article221361825

<sup>&</sup>lt;sup>72</sup> 1917 'BUILDINGS AND WORKS.', The Sydney Morning Herald (NSW : 1842 - 1954), 2 January, p. 4. , viewed 28 Oct 2016, http://nla.gov.au/nla.news-article15718388

<sup>&</sup>lt;sup>73</sup> 1918 'BUILDINGS AND WORKS. THE TREASURY BUILDING.', The Sydney Morning Herald (NSW: 1842 - 1954), 28 August, p. 9., viewed 27 Oct 2016, http://nla.gov.au/nla.news-article15800101

<sup>&</sup>lt;sup>74</sup> 1918 ECONOMY', The Bathurst Times (NSW: 1909 - 1925), 31 July, p. 1., viewed 28 Oct 2016, http://nla.gov.au/nla.news-article121229449

surrounding the doors" and a "marble fireplace with four huge columns supporting a mantelpiece, in turn surmounted by carved woodwork" (refer below at Figure 267 and Figure 268).





Source: Urbis



Figure 268 - Fireplace

Source: Urbis

On the other hand, in comparison to the architectural design and internal finishes of the original Treasury Building and the north wing (Link Building and Strong Room), some people were instead "struck with the severe plainness and simplicity, yet attractiveness, of the internal finishings" of the new Bridge Street extension. The Minister for Works emphasised that the materiality of the building was selected on the basis of economy having regard to the war period. He specifically outlined measures that were taken to minimise cost without compromising on all internal features, including;

- The marble staircase only has marble treads and risers, with inner material of the plainest kind.
- The brick walls of the dado of the staircase have been covered by a lining of cement and marble chips, instead of full marble.
- The wood carving surrounding the doors is plain in comparison to many other buildings, and he refutes the existence of wood carving surmounting the fireplaces.<sup>77</sup>

A more detailed description of the internal finishes follows:

"The whole of the internal woodwork, as far as windows, doors, etc. are concerned, is in polished Queensland maple. The partitions and other portions of the office fittings are in selected Oregon and

 $<sup>^{75}</sup>$  1918 'ECONOMY', The Bathurst Times (NSW: 1909 - 1925), 31 July, p. 1., viewed 28 Oct 2016, http://nla.gov.au/nla.news-article121229449

<sup>&</sup>lt;sup>76</sup> 1918 'BUILDINGS AND WORKS. THE TREASURY BUILDING.', The Sydney Morning Herald (NSW: 1842 - 1954), 28 August, p. 9., viewed 27 Oct 2016, http://nla.gov.au/nla.news-article15800101

<sup>&</sup>lt;sup>77</sup> 1918 ECONOMY.', Evening News (Sydney, NSW: 1869 - 1931), 1 August, p. 5., viewed 28 Oct 2016, http://nla.gov.au/nla.news-article114254151

other American pines, which are being stained and varnished. This means strict economy for such a building; yet the effect is pleasing. The whole of the floors are in tallow-wood, parquetry laid, and polished. They have a very fine appearance, and as floor coverings will not be necessary a considerable sum will be saved. The main staircase is in marble, and the dado has been finished in marble chips, set in cement, and polished. Here and there the grey and green marble have been introduced, adding to the general appearance. The rooms will soon be in the occupation of the department."<sup>78</sup>

The full proposed scheme was still intended to be constructed in the future, as the western façade of the new building was detailed as 'temporary' and being clad in corrugated iron. Also at the western portion of the building, an elliptical staircase was constructed with a central caged lift shaft, located within a three-storey brick tower at the Bridge and Phillip Street corner (refer Figure 269).

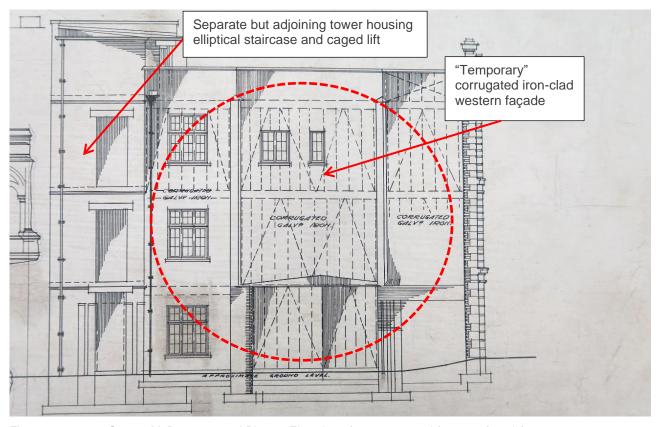


Figure 269 - 1916 George McRae proposed Plans – Elevation of temporary end (western façade)

Source: State Records NSW, PB25/4110 dated 1916

The elliptical staircase comprised a marble stair surrounding an ornate steel caged lift and lift shaft. The lift was constructed by The Ornamental Steel Manufacturing Co. Limited, who specialised in lift enclosures, lift cages, ornamental steel gates, entrance doors and railings. The subject caged lift in the Western Wing extension was featured in advertising by The Ornamental Steel Manufacturing Co. Limited in *Building* journal, from July 1919 onwards.

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<sup>78 1918 &#</sup>x27;BUILDINGS AND WORKS. THE TREASURY BUILDING.', The Sydney Morning Herald (NSW: 1842 - 1954), 28 August, p. 9., viewed 27 Oct 2016, http://nla.gov.au/nla.news-article15800101

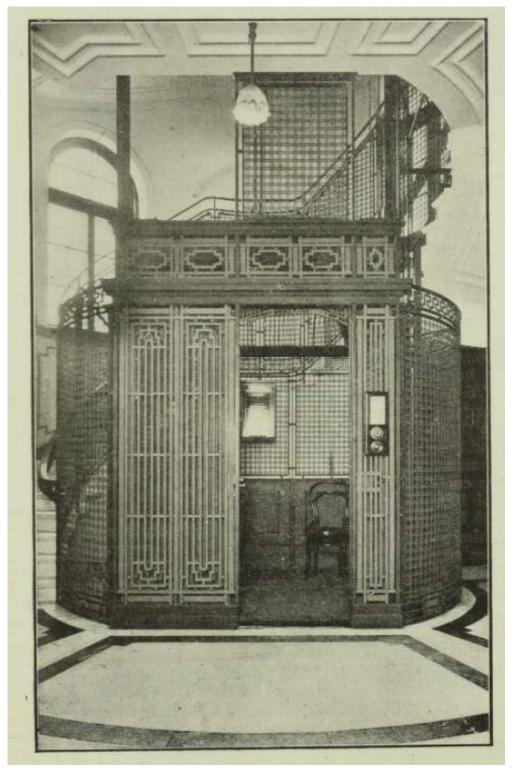


Figure 270 - Extract of Building Journal from July 1919 showing the subject property elliptical staircase and steel caged lift in an advertisement

Source: Building, Vol. 24, No. 143 (12 July, 1919), p. 108

Extending north from the staircase tower were two bays of a Colonnaded arched arcade, constructed to match the original northern extension arcade built in c.1899 by Vernon. The original arcade was to be connected with the new section of arcade by way of a temporary timber gangway, until such time as the western extension of the arcade could be completed. The temporary timber gangway extended along the outer northern face of the Original Treasury Building.

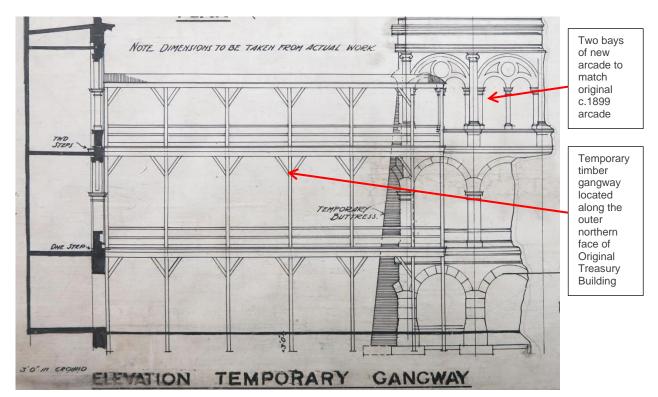


Figure 271 – 1916 George McRae proposed Plans – Elevation of temporary gangway looking south Source: State Records NSW, PB25/4110, dated 1916

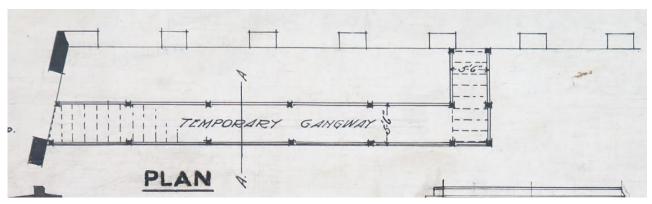


Figure 272 – 1916 George McRae proposed Plans – Elevation of temporary gangway Source: State Records NSW, PB25/4110, dated 1916

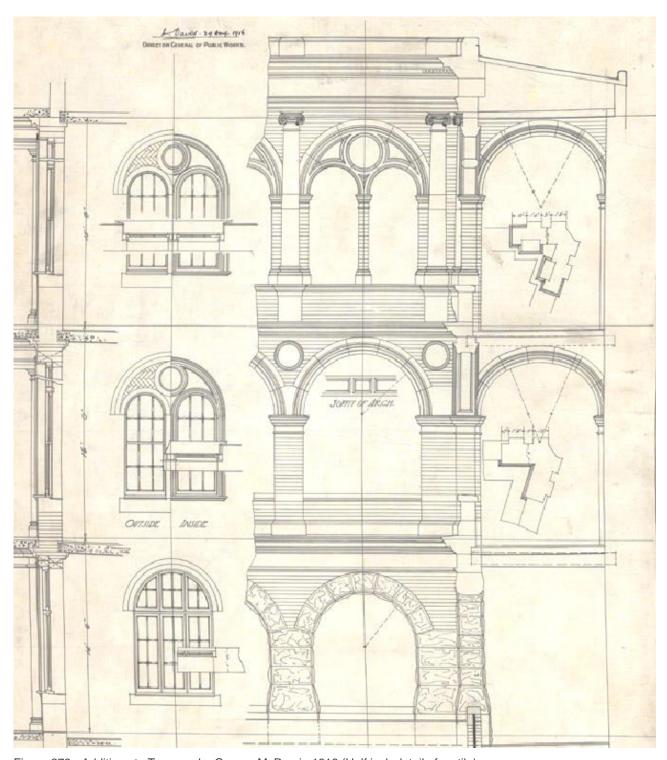


Figure 273 - Additions to Treasury by George McRae in 1916 (Half inch detail of cortile)

Source: State Records NSW, PB25/24 dated 1916

The outer wall of the arcade with the colonnaded arches along the southern cortile wall was completed sometime between the 1916 works and 1932 (refer overleaf to Figure 274). The timber gangway remained in-situ with the arcade constructed around it.

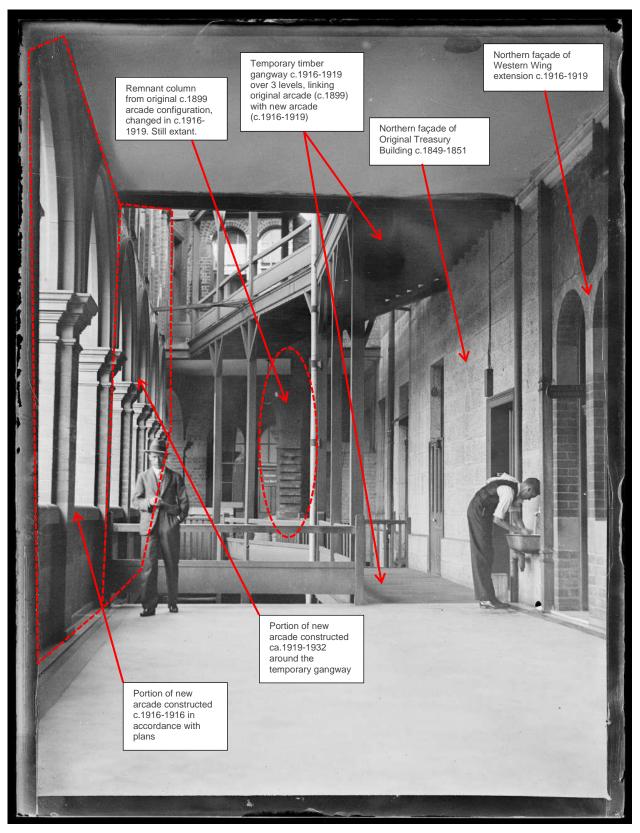


Figure 274 – Photograph of the inside of the arcade return along the northern façade of the combined original Treasury Building and 1916 west wing addition, 1932

Source: National Library of Australia, digital ID 157964583

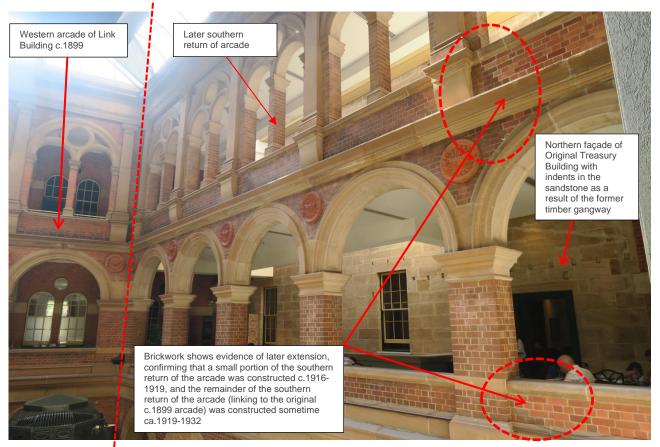


Figure 275 – Photograph of the southern return of the Cortile, 2016

Source: Urbis

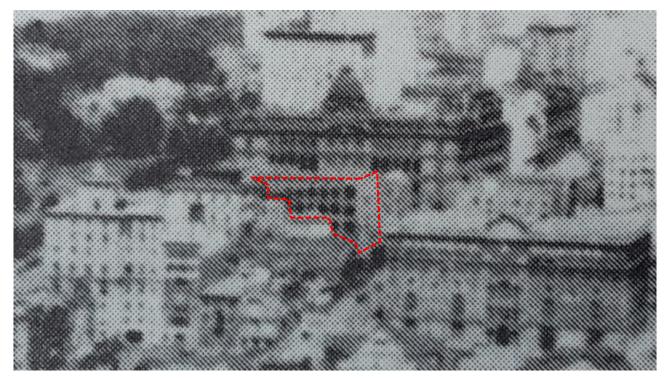


Figure 276 – The Quay in the late 1920s (view of the southern return of the colonnaded arcade visible (outlined) indicating that the remainder of the southern return was constructed in the 1920s

Source: Harvey Shore, From the Quay 1981, p.42

Figure 277 below shows the Treasurer's/Premier's Room in 1923 during J.C. Holliman's ministry. Note that double baize doors have replaced the timber door behind Holliman, and the existing entrance door in the room's western wall has not yet been constructed.



Figure 277 – J.C. Holliman, Under Secretary, Treasury. Photograph taken in May 1923 in The Premier's Room. Note the imposing marble fireplace on the right (still extant) and the lack of entry door to The Premier's Office on the left (western wall) which was added later. 1923.

Source: State Library NSW, digital order no. d1\_17288

By 1930, the elaborate wallpaper had been removed or painted over in the Premier's Room (refer Figure 278 below).



Figure 278 – Photograph of the Premier's Room, 1930. Source: National Library of Australia, object 163187359-1

Figure 279 below shows a streetscape view of the Treasury buildings along Macquarie Street, undated but probably late 1920s-1930 (certainly pre-1938 as the currently adjoining Transport House has not yet been constructed).



Figure 279 – Photograph of the Treasury buildings along Macquarie Street from the Botanical Gardens, c. 1916-1947 (probably closer to c.1930). This photo illustrates the composition of the Treasury Building group's form and roofscape within the Macquarie Street streetscape. The Phoenix Palms visible to the eastern alignment of Macquarie Street are typical of the interwar period and are still extant. The broader landscaped setting has changed with large areas of cleared and manicured gardens.

Source: State Library NSW, Digital Order No. a6877013

The view in Figure 280 shows the elliptical staircase tower in the background behind the tram parked at the tram-way depot at the rear of the Treasury Building.



Figure 280 – Bridge Street yard tramway siding, 1930 (showing elliptical staircase tower in background shaded)

Source: City of Sydney Archives, ArchivePix, Len Stone / Vic Solomons Collection: 360

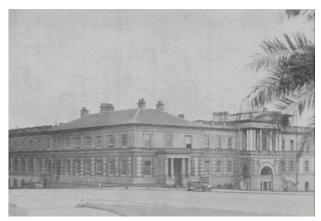


Figure 281 – Photograph of Treasury Building, 1935 (showing both the Macquarie Street northern wing and Bridge Street western wing)

Source: City of Sydney Archives, ArchivePix, NCSA CRS 43: 1935 p67

An accommodation survey of the Treasury buildings was undertaken in 1931 by the Government Architect, Evan Smith, which shows the configuration of internal spaces at this time. See below for extracts of this survey for the Basement, Ground and First floor levels.

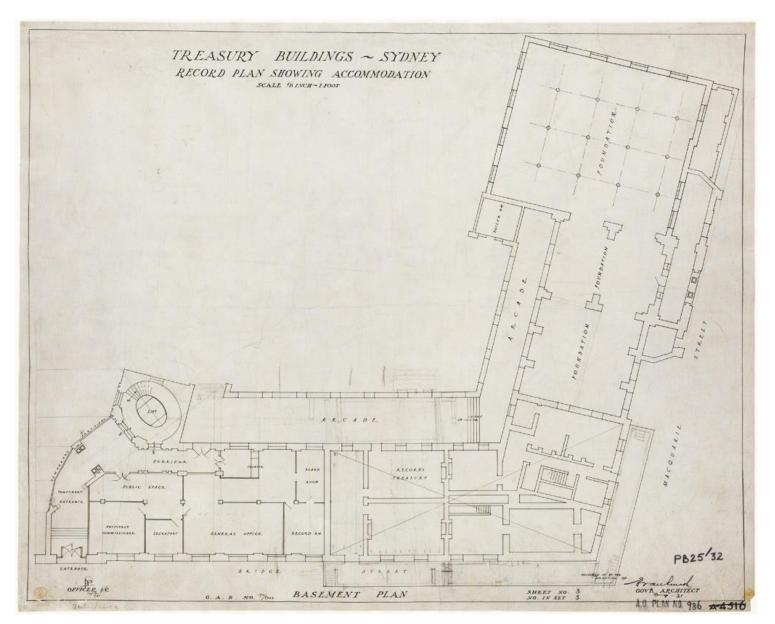


Figure 282 – 1931 Accommodation Survey – Basement Floor

Source: NSW State Records, PB25/30

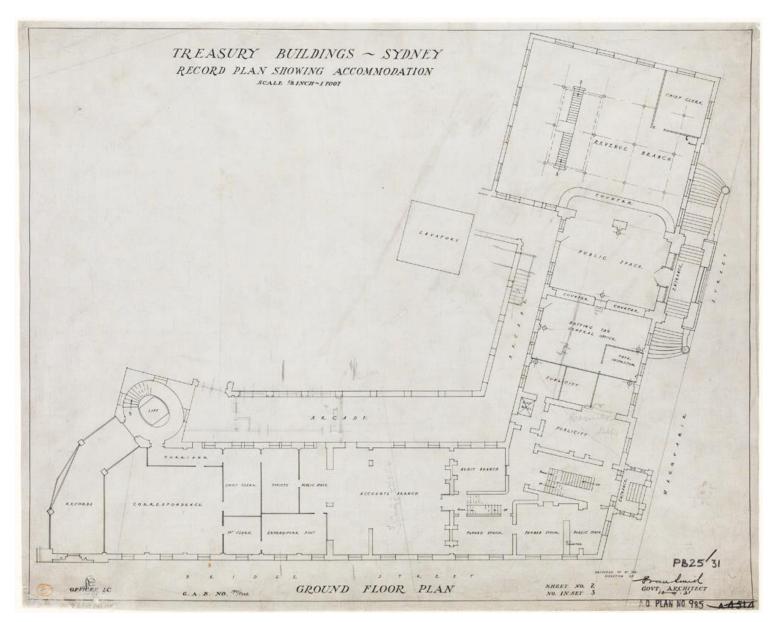


Figure 283 – 1931 Accommodation Survey – Ground Floor

Source: NSW State Records, PB25/30

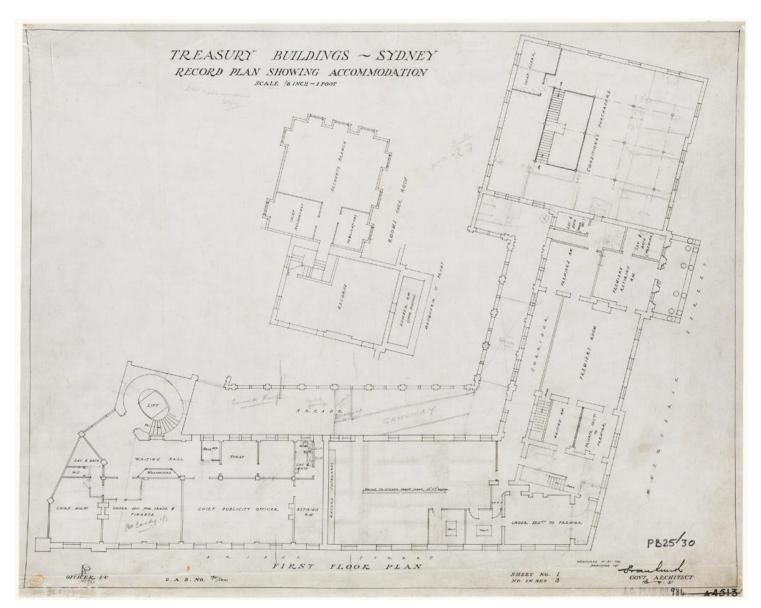


Figure 284 – 1931 Accommodation Survey – First Floor

Source: NSW State Records, PB25/30

The following photographs from 1933 show men carrying money bags out the front of the Treasury Building fronting Macquarie Street. Despite the construction of the Link Building and new grander public steps, these photographs were taken outside the Original Treasury Building front steps, presumably either to acknowledge the historic commerce centre of the city, or because the original vault was still being used.



Figure 285 – Photograph of men carrying a box to waiting car outside the Treasury Building, 18 May 1933

Source: National Library of Australia, Bib ID 6292172



Figure 286 – Photograph of four men holding bogs of coins from the Treasury Building, 18 May 1933

Source: National Library of Australia, Bib ID 6292191

In 1938, the year of Sydney's 150<sup>th</sup> year celebrations, the Department of Government Transport constructed an office building to the north of the Treasury complex, which extended across the site from Phillip Street to Macquarie Street.<sup>79</sup> This building is known as Transport House and still adjoins the subject property. Refer to the below 1943 aerial extract showing the configuration of the Treasury buildings at this time, along with the new Transport House building to the north, and the car park in the former tram-yard (Figure 288).



Figure 287 – Photograph of the Treasury buildings and Transport House along Macquarie Street by Sam Hood, 1925-57 Source: State Library NSW, Digital Order No. hood\_19446

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<sup>&</sup>lt;sup>79</sup> Clive Lucas Pty Ltd 1982, The Treasury Building: Conservation Analysis, Statement of Cultural Significance, Development Constraints and Draft Conservation Policy, p.22

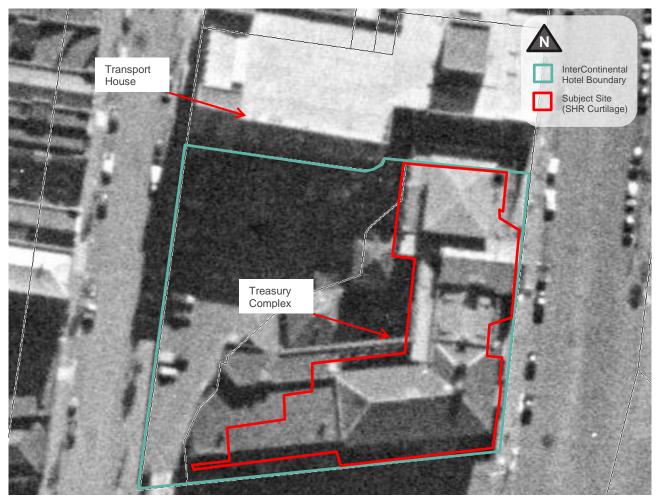


Figure 288 - Extract of 1943 aerial

Source: State Library NSW, Digital Order No. hood\_19446

Figure 289 and Figure 290 below, being photographs taken in 1938 at the time of the dissolution of the Stevens Government, provide views of the Original Treasury Building façade and portico facing Macquarie Street.



Figure 289 – Dissolution of the Stevens Government. Photograph taken in front of Original Treasury Building Macquarie Street portico, August 1938

Source: State Library NSW, digital order no. hood\_19711



Figure 290 – Dissolution of the Stevens Government. Photograph taken in front of Original Treasury Building Macquarie Street portico, August 1938

Source State Library NSW, digital order no. hood\_19717

## 3.3.5. Phase 4: Mid to Late Twentieth Century Uses and Proposals

Figure 291 and Figure 292 below, being photographs taken in the 1940s, show the expanding development around the subject Treasury buildings, including the development of the road network extending from Macquarie Street through the former Domain area. The entrance gates to Government House opposite to the Original Treasury Building were removed, changing the interface of the Domain and the Treasury buildings, and the setting within the vicinity of the place, becoming substantially more urban and developed.



Figure 291 – Showing Treasury on the right and Chief Secretary's Building on the left, 1944

Source: State Library NSW, hood\_30997



Figure 292 – Showing Treasury on the right and Chief Secretary's Building on the left, 1947

Source: State Library NSW, hood\_21963

By the mid twentieth century, the land at the rear of the Treasury Buildings (along Phillip Street), formerly the tram-yard area, was being utilised by the Department of Road Transport as a registration yard, with a weigh bridge, office and brick testing office comprising the only improvements on the site.<sup>80</sup> Refer to the following diagrams which show the site layout at this time (Figure 293 and Figure 294).



Figure 293 - Extract of Civic Survey of Circular Quay Dawes Point, 1948

Source: City of Sydney Archives. Historical Atlas of Sydney

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<sup>80</sup> City of Sydney Archives, 495/47, Report dated 12 February 1947

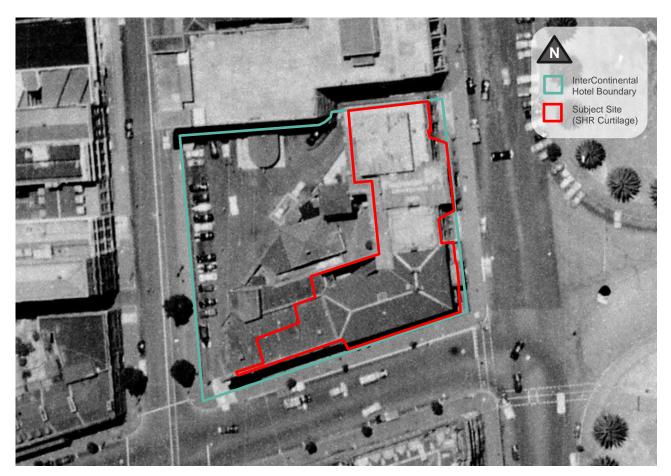


Figure 294 – Extract of 1949 Aerial Source: Land and Property Information

In July 1947, the Department of Public Works obtained development consent for extensions to the Treasury Building along Bridge and Phillip Street (refer proposed plans below at Figure 295).<sup>81</sup> This proposal did not proceed.

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<sup>&</sup>lt;sup>81</sup> City of Sydney Archives, 495/47 Interim Development Applications granted by the City Building Surveyor, carried by Council 14.7.47



Figure 295 – Extract of plan showing proposed new Treasury Building Wing along Phillip Street (1947)

Source: City of Sydney Archives, 495/47

In July 1959, the Department of Public Works had again requested permission to invite tenders immediately for the commencement of a new Treasury building urgently required to relieve congestion in the Department's accommodation. The request was again denied. No further development was undertaken during the 1950s and 1960s (refer Figure 296).

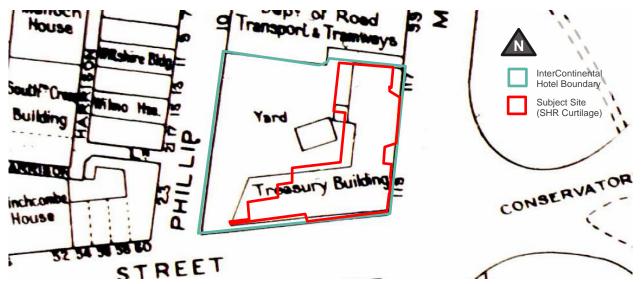


Figure 296 - Extract of City Building Surveyors' Detail Sheets, c.1956 (Sheet 2)

Source: City of Sydney Archives. Historical Atlas of Sydney

The internal elevations of the buildings and the Cortile are visible in the following photographs from 1961, taken from the adjacent AMP building (refer Figure 297 and Figure 298). Also visible is the three-storey lavatory tower in the centre of the site (now removed) and the roof of the Treasury building complex.

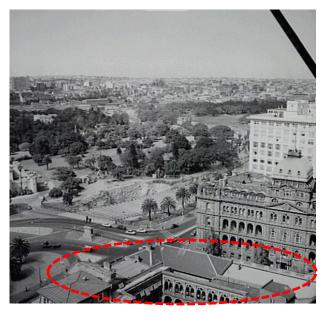


Figure 297 – View south east from AMP Building, 14 April 1961 (showing view of internal Cortile and roof of Treasury buildings)

Source: City of Sydney Archives, ArchivePix, NSCA CRS 48/1529



Figure 298 – View south east from AMP Building, 14 April 1961 (showing view of internal Cortile and roof of Treasury buildings)

Source: City of Sydney Archives, ArchivePix, NSCA CRS 48/1531

The façades to Macquarie Street and Bridge Street remained generally unchanged throughout the mid twentieth century (refer Figure 299 and Figure 300).



Figure 299 – Photograph of Treasury Building, 17 September 1963

Source: City of Sydney Archives, ArchivePix, NSCA CRS 48/3624



Figure 300 – Photograph of Treasury Building and adjoining Transport House, 17 September 1963

Source: City of Sydney Archives, ArchivePix, NSCA CRS 48/3627

The Treasury and Premier's Departments occupied the Treasury buildings at Macquarie and Bridge Streets until 1967, when both departments moved to the State Office Block (The Black Stump) with a frontage to Macquarie, Phillip and Bent Streets, Sydney. <sup>82</sup> The Police Department occupied the Original Treasury Building and the 1916 western wing from 1968 to 1977. Also in 1968, the Ministry of Transport took up occupation in the northern wing (Link and Strong Room buildings), adjoining Transport House on Macquarie Street. The Police Department vacated the Original Treasury Building and the 1916 western wing in 1977, when the Conservatorium of Music took occupation.

In July 1978, a feasibility study was undertaken to examine the possibility of redevelopment of the whole block bounded by Macquarie Street, Bridge Street, Phillip Street and Albert Street, including the subject buildings, for the use of the Conservatorium of Music (refer Figure 301). The Conservatorium of Music were

<sup>&</sup>lt;sup>82</sup> NSW Treasury, The History of the New South Wales Treasury: 1824-1999, available at http://www.treasury.nsw.gov.au/Golden\_Heritage/contents

then unsatisfied with their main accommodation at the converted former Government Stables, and were seeking alternative accommodation. The proposed redevelopment did not proceed and the Conservatorium of Music remains in occupation of the former Government Stables today.

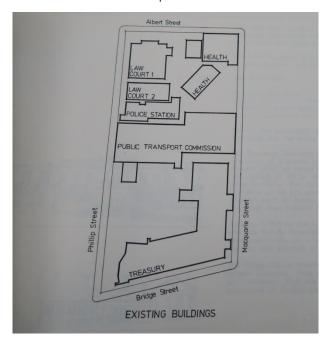


Figure 301 – Extract of diagrams showing the existing buildings and proposed redevelopment of the site, extracted from the Feasibility Study for a New Conservatorium of Music, July 1978

Source: State Records NSW 5186/93, Feasibility Study for a New Conservatorium of Music, July 1978 p. 10

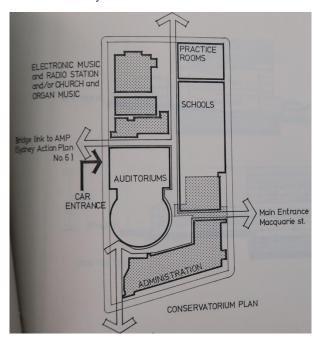


Figure 302 – Extract of diagrams showing the existing buildings and proposed redevelopment of the site, extracted from the Feasibility Study for a New Conservatorium of Music, July 1978

Source: State Records NSW 5186/93, Feasibility Study for a New Conservatorium of Music, July 1978 p. 18

Photographs taken as part of the above 1978 feasibility study (below at Figure 303 and Figure 304) show that air conditioning boxes were fitted to the first-floor windows in the Original Treasury Building, on the Bridge Street façade (now removed), and the Bridge Street bridge is missing (reconstructed in the 1980s).

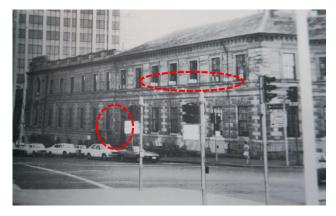


Figure 303 – Pictures of the Treasury Buildings in 1978, taken from the Feasibility Study for a New Conservatorium of Music, July 1978

Source: State Records NSW 5186/93, Feasibility Study for a New Conservatorium of Music, July 1978 p. 6



Figure 304 – Pictures of the Treasury Buildings in 1978, taken from the Feasibility Study for a New Conservatorium of Music, July 1978

Source: State Records NSW 5186/93, Feasibility Study for a New Conservatorium of Music, July 1978 p. 6

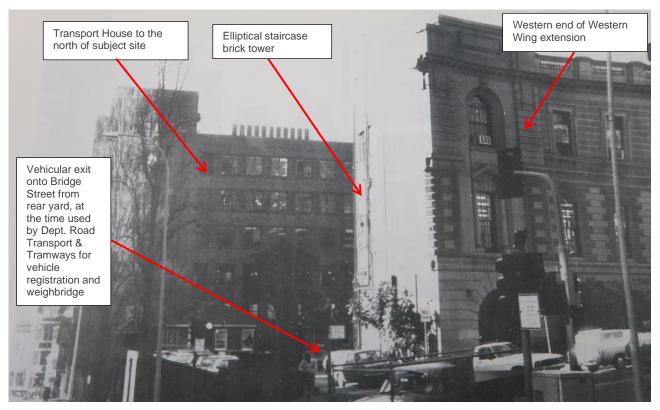


Figure 305 - Picture of the Treasury Buildings in 1978, taken from the Feasibility Study for a New Conservatorium of Music, July 1978

Source: State Records NSW 5186/93, Feasibility Study for a New Conservatorium of Music, July 1978 p. 7

The Ministry of Transport and the Conservatorium of Music remained in occupation of the Treasury buildings until 1981.

# 3.3.6. Phase 5: InterContinental Development

The development application for the 'erection of a multi-storey hotel building incorporating the existing Treasury Buildings' was approved by the Department of Environment and Planning in July 1981.83 This consent was granted concurrently to a number of other developments in Sydney which were viewed as highly controversial regarding their impact on heritage buildings.<sup>84</sup> Figure 306 below shows the subject property in 1982 just prior to the redevelopment of the property into a hotel.



Figure 306 – Photograph of the subject property in March 1982, before hotel development. The memorial statue visible was erected in 1922.

Source: Department of the Environment, barcode no. rt08287, holdings RT08287 - RT08296, RT11273

The proposal for the subject site comprised the retention of the existing Treasury buildings, conversion of these spaces to meeting / function rooms and a restaurant, and the construction of a new hotel tower building, with a new Phillip Street wing. The buildings were proposed to join together to form a central covered Cortile area, incorporating the elliptical staircase as a feature in its non-original location. The hotel required three levels of basement car parking to be excavated underneath the site; this excavation does not extend underneath the heritage buildings (Original Treasury Building, Link Building, Strong Room or Western Wing).

The following list provides a summary of the changes to the subject Treasury buildings as a result of the hotel redevelopment of the site:

84 1982 'Sydney City Council under fire over redevelopment plans', The Canberra Times (ACT: 1926 - 1995), 4 July, p. 2., viewed 09 Nov 2016, http://nla.gov.au/nla.news-article126882339

<sup>83</sup> City of Sydney Archives, File Number 45/86/0315, Letter of Consent stamp dated 28 July 1981

# **Basement Level**

## **Original Treasury Building:**

- · Creation of openings.
- Creation of concrete fire stair, incl. conversion of original window to double fire door to Bridge St elevation.
- Conversion of S1.11 & S1.12 into male and female bathrooms.

### **Strong Room Building:**

- Modernise space with new ceiling, carpet and columns.
- Insert partitioning to form retail spaces.
- Creation of multiple concrete fire stairs and hallways.
- Integration of western façade into hotel development incl. openings and conversion of original windows to service doors.
- Creation of new arched opening into S1.29 from arcade.

#### **Link Building:**

- Restoration of windows to arcade.
- Partitioning to create retail space.
- · Creation of toilets.
- New lowered ceiling.

#### Western Wing:

- Conversion of whole basement floor space into restaurant including kitchen area, office, and dining areas.
- Creation of openings through to Original Treasury Building.
- Creation of new services including insertion of concrete fire stairs and service lift.
- Removal of north western portion of building and integration with new hotel building.
- Removal and relocation of caged lift and elliptical stair.
- Demolition of former lift/stair brick tower.

## **Ground Floor**

#### **Original Treasury Building:**

- Services upgrade throughout include installation of air conditioning, fire sprinklers, dropped ceilings and fire rated material over flooring.
- Creation of concrete fire stairs x 2.
- Reinstatement of fireplaces including new surrounds and inserts.
- Reconstruction of sandstone steps and bridge to Bridge Street elevation.
- Conversion of existing window into French Doors to arcade.

#### **Strong Room:**

- Modernise throughout including new ceiling, new columns, new flooring and carpet.
- Partitioning off part of room to create a servery with new walls, doors and flooring.
- · Blocking up of existing windows adjoining the new hotel development.

 Integration of western façade into hotel development incl. openings and conversion of original windows to service doors.

#### **Link Building:**

Make good of existing rooms. Opening arches between S2.17 & S2.18

#### Western Wing:

- Creation of new services including insertion of concrete fire stairs and service lift.
- Removal of north western portion of building and integration with new hotel building.
- Removal and relocation of caged lift and elliptical stair.
- Demolition of former lift/stair brick tower.
- Rearrangement of existing doors and windows.

## First Floor

## **Original Treasury Building:**

- Re-construction of second stair return on imperial staircase, including the blocking up of later door opening.
- Reconstruction of door to S3.5.
- Reinstatement of fireplaces.
- · Creation of concrete fire stairs
- Blocking up later doors in S3.1
- Reconfiguration of wall between S3.8 & S3.9
- Services upgrade throughout including new false ceilings, air conditioning and sprinklers.

#### **Strong Room:**

- Modernise throughout including new ceiling, new columns, new flooring and carpet.
- Blocking up of existing window adjoining the new hotel development.
- Integration of western façade into hotel development incl. openings and conversion of original windows to service doors.

## **Link Building:**

- Demolition of original internal walls in S3.13.
- Creation of 2 x new double doors between S.3.13 & S3.17.
- Blocking up of later door in S3.14 on southern wall.
- Conversion of S3.16 to pantry / kitchen.

#### Western Wing:

- Creation of new services including insertion of concrete fire stairs and service lift.
- Removal of north western portion with new hotel building.
- Removal and relocation of caged lift and elliptical stair.
- Demolition of former lift/stair brick tower.
- Rearrangement of existing doors and windows.
- Potential reinstatement of fireplace mantle / carving in S3.21.

Figure 307, Figure 308, Figure 309 and Figure 310 are extracts of the proposed hotel redevelopment plans for the areas (levels) associated with the subject Treasury buildings.

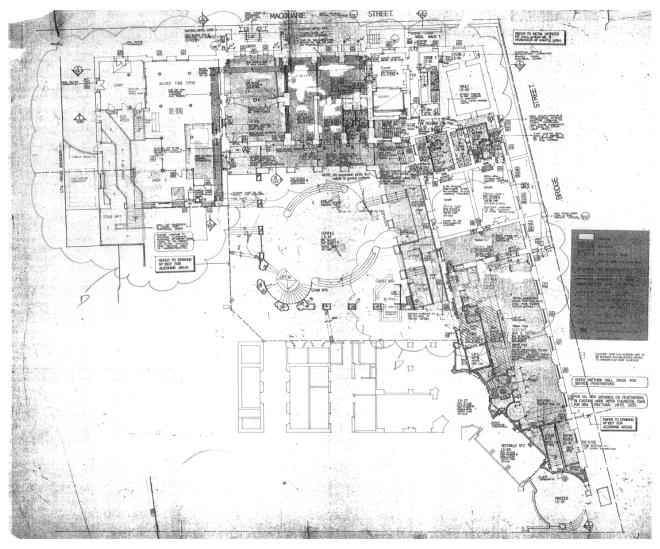


Figure 307 – Extract proposed plans from 1983: Basement Floor (Treasury section)

Source: Sydney City Council, Stamps DA plans dated 30 September 1983

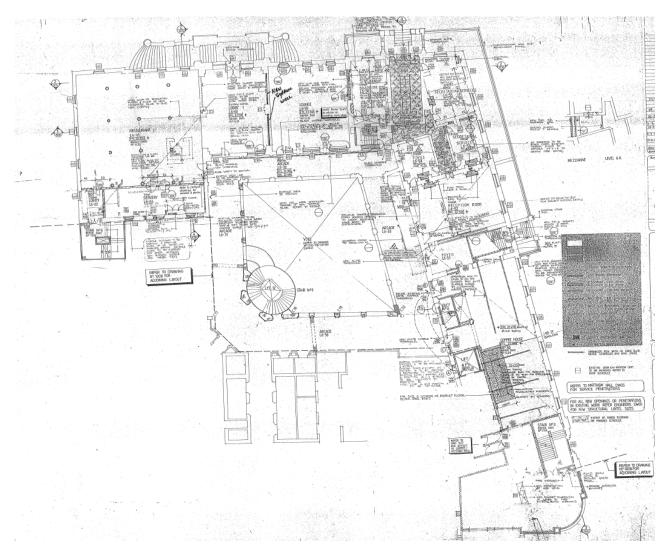


Figure 308 – Extract proposed plans from 1983: Ground Floor (Treasury section)

Source: Sydney City Council, Stamps DA plans dated 30 September 1983

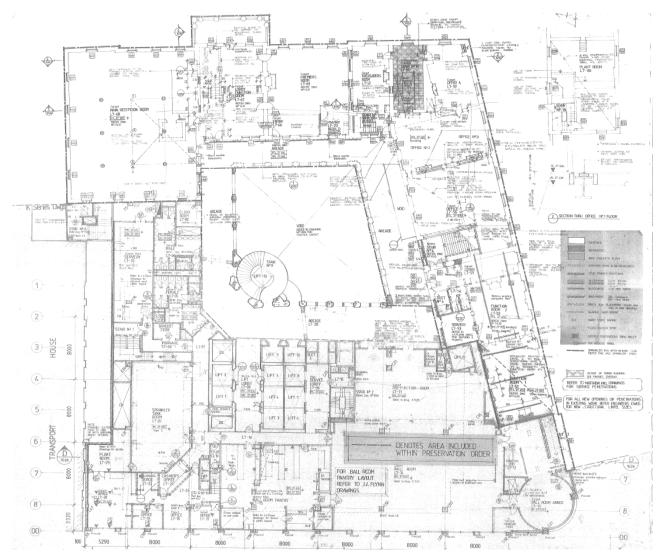


Figure 309 – Extract proposed plans from 1983: First Floor (Treasury section)

Source: Sydney City Council, Stamps DA plans dated 30 September 1983

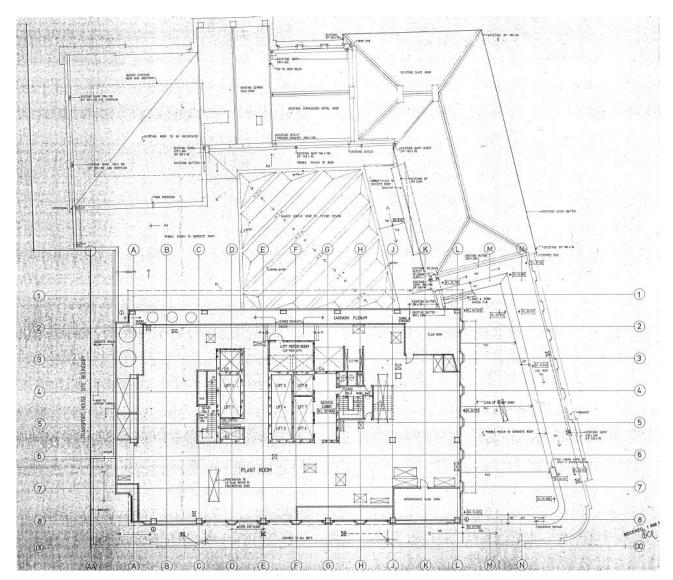


Figure 310 – Extract proposed plans from 1983: Roof plan

Source: Sydney City Council, Stamps DA plans dated 30 September 1983

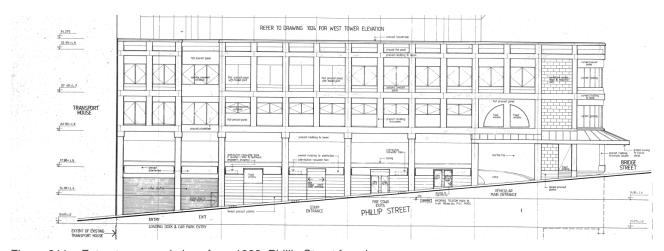


Figure 311 – Extract proposed plans from 1983: Phillip Street facade

Source: Sydney City Council, Stamps DA plans dated 30 September 1983

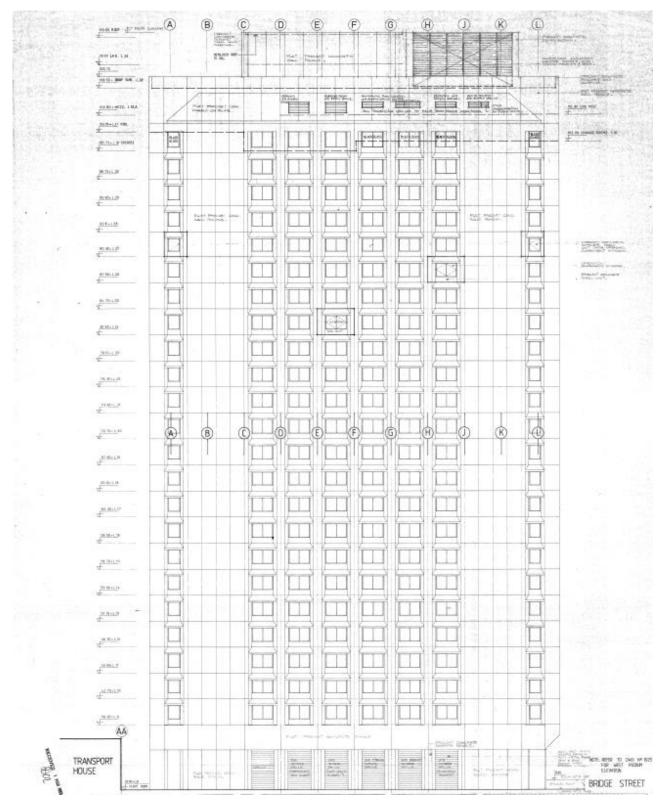


Figure 312 – Extract proposed plans from 1983: Tower western elevation Source: Sydney City Council, Stamps DA plans dated 30 September 1983

The following photographs were taken soon after the completion of the hotel tower. Flagpoles and flags are visible lining the streets. While these flagpoles are no longer extant and their purpose at the time is unknown, it is presumed that these flags related in part to a celebration of the bicentenary in 1988.



Figure 313 – Photograph of Treasury buildings, 21 August 1987

Source: City of Sydney Archives, ArchivePix, NSCA CRS 422/4/120



Figure 314 – Photograph of Treasury buildings, c.1989. The memorial pole visible was temporary and is no longer extant – its original purpose is unknown and is unlikely to have been associated with the Treasury.

Source: City of Sydney Archives, ArchivePix, NSCA CRS 1035/2117



Figure 315 – Photograph of the subject property after hotel development, ca.1985-2000 Source: Department of the Environment, barcode no. rt11273, holdings RT08287 - RT08296, RT11273

Consent was granted in September 1985 to convert part of Level 9 of the new hotel tower into a beauty salon.85

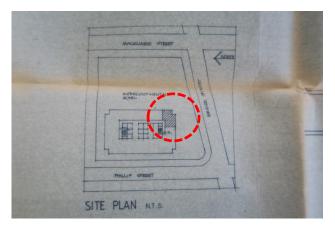


Figure 316 – Extracts of plans showing Level 9 conversion works

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Figure 317 – Extracts of plans showing Level 9 conversion works

Source: City of Sydney Archives, File Number 44/85/1054 Source: City of Sydney Archives, File Number 44/85/1054

A further accommodation survey was undertaken in 2004, showing minor internal changes to the Treasury buildings. Extracts of these plans are included hereunder in Figure 318, Figure 319, and Figure 320.

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<sup>85</sup> City of Sydney Archives, File Number 44/85/1054, Letter of Consent stamp dated 12 September 1985

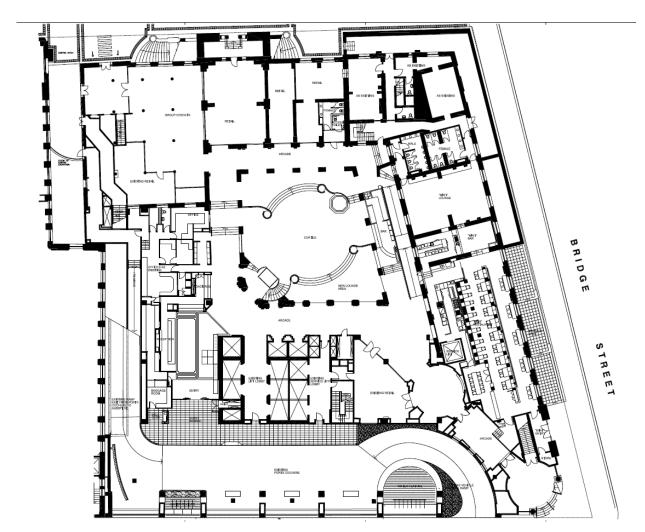


Figure 318 – Extract of accommodation survey from 2004: Basement Plan

Source: Crone Nation Architects, March 2004

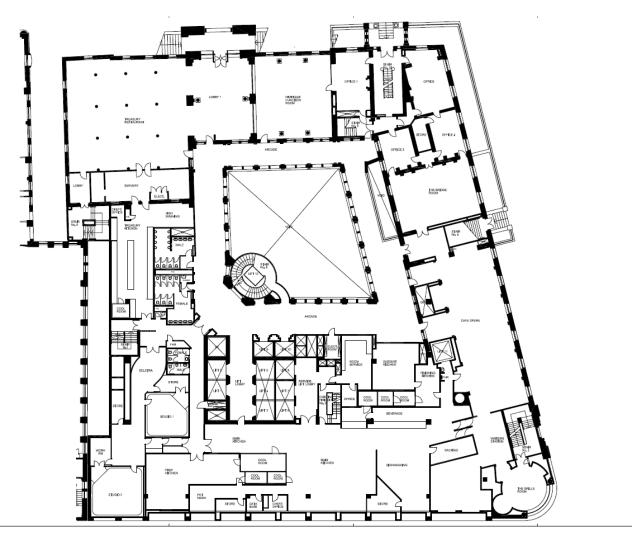


Figure 319 – Extract of accommodation survey from 2004: Ground Floor Plan

Source: Crone Nation Architects, March 2004

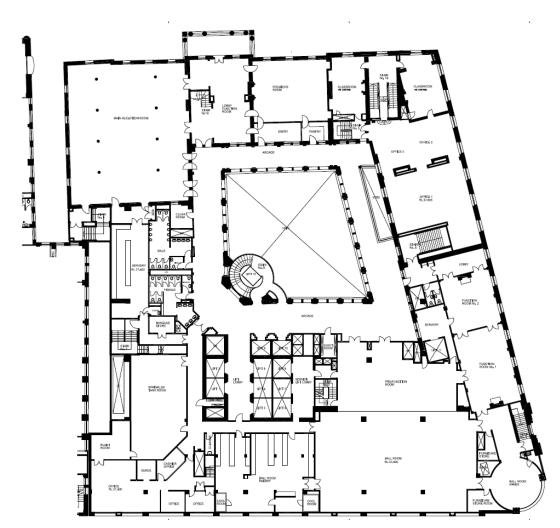


Figure 320 – Extract of accommodation survey from 2004: First Floor Plan

Source: Crone Nation Architects, March 2004

# 3.4. CHRONOLOGY OF CONSTRUCTION, ALTERATIONS AND ADDITIONS

# 3.4.1. Original Treasury Building and Extensions

The original building (c.1849-1851) is moderately intact. A summary of the main changes to the original design are as follows:

- Rebuilding the rear (western) wall of the northern leg on the ground and first floors, during northern extensions.
- Alteration to room configuration of internal spaces throughout.
- · Alterations of main staircase and main foyer.
- Removal of tops of chimneys.

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- Construction of portico to Macquarie Street entrance (c.1874).
- Conversion of basement floor areas in western wing to bathroom spaces for existing restaurant.

The following table provides a detailed list of alterations and additions to the original Treasury Building, and has been drawn from *The Treasury Building: Conservation Analysis*, *Statement of Cultural Significance*, *Development Constraints and Draft Conservation Policy*, prepared by Clive Lucas Pty Ltd in 1982, pages 27-41

Table 9 - Alterations and additions - Original Treasury Building

Date	Description
23/01/1849	Colonial Architect asked to provide plan for new Treasury and Audit Office.  Two architect's elevations exist; one to Macquarie Street with central doorway and window on either side, and one to Bridge Street with five bays (all windows). A centre line and overall dimension indicate that seven bays were required. The plans are signed by the contractors (in the usual manner when a tender was accepted).  The drawings do not bear the signature of any Architect, but Mortimer Lewis was the Colonial Architect in January 1849.
08/03/1849	Treasury and Audit Office to be commenced as soon as possible. It was to be left to the Colonial Treasurer and Auditor-General to decide upon the internal arrangements, whether they wish to have one floor each, or part of each office on both floors.
23/03/1849	Colonial Treasurer and Auditor-General concur on the division of the offices in the new building by a party wall.  Approval given for division of building by a party wall.  There was no physical connection between the two departments.
20/04/1849	Tender of Jacob Inder for erection of new Treasury accepted, £3,412. Only £2,000 voted for Treasury and the extra for the Audit Office to be placed on the estimates for 1850. Contractors must understand this condition and may proceed with Treasury to value of £2,000.
24/07/1849	Bond of Messrs Inder for Treasury and Audit Office has been received, Contractors understand and have accepted the conditions under which the contract is entered into.

Date	Description		
30/11/1849	Contractors are procuring and working in the building (Treasury). A rotten sandy and scaly description of stone which is unfit to be used in the works. Remonstrances of the Foreman of Works not attended to by the Contractor, Sub-contractor or Foreman Mason. Just now the Contractors are procuring large quantities of the stone which being wrought in an improper manner for the building. Note by Mortimer Lewis: Contractor to be given notice that unless the next of stone is used and the workmanship is good, no further payment will be made.		
13/12/1849	dmund Blacket, who became Colonial Architect on 1 December 1849, reported to the Colonial secretary that he found 'considerable alterations and departures form the contract plans for which do not find any authority'. He notes 12 deviations from the original plan and was of the opinion nat these alterations were improvements upon the original plan and suggested further change in increasing the thickness of the walls of the Treasury. There was nothing in the contract as regards lumbers' or smiths' work or for the roof.		
22/12/1849	Re: Deviations from original plan. Estimate to be furnished of the probable expense of all alterations made by the late Colonial Architect and yourself, to see how far the vote will cover these. Application will be made to Crown Law Officer concerning the validity of the original contract.  List of extras at Treasury, 15 December 1849  Memo of extras in Colonial Treasury, 31 December 1849		
	Calculations and valuations of extra excavation and masonry performed, up to 31 December 1849		
28/12/1849	Re: original contract and bonds of sureties for Treasury, does the Government propose to pay for work already done and to sanction further extras? Was there sufficient authority for the alterations from the original plan? If the answer to both the these is affirmative, then there should be no difficulty in avoiding all risk of validating the original contract or bond.		
05/01/0850	Estimate of cost of alterations, plus items not included in original contract (roof, plumbers', smiths' works) will be £332.67 in excess of vote of £4,000, exclusive of the cost of outbuildings.		
15/01/1850	Proposed alterations and additions can with the concurrence of the Contractor, be safely carried out without violating contract. Colonial Architect to prepare a plan and estimate with a view to a vote on the legislative Council being obtained to meet the additional expenditure required.		
07/02/1850	Requesting that plot allotted to the Treasury be marked out so that a plan of the outbuildings can be made.		
13/02/1850	Surveyor General replies that no particular area has been designated for the Treasury, and it is therefore necessary for the Colonial Architect to say what he wants and the Surveyor General will have it marked out.		
07/05/1850	£500 will be required in supplementary estimates for Treasury.		
23/08/1850	Building now carried up nearly ready for fixing the roof. He requests permission to made agreement with contractors for slaters', plumbers and other work not included in their contract, to a value of £250.		
18/09/1850	Colonial Secretary approved of making such an arrangement with contractors to complete Treasury and Audit Office.		
31/03/1851	Land Sales to be held in one of the rooms of the Treasury until the sale room is completed.		

Date	Description		
28/04/1851	Partition required in one of upper rooms of new Audit Office.		
10/07/1851	Re: original intention of plastering walls in the basement floors. The intention was to plaster the whole of the ceilings, the walls of the staircase and the front rooms (being intended for extra clerks) in the Audit Office and the walls of the staircase and ante room of the Treasury vault. With respect to the remaining rooms being for the accommodation of messengers, painting and colouring was considered clean and sufficient.		
11/07/1851	Referring to the conversation had this morning re: Treasury and Audit Office, upon examination of the specifications of the works Inder & Co. find the alterations and additions are of such a nature as to completely alter the features to the building and so, to avoid dispute, request that the whole building be measured and valued and paid accordingly.		
11/07/1851	Mortimer Lewis to Messrs. Inder re: height of party wall – the intention was not to carry it higher than the ceiling of the upper rooms conceiving at some future day another storey might be placed on the building.		
18/08/1851	Messrs Inder's total account = £4,347.13.10		
04/10/1851	Approval for iron bars to be fitted to windows on first floor of Treasury (Blacket called ground floor the first floor and first floor the second floor)		
07/10/1851	In view of the change the Treasurer is obliged to make in the Department from that originally contemplated, it will be necessary to have two doors opened into the main passage, one from the room in which the gold is to be delivered and another from the room at the back of the receiving room.		
18/10/1851	Colonial Treasurer to have a safe for the gold arriving from the gold districts.		
17 Oct 1851	New Treasury occupied.		
July 1852	A water colour of the new building was made in July 1852 by Jacob Janssen. This shows it without the stone area walks, palisade fence or stone bridges. Temporary timber bridges to the doors can be seen.		
1852	Making and fixing window shutters as new Treasury (this could mean Audit Office too).		
1852	£300 expended in fitting out the Gold Branch of the Colonial Treasury to be charged to the gold revenue.		
1852	Tender for stone stairs to rear of Treasury Building with landing four feet long (this could mean Audit Office too).		
1852	Needed for Audit Office – doors similar to those in the entrance hall of the Colonial Treasury, covered with green baize with a centre piece of glass to close with a strong spring from outside.		
06/10/1853	£300 allowed to Messrs Jacob Inder and Henry Tebbutt in full of all demands for compensation for losses sustained in erection of new Colonial Treasury and Audit Office.		
1853	The specification for iron railing along the south and east fronts of the Treasury and Audit Office still exists.		
02/02/1853	Audit Office needs more space and requesting that extra rooms be constructed.		

Date	Description		
May 1853	Baize folding door required between outer and inner halls in Treasury.		
26/07/1853	Sum placed on estimates for necessary work. Note £2,000 placed on estimates was withdrawn.		
1857	Mention of Treasury Room and Waiting Room.		
1861	Mention of Under Secretary's Room.		
1861	A sketch of the Treasury and Audit Office from the west shows the palisade fence. Note the land in the area walk wall.		
1862	Additional room to be made and fitted up at head of stairs for an additional clerk.		
1863	Two rooms appropriated to the use of the Treasurer.		
1864	Treasurer's Office and Under Secretary's room to be connected by speaking tube.		
1864	Paymaster's office and Accountant's room to be connected by speaking tube.		
June 1864	Additional accommodation needed as a number of officers from the Audit Office have been transferred to the Treasury. Request that partition wall between the two departments be broken through so as to open up communication with the lower back room of the Audit Office and to make it available for the exclusive use of the Treasury by closing the present entrance to it, in the former building.		
1864	Back stairs to be faced with lead due to great wear and tear.		
1866	Accountant's and Under Secretary's rooms to be connected by speaking tube.		
c.1860s	A photograph taken between 1865 and 1874 shows the original Macquarie and Bridge Street elevations.		
1872	Recommending removal of Audit Office.		
1873	Auditor-General to find other offices (moves to the Victoria Club building, Castlereagh Street).		
06/06/1873	Alterations to Treasury Building.		
1873	Alterations may relate to building portico on original building; or perhaps alterations in building after the Audit Office moved to other premises and the Treasury then occupied the whole building.		
02/07/1873	Iron bridge for Treasury building. A later plan shows possible bridges at both front and rear stairs of Treasury.		
1870-1874	Between 1870 and 1874 portico added to Treasury on Macquarie Street.		
1870s	A number of photographs taken from the south east show the new portico. These also show some elements now missing including;  Doors and fanlight to Audit Office entrance.  Chimney caps.  Internal bars and blinds to some windows.  Bridge to Audit Office entrance.		

Date	Description			
1880	About 1880 major but temporary additions were made to the building. A long wing was added at ground level joining the former Audit Office to the western end of the outhouse wing. This was constructed of timber and corrugated iron and houses the conditional purchase ledgers.			
	This wing appears in a photograph taken from the Chief Secretary's building c.1898 and on a plan of 1896. A building of similar construction was built presumably at the same time (1880) adjoining the northern side of the Treasury building on Macquarie Street. This housed the Paymaster and Clerks.			
1880	By the 1880s it was being said that the original Treasury building was 'a small building, scarcely suited to transact the monetary business of the Colony'.			
1885	A drawing dated July 1885 shows proposed extensions planned to maintain the tram depot. No executed.			
1894	A drawing dated May 1894 shows extensions to the building similar in concept to the present design.			
July 1896	A drawing dated 1896 shows extensions to the building very similar to the present design.			
1896	In January 1896, the Parliamentary Standing Committee on Public Works held an enquiry to consider the proposed additions to the Treasury Building. Amongst the witnesses was the Government Architect W. L. Vernon.			
	Evidence was given that the present accommodation was too small and that the important ledgers and accounts were in danger of destruction in fire. Much was made of building a 'strong room' of fireproof materials to house the records.			
	Vernon illustrated his evidence with plans showing the staging of the work. The Strong Room was to be built north of the old Stamp Office; the old Stamp Office then to be removed and the original Treasury building and the new Strong Room linked by a second stage incorporating a portico. A third stage, never executed, was to remodel the interior of the original Treasury building.			
1895-1989	Stage 1: Strong Room			
	1895 A drawing dated June 1895 sows a Strong Room design very similar to the present building with a pitched concrete roof and a two bay square gallery over the ground floor.  1895 Temporary timber entrance steps are shown. Details of gallery stairs (now			
	gone) survive together with stone work details.  1896  A later drawing shows an alternate roofing system and is called  'Alternative plan showing Roof and Floors constructed on Monier  System'. The column spacing of this is different from the present			
	building.			
	c.1896 The Strong Room was commenced.  Dec 1897 The contractors J Stewart & Co. to be afforded facilities for proceeding			
	with fittings in Treasury Strong Room.			
	Jan-Jun 1898 Venetian blinds in Strong Room. Temporary accommodation to be			
	provided for Caretaker Geary whilst Treasury additions are made. Electric light for the Strong Room will be ready in three weeks' time to run			
	continuously.  1897-98 Strong Room completed. A photograph of June 1898 shows the old Land			

Date	Description		
	Sales Room demolished but for the ground floor wall. At this time, an 'iron' bridge linked the two buildings at Ground Floor level. This could be the iron bridge built in 1873.		
1895-1898	Stage 2: Link Building		
	Dec 1895 Design and stonework drawings of the Link Building were prepared similar to the present design.  Jul 1896 A further Macquarie Street elevation was drawn.  1897 Design drawings dated December 1897 show the present configuration of the Link Building. This shows the following:  • North wall and part of west wall of original building rebuilt from ground floor level.		
	<ul> <li>2 spiral stairs on the arcade. Crossed out in pencil.</li> <li>Division of the original Treasurer's Room to form corridors and waiting room.</li> <li>A staircase between the new Treasurer's room and the landing of the original Treasury stairs.</li> <li>The southern arcade originally planned to be at right angles with Macquarie Street.</li> <li>Some of the large Strong Room arches not opened up.</li> <li>A system of counters now gone.</li> <li>No partitions in basement.</li> <li>No doors in the west wall of the new Treasurer's Room.</li> <li>No door in the west wall of the Treasurer's Retiring Room and door to Treasurer's lavatory in different position.</li> <li>Different configuration of the present staircase to second floor.</li> <li>The old stable building converted to lavatory. The conversion of the stable building included the rebuilding of the east wall, shortening the building by about 2.5 metres.</li> <li>Jan-Jun 1898 That £5,000 be placed on Loan Estimates for 1898 for Sheppherd Bros. for the 2<sup>nd</sup> Treasury Contract.</li> </ul>		
1898-99	"Treasury – additions to the Treasury including new portico facing Macquarie Street were carried on during the year and with the portion of the No. 1 contract completed in the previous year, form the nucleus of an important block of buildings. It is recommended that the next step to be taken should be the remodelling of the old portion and bringing it into unison both as regards accommodation and appearance with the newer portions."		
Feb 1898	Truss details of the Link Building roof were prepared.		
Aug 1898 – Jan 1899	Construction details for the arcade of the Link Building were prepared.		
Jan-Jun 1899	Enquiring if a series of portraits in terra cotta of Treasurers and Treasury officials should be commenced in the spaces left in the spandrils of the arches of the New Treasury buildings. Approved.		
1899	A photograph showing the original Treasurer's Room is extant taken presumably just before this move.		

Date	Description		
Jul-Dec 1899	New additions – it is desired that both archways should be put up with fire proof shutters raised and lowered by hydraulic means. Asking for concurrence in the retention of asphalt floors in the back corridor of the new Treasury building.		
1899	A photograph c.1899-1900 shows that masonry of the north wing nearly completed.		
1900	The whole of the north wing was largely finished by June 1900 and finalised by June 1901.		
July 1900	Request for authority to pull down and sell the old building at rear of Treasury as there is no further use for it.		
1900	Request that Treasury old building, instead of being demolished, be erected in the Bunnerong Road in connection with the Labour Department. Approved.		
1900-01	A photograph from the west shows this wing being taken down.		
30/08/1900	Question: What was the estimated cost of the new Treasury buildings? And what was the actual cost?		
	Answer: Estimated cost £21,500		
	Actual cost: No. 1 Contract £8,036.11.8		
	No. 2 Contract £16,894.3.10		
	Total £24,930.15.6		
	It should be noted that the Treasurer requested that additional works be done which cost £2,401. These were not contemplated nor included in the scheme submitted to the Parliamentary Standing Committee. Two photos of the recently furnished Treasurer's Room survive. These show that one of the doors is not original. The elaborate pediments have yet to be installed.		
1904	Photographs of 1904 show the addition of the pediments and wallpaper.		
1914	In 1914 an additional room was built above the Strong Room to house the Accounts Branch. This was constructed of timber clad in ripple iron and had external venetian blinds. The design drawing for this is extant.		
1916	In 1916, the Government Architect George McRae produced a grand scheme for a new Bridge Street building. This included an Edwardian Baroque style domed entrance at the Bridge and Phillip Streets corner, and a similar remodelling of the original building at the Bridge Street and Macquarie Street corner.		
	Construction commenced.		
1916-1917	Numerous design and construction drawings dated 1916 and 1917 exist for this wing showing the present design and approved by George McRae. In this the Bridge and Phillip Streets corner was left for a future stage. The present termination together with the grand elliptical staircase was carried out. One of these drawings, dated 1916, shows the arcade only partly along the south side of the Cortile and supported by a brick buttress. A gangway is shown leading from D7/550 and D6/530 leading to the Link Building colonnade.		
1918	Another drawing dated 1918 shows the linking of the original and west wings at the ground floor level. A plan was drawn showing future stages of the building along Phillip Street.		

Date	Description		
1919	Extension complete during financial year ending 30 June 1919 at a cost of £33,000.		
	Front elevation is freestone: entrance at western end gives access by a wide corridor to an elliptical staircase hall from whence each floor is reached by electric left. Staircase is reinforced concrete with marble strings, treads, risers and landings, and the dado is of shaped terrazzo with marble capping. Building is three storeys in height, floors are of reinforced concrete, finished in tallow-wood 'parquetry' and the joinery is of polished maple while a wide arcade with marble-tiled floor gives access to the northern side of the main building. Basement is for office accommodation, ground floor is subdivided with half-glass partitions for accounts and correspondence and record branches, while the first floor is set apart for Minister's and Under Secretary's rooms, and the necessary retiring rooms and lavatory and sanitary conveniences. The whole of the extension is occupied by the administrative branch of the Treasury and the vacated rooms in the old building were altered and renovated for the reception of the Premier's staff.		
1919	Caretaker's quarters consisting of timber framed cottage were planned for in the courtyard. The drawing shows coal pits (presumably from the tram depot) to be removed. A police box was also planned against the northern wall of the elliptical stair.		
1898-1931	At some time unknown the design drawing for the Link Building 1897 has been amended in pencil showing new arrangements, which include:		
	Rearrangement of counters of the ground floor.		
	The present partition of the old Treasurer's Room and additional door to the new Treasurer's Room.		
	Removal of spiral stairs.		
	The present doors in the Treasurer's retiring room.		
	These alterations are all shown in the accommodation survey of 1931.		
	The accommodation survey shows the building in use by Premier's and Treasury Departments and the Hospital's Commission. The 1931 plans confirm the following:		
	The gallery in the Strong Room has been half filled in.		
	The first floor internal walls of the western leg of the original building have been removed.		
	The original Treasurer's room is partitioned.		
	The staircase to the north of the Premier's Room is in its present location.		
	The counters on the ground floor of the north wing have been rearranged.		
	The converted stable is shown as a lavatory.		
	<ul> <li>Lift well in original building suggests the existence of the Premiers vault in basement of Link Building.</li> </ul>		
1946	A new Phillip Street wing was planned and documented by Hennessy & Hennessy & Co. Not executed. This was to demolish part of the west end of the west wing.		
1948	Basement of original and north wing re-wired. Drawing shows Strong Room in basement of Link Building for Premier. Basements of original wing shown connected.		

Date	Description		
1953	Lift installed in Strong Room together with partitions for Cabinet Room, Dining Room, Servery and Toilets on first floor. All mechanically ventilated. Three columns removed to achieve this and roof structure altered. The original Under Secretary's lavatory outside the Premier's Sitting Room was removed at this time.		
Before 1963	Computer Room and Air Conditioning set up in basement level of west wing.		
1963	Accommodation survey shows building in use by Premier's and Treasurer's Departments, with following notes:		
	<ul> <li>The Premier's Department is now using all of the first floor except the west wing.</li> <li>The counter arrangement in the Link Building has changed.</li> <li>Most of the arcades are in-filled.</li> <li>A meter room has been formed in the southern area walk.</li> <li>The Premier's Strong Room and lift is shown.</li> <li>The southern area has been extended west.</li> <li>The old stable/toilet is shown.</li> <li>The caretaker's cottage and police box are shown.</li> <li>The gangway is shown.</li> <li>At this time the original Treasury vault was used for the NSW Standard Weights and Measures</li> </ul>		
1967	Comprehensive replanning was done for the accommodation of the Ministry of Transport in the northern wing and the Police Department in the original and western wings. Many small alterations are shown, including:		
	Basement Level		
	Male toilets under the arcade.		
	Ground Floor		
	Partitioning of the Strong Room		
	WCs and basins at the west end of the west wing.		
	First Floor		
	Partition of cabinet dining room.		
	New door to Premier's Room formed reusing joinery from sitting room.		
	New bathroom to west of original Treasurer's Room and removal of lift.		
	Partitioning of the Strong Room.		
	The main addition was the toilet and stair wing on the south west corner of the Strong Room after the demolition of the original stable building. This had been added to and converted many times. The caretaker's cottage and police box were also demolished. At this time, many ducted skirtings were installed.		
	Other significant alterations were:		

Date	Description		
	Blocking up door at W7/520		
	Forming D7/537		
	Blocking doorway into Premier's sitting room		
	Forming new doorway D7/546		
	Forming D6/514		
	Converting door at W6/522 to window		
	Blocking door at north west corner of space 607		
	Removal of possible original partitions in S610		
	Demolition of air raid shelter in southern area walk (previously called meter room)		
	Forming new doorway into Premier's vault D5/518		
1968	Air conditioning and gas heating was installed to the executive rooms of the Link Building and Strong Room.		
1970	More rewiring was done in the north wing.		
1977	The original and west wings were replanned for the accommodation of the Conservatorium of Music. Much of the partitioning was rearranged. The significant alterations include:		
	Bricking up of old doorway in original Audit Office (between D6/530 and D6/538).		
	Removal of small section of rear hall on first floor of original Treasury Office.		
	Bricking up of D5/536.		
1982	Conversion of the property to a hotel development occurred in 1982-1985. The works for the subject site comprised the retention of the existing Treasury buildings, conversion of these spaces to meeting / function rooms and a restaurant, and the construction of a new hotel tower building, with a new Phillip Street wing. The buildings joined together to form a central covered Cortile area together with the original arcades, incorporating the elliptical staircase as a feature in its non-original location. The hotel required three levels of basement car parking to be excavated underneath the site; this excavation does not extend underneath the heritage buildings (Original Treasury Building, Link Building, Strong Room or Western Wing).		

#### 3.4.2. Outbuildings

The following table provides a detailed list of alterations and additions to the outbuildings, and has been drawn from *The Treasury Building: Conservation Analysis, Statement of Cultural Significance, Development* Constraints and Draft Conservation Policy, prepared by Clive Lucas Pty Ltd in 1982.

Table 10 – Alterations and additions – Outbuilding

Date	Description	
18/02/1851	As buildings are now approaching completion, work should proceed on the outbuildings for which £1,500 was noted. Enclosed is a letter from Inders, concerning their right to the work.	
	Initially the Governor decided that the work on the outbuildings should go out to tender, but when the Colonial Architect pointed out to him that Inders had been led to believe that they would also get the contract for this work, and that in private work this was normal practice, it was decided that Inders should have the work if they quoted reasonable terms.	
27/02/1851	Request to expedite completion of Land Sale room at the new Treasury.	
May 1851	After the announcement of the discovery of gold in NSW in May 1851 it became difficult to keep workmen, and wages and prices rose.	
26/05/1851	Inders' requested an advance of money and extension of time to complete the contract.	
June 1851	Inders contract was cancelled and new tenders called.	
August 1851	Tender by Peter McBeath was accepted but later in the same month McBeath withdrew his tender saying that he could not now fulfil it due to the aspect of the times' with all of the workmen going to the gold fields.	
January 1851	George Paton's tender was accepted for the work.	
	As wages and prices increased, the original sum voted was insufficient for the work and an extra sum had to be placed on the additional estimates. Blacket's specifications for this work is extant and includes the area walks and stone bridges on the Bridge and Macquarie sides of the Lewis's building. Also mentions are privies and yards, cesspools, stables and lofts, coal-hole and dust-pits, watchman's quarters, coach house, gates to each office yard and a shed in the Treasury yard.	
1853	The outbuildings were probably completed by 1853.	
1857	A photograph of 1857 taken from The Rocks shows these buildings in front of the Treasury.	
1858	A photograph taken from Government House by W Blackwood, shows their original form clearly – a two storey hipped roofed Land Sale Office on Macquarie Street, and to the west, on a lower level, a single storey hipped coach house and stables.	
Feb 1856	Requesting extra water closets for the 26 persons attached to the Treasury: 2 additional closets to be erected.	
Nov 1860	Contained records of Inspector General of Police: records to be moved and to be made available for Chief Inspector of Distilleries.	
1863-65	Used as Volunteer Artillery Office.	

Date	Description		
April 1865	Alterations (including clerestory) for use as a Stamp Office. Alterations include:  Construction of clerestory full length of building Partitions to form offices Fireplace and chimney in press room Enclosing balcony to form passage to office Fitting up WC at end of passage Doorway in lobby Providing two safes Total cost £650		
July 1865	Audit Office in need of more accommodation – suggests conversion of stable and coach house into office and addition of a second storey with lantern (clerestory); cost £400.		
Early 1866	Alterations completed.		
1872	Auditor-General notes that record room includes an area formerly occupied by the water closets. This refers to the space between the Land Sales Office and the Audit Office stables, which has been in-filled, and the WCs relocated in the centre of the courtyard.		
1898	Following the completion of the Strong Room part of the Macquarie Street extension of the Treasury, the old Land Sale Office building was demolished. The enlarged stables section of the original outbuilding remained. In the intervening period, the three buildings were linked by a bridge at ground floor level.		

# 3.5. BRIEF HISTORY OF THE TREASURY & PREMIER'S DEPARTMENTS IN NEW SOUTH WALES

The following history has been summarised from the following sources:

- Golden Heritage: A Joint Exhibition to Commemorate the 175<sup>th</sup> Anniversary of the New South Wales Treasury: 1824-1999 prepared by the NSW Government, Treasury Department, available here http://www.treasury.nsw.gov.au/Golden\_Heritage.
- The Treasury Building: Conservation Analysis, Statement of Cultural Significance, Development Constraints and Draft Conservation Policy, prepared by Clive Lucas Pty Ltd in 1982.

In the early years of the Colony, financial administration was not organised by a Treasury Institution as such. In 1824 with the establishment of the Legislative Council, this function was centralised under a Colonial Treasurer and an Auditor-General. From that time, the Colonial Treasurer and the Auditor General were two of five-to-seven members of the Council under the authority of the Governor, administered through the Colonial Secretary.

The Constitution Act of 1855 allowed for five ministers in the Legislative Assembly, being the Colonial Secretary, Colonial Treasurer, Auditor-General, Attorney-General and Solicitor-General. To this was shortly added a Secretary of Lands and Works, and a representative of the Legislative Council.

The office of Premier was instituted in 1856. Between that year and 1880 the Premier was located generally in Bridge Street close to Government House in Macquarie Street. At this time, the Treasurer was located in the Treasury Building (subject property), also opposite Government House.

The first Colonial Treasurer under Responsible Government instituted in 1856 was Thomas Holt in the Donaldson Ministry. It is believed that Mr Holt, as Colonial Treasurer, occupied a room in the south east corner of the Colonial Treasury building overlooking the Botanic Gardens and Bridge Street.

Construction for a building to house the Premier and Colonial Secretary was commenced in 1873 after plans were drawn up by the Colonial Architect James Barnet. The building was located east of Macquarie Place on the corner opposite to the Treasury building, on the southern corner of Macquarie and Bridge Streets looking across to the Governor's stables and Botanic Gardens. The building in the Italian Renaissance style was completed in 1880. Between 1880 and 1899 the Premier was located in this handsome building. Sir Henry Parkes in 1880 would have been the first Premier to occupy the Colonial Secretary's building.

Prior to 1908, the Treasurer often assumed the role of Premier (or Prime Minister of New South Wales) as well. It is possible that Premier and Treasurer, Sir George Reid occupied the Treasurer's Rooms in the Treasury building between August 1894 and July 1899 but tradition holds that the first Premier (or Prime Minister as sometime titled) and Colonial Treasurer to occupy the Treasurer's Room in the new Link Building was Sir William Lyne from September 1899 to March 1901. The first floor room on Bridge Street adjacent to the Treasurer's room was occupied by the Under Secretary of the Treasury, later to be occupied by the Under Secretary, Premier's Department.

Sir John See was Premier and Colonial Secretary from March 1901 to June 1904 but he occupied a room in the Colonial Secretary's building (opposite the subject property), leaving the Colonial Treasurer, Thomas Waddell to occupy the Treasurer's room in the Treasury building.

Thomas Waddell became Premier and Colonial Treasurer in 1904, and he succeeding Premiers occupied the room in the Link Building now identified as the Premier's Room. Between 1908 and 1910 the Premier's Department occupied a portion of the Treasury building in the northern corner of Macquarie and Bridge Streets. It was not, however, a large establishment, consisting of the Under Secretary, a Chief Clerk and a few other assistants.

With the relocation of the Premier and Treasurer to the Treasury building, frequent staff exchanges took place between the Premier's Department and the Colonial Treasury. Edward Burns Harkness, a Treasury officer, was appointed as Special Assistant to the Premier and Permanent Head. In 1908 Clifford Henderson Hay was seconded to the Premier's Department from the Treasury to become a member of the Premier's staff. Over the following years there was the frequent secondment and transfer of exceptional officers between the Premier's Department and the Treasury and the Treasury and the Audit Office.

The position of Premier had no formal recognition until 1908 and the Premier's Department was not set-up until 1914, instigating the c.1916 expansion of the subject property. Between 1930 and 1967, most New

South Wales Premiers also held the title of Treasurer. The Premier's Room in the Link Building was continually occupied by the Premier/Treasurer until 1967.

The following tables comprises a list of the New South Wales Treasurers, also noting concurrent Premier's office titles where applicable.

Table 11 – List of NSW Treasurers

Treasurer Term	Name	Office Held
28 April 1824 – 19 March 1829	William Balcombe	Treasurer
23 August 1830 – 5 June 1856	Campbell Drummond Riddell	Treasurer
6 June 1856 – 25 August 1856	Thomas Holt	Treasurer
26 August 1856 – 2 October 1856	Robert Campbell	Treasurer
3 October 1856 – 7 September 1857	Stuart Donaldson	Treasurer Premier (6 Jun 1856 – 25 Aug 1856)
7 September 1857 – 3 January 1858	Richard Jones	Treasurer
4 January 1858 – 30 March 1859	Robert Campbell	Treasurer
18 April 1859 – 26 October 1859	Elias Weekes	Treasurer
27 October 1859 – 8 March 1860	Saul Samuel	Treasurer
9 March 1860 – 20 March 1863	Elias Weekes	Treasurer
21 March 1863 – 15 October 1863	Thomas Smart	Treasurer
16 October 1863 – 2 February 1865	Geoffrey Eagar	Treasurer
3 February 1865 – 19 October 1865	Thomas Smart	Treasurer
20 October 1865 – 3 January 1866	Saul Samuel	Treasurer
4 January 1866 – 21 January 1866	Marshall Burdekin	Treasurer
22 January 1866 – 26 October 1868	Geoffrey Eagar	Treasurer
27 October 1868 – 15 December 1870	Saul Samuel	Treasurer
16 December 1870 – 13 May 1872	George Lord	Treasurer
14 May 1872 – 4 December 1872	William Piddington	Treasurer
5 December 1872 – 8 February 1875	George Lloyd	Treasurer
9 February 1875 – 7 February 1876	William Forster	Treasurer
8 February 1876 – 21 March 1877	Alexander Stuart	Treasurer
22 March 1877 – 16 August 1877	William Piddington	Treasurer
17 August 1877 – 17 December 1877	William Long	Treasurer

Treasurer Term	Name	Office Held
18 December 1877 – 20 December 1878	Henry Cohen	Treasurer
21 December 1878 – 4 January 1883	James Watson	Treasurer
5 January 1883 – 21 December 1885	George Dibbs	Treasurer Premier (7 Oct 1885 – 21 Dec 1885)
22 December 1885 – 25 February 1886	John Burns	Treasurer
26 February 1886 – 19 January 1887	Sir Patrick Jennings	Treasurer Premier (26 Feb 1886 – 19 Jan 1887)
20 January 1887 – 16 January 1889	John Burns	Treasurer
17 January 1889 – 7 March 1889	James Garvan	Treasurer
8 March 1889 – 27 July 1891	William McMillan	Treasurer
14 August 1891 – 22 October 1891	Bruce Smith	Treasurer
23 October 1891 – 2 August 1894	John See	Treasurer
3 August 1894 – 3 July 1899	Sir George Reid	Treasurer Premier (3 Aug 1894 – 13 Sep 1899)
3 July 1899 – 13 September 1899	Joseph Carruthers	Treasurer
15 September 1899 – 20 March 1901	Sir William Lyne	Treasurer Premier (14 Sep 1899 – 27 Mar 1901)
10 April 1901 – 29 August 1904	Thomas Waddell	Treasurer Premier (15 Jun 1904 – 29 Aug 1904)
29 August 1904 – 1 October 1907	Sir Joseph Carruthers	Treasurer Premier (30 Aug 1904 – 1 Oct 1907)
2 October 1907 – 20 October 1910	Thomas Waddell	Treasurer
21 October 1910 – 26 November 1911	James McGowen	Treasurer Premier (21 Oct 1910 – 29 Jun 1913)
27 November 1911 – 11 April 1912	John Dacey	Treasurer
17 April 1912 – 5 May 1912	Ambrose Carmichael	Treasurer
6 May 1912 – 29 January 1914	John Cann	Treasurer
29 January 1914 – 30 October 1918	William Holman	Treasurer Premier (30 Jun 1913 – 15 Nov 1916)
30 October 1918 – 12 April 1920	John Fitzpatrick	Treasurer
12 April 1920 – 20 December 1921	Jack Lang (John Thomas Lang)	Treasurer

Treasurer Term	Name	Office Held
20 December 1921	Sir Arthur Cocks	Treasurer
20 December 1921 – 13 April 1922	Jack Lang (John Thomas Lang)	Treasurer
13 April 1922 – 14 February 1925	Sir Arthur Cocks	Treasurer
14 February 1925 – 17 June 1925	Sir George Fuller	Treasurer Premier (13 Apr 1922 – 17 Jun 1925)
17 June 1925 – 18 October 1927	Jack Lang (John Thomas Lang)	Treasurer Premier (17 Jun 1925 – 18 Oct 1927)
18 October 1927 – 15 April 1929	Thomas Bavin	Treasurer Premier (18 Oct 1927 – 3 Nov 1930)
16 April 1929 – 3 November 1930	Bertram Stevens	Treasurer
4 November 1930 – 13 May 1932	Jack Lang (John Thomas Lang)	Treasurer Premier (4 Nov 1930 – 13 May 1932)
16 May 1932 – 13 October 1938	Bertram Stevens	Treasurer Premier (13 May 1932 – 5 Aug 1939)
13 October 1938 – 16 August 1939	Alexander Mair	Treasurer Premier (5 Aug 1939 – 16 May 1941)
16 August 1939 – 16 May 1941	Athol Richardson	Treasurer
16 May 1941 – 6 February 1947	William McKell	Treasurer Premier (16 May 1941 – 6 Feb 1947)
6 February 1947 – 3 April 1952	James McGirr	Treasurer Premier (6 Feb 1947 – 2 Apr 1952)
3 April 1952 – 22 October 1959	Joseph Cahill	Treasurer Premier (3 Apr 52 – 22 Oct 1959)
23 October 1959 – 28 October 1959	Bob Heffron	Treasurer Premier (23 Oct 1959 – 30 Apr 1964)
28 October 1959 – 13 May 1965	Jack Renshaw (John Brophy Renshaw)	Treasurer Premier (30 Apr 1964 – 13 May 1965)
13 May 1965 – 17 December 1975	Sir Robert Askin	Treasurer Premier (13 May 1965 – 3 Jan 1975)
17 December 1975 – 23 January 1976	Tom Lewis	Treasurer Premier (3 Jan 1975 – 23 Jan 1976)
23 January 1976 – 14 May 1976	Sir Eric Willis	Treasurer Premier (23 Jan 1976 – 14 May 1976)

Treasurer Term	Name	Office Held
14 May 1976 – 29 February 1980	Jack Renshaw	Treasurer
29 February 1980 – 2 October 1981	Neville Wran	Treasurer Premier (14 May 1976 – 4 Jul 1986)
2 October 1981 – 21 March 1988	Ken Booth	Treasurer
25 March 1988 – 24 June 1992	Nick Greiner	Treasurer Premier (25 Mar 1988 – 24 Jun 1992)
24 June 1992 – 26 May 1993	John Fahey	Treasurer Premier (24 Jun 1992 – 4 Apr 1995)
26 May 1993 – 4 April 1995	Peter Collins	Treasurer
4 April 1995 – 21 January 2005	Michael Egan	Treasurer
21 January 2005 – 3 August 2005	Andrew Refshauge	Treasurer
3 August 2005 – 17 February 2006	Morris Iemma	Treasurer Premier (3 Aug 2005 – 5 Sep 2008)
17 February 2006 – 5 September 2008	Michael Costa	Treasurer
8 September 2008 – 28 March 2011	Eric Roozendaal	Treasurer
4 April 2011 – 23 April 2014	Mike Baird	Treasurer Premier (17 Apr 2014 – present)
23 April 2014 – 2 April 2015	Andrew Constance	Treasurer
2 April 2015 – 30 January 2017	Gladys Berejiklian	Treasurer
30 January 2017 – present	Dominic Perrottet	Treasurer

#### 3.6. OCCUPATION OF SUBJECT PROPERTY

1851 – 1873: Audit Office in west leg of original building.

1851 – 1967: Treasury Department (the lowest level of the west wind was in use by

Hospitals Commissioner in 1931).

1968 – 1977: Police Department in original and west wings.

1968 – 1981: Ministry of Transport in north wing.

1977 – 1981: Conservatorium of Music in original and west wings.

1982 – present: InterContinental Hotel Sydney.

#### 3.7. HISTORICAL THEMES

Historical themes can be used to understand the context of a place, such as what influences have shaped that place over time. The Heritage Council of NSW established 35 historical themes relevant to the State of New South Wales. These themes correlate with National and Local historical themes.

Historical themes at each level that are relevant to the subject site are provided in Table 12.

Table 12 - Historical themes

Australian Theme	NSW Theme	Local Theme	Discussion
3 Developing local, regional and national economies	Commerce	Activities relating to buying, selling and exchanging goods and services	The subject property was constructed for the use as the Colonial Treasury in c.1849-1851, and occupied as such along with other Government departments until c.1967. The original colonial treasury vault in the basement level is physical evidence of its use for this purpose.
3 Developing local, regional and national economies	Environment – cultural landscape	Activities associated with the interactions between humans, human societies and the shaping of their physical surroundings	The construction of the Treasury building in the subject location is a direct response to the local cultural landscape of the period, including being located within an area dominated by Government and administration uses, close to important amenities such as Circular Quay and Government House, on a prominent ridge overlooking the city.
4 Building settlements, towns and cities	Towns, suburbs and villages	Activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages	The Original Treasury Building was the first building developed on the block bounded by Macquarie, Bridge, Phillip and Albert Streets following the demolition of First Government House and planning of the streets in this vicinity. The subject Original Treasury Building was the first Government building in this precinct, shortly followed by numerous Government agency based building, forming a centralised Government precinct in this portion of the city.

Australian Theme	NSW Theme	Local Theme	Discussion
4 Building settlements, towns and cities	Land tenure	Activities and processes for identifying forms of ownership and occupancy of land and water, both Aboriginal and non-Aboriginal	The subject properties formed part of an entirely Government owned block until the late twentieth century where numerous Government based buildings were developed.
7 Governing	Government and administration	Activities associated with the governance of local areas, regions, the State and the nation, and the administration of public programs – includes both principled and corrupt activities.	The Original Treasury Building was the first of numerous Government based buildings developed on this block, and surrounding blocks. The subject properties were utilised by the Government for many departments between c.1851 and 1967, well over 100 years. The subject buildings were also strongly tied to the surrounding Government based buildings including the Colonial (Chief) Secretary's Building.  The subject properties were occupied by a number of influential Politicians and Government figures from the Treasury Department and Premier's Department.

### 4. COMPARATIVE ANALYSIS

#### 4.1. COMPARATIVE ANALYSIS: EARLY CIVIC BUILDINGS

The Treasury buildings, including the northern and western extensions, together with the other early (colonial) sandstone buildings along Albert, Macquarie and Bridge Streets, form an important group of early civic buildings associated with the governance and administration of the colony. Together, they form one of the most important groups of sandstone buildings in the country (see Table overleaf).

The individual value of the subject site Former Treasury Buildings within this broader group can be summarised as follows:

- The Original Treasury Building constructed in c.1849-51 was the first civic building within the group to be
  located on the northern stretch of Macquarie Street following its extension north into the former
  Governor's Domain, and so provided the basis for future development of civic buildings in the precinct.
  The subject building was closely followed by the Water Police Court and the Chief Secretary's Building in
  the immediate vicinity.
- The Original Treasury Building was the first civic building to locate itself close to the centre of
  governance and administration at Government House, which was completed only four years before the
  construction of Treasury. Government House provides arguably the central role within this important
  collection of nineteenth century sandstone civic buildings, and the Original Treasury Building is unique
  for its position its close proximity, being located opposite to the Government House entrance gates and
  the Government Stables (completed in c.1821).
- The Original Treasury Building was modest in scale and of a restrained classical style commensurate with both the size of the colony at the time and the prevailing British architectural influences which influenced the Colonial Architect. However, the later extensions to the north and west along Macquarie and Bridge Streets respectively, responded to the grander and detailed architectural progression evidenced in the latter nineteenth century civic buildings (such as the Chief Secretary's Building, The Lands Building and Sydney Hospital) and the early twentieth century civic buildings (Education Building, Mitchell Library and Registrar General's) in the vicinity. The subject site is therefore unique for its ability to reflect not only the civic administration and governance of Sydney but can distinctly provide evidence of the changing stylistic tastes and scale required for various periods throughout the city's history. All of the other early civic buildings in the locality are generally of single origin in their period of construction.

The following diagram and table provide further information on the location and construction period of other buildings within this significant civic building group. The diagram indicates that Macquarie Street is the dominant city alignment for the location of these early civic buildings. This is probably due to its high position atop a ridgeline, and its proximity to important early buildings such as First Government House, as well as significant amenities including the Royal Botanic Gardens. Analysis of this diagram demonstrates how the Former Treasury buildings sit within the informal centre of this collection of important civic buildings.

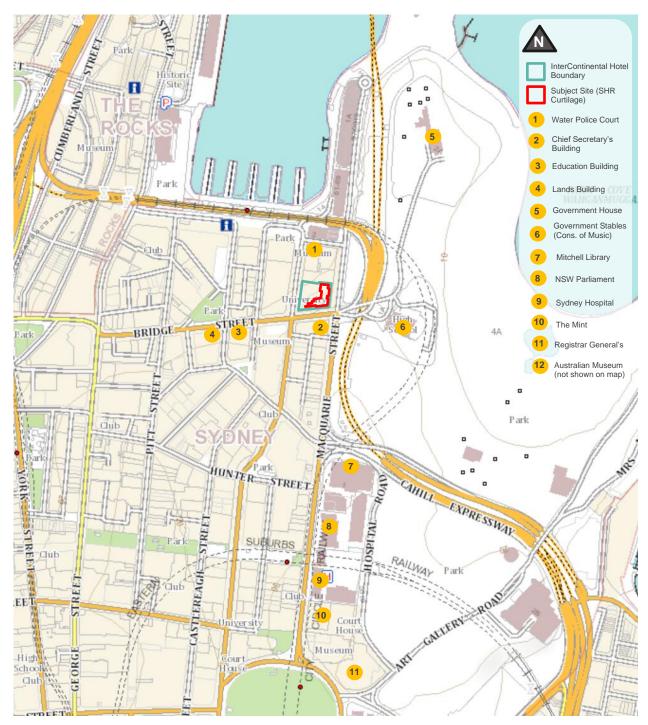


Figure 321 – Diagram identifying early civic buildings in Sydney in comparison with the subject site Source: SIX Maps 2019 with Urbis Annotations

No.	Comparative analysis table: early circle  Site	Image
1	Water Police Court c.1854 (Edmund Blacket) Water Police Station c.1858 (Alexander Dawson) Police Court c.1885 (James Barnet) Albert & Phillip Streets NSW SHR 00673	
2	Chief Secretary's Building c.1873 (James Barnet)  Macquarie Street  NSW SHR 00766	
3	The Education Department Building c.1912-14 (George McRae)  Bridge Street  NSW SHR 00726	Phinkingmedia

No.	Site	Image
4	Lands Building c.1876-92 (James Barnet)  Bridge Street  NSW SHR 00744	
5	Government House c.1845 (Edward Blore/ Mortimer Lewis)  Royal Botanic Gardens  NSW SHR 01872	
6	Government Stables (Conservatorium of Music) c.1821 (Francis Greenway)  Royal Botanic Gardens  NSW SHR 01849	

No.	Site	Image
7	Mitchell Library c.1905-10 (Walter Liberty Vernon)  Macquarie Street  NSW SHR 01071	
8	Parliament House c.1824  Macquarie Street  NSW SHR 01615	
9	Sydney Hospital c.1885  Macquarie Street  Sydney LEP 1865	

No.	Site	Image
10	The Mint c.1816  Macquarie Street  NSW SHR 00190	
11	Land Titles Building c.1912-14 (Walter Liberty Vernon)  Prince Albert Street  NSW SHR 00962	
12	Australian Museum c.1857 (James Barnet)  College Street  NSW SHR 00805	

#### 4.2. COMPARATIVE ANALYSIS: ARCHITECTURAL STYLE

#### 4.2.1. The Original Treasury Building

#### 4.2.1.1. Architectural Summary



Figure 322 Photograph of the Original Treasury Building, 2016

Source: Urbis

The Original Treasury Building is credited to Mortimer Lewis prior to his departure from the Colonial Architect's office. Mortimer William Lewis (1796 – 1879) was born in London, England and immigrated to Sydney March of 1830. Lewis was a surveyor and draftsman in London for 14 years before being appointed as the assistant surveyor in the Office of the Surveyor-General in Sydney. Lewis participated in the surveying of the Great Dividing Range before succeeding Ambrose Hallen as Town Surveyor in 1832, and then Colonial Architect in 1835. Lewis' first major work was an asylum at Tarban Creek (now the former Gladesville Hospital).

Lewis was highly influenced by Greek Revival architecture in civil buildings which can been seen in his works on Darlinghurst Courthouse, Hartley Courthouse and the Police Office, Sydney. Seminal works of Lewis's include the Australian Museum and Government House (originally designed by English architect Edward Blore).

The Original Treasury Building is an important example of Lewis's works, as one of the first known examples of the Italian Palazzo design on mainland Australia. During the period, Neo-classicism dominated the design of public buildings, and while examples of Palazzo had begun to appear (James Blackburn's Bank of Australasia in Hobart, c.1843), the Original Treasury Building appears to be the first known example in Sydney, and certainly the only example from this period in Sydney still standing. The Palazzo style of architecture refers to a symmetrical building form comprising consistent fenestration, cornicing and string-coursing, and is a revival of Italian Renaissance style of architecture.

#### 4.2.1.2. Comparative Analysis

Table 14 below contains a list of comparable examples of early Palazzo style buildings in Australia, and also international examples. It is possible that Mortimer Lewis based the design of the subject property strongly on the Traveller's Club in London, c.1829, and on James Blackburn's Bank of Australasia in Hobart, c.1843. Extracts of the elevations for both of these buildings are included hereunder along with the original Bridge Street elevation plan for the Original Treasury Building for comparison.

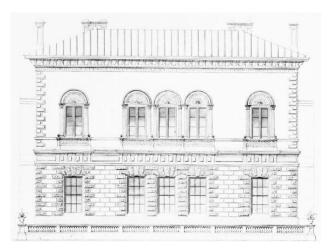


Figure 323 - Garden elevation of Charles Barry's proposed Traveller's Club, London, c.1829

Source: http://www.british-history.ac.uk/surveylondon/vols29-30/pt1/plate-85



Figure 324 – James Blackburn's Bank of Australasia in Hobart, c.1843

Source: Ritchie, G., On the Convict Trail, http://ontheconvicttrail.blogspot.com.au/2014/09/the-bankof-australasia-hobart.html

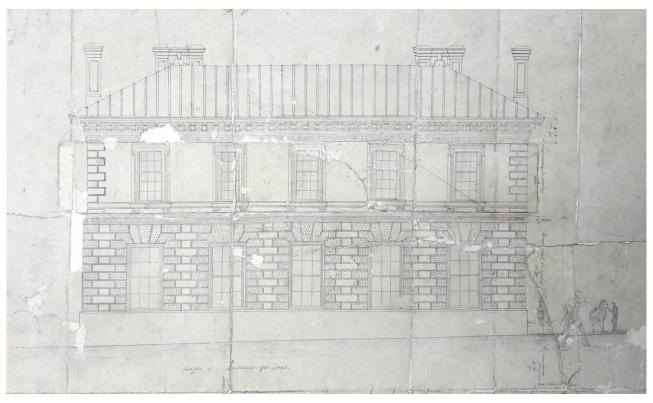


Figure 325 - Elevation of Treasury Building, facing Bridge Street, c. 1850 (not built as drawn - built instead with seven window bays and a door to Bridge Street)

Source: State Library NSW, Mitchell Library Collections, V1/Pub/Treas/2

During the mid nineteenth century, Sydney contained a number of modest Palazzo style civic buildings. All of the examples included in the below table were constructed for the use of banks. The subject Original Treasury Building pre-dates all of the examples included in the table below having been constructed in c.1849-51. The other examples in Sydney were constructed between 1853 and 1885. The subject building appears to have influenced the design of modest commerce use buildings in the colony by providing the first example of a Palazzo styled civic building. As the pinnacle of commerce administration in the colony, the Original Treasury Building's commanding and stately design was replicated by other monetary related buildings.

Of the other Sydney based examples of the typology, only the Former Bank of New South Wales at 485 George Street is extant. This building is, of the examples included in the table below, the least comparable to the Original Treasury Building as it dates to the late Victorian period (and is the latest example included) and is differentiated from the other examples by its heavy Romanesque detailing. The Original Treasury Building is therefore considered extremely rare in the Sydney context as the only surviving example of a mid nineteenth century Palazzo style civic building. The rarity value of the building is further increased through its internal remnant fabric representative of this collection of commerce-focused civic buildings, demonstrated by its intact basement vault space and other details including its Victorian imperial staircase.

The most comparable Australian example to the Original Treasury Building is James Blackburn's Bank of Australasia in Hobart, constructed in c.1843. It is very possible that this building, together with other influences from Britain, provided the architectural influence for the design of the subject building. Significantly, only ten years after the subject Original Treasury Building was completed, the new Melbourne Treasury building on Spring Street was designed and built in a similar Palazzo style (albeit on a grander scale). Across Australia, the Palazzo style was heavily adopted for commerce and banking buildings. The subject building sits within a significant nation-wide group of mid nineteenth century sandstone Palazzo style commerce buildings and is one of the earliest examples within this group.

Table 14 – Comparative Analysis Table: Early Palazzo Buildings

Site	Date	Architect	Heritage Listing & Significance	Image
SYDNEY				
Former Bank of New	1885	Varney Parkes, son	State Heritage Register: Item 00080	
outh Wales		of Sir Henry Parkes	Sydney LEP 2012: Item 1794 (incl. interiors)	
85 George Street,			An extract from the existing statement of significance for the building is included	
ydney			hereunder:	
			The former Bank of New South Wales Building, known as 485 George Street, Sydney, is	
			a rare example of a late 19th century Romanesque style commercial bank building, with	
			Manager's accommodation above. It is an important landmark building in the centre of	
			Sydney's CBD and is an integral component of the late 19th century Town Hall precinct.	
			The new bank was constructed with red face bricks and sandstone carved decorative	
			trimmings and is an exceptional example of the late Victorian Commercial Romanesque	
			Style architecture, and a balance for the Queen Victoria building at the northern end of the	
			precinct which is in a similar style. The building was designed by the architect Varney	
			Parkes, son of the famous politician Sir Henry Parkes.	
			The building has been altered and extended over the years. In 1910 an extra bay was	The supplies of the second sec
			added on the west side in Bathurst Street and the facade was increased from five to six	
			bays. This extension was designed by the well known firm of architects Robertson &	
			Marks. In 1935, there were a number of internal alterations, including a new stairwell and	
			installation of a lift, which were designed by the architects Peddle Thorp & Walker. The	
			most dramatic change to the building was after the Bank closed in 1980 and the premises	
			recycled for use as a restaurant. In 1980/81 a new mezzanine was added to the original	
			banking chamber. The new design was by architects, McConnel Smith & Johnson, with	
			interior design by Devine Erby Mazlin. 86.	State Heritage Register Inventory Form

 $<sup>^{86} \</sup> Bank \ of \ NSW \ Heritage \ Inventory \ Sheet, \ http://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=5045321$ 

Site	Date	Architect	Heritage Listing & Significance	Image
The Bank of Australasia, Sydney 259 George Street, Sydney	1858	Edmund Blacket	Demolished  Italian Palazzo. The building was designed in a symmetrical form with five bays to George Street over three levels, and five bays to Jamison Lane. The building featured a 'faux' portico and internal timber wind lock with two sets of doors, one with fanlight. Classic Palazzo design on the façade including variations in levels and cornicing. Internally the building featured coffered ceilings.  Demolished in c.1970 for the development of the site and surrounding land for the Suncorp Place development.	State Library NSW, digital order no. a089001, c.1880s
Former Bank of New South Wales 341 George Street, Sydney	1853	John Frederick Hilly	Demolished  Italian Palazzo, although at the time noted in the media as Astylar-Italian <sup>87</sup> .  The building was constructed for the Bank of New South Wales as their new Sydney headquarters on the corner of George and Wynyard Streets. The building was designed by J. F. Hilly, a leading NSW Architect who specialised in Renaissance Revival architecture in the mid nineteenth century.  Demolished in 1923 & replaced with the current Westpac Building.	State Library NSW, digital order no. d1_05349, c.1870

<sup>87 1853 &#</sup>x27;THE STREET ARCHITECTURE OF SYDNEY.', The Sydney Morning Herald (NSW: 1842 - 1954), 26 February, p. 4., viewed 17 Nov 2016, http://nla.gov.au/nla.news-article12943996

Site	Date	Architect	Heritage Listing & Significance	Image
Former Commercial Bank of Australia George Street, Sydney	1858	Edmund Blackett	Demolished  Built by Edmund Blackett in 1858 for Lebbus Hordern, one of Anthony Hordern's five sons.  Building was of brick with stone or stuccoed trim. Demolished in the mid twentieth century. The site is now occupied by the MetCentre development.	
				Herman, M., p.57
Former London Chartered Bank Corner of George and Jamison Streets, Sydney	1867	John Frederick Hilly	Italian Palazzo, but at the time, referred to as 'Mixed-Italian'.  Constructed of red sandstone with large moulded stones and string-courses. Building included a recessed porch to George Street and an entrance hall, with manager's room and board room. The central banking chamber was two stories high and lighted by a circular panelled ceiling with glass panels. A private entrance on Jamison Street provided access to six further rooms above.	Historic Houses Trust, Record no. 37848

Site	Date	Architect	Heritage Listing & Significance	Image
ELSEWHERE IN AU	JSTRALIA			
Former Bank of Australasia 143 Macquarie Street, Hobart TAS	1843	James Blackburn	Tasmanian Heritage Register: Place ID 103 Within a Heritage Area on the Hobart Interim Planning Scheme 2015 Palazzo design. The building contained a combined banking chamber and banker's residence. Currently adaptively re-used as the Queen Mary Club.  The Macquarie Street Conservation Area is significant for:  • the intact early streetscape elements and buildings that form the basis for the conservation area  • the quality and variety of built forms from a range of periods that make up the homogenous streetscape  • the large number of heritage items and contributory buildings  • the pivotal role of the street in defining the commercial, retail and many of the social functions of the South Hobart area  • the large number of views and vistas both to and from the street that are characteristic of the South Hobart streetscape and landscape <sup>88</sup>	Ritchie, G., On The Convict Trail, http://ontheconvicttrail.blogspot.com.au/2014/09/the-bank-of-australasia-hobart.html

<sup>88</sup> Paul Davies Pty Ltd, South Hobart Heritage Study Final Report

Site	Date	Architect	Heritage Listing & Significance	Image
Melbourne Club 36 Collins Street, Melbourne	1858	Leonard Terry	Victorian Heritage Register Number H0030 Heritage Overlay H0565  Italian Palazzo design. Building located over four levels (including a sunken basement level with rough faced sandstone). Good condition and well maintained. The existing statement of significance is included hereunder:  The Melbourne Club's clubhouse is of architectural significance as a rare intact example of a nineteenth century purpose-built clubhouse. Externally the Melbourne Club clubhouse is of particular interest for its stylistic links to Charles Barry's Traveller's and Reform Clubs in London. Internally the building is relatively intact, its layout and internal planning demonstrating the operation of a gentlemen's club. The Melbourne Club is of architectural significance as a notable work of distinguished Melbourne architects, Leonard Terry. The main dining room wing with canted bay to the street by architects Terry and Oakden is the most notable of later additions and alterations epitomising the classical style of Leonard Terry. The building is important for its intact fittings and fixtures from early decorative schemes, particularly bathrooms dating from 1858 and 1883. Elements of particular note include the main dining room, which includes elaborate overmantels designed by Leonard Terry, the main stair, which retains its original detailing, the 1914 lift and the elegant verandah to the garden.  Established in 1838, the Melbourne Club is of historical importance as the oldest surviving gentlemen's club in Victoria. The establishment of a gentleman's social club based on the London principles represented a declaration of the shared belief of its founders in the importance of social class and the notion of gentility in early colonial society. The Melbourne Club is of social significance as its members have included many of Victoria's wealthiest and most influential citizens. These have included leading pastoralists, men prominent in the spheres of politics and public affairs, and leading representatives of the professional and business s	Source: walkingmelbourne.com.au & http://vhd.heritage.vic.gov.au/places/result_detail/64594?print=true

<sup>89</sup> http://vhd.heritage.vic.gov.au/places/result\_detail/715

Site	Date	Architect	Heritage Listing & Significance	Image
Melbourne Treasury	1862	John James Clark	Victorian Heritage Register Number H1526	
20 Spring Street,			The Treasury Reserve Precinct is of historical, architectural and scientific (technical)	
Melbourne			significance to the State of Victoria. Three storey sandstone building in Italian Palazzo	
			design featuring recessed arched bays to Spring Street from the later Victorian influence.	Lata Dille
			The existing statement of significance is included hereunder:	
			The Treasury Building was erected by the Public Works Department (PWD) from 1857-62.	
			The contractor was R Huckson. It consists of three floors with basement and is faced with	
			Bacchus Marsh freestone. The building as we know it is not identical to that designed by J	The state of the s
			J Clark in 1857. Austerity measures in the P W D initiated by Wardell in 1859 resulted in	
			the removal of the attic floor and roof balustrade. The terraces and approaches were	
			constructed in 1867. Despite alterations to its design, the Treasury remains the finest	
			conservative classical style building in Australia and a masterpiece of the architect, John	
			James Clark, and the PWD.	
			The recessed arcade is the principal feature of the building and the motifs used are	
			derived from the Italian Renaissance and mannerist periods. The freestone facades which	
			have mellowed beautifully with age are finely executed. The building terminates Collins	
			Street and is surrounded by handsome terraces and lamp standards. The Treasury	
			Building is intact and in excellent condition <sup>90</sup> .	
				State Library Victorian Image H2001.20.325

<sup>90</sup> VIC Heritage Register Inventory Sheet, http://vhd.heritagecouncil.vic.gov.au/places/65601#statement-significance

Site	Date	Architect	Heritage Listing & Significance	Image
Bank of New South Wales Corner George and Russell Streets, Bathurst NSW	1860	Edmund Blacket	Demolished  The two storey building was 56 feet square and included a basement strong room, banking chamber, manager's room, living rooms and kitchen. When the bank of New South Wales moved to William Street, the property was sold and demolished to make way for a contemporary commercial building to be occupied by the Western Advocate.  Now a commercial building.	State Library NSW, digital order no. a2824892, ca.1870-75
Bank of New South Wales 373 High Street, Maitland	1858	Edmund Blacket	Demolished  Stone building over three levels in an Italian Palazzo design with projecting front portico.	Newcastle Region Libraries, image no. oai:kesoftware.com:EMu.NRM.catalogue.irn.24273

Site	Date	Architect	Heritage Listing & Significance	Image			
INTERNATIONAL	NTERNATIONAL						
The Traveller's Club  106 Pall Mall,  London England	1826	Sir Charles Barry	Grade I Heritage Listed Item 1266151 under Planning (Listed Buildings and Conservation Areas) Act 1990  The present building was opened in 1832 to much acclaim. The Pall Mall elevation of The Travellers is inspired by Raphael's Palazzo Pandolfini in Florence, and the garden elevation owes much to Venetian influence, after his return from the Grand Tour. Barry received just under £1,500 for his work, and became a member of the Club in 1834.  The principal rooms still retain many of the original features, with fine examples of mahogany furniture and light fittings designed by Barry himself, having been adapted from oil to gas and finally to electricity. The handrail fitted to the main staircase, for the benefit of the old and infirm Prince Talleyrand, survives as a tangible reminder of Lord Castlereagh's original intentions <sup>91</sup> .				

<sup>&</sup>lt;sup>91</sup> http://www.thetravellersclub.org.uk/architecture

#### 4.2.2. Later Additions to the Treasury

## 4.2.2.1. The Link Building and Strong Room Building (Northern Wing) – Architectural Summary

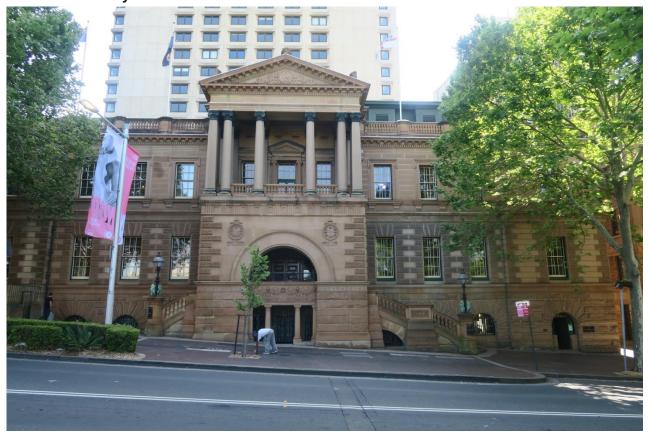


Figure 326 – Photograph of the Northern Wing Extension, 2016

Source: Urbis

The Strong Room Building and Link Building extensions were designed by the Government Architect Walter Liberty Vernon, and were constructed in c.1896 and c.1899 respectively. Walter Liberty Vernon (1846 – 1914) was born in England and immigrated to Sydney in 1883. Between 1884 and 1889 he partnered with W. W. Wardell, and in 1890 was appointed the Government Architect in the newly formed Department of Public Works. Notable buildings of Vernon's include Sydney's Central Station, the Female Convalescent Ward at Gladesville Hospital, Jenolan Caves House and Darlinghurst Police Station.

During his term in office Vernon made a very significant contribution to public architecture in NSW and he also played an important role in the introduction of the new discipline of town planning and the ideals of the garden city and the garden suburb.<sup>92</sup>

The Strong Room Building and Link Building are fine examples of late nineteenth century classical architecture. While the exterior was constructed in a referential style emulating the Original Treasury Building and therefore does not distinguish itself as a characteristic or seminal piece of Vernon's work, the imposing sandstone and colonnaded portico with tympanum pediment to Macquarie Street, along with the sandstone parapet are distinctly classical additions to the earlier Palazzo typology of the main form. The exterior of this building is highly intact and of high integrity. The interiors, particularly the Premier's Room are fine examples of early Federation detailing.

The colonnaded arcade along the Link Building's western façade is a distinctive addition reflecting Vernon's architectural style in its classical composition, use of sandstone and red brick and intricate carvings. The inclusion of the arcade and the front portico differentiate the Link Building from its base Palazzo typology and reflect the grandeur of late classical architecture.

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<sup>92</sup> Boyd, N 2010, No Sacrifice in Sunshine: Walter Liberty Vernon Architect 1846-1914

#### 4.2.2.2. The Western Wing - Architectural Summary



Figure 327 – Photograph of the Western Wing Extension, 2016

Source: Urbis

The Western Wing was designed and constructed in c.1916-1919 by George McRae, Government Architect and Walter Liberty Vernon's protégé. George McRae (1858 – 1923) was born in Edinburgh and immigrated to Sydney in 1884. He worked as an assistant in the Sydney City Architect's Office from 1884, before he was appointed the City Architect in 1889. McRae contributed to some of the most iconic public buildings in Sydney during this period, including the Sydney Town Hall and The Queen Victoria Building.

McRae joined Walter Liberty Vernon in the Government Architect's Office in 1897 as the principal assistant architect, before succeeding Vernon in the post of Government Architect in 1912. He held this position until his death in 1923. During his term as Government Architect, McRae contributed to notable buildings such as the Education Department Building and the Free Classical Parcels Post Office building at Railway Square, Sydney. The Western Wing is not one of McRae's seminal works.

Similarly to the Link Building and Strong Room, the Bridge Street façade of the Western Wing building also borrows from the earlier Palazzo typology of the Original Treasury Building and remains an accomplished and sympathetic extension. The exterior of this building is highly intact and of high integrity, however it lacks any grand additions like the northern wing extension. Internally, the Western Wing is comparatively sparse in decoration and embellishment, a reflection of its war-time period of construction and economy.

#### 4.2.2.3. Comparative Analysis

Both the northern and western wing extensions of the Treasury complex (late Victorian and early twentieth century respectively), have based their designs on an adoption of the core Palazzo principles of the Original Treasury Building. However, the northern wing includes strong classical elements reflective of the period of construction in the 1890s. The table below at Table 15 includes a range of classical styled buildings constructed in Sydney and other locations in the late Victorian period. These examples provide evidence of classical elements adopted in the northern wing extension of the Treasury by Vernon in his design.

The Chief Secretary's building located opposite the subject site includes a colonnaded and arched arcade to all principal frontages. This detail is very similar to the colonnaded arcade to the rear of the northern wing extension. The Mitchell Library (also Vernon) and other international examples (primarily the Accrington Town Hall in Lancashire) include substantial and imposing colonnaded and pedimented portico. The subject northern extension is a unique example of the style as it combines the early Palazzo influences with classical addition.

Table 15 – Comparative Analysis Table: Classical Civic Buildings

Site	Date	Architect	Heritage Listing & Significance	Image
Chief Secretary's	1873	James Barnet	NSW State Heritage Register: 00766	
Building			Sydney Local Environmental Plan: Item 1872	
424 Maggueria			National Trust Register: ID 6100	
121 Macquarie Street, Sydney			The existing statement of significance is included hereunder:	
			The Chief Secretary's building is of national significance by reason of its historic, social, architectural,	
			aesthetic and scientific values. It embodies, by its construction for and association with, pre-eminently	
			important office and department of the Colonial, later Chief Secretary. This most enduring of political and	
			administrative institutions achieved, through its expansion and growing politicisation, the most far	
			reaching powers of any of the administrative departments of the Colonial bureaucracy. The decisions	
			made in this department affected every level of society in the colony.	
			After the institution of responsible government in 1856 the office of the Chief Secretary was almost	nnn a mu
			continuously held until the twentieth century by the Premier of NSW further underlining its important role.	2 000 3 00
			Several outstanding figures in NSW political life held this office and through it, and the role of the	
			Premier, were able to campaign for the most important political agendas of the time, including, but not	
			exclusively, economic and land reform and Federation.	
			The locations, size and lavish treatment graphically demonstrate the importance of the departments that	
			were housed there, the social hierarchy of its occupants as well as the practical workings of the fully	
			developed late nineteenth century bureaucracy. The interior finish demonstrates refinement of public	Source: Heritage Inventory Sheet
			taste. Its continual occupation as government offices through to the twentieth century make it possible to	
			demonstrate, through changes made to the fabric, changing community practices such as greater	
			opportunities for women in the workforce.	
			The building is one of the most significant late nineteenth century architectural works in Sydney. It	
			embodies two of the most significant projects of Barnet and Vernon and was ranked, by contemporary	
			accounts, with pre-eminent public works of the time such as the GPO. It remains a dominant element in	
			the Victorian streetscapes of this part of Sydney <sup>93</sup> .	

<sup>93</sup> Chief Secretary's Building Heritage Inventory Sheet, http://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?id=5045423

Site	Date	Architect	Heritage Listing & Significance	Image
Mitchell Library	1905	Walter Liberty	NSW State Heritage Register: 01071	
(State Library of		Vernon	Sydney Local Environmental Plan: Item 1950	
NSW)			National Trust Register: ID 6386	
1 Shakespeare			The existing statement of significance is included hereunder:	
Place, Sydney			The public library of New South Wales houses a public facility initiated in 1869, and is one of the most	新门里
			important libraries in Australia. It was the second purpose built library and the only one remaining public	
			library in Sydney dating from the early twentieth century. The building is still in use and has a lengthy	
			association with several historically important persons such as Government Architect WL Vernon. It is	
			significant for the prominent position it occupies at the termination of one of the most historically important streetscapes in Australia.	Source: Heritage Inventory Sheet
			The building is of aesthetic significance reflecting important stylistic influences on architecture of the	
			twentieth century. The library is a recognised symbol in Sydney having had a long association with the	
			provision of library services to the local and regional community of New South Wales. The building	
			development and interior layout of the progressive stages of building reflects the changing attitudes to	
			library planning theory. It is significant as one of the only Government buildings in the Federation	
			Academic Classical styles. Only two of these are cultural buildings, the other being the Art Gallery of	
			NSW <sup>94</sup> .	
Customs House	1902	Shield & Baker	Tasmanian Heritage Register 2255, also part of the 6648 Tasmanian Museum and Art Gallery Complex	+
Davey & Dunn			The old Customs House building is over two storeys with exposed ashlar sandstone facades. The	
Streets, Hobart			building is broken into window bays separated by ionic relief sandstone pilasters and has a central	
,			sandstone portico. The building features a sandstone parapet and intricate carving. The building has	
			landmark qualities situated on Davey Street and facing Hobart's Harbour	
				Source: Flickr

<sup>94</sup> State Library of NSW Heritage Inventory Sheet, http://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?id=5045212

Site	Date	Architect	Heritage Listing & Significance	Image
Town Hall  King William  Street,  Adelaide	1863-66	E. W. Wright	SA State Heritage Register 10859; Heritage No. 1622  The foundation stone for the Adelaide Town Hall was laid on May 4, 1863 and was cut from the Tea Tree Gully quarry. That stone was later covered by the construction of the Albert Tower – named after Queen Victoria's late husband Prince Albert – which stands at 44m tall. The Adelaide Town Hall was officially opened on 20 June, 1866 and was considered the "largest municipal building south of the Equator" at the time. The Albert Tower was also significant as the only civic building outside of England to house a full peal of eight bells. Today it also holds a three-faced clock, donated by Sir J. Lavington Bonython in 1935. The Adelaide Town Hall incorporated four other buildings on the same site: the Prince Alfred Hotel, the Queens Chambers, the Eagle Chambers and the Gladstone Chambers.	Source: http://heritagewatch.net.au/news/
Accrington Town Hall Blackburn Road, Lancashire, England	1857-58	James Green	Grade II* Heritage Listed Item 1362011 under Planning (Listed Buildings and Conservation Areas) Act 1990  Originally the Peel institute becoming the town hall in 1865. Stone construction over two stories.	Dan, 2014, 'Wanderers in time and place' website

<sup>95</sup> http://www.adelaidetownhall.com.au/information/about/

# 4.3. COMPARATIVE ANALYSIS: TREASURY IN AUSTRALIA

Table 16 below provides detail of the other Treasury offices throughout Australia. The Original Treasury Building is the second earliest Treasury office in Australian and the earliest on mainland Australia. The only other Treasury office which predates the subject site is the Murray Street Treasury office in Hobart. Constructed in c.1843, this building was designed by James Blackburn (in conjunction with John Lee Archer), the architect responsible for the Bank of Australasia in Hobart (also c.1843) referred to as one of the principal influences of the Original Treasury Building's style (discussed in Section 4.2.1.2 above).

The Hobart Treasury also demonstrates aspects of the Palazzo style adopted for the Original Treasury Building and could be considered as one of the early stylistic templates for this building typology. As discussed in Section 4.2.1.2 above, the new Melbourne Treasury building on Spring Street was designed and built in a similar Palazzo style (albeit on a grander scale).

A number of the Treasury buildings have ceased their original commerce function and have been adaptively reused. The subject Treasury Buildings are one of four adapted hotels within former Treasury buildings in Australia, including the Adelaide Treasury and Perth Treasury. The Brisbane Treasury has been converted into a casino and hotel.

The subject Former Treasury Buildings are an important and early contributor to the collection of Treasury buildings in Australia, and the fabric of the subject buildings reflects the adopted stylistic principles applied to these civic commerce-driven buildings in the nineteenth century. The subject buildings are important as one of the earliest surviving examples of a Treasury office in Australia and are also representative of the convention for adaptive reuse of these spaces for alternative public uses such as hotels.

Table 16 – Comparative Analysis Table: Treasuries in Australia

Site	Date	Architect	Heritage Listing & Significance	Image
Melbourne Treasury 20 Spring Street, Melbourne	1862	John James Clark	Victorian Heritage Register Number H1526 Listed on the Register of the National Estate  The Treasury Reserve Precinct is of historical, architectural and scientific (technical) significance to the State of Victoria. Three storey sandstone building in Italian Palazzo design featuring recessed arched bays to Spring Street from the later Victorian influence.  The existing statement of significance is included hereunder:	
			The Treasury Building was erected by the Public Works Department (PWD) from 1857-62. The contractor was R Huckson. It consists of three floors with basement and is faced with Bacchus Marsh freestone. The building as we know it is not identical to that designed by J J Clark in 1857. Austerity measures in the P W D initiated by Wardell in 1859 resulted in the removal of the attic floor and roof balustrade. The terraces and approaches were constructed in 1867. Despite alterations to its design, the Treasury remains the finest conservative classical style building in Australia and a masterpiece of the architect, John James Clark, and the PWD.	
			The recessed arcade is the principal feature of the building and the motifs used are derived from the Italian Renaissance and mannerist periods. The freestone facades which have mellowed beautifully with age are finely executed. The building terminates Collins Street and is surrounded by handsome terraces and lamp standards. The Treasury Building is intact and in excellent condition <sup>96</sup> .	State Library Victorian Image H2001.20.325

<sup>&</sup>lt;sup>96</sup> VIC Heritage Register Inventory Sheet, http://vhd.heritagecouncil.vic.gov.au/places/65601#statement-significance

Site	Date	Architect	Her
Treasury on King	c. 1839- 1907	Colonial Architect	South
William and Adina		E.A. Hamilton	Listed
Apartment Hotel			
Adelaide Treasury			The S
(Former Treasury		C.E. Owen Smith	signific
Building including			Free C
former Cabinet			above
Room and			redeve
Courtyard)			The ex
142-160 King			The fo
William Street,			1960s
Adelaide			it curre
			house
			Attorn
			in the
			associ
			of the

# Heritage Listing & Significance

South Australian Heritage Register Heritage Number 1621 Listed on the Register of the National Estate

The South Australian former Treasury building is of historical, associative, and architectural significance to the state of South Australia. It is a multi-storey sandstone building in Victorian Free Classical style with quoins and aedicule windows on the street facing façade and a parapet above the central building. The building now operates as a hotel and has undergone several redevelopments and refurbishments to make it fit for purpose.

The existing statement of significance is included hereunder:

The former Treasury Building was built in stages from 1839 to 1907, and from 1839 until the late 1960s stood at the centre of the State's administrative and governmental affairs. The building as at currently appears is principally post 1858, but one internal wall dates from 1839. Over time it thoused the Colonial Secretary's Office, Treasury, Survey, Crown Lands, Public Works and Attorney-General's offices. It was the end point for the gold escorts from the Victorian goldfields in the 1850s and housed the Cabinet Room from 1876 until 1968. The building has a strong association with exploration and surveying, the sale and management of land, the development of the State's agricultural and pastoral industries, and executive government.<sup>97</sup>

## **Image**



South Australian Former Treasury Building, 1890

Adelaide City Council Archives, HP0\HP0079



South Australian Former Treasury Building, King William Street, South Australian Archives

<sup>97</sup> http://maps.sa.gov.au/heritagesearch/HeritageItem.aspx?p\_heritageno=1621

Site D	Date	Architect	Heritage Listing & Significance	Image
Treasury Building c. (Former)  21 Queen Street, Brisbane QLD	.1869-1928	Colonial Architect John James Clark	Queensland Heritage Register Item Number 600143  Listed on the Register of the National Estate  The former Treasury Building has historical, architectural and social significance to the State of Queensland. The building is a four storey Helidon sandstone building in the Victorian Free Classical style in the Queen's Park Precinct. The internal section is deeply inset behind the ornate arches and colonnade of the fenestration. The building has since been converted to casino.	
			The existing statement of significance is included hereunder:  The Treasury Building is important in demonstrating the evolution and pattern of Queensland's history being a visual expression of Queensland aspiration and pride in the rapid progress of the colony since 1859. The building is prominent physical evidence of Queensland's rapid economic growth and associated government confidence and enterprise in the 1880s. The physical intactness of the building, particularly in the interior spaces, demonstrates the working of Queensland executive and administration government in the late nineteenth century. As an intact late nineteenth century building, whose continuity of design has been preserved over three stages, the Treasury Building demonstrates a rare aspect of Queensland's cultural heritage. The Treasury Building is important in demonstrating the principal characteristics of Italian Renaissance style in late nineteenth century Australian public buildings and is an outstanding example of its type. The building is important in exhibiting particular aesthetic characteristics valued by the community, and by architectural historians in particular, namely the accomplished design, detailing, materials and workmanship and its landmark quality and townscape contribution, particularly in relation to the adjacent buildings and sites and to the river. The Treasury Building is important in demonstrating a high degree of creative achievement, being a major work by foremost Australian architect JJ Clark. The Treasury Building has a strong and special association with the role and prestige of government, being a popular symbol of accountable self-government in Queensland for over a century, and an integral member of the most prominent, important and cohesive group of government buildings in Queensland. Both site and building have had a special association with authority, government and administration in Queensland since 1825.	Queensland Treasury Building, c.1900 Brisbane Library, BCC-CD4-AC6

Complex/Public Building Adjacent to Franklin Square 21 Murray Street,	Site	Date
Complex/Public Building Adjacent to Franklin Square 21 Murray Street,	Murray Street Public	C. 1834
Building Adjacent to Franklin Square  21 Murray Street,	Buildings	
Franklin Square 21 Murray Street,	Complex/Public	
21 Murray Street,	Building Adjacent to	
	Franklin Square	
Hobart	21 Murray Street,	
	Hobart	

## **Date**

John Lee Archer

James Blackburn

# Architect

# **Heritage Listing & Significance**

Tasmanian State Heritage Register Place ID 2468

Listed on the Register of the National Estate.

The Tasmanian Treasury Buildings forms part of the Franklin Square Offices on Murray Street Hobart. The Treasury was moved to the Franklin Square Public Office Buildings in the mid-19th century. The building is in a Palazzo style with decorative lintels on the ground floor windows, a parapet, and a later columned portico designed by James Blackburn. Several alterations and extensions have taken place introducing a variety of new materials. The building is of historical, architectural and social importance to the State of Tasmania.

The existing statement of significance is included hereunder:

The Franklin Square Offices are of historic cultural heritage significance because they demonstrate the pattern of Government administration in Tasmania from Colonial times through to the present. The Franklin Square Offices are of historic cultural heritage significance because they include some of the earliest surviving purpose-built public buildings in Australia. The Franklin Square Offices are also of heritage significance because they are the earliest government buildings in Australia to be continuously occupied by a state government.

The Franklin Square Offices are of historic cultural heritage significance because several of the buildings are excellent demonstrations of 19th and early twentieth century styles of architecture. The Franklin Square Offices are of historic cultural heritage significance because some buildings demonstrate a high degree of technical and creative achievement -for example the early use of reinforced concrete; and the innovative fire-proofing of windows. The Franklin Square Offices are of historic cultural heritage significance because their townscape contribution, particularly to Macquarie Street, Murray Street and Franklin Square public park are important to the communities [sic] sense of place. The Franklin Square Offices are of historic cultural heritage significance because of their association with many important early government administrators who worked there or who brought about the construction of the buildings. The Franklin Square Offices are of also of historic cultural heritage significance because of their association with several designers important to Tasmania's history. They include John Lee Archer, James Blackburn, William Pordan Kay, William Rose Falconer, William Waters Eldridge, George Salier and Sydney Blythe-all who designed buildings or extensions there. 98

## **Image**



Government Offices. Franklin Square, c. 1900 Office of the Premier of Tasmania



Treasury Building Detail, c 2017

Site	Date	Architect	Heritage Listing & Significance	Image
Old Treasury Building, Central Government Offices Complex (Department of Land Offices)	c. 1874- 1890	Richard Roach Jewell  George Temple Poole	Western Australian Heritage Register, Heritage Place Number 4275  Listed on the Register of the National Estate  The Old Treasury Building forms part of the Central Government Offices in the Cathedral Precinct Perth. The building is brick and stucco, designed in Victorian Second Empire style with	
Cathedral Precinct, Barrack Street			quoins, dormers, double hung windows and a mansard roof. The treasury is of historical, architectural and social significance to the State of Tasmania. The building now functions as a hotel.  The existing statement of significance is included hereunder:  Over their 140-year history, the State Buildings (also known as the Central Government Offices	Old Treasury Building, c. 2016  Built Construction
			and Old Treasury Buildings) have been used as Public Offices, a Police Court and cellblock, Treasury, Survey Department, GPO, Immigration Offices, office of the Premier and Cabinet, Lands Department and Titles Building. However, towards the end of the 20th century, the buildings were vacated and stood empty for nearly two decades.	
			Starting with just three small buildings to run all of State Government business, various additions were made to the site on the corner of Barrack Street and St Georges Terrace, firstly in 1874, designed by Richard Roach Jewell. It was not until 1890 that the complex started to take on its more familiar look, when architect George Temple Poole drew up plans for a new General Post Office in the French Second Empire Style.	
			More buildings, and sometimes additional storeys to existing buildings, were added, and in 1904 the facades of the older buildings were remodelled to match Poole's GPO, giving State Buildings its much-admired elevations, which remain today. During the last half of the 20th century, various government departments left the building for new accommodation, with the last being the Department of Land Administration which moved to new premises in Midland in 1993. After this, the site was empty for nearly two decades and a variety of proposals for its redevelopment never saw the light of day. However, it now has a new lease of life with a variety of upmarket bars, cafes and retail spaces, including the luxury COMO The Treasury Hotel. <sup>99</sup>	

<sup>98</sup> http://www.premier.tas.gov.au/\_\_data/assets/pdf\_file/0017/356003/Franklin\_Square\_Conservation\_Management\_COMPLETE.pdf
99 https://heritageperth.com.au/properties/state-buildings/

# Site Commonwealth Avenue Offices (Treasury Building) King Edward Terrace, Parkes

#### Architect Date

Fowell, Mansfield,

Maclurcan (1961)

Jarvis and

c. 1963-1970

# **Heritage Listing & Significance**

Located in National Land in a Designated Area, as such is not listed on the Australian Capital Territory Heritage Register

Not listed on the Register of the National Estate

The building consists of five interconnecting structures of varying heights. The most prominent of which, the street facing building is constructed of polished granite and is clad on the upper levels in pink granite and ashlar sandstone, with recessed aluminium windows, sculptures and a copper sheet roof. The Building has historical and aesthetic significance to the Australian Capital Territory and has significant placement within the Parliamentary Triangle of Walter Burley Griffin's plan for central Canberra.

The existing statement of significance is included hereunder:

The Treasury Building has been assessed as having significant historic and aesthetic heritage values that are derived from its connection with Walter Burley Griffin's plan for Canberra, its strong expression of the Late Twentieth Century stripped Classical style of architecture and its visual and physical relationship with the John Gorton Building in the context of the Parliament House Vista. Key features of this architectural style that are displayed by the building include: the symmetrical facades; the horizontal skyline; the division of the elevations into vertical bays; the use of a basic column form; the expressed porticos; simple surface treatments including fine jointed dressed sandstone ashlar and polished granite blocks; anodised windows and subdues spandrels between the storeys which emphasise verticality. Design elements that retain a high level of integrity include the exterior, foyers, stairwells, central corridors on Level 1 (Parkes Place West entry) and the ground floor (Newlands Street and Kind Edward Terrace entries). 100

#### **Image**



Treasury Building Canberra, 2012 Department of Finance



Treasury Building, 1974 ACT Heritage Library

<sup>100</sup> https://www.finance.gov.au/sites/default/files/hmp-treasury.pdf

# 5. CULTURAL HERITAGE SIGNIFICANCE

Before making decisions to change a heritage item, an item within a heritage conservation area, or an item located in proximity to a heritage listed item, it is important to understand its values and the values of its context. This leads to decisions that will retain these values in the future. Statements of heritage significance summarise the heritage values of a place; why it is important and why a statutory listing was made to protect these values.

# 5.1. LEVELS AND GRADING OF SIGNIFICANCE

The Heritage Council of NSW recognises four levels of heritage significance in NSW: Local, State, National and World. The level indicates the context in which a heritage place/item is important (e.g. local heritage means it is important to the local area or region). Heritage places that are rare, exceptional or outstanding beyond the local area or region may be of State significance.

In most cases, the level of heritage significance for a place/item has a corresponding statutory listing and responsible authority for conserving them. Various elements of the subject property have been graded below in relation to their contribution to the site's overall heritage significance. Elements include buildings, structure, landscape and equipment that are located within the site's curtilage.

Different components of a place may contribute in different ways to its heritage value as follows:

Table 17 – Gradings of significance definitions

Grading	Justification
E (Exceptional)	Rare or outstanding element directly contributing to an item's local or State listing.  They retain a high degree of integrity and intactness in fabric or use. Any change should be minimal and retain significant values or fabric.
H (High)	High degree of original fabric. Demonstrates a key element of the item's significance.  Alterations do not detract from significance
	They have a high degree of original fabric or they retain their original use. Alterations do not detract from significance.
M (Moderate)	Altered or modified elements. Elements with little heritage value, but which contribute to the overall significance of the item
	They may have been altered but they still have the ability to demonstrate a function or use particular to the site. Change is allowed so long as it does not adversely affect the place's overall heritage significance.
L	Alterations detract from significance. Difficult to interpret.
(Little)	Element may be difficult to interpret or may have been substantially modified which detracts from its heritage significance. Change is allowed so long as it does not adversely affect the place's overall heritage significance.
N (Neutral)	Elements do not add or detract from the site's overall heritage significance. Change allowed.
(1-(	Damaging to the item's heritage significance.
(Intrusive)	Elements are damaging to the place's overall heritage significance; can be considered for removal or alteration.

Each element's significance has been graded having specific regard to its contribution to the overall significance of the property, its period of construction and its condition. We have identified the corresponding time period and condition status for the elements as follows:

Table 18 – Definitions of time periods

Acronym	Corresponding period
ОТ	Original to the Treasury Building (c.1849-1851) (including Portico in 1870s)
os	Original to the Strong Room Building (c.1896-1898)
OL	Original to the Link Building (c.1898-1899)
OW	Original to the Western Wing (c.1916-1919)
NC	Nineteenth Century Addition
ETC	Early Twentieth Century Addition (c.1900 – 1930)
MTC	Mid Twentieth Century Addition (c.1931 – 1960)
LTC	Late Twentieth Century Addition (c.1961 – 2000)
С	Contemporary c.2001 to present date
?	Date unclear

Table 19 – Gradings of condition definitions

Grading	Justification
E (Excellent)	Element has no defects. Condition and appearance are stable and not deteriorating.
G (Good)	Element exhibits superficial wear and tear, minor defects, minor signs of deterioration to surface finishes, but does not require major maintenance. No major defects exist.
F (Fair)	Element is in average condition. Deteriorated surfaces require attention. Services are functional but require attention. Deferred maintenance work exists.
P (Poor)	Element has deteriorated badly. Serious structural problems exist. General appearance is poor with eroded protective coatings. Elements are defective, services are frequently failing, and significant number of major defects exists.
VP (Very Poor)	Element has failed. It is not operational and is unfit for occupancy or normal use.
U	Unknown. Unable to access to assess condition.

# **5.2. SIGNIFICANCE DIAGRAMS**

The following plans identify and grade the significant elements and spaces of the place. The CMP study area, and its significance assessment of elements, only relates to the buildings and spaces located within the existing SHR curtilage. There is one exception to this approach only, being the cortile space, which has been assessed at a very high level given its inclusion of early elements (i.e. caged lift and stair) and its direct interface with the rear arcade of the Former Treasury Buildings. The tower and podium of the 1980s' hotel building, which are located outside of the SHR curtilage, are excluded from the subject site assessed in this CMP, have not been assessed for their potential heritage significance, and are not included in the schedule of significant elements or significance diagrams.

For a detailed schedule of the significance gradings, refer to **Appendix B**.

Significance diagrams have been split into two sets:

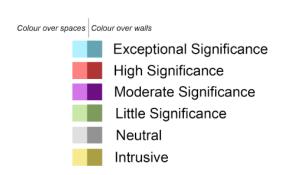
- 1. Significance grading of visible fabric (walls, floor coverings, windows, doors etc).
- 2. Significance grading of building form and spaces.

# 5.2.1. Significance Diagrams – Visible Fabric

The following significance diagrams show the various gradings applied to visible fabric.

# Significance Gradings

Grading of visible fabric



Note: these significance grading diagrams are indicative only and are supplementary to the full schedule of significant elements, spaces and building form included at Appendix B of the CMP.

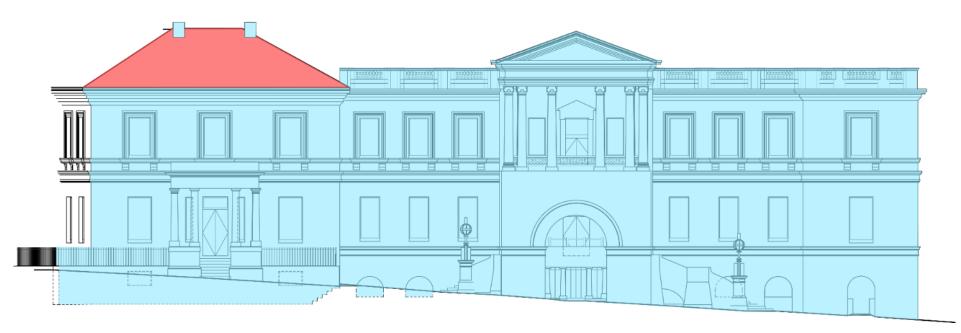
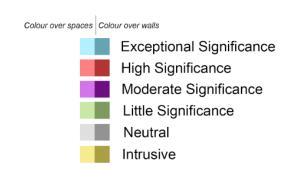


Figure 328 – Grading Diagrams – Grading of Visible Fabric (Macquarie Street Façade)

# Significance Gradings

Grading of visible fabric



Note: these significance grading diagrams are indicative only and are supplementary to the full schedule of significant elements, spaces and building form included at Appendix B of the CMP.

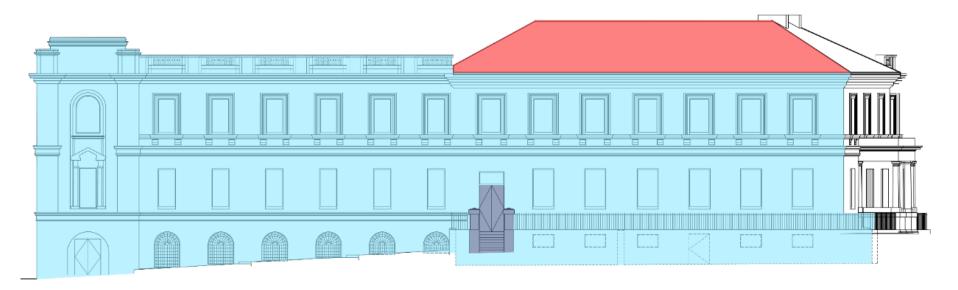


Figure 329 – Grading Diagrams – Grading of Visible Fabric (Bridge Street Façade)

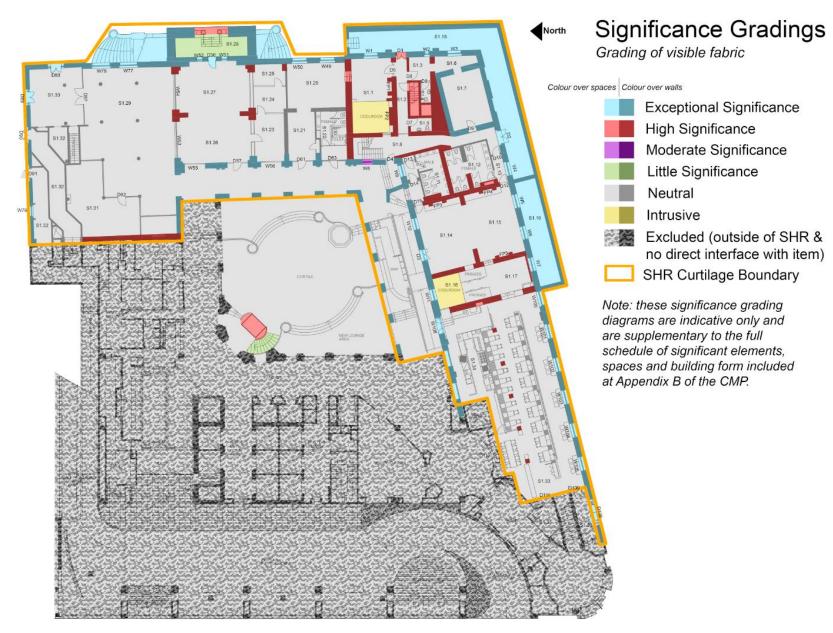


Figure 330 – Grading Diagrams – Grading of Visible Fabric (Basement Level)

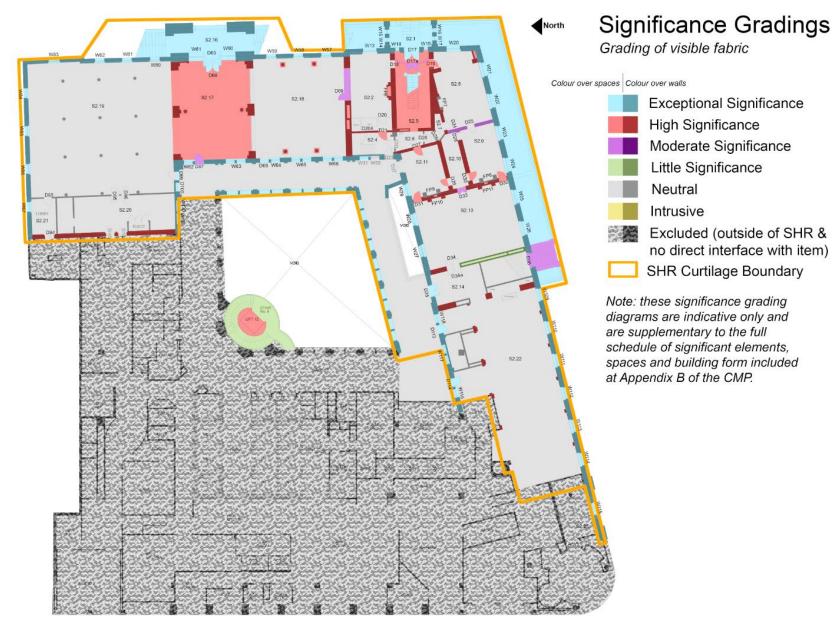


Figure 331 – Grading Diagrams – Grading of Visible Fabric (Ground Floor)



Figure 332 – Grading Diagrams – Grading of Visible Fabric (First Floor)

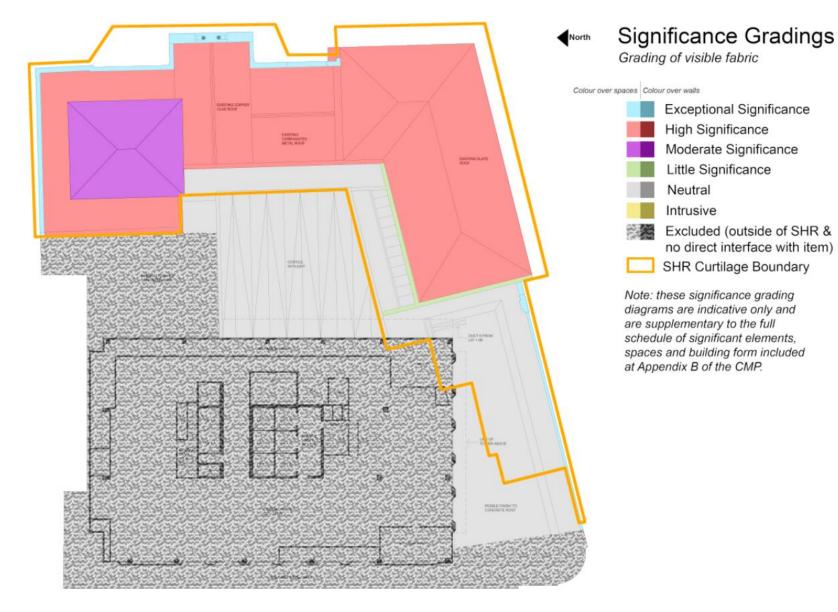


Figure 333 – Grading Diagrams – Grading of Visible Fabric (Roof Plan)

# 5.2.2. Significance Diagrams – Building Form & Spaces

The following significance diagrams show the various gradings applied to the overall form and spatial significance of the buildings and internal spaces.

# Significance Gradings

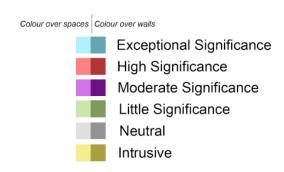
Grading of building form & spaces



Figure 334 – Grading Diagrams – Grading of Building Form and Spaces (Macquarie Street Façade)

# Significance Gradings

Grading of building form & spaces



Note: these significance grading diagrams are indicative only and are supplementary to the full schedule of significant elements, spaces and building form included at Appendix B of the CMP.

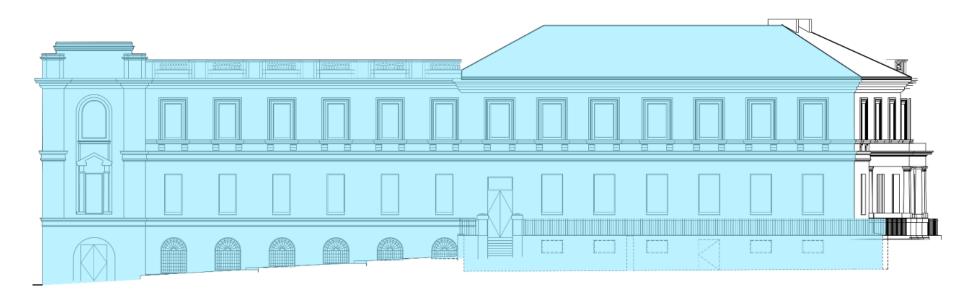


Figure 335 – Grading Diagrams – Grading of Building Form and Spaces (Bridge Street Façade)



Figure 336 – Grading Diagrams – Grading of Building Form and Spaces (Basement Level)

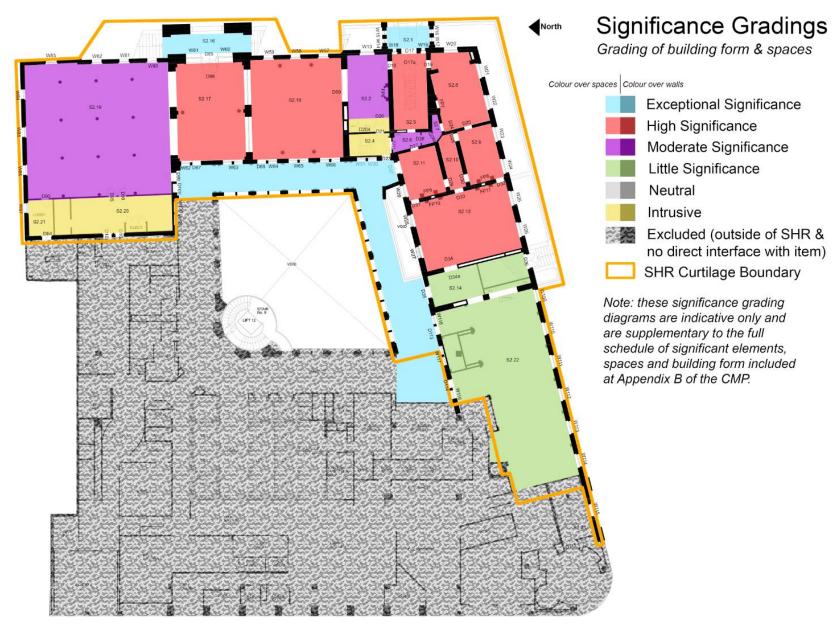


Figure 337 – Grading Diagrams – Grading of Building Form and Spaces (Ground Floor)



Figure 338 – Grading Diagrams – Grading of Building Form and Spaces (First Floor)

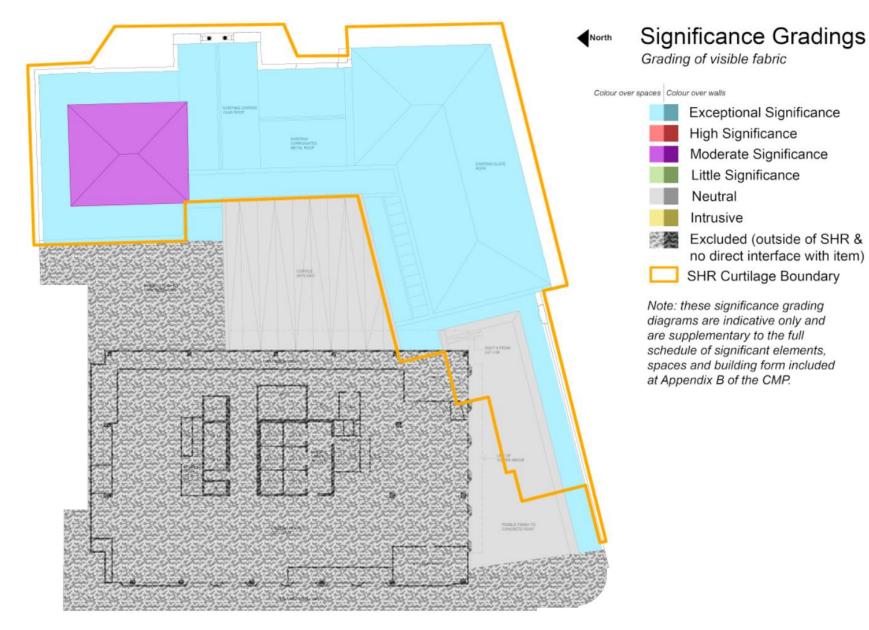


Figure 339 – Grading Diagrams – Grading of Building Form and Spaces (Roof Plan)

# 5.3. HIGH LEVEL REVIEW OF ARCHAEOLOGICAL POTENTIAL AND CULTURAL HERITAGE

# 5.3.1. Aboriginal Cultural Heritage

Aboriginal cultural heritage consists of places and items that are of significance to Aboriginal people because of their traditions, observances, lore, customs, beliefs and history. It provides evidence of the lives and existence of Aboriginal people before European settlement through to the present. Aboriginal cultural heritage is dynamic and may comprise physical (tangible) or non-physical (intangible) elements. It includes things made and used in traditional societies, such as stone tools, art sites and ceremonial or burial grounds. It also includes more contemporary and/or historical elements such as old mission buildings, massacre sites and cemeteries.<sup>101</sup>

Aboriginal cultural heritage also relates to the connection and sense of belonging that people have with the landscape and each other. It recognises that Aboriginal people understand cultural heritage and cultural practices as being part of both the past and the present and that cultural heritage is kept alive and strong by being part of everyday life.

Cultural heritage is not confined to sites; it also includes peoples' memories, storylines, ceremonies, language and 'ways of doing things' that continue to enrich local knowledge about the cultural landscape. It involves teaching and educating younger generations. It is also about learning and looking after cultural traditions and places, and passing on knowledge. It is enduring but also changing. It is ancient but also new. Aboriginal cultural knowledge provides crucial links between the past and present and therefore represents an essential part of the identities of Aboriginal people and all Australians.

The traditional owners of the land are the Gadigal (Cadigal, Cadi) tribe. The subject site formed part of First Government House gardens and the Governor's Domain after European contact and colonisation. The historical record for Sydney confirms that the site of First Government House and the Governor's Domain was occupied by Aboriginal people throughout the period of early European settlement. A number of important interactions between the Aboriginal population and European settlers occurred in and around the location of First Government House and the Governor's Domain.

A search of the AHIMS has shown that there are no recorded Aboriginal sites or places located in or within 50 metres of the subject site. The closest AHIMS registered site, a 'Burial/s, Historic Place' is located approximately 80 metres to the south of the subject site at its closest point. This site is registered as 'First Government House' and was recorded in 1991 to reflect the significance of the site of First Government House for Aboriginal people based on the identification of the First Government House grounds as the location of Aboriginal burials<sup>102</sup>.

Although the registered co-ordinates for site #45-6-2299 place it to the south of Farrer Place, it has previously been noted that the site details suggest that the recording refers to the entirety of the First Government House site (including the grounds), in the vicinity of the First Government House archaeological site and current Museum of Sydney. In addition to this, and as part of the archaeological excavation of First Government House undertaken between 1983 and 1992, a number of Aboriginal artefacts, including both stone and worked glass artefacts, were recovered.<sup>103</sup>

Overall, the survivability of Aboriginal archaeological deposits is largely dependent on the extent to which an area has been subject to development, and the nature and scale of that development. For example, where excavation associated with the construction of basement levels has occurred, there is very little to no potential for intact archaeological deposits to be present associated with the Aboriginal cultural heritage values of the place.

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<sup>&</sup>lt;sup>101</sup> Office of Environment and Heritage 2011a

<sup>&</sup>lt;sup>102</sup> Artefact Heritage 2012: 11

<sup>&</sup>lt;sup>103</sup> Crook & Murray: 2006

# 5.3.2. Review of Historical Archaeological Potential

Historical archaeology is the study of the past using physical evidence in conjunction with historical sources. It focuses on the objects used by people in the past and the places where they lived and worked. It can tell us about the way things were made and used and how people lived their daily lives. Archaeology is not just about objects and remains, it is also about landscapes and links between sites.

Archaeological Potential is defined as:104

The degree of physical evidence present on an archaeological site, usually assessed on the basis of physical evaluation and historical research. Common units for describing archaeological potential are:

- known archaeological features/sites (high archaeological potential);
- potential archaeological features/sites (medium archaeological potential);
- no archaeological features/sites (low archaeological potential).

# 5.3.2.1. Analysis of Historical Plans

The following analysis of historical plans and maps has been undertaken to identify what previous structures are known to have existing on the subject site before the existing built structures.

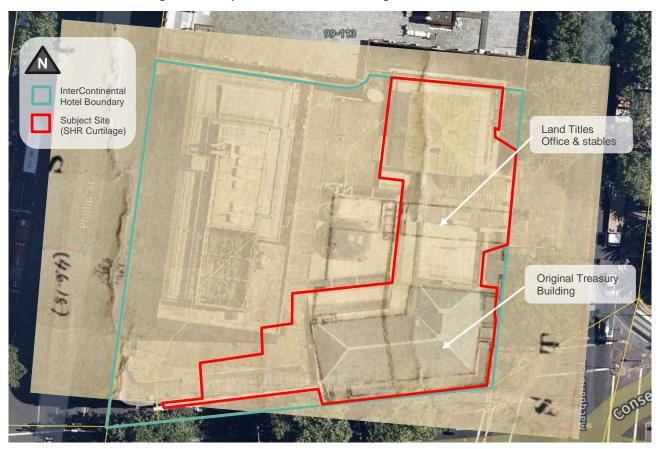


Figure 340 - Current aerial overlayed with c.1855 Smith and Gardiners Map of Sydney

Source: Nearmap 2019 with c.1855 Smith and Gardiners Map of Sydney overlaid and Urbis annotations

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<sup>&</sup>lt;sup>104</sup> Department of Urban Affairs and Planning 1996



Source: Nearmap 2019 with c.1855-1865 Trigonometrical Survey of Sydney overlaid and Urbis annotations

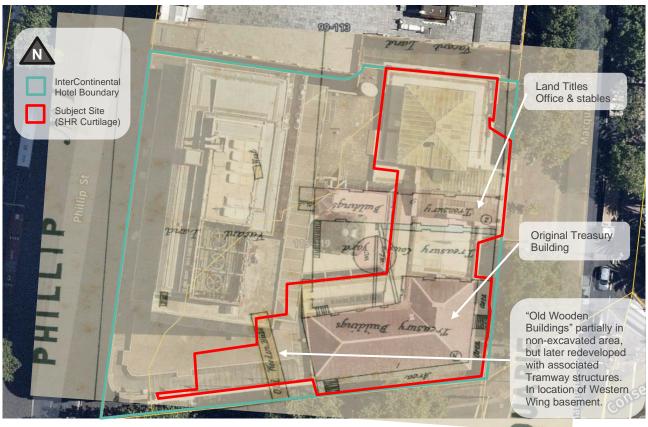


Figure 342 - Current aerial overlayed with c.1880 Doves Plan of Sydney

Source: Nearmap 2019 with c.1880 Doves Plan of Sydney overlaid and Urbis annotations

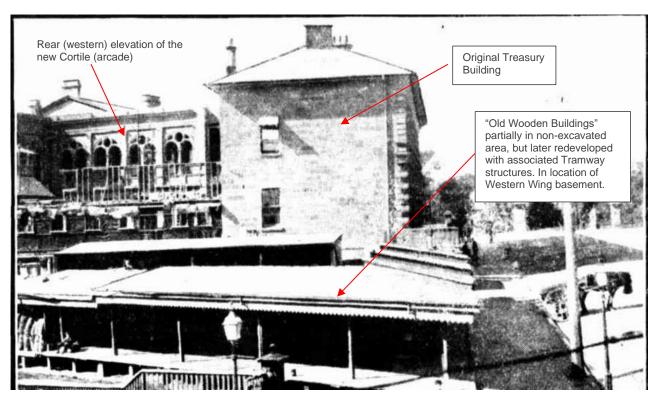


Figure 343 – Old tramway waiting room on the corner of Bridge Street and Phillip Street (undated but c. 1898) showing Treasury buildings and arcade behind

Source: 1921 'Odd Bits of Old Sydney ', Sydney Mail (NSW: 1912 - 1938), 13 July, p. 16., viewed 18 Oct 2016, http://nla.gov.au/nla.news-article162033560

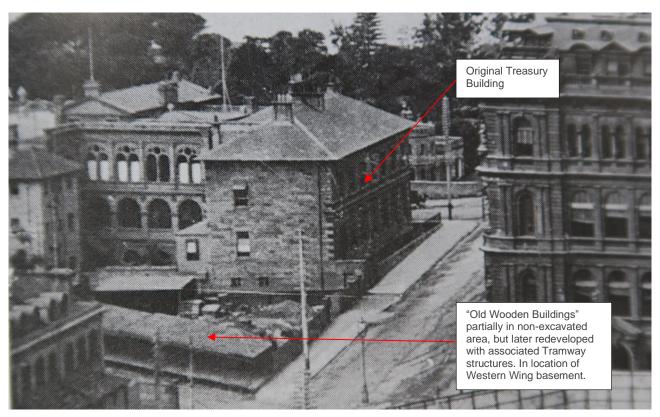


Figure 344 – Birds eye view of the site in 1906

Source: Mitchell Library, Small Picture File, cited in 'Australia's First Government House' by the Department of Planning

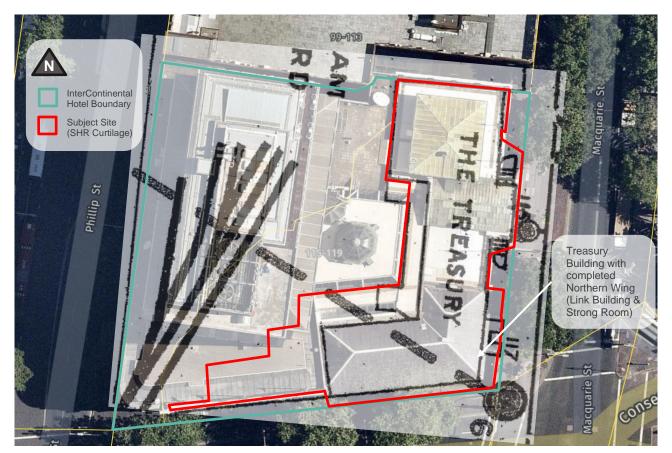


Figure 345 - Current aerial overlayed with c. 1910 City of Sydney Survey

Source: Nearmap 2019 with c. 1910 City of Sydney Survey overlaid and Urbis annotations

### 5.3.2.2. Known Disturbance to the Site

A substantial portion of the broader InterContinental Hotel site, including the subject site (SHR curtilage) was excavated during the 1980s' hotel redevelopment of the site to provide for sub-basement car parking and service upgrading. A summary of the known excavation undertaken at this time is detailed hereunder. Additional excavation could very well have been undertaken without leaving records like those we have relied on below.

- Five sub-basement levels of varying size were excavated, across the western portion of the site, to provide for back-of-house hotel operation areas and underground car parking. Due to the natural topography of the site, the first sub-basement level contains a portion of street-level frontage to Phillip Street, at the north-western corner of the site 105.
- The concrete and cement flooring in the basement of the Link Building was removed in March 1983 in order that air conditioning ducts could be laid in advance of a new damp-proof floor<sup>106</sup>.

The following basement floor plan extract has been marked-up with the approximate location of the largest sub-basement floor (hotel level 4) shown in red, as an approximate indication of the extent of excavation undertaken to provide basement space. The approximate area of the Link Building which was excavated and replaced with a new concrete floor is outlined in blue. These approximate areas are based on analysis of known records and are not definitive nor guaranteed.

<sup>&</sup>lt;sup>105</sup> Stamped development application plans, City of Sydney Archives

<sup>&</sup>lt;sup>106</sup> Higginbotham, E. 1983, p5

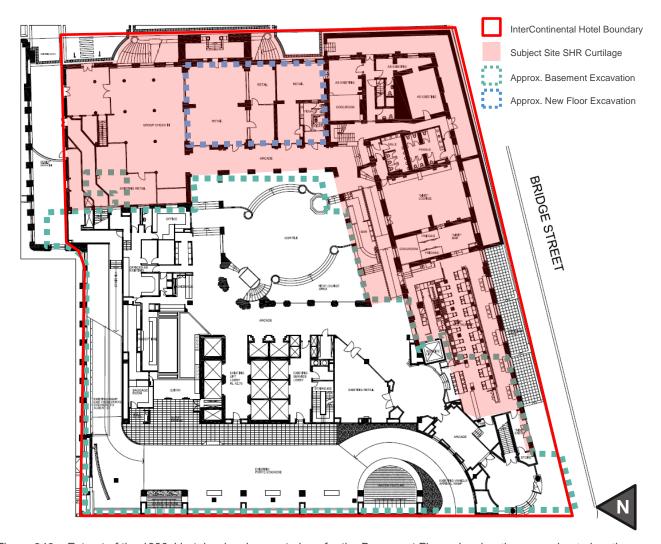


Figure 346 – Extract of the 1980s' hotel redevelopment plans for the Basement Floor, showing the approximate location of the largest sub-basement floor (Hotel Basement Level 4) shown in dotted green, as an approximate indication of the extent of excavation undertaken to provide basement space. The approximate area of the Link Building which was excavated and replaced with a new concrete floor is outlined in dotted blue. The broader InterContinental Hotel site boundary is shown in a solid red outline, and the Former Treasury Buildings SHR curtilage (the subject site) is shown shaded red.

Source: Hassell 2016 and Kann, Finch & Partners 1983, Architectural Plan 'Level 4 Floor Plan - House Services'

The archaeological report prepared by *E Higginbotham Consultant Archaeological Services* in May 1983 (following the commencement of excavations for the 1980s' hotel redevelopment of the site), makes the following remarks and conclusions regarding archaeological investigations for the broader InterContinental Hotel site:

- An archaeologist was appointed by Management Contracts (UK and overseas) Ltd on 16 December 1982. Development on the site of the Treasury Building has already begun. Thus, before the archaeological investigation could get underway, all archaeological layers associated with the city tram terminus had been removed.<sup>107</sup>
- Although all parties wished the archaeological remains on the site to be properly investigated, it was
  considered too costly to delay mechanical excavation. For this reason, the archaeologist could only
  observe while substantial remains of walling associated with the stables were taken out...Indeed most of
  the walling associated with stables of the original Treasury Building was removed in the space of about
  four hours on 20 December 1982. 108

<sup>&</sup>lt;sup>107</sup> Higginbotham, E. 1983, pp3-4

<sup>108</sup> Ibid, p.4

- The concrete and cement flooring in the basement of the link building was removed in March 1983 in order that air conditioning ducts could be laid in advance of a new damp-proof floor. Advantage was taken of this situation to excavate for remains of the land sale room. Unfortunately, a substantial depth of topsoil had been removed during the construction of the link building and no remains at all survived of the foundations of the land sale room. 109
- All areas expected to be of archaeological interest at the Treasury Building were inspected and any remains adequately recorded...No other area provided important evidence. 110
- Circumstances in this case did not allow enough time for fruitful excavation. It appears that archaeological evidence which may have substantially added to the historical record has been lost.111

A copy of this report is included at **Appendix G**.

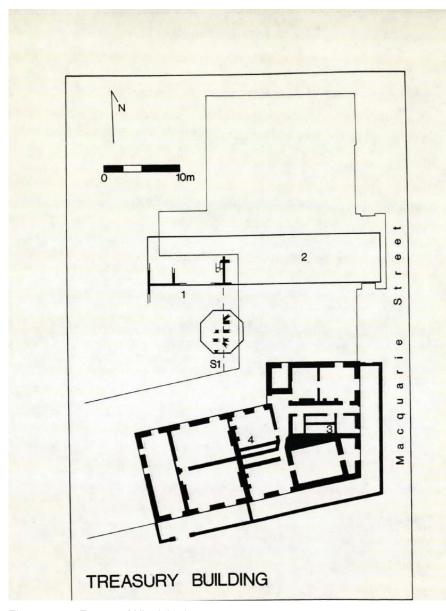


Figure 1. The Treasury Building, Macquarie and Bridge Streets, Sydney. Site plan showing areas of archaeological interest, as follows: 1. Stables (1851-1853) and courtyard, with toilet block (by 1872); 2. Land sale room (1851-1853); 3 and 4. Cavities under main staircase and under hallway (S1 section 1, illustrated in figure 2). The original offices and out-buildings are shown in heavy outline, along with the present room plan of the basement for the former. The remains of walling for the stables and toilet block were discovered during the archaeological investigation. The extent of buildings in 1982 is illustrated in light outline.

Figure 347 – Extract of Higginbotham report.

Source: Higginbotham, E. 1983

<sup>&</sup>lt;sup>109</sup> Higginbotham, E. 1983, p.5

<sup>&</sup>lt;sup>110</sup> Ibid, p.6

<sup>&</sup>lt;sup>111</sup> Ibid, p.7

According to the above archaeological investigations, all remains of the former land titles office, and all remains of the former tramway lines, were removed as part of 1980s' hotel development. In summary, the following conclusions regarding particular elements across the site can be drawn from this archaeological investigation:

- The stables block and courtyard including octagonal toilet: Remains of substantial walling and associated archaeological layers were briefly observed during mechanical excavation and were then removed. Whereabouts unknown.
- The land sales room: No remains at all of the foundations of the original land sales building remain.
- The enclosed cavity under the main entrance staircase: This area was opened briefly for inspection in April 1983 and was not of archaeological interest and was infilled with building debris.
- The enclosed cavity under the hallway: This area was opened briefly for inspection in April 1983 and was not of archaeological interest and was filled with building debris.

#### 5.3.2.3. High Level Assessment of Historical Archaeological Potential

The analysis undertaken above in Section 5.3.2.1 in relation to historical plans confirms that the following built elements were constructed within the subject site (Former Treasury Buildings SHR curtilage):

- Original Treasury Building c.1849-51
- Land Sales Building c.1851-53
- Northern Link of Treasury c.1896-99
- Western Link of Treasury c.1916-19
- Ancillary structures in courtyard including round WC block and timber buildings c.1880

The only structures remaining are the Treasury Buildings. All ancillary structures have been removed, and according to the 1980s' archaeological investigations, all evidence of the Land Sales Building, the courtyard WC and other structures has been removed.

The basement floor of the Link building was completely excavated and investigated to lay a new floor during the 1980s, with the *E Higginbotham Consultant Archaeological Services* archaeological report reporting that no significant archaeological relics remain. This area is highly disturbed.

Other sub floor areas including underneath the basement levels of the Original Treasury Building, the basement light well area, the Western Link and the Strong Room, may be less disturbed and may have potential for archaeological relics associated with the construction of these buildings, however these areas will not provide evidence of former significant structures. Intact sub surface archaeological relics beneath the Original Treasury Building have the potential to be of state heritage significance.

The area of archaeological potential is shown in the diagram below.

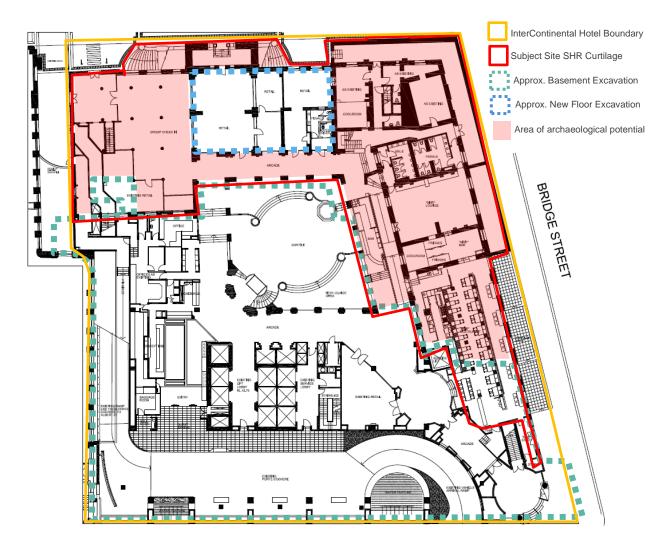


Figure 348 – Area of archaeological potential.

Those areas identified above as being excavated in the 1980s, and on the basis of the *E Higginbotham Consultant Archaeological Services* archaeological report, are considered to have very low to nil archaeological potential.

It is possible however that evidence of other structures remains in those areas of the subject site which were not excavated in the 1980s. The following sequence of figures show current 2016 aerials, overlayed with a series of surveys / maps undertaken between 1855 and 1949. This sequence of figures identifies the structures on the subject site over this period in relation to the existing hotel development and demonstrates whether structures were present in areas of the site not excavated in the 1980s.

The previously unexcavated areas beneath what remains of the Bridge Street Western Wing building may have archaeological potential associated with the former structures on this land being the 'wooden buildings' as identified in the 1880s' survey (Figure 342), and later the tramway buildings (Figure 343 and Figure 344). However, these structures appear to have been temporary structures and are not considered to provide a defining contribution to the significance of the site. It is possible that remains associated with these structures were removed during the construction of the Western Wing in c.1916-19, and further, the 1980s' archaeological report confirms that all evidence of the former Terminus has already been removed.

The former Treasury buildings site (InterContinental Hotel) at 115 – 199 Macquarie Street is not identified on the *Central Sydney Archaeological Zoning Plan* schedule as a site of archaeological potential.

## 5.4. APPROACHES TO HERITAGE CONSERVATION

The subject site provides evidence of previous approaches to heritage conservation dating to the 1980s. This work was directed by Clive Lucas Stapleton, the authors of the previous Conservation Management Plan which is replaced by this document. This approach to conservation was the embellishment of the place with additional fabric which responded to and replicated original detailing to 'blend in' with the original. Examples of this approach can be seen as follows:

- The elliptical stair: The elliptical stair (together with the caged lift) was relocated to its existing location as
  part of the 1980s' hotel redevelopment of the site. The stair is markedly different from the original but is
  an interpretative reconstruction. The reconstruction does not incorporate the original balustrade profile
  nor the decorative soffit.
- The cortile roof: the cortile roof was constructed in the 1980s and references an early unexecuted
  architectural drawing by George McRae for a future cortile roof. Whilst it is consistent with McRae's
  original design, it is a later element which was never constructed and never existed as part of the
  buildings.
- Fixtures within the cortile: decorative elements at the basement level of the cortile, including the lion pedestals and caged air conditioning vent. These details have been designed to replicate original details of the Former Treasury Building, for example, the caged air conditioning vent hood replicates the areas of steel caging from the Western Wing's caged lift enclosure.

While this reflects the accepted approach to heritage conservation at the time, this does not represent good heritage practice by today's standard. Replicate detailing is considered confusing to the understanding of the development and significance of the place, and de-values the original fabric. New fabric should be able to be distinguished as new fabric. This later fabric has been considered in the Assessment of Significance and the Statement of Significance for the place. Refer to the full Schedule of Significant Elements for detail on each element considered.

# 5.5. EXISTING SIGNIFICANCE ASSESSMENT

## 5.5.1. Existing Assessment of Significance

The following assessment of heritage significance has been <u>sourced directly</u> from the existing heritage inventory for the place (Item 00355), located on the NSW State Heritage Inventory website at <a href="https://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=5044997">https://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=5044997</a>. It has not been authored by Urbis.

Table 20 – Existing assessment of heritage significance

Criteria	Significance Assessment
A – Historical Significance  An item is important in the course or pattern of the local area's cultural or natural history.	Historically the building group is significant because of its long association with the NSW Treasury and the state treasurer's and premier's offices. It also provides an interesting historical account of the work of a number of the state's Colonial Architects from the mid 19th to the early 20th century. The site is also an important representative of the conservation and adaptation policies and pressures of 1980s Sydney reflecting a major achievement in contemporary philosophical and practical heritage conservation within the heart of Sydney's CBD. Has historic significance at a State level. (Sydney City Council Heritage Inventory)
B – Associative Significance  An item has strong or special associations with the life or works of a person, or group of persons, of importance in the local area's cultural or natural history.	N/A
C – Aesthetic Significance  An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in the local area.	The former Treasury Buildings group (within the Intercontinental Hotel complex) is an outstanding example of the state's 19th- early 20th century public buildings and forms part of what is arguably the finest group of these sandstone buildings in NSW. The architectural forms and detailing of the group, with its strong links to Victorian "Neo-Classical" traditions, make it an extremely fine exemplar of this style and reflect important contemporary links with English architectural practice. The facade of Lewis's original building in particular is a premier example in NSW of 19th century "Italian Palazzo" style based closely on a London model. The bold but sympathetically related Vernon additions fronting Macquarie Street are impressively proportioned and detailed and represent an excellent and perhaps unique example of late Victorian eclectic architecture in NSW. The site's contribution to the significant streetscapes of Macquarie and Bridge Streets is both large and indisputable, with the siting, form, materials and detailing enhancing the adjacent precincts of early buildings. Has aesthetic significance at a State level. (Sydney City Council Heritage Inventory)
D – Social Significance  An item has strong or special association with a particular community or cultural group in the local area for social, cultural or spiritual reasons.	The site and its group of early stone buildings remains associated in the popular imagination - by name and historical links - with its early Treasury and state government functions. (Sydney City Council Heritage Inventory)

Criteria	Significance Assessment
E – Research Potential  An item has potential to yield information that will contribute to an understanding of the local area's cultural or natural history.	During 1983 archaeological work uncovered evidence of an 1850s stable block. The site has in the past shown important archaeological resources and both building and site have the potential to provide further information on site use and building development sequences and techniques. (Sydney City Council Heritage Inventory)
F – Rarity  An item possesses uncommon, rare or endangered aspects of the local area's cultural or natural history.	The facade of Lewis's original building in particular is a premier example in NSW of 19th century "Italian Palazzo" style based closely on a London model. (Sydney City Council Heritage Inventory
G – Representative  An item is important in demonstrating the principal characteristics of a class of NSW's (or the local area's):  cultural or natural places; or	The former Treasury Buildings group (within the Intercontinental Hotel complex) is an outstanding representative example of the state's 19th- early 20th century public buildings and forms part of what is arguably the finest group of these sandstone buildings. (Sydney City Council Heritage Inventory)
cultural or natural environments.	

## 5.5.2. Existing Statement of Significance

The following assessment of heritage significance has been sourced directly from the existing heritage inventory for the place (Item 00355), located on the NSW State Heritage Inventory website at https://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=5044997.

The former Treasury Buildings group (within the Intercontinental Hotel complex) is an outstanding example of the state's 19th- early 20th century public buildings and forms part of what is arguably the finest group of these sandstone buildings in NSW. The architectural forms and detailing of the group, with its strong links to Victorian "Neo-Classical" traditions, make it an extremely fine exemplar of this style and reflect important contemporary links with English architectural practice. The facade of Lewis's original building in particular is a premier example in NSW of 19th century "Italian Palazzo" style based closely on a London model. The bold but sympathetically related Vernon additions fronting Macquarie Street are impressively proportioned and detailed and represent an excellent and perhaps unique example of late Victorian eclectic architecture in NSW. The site's contribution to the significant streetscapes of Macquarie and Bridge Streets is both large and indisputable, with the siting, form, materials and detailing enhancing the adjacent precincts of early buildings. Historically the building group is significant because of its long association with the NSW Treasury and the state treasurer's and premier's offices. (Sydney City Council Heritage Inventory).

#### 5.6. PROPOSED SIGNIFICANCE ASSESSMENT

## 5.6.1. Proposed Assessment of Significance

Urbis has undertaken a revised significance assessment of the place with consideration for the criteria set out for Assessing Heritage Significance by the Heritage Council of New South Wales.

Table 21 – Proposed assessment of heritage significance

#### Criteria

#### A - Historical Significance

An item is important in the course or pattern of the local area's cultural or natural history.

## Significance Assessment

Until the subdivision of the Governor's Domain in the 1830s, the subject site formed part of the Governor Domain gardens to the immediate north-east of First Government House. There is no physical evidence remaining that demonstrates this association however the site is diagonally opposite to and shares a visual relationship with the Site of the First Government House.

The Treasury buildings, together with the other early (colonial) sandstone buildings along Macquarie and Bridge Streets, form an important group of early public buildings and a group of highly significant sandstone buildings.

The subject Treasury buildings form part of an important group of public use buildings on the block bounded by Macquarie, Bridge, Phillip and Albert Streets. This block was occupied by the Treasury and Auditor-General Departments, Water Police Court, Police Station, Transport House, public tram-depot and the NSW Health Building, and remained entirely in Government ownership from the demolition of First Government House (c.1845) to the late twentieth century. The subject Treasury buildings contribute to the understanding of the continued Government occupation of this block and the propensity during the nineteenth century to develop Government based buildings in close proximity to Government House.

The Original Treasury Building was the first building to be constructed on this block and the first building constructed on Macquarie Street after its northern extension into the Governor's Domain. The Original Treasury Building portion of the subject property is one of the first public office buildings constructed in Sydney which is still extant.

The Original Treasury Building has remained on this site since construction in c.1849-51 (almost 170 years) and has been adapted a number of times for changing needs.

The Treasury buildings represent well the evolution of the Treasury and Auditor-General Departments in the early colony and through to the twentieth century. Remnant fabric within the buildings is of particular historical importance in depicting the specific Treasury associated

## Criteria Significance Assessment uses of the buildings (including the basement vault and Strong Room steel framed windows). The Treasury buildings remained in continuous use by the Treasury department and associated Government Departments between c.1851 and 1967, as New South Wales centre for commerce and State Government. The buildings were occupied by a number of prominent State politicians including Treasurers, Auditor-Generals and (later) Premiers. The Strong Room building has strong associations with the history of land lease and sale in New South Wales, and accommodation of the Cabinet suite. Guidelines for Inclusion Guidelines for Exclusion · shows evidence of a significant · has incidental or unsubstantiated connections with $\boxtimes$ human activity historically important activities or processes • is associated with a significant provides evidence of activities or processes that are activity or historical phase $\boxtimes$ of dubious historical importance · maintains or shows the continuity of · has been so altered that it can no longer provide a historical process or activity $\boxtimes$ evidence of a particular association $\Box$ **B - Associative Significance** Until the subdivision of the Governor's Domain in the 1830s, the subject site formed part of the Governor An item has strong or special associations with the life or Domain gardens to the immediate north-east of First works of a person, or group of persons, of importance in Government House. There is no physical evidence the local area's cultural or natural history. remaining that demonstrates this association however the site is diagonally opposite to and shares a visual relationship with the Site of the First Government House. The subject Treasury buildings have strong associations with three Colonial and Government Architects; Mortimer Lewis, Walter Liberty Vernon and George McRae. The Original Treasury Building is credited as a fine example of Mortimer Lewis's work in the Italian Palazzo Style. However, the extensions undertaken by Vernon (Strong Room and Link Building) and McRae (Western Wing) are not seminal works of these architects, as they instead created sympathetic extensions emulating the style of the Original Treasury Building facades. The subject Treasury buildings have a strong association with the development of and evolution of the Treasury Department in New South Wales; the Original Treasury Building was purpose-built for the Treasury Department and occupied continuously by it for a large proportion of the State's history. In particular, the former Treasurer's Room in the Original Treasury Building is significant, and

although modified has been highly documented over time.

## Criteria Significance Assessment The subject Treasury buildings also has strong associations with the development and evolution of the Premier's Department, having been occupied by successive Premiers throughout the twentieth century. In particular, the 'Premier's Room' in the Link Building is a highly intact internal space and its history is well documented. Guidelines for Inclusion Guidelines for Exclusion · shows evidence of a significant has incidental or unsubstantiated connections $\boxtimes$ human occupation with historically important people or events • is associated with a significant event, · provides evidence of people or events that are of $\boxtimes$ person, or group of persons dubious historical importance has been so altered that it can no longer provide evidence of a particular association П C - Aesthetic Significance The Original Treasury Building (Mortimer Lewis) is constructed in the Italian Palazzo architectural style of An item is important in demonstrating aesthetic Renaissance Revival and is a fine example of its type. The characteristics and/or a high degree of creative or building has a highly intact exterior in good condition which technical achievement in the local area. remains generally unaltered since 1851 (apart from the portico addition to Macquarie Street in c.1870-74). The building also has generally intact internal configuration, albeit with modifications, and key significant rooms linking to the specific use of the building, including the basement vault. The central imperial staircase is of aesthetic significance, although has been modified. The Link Building & Strong Room building extensions (Walter Liberty Vernon), and are fine examples of Federation classical architecture. While the exterior was constructed in a sympathetic style emulating the Original Treasury Building and does not distinguish itself as a seminal piece of Vernon's work, the interiors, particularly the Premier's Room are fine examples of early Federation architecture. The exterior of this building is highly intact and of high integrity. The Strong Room building in particular demonstrates innovative architecture in the use of steel framed windows and doors resulting from its 'fireproof' requirement. The colonnaded Cortile (c.1898 & extended c.1916-19) is rare and distinctive, and a fine example of Renaissance Revival architecture. Similarly, the façade of the Western Wing building (George McRae), also borrows from the earlier Palazzo typology of the Original Treasury Building and remains an accomplished and sympathetic extension. The exterior of

Criteria		Significance Assessment	
		this building is highly intact and of high integrity. The interiors have been significantly modified.	
		The Treasury Buildings have significance for their landmark location, scale and proportions. The subject Treasury buildings contribute to the aesthetic of the colonial civic precinct around Government House, comprising a number of important public sandstone buildings from the nineteenth century.	ct
Guidelines for Inclusion		Guidelines for Exclusion	
shows or is associated with, creative or technical innovation or achievement		is not a major work by an important designer or artist	
is the inspiration for a creative or		has lost its design or technical integrity	
technical innovation or achievement		its positive visual or sensory appeal or landmark	.,
is aesthetically distinctive		and scenic qualities have been more than tempor degraded	rariiy
has landmark qualities		has only a loose association with a creative or technique.	chnical
<ul> <li>exemplifies a particular taste, style or technology</li> </ul>		achievement	
D – Social Significance  An item has strong or special association with a part community or cultural group in the local area for soc cultural or spiritual reasons.		The subject Treasury buildings are an important Syclandmark. They were constructed for a specific Government purpose and occupied by various Government Departments for a major period of their existence. However, the buildings do not demonstrate strong social significance specific to the Government role.  It is however acknowledged that the subject Treasure buildings are esteemed by the general community to degree and contribute to Sydney's sense of colonial identity for planning, aesthetic and Governmental reasure The Original Treasury building is likely to have some significance to the community as a fine example of a early colonial building of excellent landmark qualities for its contribution to the history of New South Wales	te a tal  y asons. social
Guidelines for Inclusion		Guidelines for Exclusion	
is important for its associations with an identifiable group		• is only important to the community for amenity reasons	
is important to a community's sense of place	$\boxtimes$	is retained only in preference to a proposed alternative	

## Criteria Significance Assessment E - Research Potential The basement floor of the Link building was completely excavated and investigated to lay a new floor during the An item has potential to yield information that will 1980s. This area is highly disturbed. Other sub floor areas contribute to an understanding of the local area's cultural including underneath the basement levels of the Original or natural history. Treasury Building, the Western Link and the Strong Room, may be less disturbed and may have potential for archaeological relics associated with the construction of these buildings, however these areas will not provide evidence of former significant structures. Intact sub surface archaeological relics beneath the Original Treasury Building have the potential to be of state heritage significance. A full Historical Archaeological Assessment and Aboriginal Cultural Heritage Assessment Report would need to be undertaken to establish the site's archaeological potential in detail and provide an assessment of significance for these elements. Guidelines for Inclusion Guidelines for Exclusion · has the potential to yield new or further the knowledge gained would be irrelevant to research substantial scientific and/or archaeological on science, human history or culture information • has little archaeological or research potential П • is an important benchmark or reference site · only contains information that is readily available or type from other resources or archaeological sites П • provides evidence of past human cultures that is unavailable elsewhere F - Rarity The Original Treasury Building portion of the subject property is considered to be rare as is it one of the first An item possesses uncommon, rare or endangered public office buildings constructed in Sydney which is still aspects of the local area's cultural or natural history. extant, with only some internal modifications, and an early fine example of a Palazzo style building. The purpose built Treasury building typology is rare and the subject building is a fine example of its type. The subject Treasury buildings are notable for their highly intact elevations to Macquarie Street and Bridge Street. The buildings are a rare example of the continuity of development of a single site to accommodate growth in particular Government departments, with each portion of the building being designed by successive Colonial / Government Architects. The intact form of the Original Treasury Building's vault space provides rare evidence for the management and storage of commerce in colonial Sydney. This vault is the only known example of its type in Sydney.

Criteria		Significance Assessment	
		The Original Treasury Building's sunken basement walkway is a rare architectural feature in the Australi built landscape and in Sydney, with only one other example being readily apparent at the Mitchell Librar Macquarie Street. This feature reflects the British ori the original design. Other rare elements include the decorative colonnaded arcades.  Analysis of the archaeological potential of the site did reveal any potential for archaeological findings on the which could be rare for their type or context.	ry to gins of d not
Guidelines for Inclusion		Guidelines for Exclusion	
provides evidence of a defunct custom, way		• is not rare	
of life or process		is numerous but under threat	
demonstrates a process, custom or other human activity that is in danger of being lost			
shows unusually accurate evidence of a significant human activity	$\boxtimes$		
is the only example of its type			
demonstrates designs or techniques of exceptional interest			
shows rare evidence of a significant human activity important to a community	$\boxtimes$		
G – Representative		The Original Treasury Building is considered to be	
An item is important in demonstrating the principal characteristics of a class of NSW's (or the local are	a's):	representative of the period of early colonial develop in Sydney and is an excellent example of a colonial sandstone Government building.	ment
cultural or natural places; or		The buildings are also representative of Government	t (and
cultural or natural environments.		Colonial) Architect's Branch developments over a nu of distinct periods and demonstrate the architectural (albeit borrowing from the Palazzo typology) and intedesign drivers relevant to each period.	imber styles
		The Former Treasury Buildings contribute to the collerepresentative value of the early sandstone buildings governance and administration along Macquarie Streidentifying this precinct as a significant civic area.	s of

Criteria		Significance Assessment	
Guidelines for Inclusion		Guidelines for Exclusion	
is a fine example of its type	$\boxtimes$	is a poor example of its type	
has the principal characteristics of an important class or group of items	$\boxtimes$	does not include or has lost the range of characteristics of a type	
<ul> <li>has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity</li> </ul>	$\boxtimes$	does not represent well the characteristics that make     a significant variation of a type	ир
is a significant variation to a class of items			
is part of a group which collectively illustrates a representative type	$\boxtimes$		
• is outstanding because of its setting, condition or size			
is outstanding because of its integrity or the esteem in which it is held			

## 5.6.2. Proposed Statement of Significance

The former Treasury buildings at 115 – 119 Macquarie Street (64 Bridge Street) are of State heritage significance for their historical, aesthetic, associative, rarity and representative values. The former Treasury buildings comprise the Original Treasury Building (c.1849-1851), the northern wing extension being the Strong Room building (c.1896-1897) and the Link Building (c.1898-1899), and the Western Wing extension (c.1916-1919). Collectively, the former Treasury buildings are an outstanding example of Sydney's colonial development and in particular of successive Government office development of the over a period of 70 years.

The buildings have a strong association with the Government (and Colonial) Architect's Branch, and in particular the works of Mortimer Lewis, Walter Liberty Vernon and George McRae. The buildings are also considered significant for their long association with the Treasurer's Department (and affiliated department) and were occupied by a number of significant political figures during this period.

The Original Treasury Building is of the Italian Palazzo style, which is referenced in both the northern and western wing extensions. The Original Treasury Building in particular is considered to be rare as is it one of the first public office buildings remaining extant, and an early fine example of a Palazzo style building.

The collective building group is a significant Sydney landmark, comprising highly intact sandstone façades to Macquarie Street and Bridge Street. A number of rooms are highly intact and representative of their period of development and specific use (The Premier's Room; the vault). The site contributes to the streetscapes of Macquarie and Bridge Streets, and also to the colonial Sydney setting of the area. The buildings are associated with and form part of an important group of early public sandstone buildings in Sydney along Bridge, Macquarie and College Streets. The subject Treasury buildings forms part of an important group of public use buildings on the block bounded by Macquarie, Bridge, Phillip and Albert Streets.

The broader InterContinental Hotel site was redeveloped in the 1980s to provide for the existing hotel building, which interfaces with the rear of the Former Treasury Buildings. This development resulted in the loss of fabric to the rear of the Western Wing extension, and construction of the Cortile against the Northern Wing's rear arcade.

The basement floor of the Link building was completely excavated and investigated to lay a new floor during the 1980s. This area is highly disturbed. Other sub floor areas including underneath the basement levels of the Original Treasury Building, the Western Link and the Strong Room, may be less disturbed and may have potential for archaeological relics associated with the construction of these buildings, however these areas will not provide evidence of former significant structures. Intact sub surface archaeological relics beneath the Original Treasury Building have the potential to be of state heritage significance.

## **HERITAGE LISTINGS & STATUTORY OBLIGATIONS** 6.

#### **HERITAGE LISTINGS** 6.1.

# 6.1.1. Heritage Listings

The following heritage listings apply to the subject site.

Table 22 – Heritage Listings

Type of Listing	Name of Item	Assessed Level of Significance
STATUTORY LISTINGS		
World Heritage List under the World Heritage Convention	N/A	
(places of outstanding universal value)		
National Heritage List under the Environment Protection and Biodiversity Conservation Act 1999	Refer below to Section 6.1.2 for further detail	
(natural and cultural places of outstanding heritage value to the nation)		
Indigenous Heritage under the Aboriginal Cultural Heritage Act 2003	N/A	
(places that hold great meaning and significance to Indigenous people)		
Commonwealth Heritage List under the Environment Protection and Biodiversity Conservation Act 1999	N/A	
(natural, Indigenous and historic heritage places on Commonwealth lands and waters or under Australian Government control)		
State Heritage Register under the Heritage Act 1977	Item 00355 "Intercontinental Hotel former Treasury Building"	State
(items of state significance)	(only part of the site – restricted by the existing curtilage to part of Lot 40 in DP 41315 as defined in the curtilage plan)	
State Government Agency Section 170 Heritage and Conservation Register under the Heritage Act 1977	N/A	
(items of local or state significance)		

Type of Listing	Name of Item	Assessed Level of Significance
Sydney Local Environmental Plan 2012 Schedule 5 – Items of Environmental Heritage (items of local significance)	Item 1871 (also extends across the adjoining InterContinental Hotel site)	State
Movable Cultural Heritage under the Protection of Movable Cultural Heritage Act 1986 (objects that people create/collect that forms an important part of Australia's nation's identity)	N/A	
Register of the National Estate (not operational) under the Environment Protection and Biodiversity Conservation Act 1999 (items of local, state or national significance)	Place ID 1829 Place File No. 1/12/036/0039 Registered 21/03/1978	Historic
NON-STATUTORY LISTINGS		
Macquarie Street Special Character Area under the Sydney Development Control Plan 2012	Yes, within the special character area	
National Trust of Australia (items of local, state or national significance)	Former Treasury Building etc ID 6375	
Institute of Architects	N/A	
Nationally Significant Architecture		
Institution of Engineers Australia (no official register but informal list of buildings that have heritage value)	N/A	

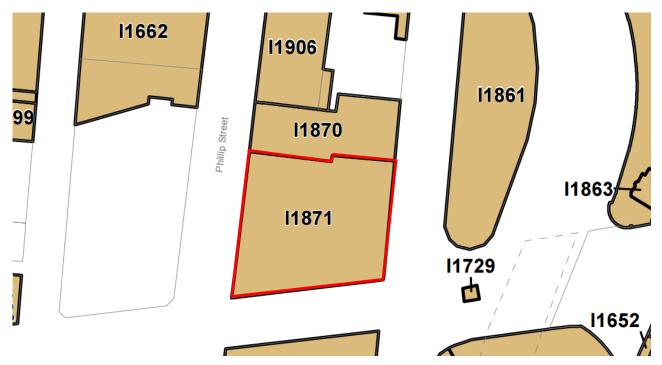


Figure 349 - Extract of Sydney local Environmental Plan 2012 Heritage Map - whole of the site is a local heritage item Source: Sydney Local Environmental Plan 2012, Heritage Map HER\_014

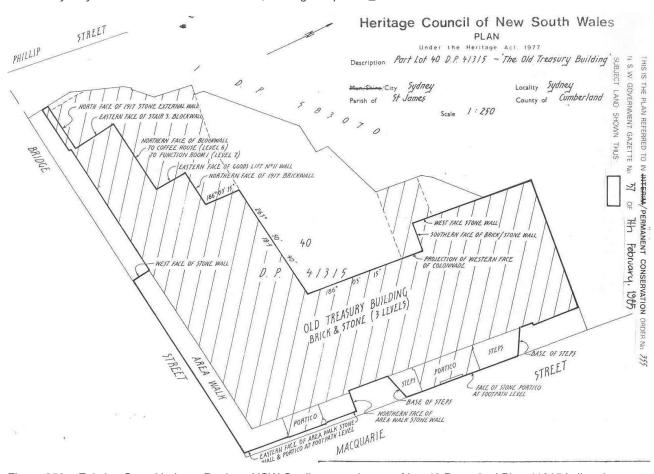


Figure 350 - Existing State Heritage Register NSW Curtilage - only part of Lot 40 Deposited Plan 41315 is listed as a state heritage item

Source: Heritage NSW, NSW State Heritage Register, Heritage Inventory, Intercontinental Hotel Former Treasury Building, accessed at http://www.environment.nsw.gov.au/heritageapp/HeritageItemImage.aspx?ID=5044997#ad-image-

## 6.1.2. The Governors' Domain and Civic Precinct

The subject property is also noted as being within the boundary of the proposed "Governors' Domain and Civic Precinct" National Heritage Listing. The proposed listing (Place ID 106103 / File 1/12/036/0682) is currently under assessment as at the date of this report. Submissions on the proposed listing are to be received by 24 February 2017. An updated timeframe for consideration of the proposal and gazettal of the listing is unknown.

The listing is based on the following National Heritage values as detailed in the proposed listing 112:

(a) The place has outstanding heritage value to the nation because of the place's importance in the course, or pattern, of Australia's natural or cultural history.

The Governors' Domain and Civic Precinct has outstanding importance because the place can demonstrate to an extraordinary degree four important historic patterns in Australia's development as a nation.

For the first several decades of British settlement, Aboriginal people and colonisers lived in close proximity and there was a complicated process of negotiating and renegotiating relations. The Precinct has an outstanding capacity to connect people to the early history of interactions between Aboriginal people and British colonisers.

Over the nineteenth century new forms of parliamentary representation were established reflecting a shift away from military rule to a more independent form of colonial governance. The Precinct demonstrates this historic pattern to a high degree.

Over the course of Governor Macquarie's governorship a substantial and visionary building program was initiated and directed by Macquarie. His work to project a more ambitious future for the Colony was pivotal in the Sydney colony's early development. Making use of convict labour and the resources of new immigrants a 'bridge head' economy was established which was able to both sustain a remote population and provide a foundation for the trade of agricultural goods to a wider world. The Precinct demonstrates these historic patterns to a high degree.

The physical urban structure of streets, parks, gardens and buildings within the Governors' Domain and Civic Precinct have a direct connection to the first decades of British settlement in Sydney. This clarity of connection with this past era gifts the Precinct with an extraordinary capacity to inform Australians about their shared history and the development of a particular urban form in its capital cities.

Specifically the Precinct demonstrates to a high degree the pairing of a Domain with a Botanic Garden and the placement of residential buildings (terraces) oriented towards and next to a parkland.

(b) The place has outstanding heritage value to the nation because of the place's possession of uncommon, rare or endangered aspects of Australia's natural or cultural history.

The Governors' Domain and Civic Precinct includes a rich collection of archaeological material associated with some of Australia's most important historic sites. This material is important and rare nationally as a record associated with pre and post colonisation in Australia. The archaeological material identified under this criterion relates to known and documented material protected under NSW legislation.

(c) The place has outstanding heritage value to the nation because of the place's potential to yield information that will contribute to an understanding of Australia's natural or cultural history.

The Governors' Domain and Civic Precinct includes a rich collection of archaeological material associated with some of Australia's most important historic sites. This material is important as a resource for research associated with pre and post colonisation in Australia. This archaeological material identified under this criterion relates to archaeological zones identified within NSW and City of Sydney planning instruments only.

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<sup>112</sup> http://www.environment.gov.au/system/files/consultations/a9a4952e-7ddb-46de-a009-5c9543e1c054/files/fact-sheet-governors-domain-civic-precinct.pdf

(f) The place has outstanding heritage value to the nation because of the place's importance in demonstrating a high degree of creative or technical achievement at a particular period.

For the first several decades of British settlement the early Governors' Phillip, Bligh and Macquarie established, in an evolving way, the foundations for a core civic precinct which represented the civic, parliamentary and ceremonial face of the Colony attracting continued development as Sydney's premier city district. Many buildings, parks, gardens and streets remain from the colonial era gifting Sydney with a rich public domain and built heritage. The efforts of Elizabeth Macquarie in the design of elements of Macquarie's Sydney projects are also noted especially in relation to the design of parts of the Domain, the former Government stables and the Royal Botanic Garden.

The Precinct also demonstrates important early milestones in Australia's history of landscape design, town planning and architecture.

(h) The place has outstanding heritage value to the nation because of the place's special association with the life or works of a person, or group of persons, of importance in Australia's natural or cultural history.

The Governors Domain and Civic Precinct is associated with the lives or works of a number of people of importance in Australia's cultural history; including Governor Lachlan Macquarie, Elizabeth Macquarie, Governor Phillip, Bennelong, Governor Bligh and Francis Greenway

If executed, the listing will have the following heritage management implications 113:

If included in the National Heritage List, the National Heritage values of the listed place will be protected under the Environment Protection and Biodiversity Conservation Act 1999 (EPBC Act). The National Heritage values are the only aspects of a place which will be protected. This is an important distinction to note in relation to places being proposed for listing on the National Heritage List.

For general guidance, the following applies in relation to this proposed listing:

- most of the buildings included in the proposed National Heritage values are important because
  of their demonstration of a broad thematic story. As a result, detailed characteristics of a building
  or place are unlikely to be included in the proposed National Heritage values;
- a major component of the proposed National Heritage place is in public ownership;
- interiors of buildings are not included in the proposed National Heritage values;
- the proposed National Heritage values mostly relate to places or features already heritage listed at the State or local level;
- · the proposed listing will not impact on existing heritage listings; and
- the proposed National Heritage values are highly aligned with places already included in State and local government heritage registers.

An extract of the boundary of the proposed "Governors' Domain and Civic Precinct" National Heritage Listing is included hereunder.

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<sup>&</sup>lt;sup>113</sup> http://www.environment.gov.au/system/files/consultations/a9a4952e-7ddb-46de-a009-5c9543e1c054/files/fact-sheet-governors-domain-civic-precinct.pdf

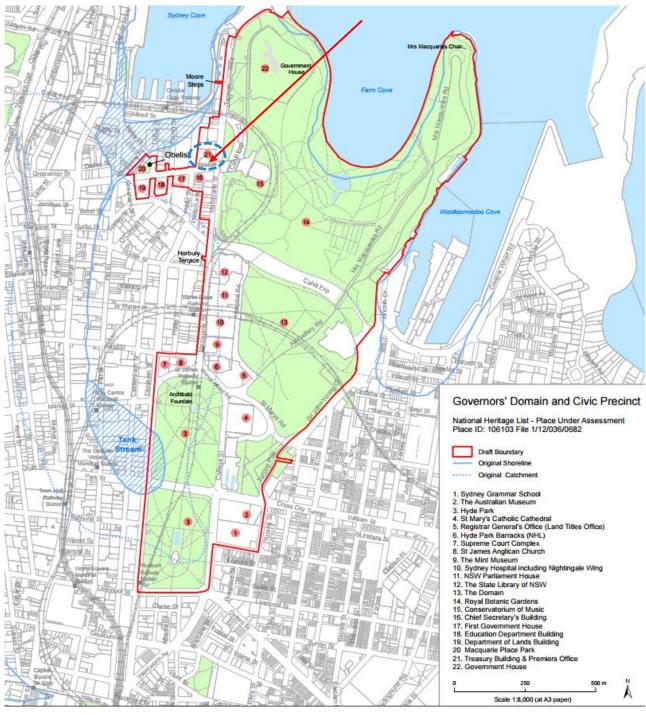


Figure 351 - Extract of the boundary of the proposed "Governors' Domain and Civic Precinct" National Heritage Listing (subject property circled)

Source: http://www.environment.gov.au/system/files/consultations/a9a4952e-7ddb-46de-a009-5c9543e1c054/files/governors-domain-civic-precinct-draft-boundary-map.pdf

#### 6.2. STATUTORY OBLIGATIONS

Works to the Former Treasury Buildings may require particular approvals depending on the nature of proposed works. Key commonwealth, state and local legislation, plans, policies and programs and committees affecting the management of the place are described below. This Section should be referred to in additional to other management plans for the site.

## 6.2.1. Commonwealth Legislation and Policies

## **Environmental Protection and Biodiversity Conservation Act 1999**

The Environment Protection and Biodiversity Conservation Act 1999 (EPBC Act) is the Australian Government's environment and heritage legislation. This act is triggered by developments or actions that will have a significant impact on matters of National environmental significance, including world heritage areas, Commonwealth marine areas, nationally threatened species and communities and migratory birds. The EPBC Act includes a process for assessment of proposed actions that have, or are likely to have, a significant impact on matters of national environmental significance.

A new national heritage system was established in January 2004 under the EPBC Act. This led to the introduction of the National Heritage List, which recognises and protects places of outstanding heritage to the Nation, and the Commonwealth Heritage List, which includes Commonwealth owned or leased places of significant heritage value.

The subject Treasury buildings are located within a precinct currently nominated for National Heritage Listing. Refer to Section 6.1.2 of this report for further discussion regarding The Governor's Domain and Civic Precinct Nomination.

## National Construction Code (incorporating Building Code of Australia (BCA)

The Building Code of Australia guides all construction work in Australia. Under the Local Government (Approvals) Regulation 1993 the consent authority has the discretionary power to require that existing buildings comply with current building standards, as a condition of approval for proposed works to the building. The BCA provisions relate to fire safety, access and egress, and services and equipment. Where works are proposed that affect more than 50% of the volume of the building, a full BCA upgrade under Clause 94 of the Environmental Planning and Assessment Regulation 2000 will be required.

Any strategies or solutions to ensure that components of the former Treasury buildings comply with the BCA should be driven by the cultural significance of the place. Where necessary, alternative solutions and performance based outcomes should be pursed to ensure the intent of the code is met without adversely impacting on significant fabric. Professional advice should always be obtained. Should conflicts arise between compliance and cultural significance, the Heritage Council of NSW is able to provide advice and assistance in seeking appropriate compliance solutions through its Fire and Services Advisory Panel.

## Disability and Discrimination Act 1995 and 2005 (Cwlth)

The Commonwealth Disability Discrimination Act 1995 and 2005 (DDA) makes it unlawful to discriminate against people on the grounds of their disability. Section 23 of the DDA requires non-discriminatory access to premises which the public or a section of the public is entitled or allowed to use.

The DDA does not require equitable access to be provided to single dwellings, although occupants may wish to provide it for their own use. Where the DDA does apply, heritage places are not exempt from it, although the Australian Human Rights Commission has advised that heritage significance may be taken into account when considering whether providing equitable access would result in unjustifiable hardship. Works proposed to be undertaken to comply with the DDA are not exempt from the need for approval under the Heritage Act. If such an application is contemplated, it should be sought at development application stage and include advice from an appropriately qualified professional with experience with heritage buildings.

## 6.2.2. NSW State Legislation

## **Environmental Planning and Assessment Act 1979**

The Environmental Planning and Assessment Act 1979 (EPA Act) governs strategic planning and development assessment processes undertaken by State and Local Government in NSW. The Act requires that Local Governments prepare planning instruments (such as Local Environmental Plans [LEPs] and Development Control Plans [DCPs]) in accordance with the Act to provide guidance on the level of environmental assessment required. Development approval for works may be required under Part 3A, Part 4 or Part 5 of the Act.

The subject former Treasury buildings fall within the boundaries of the Sydney LGA and is covered by the Sydney LEP 2012 and the Sydney DCP 2012. It also falls within the Macquarie Street Special Character Area (refer Section 6.1 of this report).

<u>Approval</u> is required under this Act for alterations and additions to the site. Heritage advice or assessment may be required if works are likely to impact on the overall heritage significance of the place or elements identified in this report as being of exceptional or high significance.

#### Heritage Act 1977

The Heritage Act is administered by Heritage NSW as delegate for the Heritage Council of NSW, as part of the NSW Department of Premier and Cabinet. The purpose of the Heritage Act 1977 is to ensure cultural heritage in NSW is adequately identified and conserved. The Act is the primary item of State legislation affording protection to items of environmental heritage (natural and cultural) in NSW. Under the Heritage Act, 'items of environmental heritage' include places, buildings, works, relics, moveable objects and precincts identified as significant based on historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic values. State significant items are listed on the NSW State Heritage Register (SHR) under Section 60 of the Act and are given automatic protection against any activities that may damage an item or affect its heritage significance.

Buildings on the SHR are subject to requirements under the Heritage Act 1977. An application must be lodged with the Heritage Council of NSW (Heritage NSW of Department of Premier and Cabinet as delegate) and approval is required prior to any modifications to the building being carried out. Works will require approval by Heritage Council of NSW under either Section 57 or Section 60 of the Heritage Act 1977. This applies except where works are exempt under either standard or site specific exemptions or where conservation works are in accordance with a Heritage Agreement or where works are in accordance with an endorsed Conservation Management Plan (CMP) or site specific Development Control Plans (DCP).

## Minimum Standards of Maintenance and Repair

Under Section 118 of the NSW Heritage Act the agency has the power to impose minimum standards with respect to the maintenance and repair of buildings, works and relics that are listed on the State Heritage Register or within a precinct that is listed on that Register. The minimum standards include:

- Yearly inspections by a suitably qualified person,
- Provision of Weather Protection,
- Fire Protection (and additional fire protection for unoccupied buildings),
- Security (and additional security for unoccupied buildings),
- Essential maintenance and repair,
- Preparation of a Conservation Management Plan.

The minimum standards of repair are attached at **Appendix F** and can be viewed here: http://www.environment.nsw.gov.au/resources/Heritagebranch/heritage/infominimumstandards.pdf.

An endorsed Conservation Plan can impose additional standards of maintenance and repair.

## Historical Archaeology

Historical relics are also protected under the Heritage Act throughout all areas of NSW. If historic relics are discovered on the site during any maintenance or construction works, the Department of Premier and Cabinet must be notified under Section139 of the Heritage Act 1977.

Section 4(1) of the Heritage Act (as amended 2009) defines 'relic' as follows:

"relic means any deposit, artefact, object or material evidence that:

- (a) relates to the settlement of the area that comprises New South Wales, not being Aboriginal settlement, and
- (b) is of State or local heritage significance."

Sections 139-145 of the Heritage Act prevent the excavation or disturbance of land known or likely to contain relics, unless in accordance with an excavation permit. Section 60 excavation permits are required to disturb relics within State Heritage Register (SHR) sites, while Section 140 permits are required for sites that are not listed on the SHR. Under the provisions of the Environmental Planning and Assessment Act 1979 (EP&A Act), excavation permits to disturb relics under Section 60 or Section 140 of the Heritage Act are not required for SSD projects.

#### **National Parks and Wildlife Act 1974**

The National Parks and Wildlife Act 1974 is administered by the Department of Premier and Cabinet. Under the Act, the Director-General of the National Parks and Wildlife Service is responsible for the care, control and management of all national parks, historic sites, nature reserves, reserves, Aboriginal areas and state game reserves. State conservation areas, karst conservation reserves and regional parks are also administered under the Act. The Director-General is also responsible for the protection and care of native fauna and flora, and Aboriginal places and objects throughout NSW (consisting of any material evidence of the Aboriginal occupation of NSW) under Section 90 of the Act, and for 'Aboriginal Places' (areas of cultural significance to the Aboriginal community) under Section 84.

If Aboriginal objects and places are found, the National Parks and Wildlife Service must be informed under Section 91 of the Act and permits may apply under Section 90. A licence may also be required under the Act to damage or destroy threatened fauna species. Penalties apply for the destruction of Aboriginal objects and places, and the harm of any protected species. There are Interim Guidelines for Consultation associated with applications for permits under Section 90 of the Act.

The protection provided to Aboriginal objects applies irrespective of the level of their significance or issues of land tenure. However, areas are only gazetted as Aboriginal Places if the Minister is satisfied that sufficient evidence exists to demonstrate that the location was and/or is, of special significance to Aboriginal culture.

The Act was recently amended (2010) and as a result the legislative structure for seeking permission to impact on heritage items has changed. An s.90 permit is now the only AHIP available and is granted by the Department of Premier and Cabinet. Various factors are considered by Department of Premier and Cabinet in the AHIP application process, such as site significance, Aboriginal consultation requirements, ESD principles, project justification and consideration of alternatives. AHIPs are not required for projects assessed as State Significant Developments (SSD).

As part of the administration of Part 6 of the Act, the Department of Premier and Cabinet has developed regulatory guidelines on Aboriginal consultation, which are outlined in Aboriginal Cultural Heritage Consultation Requirements for Proponents (2010). Guidelines have also been developed for the processes of due diligence - Due Diligence Code of Practice for the Protection of Aboriginal Objects in NSW (2010), and for investigation of Aboriginal objects - Code of Practice for Archaeological Investigation of Aboriginal Objects in New South Wales (2010) in accordance with the 2010 amendment to the Act.

## State Environmental Planning Policies

State environmental planning policies (SEPPs) deal with issues significant to the state and people of New South Wales. Various SEPPs may apply to development at the former Treasury buildings.

The SEPP Exempt and Complying Development Codes, which provide for some types of development with minimal impact to be undertaken without consent, do not apply except where an exemption has already been granted under s57(2) of the Heritage Act and the development meets the requirements and standards specified by this policy.

## 6.2.3. Local Government Legislation

## Sydney Local Environmental Plan (SLEP) 2012

A Local Environmental Plan is the principal legal document for controlling development and guiding planning decisions made by Council. The former Treasury buildings are subject to the provisions of the SLEP 2012. The LEP came into effect on 14 December 2012. The aims of this plan are<sup>114</sup>:

#### 1.2 Aims of Plan

- (1) This Plan aims to make local environmental planning provisions for land in the City of Sydney in accordance with the relevant standard environmental planning instrument under section 33A of the Act.
- (2) The particular aims of this Plan are as follows:
- (a) to reinforce the role of the City of Sydney as the primary centre for Metropolitan Sydney,
- (b) to support the City of Sydney as an important location for business, educational and cultural activities and tourism,
- (c) to promote ecologically sustainable development,
- (d) to encourage the economic growth of the City of Sydney by:
- (i) providing for development at densities that permit employment to increase, and
- (ii) retaining and enhancing land used for employment purposes that are significant for the Sydney region,
- (e) to encourage the growth and diversity of the residential population of the City of Sydney by providing for a range of appropriately located housing, including affordable housing,
- (f) to enable a range of services and infrastructure that meets the needs of residents, workers and visitors,
- (g) to ensure that the pattern of land use and density in the City of Sydney reflects the existing and future capacity of the transport network and facilitates walking, cycling and the use of public transport,
- (h) to enhance the amenity and quality of life of local communities,
- (i) to provide for a range of existing and future mixed-use centres and to promote the economic strength of those centres,
- (j) to achieve a high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities,
- (k) to conserve the environmental heritage of the City of Sydney,
- (I) to protect, and to enhance the enjoyment of, the natural environment of the City of Sydney, its harbour setting and its recreation areas.

The former Treasury buildings are, in addition to being listed on the State Heritage Register, also listed as a heritage item under Schedule 5 of the SLEP 2012.

The SLEP 2012 requires consent for certain types of development (including development affecting and in the vicinity of heritage items) and the consent authority, in considering any proposed development, must have regard to the relevant aims, strategies and principles contained in this plan and may have regard to any published planning and design provisions and policies adopted by the Central Sydney Planning Committee or the Council. Heritage provisions under the LEP are incorporated under section 5.10 of the instrument.

Clause 5.10 (2) nominates consent required for certain development as outlined below 115:

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<sup>&</sup>lt;sup>114</sup> Sydney Local Environment Plan 2012 Section 1.2 (as at 25/11/2013)

<sup>&</sup>lt;sup>115</sup> Sydney Local Environment Plan 2012 Section 5.10 (2) (as at 25/11/2013)

#### (2) Requirement for consent

Development consent is required for any of the following:

- (a) demolishing or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance):
  - (i) a heritage item,
  - (ii) an Aboriginal object,
  - (iii) a building, work, relic or tree within a heritage conservation area,
- (b) altering a heritage item that is a building by making structural changes to its interior or by making changes to anything inside the item that is specified in Schedule 5 in relation to the item,
- (c) disturbing or excavating an archaeological site while knowing, or having reasonable cause to suspect, that the disturbance or excavation will or is likely to result in a relic being discovered, exposed, moved, damaged or destroyed,
- (d) disturbing or excavating an Aboriginal place of heritage significance,
- (e) erecting a building on land:
  - (i) on which a heritage item is located or that is within a heritage conservation area, or
  - (ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance,
- (f) subdividing land:
  - (i) on which a heritage item is located or that is within a heritage conservation area, or
  - (ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance.

Heritage provisions relating to Heritage Floor Space are provided under Subdivision 3 Heritage Floor Space (section 6.10-6.11).

## Sydney Development Control Plan 2012 (SDCP2012)

A development control plan is a non-legal document that supports the LEP with more detailed planning and design guidelines. For development where the City of Sydney Council and the Central Sydney Planning Committee are the consent authority, various DCPs may apply. The Sydney DCP 2012 applies to most of the City's local area including the subject site.

The Sydney DCP was adopted by Council on 14 May 2012 and came into effect on 14 December 2012, the same day as the Sydney Local Environmental Plan 2012. The DCP incorporates provisions for works to heritage items, development in the vicinity of heritage items, and within special character areas.

Heritage item provisions are predominantly considered in the general provisions of the DCP in section 3, and specifically section 3.9 Heritage (although this is not exhaustive). The DCP acknowledges that heritage conservation does not preclude change but rather responds to different constraints and opportunities. The DCP aims to ensure that the significant elements of the past are appropriately managed and respected by new development, with the underlying principles being that:

- Change should be based on an understanding of heritage significance; and
- The level of change should respect the heritage significance of the item or area.

The intention of these provisions is to ensure that decisions about change are made with due regard to heritage significance, and that opportunities to improve the understanding and appreciation of this significance are taken<sup>116</sup>.

<sup>&</sup>lt;sup>116</sup> Sydney Development Control Plan (SDCP) 2012, Section 3: General Provisions: Section 3.9 Heritage, 3.9-1

#### Special Character Area

The subject building and its surrounding context along Macquarie Street are also within the designated Macquarie Street Special Character Area identified in Section 2.1.6 of the Sydney DCP 2012. Section 2.1 of the Sydney DCP explains that Special Character Areas have cultural significance and contribute to the identity and quality of Central Sydney and provides supporting principles for development within these areas. In addition, the Sydney DCP Clause 2.1.6 provides a character statement and set of specific principles for development within the Macquarie Street Special Character Area, as included hereunder:

Macquarie Street contains a collection of highly significant buildings dating from the early 19th century to the late 20th century. Originally a government precinct, it has expanded to embrace first residential, professional, then commercial and tourism uses.

Macquarie Street forms the eastern built edge of the City Centre. It is characterised by two distinct sides: its western built edge consists of medium scale buildings, stepping up to the city high rise beyond, creating a prominent city skyline when viewed from the Botanic Gardens; while the eastern edge includes the Botanic Gardens and to the south a cohesive rare group of public buildings of national significance, that terminate east-west streets and create significant vistas, particularly from Martin Place.

Macquarie Street is an important civic street providing a vista terminated to the south by Hyde Park, with views north to the Opera House.

In summary, where new works or uses are proposed to the former Treasury buildings, specific provisions within the DCP should be considered including (but not limited to):

- Provisions for heritage items in section 3.9.1-3.9.5
- General objectives for Special Character Areas (section 2.1)
- Objectives for the Special Character Area (Macquarie Street Special Character Area) section 2.1.6

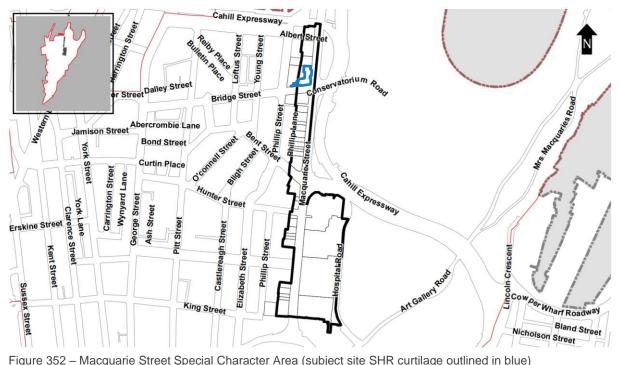


Figure 352 - Macquarie Street Special Character Area (subject site SHR curtilage outlined in blue)

Source: Sydney DCP 2012, p.2.1-11

This report lists the provisions at the time of preparing this report and reference should be made to the current instrument in conjunction with any proposed works.

## 6.2.4. Management Plans and Guidelines

This Conservation Management Plan revises the following report:

Conservation Analysis, Statement of Cultural Significance, Development Constraints and Draft Conservation Policy Report, prepared by Clive Lucas Pty Ltd in August 1982.

Policy recommendations from the above report have been considered and incorporated in this CMP (refer Section 8) and this report therefore supersedes the policy recommendations of the 1982 report.

## 6.3. APPROVALS AND CONSENT

Approvals and consent are required for works to the former Treasury buildings from the City of Sydney and NSW Heritage Council. A flow chart detailing the process for approvals is outlined below.

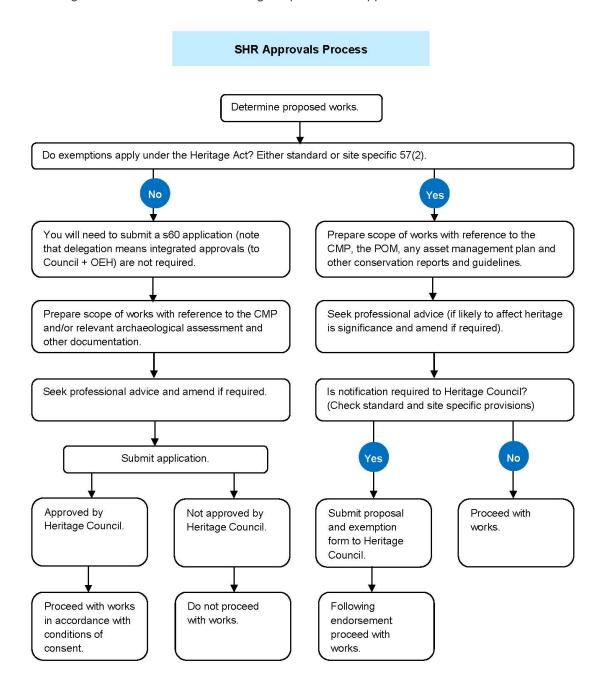


Figure 353 - State Heritage Register Approvals Process

Source: Heritage Council New South Wales

As outlined above, there are two types of exemptions which can apply to a heritage item listed on the State Heritage Register; standard exemptions for all items on the State Heritage Register and site specific provisions. Reference should be made to the exemption provisions to determine whether notification is required. Heritage advice should be sought in conjunction with exemptions and a Heritage Impact Statement may be required to accompany the exemption.

# 7. OPPORTUNITIES AND CONSTRAINTS

# 7.1. INTRODUCTION

The conservation planning process established by the *Burra Charter* of Australia ICOMOS guidelines (refer Article 6 which defines the Burra Charter Process) requires that relevant constraints be identified as part of the process for developing conservation policies for places of significance. These constraints include:

- Obligations arising from the cultural significance of the place;
- Physical constraints of the place, including environmental factors and the physical condition of the fabric;
- Relevant statutory and non-statutory controls;
- Owners' needs, resources and other external constraints; and
- Obligations involved in undertaking research, maintaining records and communicating the heritage values of the place.

The assessment of the following specific constraints and opportunities will result in appropriate policies for the subject Treasury buildings.

# 7.2. OBLIGATIONS ARISING FROM STATUTORY AND NON-STATUTORY REQUIREMENTS

Approvals for works to the site may be required under the EP&A Act, the Heritage Act and/ or the National Parks and Wildlife (NP&W) Act as outlined above in Section 6.2. This section should be referred to prior to undertaking any works. The pending National Heritage Listing and associated EPBC Act requirements should be considered.

As the subject Treasury buildings are listed on the SHR, they are required to be maintained in accordance with the *Minimum Standards of Maintenance and Repair* under Section 118 of the *Heritage Act 1977* and the Heritage Regulation 2012.

Where new works are proposed, compliance with the Building Code of Australia / National Construction Code and Australian Standard AS1428 (Universal Access) may also be required as outlined in Section 6.2. Any strategies or solutions to ensure that components of the subject Treasury buildings comply with the BCA/ NCC or AS1428 should be driven by the cultural significance of the place. Where necessary, alternative solutions and performance based outcomes should be pursed to ensure the intent of the code is met without adversely impacting on significant fabric.

To minimise adverse interventions and to assist in maximising the exposure of significant heritage fabric, alternate solutions to the deemed to satisfy provisions of the BCA should be derived from performance based assessments particularly in relation to structural provisions, fire resistance and stability, fire separation, provisions for access and egress, sound transmission and isolation, and energy efficiency.

Professional advice should always be obtained. Should conflicts arise between compliance and cultural significance, the Heritage Council of NSW is able to provide advice and assistance in seeking appropriate compliance solutions through its Fire and Services Advisory Panel.

## 7.2.1. The Burra Charter

The ICOMOS Burra Charter 2013 adopted by Australia ICOMOS, establishes the nationally accepted principles for the conservation of places of cultural significance. Although the *Burra Charter* is not cited formally in an Act, it is nationally recognised as a document that shapes the policies of the Heritage Council of NSW. The document provides the underlying methodology by works to heritage items of all levels of significance are undertaken and provides the guidelines for the management of heritage items. The subject Treasury buildings are of demonstrated cultural significance, and therefore, procedures for managing changes and activities at the site should be in accordance with the recognised conservation methodology of The Burra Charter.

A copy of the Burra Charter is attached at **Appendix E**, or is available via the following link: http://australia.icomos.org/wp-content/uploads/The-Burra-Charter-2013-Adopted-31.10.2013.pdf.



Figure 354 – The Burra Charter Process (flow chart showing the steps in planning for and managing a place of cultural significance, with Key articles relevant to each step shown in the boxes)

Source: The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013.

#### **7.3**. OBLIGATIONS ARISING FROM HERITAGE SIGNIFICANCE

This CMP provides an analysis of the significance of the subject Treasury buildings in their present form. It has been determined that the buildings are of state heritage significance for their historical, aesthetic, associative, rarity and representative values, with the Original Treasury Building in particular being considered to be an outstanding example of Sydney's colonial development and in particular of Government office development of the period. This places an obligation for owners, occupiers and users of the buildings and any other stakeholders responsible for or involved in the maintenance and management of the buildings to conserve this identified significance. This includes internal and external fabric, individual spaces, elements and structures of the building as identified in Section 0 and Appendix B.

Any future proposed changes to the buildings must be undertaken in accordance with the Sydney LEP and DCP 2012, the Burra Charter and with reference to the policy recommendations of this CMP. The significance of the site is summarised above in Section 5.6.2.

General constraints in relation to the elements, fabric and spaces of heritage significance and setting include:

- Fabric and spaces of moderate, high or exceptional significance should be retained and conserved. Significance is defined in Section 5.1 of this Plan with schedule of significant elements provided in Appendix B.
- Retain original configuration and fabric of the buildings which reflect historically significant uses of the buildings and elements (with reference to significance schedules provided herein).
- Future proposed works should aim to regain and/ or interpret "lost" elements of the buildings which were once important contributors to its architectural design, amenity and significance. These include elements such as the chimneys and chimney pots to the Original Treasury Building.
- Elements intrusive to the significance of the building, its interiors and to the Macquarie Street and Bridge Street streetscapes should be removed concurrent with any major conservation works programme, proposed major alterations and/ or additions, adaptive reuse or transfer of floor space from the site.
- The contribution of the buildings to the public domain of Macquarie Street and Bridge Street, and as contributory buildings to the colonial theme of the greater "Governors' Domain and Civic Precinct" proposed National Heritage Listing, should be retained and conserved.
- The principal elevations, significant fabric and elements, and overall understanding of the significant building form of the Former Treasury Buildings must be retained and conserved. Significant fabric must not be removed.
- Refer to Section 8: Conservation Policies, for all policies regarding management of heritage significance of the buildings.

# 7.4. OBLIGATIONS ARISING FROM THE CONDITION AND INTEGRITY OF FABRIC AND PHYSICAL EVIDENCE

This CMP provides a general analysis of the condition of the subject Treasury buildings in their present state. It has been determined that in general terms; the significant fabric of the buildings is in good condition and on this basis, should continue to be retained, maintained and conserved.

General constraints in relation to condition of the fabric include:

- Identified intrusive elements should be removed; concurrent with any major conservation works programme, major alterations and additions, adaptive reuse or transfer of floor space from the site.
- Future proposed works should aim to regain and interpret "lost" elements of the buildings which were once important contributors to its architectural design, amenity and significance, where appropriate.
- The process for conservation should be informed by the relative condition of the fabric, the level of documentary and historical evidence associated with the fabric and significance grading.
- The buildings' current envelope should be retained as existing and no major additions or removal of fabric should occur, other than those specifically referred to in Section 8: Conservation Policies.
- Conservation of the building fabric should be managed in accordance with the Conservation Policies in Section 8. As the subject Treasury buildings are on the SHR, they are required to be maintained in accordance with the Minimum Standards of Maintenance and Repair found under Section 118 of the Heritage Act 1977 and the Heritage Regulation 2012.
- Fabric identified as exceptional or highly significant should have works undertaken as a priority when required. In situ repairs are preferred for fabric of high or exceptional significance. Impact on significant fabric should be considered and the appropriate approvals sought. Refer to the Schedule of Significant Elements at **Appendix B**.
- Any repair, conservation or reconstruction works to significant elements or facades should be undertaken with appropriate supervision by a suitably qualified heritage consultant /architect and/ or relevant materials specialist/s or conservator.
- Owners, occupiers and stakeholders responsible for and involved in the maintenance and management of the building should be aware of the identified significance and aim to conserve and enhance this significance as well as identified significant internal and external fabric and spaces.

Refer to Section 8: Conservation Policies for policies regarding the conservation of the buildings.

## 7.5. OWNER'S REQUIREMENTS

The subject Treasury buildings are a culturally significant and important part of Sydney's heritage. The buildings significantly contribute to the understanding of Sydney's colonial development and form part of a group of historically significant sandstone public buildings on the eastern periphery of the CBD.

The owner, Mulpha Hotel (Sydney) Pty Limited, has a vision that the subject significant Treasury buildings, together with the adjoining 1980s' hotel development on the site, will continue to operate as a high-class, five-star hotel providing a service offering in Sydney exceeding other hotel operators. Mulpha is exploring opportunities to refurbish the InterContinental Hotel and utilise the historic buildings to their fullest potential, allowing for celebration and interpretation of the history and significance of the place.

The Independent Planning Commission of NSW approved a Stage 1 Concept State Significant Development Application (SSD-7693) on 20 January 2020, which covered anticipated works to both the InterContinental Hotel (including the Former Treasury Building) and the adjoining Transport House property. The SSD Application sought consent to establish building envelopes to facilitate internal and external alterations and additions. The consent did not provide approval for any built works, and therefore any physical building works will be subject to further applications and approvals from the approval bodies (City of Sydney Council and Heritage Council of NSW or the NSW Department of Planning, Industry and Environment).

The significant spaces within the Former Treasury Buildings are used variously in conjunction with the hotel operations and are currently utilised as follows:

- Original Treasury Building: ground floor is leased as small office spaces while the first floor is used sporadically for conference rooms for the hotel. The basement level is not utilised.
- Strong Room Building: basement level is utilised as the hotel's 'group entry' for buses which unload on Macquarie Street. The ground and first floors are used as conference and event spaces.
- Link Building: basement level is partially occupied with retail, while the ground and first floors are utilised for conference spaces in association with the hotel.
- Western Wing: The basement level is occupied with food and beverage offering (Meat & Wine Co currently), the ground floor level is occupied with the hotel's café and the first floor is unutilised but provides a few connecting conference spaces which link through to the existing ballroom space.

The Former Treasury Building spaces are used sporadically. There is an opportunity to explore alternative uses which would result in stronger site activation and use of these spaces, which would in turn promote the interpretation and conservation of these spaces.

Generally, it is proposed that the significant spaces within the former Treasury buildings will continue to be occupied for business meeting and function purposes, which are sympathetic non-intrusive uses appropriate to the spaces. Other potential uses include retail and food & beverage offerings. In particular, highly significant spaces of the buildings which emphasise the significance of the site (such as the basement level original vault) provide an opportunity for facilitation of public activation and interpretation of the buildings.

For any future development within the Former Treasury Buildings, a detailed design will be required, including if required, strategies for BCA upgrades, structural and building services upgrades and universal access (DDA) upgrades. It is noted that the property owner is obliged under the Heritage Act to maintain minimum standards of maintenance and repair as identified in Section 6.2.2, and the hotel is presently maintained to a high standard appropriate to an international hotel.

# 7.6. CURRENT AND FUTURE USES

The Original Treasury Building was constructed in c.1849-1851 to house the Treasury and Auditor-General Departments of the colony. Its subsequent extensions (Strong Room, Link Building and Western Wing) were undertaken to accommodate growth within these departments, and also accommodate the evolution of and centralisation of related Government agencies. The buildings were occupied for this purpose until 1967, when they were occupied by the Conservatorium of Music, The Police Department, and the Ministry of Transport variously until 1982.

In 1982, the property was redeveloped into the InterContinental Hotel Sydney, by integrating the former Treasury buildings into a contemporary extension and hotel tower development. The tower and podium of the 1980s' hotel building, which are located outside of the SHR curtilage, have not been assessed in this

CMP for their potential heritage significance, and are not included in the schedule of significant elements or significance diagrams.

The consideration of any future uses of the former Treasury buildings portion of the site must be mindful of its original historic use and significance. A range of uses may be permissible, providing that the use does not negatively affect significant fabric or interpretation of heritage significance as identified in Section 5.6.2.

The following general principles should apply to the adaptation of the buildings to new and different uses. The preferred new uses for these significant buildings are uses that will:

- Actively enhance the appreciation of their values and significance.
- Ensure the conservation of the identified significant building elements, fabric and spaces and context.
- Accommodate the activities, services and fittings which are essential to the new use without damaging significant spaces, elements or fabric.

Future uses for this significant building may be considered compatible if the following criteria are met:

- The cultural significance of the buildings and their significant extant elements must be retained.
- Elements, fabric and spaces of Exceptional and High significance are not damaged or destroyed.
- The services required (eg. fire safety provisions, lift, air conditioning, toilets, etc) for a potential new use
  are to be carefully and sympathetically inserted and should not significantly cause damage, destroy or
  compromise the buildings or any interior spaces, elements and fabric of significance.
- Future uses should consider any required structural upgrades. Uses that require significant upgrades that affect significant fabric should be considered in conjunction with heritage advice and some uses may not be considered appropriate. Sensitive solutions may need to be considered.

It is noted that lack of use and the consequent lack of maintenance may be as equally damaging as the introduction of an incompatible use. Proposed uses which achieve relatively more of the conservation policies are preferred to those which necessitate greater change and intrusion.

The types of occupants should be selected on the basis that they "fit" the buildings' extant spaces; the reverse approach wherein the significant fabric of the building is altered and/or demolished to suit the requirements of the occupant is unacceptable.

Unique and creative solutions which embrace the significant values of the place and celebrate the important internal spaces should be considered to activate the buildings Uses which encourage public access and interpretation should be prioritised. The current uses as ancillary spaces to support the core hotel use are not realising the full potential of all the spaces these buildings have to offer. While larger spaces in the Strong Room and Link Building are being well utilised, spaces within the Original Treasury Building are generally vacant.

# 8. CONSERVATION POLICIES

# 8.1. WHAT IS A CONSERVATION POLICY?

A conservation policy explains the principles to be followed to retain or reveal a place's heritage significance, and how the significance can be enhanced and maintained. This relies on a full understanding of the item's significance and a review of the constraints and opportunities arising out of that significance.

The below policies and guidelines are informed by background discussion which explains the reasoning behind the policy. It is noted that not all of the guidelines and/ or policies may be achievable when external matters are taken into account such as condition or owners' requirements (within reason).

The following sections of the report relate specifically to the ongoing conservation, management and interpretation of the Former Treasury Buildings only. The 1980s' hotel development and tower are of no heritage significance, are located outside the SHR listed curtilage for the place, and are excluded from the policies herein, except for where policies are relevant in the broader context of the site, setting and context of the heritage items. The only exception to this is the consideration of the cortile space and fabric in consideration for its direct interface with the Former Treasury Buildings.

## 8.2. **DEFINITIONS**

The below table outlined the definitions of terms used throughout the conservation policy section.

Table 23 - Definitions of terms

Term	Definition
Archaeological assessment	A study undertaken to establish the archaeological significance (research potential) of a particular site and to identify appropriate management actions
Archaeological potential	The degree of physical evidence present on an archaeological site, usually assessed on the basis of physical evaluation and historical research
Archaeology	The study of past human cultures, behaviours and activities through the recording and excavation of archaeological sites and the analysis of physical evidence
Australia ICOMOS	The national committee of the International Council on Monuments and Sites
Burra Charter	Charter adopted by Australia ICOMOS, which establishes the nationally accepted principles for the conservation of places of cultural significance; Although the <i>Burra Charter</i> is not cited formally in an Act, it is nationally recognised as a document that shapes the policies of the Heritage Council of NSW
Conservation	All the processes of looking after an item so as to retain its cultural significance; it includes maintenance and may, according to circumstances, include preservation, restoration, reconstruction and adaptation, and will be commonly a combination of more than one of these
Conservation Management Plan	A document explaining the significance of a heritage item, including a heritage conservation area, and proposing policies to retain that significance; it can include guidelines for additional development or maintenance of the place
Conservation policy	A proposal to conserve a heritage item arising out of the opportunities and constraints presented by the statement of heritage significance and other considerations
Context	The specific character, quality, physical, historical and social characteristics of a building's setting; depending on the nature of the proposal, the context could be as small as a road or entire suburb

Term	Definition
Curtilage	The geographical area that provides the physical context for an item, and which contributes to its heritage significance; land title boundaries do not necessarily coincide
Heritage and Conservation Registers	A register of heritage assets owned, occupied or controlled by a State agency, prepared in accordance with section 170 of the <i>Heritage Act</i>
Heritage item	A landscape, place, building, structure, relic or other work of heritage significance
Heritage significance	Of aesthetic, historic, scientific, cultural, social, archaeological, natural or aesthetic value for past, present or future generations
Integrity	A heritage item is said to have integrity if its assessment and statement of significance is supported by sound research and analysis, and its fabric and curtilage and still largely intact
Interpretation	Interpretation explains the heritage significance of a place to the users and the community; the need to interpret heritage significance is likely to drive the design of new elements and the layout or planning of the place
Maintenance	Continuous protective care of the fabric and setting of a place; to be distinguished from repair; repair involves restoration or reconstruction
Setting	The area around a heritage place or item that contributes to its heritage significance, which may include views to and from the heritage item; the listing boundary or curtilage of a heritage place does not always include the whole of its setting
Use	Means the functions of a place, as well, as the activities and the practices that may occur at the place; a compatible use respects the cultural significance of a place

# 8.3. ADOPTION, IMPLEMENTATION AND REVIEW

## **Background**

Various state legislation applies to the management of the former Treasury buildings.

The subject site is listed on the State Heritage Register (SHR) under the Heritage Act and is also listed as a heritage item on Schedule 5 of the Sydney Local Environment Plan 2012. Approvals are required for works to the heritage item and exemptions may be required for maintenance or minor works (with notifications and approval required in writing). Approvals may also be required for works in the vicinity of the item.

Any works to the property should comply with appropriate legislation, policies and guidelines, as amended from time to time, including but not limited to the Heritage Act 1977 (NSW), the Building Code of Australia, the Australia ICOMOS Burra Charter 2013 and relevant City of Sydney Council LEP and DCP documentation as outlined in section 6.2 of this document.

- Management of the site under legislation should be guided by the site's significance, this CMP and the following policies.
- This CMP should be adopted by present and future owners and used as a guide for the management, conservation and maintenance of the place. All persons responsible for the management and maintenance of the site should be familiar with the significance of the place and the conservation policies in this report.
- Future proposed changes to the buildings need to be undertaken in accordance with the relevant LEP and DCP. A heritage impact statement or archaeological assessment may be required to assess any works to the place.
- City of Sydney and heritage NSW / Heritage Council of NSW should refer to the CMP when considering proposed changes to the buildings.
- Any works to make the place comply with Building Code of Australia requirements should be governed by the heritage significance of the place.
- This CMP should be reviewed and updated within 5-10 years to remain relevant to ongoing change and use of the place, and statutory compliance. Prior to the review, if substantial change in the management or use of the place is proposed that are not covered by policies in this Plan then the policy section should be reviewed. Irrespective of the requirement to review the document every 5 to 10 years, the CMP should remain as a valid basis for ongoing heritage management until such reviews are completed. Reviews of the CMP should be based on The Burra Charter and other guidelines by Heritage NSW of the Department of Premier and Cabinet. Reviews should also take into account any other relevant legislation, planning frameworks and widely recognised conservation practices and procedures. Reviews should be undertaken by experienced conservation practitioners in conjunction with relevant ownership and management representatives.
- Conservation works undertaken in accordance with the CMP should involve experienced heritage and conservation professionals.

#### **Policies**

- Policy 1. This Conservation Management Plan should be adopted by present and future owners and used as a guide for management and conservation of the place.
- Policy 2. A copy of this Conservation Management Plan should be retained on site at all times for use by those responsible for the management and conservation of the place.
- Policy 3. A copy of the Plan should be submitted to City of Sydney Council and to Heritage NSW of the Department of Premier and Cabinet for research purposes. A digital version of the plan should be made available via the NSW State Heritage Inventory listing for the place.
- Policy 4. This Conservation Management Plan should be submitted to City of Sydney Council and Heritage NSW (as delegate for the Heritage Council of NSW) as part of any application for new works. Where appropriate or requested, it should be accompanied by a heritage impact

statement that assesses the specific impacts of the proposal against relevant legislation and policies in this CMP.

- Policy 5. This CMP should be reviewed and updated within 5- 10 years or in conjunction with major works to the place, to remain relevant to ongoing change and use of the place, and statutory compliance.
- Policy 6. This Plan should be endorsed by the NSW Heritage Council and used as a basis for assessment of development applications.
- Policy 7. The policies in this Plan are not to be read in isolation but rather in conjunction and as part of a comprehensive guide to the conservation management of the building.
- Policy 8. Any works to the place should be carried out in accordance with the principles set out in the Australia ICOMOS Burra Charter.

## 8.4. MANAGEMENT OF HERITAGE SIGNIFICANCE

## **Background**

Article 3 of The Burra Charter indicates that conservation is based on a respect for the existing fabric of a place and should therefore involve the least possible physical intervention in order not to distort the evidence provided by the fabric. One of the key objectives therefore, of contemporary conservation practice is to retain as much of the **significant** original fabric as possible, in order to preserve the essential integrity of the heritage resource.

The former Treasury buildings are of state heritage significance for its historical, aesthetic, associative, rarity and representative values. Various built components contribute in different ways to the overall significance of the building and the degree of change considered appropriate is dependent on its assessed level and grading of significance. Elements with a higher grade of significance will have greater constraints on change.

- The Statement of significance embodies the core heritage values of the buildings and all future decisions and works to the buildings must be guided by the statement of significance and the identified significant spaces, fabric and building elements identified in this CMP together with any additional detailed research and assessment. The significance is defined in section 5.6.2 of this CMP with schedule of significant elements provided in Appendix B.
- Owners, occupiers and stakeholders responsible for and involved in the maintenance and management
  of the building should be aware of the identified significance and aim to conserve and enhance this
  significance as well as identified significant internal and external fabric and spaces.
- Works should be undertaken in accordance with the principles of the Australia ICOMOS Burra Charter.

## **Policies**

- Policy 9. **Exceptional Significance**: Building form, roofscape, elements and spaces of exceptional significance are those which are rare or outstanding and which directly contribute to the place's overall heritage significance. These must not be obstructed by new works, structures or services and they must be clearly visible and interpreted as part of any new works. Where building form, roofscape, elements and spaces of exceptional significance have been damaged they must be repaired with sympathetic materials in preference to replacement.
- Policy 10. **High Significance**: Building form, roofscape, elements and spaces of high significance have a high degree of original fabric and demonstrate key aspects of the place's overall heritage significance. They must not be obstructed by new works, structures or services and they must be clearly visible and interpreted as part of any new works. Where damaged they must be repaired with sympathetic materials in preference to replacement. Where building form, roofscape, elements and spaces of high significance have been damaged they must be repaired with sympathetic materials in preference to replacement.
- Policy 11. **Moderate Significance**: Building form, roofscape, elements and spaces of moderate significance have been altered or modified or do not demonstrate the key aspect of the

- significance of the place. Minor change is acceptable so long as it does not adversely affect values and fabric of exceptional or high significance.
- Policy 12. **Little Significance**: Building form, roofscape, elements and spaces of little significance do not substantially add to the significance of the place in a positive way, neither do they detract from its overall significance. Building form, roofscape, elements and spaces of little significance may have been substantially altered or modified or may reflect non-significant phases of development. Changes are acceptable so long as they do not adversely affect values, building form, spaces and fabric of exceptional or high significance.
- Policy 13. **Intrusive**: Elements and spaces identified as intrusive detract from the clear interpretation of the place. Elements and spaces identified as intrusive should be removed.
- Policy 14. **Neutral**: Elements and spaces identified as neutral do not contribute or detract from significance. The attribution of 'neutral' typically applies to introduced new or utilitarian fabric that does not relate to a significant historical period or use, and which does not detract from the heritage values of a place. Changes are acceptable so long as they do not adversely affect values, building form, spaces and fabric of exceptional or high significance.
- Policy 15. All future decisions and works to the former Treasury Buildings must be guided by the SHR Statement of Significance (Section 5.5.2), the proposed Statement of Significance included in this CMP (Section 5.6.2) and the documentary evidence contained throughout this CMP. The significance of the picturesque composition of the overall architectural form, roofscape, spaces, fabric and building elements identified in this CMP together with any additional detailed research and assessment should form the basis for future conservation decisions for the place.
- Policy 16. All contractors, consultants and project managers engaged to work on the building should have appropriate conservation skills, experience and techniques appropriate to the trade, fabric or services.
- Policy 17. The Former Treasury Buildings are of state heritage significance for their historical, aesthetic, associative, rarity and representative values, and should be retained and conserved.
- Policy 18. Extant significant building elements, spaces and fabric, both internally and externally should be retained and conserved in accordance with the policies identified in this CMP.
- Policy 19. Missing or lost elements of heritage significance should be reinstated where possible and in conjunction with programs of major works. This could include missing chimneys and chimney pots to the Original Treasury Building.
- Policy 20. The future conservation and development of the place should be carried out in accordance with the principles of the Burra Charter. The Burra Charter advocates a cautious approach to change: do as much as necessary to care for the place and to make it useable, but otherwise change it as little as possible so that its cultural significance is retained.
- Policy 21. Any significant elements proposed for demolition or removal should be subject to archival photographic recording, copies of which should be retained on site and provided to the consent authorities (heritage Council of NSW / Heritage NSW under Department of premier and Cabinet and City of Sydney Council). This should include photography and include measured drawings where appropriate. Archival recording should be undertaken in accordance with the Heritage Council of NSW Guidelines for Photographic Recording of Heritage Items Using Film or Digital Capture, or How to Prepare Archival Records of Heritage Items.
- Policy 22. Fabric or elements of high or exceptional significance uncovered in new works or investigations (such as lath and plaster ceilings or other structures) should be exposed and restored where condition permits (subject to fabric assessment).
- Policy 23. Where it is clear that original or significant fabric has been removed, it is considered appropriate to adaptively reconstruct based on documentary evidence.
- Policy 24. Intervention into any building fabric, element or space should respect the integrity of the extant material, be carefully controlled, and be limited to that required by the proposed works.

## 8.5. CONSERVATION AND MAINTENANCE

#### **Background**

The former Treasury buildings require regular maintenance and upgrade works to conserve its heritage significance and identified significant fabric. Change should also be considered with a goal to conserve and enhance the identified heritage values of the asset, wherever possible, while accommodating its continued use.

The Heritage NSW 'Maintenance Series' provides general advice as to the cause, treatment and remediation of various traditional building materials. These publications can be sourced from Heritage NSW at the Department of Premier and Cabinet and are available online: http://www.environment.nsw.gov.au/Heritage/publications/.

#### **Policies**

- Policy 25. Management and maintenance of the asset should aim to conserve its heritage significance to the greatest extent feasible. Works should be sympathetic to highly significant fabric and repairs should be undertaken over replacement, if possible.
- Policy 26. A schedule of conservation works should be prepared by a suitably qualified heritage consultant / conservation architect to protect and conserve the significant fabric of the place. This schedule should be prepared as soon as practicable or in conjunction with the next major phase of development. The schedule should order works by matter of priority.
- Policy 27. Fabric identified as exceptional or highly significant should have priority works undertaken when required. Impact on significant fabric should be considered and the appropriate approvals sought.
- Policy 28. The place must be maintained in accordance with Section 118 of the NSW Heritage Act which outlines the Minimum Standards for Maintenance and Repair required. These are attached at Appendix F and can be viewed here:

  http://www.environment.nsw.gov.au/resources/Heritagebranch/heritage/infominimumstandar ds.pdf.
- Policy 29. The significant fabric of the building should be maintained by the implementation of a cyclical maintenance program. As a necessary minimum, the ongoing maintenance should include works that will ensure that each element retains its current level of significance and not allow the loss of significance due to the deterioration of fabric. Maintenance should be in accordance with Heritage NSW's Guidelines.
- Policy 30. Consultation should be undertaken with the City of Sydney to effectively manage the pedestrian footpath areas along the Macquarie and Bridge Street frontage of the heritage item, including preparing a mutually acceptable approach for management of street trees so as to avoid potential impact on the Former Treasury Building facades and fabric.
- Policy 31. Where elements of exceptional or high significance have been damaged they should be repaired with sympathetic materials in preference to replacement. Significant elements should be repaired in-situ wherever possible.
- Policy 32. Any repair, conservation or reconstruction works to significant elements or facades should be undertaken with appropriate supervision by a suitably qualified heritage consultant /architect and/ or relevant materials specialist/s or conservator.

## 8.6. USE

#### **Background**

The ongoing use of heritage items is vital to retention of heritage significance and maintenance of the item. The former Treasury buildings were purposely built in stages to accommodate the NSW Treasury Department and associated departments in a commercial office capacity. The site was redeveloped for the existing InterContinental Hotel in the 1980s integrating the former Treasury buildings as reception and meeting spaces in conjunction with the hotel use. Should the Hotel use no longer be continued a review of these policies would be required.

The consideration of any future uses of the buildings and component elements must be mindful of their original historic use and significance. A range of uses may be permissible in conjunction with the existing hotel use, providing that the uses do not negatively affect interpretation of the identified significance of the place or impact on significant elements, spaces and legibility of the SHR item.

• It is preferable that the former Treasury buildings maintain an ancillary use to the main InterContinental Hotel function, that is, they should be used for public spaces, retail, and function uses, and have regard to the identified significant fabric. Given the former Treasury Building uses, some administrative uses may also be applicable.

#### **Policies**

- Policy 33. Any proposed use of the Former Treasury Buildings should be compatible with the nature and significance of the buildings.
- Policy 34. Any future adaptation of the interior to suit new uses should be reversible and should not involve alterations to exceptional or highly significant fabric such as the building façades, significant spaces (i.e. The Premier's Room), fabric or features, and original or early fittings as identified in Appendix B and Section 0 of this report.
- Policy 35. New and future uses should not require partitioning of exceptional and highly significant spaces as identified in the schedule (Appendix B) and significance diagrams. Any further reconfiguration of internal spaces should have regard to the original floor layout and use of those spaces.
- Policy 36. Opportunities should be explored to remove existing intrusive fabric, or fabric that obscures significant fabric, including false ceilings, services and/or the 1980s' concrete fire stairs. New works should aim to maximise exposure of original fabric and features.
- Policy 37. Uses should enhance the appreciation of the site's values and significance, ensure the conservation of the identified significant building elements, fabric and spaces and context; and accommodate the activities, services and fittings which are essential to the use without damaging significant spaces, elements or fabric.
- Policy 38. New services required (eg. fire safety provisions, lift, air conditioning, toilets, etc) for a potential new use should not cause damage, destroy or compromise the buildings or any interior spaces, elements and fabric of significance.
- Policy 39. The former Treasury buildings should be used for ancillary uses associated with the hotel function of the site. This may include retail, function space, food and beverage uses and administration. Uses that entail overnight accommodation, such as hotel or residential uses within the original Treasury buildings, are not preferred and are considered to be contradictory to the significant historic use of the building. Where accommodation uses are proposed, the proposal should be subject to a rigorous justification for the need and appropriateness for the use with consideration for its historic significance and use as a public building. Potential impacts associated with any additional service requirements and alterations should also be considered.
- Policy 40. Services associated with any proposed food and beverage uses (for example kitchens and bathrooms) should be restricted to areas of little significance, new areas or previously modified spaces. This does not preclude the installation of reversible stand-alone fit-out, which can be demonstrated to have little intervention on significant fabric.

## 8.7. MANAGING CHANGE: ALTERATIONS, ADAPTATION AND NEW WORKS

#### **Background**

Any proposed modifications to the heritage item must take into consideration the identified significance and must have regard for the total exceptional architectural form of the buildings including facades and roofscape. New works should not only ensure that significance is not further eroded, but consider opportunities to reinstate and interpret lost elements and character.

### 8.7.1. Managing Change: Basis of Approach

Articles 15, 22 and 27 of the Burra Charter establish the principles and processes for managing significance in the event of change and new work. The impact of proposed changes including incremental changes should be assessed with reference to the statement of significance and policy for managing change. Existing fabric, use, associations and meanings should be adequately recorded prior to making any change. New work should respect and enhance significance, rather than distort or obscure significance. Changes which reduce significance should be reversible. Articles 16 to 21 inclusive establish the conservation processes to significant fabric and spaces, whether it is maintenance, preservation, restoration, reconstruction or adaptation. Refer Appendix E for the full Burra Charter.

Article 3 of the Burra Charter states that conservation is to be based on a respect for the existing building form, fabric and spaces of a place and must therefore involve as much as is necessary and as little as possible physical intervention in order not to distort the evidence provided by the building form, fabric and or spaces. A key objective therefore is to retain as much of the significant building form, fabric and spaces as possible. These policies inform the extent and type of allowable development that is identified in the CMP:

Any major works to the building, particularly to the interiors, should be based upon the results of further investigation including further physical analysis. The results of such investigations and analysis, along with changes made to the building, need to be recorded and added to the existing archive on the place or incorporated into a report as appropriate.

#### **Policies**

#### Use of the Burra Charter

- Policy 41. The future conservation and development of the place should be carried out in accordance with the principles of the Australia ICOMOS Burra Charter (The Burra Charter).
- Policy 42. While recognising the need for change, the approach to the building fabric should be a cautious approach, one of minimal intervention changing as much as necessary, but as little as possible. New work should respect and enhance significance, rather than distort or obscure significance. Changes which reduce significance should be avoided. (Burra Charter Article 3).

### Minimising Impacts of Change on Significant Building Forms, Fabric and Spaces

- Policy 43. Any work to building form, fabric and spaces of exceptional or high significance must be of a minor nature and have little or no adverse impact on the heritage significance of the place.
- Policy 44. Intervention for purposes other than conservation of the fabric should be restricted to areas of lesser rather than higher significance.

#### Further investigation and recording

- Policy 45. Any major new works to the buildings need to be based upon the results of further investigation including:
  - Further physical analysis to determine the extent of original or early fabric and finishes, remaining covered over;
  - Further physical analysis to identify original timber joinery components, including but not limited to, windows, doors, fireplaces and timber floors; and
  - Any relevant condition assessments.

- Policy 46. The results of further analysis and all new evidence uncovered during works to the place should be recorded to provide an on-going resource for reconstruction, repair and maintenance, and added to the existing archive on the place or incorporated into a report or addendum to this Conservation Management Plan, as appropriate.
- Policy 47. Reconstruction is appropriate only where there is sufficient evidence to reproduce an earlier state of the fabric. Reconstruction should be identifiable on close inspection or through additional interpretation. (Burra Charter Article 20)

#### Recording of future changes

Policy 48. All changes to the building should be carefully recorded and incorporated into a report or addendum to this Conservation Management Plan as appropriate.

#### 8.7.2. Exterior Elements and Fabric

#### **Background**

Section 0 and Appendix B of this report set out the levels of significance of the exterior elements and fabric that should form the basis of the approach for all works.

The original external envelope and principal façades are to be retained, conserved and interpreted. The original character as a colonial and late Victorian Government building is to be retained and conserved through conservation works and exposure of significant fabric.

Unsympathetic alterations and additions, alterations that dominate the heritage character of the building, or obscure the principal façades, are discouraged. Removal of intrusive fabric (as identified in the CMP) is strongly encouraged.

Proposed alterations should consider the impact upon heritage items in the vicinity, including Transport House, The Chief Secretary's Building, as well as the Macquarie Street Special Character Area and the general streetscape.

Modifications to the exterior of the buildings will be subject to approvals under the Sydney LEP 2012 and the *Heritage Act 1977*, and will require the submission of an application to the Heritage Council of NSW (or Heritage NSW as delegate) under Section 60 of the *Heritage Act 1977*. Minor works may require notification to Heritage NSW (as delegate for the Heritage Council of NSW) or obtaining exemptions.

#### **Policies**

#### General

- Policy 49. The scale and general configuration of the Former Treasury Buildings, including their significant architectural composition, significant fabric, and overall picturesque composition of the architectural form and roofscape should be retained and conserved; Original Treasury Building c.1849-51 (including later portico addition), Northern Wing addition c.1896-99, and the Western Wing addition c.1916-19. There should be no vertical extension of the buildings within the SHR curtilage area.
- Policy 50. The significant formerly external rear elevations of the Former Treasury Buildings facing into the cortile, along with the significant colonnaded arcades, should be retained and conserved. Development which interfaces with these arcades and elevations (currently 1980s' hotel development) should ensure that a full visual appreciation of these significant elevations is maintained.

### Principal Facades (Macquarie & Bridge Streets)

- Policy 51. New works should enhance the interpretation of the significant former use of the buildings as the headquarters of the NSW Treasury, and their character through conservation works, exposure of significant fabric and through interpretive design as outlined in the interpretation strategy and plan. New works should not diminish the interpretation of the association with the NSW Treasury and the former Government use of the buildings.
- Policy 52. The principal façades of the former Treasury buildings to Macquarie and Bridge Streets are highly intact. This includes the northern return of the Macquarie Street façade. No

modifications to fenestration or masonry openings are permitted to the Macquarie or Bridge Street facades.

- Policy 53. Opportunities to activate the principal facades should be considered subject to consideration of potential heritage impacts, the identified significant values of the place, and opportunities for interpretation.
- Policy 54. There should be no infill development to the basement light-well area. This area should remain open. This does not preclude sympathetic fit-out for alternative uses which are reversible and subject to heritage advice and assessment.

#### Original Treasury Building

Policy 55. The rear, northern façade of the Original Treasury Building has been modified, including partial reconstruction, new / modified window and door openings, and in the interface with the Western Wing extension. New work or openings should be restricted to areas of previous alteration only and should maintain the Georgian proportions and character of this rear façade. Evidence of previous structures, for example the timber gangway, should be retained.

#### Northern Wing (Strong Room & Link Building)

- Policy 56. The scale and general configuration of the Northern Wing, including its significant architectural composition, significant fabric, and overall picturesque composition of the architectural form and roofscape, as well as its exceptionally significant contribution to the significance of the Former Treasury Building group, should be retained and conserved. No external changes or additions are permitted to the eastern elevation of the original building form, scale and fabric of the Northern Wing.
- Policy 57. The western façade of the Northern Wing extension is largely intact with some modifications consistent. No additional openings except in areas previously documented as modified.
- Policy 58. The three-storey arcade is a rare and highly decorative element of the building and should be retained and conserved to the highest extent feasible. Remnants of the original arcade configuration at the southern end of the Northern Wing should be retained to enable interpretation of the original form.
- Policy 59. The basement level was substantially excavated for the hotel development and resulted in modified and later fabric. There is an opportunity for alteration of the existing later timber door and windows to the western façade at basement level. Contemporary assemblages may be appropriate, subject to heritage advice and assessment on the internal, western façade only. The external façade to Macquarie Street should be retained and conserved.

#### Western Wing

Policy 60. The northern façade of the Western Wing replicates the western face of the Northern Wing, however, has been modified in conjunction with the hotel development. This has included some modifications to fenestration. There is an opportunity for alteration of the existing later timber doors and windows to this northern façade.

## The Roofs

- Policy 61. The overall picturesque composition of the architectural form of the Former Treasury Buildings' roofscape should be retained and conserved in accordance with their identified significance (refer Section 0 and Appendix B Schedule of Significant Elements). Their contribution to the streetscape character of Macquarie Street should be protected.
- Policy 62. Works to the roofscape of the Former Treasury Buildings should be primarily for maintenance and conservation. Approaches to conservation works should be guided by the Burra Charter and all works should be undertaken by qualified tradespeople with demonstrated experience in the conservation of significant historic buildings. Maintenance and conservation works must:
  - Ensure that new roof covering and the roof plumbing eg. flashings, guttering and rainwater heads and downpipes are adequately designed and maintained to effectively dispose of water.

- Ensure that the pattern of new downpipes and rainwater heads should be based on evidence available including physical evidence or documentary evidence including patterns typical of the relevant period.
- Ensure that materiality of replacement roof fabric is sympathetic incorporating like-for-like replacement where required by condition.
- Policy 63. The former office structure on the Strong Room roof constructed c.1914 (now used for plant) is of heritage significance and is required to be retained and conserved. This would not preclude sympathetic modifications and alternative uses.
- Policy 64. Any required roof plant should be minimal and located to minimise visual impacts on the buildings and their significant roof forms. Any works should not adversely impact on the façades and should enhance the strength and integrity of views to the buildings both from the public domain and from surrounding buildings and respect the significant qualities of the buildings.
- Policy 65. There should be no vertical additions to the primary roofs of the Original Treasury Building, the Strong Room and the Link Building in accordance with the 'Non-developable roof zone' diagram included below at Figure 355.
- Policy 66. The roof form of the Western Wing building has been substantially modified as a result of the 1980s' hotel development, and any roof additions (proposed outside of the 'Non-developable roof zone' diagram included below at Figure 355) should be sympathetically designed and scaled, incorporating sufficient setbacks to enable the original form of the building to be understood and retain is visual prominence in the streetscape, and should consider the overall massing and symmetry of the façade.



Figure 355 – Non-developable roof zone map – 1980s' roof plan & aerial with Urbis overlay *Source: Urbis* 

Non-developable roof zone

SHR curtilage

#### Hotel Cortile Roof (located outside of the SHR curtilage)

#### **Background**

The existing cortile roof was constructed in the 1980s and interprets an unexecuted architectural drawing by George McRae (refer to sketches in Section 3.3.4 showing domed roofs to each corner of a larger proposed Treasury building complex). It is noted that McRae's intention was never for a roof over a central courtyard. Whilst the design of the existing 1980s' cortile roof is generally consistent with McRae's original design for the roof form, it is not a direct reconstruction of an earlier significant element and is drawn from an unexecuted scheme which would have irrevocably altered the whole architectural form and design of the Former Treasury Buildings group.

This roof element is located outside of the SHR curtilage for the Former Treasury Group heritage item and outside of the 'non-developable roof zone' shown at Figure 355 above. This roof element does not contribute to or form part of the significant collective roofscape of the Former Treasury Buildings. Accordingly change is possible subject to heritage assessment. Policy regarding change to this element has been included below given its direct interface with the Former Treasury Buildings heritage item.

#### **Policy**

- Policy 67. Changes to the cortile roof are possible, including modification and replacement, provided that the changes or replacement do not detract from the significance of the Former Treasury Buildings heritage item and that the heritage item's values can be visually appreciated and interpreted.
- Policy 68. Any changes to the cortile roof should ensure that these changes enhance the open spatial qualities of the cortile space which directly interfaces with the Former Treasury Buildings.

#### **External Finishes**

### **Background**

- New colours schemes should be consistent with City of Sydney guidelines for external colour schemes and should consider original finishes.
- Where new paint schemes are approved, new paint schemes for the façades should be in keeping with the character and period of the buildings.
- Evidence of original/ early finishes should be retained.

#### **Policies**

- Policy 69. Finishes never intended for painting, such as the stone and brick façades, are to remain unpainted.
- Policy 70. Where repainting is proposed, painted external surfaces are to be painted in a traditional colour scheme. Prior to any proposed stripping of paintwork, investigation and study of early paint schemes should be undertaken by a suitably qualified heritage consultant.

#### Signage

#### **Background**

- New signage is to utilise existing fixings and / or fix into mortar joints.
- New signage should be consistent with relevant City of Sydney signage policy and/ or guidelines.

#### **Policies**

Policy 71. Despite there being limited opportunity for signage to the principal façades of the Former Treasury Buildings, it is anticipated that future proposals for change may seek works which activate the Macquarie Street and Bridge Street façades, and this may require additional signage. Subject to heritage assessment and consent, proposed new signage should be sympathetic to the heritage character of the Macquarie Street and Bridge Street façades,

should avoid any physical intervention to the significant stonework, and should be reversible. Freestanding options are preferred and should be subject to heritage advice.

#### External Lighting and Building Services

#### **Background**

- Services (including air conditioning units) are not be fixed to the principal façades.
- Fixings for external lighting should, where possible, reuse existing services and fixing points into the façades.
- Lighting strategies should be consistent with City of Sydney Council lighting policy.
- Basement level security grills attached to the Macquarie and Bridge Street façades should be retained and should not be removed or replaced without further investigation to determine their significance. Any replacements (where required) should be detailed in a manner that has a neutral impact on the façades.
- New works should comply with the BCA/ NCC and Australian Standards unless the heritage significance
  determines that the matter will be professionally determined under performance standards. Where
  necessary, alternative solutions and performance based outcomes should be pursued to ensure the
  intent of the code is met without adversely impacting on significant fabric. Professional advice should
  always be obtained. Due to the complex nature of heritage buildings, 'deemed to comply' design
  solutions approved by BCA or access consultants may be used to satisfy the intent of the Standard.
- Where practicable works for fire safety should not detract from significant facades, finishes or elements.
   Should conflicts arise between compliance and cultural significance the Heritage Council of NSW is able to provide advice and assistance in seeking appropriate compliance solutions through its Fire and Services Advisory Panel.

#### **Policies**

- Policy 72. External lighting should be minimal and sympathetic to the heritage character of the façades. The qualities of each elevation should be reinforced through a unified lighting strategy to be included in the interpretation strategy where lighting relates to the heritage significance of the place.
- Policy 73. New services should not be attached to the significant facades of the buildings and must have minimal impact or avoid impact on significant fabric throughout the buildings.

### 8.7.3. Interior Elements and Spaces

#### **Background**

Appendix B and Section 0 of this report provide a schedule of significant interior elements and fabric that should form the basis of approach for all works.

Internally, the significant elements include original walls, original flooring and ceiling finishes, original doors and windows, original timber joinery throughout, original features including fireplaces and original fittings including lighting and door hardware.

Un-investigated internal spaces of the Former Treasury Buildings have potential for original fabric and finishes including original timber flooring, lath and plaster ceilings and features including fireplaces. Works should include a comprehensive review of the interior of the buildings with the intent of exposing and retrieving significance.

Modifications to the building may be subject to approvals under the SLEP2012 and the Heritage Act 1977 and may be subject to a Section 60 Application to the Heritage Council of NSW and a Development Application to the City of Sydney Council. For minor works, notification and Exemptions may apply from the Heritage NSW / Heritage Council of NSW.

#### **Policies**

#### General

- Policy 74. Significant internal space configurations (principal rooms) and internal elements (as identified in Appendix B and Section 0) should be retained and conserved.
- Policy 75. New work is to:
  - Enhance the character of the interiors through the exposure of significant original interior fabric and spaces if evidence of previous fabric is discovered.
  - Retrieve /conserve the original configurations of the buildings where appropriate and available.
  - Aim to expose original fabric and features without any negative impact upon significance.
- Policy 76. Intrusive elements as identified in this CMP and neutral elements that obscure highly significant fabric should preferably be removed to expose original fabric and structure, where these elements are surviving.
- Policy 77. Significant spaces should be retained to allow interpretation of original configurations. New partitioning, subject to approval, should not disrupt the interpretation of the original configuration or significant spaces.

#### Original Treasury Building

- Policy 78. Intrusive fabric as designated within the significance schedule at Appendix B, including the cool room within S1.1, should be removed. FP2 should be retrieved if possible.
- Policy 79. The basement level vault space (S1.7) is of Exceptional significance as remnant physical evidence demonstrating the original Treasury function of the building. The vault should be retained and conserved with no additional openings and no modifications to the original configuration of the space. This would not preclude sympathetic and reversible refurbishments for fit-out in association with adaptive re-use or as part of the interpretation strategy.
- Policy 80. Access should preferably be retrieved to all levels of the building via the original imperial staircase subject to use requirements.
- Policy 81. It has been speculated that D17a (airlock in ground floor entrance lobby) is an early feature of the building, potentially relocated from the former Bridge Street entry at D36. Should this element be proposed for removal/alteration, further investigation is required to determine its significance and original construction. The element should be reused elsewhere in the building in preference to removal, subject to further investigations outlined above.
- Policy 82. Significant early / original light fittings within the building should be retained and conserved in situ.
- Policy 83. There is an opportunity to restore and / or interpret the original configuration and finishes of the Former Treasurer's Room on the first floor. This space is well documented including previous restoration of wallpaper finishes. This opportunity is to form part of interpretation strategy.
- Policy 84. There should be no additional openings between the Original Treasury Building and the Link Building and/or the Western Wing building on any floors. The possible exception to this policy is re-opening the two doorways between the Former Treasurer's Room and The Premier's Room on the first floor, which were created in c.1899 when the Link Building was constructed. The doors to these openings remain in situ in the Premier's Room and should be reused.

#### Strong Room Building

Policy 85. The basement level of the Strong Room has been substantially altered for fire service and retail uses, including replacement of columns. Sympathetic alterations that do not impact on significant elements and spaces are permissible.

- Policy 86. The interior of the Strong Room building has been substantially altered, including infill of the original first floor gallery and structural modifications (removal of original columns and ceilings). Sympathetic further alterations are permissible with consideration for potential heritage impact, the extent of change, original use and configuration and the interpretation strategy.
- Policy 87. Remnant original parquetry flooring in S2.21 should be retained and conserved and should remain exposed to facilitate interpretation of the original Strong Room fabric.
- Policy 88. Future major proposed works should seek to interpret the original internal configuration of the Strong Room on the ground and first floors.
- Policy 89. The steel windows and doors to the Strong Room are directly associated with the original function of the building and should be conserved.

#### Link Building

- Policy 90. The basement fit-out has been substantially altered for retail uses, including insertion of new walls and partitions. Sympathetic alterations that do not impact on significant elements and spaces are permissible.
- Policy 91. The timber infills between S2.17 and S2.18 are later non-significant fabric and change may be possible subject to assessment and approval. Any infill between these two spaces needs to ensure that the original connectivity remains able to be interpreted.
- Policy 92. Future proposals should consider the opportunity to restore use of the entrance lobby (S2.17) to Macquarie Street to enhance activation of the street and the space in accordance with the interpretation strategy. Adaptive reuse of the space should facilitate this activation. There should be no further partitioning of this space.
- Policy 93. The early timber infill wall (including D69) between S2.18 and S2.2 (within the Original Treasury Building) should preferably be retained. Further investigation is required prior to alteration or removal.
- Policy 94. There should be no further modifications to S3.14 except to restore known missing elements including the early / original wallpaper finishes. There should be no partitioning of the space. All features including the fireplace, timber wall cladding and original light fittings should be retained and conserved to the highest extent feasible. Services (including lighting and internet associated services) should be sympathetic to the historic character of the space and should be reversible.
- Policy 95. The Premier's Room was previously serviced by a corridor which ran along the cortile. Sympathetic modifications to S3.15 and S3.16 are permissible with consideration for the altered nature of the spaces.

#### Western Wing Building

#### **Background**

The interior of the Western Wing building has been substantially modified, including floors, partitions, fit-outs, services, finishes, provision of the fire stairs, goods lifts and entrance to the cortile.

The basement level contains original columns, pilasters and bulkheads however the fit-out is entirely contemporary. The space (S1.33) was originally subdivided for offices and has been converted to a restaurant use with an open plan dining area and partitioned commercial kitchen (S1.34).

The ground floor level contains original pilasters and bulkheads however the fit-out is entirely contemporary. S2.22 has been converted to a café / dining area for hotel guests.

The first floor level original pilasters and bulkheads, as well as features such as fireplaces and carved pediments. Whilst alteration to the original room configuration has been undertaken to the first floor, the principal rooms are able to be interpreted.

#### **Policies**

- Policy 96. Sympathetic modifications are permissible to the basement and ground floor levels, subject to heritage advice and ensuring there is no impact to principal façades.
- Policy 97. The first floor principal spaces S3.20 and S3.21 and significant features within, should be retained and conserved. Whilst not in their original configuration, there should be no further partitioning of the space such that the existing volumes are retained. Doors, where possible, can be relocated to original locations in conjunction with reconfiguration of the existing adjoining pre-function room.
- Policy 98. If alterations are proposed to the carved timber pediments within S3.20 and S3.21, further investigation is required to be undertaken to determine their significance prior to any works, and subject to heritage advice.

#### <u>Cortile</u>

Refer also to Exterior Elements and Façades Section 8.7.2 of this report.

We note that the cortile space is a 1980s' created space as a result of the hotel development and is located outside of the SHR curtilage for the former Treasury buildings heritage item. However, given that this later internal space directly interfaces with the rear of the former Treasury buildings, and contributes to the setting of the place, the following policies have been included to help guide change to this later area. Further, a small number of elements within the later cortile space, namely the caged lift and elliptical stair, are altered early elements which were formerly located within the Western Wing of the buildings. Policies have been included which guide the conservation of these elements.

Comparison between the original elliptical stair and caged lift and the existing reconstructed version confirms that the existing stair and lift are markedly different, and these changes have been reflected in their respective levels of significance grading. The reconstruction of the stair does not incorporate the original balustrade profile nor the decorative soffit. The landing bridges are new elements and are not to the original design. The steel cage around the lift has been modified and added to as part of the 1980s' hotel development.

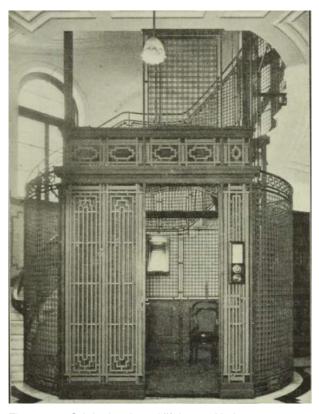


Figure 356 Original stair and lift located in its own tower form at the western end of the Western Wing (demolished in the 1980s)

Source: Building Magazine



Figure 357 Existing stair and lift located within the hotel's cortile space, outside of the SHR curtilage for the heritage item

Source: Urbis

#### **Policies**

Policy 99. Changes to the cortile space are possible subject to assessment and approval, including modification and replacement of fabric in line with its assessed significance outlined in this CMP, provided that the changes or replacements do not detract from the significance of the Former Treasury Buildings heritage item and that the heritage item's values can be visually appreciated and interpreted.

Policy 100. Any proposed changes to the cortile should ensure that these changes enhance the open spatial qualities of the cortile space which directly interfaces with the Former Treasury Buildings.

Policy 101. The elliptical stair and caged lift was originally located within a tower as part of the Western Wing, and was relocated to its existing location as part of the 1980s' hotel redevelopment of the site. Relocation of this stair and lift element may be considered subject to heritage assessment and approval. Consideration of alternative locations should include consideration of alternative location opportunities within the remaining Western Wing.

Policy 102. While the stair fabric is not original nor significant, the combination of the elliptical stair form with the caged lift was part of the original design intent of the Western Wing and therefore any relocation of the caged lift should preferably incorporate an elliptical stair. Consideration should be given to the original design of the stair. New work should be readily apparent as new work.

Policy 103. Decorative elements located within the basement level of the cortile space, including the lion pedestals and caged air conditioning vent, are later twentieth century elements which intended to replicate traditional details of the Former Treasury Buildings. These elements do not positively contribute to the setting of the Former Treasury Buildings and may be removed.

#### Building Code of Australia

#### **Background**

In any major upgrade of the building, new works will need to comply with the BCA/ NCC and Australian Standards under Section 94 of the Environmental Planning and Assessment Regulations 2000. To minimise adverse interventions and to assist in maximising the exposure of significant heritage fabric, alternate solutions to the deemed to satisfy provisions of the BCA should be derived from performance based assessments particularly in relation to structural provisions, fire resistance and stability, fire separation, provisions for access and egress, sound transmission and isolation, and energy efficiency. Professional advice should always be obtained. Should conflicts arise between compliance and cultural significance the Heritage Council of NSW is able to provide advice and assistance in seeking appropriate compliance solutions through its Fire and Services Advisory Panel.

Any modification to significant fabric or spaces in the building for BCA/ NCC compliance purposes should be subject to undertaking a formal Heritage Impact Statement in accordance with Heritage NSW Guidelines and relevant statutory applications.

New works should aim to reduce the environmental impact of new construction and building fit-outs.

Works to achieve sustainability outcomes should also consider conservation objectives and may not be supported where required modifications may detrimentally impact on identified significant fabric or finishes.

#### **Policies**

- Policy 104. Required initiatives to meet the requirements of the National Construction Code (including the Building Code of Australia and the Plumbing Code of Australia) and other codes and standards must be carefully designed to avoid unacceptable adverse heritage impacts.
- Policy 105. Required initiatives to meet the requirements of public utilities, such as the NSW Fire Brigade and Ausgrid, must be carefully designed to avoid unacceptable adverse heritage impacts.
- Policy 106. Future adaptations and upgrades of the place must aim to meet the requirements of the National Construction Code, particularly in regard to protection against fire. Where there is a conflict between the National Construction Code and the heritage significance of the building, space or element, alternative options to achieve compliance should be investigated, including performance fire engineered solutions. However if it can be demonstrated that the alteration is absolutely essential then such alteration must be made in accordance with the policies in this Conservation Management Plan.
- Policy 107. If original or early architectural elements have to be removed or concealed in order to achieve code compliance, then the appropriate approach should be one of "reversibility" and the minimisation of damage. Dispensation options must be explored prior to any intervention.
- Policy 108. A strategy should be developed which seeks to address Code compliance from a whole of building perspective to avoid piecemeal solutions that may have an incremental adverse heritage impact.

#### **Integrating Building Services**

#### **Policies**

- Policy 109. New service areas and services, fire stairs and lifts should be located so as to avoid adverse impacts upon significant fabric and spaces, preferably in locations of little significance or areas of the 1980s' hotel fabric.
- Policy 110. Internal services including sprinkler valves, electrical rooms, substation, plant, ductwork, distribution boards, fire panels, electrical boards etc., shall not be installed into highly visible spaces in areas of high or moderate significance, or particularly within entrance foyers. Locations of little significance or areas of the 1980s' hotel fabric would be appropriate.
- Policy 111. The reticulation of services should be designed and managed so to minimise their impact on the internal areas and not obscure significant elements.
- Policy 112. Elements of high or exceptional significance should not be obstructed or modified by new services, they should be clearly visible and interpreted as part of any new works. New

service cores must not compromise significant elements or be integrated with them, but read as separate elements.

Policy 113. The upgrading of services within the building is to comply with the following approach:

- Minimise impact on significant fabric, by maximising the exposure of heritage fabric and minimising penetrations and fixings through heritage fabric, utilising existing penetrations where feasible.
- Not conflict with window and door openings.
- Be complementary to the interiors, for example the type of air conditioning system is to minimise ductwork reticulation, fit within the structural system.
- Minimise the extent of servicing required by enhancing natural ventilation and natural light.
- Have no or minimal visual impact.

## 8.8. ARCHAEOLOGY

#### **Background**

The only structures remaining are the Treasury Buildings. All ancillary structures have been removed, and according to the 1980s' archaeological investigations, all evidence of the Land Sales Building, the courtyard WC and other structures has been removed.

The basement floor of the Link building was completely excavated and investigated to lay a new floor during the 1980s, with the *E Higginbotham Consultant Archaeological Services* archaeological report reporting that no significant archaeological relics remain. This area is highly disturbed.

Other sub floor areas including underneath the basement levels of the Original Treasury Building, the Western Link and the Strong Room, may be less disturbed and may have potential for archaeological relics associated with the construction of these buildings, however these areas will not provide evidence of former significant structures. Intact sub surface archaeological relics beneath the Original Treasury Building have the potential to be of state heritage significance.

Those areas identified above as being excavated in the 1980s, and on the basis of the *E Higginbotham Consultant Archaeological Services* archaeological report, are considered to have very low to nil archaeological potential.

It is possible however that evidence of other structures remains in those areas of the subject site which were not excavated in the 1980s. The following sequence of figures show current 2016 aerials, overlayed with a series of surveys / maps undertaken between 1855 and 1949. This sequence of figures identifies the structures on the subject site over this period in relation to the existing hotel development and demonstrates whether structures were present in areas of the site not excavated in the 1980s.

The previously unexcavated areas beneath what remains of the Bridge Street Western Wing building may have archaeological potential associated with the former structures on this land being the 'wooden buildings' as identified in the 1880s' survey, and later the tramway buildings. However, these structures appear to have been temporary structures and are not considered to provide a defining contribution to the significance of the site. It is possible that remains associated with these structures were removed during the construction of the Western Wing in c.1916-19, and further, the 1980s' archaeological report confirms that all evidence of the former Terminus has already been removed.

The former Treasury buildings site (InterContinental Hotel) at 115 – 199 Macquarie Street is not identified on the *Central Sydney Archaeological Zoning Plan* schedule as a site of archaeological potential.

- If any Aboriginal remains are discovered during future works, works should immediately cease and Department of Premier and Cabinet should be contacted for further advice, as required under Section 91 of the *National Parks and Wildlife Act 1974.*
- In the event that unexpected archaeological material is encountered during future works, it would be necessary to stop all work in the immediate vicinity of the identified deposits. The NSW Heritage Council would be notified and a qualified archaeologist would be engaged to assess the significance of the material and recommend whether further investigation and/or permit application(s) are required.

#### **Policies**

- Policy 114. No excavation should be undertaken below the existing building footprints of the former Treasury buildings. An 'excavation exclusion plan' should be developed.
- Policy 115. No vehicular access should be permitted within or below the structure of the former Treasury buildings and should be restricted to within the adjoining 1980s' hotel fabric at the Phillip Street elevation and contemporary sub-basement levels.
- Policy 116. An archaeological assessment by a suitably qualified historical archaeologist, experienced in working on State significant sites, must be carried out as part of the assessment process prior to Heritage Council of NSW approval of any works that may disturb archaeological relics. The aim of this archaeological assessment is to gather information about the previous layouts and character of the specified area to inform future conservation, interpretation and upgrading work, and determine if works will have an archaeological impact or whether further archaeological investigation is likely to be required.
- Policy 117. In the event that historical archaeological relics are exposed on the site, they must be appropriately documented according to the procedures outlined in the archaeological methodology accompanying the application for an excavation under the Heritage Act 1977.
- Policy 118. Should any unexpected archaeology be uncovered during any future excavation works, the Heritage Council of NSW must be notified in accordance with section 146 of the Heritage Act 1977. Works must stop and a suitably qualified archaeologist experienced in working on State significant sites, must be brought in to assess the finds. Depending on the results of the assessment, additional approvals may be required before works can recommence on site.

## 8.9. CURTILAGE, SETTING AND VIEWS

#### **Background**

The former Treasury buildings are identified as both a state listed heritage item under the *Heritage Act 1977*, and a locally listed heritage item under Schedule 5 of the *Sydney Local Environmental Plan* (LEP) *2012*. The subject building and its surrounding context along Macquarie Street are also within the designated Macquarie Street Special Character Area identified in Section 2.1.6 of the Sydney DCP 2012.

The defined heritage curtilage of the Former Treasury Buildings is restricted to only a portion of the legal property area, being the historic buildings along Macquarie Street and Bridge Street and excludes the later hotel development.

The building plays a significant role in the appreciation of streetscape and townscape values within the immediate precinct, as well as contributing to the general colonial and civic precinct along Macquarie and Bridge Streets. The former Treasury buildings occupy a prominent corner location and address. No works should be undertaken either at the place or surrounding the place (albeit outside the control of the property owners) which would have a substantial and detrimental impact on its relationship with the Royal Botanic Gardens, Transport House, the Chief Secretary's Building, or the site of First Government House.

It is noted that the 1980s' hotel redevelopment of the broader site has had an impact on how the place is viewed, and indeed views to the place. The 1980s' development created the internal contemporary cortile space within the hotel that interfaces directly with the rear elevations of the Former Treasury Buildings' colonnaded arcades. This contemporary space, while located outside of the heritage item curtilage, contributes to the setting of the Former Treasury Buildings, and accordingly this CMP has included policies with regard to this contemporary cortile space to seek to enhance and conserve the setting of the Former Treasury Buildings.

Future works should seek to reduce or mitigate these impacts and enhance the setting of the place.

#### **Policies**

Policy 119. The significant façades, overall form, fabric, landmark and aesthetic qualities of the former Treasury buildings are to be retained and conserved. The site's landmark position on

Macquarie Street atop the ridgeline and oriented towards other prominent buildings of governance, opposite the Royal Botanic Gardens should be conserved and interpreted. The site's prominent corner location should be retained and conserved.

- Policy 120. The significant physical, visual and associative relationship between the Former Treasury Buildings and the Royal Botanic Gardens, Domain, Transport House, the Chief Secretary's Building, and the site of First Government House, should be retained, conserved and interpreted.
- Policy 121. The contribution of the Former Treasury Buildings to the character of the Macquarie Street Special Character Area (refer Figure 352) should be conserved.
- Policy 122. The significant views identified in this Conservation Management Plan at Section 2.3 and as shown on the following significant views diagram should be conserved and managed as part of any future development.



Figure 358 – Views and vistas to and from the Former Treasury Buildings (subject site)

Source: Nearmap 2018 with Urbis Annotations

- Policy 123. Development in the vicinity of the Former Treasury Buildings should avoid impacts on the identified significance of the item as outlined in this CMP.
- Policy 124. New works should enhance the strength and integrity of historically significant views to the buildings (above at Figure 358) both from the public domain and from surrounding buildings and respect the significant qualities of the buildings and landscape setting.

## 8.10. INTERPRETATION

### **Background**

The former use and heritage values of the former Treasury buildings should be interpreted for public education and understanding. The history as outlined in Section 3 of this report, and the significant features as identified in Section 0 and Appendix B of this CMP should form the basis of this interpretation. Robust and largely self-guided interpretation would be most appropriate and may include (but is not limited to) signage and website information. There are a number of existing small interpretation boards located around the former Treasury buildings, these were created as part of the 1980s' hotel redevelopment of the site and are now considered to be out of date and obsolete.

- Interpretation should be consistent with the NSW Heritage Manual, the NSW Heritage Office Interpreting
  Heritage Places and Items: Guidelines (August 2005, accessible here
  https://www.environment.nsw.gov.au/resources/heritagebranch/heritage/NSWHeritageOfficeGuidelinesin
  fointerpreting.pdf) and the NSW Heritage Council's Heritage Interpretation Policy (endorsed August
  2005, accessible here
  - https://www.environment.nsw.gov.au/resources/heritagebranch/heritage/interpretationpolicy.pdf).

#### **Policies**

- Policy 125. An interpretation strategy should be prepared for the site that interprets the significant use and historical values of the site. The strategy should consider the development and function of the site for the former Treasury buildings in the context of the broader colonial development of Sydney. The strategy should provide for the removal and replacement of redundant interpretive media and provision of education materials.
- Policy 126. The highest form of interpretation is the retention and conservation of significant fabric, spaces and relationships and accordingly significant elements should be retained, exposed and interpreted. Reconstruction of missing elements should be based on historical documentation and not assumption.
- Policy 127. Interpretation of the site should incorporate in-situ retention of significant fabric, spaces and or elements, particularly where elements are associated with the significant former Treasury use. This includes the basement vault, Premier's Room and former Treasurer's Room. Creative uses for these spaces that encourages public access and use should be explored.
- Policy 128. Any Interpretation should be considered strategically, with consideration for future uses, ongoing maintenance of interpretive media, public access and amenity issues and ordinance compliance. Other like examples should be explored (such as the Old Treasury Melbourne) and analysed for their success and adaptability for the subject site.
- Policy 129. Interpretation should include consideration of the heritage significance of the place, its elements and spaces on an individual level, but also its significance as part of one of the most important groups of early civic buildings in Australia and its broader setting and location. The buildings significant connections with other important civic buildings and landscapes such as the Royal Botanic Gardens, should be considered as part of the Interpretation Strategy.
- Policy 130. As understanding of the cultural landscape of the place should form the basis of the Interpretation Strategy.
- Policy 131. The Interpretation Strategy should consider and explore the historical themes outlined in this CMP at Section 3.7.

Policy 132. The Interpretation Strategy should provide for research into moveable objects that were located in the Former Treasury Buildings (now missing), based on documentary evidence provided throughout this report (historical photographs, plans etc.).

## 8.11. IMPLEMENTATION STRATEGIES

The following table lists strategies for implementing the conservation policies for the former Treasury buildings. The strategies have been cross-referenced to conservation policies above and prioritised as follows. Please note that the below timeframes have been provided as a **guideline only** to assist in scheduling, and may be subject to change dependant on the construction program of the owner and future tenants of the building, or subject to further investigations.

- high priority works should be undertaken within the next one to two years;
- · medium priority works should be undertaken within the next two to four years, and
- low priority works should be undertaken within the next five to ten years.

Table 24 - Implementation Strategies for Conservation Policies

Conservation Policy	Priority
<u>Policy 1</u> This Conservation Management Plan should be adopted by present and future owners and used as a guide for management and conservation of the place.	Immediately
<u>Policy 6</u> This Plan should be endorsed by the NSW Heritage Council and used as a basis for assessment of development applications.	Immediately
<u>Policy 3</u> A copy of the Plan should be submitted to City of Sydney Council and to Heritage NSW of the Department of Premier and Cabinet for research purposes.	Immediately
<u>Policy 25</u> Management and maintenance of the asset should aim to conserve its heritage significance to the greatest extent feasible. Works should be sympathetic to highly significant fabric and repairs should be undertaken over replacement, if possible.	High
A schedule of conservation works should be prepared by a suitably qualified heritage consultant / conservation architect to protect and conserve the significant fabric of the place. This schedule should be prepared as soon as practicable or in conjunction with the next major phase of development.	
Policy 29 The significant fabric of the building should be maintained by the implementation of a cyclical maintenance program. As a necessary minimum, the ongoing maintenance should include works that will ensure that each element retains its current level of significance and not allow the loss of significance due to the deterioration of fabric. Maintenance should be in accordance with Heritage NSW's Guidelines.	High
<u>Policy 76</u> Intrusive elements as identified in this CMP and neutral elements that obscure highly significant fabric should preferably be removed to expose original fabric and structure, where these elements are surviving.	Medium
<u>Policy 125</u> An interpretation strategy should be prepared for the site that interprets the significant use and historical values of the site. The strategy should consider the development and function of the site for the former Treasury buildings in the context of the broader colonial development of Sydney. The strategy should provide for the removal and replacement of redundant interpretive media and provision of education materials.	Medium

Conservation Policy	Priority
Policy 5 This CMP should be reviewed and updated within 5- 10 years or in conjunction with major works to the place, to remain relevant to ongoing change and use of the place, and statutory compliance.	Low

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[Note: Some government departments have changed their names over time and the above publications state the name at the time of publication.]

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# APPENDIX A HERITAGE LISTING INVENTORY FORM

## A.1 **EXISTING HERITAGE INVENTORY**

			ITEM DE	TAILS				
Name of Item	Intercontine	Intercontinental Hotel former Treasury Building						
Other Name/s / Former Name/s	Colonial Tre	asury, The (	Old Treasury, Tr	easury Buil	ding			
Item type (if known)	Built							
Item group (if known)	Government	t and Admin	istration					
Item category (if known)	Other - Gov	ernment & A	administration					
Area, Group, or Collection Name								
Street number	117 – 119							
Street name	Macquarie S	Street						
Suburb/town	Sydney	Sydney Postcode 2000						
Local Government Area/s	Sydney							
Property description	Lot/ Volume (Lot/Volume N Plan/Folio Co Plan/Folio Nu	lumber: 40 de: DP						
Location - Lat/long	Latitude	33.8629516	6672		Longitude	151.21243958	390	
Location - AMG (if no street address)	Zone		Easting			Northing		
Owner	Bistrita Pty L	_td						
Current use	Hotel							
Former Use	Treasury Building							

Statement of significance	finest group of these sandstone buildings in NSW with its strong links to Victorian "Neo-Classical" trastyle and reflect important contemporary links with Lewis's original building in particular is a premier of style based closely on a London model. The bold Macquarie Street are impressively proportioned a unique example of late Victorian eclectic architect streetscapes of Macquarie and Bridge Streets is be materials and detailing enhancing the adjacent pro-	blic buildings and forms part of what is arguably the . The architectural forms and detailing of the group, aditions, make it an extremely fine exemplar of this in English architectural practice. The facade of example in NSW of 19th century "Italian Palazzo" but sympathetically related Vernon additions fronting and detailed and represent an excellent and perhaps ure in NSW. The site's contribution to the significant both large and indisputable, with the siting, form, ecincts of early buildings. Historically the building in with the NSW Treasury and the state treasurer's
Level of Significance	State ⊠	Local 🗌

		DESC	RIPTION			
Designer	Mortimer	Lewis, W.I.Vernor				
Builder/ maker						
Physical Description	detailing. It occupie townscape aestheti work of its period. (I Sandstone; timber j	s an important loc c of the Governme Branch Managers oinery; iron & stor	Georgian elevations o ation in central Sydney ent precinct as well as t Report to the Heritage be palisade fence Sand ande to cortile. (Sydney	. It contributes greatly being an excellent exa Council 25/9/1984) stone; timber joinery; f	to the sandston mple of the craf	t
Physical condition and Archaeological potential	Refer to Sydney Cit	Refer to Sydney City Archaeological Zoning Plan				
Construction years	Start year	1849	Finish year		Circa	
Modifications and dates  Further comments						

	LUCTORY
	HISTORY
Historical notes	
	In 1849, just before the gold rush, a new building for the Colonial Treasurer and Auditor was commissioned from the Colonial Architect, Mortimer Lewis. The building, in the former garden of First Government House, was finished in 1851, with two frontages, one to Bridge Street for the Audit Office, the other to Macquarie Street for the Treasury. Its design owed a great deal to the Travellers' Club of 1829 in London's Pall Mall. The two separate offices were demarcated by an interior dividing wall. Lewis's successor, Edmund Blacket, added a coach-house and stables to the north by 1853.
	The party wall was breached in 1873 when the Treasury took over the Audit Office's area, as well as erecting temporary buildings between the main offices and the stables. The Government Architect, Walter Vernon, added a large fire-proof Strong Room for the safety of documents in 1896-8 to the north of the stables and in 1898-1900 he provided a Link Building, connecting the Strong Room to the Lewis building along Macquarie Street. This demolished the eastern part of Blacket's stables (and most of the western end went in 1967), leaving archaeological remains of significance. The present Macquarie Street portico dates to these Vernon works of 1898-1900. The Bridge Street wing was altered and extended for the Premier's Department in 1916-9, to the design, as modified, of the then Government Architect George McRae. The Premier's Department continued to be there until 1967, when the State Office Block was erected.
	Thereafter from 1967 until 1982, the Police Department occupied the Bridge Street space created by Lewis and McRae, while the Ministry of Transport had the Macquarie Street sector, where the Strong Room space had already been filled in during the 1940s. An auditorium for the Conservatorium of Music was constructed on the upper level of Lewis's building in 1977. Under Police and Transport, the buildings deteriorated, with undesirable changes to the fabric, until they were vacated in 1981. To accommodate a 31-storey hotel on the western part of the site, largely beyond the area protected by the PCO in 1985, conservation works were undertaken between 1981 and 1985. During 1983 archaeological work uncovered evidence of the 1850s Blacket stable block. (Sydney City Heritage Inventory)
National	7. Governing – Governing
historical theme	
State historical theme	Government and Administration – Activities associated with the governance of local areas, regions, the State and the nation, and the administration of public programs – includes both principled and corrupt activities.
Local Theme	(None)

	APPLICATION OF CRITERIA
Historical significance SHR criteria (a)	Historically the building group is significant because of its long association with the NSW Treasury and the state treasurer's and premier's offices. It also provides an interesting historical account of the work of a number of the state's Colonial Architects from the mid 19th to the early 20th century. The site is also an important representative of the conservation and adaptation policies and pressures of 1980s Sydney reflecting a major achievement in contemporary philosophical and practical heritage conservation within the heart of Sydney's CBD. Has historic significance at a State level. (Sydney City Council Heritage Inventory)

Historical	
association	
significance	
SHR criteria (b)	
Aesthetic	The former Treasury Buildings group (within the Intercontinental Hotel complex) is an outstanding example of the state's 19th- early 20th century public buildings and forms part of what is arguably the finest group of these sandstone buildings in NSW. The architectural forms and detailing of the group,
significance	with its strong links to Victorian "Neo-Classical" traditions, make it an extremely fine exemplar of this
SHR criteria (c)	style and reflect important contemporary links with English architectural practice. The facade of Lewis's original building in particular is a premier example in NSW of 19th century "Italian Palazzo" style based closely on a London model. The bold but sympathetically related Vernon additions fronting
	Macquarie Street are impressively proportioned and detailed and represent an excellent and perhaps
	unique example of late Victorian eclectic architecture in NSW. The site's contribution to the significant streetscapes of Macquarie and Bridge Streets is both large and indisputable, with the siting, form,
	materials and detailing enhancing the adjacent precincts of early buildings. Has aesthetic significance
	at a State level. (Sydney City Council Heritage Inventory)
Social significance	The site and its group of early stone buildings remains associated in the popular imagination - by name and historical links - with its early Treasury and state government functions. (Sydney City Council Heritage Inventory)
SHR criteria (d)	Godinal Horidago Involtory)
0	
Tankai an I/Danaanah	During 1983 archaeological work uncovered evidence of an 1850s stable block. The site has in the past shown important archaeological resources and both building and site have the potential to
Technical/Research significance	provide further information on site use and building development sequences and techniques. (Sydney City Council Heritage Inventory)
SHR criteria (e)	only council homogo inventory,
,	
	The feede of Louis's original building in particular is a promise average in NCW of 10th acretime
Parity	The facade of Lewis's original building in particular is a premier example in NSW of 19th century "Italian Palazzo" style based closely on a London model. (Sydney City Council Heritage Inventory)
Rarity	
SHR criteria (f)	
D	The former Treasury Buildings group (within the Intercontinental Hotel complex) is an outstanding representative example of the state's 19th- early 20th century public buildings and forms part of what
Representativeness	is arguably the finest group of these sandstone buildings. (Sydney City Council Heritage Inventory)
SHR criteria (g)	
	N/A

Integrity		

	HERITAGE LISTINGS
Heritage listing/s	Heritage Act – State Heritage Register - Listing Number 00355 – Gazette Date 02 Apr 99 - Gazette Number 27 -Gazette Page 1546
	Heritage Act – Permanent Conservation Order- former – Listing Number 00355 – Gazette Date 07 Feb 85 – Gazette Number 037 – Gazette Page 05899

		INFORMATION SOURCES					
	Include conservation and/or management plans and other heritage studies.						
Туре	Author/Client	Title	Year	Repository			
Tourism		Intercontinental Hotel former Treasury Building	2007				
Tourism Attraction	Attraction Homepage	Intercontinental Hotel Former Treasury Building	2007				

	RECOMMENDATIONS
Recommendations	

SOURCE OF THIS INFORMATION								
Name of study or report	Heritage Office	Year of study or report						
Item number in study or report	Database number: 5044997							
	File Number: s90/04483 & HC 32431							

## A.2 **PROPOSED HERITAGE INVENTORY**

	ITEM DETAILS							
Name of Item	Former Treasury Buildings							
Other Name/s / Former Name/s	InterContinental Hotel Sydney							
Item type (if known)	Built							
Item group (if known)	Government and Administration							
Item category (if known)	Administration Office							
Area, Group, or Collection Name								
Street number	115 – 119							
Street name	Macquarie Street							
Suburb/town	Sydney	Postcode	2000					
Local Government Area/s	City of Sydney							
description	The subject property is located at 115 – 119 Macquarie Street, Sydney NSW. The property is a consolidation of two (2) titles, legally described as the whole of the land within Lot 40 in Deposited Plan 41345, and Lot 4 in Deposited Plan 785393. The property has its main frontage to Macquarie Street along its eastern boundary, and has two (2) secondary frontages to Bridge Street (southern boundary) and Phillip Street (western boundary). The improvements on the subject property are comprised of four distinct building stages, as follows:  1. Original Treasury Building, c.1849-1851  The building is an irregular 'L' shaped building over three storeys. The building has its principal frontage to Macquarie Street with a sandstone portico (c.1874) and a secondary frontage to Bridge Street. The building was constructed for the dual occupation of the Department of Treasury and the Auditor-General Department.  The basement level (set below street level to Macquarie and Bridge Streets, but exposed internally due to the topography of the site) comprises the original Colonial vault, associated ante-chambers, former administration areas and a number of modernised bathrooms. Part of the basement level has been converted into a restaurant.  The ground floor level comprises a number of small office areas and one large function room. The first floor level also comprises a number of smaller offices and one large function space.  A central imperial timber staircase and hall connects the three levels. It has been blocked from being used between all levels at present. The rooms within this building are either used for private commercial tenants or associated with the InterContinental Hotel.  2. Northern wing extension (Link Building and Strong Room Building) along Macquarie Street, c.1896-1899  The northern wing extension comprised two parts; the first being a three-storey square strong room fronting Macquarie Street to house important documents within a fireproof shell, and the second being an administration building to link between t							

The Strong Room was designed to complement the original Treasury Building with an extension of the principal two / three storey form of the original building and a single projecting breakfront, reproducing the exposed sandstone face of smooth and vermiculated detailing. The Link building continued this design, but added a prominent three storey portico with entablature and classical tympanum pediment to the Macquarie Street façade. Both buildings were surmounted by a decorative sandstone parapet.

A small rooftop addition (c.1914) is located above the Strong Room.

3. Western wing extension along Bridge Street, c.1916-1919

The building along Bridge Street is an extension of the original Treasury Building. Externally it presents a similar architectural style to the original Treasury Building and the Strong Room along the northern wing.

The building has three levels, with the basement level cut into the natural topography of the site and emerging at ground level at the corner of Bridge and Phillip Streets. The 'basement' level comprises a large restaurant tenancy throughout being The Meat & Wine Co.

The ground level above comprises a large 'all day dining' area associated with the InterContinental Hotel operations, known as Opera Café. The uppermost level (first floor) comprises two large function rooms, ante-chambers, and back-of-house areas associated with InterContinental Hotel operations.

4. Hotel development, comprising the Phillip Street frontage building, remainder of Cortile, three basement levels of car parking, and hotel tower, 1980s.

The Hotel development comprises an L shaped pre-caste concrete building along Phillip Street and along the property's northern boundary, connecting with the former Treasury buildings. The development includes 27 storey concrete hotel tower.

and western wing extensions. The Original Treasury Building in particular is considered to be rare as is it one of the first public office buildings remaining extant, and an early fine example of a Palazzo

The collective building group is a significant Sydney landmark, comprising highly intact sandstone

representative of their period of development and specific use (The Premier's Room; the vault). The site contributes to the streetscapes of Macquarie and Bridge Streets, and also to the colonial Sydney setting of the area. The buildings are associated with and form part of an important group of early

facades to Macquarie Street and Bridge Street. A number of rooms are highly intact and

Location - Lat/long	Latitude	-33.862924			Longitude	151.21238	1
Location - AMG (if no street address)	Zone		Easting			Northing	
Owner	Mulpha (Hotel) Sydney Pty Limited						
Current use	Hotel						
Former Use	Government offices						
Statement of significance	The former Treasury buildings at 115 – 119 Macquarie Street (64 Bridge Street) are of State heritage significance for their historical, aesthetic, associative, rarity and representative values. The former Treasury buildings comprise the Original Treasury Building (c.1849-1851), the northern wing extension being the Strong Room building (c.1896-1897) and the Link Building (c.1898-1899), and the Western Wing extension (c.1916-1919). Collectively, the former Treasury buildings are an outstanding example of Sydney's colonial development and in particular of successive Government office development of the over a period of 70 years.						
	The buildings have a strong association with the Government (and Colonial) Architect's Branch, and in particular the works of Mortimer Lewis, Walter Liberty Vernon and George McRae. The buildings are also considered significant for their long association with the Treasurer's Department (and affiliated department) and were occupied by a number of significant political figures during this period.						
	The Original Treasury Building is of the Italian Palazzo style, which is referenced in both the northern						

style building.

public sandstone buildings in Sydney along Bridge, Macquarie and College Streets. The subject Treasury buildings forms part of an important group of public use buildings on the block bounded by Macquarie, Bridge, Phillip and Albert Streets. The broader InterContinental Hotel site was redeveloped in the 1980s to provide for the existing hotel building, which interfaces with the rear of the Former Treasury Buildings. This development resulted in the loss of fabric to the rear of the Western Wing extension, and construction of the Cortile against the Northern Wing's rear arcade. The basement floor of the Link building was completely excavated and investigated to lay a new floor during the 1980s. This area is highly disturbed. Other sub floor areas including underneath the basement levels of the Original Treasury Building, the Western Link and the Strong Room, may be less disturbed and may have potential for archaeological relics associated with the construction of these buildings, however these areas will not provide evidence of former significant structures. Intact sub surface archaeological relics beneath the Original Treasury Building have the potential to be of state heritage significance. State 🖂 Local Level of **Significance** 

	DESCRIPTION						
Designer	<ol> <li>Original Treasury Building c.1849-51: Mortimer Lewis</li> <li>Strong Room Building and Link Building (Northern Wing), c.1896-99: Walter Liberty Vernon</li> <li>Western Wing c.1916-19: George McRae</li> <li>Hotel development, c1982-85: Kann Finch &amp; Partners Pty Ltd (in association with Fisher Hudson Pty Limited and Clive Lucas Pty Limited)</li> </ol>						
Builder/ maker							
Physical Description	1. Original Treasury Building, c.1849-1851						
	The building is an irregular 'L' shaped building over three storeys. The building has its principal frontage to Macquarie Street with a sandstone portico (c.1874) and a secondary frontage to Bridge Street. The building was constructed for the dual occupation of the Department of Treasury and the Auditor-General Department.						
	The basement level (set below street level to Macquarie and Bridge Streets, but exposed internally due to the topography of the site) comprises the original Colonial vault, associated ante-chambers, former administration areas and a number of modernised bathrooms. Part of the basement level has been converted into a restaurant.						
	The ground floor level comprises a number of small office areas and one large function room. The first floor level also comprises a number of smaller offices and one large function space.						
	A central imperial timber staircase and hall connects the three levels. It has been blocked from being used between all levels at present. The rooms within this building are either used for private commercial tenants or associated with the InterContinental Hotel.						
	The basement level of the building is set below the Macquarie Street level with sandstone foundations. A light well / subterranean walkway extending along the Macquarie Street and Bridge Street frontages provides light to the basement level and provides for ventilation.						
	The building has external exposed sandstone walls and a combination of sandstone and brick internal walls. Walls are rendered internally and painted or wall-papered.						

Internal flooring is of timber floorboard materiality with later carpet coverings in rooms. The building has a timber roof structure with later slate tiles and lead flashing.

Generally Australian cedar joinery throughout, in particular on the street facing Georgian 12 pane double hung sash windows. A number of original door cases and doors remain intact throughout.

Some original light fixtures are extant in the principal stair-hall facing Macquarie Street.

A number of internal ceilings have been replaced or lowered to provide for modern service installation. Some lathe and plaster ceiling evident above false ceiling on basement level.

 Northern wing extension (Link Building and Strong Room Building) along Macquarie Street, c.1896-1899

The northern wing extension comprised two parts; the first being a three-storey square strong room fronting Macquarie Street to house important documents within a fireproof shell, and the second being an administration building to link between the original Treasury Building and the new Strong Room.

The Strong Room was designed to complement the original Treasury Building with an extension of the principal two / three storey form of the original building and a single projecting breakfront, reproducing the exposed sandstone face of smooth and vermiculated detailing. The Link building continued this design, but added a prominent three storey portico with entablature and classical tympanum pediment to the Macquarie Street façade. Both buildings were surmounted by a decorative sandstone parapet.

External brick walls with sandstone face to Macquarie Street (eastern façade) comprising smooth faced and vermiculated sandstone. Internal brick walls with plaster and painted finishes.

Strong room has concrete floors to the basement and ground levels. Part concrete and part remnant parquetry floors. Link building has timber flooring with parquetry detailing. The Strong Room building has a combination of remnant parquetry and concrete flooring with carpet finish.

A small rooftop addition (c.1914) is located above the Strong Room. Steel and timber framed roof structure with metal and copper roof cladding.

Romanesque arched brick and sandstone arcade adjoining the western façade of the Link Building. Detailing of the arcade varies on each of the three levels as described below, and is surmounted by a sandstone entablature.

- The basement level return of the arched arcade comprises rough-faced sandstone clad arches and columns.
- The ground level return of the arched arcade comprises a series of brick columns with sandstone entablature and sandstone clad semi-circular arch with recessed sandstone soffit. Between each arch is located a carved cartouche.
- The first level (highest) return of the arched arcade comprises a series of Codussian arches, of which each comprise two brick and sandstone arches, surmounted by a circular sandstone opening, united under a single brick and sandstone arch. The arches are framed by ionic relief sandstone pilasters.

Generally Australian cedar joinery throughout, in particular on the street facing 12-pane double hung sash windows. A number of original door cases and doors remain intact throughout. A small number of the windows on the southern façade of the Strong Room (adjoining the Link Building arcade) are steel framed.

A number of internal ceilings have been replaced or lowered to provide for modern service installation.

Western wing extension along Bridge Street, c.1916-1919

The building along Bridge Street is an extension of the original Treasury Building. Externally it presents a similar architectural style to the original Treasury Building and the Strong Room along the northern wing.

The building has three levels, with the basement level cut into the natural topography of the site and emerging at ground level at the corner of Bridge and Phillip Streets. The 'basement' level comprises a large restaurant tenancy throughout being The Meat & Wine Co.

The ground level above comprises a large 'all day dining' area associated with the InterContinental Hotel operations, known as Opera Café. The uppermost level (first floor) comprises two large function rooms, ante-chambers, and back-of-house areas associated with InterContinental Hotel operations.

External brick walls with sandstone face to Bridge Street (eastern façade) comprising smooth faced and vermiculated sandstone detailing. Internal brick walls with plaster and paint.

All floors are concrete with reinforced steel. Flat concrete roof behind sandstone parapet, with a malthoid-type roof sheeting.

Romanesque arched brick and sandstone arcade adjoining the northern façade of the building, constructed in the same detailing as the original arcade.

Generally maple and Oregon joinery throughout. A number of original door cases and doors remain intact throughout. A number of internal ceilings have been replaced or lowered to provide for modern service installation.

4. Hotel development, comprising the Phillip Street frontage building, remainder of Cortile, three basement levels of car parking, and hotel tower, 1980s.

### **Physical condition**

#### and

# Archaeological potential

### **Physical Condition**

1. Original Treasury Building, c.1849-1851

Given the age and continued occupation of the building, overall it presents in a good condition. The original cedar sash windows are in good condition except where later double glazing has resulted in some weathering from overexposure to heat. Signs of rising damp are evident in the basement level rooms along the Macquarie Street frontage associated with later cement renders.

A number of original features including decoration (wallpaper and stencilling), ceilings, cornices, architraves, fireplaces and surrounds and joinery (skirting boards) have been removed or replaced with later reproductions. This is particularly evident in the following spaces:

- S1.7 basement vault with original iron doors missing.
- S2.2 & S3.1 original offices reconfigured with later bathrooms and partitions, new ceilings. All cornicing and original fireplaces removed. Patching of skirting evident.
- S2.8, S2.9, S2.11 and S2.13 all new reproduction fireplace surrounds.
- S2.13 reproduction decorative ceiling below original, deteriorated ceiling.
- S3.9 raised floor level to accommodate services above the decorative ceiling of S2.13

A number of structural changes and interventions have occurred as a result of the 1982-1985 hotel development to provide upgraded services and fire compliance. These changes have resulted in the loss of original fabric or reproduction of features. This is particularly evident in the following spaces:

• S1.11 & 1.12 – converted to bathrooms for the basement level restaurant.

- S1.8, S2.4, S3.3, S3.11 & S2.14 modified to a concrete fire stairwell and exit in conjunction with 1980s hotel development.
- D2, D4, D21, D22, D23, D43, D44, D55, D36 & D53 new doors for fire exit.
- Northern wing extension (Link Building and Strong Room Building) along Macquarie Street, c. 1896-1899

Given the age and continued occupation of the building, overall it presents in a good condition. The original cedar sash windows are in good condition except where later double glazing has resulted in some decay from overexposure to heat. Signs of rising damp are evident in the basement level rooms along the Macquarie Street frontage.

A number of original features including decoration (wallpaper and stencilling), ceilings, cornices, architraves, fireplaces and surrounds and joinery (skirting boards) have been removed or replaced with later reproductions. This is particularly evident in the following spaces:

- S2.19 & S3.17 where the entire space has been reproduced with new columns, ceilings and cornices.
- S.2.18 has a false ceiling to hide services installed.
- S3.13 being a highly modified space.

A number of structural changes and interventions have occurred as a result of the 1982-1985 hotel development to provide upgraded services and fire compliance. These changes have resulted in the loss of original fabric or reproduction of features. This is particularly evident in the following spaces:

• S1.26, S1.27, S1.23, S1.24, S1.25, S1.21, S1.20, S1.29, S1.30, S1.32 – basement spaces across the northern wing have been modified to fit in fire stairs, retail spaces and partitioned areas.

The western façade of the Strong Room building has been amalgamated into the contemporary hotel building, resulting in a number of windows and doors being bricked up or removed, and intervention into the original rear wall for fire stair construction.

3. Western wing extension along Bridge Street, c.1916-1919

Given the age and continued occupation of the building, overall it presents in a good condition. The original sash windows are in good condition except where later double glazing has resulted in some decay from overexposure to heat.

The end of the building towards the corner of Bridge and Phillip Streets is highly modified as a result of integration with the contemporary hotel building in c.1982-1985.

A number of structural changes and interventions have occurred as a result of the 1982-1985 hotel development to provide upgraded services and fire compliance. The western end of this building was substantially demolished and integrated with the new hotel development along Phillip Street at this time. These changes have resulted in the loss of original fabric or reproduction of features.

The basement level spaces have been substantially altered for a conversion to a restaurant. A service lift and fire stairwell installation have resulted in significant fabric intervention through all three levels.

4. Hotel development, comprising the Phillip Street frontage building, remainder of Cortile, three basement levels of car parking, and hotel tower, 1980s.

The hotel portion of the property is in good practical condition but presents as out-dated in its context as a five star Sydney hotel. The configuration of hotel spaces, particularly on the three levels interlacing with the historic buildings, are poorly arranged with limited amenity.

### Archaeological potential

The analysis undertaken above in Section 5.5.2.1 in relation to historical plans confirms that the following built elements were constructed within the subject site (Former Treasury Buildings SHR curtilage):

- Original Treasury Building c.1849-51
- Land Sales Building c.1851-53
- Northern Link of Treasury c.1896-99
- Western Link of Treasury c.1916-19
- Ancillary structures in courtyard including round WC block and timber buildings c.1880

The only structures remaining are the Treasury Buildings. All ancillary structures have been removed, and according to the 1980s' archaeological investigations, all evidence of the Land Sales Building, the courtyard WC and other structures has been removed.

The basement floor of the Link building was completely excavated and investigated to lay a new floor during the 1980s, with the E Higginbotham Consultant Archaeological Services archaeological report reporting that no significant archaeological relics remain. This area is highly disturbed.

Other sub floor areas including underneath the basement levels of the Original Treasury Building, the Western Link and the Strong Room, may be less disturbed and may have potential for archaeological relics associated with the construction of these buildings, however these areas will not provide evidence of former significant structures. Intact sub surface archaeological relics beneath the Original Treasury Building have the potential to be of state heritage significance.

Those areas identified above as being excavated in the 1980s, and on the basis of the E Higginbotham Consultant Archaeological Services archaeological report, are considered to have very low to nil archaeological potential.

It is possible however that evidence of other structures remains in those areas of the subject site which were not excavated in the 1980s. The following sequence of figures show current 2016 aerials, overlayed with a series of surveys / maps undertaken between 1855 and 1949. This sequence of figures identifies the structures on the subject site over this period in relation to the existing hotel development and demonstrates whether structures were present in areas of the site not excavated in the 1980s.

The previously unexcavated areas beneath what remains of the Bridge Street Western Wing building may have archaeological potential associated with the former structures on this land being the 'wooden buildings' as identified in the 1880s' survey (Figure 327), and later the tramway buildings (Figure 328 and Figure 329). However, these structures appear to have been temporary structures and are not considered to provide a defining contribution to the significance of the site. It is possible that remains associated with these structures were removed during the construction of the Western Wing in c.1916-19, and further, the 1980s' archaeological report confirms that all evidence of the former Terminus has already been removed.

The former Treasury buildings site (InterContinental Hotel) at 115 – 199 Macquarie Street is not identified on the Central Sydney Archaeological Zoning Plan schedule as a site of archaeological potential.

Construction years Start year 1849 Finish year 1899 Circa	Construction years	Start year	1849	Finish year	1899	Circa	
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# Modifications and dates

23/01/1849 Colonial Architect asked to provide plan for new Treasury and Audit Office. Two architect's elevations exist; one to Macquarie Street with central doorway and window on either side, and one to Bridge Street with five bays (all windows). A centre line and overall dimension indicate that seven bays were required. The plans are signed by the contractors (in the usual manner when a tender was accepted). The drawings do not bear the signature of any Architect, but Mortimer Lewis was the Colonial Architect in January 1849.

08/03/1849 Treasury and Audit Office to be commenced as soon as possible. It was to be left to the Colonial Treasurer and Auditor-General to decide upon the internal arrangements, whether they wish to have one floor each, or part of each office on both floors.

23/03/1849 Colonial Treasurer and Auditor-General concur on the division of the offices in the new building by a party wall.

Approval given for division of building by a party wall.

There was no physical connection between the two departments.

20/04/1849 Tender of Jacob Inder for erection of new Treasury accepted, £3,412. Only £2,000 voted for Treasury and the extra for the Audit Office to be placed on the estimates for 1850. Contractors must understand this condition and may proceed with Treasury to value of £2,000.

24/07/1849 Bond of Messrs Inder for Treasury and Audit Office has been received, Contractors understand and have accepted the conditions under which the contract is entered into.

30/11/1849 Contractors are procuring and working in the building (Treasury). A rotten sandy and scaly description of stone which is unfit to be used in the works. Remonstrances of the Foreman of Works not attended to by the Contractor, Sub-contractor or Foreman Mason. Just now the Contractors are procuring large quantities of the stone which being wrought in an improper manner for the building. Note by Mortimer Lewis: Contractor to be given notice that unless the next of stone is used and the workmanship is good, no further payment will be made.

13/12/1849 Edmund Blacket, who became Colonial Architect on 1 December 1849, reported to the Colonial Secretary that he found 'considerable alterations and departures form the contract plans for which I do not find any authority'. He notes 12 deviations from the original plan and was of the opinion that these alterations were improvements upon the original plan and suggested further change in increasing the thickness of the walls of the Treasury. There was nothing in the contract as regards plumbers' or smiths' work or for the roof.

22/12/1849 Re: Deviations from original plan. Estimate to be furnished of the probable expense of all alterations made by the late Colonial Architect and yourself, to see how far the vote will cover these. Application will be made to Crown Law Officer concerning the validity of the original contract.

List of extras at Treasury, 15 December 1849

Memo of extras in Colonial Treasury, 31 December 1849

Calculations and valuations of extra excavation and masonry performed, up to 31 December 1849

28/12/1849 Re: original contract and bonds of sureties for Treasury, does the Government propose to pay for work already done and to sanction further extras? Was there sufficient authority for the alterations from the original plan? If the answer to both the these is affirmative, then there should be no difficulty in avoiding all risk of validating the original contract or bond.

05/01/0850 Estimate of cost of alterations, plus items not included in original contract (roof, plumbers', smiths' works) will be £332.6.7 in excess of vote of £4,000, exclusive of the cost of outbuildings.

15/01/1850 Proposed alterations and additions can with the concurrence of the Contractor, be safely carried out without vitiating contract. Colonial Architect to prepare a plan and estimate with a view to a vote of the legislative Council being obtained to meet the additional expenditure required.

07/02/1850 Requesting that plot allotted to the Treasury be marked out so that a plan of the outbuildings can be made.

13/02/1850 Surveyor General replies that no particular area has been designated for the Treasury, and it is therefore necessary for the Colonial Architect to say what he wants and the Surveyor General will have it marked out.

07/05/1850 £500 will be required in supplementary estimates for Treasury.

23/08/1850 Building now carried up nearly ready for fixing the roof. He requests permission to made agreement with contractors for slaters', plumbers and other work not included in their contract, to a value of £250.

18/09/1850 Colonial Secretary approved of making such an arrangement with contractors to complete Treasury and Audit Office.

31/03/1851 Land Sales to be held in one of the rooms of the Treasury until the sale room is completed.

28/04/1851 Partition required in one of upper rooms of new Audit Office.

10/07/1851 Re: original intention of plastering walls in the basement floors. The intention was to plaster the whole of the ceilings, the walls of the staircase and the front rooms (being intended for extra clerks) in the Audit Office and the walls of the staircase and ante room of the Treasury vault. With respect to the remaining rooms being for the accommodation of messengers, painting and colouring was considered clean and sufficient.

11/07/1851 Referring to the conversation had this morning re: Treasury and Audit Office, upon examination of the specifications of the works Inder & Co. find the alterations and additions are of such a nature as to completely alter the features to the building and so, to avoid dispute, request that the whole building be measured and valued and paid accordingly.

11/07/1851 Mortimer Lewis to Messrs. Inder re: height of party wall – the intention was not to carry it higher than the ceiling of the upper rooms conceiving at some future day another storey might be placed on the building.

18/08/1851 Messrs Inder's total account = £4,347.13.10

04/10/1851 Approval for iron bars to be fitted to windows on first floor of Treasury (Blacket called ground floor the first floor and first floor the second floor)

07/10/1851 In view of the change the Treasurer is obliged to make in the Department from that originally contemplated, it will be necessary to have two doors opened into the main passage, one from the room in which the gold is to be delivered and another from the room at the back of the receiving room.

18/10/1851 Colonial Treasurer to have a safe for the gold arriving from the gold districts.

17 Oct 1851 New Treasury occupied.

July 1852A water colour of the new building was made in July 1852 by Jacob Janssen. This shows it without the stone area walks, palisade fence or stone bridges. Temporary timber bridges to the doors can be seen.

1852 Making and fixing window shutters as new Treasury (this could mean Audit Office too).

1852 £300 expended in fitting out the Gold Branch of the Colonial Treasury to be charged to the gold revenue.

Tender for stone stairs to rear of Treasury Building with landing four feet long (this could mean Audit Office too).

Needed for Audit Office – doors similar to those in the entrance hall of the Colonial Treasury, covered with green baize with a centre piece of glass to close with a strong spring from outside.

06/10/1853 £300 allowed to Messrs Jacob Inder and Henry Tebbutt in full of all demands for compensation for losses sustained in erection of new Colonial Treasury and Audit Office.

1853 The specification for iron railing along the south and east fronts of the Treasury and Audit Office still exists.

02/02/1853 Audit Office needs more space and requesting that extra rooms be constructed.

May 1853 Baize folding door required between outer and inner halls in Treasury.

26/07/1853 Sum placed on estimates for necessary work. Note £2,000 placed on estimates was withdrawn.

1857 Mention of Treasury Room and Waiting Room.

1861 Mention of Under Secretary's Room.

1861 A sketch of the Treasury and Audit Office from the west shows the palisade fence. Note the land in the area walk wall.

1862 Additional room to be made and fitted up at head of stairs for an additional clerk.

1863 Two rooms appropriated to the use of the Treasurer.

1864 Treasurer's Office and Under Secretary's room to be connected by speaking tube.

1864 Paymaster's office and Accountant's room to be connected by speaking tube.

June 1864 Additional accommodation needed as a number of officers from the Audit Office have been transferred to the Treasury. Request that partition wall between the two departments be broken through so as to open up communication with the lower back room of the Audit Office and to make it available for the exclusive use of the Treasury by closing the present entrance to it, in the former building.

1864 Back stairs to be faced with lead due to great wear and tear.

1866 Accountant's and Under Secretary's rooms to be connected by speaking tube.

c.1860s A photograph taken between 1865 and 1874 shows the original Macquarie and Bridge Street elevations.

1872 Recommending removal of Audit Office.

1873 Auditor-General to find other offices (moves to the Victoria Club building, Castlereagh Street).

06/06/1873 Alterations to Treasury Building.

Alterations may relate to building portico on original building; or perhaps alterations in building after the Audit Office moved to other premises and the Treasury then occupied the whole building.

02/07/1873 Iron bridge for Treasury building. A later plan shows possible bridges at both front and rear stairs of Treasury.

1870-1874 Between 1870 and 1874 portico added to Treasury on Macquarie Street.

A number of photographs taken from the south east show the new portico. These also show 1870s some elements now missing including;

Doors and fanlight to Audit Office entrance.

Chimney caps.

Internal bars and blinds to some windows.

Bridge to Audit Office entrance.

About 1880 major but temporary additions were made to the building. A long wing was added at ground level joining the former Audit Office to the western end of the outhouse wing. This was constructed of timber and corrugated iron and houses the conditional purchase ledgers.

This wing appears in a photograph taken from the Chief Secretary's building c.1898 and on a plan of 1896. A building of similar construction was built presumably at the same time (1880) adjoining the northern side of the Treasury building on Macquarie Street. This housed the Paymaster and Clerks.

By the 1880s it was being said that the original Treasury building was 'a small building, scarcely suited to transact the monetary business of the Colony'.

1885 A drawing dated July 1885 shows proposed extensions planned to maintain the tram depot. No executed.

1894 A drawing dated May 1894 shows extensions to the building similar in concept to the present design.

July 1896 A drawing dated 1896 shows extensions to the building very similar to the present design.

1896 In January 1896, the Parliamentary Standing Committee on Public Works held an enquiry to consider the proposed additions to the Treasury Building. Amongst the witnesses was the Government Architect W. L. Vernon.

Evidence was given that the present accommodation was too small and that the important ledgers and accounts were in danger of destruction in fire. Much was made of building a 'strong room' of fireproof materials to house the records.

Vernon illustrated his evidence with plans showing the staging of the work. The Strong Room was to be built north of the old Stamp Office; the old Stamp Office then to be removed and the original Treasury building and the new Strong Room linked by a second stage incorporating a portico. A third stage, never executed, was to remodel the interior of the original Treasury building.

1895-1989 Stage 1: Strong Room

A drawing dated June 1895 sows a Strong Room design very similar to the present building with a pitched concrete roof and a two bay square gallery over the ground floor.

1895 Temporary timber entrance steps are shown. Details of gallery stairs (now gone) survive together with stone work details.

A later drawing shows an alternate roofing system and is called 'Alternative plan showing Roof and Floors constructed on Monier System'. The column spacing of this is different from the present building.

c.1896 The Strong Room was commenced.

Dec 1897 The contractors J Stewart & Co. to be afforded facilities for proceeding with fittings in Treasury Strong Room.

Jan-Jun 1898 Venetian blinds in Strong Room. Temporary accommodation to be provided for Caretaker Geary whilst Treasury additions are made. Electric light for the Strong Room will be ready in three weeks' time to run continuously.

1897-98 Strong Room completed. A photograph of June 1898 shows the old Land Sales Room demolished but for the ground floor wall. At this time, an 'iron' bridge linked the two buildings at Ground Floor level. This could be the iron bridge built in 1873.

1895-1898 Stage 2: Link Building

Dec 1895 Design and stonework drawings of the Link Building were prepared similar to the present design.

Jul 1896 A further Macquarie Street elevation was drawn.

1897 Design drawings dated December 1897 show the present configuration of the Link Building. This shows the following:

- North wall and part of west wall of original building rebuilt from ground floor level.
- 2 spiral stairs on the arcade. Crossed out in pencil.
- Division of the original Treasurer's Room to form corridors and waiting room.
- A staircase between the new Treasurer's room and the landing of the original Treasury stairs.

- The southern arcade originally planned to be at right angles with Macquarie Street.
- Some of the large Strong Room arches not opened up.
- A system of counters now gone.
- No partitions in basement.
- No doors in the west wall of the new Treasurer's Room.
- No door in the west wall of the Treasurer's Retiring Room and door to Treasurer's lavatory in different position.
- Different configuration of the present staircase to second floor.
- The old stable building converted to lavatory. The conversion of the stable building included the rebuilding of the east wall, shortening the building by about 2.5 metres.

Jan-Jun 1898 That £5,000 be placed on Loan Estimates for 1898 for Sheppherd Bros. for the 2nd Treasury Contract.

1898-99 "Treasury – additions to the Treasury including new portico facing Macquarie Street were carried on during the year and with the portion of the No. 1 contract completed in the previous year, form the nucleus of an important block of buildings. It is recommended that the next step to be taken should be the remodelling of the old portion and bringing it into unison both as regards accommodation and appearance with the newer portions."

Feb 1898 Truss details of the Link Building roof were prepared.

Aug 1898 – Jan 1899 Construction details for the arcade of the Link Building were prepared.

Jan-Jun 1899 Enquiring if a series of portraits in terra cotta of Treasurers and Treasury officials should be commenced in the spaces left in the spandrils of the arches of the New Treasury buildings. Approved.

1899 A photograph showing the original Treasurer's Room is extant taken presumably just before this move.

Jul-Dec 1899 New additions – it is desired that both archways should be put up with fire proof shutters raised and lowered by hydraulic means. Asking for concurrence in the retention of asphalt floors in the back corridor of the new Treasury building.

A photograph c.1899-1900 shows that masonry of the north wing nearly completed.

The whole of the north wing was largely finished by June 1900 and finalised by June 1901.

July 1900 Request for authority to pull down and sell the old building at rear of Treasury as there is no further use for it.

1900 Request that Treasury old building, instead of being demolished, be erected in the Bunnerong Road in connection with the Labour Department. Approved.

1900-01 A photograph from the west shows this wing being taken down.

30/08/1900 Question: What was the estimated cost of the new Treasury buildings? And what was the actual cost?

Answer: Estimated cost £21,500

Actual cost: No. 1 Contract £8,036.11.8

No. 2 Contract £16,894.3.10

Total £24,930.15.6

It should be noted that the Treasurer requested that additional works be done which cost £2,401. These were not contemplated nor included in the scheme submitted to the Parliamentary Standing

Committee. Two photos of the recently furnished Treasurer's Room survive. These show that one of the doors is not original. The elaborate pediments have yet to be installed.

1904 Photographs of 1904 show the addition of the pediments and wallpaper.

1914 In 1914 an additional room was built above the Strong Room to house the Accounts Branch. This was constructed of timber clad in ripple iron and had external venetian blinds. The design drawing for this is extant.

1916 In 1916, the Government Architect George McRae produced a grand scheme for a new Bridge Street building. This included an Edwardian Baroque style domed entrance at the Bridge and Phillip Streets corner, and a similar remodelling of the original building at the Bridge Street and Macquarie Street corner.

Construction commenced.

1916-1917 Numerous design and construction drawings dated 1916 and 1917 exist for this wing showing the present design and approved by George McRae. In this the Bridge and Phillip Streets corner was left for a future stage. The present termination together with the grand elliptical staircase was carried out. One of these drawings, dated 1916, shows the arcade only partly along the south side of the Cortile and supported by a brick buttress. A gangway is shown leading from D7/550 and D6/530 leading to the Link Building colonnade.

1918 Another drawing dated 1918 shows the linking of the original and west wings at the ground floor level. A plan was drawn showing future stages of the building along Phillip Street.

1919 Extension complete during financial year ending 30 June 1919 at a cost of £33,000.

Front elevation is freestone: entrance at western end gives access by a wide corridor to an elliptical staircase hall from whence each floor is reached by electric left. Staircase is reinforced concrete with marble strings, treads, risers and landings, and the dado is of shaped terrazzo with marble capping. Building is three storeys in height, floors are of reinforced concrete, finished in tallow-wood 'parquetry' and the joinery is of polished maple while a wide arcade with marble-tiled floor gives access to the northern side of the main building. Basement is for office accommodation, ground floor is subdivided with half-glass partitions for accounts and correspondence and record branches, while the first floor is set apart for Minister's and Under Secretary's rooms, and the necessary retiring rooms and lavatory and sanitary conveniences. The whole of the extension is occupied by the administrative branch of the Treasury and the vacated rooms in the old building were altered and renovated for the reception of the Premier's staff.

1919 Caretaker's quarters consisting of timber framed cottage were planned for in the courtyard. The drawing shows coal pits (presumably from the tram depot) to be removed. A police box was also planned against the northern wall of the elliptical stair.

1898-1931 At some time unknown the design drawing for the Link Building 1897 has been amended in pencil showing new arrangements, which include:

- Rearrangement of counters of the ground floor.
- The present partition of the old Treasurer's Room and additional door to the new Treasurer's Room.
- Removal of spiral stairs.
- The present doors in the Treasurer's retiring room.

These alterations are all shown in the accommodation survey of 1931.

The accommodation survey shows the building in use by Premier's and Treasury Departments and the Hospital's Commission. The 1931 plans confirm the following:

- The gallery in the Strong Room has been half filled in.
- The first floor internal walls of the western leg of the original building have been removed.
- The original Treasurer's room is partitioned.

- The staircase to the north of the Premier's Room is in its present location.
- The counters on the ground floor of the north wing have been rearranged.
- The converted stable is shown as a lavatory.
- Lift well in original building suggests the existence of the Premiers vault in basement of Link Building.

1946 A new Phillip Street wing was planned and documented by Hennessy & Hennessy & Co. Not executed. This was to demolish part of the west end of the west wing.

Basement of original and north wing re-wired. Drawing shows Strong Room in basement of Link Building for Premier. Basements of original wing shown connected.

1953 Lift installed in Strong Room together with partitions for Cabinet Room, Dining Room, Servery and Toilets on first floor. All mechanically ventilated. Three columns removed to achieve this and roof structure altered. The original Under Secretary's lavatory outside the Premier's Sitting Room was removed at this time.

Before 1963 Computer Room and Air Conditioning set up in basement level of west wing.

1963 Accommodation survey shows building in use by Premier's and Treasurer's Departments, with following notes:

- The Premier's Department is now using all of the first floor except the west wing.
- The counter arrangement in the Link Building has changed.
- Most of the arcades are in-filled.
- A meter room has been formed in the southern area walk.
- The Premier's Strong Room and lift is shown.
- The southern area has been extended west.
- The old stable/toilet is shown.
- The caretaker's cottage and police box are shown.
- The gangway is shown.

At this time the original Treasury vault was used for the NSW Standard Weights and Measures.

1967 Comprehensive replanning was done for the accommodation of the Ministry of Transport in the northern wing and the Police Department in the original and western wings. Many small alterations are shown, including:

### **Basement Level**

- Male toilets under the arcade.
- Ground Floor
- Partitioning of the Strong Room
- WCs and basins at the west end of the west wing.

### First Floor

- Partition of cabinet dining room.
- New door to Premier's Room formed reusing joinery from sitting room.
- New bathroom to west of original Treasurer's Room and removal of lift.
- Partitioning of the Strong Room.

The main addition was the toilet and stair wing on the south west corner of the Strong Room after the demolition of the original stable building. This had been added to and converted many times. The

caretaker's cottage and police box were also demolished. At this time, many ducted skirtings were installed.

Other significant alterations were:

Blocking up door at W7/520

Forming D7/537

Blocking doorway into Premier's sitting room

Forming new doorway D7/546

Forming D6/514

Converting door at W6/522 to window

Blocking door at north west corner of space 607

Removal of possible original partitions in S610

Demolition of air raid shelter in southern area walk (previously called meter room)

Forming new doorway into Premier's vault D5/518

1968 Air conditioning and gas heating was installed to the executive rooms of the Link Building and Strong Room.

1970 More rewiring was done in the north wing.

1977 The original and west wings were replanned for the accommodation of the Conservatorium of Music. Much of the partitioning was rearranged. The significant alterations include:

Bricking up of old doorway in original Audit Office (between D6/530 and D6/538).

Removal of small section of rear hall on first floor of original Treasury Office.

Bricking up of D5/536.

Conversion of the property to a hotel development occurred in 1982-1985. The works for the subject site comprised the retention of the existing Treasury buildings, conversion of these spaces to meeting / function rooms and a restaurant, and the construction of a new hotel tower building, with a new Phillip Street wing. The buildings joined together to form a central covered Cortile area together with the original arcades, incorporating the elliptical staircase as a feature in its non-original location. The hotel required three levels of basement car parking to be excavated underneath the site; this excavation does not extend underneath the heritage buildings (Original Treasury Building, Link Building, Strong Room or Western Wing).

**Further comments** 

#### **HISTORY**

#### Historical notes

The Treasury is the oldest surviving Government Agency in Australia. The first Colonial Treasurer, William Balcombe, was appointed to the role in April 1824 following an enquiry into Governor Macquarie's administration. The office of the Colonial Treasurer was first established at 1 O'Connell Street (corner of Bent Street); William Balcombe's official residence. Balcombe's private quarters and the Treasury office were housed under the one roof, his wife and children upstairs, the government transactions attended to below. The building housed the Colonial Treasury between 1824 and 1837, and comprised vaults for the Colonial wealth and a number of solid prisoner cells in the basement.

The security at O'Connell Street was not considered adequate and in May 1827 the Treasury was directed to move to a building within the Barrack Walls at Barrack Square where the security arrangements were considered better for safeguarding the Civil and Military money of the Government. Over the following decades, the Colonial Treasury was relocated on a number of occasions for reasons of either security or financial expediency. The Department remained, however, close to the Governor's domain, the precincts of Parliament House, the Colonial Secretary and later the Premier.

By 1849, the Treasury and Audit offices were situated in a dilapidated building in what would be Loftus Street, Sydney. During his term, Colonial Treasurer Campbell Drummond Riddell requested new accommodation, and was promised a new building in Macquarie Street. In August 1849, the Treasury department vacated the dilapidated building, and by December the same year the dilapidated building was being demolished. The materials were sold for the gross sum of £91.

The Treasury department was removed temporarily to a building in Charlotte Place (now Lang Park), opposite St. Phillip's Church. The Treasury department remained in occupation of this 'interim' Treasury building for over two years, until the new Treasury at Macquarie Street was completed in October 1851.

When in 1850 the Colonial Architect asked the Colonial Treasurer for a plan of the land allotted to the Treasury, the Surveyor General replies that no particular area had been designated and therefore it was necessary for the Colonial Architect to say what he wanted. A site for the proposed new Treasury Building was selected on Macquarie Street, on the corner of Bridge Street

The Colonial Architect was asked to provide plan for the new Treasury and Audit Office. Two architectural plans showing proposed elevations of the buildings still exist today in the NSW State Library. Of these two existing plans, one shows the proposed elevation of the building to Macquarie Street (which is very similar to the existing façade of the building), and the other shows a proposed elevation to Bridge Street (albeit only five window bays long in the plan but executed as seven window bays long when constructed).

The drawings do not bear the signature of any Architect, however it is likely that Mortimer Lewis was the architect of these plans as he was the Colonial Architect at this time, and other evidence suggests that he was involved in the building's design and construction. In particular, Edmund Blacket's first entry in the business diary after he assumed the office of Government Architect (December 1849), stated that on 5 December 1849 he "inspected the new Treasury Office", confirming that this job was passed down from Lewis.

Calls for tenderers to undertake the construction of the new Treasury Building were advertised in March 1849. The construction of the building spanned two years, wherein additional monies were raised progressively to support the construction; in July 1850, a claim was raised that the expenditure for the building's ornamentation was too extravagant and all accounts should be reviewed.

The new Treasury building was completed and ready for occupation by October 1851.

The building was to be of dual purpose, housing both the Department of the Colonial Treasurer, and the Auditor-General. The rooms for use by the Department of the Colonial Treasurer were accessed from Macquarie Street and generally comprised the Treasurer's Room, a number of Clerk's rooms, and public receiving rooms. The Auditor-General occupied four rooms to the west of the new building, access separately from Bridge Street.

Following the building's completion in 1851, further calls for tenders were issued for the construction of associated outbuildings. Outbuildings included a land sales office, stables, privies and watchman

quarters. Soon thereafter, a new iron safe was required to be constructed in the vault of the new building to hold the Treasury stocks.

By 1856, the block bounded by Macquarie Street, Bridge Street, Phillip Street and Albert Street was further developed with a Water Police Court and Police Station on the corner of Albert and Phillip Streets. This building (now the Justice and Police Museum) was the first of numerous Government agency buildings that would be developed on this block after the original Treasury Building.

In 1861 the new Treasury Building was described as follows:

"The Treasury and Audit Office: This is a handsome and massive building. Both offices, it will be seen are under the same roof. The former entering from this street and the latter from Bridge Street. The Sale-room for Crown Lands adjoins the Treasury, a notice of which is affixed over the door. Opposite the Treasury we have the guard house and entrance to...".

A more detailed 1865 Trigonometrical Survey shows the full development of the site at this time, including the 'L' shaped Treasury Building to Macquarie and Bridge Streets, and the Land Sales Office to the north on Macquarie Street. The survey still confirms that there was a physical separation between the Treasury department and Auditor-General department at this time. Further Government based development adjoining and associated with the Water Police Court had been undertaken.

During the mid to late 1800s, the city of Sydney developed rapidly, particularly along the northern end of Macquarie Street to Circular Quay. The immediate surrounds including Bridge Street and Phillip Street were heavily built-up with a mixture of store buildings, offices and residences. However, the block bounded by Macquarie Street, Bridge Street, Phillip Street and Albert Street remained generally undeveloped until 1880 with the Original Treasury Building, Land Sales Office, and Water Police complex being the only improvements.

Sydney's first steam tramway was established in 1879. The first tram lines were laid from Redfern to the Hunter Street entrance of the Palace Gardens (Royal Botanic Gardens). Shortly thereafter, the lines were extended to a depot constructed at the rear of the Treasury Building, on the land at the corner of Bridge and Phillip Streets. This depot became known as the 'downtown terminus'.

In 1896 the Public Works Committee was advised that an extension of accommodation at the Treasury Building was required to facilitate ongoing occupation and the centralisation of Government Departments. The growth of the Treasury and Auditor-General Departments necessitated a large extension; the Treasury Department had increased from 12 staff in 1850 to 79 staff in 1896. The department was also anxious for a fire-proof strong room as they had advised that the present vault was unusable.

The Government Architect, Walter Liberty Vernon, was instructed to draw up a scheme to achieve these requirements. The Public Works Committee consulted with Vernon throughout this process, who advised the Committee that alternatives have been considered, including the possibility of constructing additional storeys on top of the existing Treasury building. However, Vernon concluded that whilst the external walls of the existing Treasury building would have the strength to support additional storeys, the resultant internal accommodation configuration would make the development inadvisable.

Vernon's new proposal included two additional buildings extending north along Macquarie Street from the Original Treasury Building, including a 2,000 square foot Strong Room.

Vernon estimated that this extension would cost £22,000. This exceeded the original authorised expenditure amount of £13,000 provided by the House, in the Committee of Ways and Means in December 1895. The proposed additions were sanctioned in September 1896 under the Public Works Act of 1888.

The works were to be undertaken in three stages, as follows:

- Stage 1: The Strong Room forming an isolated three level building fronting Macquarie Street, north of the existing Land Sales Office.
- Stage 2: Demolition of the Land Sales Office, and construction of a Link Building between the original Treasury Building and the new Strong Room building.
- Stage 3: Proposed reconfiguration of the original Treasury Building. This third stage did not proceed.

The proposed additions to the Treasury Building extending north along Macquarie Street were put to tender in 1898, with ten tenders received, including Messrs J. Steward and Co. for sandstone at £14,939 and Messrs Phippard Bros. for granite at £15,846.

The Strong Room was constructed first in 1896. The next phase of the northern wing additions was the construction of the Link Building in c.1898-1899.

The Link Building comprised two levels of offices and service rooms over a basement foundations level. There was a small mezzanine floor located within the roof space of the central hipped roof bay.

The ground floor was dedicated to a public reception area (lobby) and office space. The first floor was dominated by the grand Treasurer's (later Premier's) Room and associated service rooms. A retiring room, bathroom and balcony were located off the Treasurer's/Premier's Room for the Treasurer's/Premier's exclusive use.

The Premier's Room terminology came about as a result of the evolution of the Treasury Department and the Office of the Premier. While these two offices are quite distinct, prior to 1908, the Treasurer often assumed the role of Premier (or Prime Minister of New South Wales) as well. It is possible that Premier and Treasurer, Sir George Reid occupied the Treasurer's Rooms in the Treasury building between August 1894 and July 1899 but tradition holds that the first Premier (or Prime Minister as sometimes titled) and Treasurer to occupy the Treasurer's Room in the new Link building was Sir William Lyne from September 1899 to March 1901.

As part of the Link building additions, alterations were undertaken to the northern portion of the original Treasury Building to provide for connectivity with the new accommodation. In particular, the former Treasurer's Room on the first floor of the Treasury Building was partitioned into two spaces to provide a waiting room and corridor.

One of the most elaborate and significant features of the northern Link Building additions was the inclusion of a colonnaded arcade along the western elevation of the Link Building. The arcade also extended for one bay west, along the southern façade of the Strong Room. The arcade provided brick and sandstone arched openings of varying detail on each level.

The Link Building was mostly complete in c.1899.

The Link Building extension included a suite of new rooms for the then Treasurer and Premier (Mr George Reid) located on the first floor. The Treasurer/Premier moved into his rooms in 1899, and they were described as commodious and elaborately furnished.

A detailed description of the Treasurer's/Premier's Room was included in the Clarence and Richmond Examiner in November of that year as follows:

"The principal room [Premier's Room] is the finest in all the Government buildings, it is about 35 feet long, about 25 wide, and high in proportion. The walls are beautifully panelled for about one-third of their height from the floor, and the ceiling is a work of art. The furniture is quite in keeping with this fine room and it must have cost a great deal of money".

The elaborate carved pediments and wallpaper for the Premier's Room weren't added for a couple of vears, but were installed by 1904.

As part of a suite of rooms for the Premier's use, private quarters were constructed with adjoining doors to the Premier's Room. These rooms weren't as elaborate in their detailing and were intended for use as the Premier's lunch room, bedroom and bathroom.

The room formerly occupied by the Treasurer in the Original Treasury Building, and adjoining the new Treasurer's/Premier's Room, was converted into a waiting room for the new Treasurer's/Premier's Room and a private staircase for the Treasurer/Premier in c.1899.

In 1914 an additional room was built above the Strong Room to house the Accounts Branch. This was constructed of timber clad in ripple iron and had external venetian blinds.

By 1916 the Treasury offices were overcrowded again and there was a need for additional space. Additions were proposed to the Treasury buildings to accommodate the Premier's office staff who were then scattered about the existing buildings in an awkward manner.

The plan originally comprised a large extension along Phillip Street and then another building to join with the Strong Room, forming a central quadrangle area boarded by a colonnaded arcade.

The full extent of this proposal was put on hold due to the impact of the war. The proposed extension was scaled back to comprise of a single building extension along Bridge Street, extending west from the original Treasury Building to the corner of Bridge and Phillip Streets. The extensions were anticipated to cost £15,000. The detailed plans for this scaled back proposal were prepared by George McRae, Government Architect.

Work commenced in March 1916 for the proposed extension. The foundations for the proposed extension were constructed in the location of the existing tram-way depot on the corner of Bridge and Phillip Street. It was anticipated that following the proposed extension, the depot would be closed and the tram lines would be reduced to only one set along Phillip Street.

The design was intended to marry with the existing buildings, using local sandstone from the Government Quarry at Randwick. The elevation to Bridge Street was designed to introduce a new feature of rusticated arches to the basement level given the topography of the street, but also replicate features of the original Treasury Building and the 1890's northern wing extension in the use of the main cornice and general façade fenestration.

The extension was completed in 1918 within the revised budget estimate of £30,000; double the estimated budget in 1916. This cost was considered extravagant spending to some in a period of war and the Department of Public Works and the Treasurer's Department received criticism for it. Many of the internal features of the building were considered unnecessary adornment, including the "elaborate woodwork surrounding the doors" and a "marble fireplace with four huge columns supporting a mantelpiece, in turn surmounted by carved woodwork".

On the other hand, in comparison to the architectural design and internal finishes of the original Treasury Building and the north wing (Link Building and Strong Room), some people were instead "struck with the severe plainness and simplicity, yet attractiveness, of the internal finishings" of the new Bridge Street extension. The Minister for Works emphasised that the materials for the building were selected on the basis of economy having regard to the war period. He specifically outlined measures that were taken to minimise cost without compromising on all internal features, including;

- The marble staircase only has marble treads and risers, with inner material of the plainest kind.
- The brick walls of the dado of the staircase have been covered by a lining of cement and marble chips, instead of full marble.
- The wood carving surrounding the doors is plain in comparison to many other buildings, and he refutes the existence of wood carving surmounting the fireplaces .

A more detailed description of the internal finishes follows:

"The whole of the internal woodwork, as far as windows, doors, etc. are concerned, is in polished Queensland maple. The partitions and other portions of the office fittings are in selected Oregon and other American pines, which are being stained and varnished. This means strict economy for such a building; yet the effect is pleasing. The whole of the floors are in tallow-wood, parquetry laid, and polished. They have a very fine appearance, and as floor coverings will not be necessary a considerable sum will be saved. The main staircase is in marble, and the dado has been finished in marble chips, set in cement, and polished. Here and there the grey and green marble have been introduced, adding to the general appearance. The rooms will soon be in the occupation of the department."

The full proposed scheme was still intended to be constructed in the future, as the western façade of the new building was detailed as 'temporary' and being clad in corrugated iron. Also at the western portion of the building, an elliptical staircase was constructed with a central caged lift shaft, located within a three-storey brick tower at the Bridge and Phillip Street corner.

The elliptical staircase comprised a marble stair surrounding an ornate steel caged lift and lift shaft. The lift was constructed by The Ornamental Steel Manufacturing Co. Limited, who specialised in lift enclosures, lift cages, ornamental steel gates, entrance doors and railings. The subject caged lift in the Western Wing extension was featured in advertising by The Ornamental Steel Manufacturing Co. Limited in Building journal, from July 1919 onwards.

Extending north from the staircase tower were two bays of a Colonnaded arched arcade, constructed to match the original northern extension arcade built in c.1899 by Vernon. The original arcade was to be connected with the new section of arcade by way of a temporary timber gangway, until such time as the western extension of the arcade could be completed. The temporary timber gangway extended along the outer northern face of the Original Treasury Building.

The outer wall of the arcade with the colonnaded arches along the southern cortile wall was completed sometime between the 1916 works and 1932. The timber gangway remained in-situ with the arcade constructed around it.

In 1938, the year of Sydney's 150th year celebrations, the Department of Government Transport constructed an office building to the north of the Treasury complex, which extended across the site from Phillip Street to Macquarie Street. This building is known as Transport House and still adjoins the subject property.

By the mid twentieth century, the land at the rear of the Treasury Buildings (along Phillip Street), formerly the tram-yard area, was being utilised by the Department of Road Transport as a registration yard, with a weigh bridge, office and brick testing office comprising the only improvements on the site.

In July 1947, the Department of Public Works obtained development consent for extensions to the Treasury Building along Bridge and Phillip Street. This proposal did not proceed.

In July 1959, the Department of Public Works had again requested permission to invite tenders immediately for the commencement of a new Treasury building urgently required to relieve congestion in the Department's accommodation. The request was again denied. No further development was undertaken during the 1950s and 1960s.

The Treasury and Premier's Departments occupied the Treasury buildings at Macquarie and Bridge Streets until 1967, when both departments moved to the State Office Block (The Black Stump) with a frontage to Macquarie, Phillip and Bent Streets, Sydney. The Police Department occupied the Original Treasury Building and the 1916 western wing from 1968 to 1977. Also in 1968, the Ministry of Transport took up occupation in the northern wing (Link and Strong Room buildings), adjoining Transport House on Macquarie Street. The Police Department vacated the Original Treasury Building and the 1916 western wing in 1977, when the Conservatorium of Music took occupation.

In July 1978, a feasibility study was undertaken to examine the possibility of redevelopment of the whole block bounded by Macquarie Street, Bridge Street, Phillip Street and Albert Street, including the subject buildings, for the use of the Conservatorium of Music. The Conservatorium of Music were then unsatisfied with their main accommodation at the converted former Government Stables, and were seeking alternative accommodation. The proposed redevelopment did not proceed and the Conservatorium of Music remains in occupation of the former Government Stables today.

The Ministry of Transport and the Conservatorium of Music remained in occupation of the Treasury buildings until 1981.

The development application for the 'erection of a multi-storey hotel building incorporating the existing Treasury Buildings' was approved by the Department of Environment and Planning in July 1981. This consent was granted concurrently to a number of other developments in Sydney which were viewed as highly controversial regarding their impact on heritage buildings.

The proposal for the subject site comprised the retention of the existing Treasury buildings, conversion of these spaces to meeting / function rooms and a restaurant, and the construction of a new hotel tower building, with a new Phillip Street wing. The buildings were proposed to join together to form a central covered Cortile area, incorporating the elliptical staircase as a feature in its non-original location. The hotel required three levels of basement car parking to be excavated underneath the site; this excavation does not extend underneath the heritage buildings (Original Treasury Building, Link Building, Strong Room or Western Wing).

	THEMES
National	3 Developing local, regional and national economies
historical theme	4 Building settlements, towns and cities
	7 Governing
State	Commerce
historical theme	Environment – Cultural Landscape
	Towns, suburbs and villages
	Land tenure
	Government and administration

	APPLICATION OF CRITERIA
Historical significance	Until the subdivision of the Governor's Domain in the 1830s, the subject site formed part of the Governor Domain gardens to the immediate north-east of First Government House. There is no physical evidence remaining that demonstrates this association however the site is diagonally opposite to and shares a visual relationship with the Site of the First Government House.
SHR criteria (a)	The Treasury buildings, together with the other early (colonial) sandstone buildings along Macquarie and Bridge Streets, form an important group of early public buildings and a group of highly significant sandstone buildings.
	The subject Treasury buildings form part of an important group of public use buildings on the block bounded by Macquarie, Bridge, Phillip and Albert Streets. This block was occupied by the Treasury and Auditor-General Departments, Water Police Court, Police Station, Transport House, public tramdepot and the NSW Health Building, and remained entirely in Government ownership from the demolition of First Government House (c.1845) to the late twentieth century. The subject Treasury buildings contribute to the understanding of the continued Government occupation of this block and the propensity during the nineteenth century to develop Government based buildings in close proximity to Government House.
	The Original Treasury Building was the first building to be constructed on this block and the first building constructed on Macquarie Street after its northern extension into the Governor's Domain. The Original Treasury Building portion of the subject property is one of the first public office buildings constructed in Sydney which is still extant.
	The Original Treasury Building has remained on this site since construction in c.1849-51 (almost 170 years) and has been adapted a number of times for changing needs.
	The Treasury buildings represent well the evolution of the Treasury and Auditor-General Departments in the early colony and through to the twentieth century. Remnant fabric within the buildings is of particular historical importance in depicting the specific Treasury associated uses of the buildings (including the basement vault and Strong Room steel framed windows).
	The Treasury buildings remained in continuous use by the Treasury department and associated Government Departments between c.1851 and 1967, as New South Wales centre for commerce and State Government. The buildings were occupied by a number of prominent State politicians including Treasurers, Auditor-Generals and (later) Premiers. The Strong Room building has strong associations with the history of land lease and sale in New South Wales, and accommodation of the Cabinet suite.
Historical association	Until the subdivision of the Governor's Domain in the 1830s, the subject site formed part of the Governor Domain gardens to the immediate north-east of First Government House. There is no physical evidence remaining that demonstrates this association however the site is diagonally opposite to and shares a visual relationship with the Site of the First Government House.
significance	The subject Treasury buildings have strong associations with three Colonial and Government Architects; Mortimer Lewis, Walter Liberty Vernon and George McRae. The Original Treasury Building

#### SHR criteria (b)

is credited as a fine example of Mortimer Lewis's work in the Italian Palazzo Style. However, the extensions undertaken by Vernon (Strong Room and Link Building) and McRae (Western Wing) are not seminal works of these architects, as they instead created sympathetic extensions emulating the style of the Original Treasury Building facades.

The subject Treasury buildings have a strong association with the development of and evolution of the Treasury Department in New South Wales; the Original Treasury Building was purpose-built for the Treasury Department and occupied continuously by it for a large proportion of the State's history. In particular, the former Treasurer's Room in the Original Treasury Building is significant, and although modified has been highly documented over time.

The subject Treasury buildings also has strong associations with the development and evolution of the Premier's Department, having been occupied by successive Premiers throughout the twentieth century. In particular, the 'Premier's Room' in the Link Building is a highly intact internal space and its history is well documented.

# Aesthetic significance

SHR criteria (c)

The Original Treasury Building (Mortimer Lewis) is constructed in the Italian Palazzo architectural style of Renaissance Revival and is a fine example of its type. The building has a highly intact exterior in good condition which remains generally unaltered since 1851 (apart from the portico addition to Macquarie Street in c.1870-74). The building also has generally intact internal configuration, albeit with modifications, and key significant rooms linking to the specific use of the building, including the basement vault. The central imperial staircase is of aesthetic significance, although has been modified.

The Link Building & Strong Room building extensions (Walter Liberty Vernon), and are fine examples of Federation classical architecture. While the exterior was constructed in a sympathetic style emulating the Original Treasury Building and does not distinguish itself as a seminal piece of Vernon's work, the interiors, particularly the Premier's Room are fine examples of early Federation architecture. The exterior of this building is highly intact and of high integrity. The Strong Room building in particular demonstrates innovative architecture in the use of steel framed windows and doors resulting from its 'fireproof' requirement. The colonnaded Cortile (c.1898 & extended c.1916-19) is rare and distinctive, and a fine example of Renaissance Revival architecture.

Similarly, the façade of the Western Wing building (George McRae), also borrows from the earlier Palazzo typology of the Original Treasury Building and remains an accomplished and sympathetic extension. The exterior of this building is highly intact and of high integrity. The interiors have been significantly modified.

The Treasury Buildings have significance for their landmark location, scale and proportions. The subject Treasury buildings contribute to the aesthetic of the colonial civic precinct around Government House, comprising a number of important public sandstone buildings from the nineteenth century.

#### Social significance

SHR criteria (d)

The subject Treasury buildings are an important Sydney landmark. They were constructed for a specific Government purpose and occupied by various Government Departments for a major period of their existence. However, the buildings do not demonstrate a strong social significance specific to the Governmental role.

It is however acknowledged that the subject Treasury buildings are esteemed by the general community to a degree and contribute to Sydney's sense of colonial identity for planning, aesthetic and Governmental reasons. The Original Treasury building is likely to have some social significance to the community as a fine example of an early colonial building of excellent landmark qualities and for its contribution to the history of New South Wales. It is considered that the community would suffer a sense of loss should the subject Treasury buildings be lost or significantly altered.

# Technical/Research significance

SHR criteria (e)

The basement floor of the Link building was completely excavated and investigated to lay a new floor during the 1980s. This area is highly disturbed. Other sub floor areas including underneath the basement levels of the Original Treasury Building, the Western Link and the Strong Room, may be less disturbed and may have potential for archaeological relics associated with the construction of these buildings, however these areas will not provide evidence of former significant structures. Intact sub surface archaeological relics beneath the Original Treasury Building have the potential to be of state heritage significance. A full Historical Archaeological Assessment and Aboriginal Cultural Heritage Assessment Report would need to be undertaken to establish the site's archaeological potential in detail and provide an assessment of significance for these elements.

# Rarity

SHR criteria (f)

The Original Treasury Building portion of the subject property is considered to be rare as is it one of the first public office buildings constructed in Sydney which is still extant, with only some internal modifications, and an early fine example of a Palazzo style building.

The subject Treasury buildings are notable for their highly intact elevations to Macquarie Street and Bridge Street.

The buildings are a rare example of the continuity of development of a single site to accommodate growth in particular Government departments, with each portion of the building being designed by successive Colonial / Government Architects.

The collective elliptical staircase and caged lift element is an unusual early example of its kind in generally good condition (albeit with fabric reconstruction). However, it is not currently in its original location which devalues its significance.

The intact form of the Original Treasury Building's vault space provides rare evidence for the management and storage of commerce in colonial Sydney. This vault is the only known example of its type in Sydney.

The Original Treasury Building's sunken basement walkway is a rare architectural feature in the Australian built landscape and in Sydney, with only one other example being readily apparent at the Mitchell Library to Macquarie Street. This feature reflects the British origins of the original design. Other rare elements include the decorative colonnaded arcade.

Analysis of the archaeological potential of the site did not reveal any potential for archaeological findings on the site which could be rare for their type or context.

### Representativeness

SHR criteria (g)

The Original Treasury Building is considered to be representative of the period of early colonial development in Sydney and is an excellent example of a colonial sandstone Government building.

The buildings are also representative of Government (and Colonial) Architect's Branch developments over a number of distinct periods and demonstrate the architectural styles (albeit borrowing from the Palazzo typology) and interior design drivers relevant to each period.

The Former Treasury Buildings contribute to the collective representative value of the early sandstone buildings of governance and administration along Macquarie Street, identifying this precinct as a significant civic area.

### Integrity

### **HERITAGE LISTINGS**

### Heritage listing/s

State Heritage Register under the Heritage Act 1977 (items of state significance)

(only part of the site – restricted by the existing curtilage to part of Lot 40 in DP 41315 as defined in the curtilage plan)

Sydney Local Environmental Plan 2012 Schedule 5 – Items of Environmental Heritage (items of local significance) Item 1871

Register of the National Estate (not operational) under the Environment Protection and Biodiversity Conservation Act 1999 (items of local, state or national significance) Place ID 1829 Place File No. 1/12/036/0039 Registered 21/03/1978

Macquarie Street Special Character Area under the Sydney Development Control Plan 2012 Yes, within the special character area

National Trust of Australia (items of local, state or national significance) Former Treasury Building etc ID 6375

## **INFORMATION SOURCES** Include conservation and/or management plans and other heritage studies. Author/Client Title Repository Year Type Clive Lucas Pty Ltd Conservation Analysis, Conservatio Augus Statement of Cultural t 1982 Manageme Significance, Development nt Plan Constraints and Draft Conservation Policy NSW Government, Treasury 1999 http://www.treasury.nsw.gov.au/G Research Golden Heritage: A Joint Department Exhibition to Commemorate the olden\_Heritage 175th Anniversary of the New South Wales Treasury: 1824-1999

RECOMMENDATIONS								
Recommendations	It is generally considered that the curtilage suffices to protect the state significant aspects of the building, however, it is recommended that the curtilage is amended to also include the forecourt areas fronting Bridge Street and Macquarie Street. Refer to Figure 192 for a proposed amended curtilage plan.							

SOURCE OF THIS INFORMATION								
Name of study or report	Conservation Management Plan. Former Treasury Buildings (InterContinental Hotel), 115 – 119 Macquarie Street, Sydney NSW 2000  Year of study or report							
Item number in study or report								
Author of study or report	Urbis Pty Ltd							
Inspected by	Fiona Binns, Associate Director Heritage and Ashleigh Persian, Senior Heritage	age Consu	ltant					
NSW Heritage Manual	guidelines used?	Yes 🗵	]	No 🗌				
This form completed by	Ashleigh Persian	Date	16 Ja 2017	anuary				

# IMAGES - 1 per page

Please supply images of each elevation, the interior and the setting.

Image caption	Original Treasury Building showing southern and eastern façades						
Image year	2016	Image by	Urbis Pty Ltd	Image copyright holder	Urbis Pty Ltd		



Image caption	Link Building and Strong Room eastern façade						
Image year	2016	Image by	Urbis Pty Ltd	Image copyright holder	Urbis Pty Ltd		



Image caption	Strong Room northern façade						
Image year	2016	Image by	Urbis Pty Ltd	Image copyright holder	Urbis Pty Ltd		

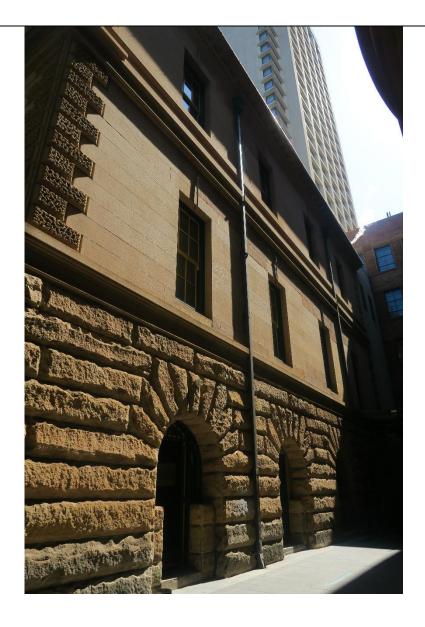


Image caption	Western Wing southern façade						
Image year	2016	Image by	Urbis Pty Ltd	Image copyright holder	Urbis Pty Ltd		



Image caption	InterContinental Hotel Sydney from the corner of Phillip and Bridge Streets						
Image year	2016	Image by	Urbis Pty Ltd	Image copyright holder	Urbis Pty Ltd		



Image caption	Cortile – original colonnaded arcade				
Image year	2016	Image by	Urbis Pty Ltd	Image copyright holder	Urbis Pty Ltd

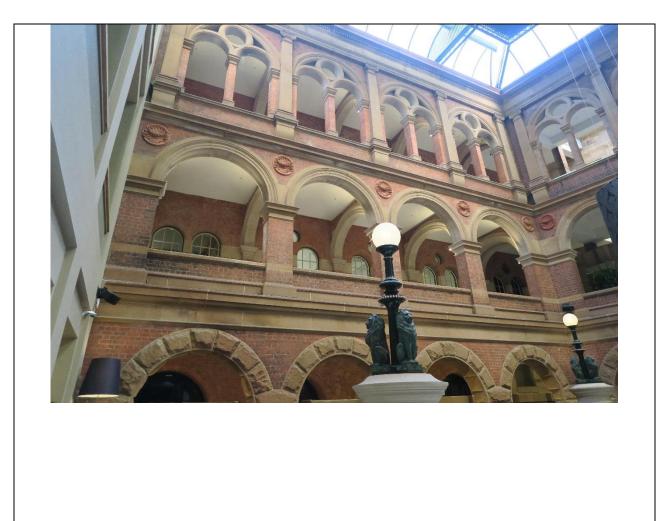


Image caption	Cortile – 1980s' hotel addition				
Image year	2016	Image by	Urbis Pty Ltd	Image copyright holder	Urbis Pty Ltd

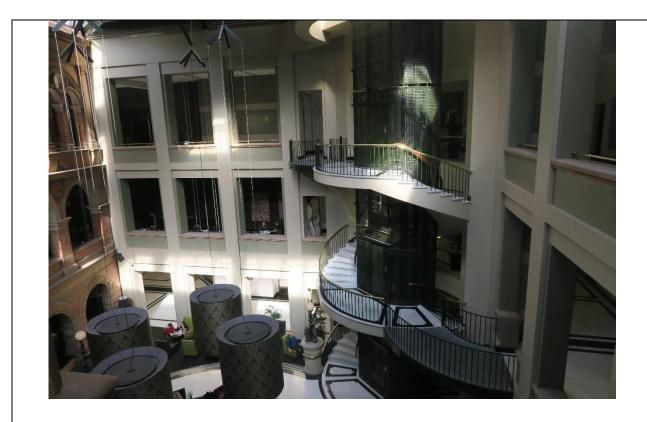


Image caption	Original Treasury Building stair hall				
Image year	2016	Image by	Urbis Pty Ltd	Image copyright holder	Urbis Pty Ltd

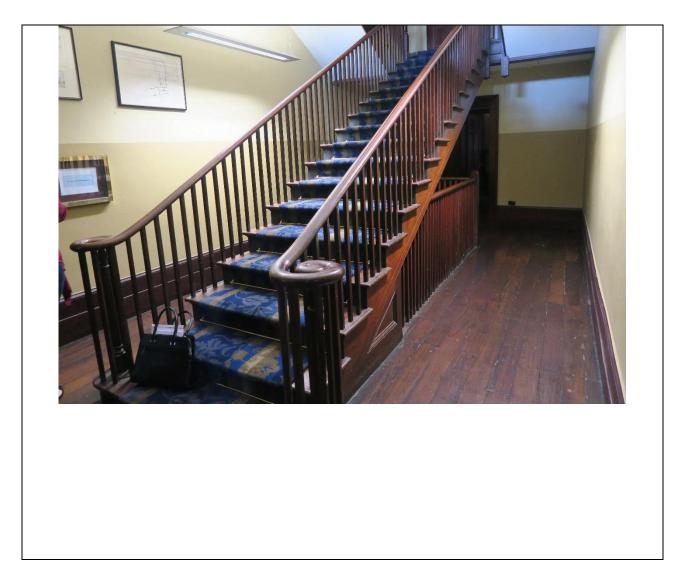


Image caption	Original Treasury Building – "The Bridge Room"				
Image year	2016	Image by	Urbis Pty Ltd	Image copyright holder	Urbis Pty Ltd



Image caption	Original Treasury Building – original office space				
Image year	2016	Image by	Urbis Pty Ltd	Image copyright holder	Urbis Pty Ltd

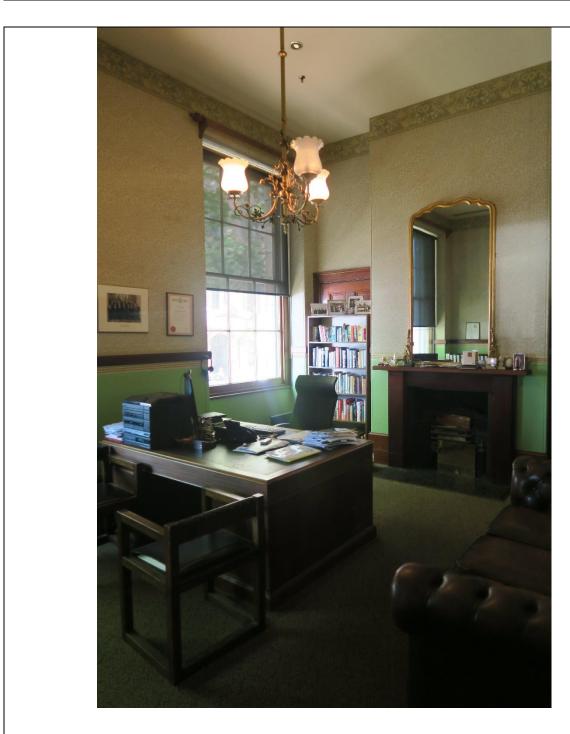


Image caption	Link Building – "The Premier's Room"				
Image year	2016	Image by	Urbis Pty Ltd	Image copyright holder	Urbis Pty Ltd

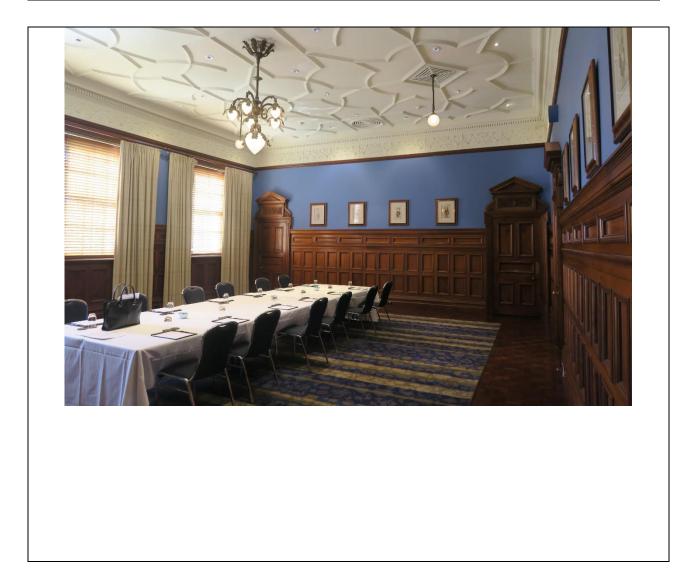


Image caption	Link Building – Fireplace within "The Premier's Room"				
Image year	2016	Image by	Urbis Pty Ltd	Image copyright holder	Urbis Pty Ltd

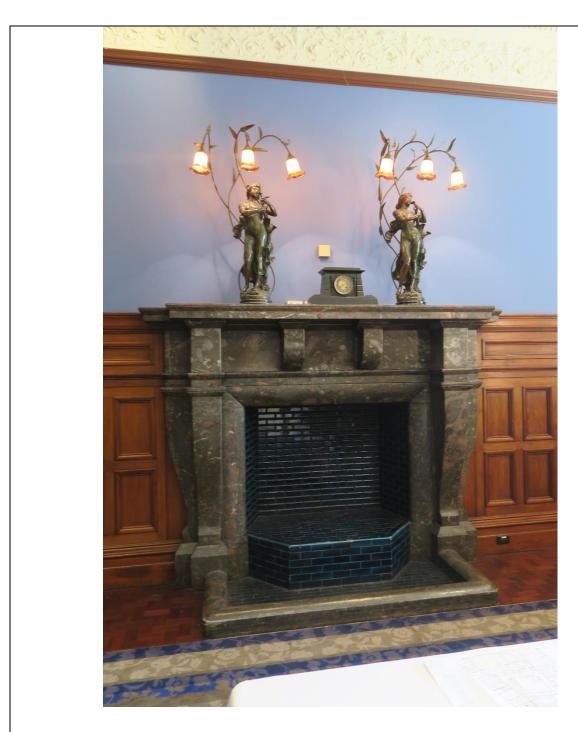


Image caption	First floor of the Strong Room				
Image year	2016	Image by	Urbis Pty Ltd	Image copyright holder	Urbis Pty Ltd

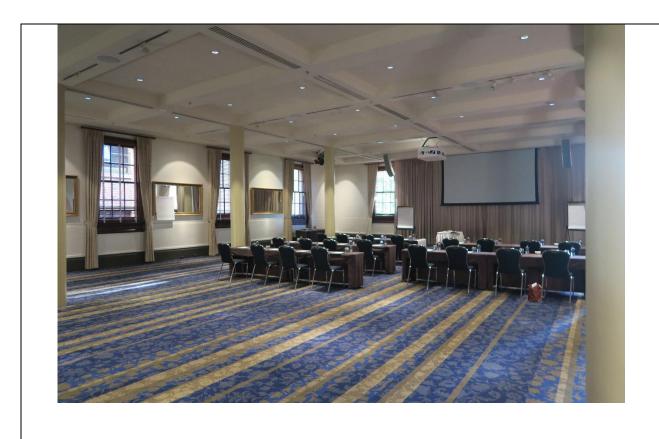
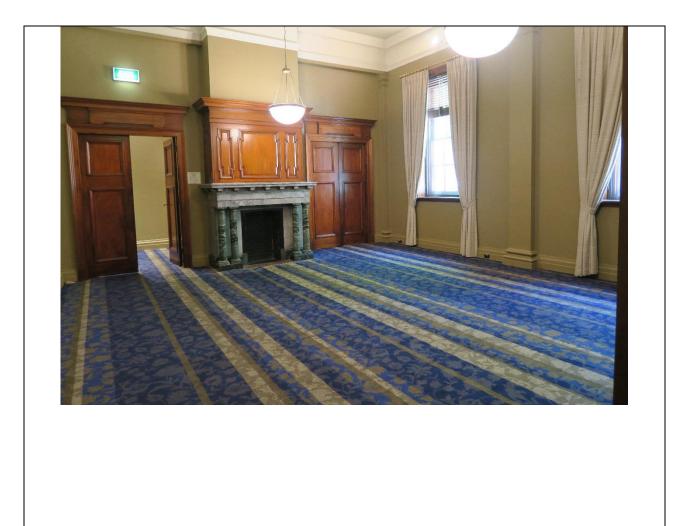


Image caption	First floor office within the Western Wing				
Image year	2016	Image by	Urbis Pty Ltd	Image copyright holder	Urbis Pty Ltd



## APPENDIX B SCHEDULE OF SIGNIFICANT ELEMENTS

Various elements of the subject property have been graded below in relation to their contribution to the site's overall heritage significance. Elements include buildings, structure, landscape and equipment that are located within the site's curtilage.

Different components of a place may contribute in different ways to its heritage value as follows:

Table 25 – Gradings of significance definitions

Grading	Justification
E (Exceptional)	Rare or outstanding element directly contributing to an item's local or State listing.  They retain a high degree of integrity and intactness in fabric or use. Any change should be minimal and retain significant values or fabric.
H (High)	High degree of original fabric. Demonstrates a key element of the item's significance.  Alterations do not detract from significance  They have a high degree of original fabric or they retain their original use. Alterations do not detract from significance.
M (Moderate)	Altered or modified elements. Elements with little heritage value, but which contribute to the overall significance of the item  They may have been altered but they still have the ability to demonstrate a function or use particular to the site. Change is allowed so long as it does not adversely affect the place's overall heritage significance.
L (Little)	Alterations detract from significance. Difficult to interpret.  Element may be difficult to interpret or may have been substantially modified which detracts from its heritage significance. Change is allowed so long as it does not adversely affect the place's overall heritage significance.
N (Neutral)	Elements do not add or detract from the site's overall heritage significance. Change allowed.
(Intrusive)	Damaging to the item's heritage significance.  Elements are damaging to the place's overall heritage significance; can be considered for removal or alteration.

Each element's significance has been graded having specific regard to its contribution to the overall significance of the property, its period of construction and its condition. We have identified the corresponding time period and condition status for the elements as follows:

These tables should be read in conjunction with the supplementary grading diagrams included at Section 0 of this CMP.

Table 26 – Definitions of time periods

Acronym	Corresponding period
ОТ	Original to the Treasury Building (c.1849-1851) (including Portico in 1870s)
os	Original to the Strong Room Building (c.1896-1898)
OL	Original to the Link Building (c.1898-1899)
OW	Original to the Western Wing (c.1916-1919)
NC	Nineteenth Century Addition
ETC	Early Twentieth Century Addition (c.1900 – 1930)
MTC	Mid Twentieth Century Addition (c.1931 – 1960)
LTC	Late Twentieth Century Addition (c.1961 – 2000)
С	Contemporary c.2001 to present date
?	Date unclear

Table 27 – Gradings of condition definitions

Grading	Justification
E (Excellent)	Element has no defects. Condition and appearance are stable and not deteriorating.
G (Good)	Element exhibits superficial wear and tear, minor defects, minor signs of deterioration to surface finishes, but does not require major maintenance. No major defects exist.
F (Fair)	Element is in average condition. Deteriorated surfaces require attention. Services are functional but require attention. Deferred maintenance work exists.
P (Poor)	Element has deteriorated badly. Serious structural problems exist. General appearance is poor with eroded protective coatings. Elements are defective, services are frequently failing, and significant number of major defects exists.
VP (Very Poor)	Element has failed. It is not operational and is unfit for occupancy or normal use.
U	Unknown. Unable to access to assess condition.

## B.1 **OVERALL FORMER TREASURY BUILDINGS**

The following tables outline the significance of the Former Treasury Buildings overall.

Table 28 – Gradings of Significant Elements: Former Treasury Buildings Overall

Item	Description	Date	Condition	Significance Ranking
GENERAL				
Overall form	Overall significance composition and character of the collective group building form, scale and roofscape	OT/OS/OL/OW	G	Е

## B.2 ORIGINAL TREASURY BUILDING

The following tables outline the significant elements of the Original Treasury Building's exterior and interior.

Table 29 – Gradings of Significant Elements: Original Treasury Building Exteriors

Item	Description	Date	Condition	Significance Ranking		
GENERAL						
Overall form	General form of the building including the principal facades and roof scape	ОТ	G	Е		
Roofing	Slate roof, replaced as part of hotel conversion works.	LTC	G	Н		
Chimneys	Two sandstone chimneys extant. Chimney pots missing. Two other chimneys along the western wing of the original building missing.	ОТ	G	Е		
Guttering/flashing	Copper downpipes and guttering.	LTC	G	N		
MACQUARIE STREE	T FAÇADE					
Façade	Basement level façade comprises exposed smooth-faced ashlar sandstone face. Some evidence of stone restoration and replacement. Projecting sandstone sills.  Ground floor façade comprises exposed sandstone in smooth-faced ashlar profile, with vermiculated sandstone quoins and vermiculated sandstone surrounding window and door openings. Decorative sandstone entablature above.  First floor façade comprises exposed sandstone in smooth-faced ashlar profile, with smooth-faced projecting quoins and carved sandstone architrave surrounding windows. Additional projecting cornice detail extends along façade just below windows. Surmounted by a decorative carved sandstone frieze and cornice.	OT	G (restored during hotel conversion works)	E		

Item	Description	Date	Condition	Significance Ranking
Sandstone portico	Exposed sandstone portico comprising a square corniced roof. Base of portico comprises a curved bridge connecting street level with the building over the basement light well. Evidence of stone restoration on portico.  North and south walls of the portico contain two openings filled with later glass panels.  Front steps are flanked by two rounded sandstone columns.	OT c.1874	G on ground level F above entablature – water penetration evident	E
S1.18 Light well trench	Space: subterranean trench for basement light, incl. sandstone and palisade iron fence at street level.	ОТ	G	E
Windows	5 x 12 pane double hung timber sash windows, and 2 x 4 pane sash windows to front façade over ground floor and first floor.	Refer Table 30 for individual window detail		
Windows	2 x double & 1 x single, four pane timber framed casement windows to basement level	Refer Table 30 for individual window detail		
Door	Ground floor level entrance doors.	Refer Table 30 for individual door detail		
Door	Basement level pair of French doors modified to include clear glass panes in upper portion of door	Refer Table 30 for individual door detail		
Services	Including later surface mounted services and signage, including air conditioning units and aerials.	LTC	F	I

Item	Description	Date	Condition	Significance Ranking		
BRIDGE STREET FACADE						
Façade	Sandstone façade.  Basement level façade comprises exposed smooth-faced ashlar sandstone. Some evidence of stone restoration and replacement.  Projecting sandstone sills. Two sandstone blind window recesses (originally blocked in) adjoining vault location.  Ground floor façade comprises exposed sandstone in smooth-faced ashlar profile, with vermiculated sandstone quoins and vermiculated sandstone surrounding window and door openings. Decorative sandstone entablature above.  First floor façade comprises exposed sandstone in smooth-faced ashlar profile, with smooth-faced ashlar profile, with smooth-faced projecting quoins and carved sandstone architrave surrounding windows.  Additional projecting cornice detail extends along façade just below windows. Surmounted by a decorative carved sandstone frieze and cornice.	OT	G (restored during hotel conversion works)	E		
Light Fittings	Two bronze and glass light fittings either side of D108	OW	G	Н		
Bridge Street bridge	Sandstone bridge and stairs re- constructed as part of hotel conversion works providing pedestrian access to former Bridge Street entrance. Now fire escape doors.	LTC	G	М		
Door	Bridge Street ground floor level entrance doors.	Refer Table 30 for individual door detail				
Door	Pair later timber doors for fire exit to basement level (1980s). Evidence of sandstone replacement surrounding door.	Refer Table 30 for individual door detail				

Windows	Four x double casement 8 pane windows to basement level.	Refer Table 30 for individual window detail		
Services	Including later surface mounted services and signage, including air conditioning units and aerials.	LTC	F	1
NORTHERN FAÇADE	E (INTERNAL WALL OF ARCADE)			
Façade	Exposed picked and margined ashlar profile sandstone wall. Projecting sandstone sills beneath windows on ground and first floors. Holes in sandstone wall indicate former structure attached (refer Figure 271, Figure 272, Figure 274 for detail on former 'gangway' structure). Northern façade adjoins roof eave without embellishment.	OT (some evidence of restoration / replacement of stones during hotel conversion works) LTC (4 inch thick sandstone face around W43 on first floor)	G	E N
Windows	Seven x 12-pane timber double hung sash windows on ground and first floors.  Three double 4-pane casement windows on basement level.	Refer Table 30 for individual window detail		
Doors	Two pairs of timber French doors on basement level.  Two pairs of timber French doors on ground floor level.  One pair of timber French doors on first floor level.	Refer Table 30 for individual door detail		
WESTERN FAÇADE	WESTERN FAÇADE (N/A)			

Table 30 – Gradings of Significant Elements: Original Treasury Building Interiors

Item	Description	Date	Condition	Significance Ranking			
BASEMENT FLOOR							
Space 1.1							
Overall significance of the space and its form	-	OT (modified)	G	H I (cool room)			
Flooring	Linoleum tiles over unknown foundations (presumably concrete or sandstone)	LTC (linoleum)	F (linoleum)	N			
Walls	Rendered and painted sandstone	ОТ	G	H/E			
Cool room	Cool room currently occupying western portion of the space	LTC	G	1			
Ceiling	Dropped later plasterboard ceiling for service installation. Unknown condition of original ceiling.	LTC	G	N			
Door D5	Later cavity timber door with modern door hardware	LTC	F	N			
Window W1	Pair of timber framed, four pane casement windows. Original window hardware intact. Internal face is painted blue.	ОТ	G	Н			
Fireplace 1	One exposed sandstone fireplace surround and mantle with brick hearth	OT	G	Н			
Fireplace 2	Presumed sandstone fireplace behind cool room – unable to confirm if still exposed sandstone or if mantle intact.	ОТ	U	Н			
Space 1.2							
Overall significance of the space and its form	-	ОТ	G	Н			
Flooring	Linoleum tiles over unknown foundations (presumably concrete or sandstone)	LTC (linoleum)	F (linoleum)	N			
Walls	Rendered and painted sandstone.	ОТ	G	Н			
Ceiling	Dropped later plasterboard ceiling for service installation.	LTC	G	N			
	Portion of original lathe and plaster ceiling visible through ceiling hole.	ОТ	U	Н			

Item	Description	Date	Condition	Significance Ranking
Door D1	Pair of French doors with large glazed panel on top portion. Original door location but later door.	ОТ	F (modified glass panes)	Н
Space 1.3				
Overall significance of the space and its form	-	ОТ	G	Н
Flooring	Later carpet over concrete floor / sandstone foundations.	LTC	Р	N
Walls	Rendered and painted sandstone.	ОТ	G	H/E
Ceiling	Dropped later plasterboard ceiling for service installation.	LTC	G	N
Door D6	Later cavity timber door with modern door hardware.	LTC	F	N
Window W2	Single timber framed, four pane casement window. Original window hardware intact. Internal face is painted cream.	ОТ	G	Н
Spaces 1.4 and 1.5 (later be	athrooms)			
Overall significance of the space and its form	-	OT modified	F	М
Flooring	Black and white mosaic tiling over concrete floor.	LTC	G	N
Walls	Rendered and painted sandstone.	ОТ	G	Н
Ceiling	Dropped later plasterboard ceiling for service installation.	LTC	G	N
Door D7	Later cavity timber door with modern door hardware.	LTC	F	N
Door D8	As above.	LTC	F	N
Space 1.6				
Overall significance of the space and its form	-	ОТ	G	Н
Flooring	Later carpet over concrete floor / sandstone foundations.	LTC	Р	N

Item	Description	Date	Condition	Significance Ranking
Walls	Rendered and painted sandstone.	ОТ	G	H/E
Ceiling	Dropped later plasterboard ceiling for service installation.	LTC	G	N
Window W3	Pair of timber framed, four pane casement windows. Original window furniture intact. Internal face is painted blue.	OT	G	H
Space 1.7 (original vault)				
Overall significance of the space and its form	Original basement vault directly linked with the original function of the building including form of the walls and arched ceiling	ОТ	F	E
Flooring	Later carpet over concrete floor / sandstone foundations.	LTC (carpet)	Р	1
		OT (subfloor)	?	E
Walls / ceiling	Continuous arched sandstone ceiling / wall. Painted sandstone.	ОТ	G	E (both fabric and form)
Door D9	Later timber swing door. Not functional as other side is plaster boarded. Both original iron doors to the vault are missing.	LTC	G	N
Space 1.8				
Overall significance of the space and its form	-	LTD	G	I
Flooring	Concrete throughout	LTC	G	N
Walls	Rendered and painted sandstone or concrete block walls.	OT (where sandstone) / LTC (concrete)	G	H/E (original sandstone walls) / N (concrete)
Ceiling	Concrete render lined ceiling to fire proof stair well space	LTC	G	N
Door D2	Double timber door for fire exit	LTC	G	N
Door D4	Modern fire proof door	LTC	G	N

Item	Description	Date	Condition	Significance Ranking
Door D10	Modern fire proof door	LTC	G	N
Window W8	Former window. Window fixture removed. Cavity remaining.	OT (removed LTC)	Missing but sandstone still intact and G	M (relates to sandstone sill)
Staircase	Concrete	LTC	G	N
Spaces 1.9 & 1.10				
Overall significance of the space and its form	-	LTC	G	1
Flooring	Tiles over concrete	LTC	G	N
Walls	Tiled over plasterboard and brick walls	LTC	G	N
Ceiling	Dropped later plasterboard ceiling for service installation.	LTC	G	N
Doors D13, D14 & D15	Modern timber doors.	LTC	G	N
Window W9	Pair of timber framed, four pane casement windows. Original window hardware intact.	ОТ	G	Е
Spaces 1.11 & 1.12 (bathro	oms)			
Overall significance of the space and its form	-	LTC	G	I
Flooring	Tiles over concrete	LTC	G	N
Walls	Tiles or render over plasterboard and brick walls along eastern walls.	LTC	G	N
	Central sandstone wall between S1.11 & S1.12, western sandstone wall, and also nibbed sandstone wall within S1.12.	ОТ	G	Н
Ceiling	Dropped later plasterboard ceiling for service installation.	LTC	G	N
Doors D11 & D11A	Modern timber doors	LTC	G	N
Fixtures	Bathroom stalls, toilets, basins and services	LTC	G	N
Space 1.13				

Item	Description	Date	Condition	Significance Ranking
Overall significance of the space and its form	-	LTC	G	I
Flooring	Tiles over concrete	LTC	G	N
Walls	Southern wall comprises original sandstone, rendered and painted.  Northern wall comprises tiles or render over plasterboard / brick.	OT LTC	G	H N
Ceiling	Dropped later plasterboard ceiling for service installation.	LTC	G	N
Door D12	Modern timber door	LTC	G	N
Window W4	Pair of timber framed, four pane casement windows. Internal face is painted cream.	ОТ	G	Н
Space 1.14				
Overall significance of the space and its form	-	OT modified	G	M
Flooring	Later timber floor boards	LTC/C	G	N
Walls	Rendered and painted sandstone walls. Paint colour is black.	OT C	G	H I (paint)
Ceiling	Dropped later plasterboard ceiling for service installation.	LTC	G	N
Door D3	Timber framed French doors	ОТ	F (modified glass panes)	Е
Window W10	Pair of timber framed, four pane casement windows. Internal face is painted black.	ОТ	G	E
Fireplace 3	Exposed sandstone fireplace surround with painted sandstone mantle and brick hearth	OT LTC (paint)	G	H I (paint)
Space 1.15				
Overall significance of the space and its form	-	OT modified	G	M
Flooring	Later timber floor boards	LTC/C	G	N

Item	Description	Date	Condition	Significance Ranking
Walls	Rendered and painted sandstone walls.  Paint colour is black.	OT C	G	H/E I (paint)
Ceiling	Dropped later plasterboard ceiling for service installation.	LTC	G	N
Window W5	Pair of timber framed, four pane casement windows. Internal face is painted black.	ОТ	G	Н
Window W6	As above.	ОТ	G	Н
Fireplaces 4 & 5	2 x exposed sandstone fireplace surrounds with painted sandstone mantle and brick hearth	OT C	G	H I (paint)
Space 1.16	mante and blick floater			Γ(βαπι)
Overall significance of the space and its form	-	LTC	G	I
Flooring	Later timber floor boards	LTC/C	G	N
Walls	Rendered and painted sandstone walls.  Paint colour is black.	OT C	G	H I (paint)
Cool room	Contemporary fridges and cool-room installed into this space.	С	G	I (cool room) N (fridges)
Ceiling	Dropped later plasterboard ceiling for service installation.	LTC	G	N
Window W11	Pair of timber framed, four pane casement windows. Not visible internally due to cool room.	ОТ	G	Е
Space 1.17				
Overall significance of the space and its form	-	OT modified	G	М
Flooring	Later timber floor boards	LTC/C	G	N
Walls	Rendered and painted sandstone walls.	ОТ	G	H/E
	Paint colour is black.	С		I (paint)

Item	Description	Date	Condition	Significance Ranking
Ceiling	Dropped later plasterboard ceiling for service installation.	LTC	G	N
Window W7	Pair of timber framed, four pane casement windows. Internal face is painted black.	ОТ	G	Н
GROUND FLOOR				
Space 2.2 Ground floor of	fice			
Overall significance of the space and its form	-	OT modified	G	М
Flooring	Timber floorboards (presumed) with later carpet over	OT (floorboards) C (carpet)	U G	H/E N
Walls	Eastern & southern walls are painted and rendered stone.  Northern wall comprises;  • part painted rendered stone,  • part plaster board partitioning over an arch created c.1899, and  • part brick being infill of original former window opening in c.1899.  Western wall comprises plasterboard wall.	OT (original)  NC/ETC/LTC (other)	G	H N
Ceilings	Modified dropped plasterboard ceiling for provision of services. No cornice detail. Painted	LTC	G	N
Window W13	Cedar framed, double hung sash window of Georgian proportions, with 6 panes of glazing in each sash. Original window hardware including lock and lift hooks.  Interior of exposed polished timber and exterior painted cream.		G	Е
Fireplace 6	Fireplace with tiled reveal and tiled and brick hearth. Ornate timber surround (c. 1910)	ETC	G (edge tile missing)	Н

Item	Description	Date	Condition	Significance Ranking
Space 2.3 Bathroom and h	allway			
Overall significance of the space and its form	-	LTC	G	1
Walls	Plasterboard and brick to east, southern and western walls.	LTC	G	N
Flooring	Tiles	LTC	G	N
Door D20	Door to hallway/bathroom. Timber door in timber panelled reveal. Later reproduction reveal & door, after wall inserted (post 1982).	LTC	G	N
Door D204	Door to bathroom – cavity timber door with modern door hardware	LTC	F	N
Space 2.4 (fire stair well)				
Overall significance of the space and its form	-	LTC	G	I
Flooring	Concrete throughout	LTC	G	N
Walls	Rendered and painted sandstone or concrete block walls.	OT (where sandstone) / LTC (concrete)	G	H (original sandstone walls) / L (concrete)
Ceiling	Concrete render lined ceiling to fire proof stair well space	LTC	G	N
Door D21	Modern fire escape door.	LTC	G	N
Door D22	Modern fire escape door.	LTC	G	N
Door D23	Modern fire escape door.	LTC	G	N
Window W30	Reproduction fixed multi pane, timber framed window to match adjoining c.1899 sash window. Painted externally. Internal face obscured by new fire stairwell.	LTC?	G	N
Window W31	Original timber framed sash window with 6 panes of glass per sash. Fixed shut as a result of adjoining modern stairwell. No window hardware visible.	NC (c.1899)	G	Н
Space 2.5 (ground floor sta	air hall and entry lobby)			

Item	Description	Date	Condition	Significance Ranking
Overall significance of the space and its form	-	ОТ	G	Н
Flooring	Timber floorboards	ОТ	G	Н
Walls	Painted and rendered stone	ОТ	G	H/E
Skirting	Part original timber skirting with areas of later patching and splicing	OT MTC/LTC/C	G	H L
Ceilings	Plasterboard (potentially pressed metal ceiling above)	LTC OT (if pressed metal present)	G U	N H (if present)
Door D17	Double timber doors to Macquarie Street	ОТ	G	E
Door D17A	Curved timber panel screen / airlock with double swing timber and glazed doors.	Not original to the space, potentially from original Bridge Street entrance	G	М
Door D18	Timber panel door case and reveal.  Later timber door with glazed insert and modern door hardware.	OT (door case) C (door)	G Crack in timber reveal panel	H (door case) N (door)
Door D19	Timber panel door case and reveal.	ОТ	G	Н
Window W18	Narrow single hung sash window with two glazed panels per sash. Internal steel security bars installed. Original window hardware.	ОТ	G	Е
Window W19	As above.	ОТ	G	E
Staircase	Central imperial staircase run to mid floor landing and two reverse runs to first floor landing. Volute balustrade, square balusters, open stringer. Potentially altered early twentieth century.	OT/ETC	G	E
Light fittings	Victorian brass and pink glass orb pendant light fitting with gold star detailing.	ОТ	G	Е
Spaces 2.6 & 2.7				

Item	Description	Date	Condition	Significance Ranking
Overall significance of the space and its form	-	OT modified	G	М
Flooring	Floorboards	ОТ	G	Н
Walls	Combination of rendered stone (original configuration and plaster board (modified over time)	OT LTC	G	H N
Skirting	Part original timber skirting with areas of later patching and splicing	OT MTC/LTC/C	G	H L
Ceiling	Plasterboard ceiling.	LTC	G	N
D26	Modern timber door.	LTC	F	N
D26A	Modern timber door.	LTC	F	N
N/A	Timber and glass cabinetry.	LTC	F	N
Space 2.8				
Overall significance of the space and its form	-	ОТ	G	Н
Flooring	Timber floorboards (presumed) with later carpet over	OT (floorboards) C (carpet)	U G	H N
Walls	Northern, eastern and southern walls in original configuration and comprise painted & rendered stone.  Western wall rebuilt to original configuration post 1982 after a large opening constructed.	OT LTC	G	H/E
Skirting	Part original timber skirting with areas of later patching and splicing	OT MTC/LTC/C	G	H L
Ceilings	Modified dropped plasterboard ceiling c. late twentieth century for provision of services. No cornice detail. Painted.	LTC	G	N
Door D24	Double swing timber screen doors within timber panelled reveal and architrave.	OT (door case / reveal) LTC (doors)	G	H N

Item	Description	Date	Condition	Significance Ranking
Window W20	Cedar framed, double hung sash window of Georgian proportions, with 6 panes of glazing in each sash. Original window hardware including lock and lift hooks. Interior of exposed polished timber and exterior painted cream.	ОТ	F (some weathering resulting from trapped heat – soundproof pane)	E
	Internal Perspex soundproof panel installed.	С	G	I
Window W21	As above	OT	F (some weathering resulting from trapped heat – soundproof pane)	E
		С	G	I
Window W22	As above	OT	F (broken pane top sash, and some weathering resulting from trapped heat – soundproof pane)	E
Fireplace 7	Later reproduction Victorian fireplace with cast iron insert, faux (painted) marble surround, timber mantle and tiled hearth.	LTC	G	N
Lighting	Reproduction fixed three prong brass and frosted glass chandelier light fitting	LTC	G	N
Space 2.9				
Overall significance of the space and its form	-	OT	G	Н
Flooring	Timber floorboards (presumed) with later carpet over	OT (floorboards) C (carpet)	U G	H N

Item	Description	Date	Condition	Significance Ranking
Walls	Northern, western and southern walls in original configuration and comprise rendered stone with paint & wallpaper. Eastern wall re-built to original configuration post 1982 after a large opening constructed.	OT LTC	G	H/E
	Wallpaper finishes	LTC	G	N
Skirting	Part original timber skirting with areas of later patching and splicing	OT MTC/LTC/C	G	H L
Ceilings	Modified dropped plasterboard ceiling c. late twentieth century for provision of services. No cornice detail. Painted.	LTC	G	N
Window W23	Cedar framed, double hung sash window of Georgian proportions, with 6 panes of glazing in each sash. Original window hardware including lock and lift hooks. Interior of exposed polished timber and exterior painted cream.	ОТ	F (some weathering resulting from trapped heat – soundproof pane)	E
	Internal Perspex soundproof panel installed.	С	G	I
Window W24	As above	ОТ	F (some weathering resulting from trapped heat – soundproof pane)	E
		С	G	1
Door D25	Reproduction timber reveal and door (post c.1982) but in probable original door location.	LTC	F (cracked reveal)	N
Door D28	Original door case with panelled reveal and architrave. Later timber and glazed door.	OT (reveal / door case) LTC (door)	G	H N
Door D30	Early addition panelled reveal and surround c.1853. Later timber and glazed door.	NC (reveal / door case) C (door)	G	Н
Door D32	Early addition door case with panelled reveal and timber architrave (c.1864).	NC	G	Н

Item	Description	Date	Condition	Significance Ranking
Fireplace 8	Later reproduction Victorian fireplace with cast iron insert, timber surround, timber mantle and tiled hearth (post c.1982).	LTC	G	N
Lighting	Reproduction fixed three prong brass and frosted glass chandelier light fitting.	LTC	G	N
Space 2.10				
Overall significance of the space and its form	-	OT (modified – former stair)	G	Н
Flooring	Part original timber floor boards (presumed) with later carpet over. Part infill floor (timber?) with later carpet over, in place of former staircase.	OT (floor boards) MTC (?)	G	H N
Walls	North and southern walls of rendered and painted stone. Eastern splay wall of later plasterboard (post 1982). Western wall of plasterboard (post 1982) over former door, architrave remaining.	OT LTC LTC (wall) ETC (architrave)	G	H N I H
Skirting	Part original timber skirting with areas of later patching and splicing	OT MTC/LTC/C	G	H L
Ceiling	Dropped plasterboard ceiling with modern light fixture.	LTC	G	N
Space 2.11				
Overall significance of the space and its form	-	ОТ	G	Н
Flooring	Timber floorboards (presumed) with later carpet over	OT (floorboards) C (carpet)	U G	H N
Walls	Painted and rendered stone.	ОТ	G	Н
Skirting	Part original timber skirting with areas of later patching and splicing	OT MTC/LTC/C	G	H L
Ceilings	Modified dropped plasterboard ceiling c. late twentieth century for provision of services. No cornice detail. Painted.	LTC	G	N

Item	Description	Date	Condition	Significance Ranking	
Door D27	Timber panelled door case with timber door and architrave. Modern door hardware.	OT LTC (hardware)	G	H N	
Door D29	Early addition door case with panelled reveal and architrave (c.1853).	NC	G	Н	
Door D31	Early addition door case with panelled reveal and timber architrave (c.1864). Blocked up in 1982. Re-opened as part of restoration.	NC	G	Н	
Door D37	Double French doors with large glazing panel and modern door hardware, constructed in location of former window. Original top sash of former window now forms a fan light.	OT (top sash window) LTC (French doors)	G	H N	
Window W29	Cedar framed, double hung sash window of Georgian proportions, with 6 panes of glazing in each sash. Original window hardware including lock and lift hooks.  Interior of exposed polished timber and exterior painted cream.	ОТ	G	E	
Fireplace	Later reproduction Victorian fireplace with cast iron insert, painted timber surround, timber mantle (post c.1982). Original painted stone hearth remains.	LTC OT (hearth)	G	N M	
Light fitting	Reproduction five prong brass and frosted glass chandelier light fitting, and multiple down lights in ceiling.	LTC	G	N	
Space 2.13 The Bridge Room					
Overall significance of the space and its form	-	ОТ	G	Н	
Flooring	Timber floorboards (presumed) with later carpet over	OT (floorboards) C (carpet)	U G	H N	

Item	Description	Date	Condition	Significance Ranking
Walls	Northern, eastern and southern walls are rendered painted stone.  Western wall is	ОТ	G	H/E
	<ul> <li>part original rendered painted stone, and</li> </ul>	ОТ		Н
	<ul> <li>part later brick infill (removal of original wall &amp; 2 fireplaces occurred c.1916).</li> </ul>	LTC (after 1982)		L
Skirting	Part original timber skirting with areas of later patching and splicing	OT MTC/LTC/C	G	H L
Ceiling	Restored/ reproduction ceiling (after 1982) in the form of the original ceiling. Painted and stencilled. Services installed into new ceiling including sprinklers and down lights.	OT/LTC	G	M
Door D33	Pair of green baize swing doors with porthole detail and timber architrave. Possibly re-located in c.1864 from S2.5 behind staircase.	Possibly OT (but not original location)	G (Fixed closed)	M
Door D34	Double timber doors in panelled timber reveal and timber architraves.  Reproduction when wall re-built after 1982.	LTC	G	N
Window W25	Cedar framed, double hung sash window of Georgian proportions, with 6 panes of glazing in each sash. Original window hardware including lock and lift hooks. Interior of exposed polished timber and exterior painted cream.	OT	F (some weathering resulting from trapped heat – soundproof pane)	E
	Internal Perspex soundproof panel installed.	С	G	I
Window W26	As above	OT	F (some weathering resulting from trapped heat – soundproof pane)	E
		С	G	I

Item	Description	Date	Condition	Significance Ranking
Window W27	Cedar framed, double hung sash window of Georgian proportions, with 6 panes of glazing in each sash. Original window hardware including lock and lift hooks.  Interior of exposed polished timber and exterior painted cream.	ОТ	G	E
Window W28	As above	ОТ	G	E
Fireplaces 10 & 11	Two fireplaces against eastern wall. By 1982 they had no surround. Reproduction/ re-used Victorian fireplace with cast iron insert, black marble (possibly re-located from elsewhere in building) surround and mantle. Original painted stone hearth remains.	LTC (but possibly original fabric from elsewhere)	G	M
Light fittings	Reproduction five-prong fixed cast black metal chandelier with five frosted glass orb light fittings.	LTC	G	N
Space 2.14				
Overall significance of the space and its form	-	OT highly modified	G	L
Flooring	Timber floorboards (presumed) with later carpet over	OT (floorboards) C (carpet)	U G	H N
Walls	Combination of original rendered & painted stone, brick and plaster board following upgrade of fire stairs after 1982 and infill of opening.	Part OT, Part LTC (after 1982)	G	H (sandstone) N (other)
Skirting	Part original timber skirting with areas of later patching and splicing	OT MTC/LTC/C	G	H L
Ceiling	Dropped, sloping ceiling in plasterboard below concrete ceiling, as a result of fire stair well above.	LTC	G	N
Door D34A	Double timber doors in panelled timber reveal and timber architraves.  Reproduction when wall re-built after 1982.	LTC	G	N

Item	Description	Date	Condition	Significance Ranking
Door D35	French doors in original door case and reveal.	ОТ	G	Е
Space 2.15				
Overall significance of the space and its form	-	OT modified	G	L
Door D36	Later door to Bridge Street from new (post 1982) concrete fire stairwell.  Double timber doors with fan light above.  Contemporary door hardware for fire regulation.	LTC	G	L N
FIRST FLOOR				
Space 3.1 (former Treasure	er's Room)			
Overall significance of the space and its form	Original Treasurer's Room – despite modifications this room is important as the principal office of the OT building	OT (modified)	G	Н
Flooring	Original floorboards with later carpet covering.	OT (floor boards) C (carpet)	G	H N
Walls	Eastern wall is in original configuration and comprises rendered and painted stone.  Northern wall comprises rendered and painted stone, except for two indents where the former original windows were located prior to the c.1898-1899 extension. Also brick infill to eastern side of northern wall filling in former (later) doorway).  Southern wall generally rendered and painted stone, apart from brick infill to the western end of southern wall, infill to a former (later) doorway.	OT (central original wall portion) / NC (window brick infill and doorway infill) OT (original portion) / LTC (infill)	G	H/E  H  N
Skirting	Part original timber skirting with areas of later patching and splicing	OT MTC/LTC/C	G	H L

Item	Description	Date	Condition	Significance Ranking
Ceiling	Modified dropped plasterboard ceiling c. late twentieth century for provision of services. No cornice detail. Painted	LTC	G	N
Door D39	Original panelled timber door case / reveal with timber door (modern door hardware)	OT (door / reveal) C (hardware)	G	H N
Door D42	Later timber door and simple architrave in later wall.	LTC	G	N
Window W33	Cedar framed, double hung sash window of Georgian proportions, with 6 panes of glazing in each sash. Original window hardware including lock and lift hooks.  Interior of exposed polished timber and exterior painted cream.	OT	G	E
Fireplace 12	Later reproduction Victorian fireplace with cast iron insert, painted timber surround, timber mantle (post c.1982). Original painted stone hearth remains.	LTC	G	N
Space 3.2 (bathroom and h	nallway)			
Overall significance of the space and its form	Former stair linked to the Premier's room following Link Building construction. Originally formed part of the Treasurer's Room.	NC space formed /LTC rooms formed	G	L
Walls	Plasterboard and brick	LTC	G	N
Flooring	Tiles	LTC	M	N
Additional door	Door to bathroom – cavity timber door with modern door hardware	LTC	М	N
Space 3.3 (concrete fire sta	airwell)			
Overall significance of the space and its form	-	LTC	G	I

Item	Description	Date	Condition	Significance Ranking
Walls	Western wall rebuilt in external face brick c.1899 Northern wall original stone Eastern & southern walls brick / concrete block	NC OT LTC	G	H H N
Door D43	Modern fire escape door.	LTC	G	N
Door D44	Modern fire escape door.	LTC	G	N
Door D55	Modern fire escape door.	LTC	G	N
Window W47	Original timber framed sash window with 6 panes of glass per sash. Fixed shut as a result of adjoining modern stairwell. No window hardware visible.	NC (c.1899)	G	E
Window W48	Reproduction fixed multi pane, timber framed window to (generally) match adjoining c.1899 sash window. Painted externally. Internal face obscured by new fire stairwell.	LTC	G	N
Space 3.4 (first floor landing	ng for stair hall)			
Overall significance of the space and its form	Restored in the LTC to original format	ОТ	G	Н
Flooring	Floorboards with later carpet over.	OT (floorboards) C (carpet)	G	H/E N
Walls	Original rendered and painted stone.	ОТ	G	Н
Skirting	Part original timber skirting with areas of later patching and splicing	OT MTC/LTC/C	G	H L
Ceiling	Later dropped plasterboard ceiling.  Possible pressed metal ceiling above (extant in 1982).	LTC OT (if present)	G U	N (H if pressed metal present)
Staircase	Modified imperial staircase. Originally with two first floor runs (as is), but northern run removed in early twentieth century, to make extended landing and door to S3.1 (now gone). Northern first floor stair run reconstructed post 1982 as part of restoration works.	OT (configuration) ETC (possibly balustrade) LTC (recons. northern stair run)	G	E H M
Door D41	Open timber framed doorway.	LTC?	G	M

Item	Description	Date	Condition	Significance Ranking
Window W34	Cedar framed, double hung sash window of Georgian proportions, with 6 panes of glazing in each sash. Original window hardware including lock and lift hooks.  Interior of exposed polished timber and exterior painted cream.		G	Е
Light Fitting	Victorian brass and pink glass orb pendent light fitting with gold star detailing	ОТ	G	Е
Space 3.5				
Overall significance of the space and its form	-	ОТ	G	Н
Flooring	Floorboards with later carpet over.	OT (floorboards) C (carpet)	G	H/E N
Walls	Original rendered stone walls and originally possible brick western wall. Interior decoration includes painted wallpaper along the lower 1.5 metres of walls edged with timber rail. Damaged skirting to south eastern wall.	OT (wall fabric)  LTC (wallpaper / paint)	G (overall)  P (skirting damage)	N (earlier layers not assessed)
Skirting	Part original timber skirting with areas of later patching and splicing	OT MTC/LTC/C	G	H L
Ceiling	Modified dropped plasterboard ceiling c. late twentieth century for provision of services. No cornice detail. Painted.	LTC	G	N
Door D40	Original panelled timber door case / reveal with timber door (modern door hardware)	OT (door / reveal) C (hardware)	G	H
Door D47	Original panelled timber door case / reveal with timber door	ОТ	G (fixed closed)	Н
Door D48	Original panelled timber door case / reveal with timber door	ОТ	G	Н

Item	Description	Date	Condition	Significance Ranking
Window W35	Cedar framed, double hung sash window of Georgian proportions, with 6 panes of glazing in each sash. Original window hardware including lock and lift hooks. Interior of exposed polished timber and exterior painted cream.	ОТ	F (some weathering resulting from trapped heat – soundproof pane)	E
	Internal Perspex soundproof panel installed.	С	G	I
Window W36	As above	OT	F (some weathering resulting from trapped heat – soundproof pane)	E
		С	G	I
Window W37	As above	ОТ	F (some weathering resulting from trapped heat – soundproof pane)	E
Fireplace 13	Later reproduction fireplace with cast iron insert, painted timber surround, timber mantle (post c.1982). Original painted stone hearth remains.	LTC	G	N
Spaces 3.6 & 3.7				
Overall significance of the space and its form	-	OT modified	G	М
Flooring	Floorboards with later carpet over.	OT (floorboards) C (carpet)	G	H N
Walle	Contain and north are uselled formal		0	
Walls	Eastern and northern walls of rendered and painted brick.  Remaining walls are later plasterboard.	, ,	G	H N
Skirting	Part original timber skirting with areas of later patching and splicing	OT MTC/LTC/C	G	H L

Item	Description	Date	Condition	Significance Ranking
Door D44	Original panelled timber door case and reveal with architrave. Later fireproof door.	OT (door case / reveal) LTC (door)	G	H L
Door D45	Reproduction door and door case / reveal and architrave. Located in later plasterboard wall (post 1982).	LTC	G	N
Door D46	Later door and door jamb / architrave. Possible re-use of architrave. Store cupboard.	LTC	G	N
Space 3.8				
Overall significance of the space and its form	-	OT highly modified LTC	G	М
Flooring	Floorboards with later carpet over.	OT (floorboards) C (carpet)	G	H N
Walls	Northern and southern walls original rendered and painted stone. Western wall later plasterboard. Eastern wall combination plasterboard and brick.	OT LTC LTC	G	H/E N N
Skirting	Part original timber skirting with areas of later patching and splicing	OT MTC/LTC/C	G	H L
Ceiling	Modified dropped plasterboard ceiling c. late twentieth century for provision of services. No cornice detail. Painted.	LTC	G	N
Window W38	Cedar framed, double hung sash window of Georgian proportions, with 6 panes of glazing in each sash. Original window hardware including lock and lift hooks.  Interior of exposed polished timber and exterior painted cream.	ОТ	G	E
Window W39	As above.	ОТ	G	Е
Window W46	As above.	ОТ	G	E

Item	Description	Date	Condition	Significance Ranking
Door D54	Double French doors with large glazing panel and modern door hardware, constructed in location of former window. Original top sash of former window now forms a fan light.	OT (top sash window) LTC (French doors)	G	H N
Light fittings	Reproduction five-prong fixed brass chandelier with five frosted glass orb light fittings (southern light) Faux Victorian three prong metal chandelier light fitting with three frosted glass orb light fittings (northern light).	LTC	G	N N
Space 3.9				
Overall significance of the space and its form	-	OT highly modified LTC	G	M
Flooring	Raised particle board flooring with modern carpet over. Raised floor hides services for the Bridge Room below. Unclear if original floorboards are retained underneath.	LTC	G	N
Walls	Northern and southern walls original rendered and painted stone.  Eastern wall is plasterboard.  Western wall is later brick / concrete block and part plasterboard (as a result of new fire stair).	OT LTC LTC	G	H/E N N
Skirting	Part original timber skirting with areas of later patching and splicing	OT MTC/LTC/C	G	H L
Ceiling	Modified dropped plasterboard ceiling c. late twentieth century for provision of services. No cornice detail. Painted	LTC	G	N

Item	Description	Date	Condition	Significance Ranking
Window W40	Cedar framed, double hung sash window of Georgian proportions, with 6 panes of glazing in each sash. Original window hardware including lock and lift hooks. Interior of exposed polished timber and exterior painted cream.		F (some weathering resulting from trapped heat – soundproof pane)	E
	Internal Perspex soundproof panel installed.	С	G	I
Window W41	As above	ОТ	F (some weathering resulting from trapped heat – soundproof pane)	E
		С	G	1
Window W44	Cedar framed, double hung sash window of Georgian proportions, with 6 panes of glazing in each sash. Original window hardware including lock and lift hooks.  Interior of exposed polished timber and exterior painted cream.		G	E
Window W45	As above.	ОТ	G	E
Door D49	New timber double door and timber reveal / architrave.	LTC	G	N
Door D50	As above.	LTC	G	N
Door D51	New timber door and timber reveal / architrave.	LTC	G	N
Door D52	As above.	LTC	G	N
Light fitting	Reproduction four-prong fixed brass chandelier with four frosted glass orb light fittings	LTC	G	N
	Four reproduction pendant orb light fittings and down lights.	LTC		N
Space3.10				
Overall significance of the space and its form	-	LTC	G	I
Flooring	Concrete	LTC	G	L

Item	Description	Date	Condition	Significance Ranking
Walls	Southern and western walls are original rendered and painted stone.  Eastern wall is a later plaster board	OT LTC	G	H/E N
	wall.  Northern wall is later brick / concrete block.	LTC		N
Window W42	Cedar framed, double hung sash window of Georgian proportions, with 6 panes of glazing in each sash. Original window hardware including lock and lift hooks.  Interior of exposed polished timber and exterior painted cream.	ОТ	G	E
Space 3.11				
Overall significance of the space and its form	-	LTC	G	1
Floorings	Concrete	LTC	G	N
Walls	Southern, western and northern walls comprise rendered original stone.  Eastern walls comprise concrete / concrete block	OT LTC	G	H N
Ceiling	Render / concrete	LTC	G	N
Door D53	Modern double fireproof door.	LTC	G	N
Window W43	Cedar framed, double hung sash window of Georgian proportions, with 6 panes of glazing in each sash. No window hardware visible. Reproduction window constructed 1980s to match existing, replacing a later (c.1940s?) door and window.	LTC	G (non- functional, blocked up internally due to fire stair)	L
Stairs	Concrete	LTC	G	N

## B.3 STRONG ROOM BUILDING

The following tables outline the significant elements of the Strong Room Building's exterior and interior.

Table 31 – Gradings of Significant Elements: Strong Room Building Exteriors

Item	Description	Date	Condition	Significance Ranking	
GENERAL					
Overall form	Principal general form including the principal facades and roofscape	OS	G	Е	
	Later rooftop addition overall form and roofscape	ETC	F	M	
Roofing	Concrete roof with suspended concrete tiles.	OS (concrete) LTC (tiles)	G	H N	
Rooftop structure (plant)	Constructed in c.1914. This was constructed of timber clad in ripple iron and had external venetian blinds. Formerly offices, now plant.	ETC (modified to plant room LTC)	G	M	
Guttering	Copper downpipes and guttering.	ETC ?	G	N	
MACQUARIE STREET FAÇ	ADE				
Façade	Sandstone façade with one breakfront (projecting bay).  Basement level (street level given topography of site) façade comprises exposed rock-faced ashlar sandstone. Heavy sandstone cornice above.  Ground floor façade (above street level) comprises exposed sandstone in smooth-faced ashlar profile, with vermiculated sandstone quoins. Heavy sandstone cornice above.  First floor façade comprises exposed sandstone in smooth-faced ashlar profile, with vermiculated sandstone quoins. Surmounted by a decorative carved sandstone frieze, cornice and parapet.	OS	G (restored during hotel conversion works but evidence of delamination on ground and first floors)	E	
Windows	Eight 12-pane timber framed double hung sash windows on ground and first floor levels.  2 steel framed multi-paned arched windows on basement level.	Refer Table 32 for individual window detail			

Item	Description	Date	Condition	Significance Ranking
Door	One steel framed multi-paned door with arched fanlight and sidelight on basement level.	Refer Table 32 for individual door detail		
Services	Including later surface mounted services and signage, including air conditioning units and aerials.	LTC	F	I
NORTHERN FAÇADE				
Façade	Sandstone façade.  Basement level (street level given topography of site) façade comprises exposed rock-faced ashlar sandstone. Heavy sandstone cornice above.  Ground floor façade (above street level) comprises exposed sandstone in smooth-faced ashlar profile, with vermiculated sandstone quoins. Heavy sandstone cornice above.  First floor façade comprises exposed sandstone in smooth-faced ashlar profile, with vermiculated sandstone quoins. Surmounted by a decorative carved sandstone frieze, cornice and parapet.	OS	G (restored during hotel conversion works but evidence of delamination on ground and first floors)	E
Windows	Eight 12-pane timber framed double hung sash windows on ground and first floor levels.  One steel-framed multi-paned arched window on basement level.	Refer Table 32 for individual window detail		
Doors	One steel-framed multi-paned door with arched fanlight and sidelight on basement level.  Two modern timber fire doors.	Refer Table 32 for individual door detail		
Services	Including later surface mounted services and signage, including air conditioning units and aerials.	LTC	F	I
WESTERN FAÇADE (N/A) SOUTHERN FAÇADE (N/A)				

Table 32 – Gradings of Significant Elements: Strong Room Building Interiors

Item	Description	Date	Condition	Significance Ranking	
BASEMENT FLOOR					
Space 1.29					
Overall significance of the space and its form	-	OS modified	G	L	
Flooring	Part tiles and part new carpet over reinforced concrete slab.	LTC (carpet)	G	N (carpet)	
Walls	Internal face of walls comprises rendered and painted sandstone.	OS	G	H/E	
Ceiling	Contemporary plasterboard ceiling with square indented profile, contemporary light fittings, sprinklers, down lights and air conditioning ducts. Supported on new concrete columns.		G	N	
Window W77	Steel framed, arched window comprising 8 panes of glazing. Bottom of the frame is angled down from the southern end of the window to the northern end of the window, in alignment with the adjacent external staircase outside the sandstone wall. External security iron bars.	OS	G	E	
Window W78	Steel framed, arched window comprising 9 panes of glazing. Straight bottom edge of frame.  External security iron bars.	OS	G	E M	
Space 1.30					
Overall significance of the space and its form	-	LTC	G	I	
Flooring	Tiles over reinforced concrete slab.	LTC (tiles)	G	N (tiles)	
Walls	Internal face of walls comprise rendered and painted sandstone	OS	G	Н	
Ceiling	Contemporary plasterboard ceiling with coffered profile, contemporary light fittings, sprinklers, down lights and air conditioning ducts. Supported on new concrete columns.	LTC	G	N	

Item	Description	Date	Condition	Significance Ranking
Door D87	Automatic sliding glass doors in a glass and aluminium frame.	LTC	G	N
Door D88	Arched steel frame containing pair of steel and glazed doors (inward swinging on steel hinges) with steel framed fanlight and sidelights. External security iron bars with inward swinging barred gate.	OS	G	E
Door D89	As above. Original door to the building, but originally located in a different basement floor opening to the west, along the northern wall. Of the two original basement floor, northern-façade steel doors, one was relocated to this D89 location after 1982 as part of the hotel conversion works. D89 formerly a window matching W79.	OS (but not original location)	G	E
Space 1.31				
Overall significance of the space and its form	-	LTC	G	I
Flooring	Carpet over reinforced concrete slab.	LTC (carpet)	G	N (carpet)
Walls	Western wall comprises rendered and painted sections of the original sandstone wall of the Strong Room building. Three former windows within this part of the wall have been blocked up and rendered.  Other walls comprise combination of concrete and plasterboard.	OS (modified)	G (but modified substantially)	H
Ceiling	Suspended acoustic panel ceiling with down lights and sprinklers.	LTC	G	N
Space 1.32				
Overall significance of the space and its form	-	LTC	G	1
Flooring	Concrete slab.	LTC	G	N

Item	Description	Date	Condition	Significance Ranking
Walls	Northern wall comprises the original northern sandstone wall of the Strong Room building.  Other internal walls forming the	OS LTC	G	H
	stairwells covered in S1.32 comprise concrete block or reinforced concrete.			
Ceiling	Render or concrete.	LTC	G	N
Door D90	Contemporary double timber doors to fire exit. Former steel framed side lights in-filled with concrete.	LTC	G	N
Door D91	Single contemporary fire door within original steel framed surround and sidelights.	OS (frame and sidelights) LTC (fire door)	G	M N
Window W79	Steel framed, arched window comprising 9 panes of glazing. Straight bottom edge of frame. External security iron bars.	OS	G	E
GROUND FLOOR				
Space 2.19				
Overall significance of the space and its form	-	OS modified	G	М
Flooring	Contemporary carpet over combination of reinforced concrete slab and	OS (parquetry)	P/U	Н
	patches of remnant timber parquetry flooring.	LTC (new infill concrete)	G	N
		C (carpet)		N
Walls	Northern and eastern walls comprise rendered and painted original sandstone walls.	OS	G	H/E
	The southern wall comprises two opened arches through to S2.17 and sandstone columns.	NC (Link Building works)	G	Н
	Western wall comprises a rendered and painted brick wall constructed after 1982 as part of the hotel conversion works.	LTC	G	N

Item	Description	Date	Condition	Significance Ranking
Ceiling	Contemporary plasterboard ceiling with coffered profile, contemporary light fittings, sprinklers, down lights and air conditioning ducts. Supported on new concrete columns.	LTC	G	N
Window W80	Timber framed, double hung sash windows with 6 panes per sash. Original brass window hardware evident. Aluminium framed Perspex soundproof pane installed. Formerly the original 'temporary' door for the Strong Room between 1896-1899 when the Link Building was completed. Converted to the existing window at this time.	os C	G (but signs of weathering resulting from Perspex) G	E I
Window W81	Timber framed, double hung sash windows with 6 panes per sash. Original brass window hardware evident. Aluminium framed Perspex soundproof	OS	G (but signs of weathering resulting from Perspex)	E
Window W82	pane installed.  As above.	OS	G (but signs of weathering resulting from Perspex)	E
Window W83	As above.	OS	G (but signs of weathering resulting from Perspex) G	E
Window W84	Timber framed, double hung sash windows with 6 panes per sash. Original brass window hardware evident.	OS	G (but signs of weathering resulting from Perspex)	Е
	Aluminium framed Perspex soundproof pane installed.	LTC	G	I

Item	Description	Date	Condition	Significance Ranking
Window W85	As above	OS	G (but signs of weathering resulting from Perspex)	Е
		LTC	G	1
Window W86	As above	OS	G (but signs of weathering resulting from Perspex)	E
		LTC	G	1
Door D99	Timber framed archway with single	LTC (door)	G	N
	timber door and fan light above.  Formerly sash window c.1896; bottom sash replaced with door, likely as part	OS (top sash steel window)	G	E (top sash)
	of hotel conversion works. Fanlight comprises arched steel framed window with 6 panes above door.	OS/LTC (arched joinery)	G	E (arched joinery)
Door D100	Former steel framed sash window (c.1896) converted to a steel Strong Room entrance door (heavy steel) in c.1899 on completion of Link Building. Currently not functional, bricked up internally.	NC (Link Building works)	G (but not functional)	E
Space 2.20				
Overall significance of the space and its form	-	LTC	G	I
Flooring	Linoleum tiling over concrete.	LTC (linoleum)	F	N (linoleum)
Walls	Western and southern walls are the original external western and southern walls of the Strong Room and are rendered and painted stone.	os	G	Н
	Northern and eastern walls are rendered and painted brick walls constructed after 1982 as part of the hotel conversion works.	LTC	G	N
Ceiling	Plasterboard ceiling. Later.	LTC	G	N

Item	Description	Date	Condition	Significance Ranking
Window W129	Steel framed, arched single sash window with 6 panes per sash. Glazing has black film over obscuring glass. No window hardware visible. Internally bricked up so not visible from within S2.20. Externally shows evidence of prior bricking up (indented sandstone sill).	OS	G (not functional)	Е
Window W130	As above.	OS	G (not functional)	Е
Doors D95 & D96	Two later timber swing doors for service area with timber architrave.	LTC	F	N
Doors D101 & D102	Two later timber swing doors for service area.	LTC	F	N
Space 2.21				
Overall significance of the space and its form	-	LTC	G	I
Flooring	Remnant timber parquetry flooring. Patches of contemporary concrete infill.	OS (parquetry) LTC (new infill concrete)	P G	H N
Walls	Northern and western walls are part of the original sandstone walls of the Strong Room, currently rendered and painted.  Southern and western walls are rendered and painted brick walls constructed after 1982 as part of the hotel conversion works.	OS	G G	H N
Ceiling	Plasterboard ceiling. Later.	LTC	G	N
Door D93	Later timber door with timber architrave.	LTC	F	N
Door D94	Double fire proof door.	LTC	G	N
Window W87	Timber framed, double hung sash windows with 6 panes per sash. Original brass window hardware evident.	OS	G	Е
FIRST FLOOR				

Item	Description	Date	Condition	Significance Ranking		
Space 3.17	Space 3.17					
Overall significance of the space and its form	-	OS modified	G	Н		
Flooring	Contemporary carpet over combination of reinforced concrete slab and patches of remnant timber parquetry flooring.	OS (parquetry) LTC (new infill concrete)	P/U G	H N		
Walls	Rendered and painted original sandstone and brick walls.	OS	G	H/E		
Ceiling	Contemporary plasterboard ceiling with coffered profile, contemporary light fittings, sprinklers, down lights and air conditioning ducts. Supported on new concrete columns.	LTC	G	N		
Door D71	Three panelled bi-fold timber doors installed into the centre of the archway with timber architrave. Part of 1980s hotel conversion works.	LTC	G	N		
Door D72	As above.	LTC	G	N		
Door D103	Timber framed archway with single timber door and fan light above. Formerly sash window c.1896; bottom sash replaced with door, likely as part of hotel conversion works. Fanlight comprises arched steel framed window with 6 panes above door.	CS (top sash steel window)  OS/LTC (arched joinery)	G G	N E (top sash) E (arched joinery)		
Door D104	As above	LTC (door) OS (top sash steel window) OS/LTC (arched joinery)	G G	N E (top sash) E (arched joinery)		
Door D105	Later timber door with timber architrave. Located within former original window opening. Conversion as part of 1980s hotel works.	LTC	F	N		
Door D106	As above.	LTC	F	N		
Door D107	As above.	LTC	F	N		

Item	Description	Date	Condition	Significance Ranking
Window W89	Timber framed, double hung sash windows with 6 panes per sash. Original brass window hardware evident.	os	G	Е
Window W90	As above.	os	G	Е
Window W91	As above.	OS	G	Е
Window W92	As above.	os	G	Е
Window W93	As above.	OS	G (some damage to apron)	Е
Window W94	As above.	OS	G	Е
Window W95	As above.	OS	G	Е
Window W96	As above.	OS	G	Е
Window W97	Timber framed, double hung sash windows with 6 panes per sash. Original brass window hardware evident. No longer external facing window. Bricked up from interior of adjoining cloak room.	OS	G (not functional)	E
Window W98	Steel framed, arched single sash window with 6 panes per sash. Externally shows evidence of prior bricking up (indented sandstone sill).	os	G	Е
Window W99	As above.	os	G	Н

## B.4 **LINK BUILDING**

The following tables outline the significant elements of the Link Building's exterior and interior.

Table 33 – Gradings of Significant Elements: Link Building Exteriors

Item	Description	Date	Condition	Significance Ranking		
GENERAL						
Overall form	General form	OL	G	Е		
Roofing	Folded copper alloy roof sheets with copper vent. Chimney breasts remaining but unadorned.	OL	G (evidence of patching and restoration)	Н		
	Corrugated sheet roofing	С	G	N		
Guttering	Copper downpipes and guttering.	ETC?	G	N		
	Contemporary guttering and flashing	С	G	N		
MACQUARIE STREET FAÇ	ADE					
Façade	Sandstone façade.  Basement level (street level given topography of site) façade comprises exposed rock-faced sandstone with arched window and door openings with heavy sandstone voussoirs. Heavy sandstone cornice above.  Ground floor façade (above street level) comprises exposed sandstone in smooth-faced ashlar profile, with vermiculated sandstone quoins. Heavy sandstone cornice above.  First floor façade comprises exposed sandstone in smooth-faced ashlar profile, with vermiculated sandstone quoins. Surmounted by a decorative carved sandstone frieze, cornice and	OL	G (restored during hotel conversion works but evidence of delamination on ground and first floors)	E		

Item	Description	Date	Condition	Significance Ranking
Portico / pediment	Elaborate classical portico and pediment projecting bay in sandstone, comprising:  Basement level (Macquarie Street level) comprises dual sandstone staircase to sandstone framed portico, under which a third staircase leads down centrally to basement level.  Macquarie Street facing façade of the ground floor portico comprises smooth-faced ashlar sandstone with vermiculated quoins, and a sandstone arch to Macquarie Street with recessed soffit detail. Circular carved sandstone motifs flank the arch. The portico is surmounted by a carved sandstone entablature.  First floor balcony of sandstone surmounted by entablature and classical tympanum pediment in sandstone supported on ionic order Gabo granite columns.	OL	G (restored during hotel conversion works but evidence of delamination on ground and first floors)	E
Windows	Eight 12-pane timber framed double hung sash windows on ground and first floor levels.  Two steel framed multi-paned arched windows on basement level.  Two timber framed 8-pane sash windows on basement level.	Refer Table 34 for individual window detail		
Doors	One timber door with multi-pane glazing panels and fanlight on basement level.  One pair of imposing timber panelled doors with timber framed sidelights and elaborate carved pediment on ground floor level.  One pair timber French doors to balcony on first floor level.	Refer Table 34 for individual door detail		
Services	Including later surface mounted services and signage, including air conditioning units and aerials.	LTC	F	1
NORTHERN FAÇADE (N/A)				

Item	Description	Date	Condition	Significance Ranking
WESTERN FAÇADE (INTE	RNAL WALL OF ARCADE)			
Façade	Exposed brick and sandstone.  Basement level comprises exposed brick wall with arched openings for windows and doors. Evidence of patching bricks from later works.  Ground floor and first floor levels comprise exposed brick and sandstone walls with decorative blind arches incorporating a mix of window and door combinations with herringbone brick infill detail above the openings. Large sandstone sills to windows and sandstone imposts.	OL	G	E
Arcade, eastern and southern colonnaded returns	Romanesque arched brick and sandstone arcade adjoining the western façade of the Link Building. Detailing of the arcade varies on each of the three levels as described below, and is surmounted by a sandstone entablature:  The basement level return of the arched arcade comprises rough-faced sandstone clad arches and columns.  The ground level return of the arched arcade comprises a series of brick columns with sandstone entablature and sandstone clad semi-circular arch with recessed sandstone soffit.  Between each arch is located a wall mounted decorative cartouche.  The first level (highest) return of the arched arcade comprises a series of Codussian arches, of which each comprise two brick and sandstone arches, surmounted by a circular sandstone opening, united under a single brick and sandstone arch. The arches are framed by ionic relief sandstone pilasters.		G	E
Floor	Concrete and tiles	LTC (tiles)	G	N

Remnant arch	Remnant arch in south east corner of arcade on basement and ground floors remaining from original arcade configuration from c.1899, changed along the southern return to existing configuration in c.1919.	OL	Remnant but stable	E
Windows	Two timber framed multi-pane windows to basement floor.  10 arched timber framed double hung sash windows to ground floor level.  Nine timber framed double hung sash windows to first floor level.	Refer Table 34 for individual window detail		
Doors	Three later doors within arched frames with sidelight windows on basement floor. Three timber doors to ground floor level. Four timber doors to first floor level.	Refer Table 34 for individual door detail		
SOUTHERN FAÇADE (N/A	)			

Table 34 – Gradings of Significant Elements: Link Building Interiors

Item	Description	Date	Condition	Significance Ranking
BASEMENT FLOOR				
Space 1.20				
Overall significance of the space and its form	-	OL (LTC modifications)	G	L
Flooring	Terrazzo tiling with brass inlay and central brass 'M' inlay. Excavation of original concrete floor was undertaken during 1983.	LTC	G	N
Walls	Southern wall is the former external wall of the Treasury building, currently rendered and painted sandstone.  Eastern wall is original to Link Building	OT OL	G	H/E H
	and currently rendered and painted sandstone.  Northern and western walls are later brick infill walls between arches.	MTC/LTC	G	N
Skirting	Part original timber skirting with areas of later patching and splicing	OL MTC/LTC/C	G	H L
Ceiling	Plasterboard ceiling with modern services incl. sprinkler and down lights.	MTC/LTC	G	N
Window W49	Arched multi pane timber framed window, with three 4-pane casement windows across the bottom, three 4-pane casement windows across the centre and 4-pane fanlight above.	OL	G	E
Window W50	As above.	OL	G	Е
Space 1.21				
Overall significance of the space and its form	-	LTC	G	L
Flooring	Terrazzo tiling with brass inlay and central brass 'M' inlay.	MTC ?	G	N
Walls	Northern, eastern and southern walls are later brick walls, rendered and painted. Later timber skirting and rails installed throughout.	MTC/LTC	G	N
Ceiling	Plasterboard ceiling with modern services incl. sprinkler and down lights.	MTC/LTC	G	N

Item	Description	Date	Condition	Significance Ranking
Door D61	Later 1980s timber framed door with multi-paned fanlight and sidelights. Painted black. Previously bricked up by the 1980s.	LTC	G	N
Door D62	Modern timber door to fire cupboard.	LTC	G	N
Space 1.22				
Overall significance of the space and its form	-	LTC	G	L
Flooring	Tiles over concrete.	C (tiles)	G	N (tiles)
Walls	Southern wall is the former external wall of the Treasury building, currently rendered and painted sandstone.  Northern and eastern walls are later	OT LTC	G G	H N
	brick walls, rendered and painted, with tiles.			
Ceiling	Plasterboard ceiling with modern services incl. sprinkler and down lights.	MTC/LTC	G	N
Door D63	Reproduction (1980s) timber framed door with multi-paned fanlight and sidelights. Painted black. Previously bricked up by the 1980s.	LTC	G	N
Door D64	Modern timber door to bathroom.	LTC	G	N
Space 1.23				
Overall significance of the space and its form	-	LTC	G	L
Flooring	Painted concrete	LTC	G	N
Walls	North and south walls are later brick walls with render and paint. The eastern wall is a later plasterboard wall.	LTC	G	N
Ceiling	Plasterboard ceiling with modern services incl. sprinkler and down lights.	MTC/LTC	G	N
Door D58	Modern timber door.	LTC	G	N

Item	Description	Date	Condition	Significance Ranking
Window W56	Reproduction (1980s) Arched timber framed window with 30 fixed glazing panes. The central glazing pane is in the place of a former door.	LTC	G	N
Space 1.24				
Overall significance of the space and its form	-	LTC	G	L
Flooring	Painted concrete	LTC	G	N
Walls	North and south walls are later brick walls with render and paint.  The western and eastern walls are later plasterboard walls.	LTC	G	N
Ceiling	Plasterboard ceiling with modern services incl. sprinkler and down lights.	MTC/LTC	G	N
Door D59	Modern timber door.	LTC	G	N
Space 1.25				
Overall significance of the space and its form	-	LTC	G	L
Flooring	Painted concrete	LTC	G	N
Walls	The eastern wall is the original eastern external wall of the Link Building. Rendered and painted North and south walls are later brick walls with render and paint. The western wall is a later plasterboard wall.	OL LTC LTC	G	H/E N N
Ceiling	Plasterboard ceiling with modern services incl. sprinkler and down lights.	MTC/LTC	G	N
Door D60	Modern timber door.	LTC	G	N
Space 1.26				
Overall significance of the space and its form	-	OL	G	Н
Flooring	Painted concrete	LTC	G	N
Walls	Southern wall is a later brick wall, rendered and painted. Remaining walls are windows or open nibbed spaces.	LTC	G	N

Item	Description	Date	Condition	Significance Ranking
Ceiling	Plasterboard ceiling with modern services incl. sprinkler and down lights.	MTC/LTC	G	N
Door D57	Unframed glass door on metal hinges with modern hardware, with a reproduction arched opening also comprising 27 fixed glazing panes as side lights.	LTC	G	N N (door)
Window W53	Internal window comprising six large glazing panels within original arched opening in northern wall of Link Building. Bricked up mid twentieth century sometime and re-opened with glazing as part of hotel works.	LTC	G	N
Window W55	Reproduction arched timber framed window with 28 fixed glazing panes.  The central glazing pane is in the place of a former door.	LTC	G	N
Space 1.27				
Overall significance of the space and its form	-	OL	G	Н
Flooring	Painted concrete	LTC	G	N
Walls	Southern wall is a later brick wall, rendered and painted. Remaining walls are windows or open nibbed spaces.	LTC	G	N
Ceiling	Plasterboard ceiling with modern services incl. sprinkler and down lights.	MTC/LTC	G	N
Door D56	Single timber framed, timber door with 12 panes of glass on the upper half, and clear fanlight above.	OL	G	E
Window W51	Timber framed double hung sash wind with four panes per sash, flanking D56.	OL	G	Е
Window W52	As above.	OL	G	E
Window W54	Internal window comprising six large glazing panels within original arched opening in northern wall of Link Building. Bricked up mid twentieth century sometime and re-opened with glazing as part of hotel works.	LTC	G	N

Item	Description	Date	Condition	Significance Ranking
Space 1.28				
Overall significance of the space and its form	-	OL	G	Н
Configuration of the space	Original	OL	G	Н
Walls (façade)	Original	OL	G	Е
Flooring, stair and balustrade	Reconstructed in 1980s as part of conversion works	LTC	G	L
GROUND FLOOR				
Space 2.17				
Overall significance of the space and its form	-	OL	G	н
Flooring	Marble tiled floor with Greek key border. Original vents extant.	OL	G	Н
Walls	Rendered and painted brick walls.  North and south walls comprise two large arched openings each, and the eastern wall includes one arched opening, each with recessed soffit detailing, flanked by rendered pilasters and ionic relief columns. Timber and plastered skirting extant.  The two original arches in the southern wall were in-filled in 1992 with timber	OL	G	H/E N
	screens and doors.			
Skirting	Part original timber skirting with areas of later patching and splicing	OL MTC/LTC/C	G	H L
Ceiling	Later plasterboard ceiling dropped for services.	LTC	G	N
	Decorative egg and dart plaster cornicing, possibly modified as part of new plasterboard installation.	OL	G	Н
Door D65	Double timber doors to Macquarie Street comprising four timber panels each. Doors fold inwards to be flush with airlock joinery.	OL	G	Н

Item	Description	Date	Condition	Significance Ranking
Door D66	Double timber doors on airlock internally to S2.17. Each door has large frosted glazing panel with decorative etched floral motif and signage "Receiver" and "Paymaster" extant. Airlock also includes elaborate carved pediment facing internally to S2.17.	OL	G	Н
Door D67	Later timber door inserted into former arched double hung sash window (by 1931). Top sash of former arched timber framed 6 pane window extant. Later architrave joinery below.	OL?	G	Н
	Door hardware.	С	G	N
Window W60	Southern portion of arched, timber framed sidelight joinery flanking D65.  Also includes projecting timber bench/ window seat joinery internally to S2.17.	OL	G	Е
Window W61	As above but northern portion.	OL	G	E
Window W62	Timber framed arched double hung sash window with 6 panes per sash. Original window hardware extant. Pair to the former adjoining window now D67. Bottom sash panes are fitted with	OL C	G	E
	frosted glass film.			
Window W63	Pair of timber framed arched double hung sash windows with 6 panes per sash. Original window hardware extant.  Bottom sash panes are fitted with	OL C	G	E
	frosted glass film.	O		'
Light fittings	Contemporary brass and frosted glass five prong chandelier light fitting.	LTC	G	N
Space 2.18				
Overall significance of the space and its form	-	OL	G	Н
Flooring	Carpet over concrete.	C (carpet)	G	N

Item	Description	Date	Condition	Significance Ranking
Walls	Northern wall comprises brick with two deep set archways linking to S2.17. The two original arches in the northern wall were in-filled in 1992 with timber screens and doors, and later covered in plasterboard.	OL LTC	G	H/E I
	Southern wall comprises the original northern Original Treasury building sandstone wall. Rendered and painted. Within the southern wall is an early timber screen and doorway, infilling an opening constructed as part of Link	OT		H M
	Building works.  Eastern and western walls comprise brick walls original to Link Building with adjoining columns.	OL		Н
Skirting	Part original timber skirting with areas of later patching and splicing	OL MTC/LTC/C	G	H L
Ceiling	Decorative remodelled coffered ceiling. Dropped plasterboard ceiling for down lights and services. Decorative egg and dart plaster	OL LTC	G G	M N
	cornicing, possibly modified as part of new plasterboard installation.			IVI
Door D68	Later door with two frosted glass panes and contemporary door hardware.  The door also incorporates an arched 6 pane fanlight within a single timber arch, adjoining an arched timber sash window (W64) under a single timber arch, together united under a larger timber framed arch containing a circular porthole window above.	CL (top sash and joinery)	G	N E
Door D69	Forms part of the early timber screen inserted into the c.1899 opening between S2.18 and S2.2.	ETC	G	M
Window W57	Timber framed, double hung sash windows with 6 panes per sash. Original brass window hardware evident.	OL	G (but signs of weathering resulting from Perspex)	E
	Aluminium framed Perspex soundproof pane installed.	LTC	G	I

Item	Description	Date	Condition	Significance Ranking
Window W58	As above	OL	G (but signs of weathering resulting from Perspex)	E
		LTC	G	1
Window W59	As above	OL	G (but signs of weathering resulting from Perspex)	E
		LTC	G	1
Window W64	Timber framed, arched, double hung sash window with 6 panes per sash. Original brass window hardware evident.  The window under a single arch, also adjoins a timber door with arched fanlight (D68) under a single timber arch, together united under a larger timber framed arch containing a circular porthole window above.	OL	G	E
Window W65	Pair of timber framed arched double hung sash windows with 6 panes per sash. Original window hardware extant. Together united under a single timber arch with single circular porthole above.	OL	G	E
Window W66	As above.	OL	G	Е
Light fittings	Contemporary down lights in dropped	LTC	G	N
	ceiling.  Tiered three and five prong brass and frosted glass chandelier light fitting.	LTC		N
FIRST FLOOR				
Space 3.13				
Overall significance of the space and its form	-	OL highly modified	G	M
Flooring	Carpet over concrete.	C (carpet)	G	N

Item	Description	Date	Condition	Significance Ranking
Walls	Eastern wall is the original Link Building sandstone wall internally rendered and painted. Northern, southern and western walls are original Link Building brick walls, internally rendered and painted. Nibs and bulkheads remains which delineate the original configuration of the space (now modified) from its previous use as four rooms.	OL	G	H/E
Skirting	Part original timber skirting with areas of later patching and splicing	OL MTC/LTC/C	G	H L
Ceiling	Contemporary plaster board ceiling with later egg and dart cornicing.	LTC	G	N
Door D70	Double timber French doors with large glazing panels and modern hardware. Six paned timber fanlight above.	OL (door & fanlight) C (hardware)	G	Е
Door D73	Original wall opening, formerly used for a staircase entrance before 1931. Converted to a door ca.1914-1931. Contemporary door with modern hardware.	ETC (door case) LTC (door)	G	M
Door D74	Baize door. Blue baize with brass fixings. No door hardware visible except hinges.  Mahogany stained timber frame.  Decorative carved timber pediment surmounting. Matches the profile and carving of S3.14 doors added probably mid twentieth century.	OL (door) LTC (blue baize, formerly green)	G G	H N
Door D75	As above but hinge and door hardware visible – original.	OL (door/hardware) LTC (blue baize, formerly green)	G G	H N

Item	Description	Date	Condition	Significance Ranking		
Door D76	Baize door. Blue baize with brass fixings. Door hardware visible. Mahogany stained timber frame. No pediment.	OL (door/hardware) LTC (blue baize, formerly green)	G G	H N		
Window W70	Timber framed double hung sash window with six panes per sash.  Original door hardware extant.	OL	G	Е		
Window W71	As above.	OL	G	Е		
Window W72	Timber framed arched double hung sash window with 6 panes per sash. Original hardware evident. Interior polished timber, exterior painted cream. Exterior of frame painted green.	OL	G	Е		
Window W73	Pair of timber framed arched double hung sash windows with 6 panes per sash. Original hardware evident. Interior polished timber, exterior painted cream. Exterior of frame painted green.	OL	G	E		
Staircase	Timber staircase to rooftop office. Changed from original location & configuration probably in MTD.	MTC	G	M		
Space 3.14 (The Premier's	Space 3.14 (The Premier's Room)					
Overall significance of the space and its form	The Premier's Room – space. Highly intact and preserved space. Minor modifications (later doors) and early wallpaper missing. Minor intervention for services into ceiling and walls.	OL	G	Е		
Flooring	Original timber parquetry flooring. Central carpeted area.	OL C	G	E N		

Item	Description	Date	Condition	Significance Ranking
Walls	Eastern wall comprises sandstone with internal render and paint.  Northern and western walls comprise	OL OL	G	E
	brick.  Southern wall is the original northern wall of the Treasury Building, and comprises sandstone / brick, re-built for the Link Building works.	OT/OL		Е
	Internally on all four wall faces is 1.8 metre high timber panelling. Some evidence of wood graining. Section of panelling in southern wall	OL LTC		E M
	shows evidence of patching. By 1931 a third door was constructed in this wall; blocked up after 1982 and re-patched. Above the panelling are timber picture	OL (rails)		Н
	rails.	` ,		
Skirting	Part original timber skirting with areas of later patching and splicing	OL MTC/LTC/C	G	H L
Ceiling	Decorative moulded plaster ceiling.  Ornate indented plaster cornice, surmounting a decorative plaster frieze.	OL	G	Н
Door D79	Later door to match existing. Five panelled timber door with evidence of wood graining. Timber frame and architrave. Frame indicates that it contained two doors instead of one. Decorative carved pediment above door frame to match original. Differences to existing pediment for distinction include less intricate carving in central motif and lack of floral embellishment to carving.	MTC	G	M
Door D80	Original door to the space. Five panelled timber door. Timber frame and architrave. Original door hardware evident.  Decorative carved pediment above door frame. Added between c.1899-1904 after the completion of Link Building.	OL	G	E
Door D81	As above.	OL/ETC	G	E

Item	Description	Date	Condition	Significance Ranking
Door D82	As above.	OL/ETC	G Door and frame show evidence of patching.	E
Door D83	As above.	OL/ETC	G	E
Door D84	Later door to match original. Five panelled timber door with evidence of wood graining. Timber frame and architrave.  Decorative carved pediment above door frame to match existing.  Differences to existing pediment for distinction include less intricate carving in central motif and lack of floral embellishment to carving.	MTC	G	M
Window W67	Timber framed, double hung sash windows with 6 panes per sash. Original brass window hardware evident. Aluminium framed Perspex soundproof	OL	G (but signs of weathering resulting from Perspex)	E
	pane installed.			
Window W68	As above	OL	G (but signs of weathering resulting from Perspex)	E
		LTC	G	I
Window W69	As above	OL	G (but signs of weathering resulting from Perspex)	E
		LTC	G	I
Fireplace	Imposing speckled marble fireplace with marble bunded hearth. Internally tiled with original bevelled blue glazed tiles. Monumental proportion. Marble mantle on marble buttresses.	OL	G	E

Item	Description	Date	Condition	Significance Ranking
Light fittings	Original brass and frosted glass central light fitting. Four original fixed frosted glass orb light fittings. Numerous modern down lights.	OL	G	Н
Space 3.15				
Overall significance of the space and its form	Former hallway	OL highly modified	G	М
Flooring	Timber parquetry (presumed) with later carpet over	OT (timber)	U	Н
		C (carpet)	G	N
Walls	Eastern and western walls original brick walls to the Link Building.	OL	G	Н
	Southern wall is later brick wall added in the late twentieth century to form room.	LTC		N
	Internally, the walls are painted with a timber picture rail.	LTC		N
Skirting	Part original timber skirting with areas of later patching and splicing	OL MTC/LTC/C	G	H L
Ceiling	Modified plasterboard ceiling with down lights and air conditioning vents.  Decorative plaster cornice detail (later to match).	LTC	G	N
Door D77	Later timber door inserted into prior window space. Modern hardware.	MTC	G	N
	Top arched timber framed window sash with 6 panes from original former window extant and now fanlight.	OL		Е
Door D78	Later door c. early to mid twentieth century. Five panelled timber door with timber architrave.  Decorative carved timber pediment surmounting. Matches the profile and carving of S3.14 doors added probably mid twentieth century.	MTC	G	Н
Window W74	Arched timber framed double hung sash window with 6 panes per sash. Original hardware visible. Pair to window formerly in D77 space.	OL	G	Е

Item	Description	Date	Condition	Significance Ranking
Window W75	Pair of timber framed arched double hung sash windows with 6 panes per sash. Original hardware evident. Interior polished timber, exterior painted cream. Exterior of frame painted green.	OL	G	Е
Space 3.16				
Overall significance of the space and its form	Former hallway	OL highly modified	G	М
Flooring	Linoleum over concrete.	LTC (linoleum)	F	N
Walls	Eastern and western walls original brick walls to the Link Building.  Northern and southern walls are later brick walls added in the late twentieth century to form pantry.	OL LTC	G	H N
Ceiling	Dropped later plasterboard ceiling for services.	LTC	G	N
Door D85	Later baize door. Blue baize with brass fixings. Door hardware visible. Simple timber frame and architrave.  No pediment.	MTC (door) LTC (blue baize)	G	M N
Door D86	Later timber door inserted into prior window space. Modern hardware. Top arched timber framed window sash with 6 panes from original former window extant and now fanlight.	MTC OL	G	N E
Window W76	Arched timber framed double hung sash window with 6 panes per sash.  Not operational – bricked up internally.  No hardware visible. Pair to window formerly in D86 space.	OL	G (but not functional)	Е

## B.5 **WESTERN WING BUILDING**

The following tables outline the significant elements of the Western Wing Building's exterior and interior.

Table 35 – Gradings of Significant Elements: Western Wing Building Exteriors

Item	Description	Date	Condition	Significance Ranking
GENERAL				
Overall form and streetscape presentation	Significant for its contribution to the collective group	OW (heavily modified except to the street front)	G	Е
Roofing	Flat concrete roof behind sandstone parapet, with a malthoid-type roof sheeting.	LTC (hotel conversion works)	G	N
Guttering	Copper downpipes and guttering.	ETC	G	N
BRIDGE STREET FAÇADE				
Façade	basement level façade comprises exposed smooth-faced ashlar sandstone face. Some evidence of stone restoration and replacement. Stone voussoirs to basement level windows.  Ground floor façade comprises exposed sandstone in smooth-faced ashlar profile, with vermiculated sandstone quoins and vermiculated sandstone quoins surrounding window and door openings. Decorative sandstone entablature above.  First floor façade comprises exposed sandstone in smooth-faced ashlar profile, with smooth-faced projecting quoins (at the breakfront) and carved sandstone architrave surrounding the windows. Windows sit atop a decorative projecting cornice supported by pairs of pilasters.  Surmounted by a decorative carved sandstone frieze and projecting dentilated cornice and stone balustraded parapet (with stone piers and rails) concealing the roof.  One projecting breakfront at corner of Bridge and Phillip Streets comprising deep set sandstone niches on ground and first floors for windows, set within	OW	G (restored during hotel conversion works)	E

Item	Description	Date	Condition	Significance Ranking
	a deeply recessed two storey arch.  The first floor window is flanked by a pair of decorative columns and surmounted by a pediment with arched window to first floor above.			
Windows	13 timber framed 12-pane double hung sash windows to ground and first floors.  Six arched timber framed multi-pane fixed and casement windows to basement level.  One ornate multi-paned arched timber framed sash window in breakfront on first floor.	Refer Table 36 for individual window detail		
Doors	One pair timber doors to Bridge Street on basement level.	Refer Table 36 for individual door detail		
EASTERN FAÇADE (N/A)				
WESTERN FAÇADE (N/A)				
NORTHERN FAÇADE (INTI	ERNAL WALL OF ARCADE)			
Façade	Exposed brick and sandstone.  Basement level comprises exposed brick wall with arched openings for windows. Evidence of patching bricks from later works. Remainder of original façade obscured by hotel development.  Ground floor and first floor levels comprise exposed brick walls with arched and herringbone brick detail	OW	G	E
	arched and herringbone brick detail above window and door openings.  Large sandstone sills to windows and banding along walls. Remainder of original façade obscured by hotel development.			

Item	Description	Date	Condition	Significance Ranking
Windows	Three timber framed arched fixed and casement windows on basement level. Four timber framed 12-paned arched double hung sash windows on ground level.  Five timber framed 12-paned arched double hung sash windows on ground level.	Refer Table 36 for individual window detail		
Doors	Two timber doors with original 6-pane fanlight on ground floor.  One timber door with original 6-pane fanlight on first floor.	Refer Table 36 for individual door detail		
Arcade, eastern and southern colonnaded returns	Romanesque arched brick and sandstone arcade adjoining the western façade of the Link Building. Detailing of the arcade varies on each of the three levels as described below, and is surmounted by a sandstone entablature:  The basement level return of the arched arcade comprises rough-faced sandstone clad arches and columns.  The ground level return of the arched arcade comprises a series of brick columns with sandstone entablature and sandstone clad semi-circular arch with recessed sandstone soffit.  Between each arch is located a wall mounted decorative cartouche.  The first level (highest) return of the arched arcade comprises a series of Codussian arches, of which each comprise two brick and sandstone arches, surmounted by a circular sandstone opening, united under a single brick and sandstone arch. The arches are framed by ionic relief sandstone pilasters.	OL	G	E
Floor	Concrete and tiles	LTC (tiles)	G	N

Item	Description	Date	Condition	Significance Ranking
Remnant arch	Remnant arch in south east corner of arcade on basement and ground floors remaining from original arcade configuration from c.1899, changed along the southern return to existing configuration in c.1919.	OL	Remnant but stable	E

Table 36 – Gradings of Significant Elements: Western Wing Building Interiors

Item	Description	Date	Condition	Significance Ranking
BASEMENT FLOOR				
Space 1.33				
Overall significance of the space and its form	-	OW highly modified	G	L
Flooring	Later timber floorboards, over concrete.	LTC (floor boards)	G	N (floor boards)
Walls	Southern wall original sandstone wall of west wing building. Internally rendered and painted with rendered decorative pilasters between each arched window opening.  Eastern wall is the original western façade of the Treasury Building (sandstone). Internally rendered and painted facing \$1.33. Large opening	OW	G	H/E H
	created to link the buildings LTC.  Northern wall of S1.33 comprises late partition to form kitchen (S1.34).  Eastern wall is irregular later partitioning added as part of hotel conversion works.	LTC		N N
Skirting	Part original timber skirting with areas of later patching and splicing	OW MTC/LTC/C	G	H L
Ceiling	Dropped and modified ceiling – plasterboard. Distinctive rendered concrete bulkheads.	LTC	G	N H
Door D112	Contemporary caged door.	С	G	N
Window W100	Timber framed, arched window, comprising three bays of 6-paned windows along the bottom of the arch, and three arched, multi-pane hopper (hinged) windows along top of arch. Painted black internally.	OW	G	Е
	Steel framed security bar external.			М

Item	Description	Date	Condition	Significance Ranking
Window W101	As above, but varying in number of panes.	OW	G	E
				M
Window W102	As above, but varying in number of panes.	OW	G	E
				М
Window W103	As above, but varying in number of panes.	OW	G	E
				M
Window W104	As above, but varying in number of panes.	OW	G	E
		0111		M -
Window W105	As above, but varying in number of panes.	OW	G	E
Space 4 24				M
Space 1.34		0.441: 11	0	
Overall significance of the space and its form	-	OW highly modified	G	L
Flooring	Later tiles over concrete.	LTC (tiles)	G	N (tiles)

Item	Description	Date	Condition	Significance Ranking
Walls	Northern wall original brick wall of west wing building. Internally rendered and painted with rendered.	OW	G	Н
	Eastern wall is the original western façade of the Treasury Building (sandstone). Internally rendered and painted. Opening created to link the buildings LTC.	ОТ		Н
	Southern wall of S1.34 comprises late partition to form kitchen.	LTC		L
	Western wall is irregular later partitioning added as part of hotel conversion works.	LTC		N
Ceiling	Later dropped and modified ceiling for services. Plaster board.	LTC	G	N
Window W106	Timber framed, arched window, comprising three bays of 6-paned casement windows along the bottom of the arch, and three 4-paned arched fixed windows along top of arch. Only bottom 3 casement windows visible internally (ceiling conceals top arched windows). Internally painted white. Externally frame painted green and window painted cream.	OW	G	E
Window W107	As above.	OW	G	Е
Window W108	As above.	OW	G	Е
GROUND FLOOR				
Space 2.22				
Overall significance of the space and its form	-	OW highly modified	G	L
Flooring	Carpet over concrete.	C (carpet)	G	N (carpet)

Item	Description	Date	Condition	Significance Ranking
Walls	Northern and southern walls are original brick and sandstone walls to the Western Wing building, internally rendered and painted. Decorative pilasters line both walls	OW	G	H/E
	Eastern wall comprises a large opening in the former western façade of the Treasury Building (sandstone – rendered and painted).  Western wall forming part of hotel	OT		H
	conversion works. Plasterboard and brick / concrete.			
Skirting	Part original timber skirting with areas of later patching and splicing	OW MTC/LTC/C	G	H L
Ceiling	Coffered profile ceiling, with later	OW	G	Н
	stencilled painting and decoration.  Modern services.	С	G	N
Window W109	Timber framed, double hung sash window with 6 panes per sash. Original hardware extant. Deep timber reveal.	OW	G	Е
Window W110	As above.	OW	G	Е
Window W111	As above.	OW	G	E
Window W112	As above.	OW	G	Е
Window W113	As above.	OW	G	E
Window W114	As above.	OW	G	E
Window W116	Window in a pair with D114 under a single Romanesque timber arch with central circular porthole window above. Window comprises a timber framed double hung sash window comprising of a lower square sash of 6 panes, and an upper arched sash of 6 panes. Original window hardware extant.	OW	G	E

Item	Description	Date	Condition	Significance Ranking
Window W117	Pair of timber framed double hung sash windows comprising of a lower square sash of 6 panes, and an upper arched sash of 6 panes. Windows in a pair under a single Romanesque timber arch with central circular porthole window above. Not functional – bricked up internally as part of hotel conversion works.	OW	G (but not functional)	E
Window W118	Window in a pair with D113 under a single Romanesque timber arch with central circular porthole window above. Appears that door and window within this pair have been reversed as part of hotel conversion works.  Window comprises a timber framed double hung sash window comprising of a lower square sash of 6 panes, and an upper arched sash of 6 panes.  Original window hardware extant.	OW (but reversed position with adjoining door LTC)	G	H
Door D113	Door in a pair with W118 under a single Romanesque timber arch with central circular porthole window above. Appears that door and window within this pair have been reversed as part of hotel conversion works.  Original timber door with two lower timber panels and two glazed panes above. Original door hardware extant.	OW (but reversed position with adjoining window LTC)	G	E
Door D114	Door in a pair with W116 under a single Romanesque timber arch with central circular porthole window above. Door has been inserted into the space of a former window during hotel conversion works. Portion of architrave joinery identifies this change.  Original timber door with two lower timber panels and two glazed panes above. Original door hardware extant.	OW (but not original position. Likely to have been removed from window/door to the south that was removed in LTC)	G	E
FIRST FLOOR				
Space 3.18				
Overall significance of the space and its form	-	OW highly modified	G	M

Item	Description	Date	Condition	Significance Ranking
Flooring	Carpet over concrete floor.	C (carpet)	G	N (carpet)
Walls	Eastern wall is original sandstone wall of the original Treasury Building, rendered and painted.  Western, southern and northern walls are original brick walls to the Western Wing Building, rendered and painted.	OT	G	Н
Skirting	Part original timber skirting with areas of later patching and splicing	OW MTC/LTC/C	G	H L
Ceiling	Later plasterboard ceiling lowered for services.	LTC	G	N
Door D117	Door in a pair with W128 under a single Romanesque timber arch with central circular porthole window above. Original timber door with two lower timber panels and two glazed panes above. Modern door hardware extant.	OW C (hardware)	G	E N (hardware)
Door D118	Original timber framed double timber doors with two timber panels each.  Door hardware extant. Not original location.  Likely later carved timber pediments surmounting in a sympathetic manner to existing./ to match original	OW (not original location)	G	H
Window W128	Window in a pair with D117 under a single Romanesque timber arch with central circular porthole window above Window comprises a timber framed double hung sash window comprising of a lower square sash of 6 panes, and an upper arched sash of 6 panes. Window furniture extant.	OW	G	E
Space 3.19				
Overall significance of the space and its form	-	OW highly modified	G	М
Flooring	Carpet over concrete floor.	C (carpet)	G	N (carpet)

Item	Description	Date	Condition	Significance Ranking
Walls	Eastern wall is original sandstone wall of the original Treasury Building, rendered and painted. Western, southern and northern walls are original brick walls to the Western	OT	G	H/E H
	Wing Building, rendered and painted.			
Skirting	Part original timber skirting with areas of later patching and splicing	OW MTC/LTC/C	G	H L
Ceiling	Later plasterboard ceiling lowered for services.	LTC	G	N
Door D119	Original timber framed double timber doors with two timber panels each.  Door hardware extant.	OW	G (some damage evident)	Н
	Later but early carved timber pediments surmounting.	ETC?		M
Door D120	Later double timber doors in timber frame constructed during hotel conversion works in a sympathetic manner to existing.	LTC	G	N
	Likely later carved timber pediments surmounting in a sympathetic manner to existing/ to match original	LTC?		N
Window W119	Timber framed, double hung sash window with 6 panes per sash. Original hardware extant. Deep timber reveal.	OW	G	Е
Space 3.20				
Overall significance of the space and its form	-	OW highly modified	G	M
Flooring	Carpet over concrete floor.	C (carpet)	G	N (carpet)

Item	Description	Date	Condition	Significance Ranking
Walls	Southern wall is original sandstone wall of the Western Wing, internally rendered and painted with decorative square column capital pilasters flanking window openings.  Northern and eastern walls are original	OW	G	H/E H
	brick walls of the Western Wing, internally rendered and painted with decorative square column capital pilasters			
	Western wall is a later brick wall, constructed as part of the hotel conversion works in the 1980s, to make S3.20 two window bays long instead of the previous three window bays long.	LTC		N
Skirting	Part original timber skirting with areas of later patching and splicing	OW MTC/LTC/C	G	H L
Ceiling	Deep plastered cornicing (later?) with later dropped plasterboard ceiling for services. Also intervention for services evident.	LTC	G	N
Window W120	Timber framed, double hung dash window with 6 panes per sash. Original hardware extant. Deep timber reveal.	OW	G	Е
Window W121	As above.	OW	G	Е
Door D122	Original timber framed, four panelled timber door with original hardware. Not original location. Potentially moved from elsewhere during hotel conversion works.	OW (but not original location)	G	М
	Later but early carved timber pediments surmounting.	ETC?		M
Fireplace 15	Imposing green and grey marble fireplace on western wall. Heavy marble mantle supported on four green marble pillars. Fireplace insert missing but tiled hearth extant.	OW	G	Н
Space 3.21				

Item	Description	Date	Condition	Significance Ranking
Overall significance of the space and its form	-	OW highly modified	G	М
Flooring	Carpet over concrete floor.	C (carpet)	G	N (carpet)
Walls	Southern wall is original sandstone wall of the Western Wing, internally rendered and painted with decorative square column capital pilasters flanking window openings.	OW	G	H/E
	Northern and western walls are original brick walls of the Western Wing, internally rendered and painted with decorative square column capital pilasters	OW		Н
	Eastern wall is a later brick wall, constructed as part of the hotel conversion works in the 1980s, to make S3.21 three window bays long instead of the previous 2 window bays long.	LTC		N
Skirting	Part original timber skirting with areas of later patching and splicing	OW MTC/LTC/C	G	H L
Ceiling	Deep plastered cornicing (later?) with later dropped plasterboard ceiling for services. Also intervention for services evident.	LTC	G	N
Window W122	Timber framed, double hung dash window with 6 panes per sash. Original hardware extant. Deep timber reveal.	OW	G	E
Window W123	As above.	OW	G	E
Window W124	As above.	OW	G	E
Door D123	Later double timber doors in timber frame constructed during hotel conversion works in a sympathetic manner to existing.	LTC 2	G	N
	Likely later carved timber pediments surmounting in a sympathetic manner to existing/ to match original	LTC?		N

Item	Description	Date	Condition	Significance Ranking
Door D124	As above.	LTC	G	N
		LTC ?		N
Door D125	Original timber framed, four panelled timber door with original hardware. Not original location. Potentially moved from elsewhere during hotel conversion works.	OW (but not original location)	G	M
	Later but early carved timber pediments surmounting.	ETC?		М
Door D126	Original timber framed double timber doors with two timber panels each.  Door hardware extant. Not original location. Moved slightly east during hotel conversion works.	OW (not original location)	G	Н
	Later but early carved timber pediments surmounting.	ETC?		М
Door D127	Original timber framed double timber doors with two timber panels each. Original door hardware extant. Later but early carved timber	OW ETC ?	G (some damage evident)	H M
	pediments surmounting.			
Fireplace 16	Imposing green and grey marble fireplace on western wall. Heavy marble mantle supported on four green marble pillars. Painted stone hearth. Fireplace insert missing. Possibly reconstructed / modified.	OW	G (but green marble panel above fireplace void damaged)	M
Space 3.23				
Overall significance of the space and its form	-	OW highly modified	G	L
Flooring	Carpet and tiles over concrete.	C (carpet & tiles)	G	N
Walls	All walls original brick walls to the Western Wing. Rendered and painted with some tiled areas.	OW (walls) C (tiles)	G	H N
Ceiling	Later plasterboard ceiling lowered for services.	LTC	G	N

Item	Description	Date	Condition	Significance Ranking
Door D121	Original timber framed timber door with original hardware extant. Evidence of patching and wear and tear. Possibly relocated from adjoining wall.	OW	G	М
Window W127	Pair of timber framed double hung sash windows comprising each of a lower square sash of 6 panes, and an upper arched sash of 6 panes. Windows in a pair under a single Romanesque timber arch with central circular porthole window above. Not functional – bricked up internally as part of hotel conversion works.	OW	G (but not functional)	E
Space 3.24				
Overall significance of the space and its form	-	OW highly modified	G	L
Flooring	Concrete.	OW	G	N
Walls	All walls original brick walls to the Western Wing. Rendered and painted.	OW (walls)	G	Н
Ceiling	Later plasterboard ceiling lowered for services.	LTC	G	N
Window W126	Pair of timber framed double hung sash windows comprising each of a lower square sash of 6 panes, and an upper arched sash of 6 panes. Windows in a pair under a single Romanesque timber arch with central circular porthole window above. Not functional – bricked up internally as part of hotel conversion works.	OW	G (but not functional)	E
Lift	Lift inserted into western portion of space.	LTC	G	N

# B.6 CORTILE (OUTSIDE THE SHR LISTING CURTILAGE)

The following tables outline the elements outside of the SHR listing curtilage, and has been included only because of the cortile's direct interface with the Former Treasury Buildings, and the location of some significant elements (caged lift) within this space but outside of the SHR listing curtilage.

Table 37 – Gradings of Significant Elements: Cortile Space including Arcade

Item	Description	Date	Condition	Significance Ranking
Floor	Concrete and tiles	LTC (tiles)	G	N
Elliptical stair and caged lift	Caged lift is original to the Western Wing, and has been slightly modified with additional caging during the 1980s. The timber balustrade appears to be original.	OW	G	Н
	The elliptical stair is a reproduction stair built to referenced the original stair surrounding the lift.  The collective was relocated to the current position in 1980s.	LTC		L
Fittings, fixtures and decorative elements (for example, the lion pedestals and caged air conditioning vent food)	Later fabric constructed as part of the hotel phase.	LTC	G	N/I
Steel framed and glazed roof with dome	The cortile roof was constructed in the 1980s and references an early unexecuted architectural drawing by George McRae, but the domed roof was never intended for the cortile space.	LTC	G	N

# APPENDIX C INDIVIDUAL SPACE INVENTORY SHEETS

# SPACE 1.7

### Original Vault, Basement Level

#### Description

Space 1.7 comprises the basement level former vault, used as the original vault for the Treasury when the building was constructed in c.1849-51.

The primary feature of the room is its curved sandstone ceiling. The sandstone has been painted but the original picked and margined finish remains visible through the paint.

The floor comprises sandstone or concrete (unknown) and is currently covered by modern carpeting. The two end walls (east and west) comprise original solid sandstone and have also been painted.

The two original vault doors are missing, and the western wall doorway has been blocked as part of fire egress works in the 1980s. There are 3 strip fluorescent lights installed to the curved ceiling, along with a modern fire sprinkler system.

# Condition & Modifications

The vault is in generally good condition and retains its original configuration. Important features of the room including its curved sandstone ceiling are intact. However, the internal faces of the sandstone have been painted which detracts from its appreciation.

At some point the two vault doors in the eastern and western walls were removed. Their whereabouts are unknown. The original steel door frame to the eastern wall remains.

### **Significance**

Space 1.7 is significant as the Treasury Department's vault. It dates to c.1849-51 and retains its original configuration and striking curved sandstone ceiling. The space is a physical representation of the former and original use of the building.

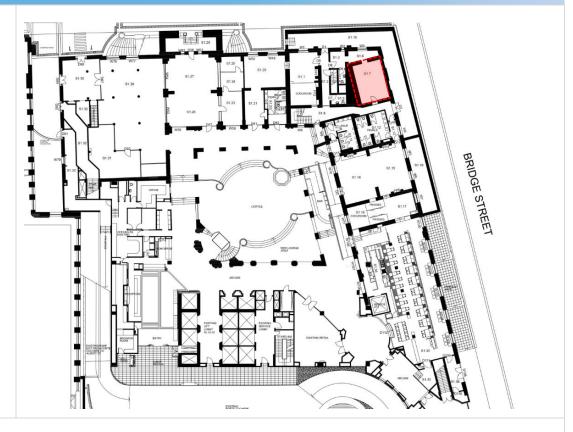
### Recommended Management

The space is highly significant and should be conserved. Intrusive elements which detract from the appreciation of the space, including the paint on the internal face of the sandstone and the carpet, should be removed if possible. The *Schedule of Significant Elements* included in Appendix B of the CMP identifies and grades the significance levels of the individual elements within this space. Section 8 *Conservation Policies* of the CMP includes specific policies regarding the ongoing conservation and interpretation of this space. These policies include:

Policy 79 The basement level vault space (S1.7) is of Exceptional significance as remnant physical evidence demonstrating the original Treasury function of the building. The vault should be retained and conserved with no additional openings and no modifications to the original configuration of the space. This would not preclude sympathetic and reversible refurbishments for fit-out in association with adaptive re-use or as part of the interpretation strategy.

Policy 127 Interpretation of the site should incorporate in-situ retention of significant fabric, spaces and or elements, particularly where elements are associated with the significant former Treasury use. This includes the basement vault, Premier's Room and former Treasurer's Room. Creative uses for these spaces that encourages public access and use should be explored.

# SPACE 1.7 Original Vault, Basement Level







SPACE 1.7 Original Vault, Basement Level





### The Arcade Each level

#### Description

The colonnaded arcades are located on the western internal face of the Link Building and northern internal face of the Western Wing, and date from c.1899 and c.1919. A 1980s' extension was undertaken as part of the hotel development outside of the SHR curtilage, and links together with the original arcade to create the internal 'cortile' space.

The eastern and southern arcades date from c.1899 and c.1919 respectively, with the c.1919 western wing copying the design of the earlier colonnade to the Treasury, Strong room and Link buildings. These original/early sections comprise Romanesque arched brick and sandstone arcades. Detailing of the arcade varies on each of the three levels, as described hereunder, and is surmounted by a sandstone entablature.

- The basement level arched arcade comprises rough-faced sandstone clad arches and columns.
- The ground level arched arcade comprises a series of brick columns with sandstone entablature and sandstone clad semi-circular arch with recessed sandstone soffit. Between each arch is located a wall mounted decorative cartouche.
- The first level (highest) return of the arched arcade comprises a series of Codussian arches, of
  which each comprise two brick and sandstone arches, surmounted by a circular sandstone
  opening, united under a single brick and sandstone arch. The arches are framed by ionic relief
  sandstone pilasters.

# Condition & Modifications

The eastern and southern arcade returns surrounding the cortile show signs of damage and modification as a result of changes in configuration and fenestration over time. Brickwork to the original sections of the cortile shows evidence of angle grinding.

## Recommended Management

The colonnade is architecturally and aesthetically distinctive and is an important feature of the place allowing for the appreciation and interpretation of the historic Treasury buildings. Management of the space in relation to BCA/NCC compliance and accessibility should be subject to heritage advice and assessment. No penetrations should be undertaken to the brickwork or stonework. No exposed masonry should be painted or sealed.

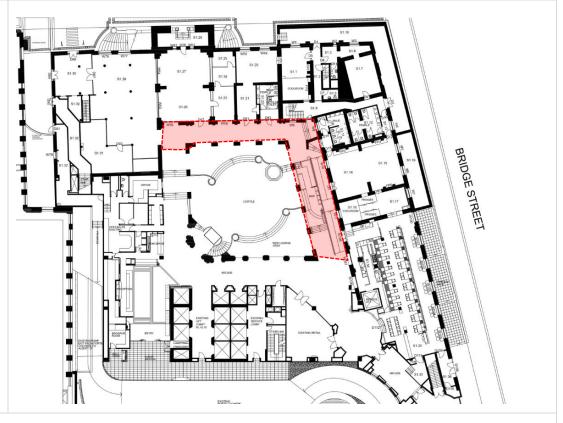
Section 8 *Conservation Policies* of the CMP includes specific policies regarding the ongoing conservation and interpretation of this space. These policies include:

Policy 50 The significant formerly external rear elevations of the Former Treasury Buildings facing into the cortile, along with the significant colonnaded arcades, should be retained and conserved. Development which interfaces with these arcades and elevations (currently 1980s' hotel development) should ensure that a full visual appreciation of these significant elevations is maintained.

Policy 55 The rear, northern façade of the Original Treasury Building has been modified, including partial reconstruction, new / modified window and door openings, and in the interface with the Western Wing extension. New work or openings should be restricted to areas of previous alteration only and should maintain the Georgian proportions and character of this rear façade. Evidence of previous structures, for example the timber gangway, should be retained.

Policy 58 The three-storey arcade is a rare and highly decorative element of the building and should be retained and conserved to the highest extent feasible. Remnants of the original arcade configuration at the southern end of the Northern Wing should be retained to enable interpretation of the original form.

## The Arcade Fach level



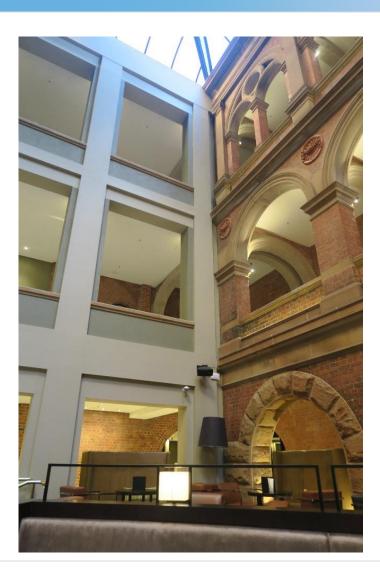








# The Arcade Each level



### SPACE 2.5 & SPACE 3.4

### Original Treasury Building Stair Hall, Ground Floor & First Floor Stair Landing

### Description

#### Space 2.5

Space 2.5 is the former original entrance lobby to the Original Treasury Building. The space is a generally regular shape with the main entrance doors facing east.

The space comprises original / early exposed polished timber floorboards, rendered and painted sandstone walls, and original timber skirting. The walls are plainly painted with a marked lack of decoration or period detail.

The main feature of the space is the original polished timber imperial staircase. The staircase extends over all three levels of the Original Treasury Building. At ground floor, the imperial staircase comprises a single central east to west run, leading to a mid landing, off which are two smaller runs leading to the first floor landing, inverse to the lower central run direction. At first floor, the staircase comprises a single central landing bridge, located above the ground floor central run. The stair also leads to the basement level via a single west to east run, located behind the ground floor central run.

At present, access to all levels of the staircase is restricted due to the conflicting hotel and private office uses of the building. Timber partitioning boards have been inserted to the two uppermost stair runs, obstructing access from the ground floor to the first floor.

A small cupboard space is located off the mid landing. This space is accessed via a pair of early sliding timber and glazed doors. It is possible this mid-landing space was added in c.1899 when the adjoining Link Building was constructed, as this space was used for access to a private stair to the Premier's Room from this time onwards.

The ceiling of Space 2.5 has been modified during the 1980's hotel redevelopment of the property. A lowered plasterboard ceiling has been inserted to hide modern services and for fire safety compliance. Modern services installed include fire sprinklers and hanging flouresecent light fittings. The previous CMP undertaken by Clive Lucas Pty Ltd in 1982 suggests this space previously featured pressed metal ceilings. It is not known whether these original pressed metal ceilings remain extant above the modern false ceiling.

A striking original feature of the space is a hanging orb light fitting. This light fitting comprises a spherical central pink frosted glass orb, decorated with gold stars, with brass fittings below and above. The light hangs from the ceiling by a linked brass chain.

A further feature of the space is a curved timber air lock structure against the front entrance doors. This structure is not original to the space, and documentary evidence suggests it originally came from the former Bridge Street entrance to the Original Treasury Building. It was potentially relocated here during the 1980's hotel redevelopment of the property when the former Bridge Street entrance was converted to fire stairs.

### Space 3.4

Space 3.4 is the first floor landing of the main Original Treasury Building imperial staircase.

The space comprises modern carpet over floorboards, rendered and painted sandstone walls, and original timber skirting. The walls are plainly painted with a marked lack of decoration or period detail.

The ceiling of Space 3.4 has been modified during the 1980's hotel redevelopment of the property. A lowered plasterboard ceiling has been inserted to hide modern services and for fire safety compliance. Modern services installed include fire sprinklers and hanging flouresecent light fittings. The previous CMP undertaken by Clive Lucas Pty Ltd in 1982 suggests this space previously has pressed metal ceilings. It is not known whether these original pressed metal ceilings exist above the modern false ceiling.

A striking original feature of the space is a hanging orb light fitting. This light fitting comprises a spherical central pink frosted glass orb, decorated with gold stars, with brass fittings below and above. The light hangs from the ceiling by a linked brass chain.

# SPACE 2.5 & SPACE 3.4

## Original Treasury Building Stair Hall, Ground Floor & First Floor Stair Landing

# Condition & Modifications

The space is in generally good condition. Door 18 off this space has a cracked timber reveal. The imperial staircase has been modified over time with the removal of and then later reconstruction of the northern most upper run as a result of office reconfigurations in the early twentieth century.

#### **Significance**

The main stair hall is significant as the original grand entrance lobby to the former Treasury. This space would have been used by both employees of the Treasury and the general public. It retains its original spatial context, and the reconstructed northern stair run has restored the imperial staircase to its original configuration. The modern services, lowered false ceiling and lack of period decoration detract from its interpretation as a significant space.

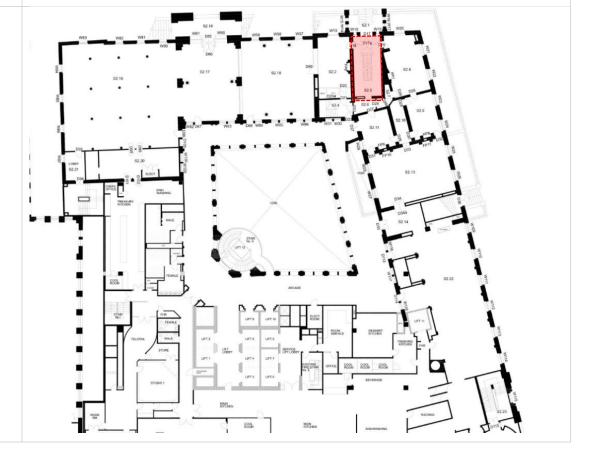
### Recommended Management

The space is highly significant and should be conserved. The *Schedule of Significant Elements* included in Appendix B of the CMP identifies and grades the significance levels of the individual elements within this space. Section 8 *Conservation Policies* of the CMP includes specific policies regarding the ongoing conservation and interpretation of this space. These policies include:

Policy 80 Access should preferably be retrieved to all levels of the building via the original imperial staircase subject to use requirements.

Policy 81 It has been speculated that D17a (airlock in ground floor entrance lobby) is an early feature of the building, potentially relocated from the former Bridge Street entry at D36. Should this element be proposed for removal/alteration, further investigation is required to determine its significance and original construction. The element should be reused elsewhere in the building in preference to removal, subject to further investigations outlined above.

Policy 82 Significant early / original light fittings within the building should be retained and conserved in situ.



# SPACE 2.5 & SPACE 3.4 Original Treasury Building Stair Hall, Ground Floor & First Floor Stair Landing













# SPACE 2.5 & SPACE 3.4 Original Treasury Building Stair Hall, Ground Floor & First Floor Stair Landing













### Original Treasury Building Office, Ground Floor

### Description

Space 2.8 is a former Treasury office room, which once included a public counter, and was used for the Department's interface with the general public. The space is now used for a separate office tenancy.

The space comprises modern carpeting over floorboards, rendered and painted sandstone walls, and original timber skirting. The walls are plainly painted with a marked lack of decoration or period detail.

The windows comprise original multipane sash windows with modern perspex sound proof screens inserted internally.

The space has a modern lowered plasterboard ceiling which conceals modern services including down lights and sprinklers. A central brass and frosted glass reproduction light fitting is installed. The doors are a combination of original and later doors, and have been fitted with modern door hardware.

A reproduction faux-marble painted timber fireplace is located against the northern wall.

The original public counter is missing, however the original sandstone wall nibs indicate where this counter once stood.

# Condition & Modifications

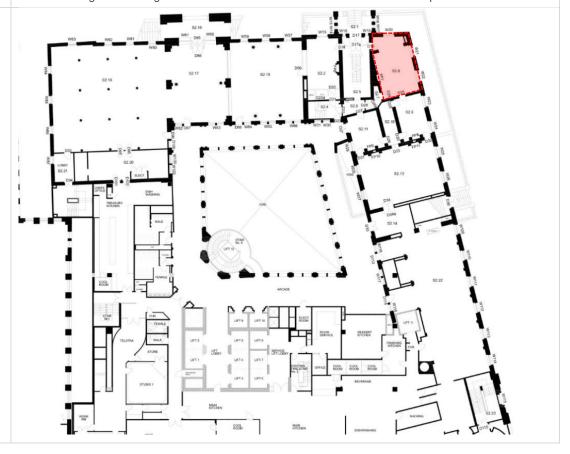
The space is in generally good condition. The modern Perspex screens are accelerating the weathering of the original windows through heat exposure. One of the original glass panes in Window 22 is cracked and requires repair. The western door between Space 2.8 and Space 2.9 has a cracked timber reveal.

### Significance

Space 2.8 is significant as a generally intact former office space, being the office originally used for interface with the general public. The modern services, lowered false ceiling and lack of period decoration detract from its interpretation as a significant early administration space associated with the Treasury.

### Recommended Management

Section 8 *Conservation Policies* of the CMP includes general policies regarding the ongoing conservation and interpretation of this space. These policies relate to the appropriateness of potential future uses and location of further services. The *Schedule of Significant Elements* included in Appendix B of the CMP identifies and grades the significance levels of the individual elements within this space.



# SPACE 2.8 Original Treasury Building Office, Ground Floor













## Original Treasury Building Office, Ground Floor

### Description

Space 2.9 is a former Treasury office room. The space is now used for a separate office tenancy.

The space comprises modern carpeting over floorboards, rendered and painted sandstone walls, and original timber skirting. The walls are wallpapered in a period style. It is likely the wallpaper was afixed during the 1980's hotel redveelopment of the site. At this time, a number of office rooms were decorated as part of the building's restoration. Space 2.9 is one of the only office rooms to retain this later decoration and all other offices within the building have been stripped of ornamentation.

The windows comprise original multipane sash windows with modern perspex sound proof screens inserted internally.

The space has a modern lowered plasterboard ceiling which conceals modern services including down lights and sprinklers. A central brass and frosted glass reproduction light fitting is installed. The doors are a combination of original, early and later doors, and have been fitted with modern door hardware.

A reproduction timber fireplace with reproduction decorative iron insert is located against the western wall.

# Condition & Modifications

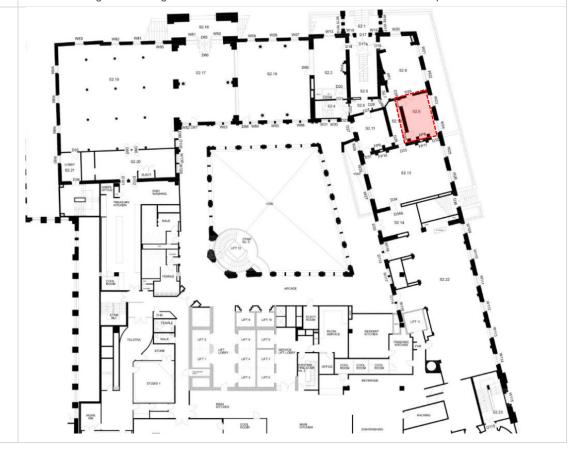
The space is in generally good condition. The eastern door between Space 2.8 and Space 2.9 has a cracked timber reveal.

### Significance

Space 2.9 is significant as a generally intact former office space of the Treasury. The modern services and lowered false ceiling detract from its interpretation as a significant early administration space associated with the Treasury.

### Recommended Management

Section 8 *Conservation Policies* of the CMP includes general policies regarding the ongoing conservation and interpretation of this space. These policies relate to the appropriateness of potential future uses and location of further services. The *Schedule of Significant Elements* included in Appendix B of the CMP identifies and grades the significance levels of the individual elements within this space.

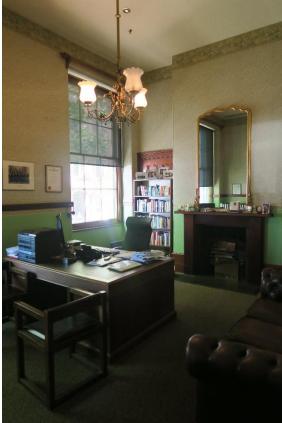


# SPACE 2.9 Original Treasury Building Office, Ground Floor













### Original Treasury Building Office, Ground Floor

### Description

Space 2.11 is a former Treasury office room. The space is now used in conjunction with the InterContinental Hotel as a function space.

The space comprises modern carpeting over floorboards, rendered and painted sandstone walls, and original timber skirting. The walls are plainly painted with a marked lack of decoration or period detail.

There is one original multipane sash window. The former second window has been converted into a double French door leading to the external arcade. The upper sash of this former window remains insitu, with only the lower sash having been removed to provide space for the new door.

The space has a modern lowered plasterboard ceiling which conceals modern services including down lights and sprinklers. A central brass and frosted glass reproduction light fitting is installed. The doors are a combination of original, early and later doors, and have been fitted with modern door hardware.

A reproduction timber fireplace is located against the western wall.

# Condition & Modifications

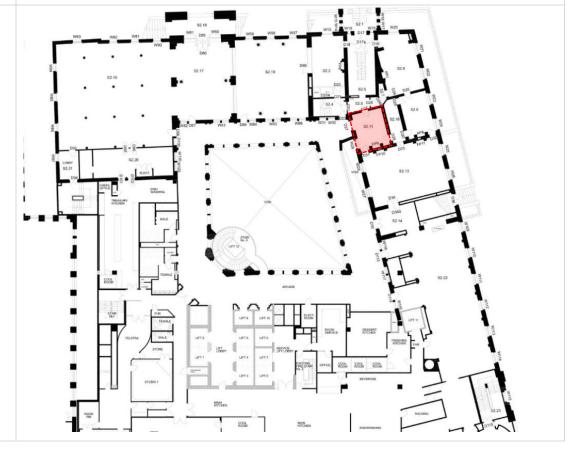
The space is in generally good condition.

### Significance

Space 2.11 is significant as a generally intact former office space of the Original Treasury building. The modern services and lowered false ceiling detract from its interpretation as an early administration space associated with the Treasury.

### Recommended Management

Section 8 *Conservation Policies* of the CMP includes general policies regarding the ongoing conservation and interpretation of this space. These policies relate to the appropriateness of potential future uses and location of further services. The *Schedule of Significant Elements* included in Appendix B of the CMP identifies and grades the significance levels of the individual elements within this space.



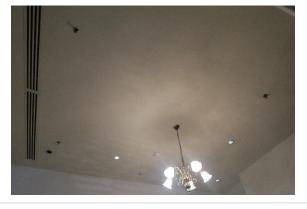
# SPACE 2.11 Original Treasury Building Office, Ground Floor













## Original Treasury Building "The Bridge Room", Ground Floor

#### Description

Space 2.13, "The Bridge Room" is a former administration area of the Original Treasury Building. It originally housed the Auditor General's Department and was accessed from Bridge Street only. The space is now used in conjunction with the InterContinental Hotel as a function space.

The space comprises modern carpet over floorboards, rendered and painted sandstone walls with a lack of decorative detail, and original timber skirting. The dominant feature of the room is the restored / reconstructed coffered and corniced ceiling, however this ceiling is compromised by the insertion of modern services, installed within a raised floor in the room above to retain the ceiling. The ceiling has been stenciled in an anachronistic design.

Two marble fireplaces are located along the eastern wall. It is uncertain whether these are reporduction or original to the building.

The windows to the southern wall comprise original multipane sash windows with modern perspex sound proof screens inserted internally.

A cast iron five-prong light fitting is centrally located, with four perimeter hanging orb light fittings installed. These light fittings are reproductions.

A pair of green baize doors is centrally located in the eastern wall. Originally this doorway did not exist until the two sections of the Original Treasury Building were combined. Whilst these doors are not original to Space 2.13, they are an early addition and are thought to originate from Space 2.5 (the main entrance lobby).

# Condition & Modifications

The room is in generally good condition. The eastern wall was modified early after the building's completion, in the latter half of the nineteenth century when the dividing wall between the Treasury Department and the Auditor General's Department was interrupted with new doorways.

More recent modifications include the insertion of modern services as a result of the 1980's hotel redevelopment of the property. The insertion of services has penetrated the ceiling panels and compromise and alter the design of the cornicing.

The modern Perspex screens are accelerating the weathering of the original windows through heat exposure.

### Significance

Space 2.13 is significant for its generally intact configuration and restored / reconstructed period details including its coffered and corniced ceiling and marble fireplaces. The room retains its original grand proportions, however not its original administration use.

### Recommended Management

Section 8 *Conservation Policies* of the CMP includes general policies regarding the ongoing conservation and interpretation of this space. These policies relate to the appropriateness of potential future uses and location of further services. The *Schedule of Significant Elements* included in Appendix B of the CMP identifies and grades the significance levels of the individual elements within this space.

# Original Treasury Building "The Bridge Room", Ground Floor











SPACE 2.13

# Original Treasury Building "The Bridge Room", Ground Floor









### Link Building Entrance Lobby, Ground Floor

#### Description

Space 2.17 comprises the entrance lobby for the Link Building constructed in c.1899. Once constructed, this entrance became the main public interface with the Treasury Department.

The space comprises original black and white marble flooring with a greek key border motif. The walls are rendered brick and sandstone and have been painted with a textured gold paint. Original timber skirting extends throughout.

The northern, eastern and southern walls have large arched openings. Two later timber screens with operable doors are inserted into the two arches along the southern wall of the space, separating the space from the adjoining room. The two arches to the northern wall remain unobstucted. The single arch along the eastern wall frames the entrance doors and multi-paned side lights. Each of the arches features deep set reveals with recessed soffits.

The entrance doors comprise two sets of timber double doors; the outer set being a pair of multi-panelled solid timber doors with original hardware, and the inner set being a pair of timber and glazed doors acting as an airlock. The two glazed panels are embossed with a decorative pattern and the words "PAYMASTER" and "RECEIVER". The airlock structure is surmounted by a triangular carved timber pediment featuring an egg-and-dart design. On either side of the entrance doors are multi-paned side lights and a timber window seat.

The western wall comrpises windows and doors to the adjoining arcade.

A plain ceiling with modern services is installed, bordered by decorative indented and egg-and-dart cornicing. A simple reproduction brass and frosted glass light fitting is installed.

The room is flanked on the northern and southern walls by pairs of ionic capital and fluted columns. The space also contains six square faced fluted pilasters.

# Condition & Modifications

The room is in generally good condition and retains many of its original features. Most striking are the original timber doors and walls to the space, the original flooring with original floor vents, and decorative plaster work throughout.

### Significance

Space 2.17 is of heritage significance as a grand public foyer to the treasury following the first extension into the Link Building c.1899. The space is significant for its intricate and detailed timber elements and original features including its marble floor and columns/pilasters.

### Recommended Management

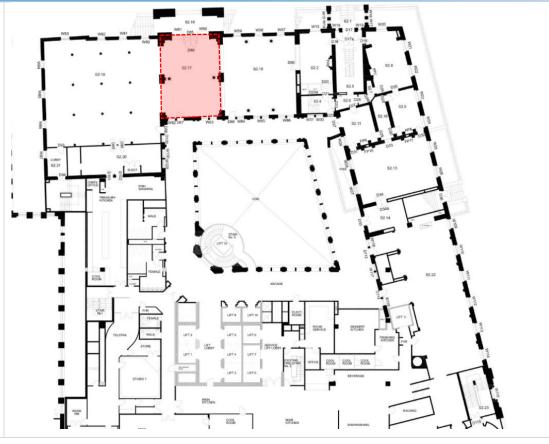
The space is highly significant and should be conserved. Intrusive elements such as the gold paint should be removed and replaced with a more appropriate colour scheme, to enhance the interpretation and appreciation of the space. Currently, the space is disused and no public access is available from Macquarie Street to this former grand entrance. It would be preferable to reinstate access to this space from Macquarie Street.

The Schedule of Significant Elements included in Appendix B of the CMP identifies and grades the significance levels of the individual elements within this space. Section 8 Conservation Policies of the CMP includes specific policies regarding the ongoing conservation and interpretation of this space. These policies include:

Policy 91 The timber infills between S2.17 and S2.18 are later non-significant fabric and change may be possible subject to assessment and approval. Any infill between these two spaces needs to ensure that the original connectivity remains able to be interpreted.

Policy 92 Future proposals should consider the opportunity to restore use of the entrance lobby (S2.17) to Macquarie Street to enhance activation of the street and the space in accordance with the interpretation strategy. Adaptive reuse of the space should facilitate this activation. There should be no further partitioning of this space.

# Link Building Entrance Lobby, Ground Floor











# SPACE 2.17 Link Building Entrance Lobby, Ground Floor













# SPACE 2.17 Link Building Entrance Lobby, Ground Floor









### SPACE 3.1

## Original Treasury Building Former Treasurer's Room, First Floor

#### Description

Space 3.1 is a the former Treasurer's Office within the Original Treasury Building. The space is now used in conjunction with the InterContinental Hotel use as a function and meeting room space.

The space comprises modern carpeting over floorboards, rendered and painted sandstone and brick walls, and a combination of original and reconstructed timber skirting. The walls are plainly painted with a marked lack of decoration or period detail.

The one original window comprises a multipane sash window with modern perspex sound proof screen inserted internally.

The space has a modern lowered plasterboard ceiling which conceals modern services including down lights and sprinklers. Two modern hung flourescent light fittings are installed. The doors are a combination of original and later doors, and have been fitted with modern door hardware.

A reproduction painted timber fireplace is located against the southern wall.

Dated interpretation signage is installed in the room, describing its original and significant use as the office of the Treasurer. This interpretation signage suggests that as part of the 1980's hotel redevelopment, this room was restored to former period decoration. However, as evidenced in the below photographs, this period decoration has since been removed.

# Condition & Modifications

The space has been modified a number of times, both as a result of the adjoining Link Building construction in c.1899, and the 1980's hotel redevelopment.

The northern wall originally contained two windows which were removed when the adjoining Link Building was constructed in c.1899. The indents of the former reveals remain indicating the former window locations. On either side of these window indents, two doorways linking Space 3.1 with the adjoining Premier's Room (post c.1899) were constructed. These doorways have now been blocked in on the side of Space 3.1, however, the openings and doors remain in situ on the other side within the Premier's Room.

The western wall is a later plasterboard wall forming a small bathroom to the immediate west of Space 3.1. Skirting and other joinery along this wall is reproduction or relocated from elsewhere in the building.

The southern wall is in its original configuration, however has previously been modified to provide an additional doorway to the west of the fireplace. This doorway was infilled during the 1980's hotel redevelopment.

In the early twentieth century, the room itself was divided into two separate rooms containing a passage and a waiting room for the Premier's visitors. Generally the proportions of the room were restored in the 1980s, with addition reproduction features (fireplace) added back in.

The space is in generally good condition. However, there is evidence of water damage to the ceiling and the modern Perspex screen on the window is accelerating the weathering of the original window through heat exposure.

### **Significance**

Space 3.1 is significant for its associations with the Treasurer of Sydney between c.1851 and c.1899. It is a well documented space with early photographs indicating its previous décor.

### Recommended Management

The space is significant and should be conserved. Intrusive elements such as the modern services and false ceiling should be removed, and the overall decoration of the room should be restored, to enhance the interpretation and appreciation of the space.

The Schedule of Significant Elements included in Appendix B of the CMP identifies and grades the significance levels of the individual elements within this space. Section 8 Conservation Policies of the CMP includes specific policies regarding the ongoing conservation and interpretation of this space. These policies include:

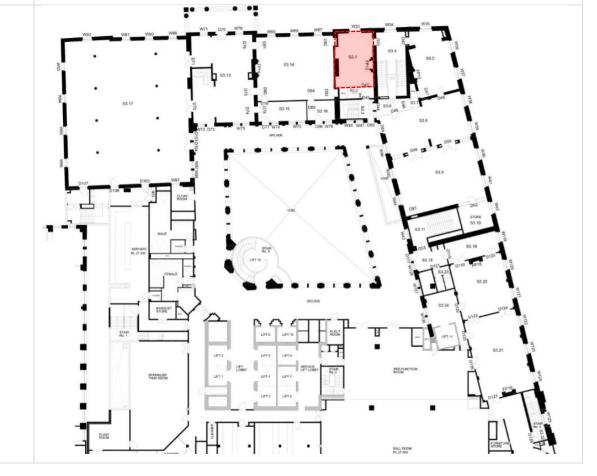
### SPACE 3.1

## Original Treasury Building Former Treasurer's Room, First Floor

Policy 83 There is an opportunity to restore and / or interpret the original configuration and finishes of the Former Treasurer's Room on the first floor. This space is well documented including previous restoration of wallpaper finishes. This opportunity is to form part of interpretation strategy.

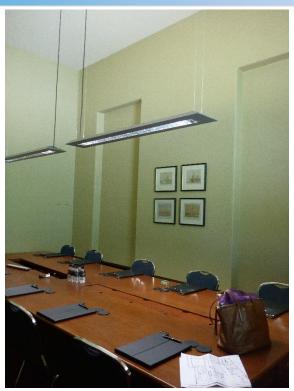
Policy 84 There should be no additional openings between the Original Treasury Building and the Link Building and/or the Western Wing building on any floors. The possible exception to this policy is reopening the two doorways between the Former Treasurer's Room and The Premier's Room on the first floor, which were created in c.1899 when the Link Building was constructed. The doors to these openings remain in situ in the Premier's Room and should be reused.

Policy 127 Interpretation of the site should incorporate in-situ retention of significant fabric, spaces and or elements, particularly where elements are associated with the significant former Treasury use. This includes the basement vault, Premier's Room and former Treasurer's Room. Creative uses for these spaces that encourages public access and use should be explored.



SPACE 3.1
Original Treasury Building Former Treasurer's Room, First Floor





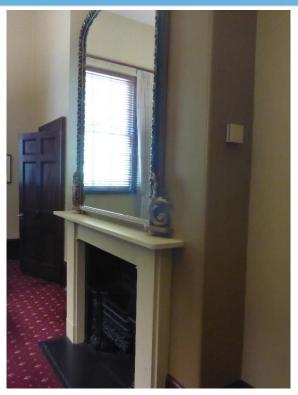








SPACE 3.1 Original Treasury Building Former Treasurer's Room, First Floor





(below: historical photograph of previous state, potentially can inform interpretation strategy for the space)



# SPACE 3.5 Original Treasury Building Office, First Floor

### Description

Space 3.5 is a former Treasury office room. The space is now used in conjunction with the InterContinental Hotel use as a function and meeting space.

The space comprises modern carpeting over floorboards, rendered and painted sandstone walls, and original timber skirting. The walls are plainly painted over wallpaper. It is likely the wallpaper was afixed during the 1980's hotel redevelopment of the site. At this time, a number of office rooms were decorated as part of the building's restoration. Space 3.5 is one of the only office rooms to retain this later decoration and all other offices within the building have been stripped of ornamentation. However, the recent paint over the wallpaper obscures this detail.

The windows comprise original multipane sash windows with modern perspex sound proof screens inserted internally.

Two modern hung flourescent light fittings are installed. The doors are a combination of original and later doors, and have been fitted with modern door hardware.

A reproduction painted timber fireplace is located against the northern wall.

# Condition & Modifications

The space is in generally good condition. The modern Perspex screens are accelerating the weathering of the original windows through heat exposure. Damage to the skirting boards is evident in the south-east corner of the room. Over time, the room has been modified, with the western wall having been removed and then reconstructed at a later date to its original configuration.

### **Significance**

Space 3.5 is significant as a generally intact former office space, being the office originally used for interface with the general public. The modern services, lowered false ceiling and lack of clearly discernible period decoration detract from its interpretation as a significant early administration space associated with the Treasury.

### Recommended Management

Section 8 *Conservation Policies* of the CMP includes general policies regarding the ongoing conservation and interpretation of this space. These policies relate to the appropriateness of potential future uses and location of further services. The *Schedule of Significant Elements* included in Appendix B of the CMP identifies and grades the significance levels of the individual elements within this space.



SPACE 3.5
Original Treasury Building Office, First Floor









# Link Building "The Premier's Room", First Floor

### Description

Space 3.14 is a highly intact space previously used as the Premier's and Treasurer's office following the construction of the Link Building in c.1899.

The room has original timber parquetry flooring with a central carpeted area.

The eastern wall comprises sandstone with internal render and paint. The northern and western walls comprise brick with internal render and paint. The southern wall is the original northern wall of the Treasury Building, and comprises sandstone / brick, re-built for the Link Building works.

Internally on all four wall faces is 1.8 metre high timber panelling with some evidence of wood graining. A section of panelling in the southern wall shows evidence of patching (by 1931 a third door was constructed in this wall; blocked up after 1982 and re-patched). Above the panelling is a large expanse of painted wall, with timber picture rails.

Part original timber skirting with areas of later patching and splicing.

The space has a decorative moulded plaster ceiling with ornate dentilated plaster cornice, surmounting a decorative plaster frieze.

The most striking feature of the room is the imposing speckled marble fireplace with marble bunded hearth. Internally tiled with original bevelled blue glazed tiles. The fireplace is of a monumental proportion and includes a marble mantle on marble buttresses.

There is an original brass and frosted glass central light fitting, along with four original fixed frosted glass orb light fittings. Numerous modern down lights.

# Condition & Modifications

The space is in excellent condition and is highly preserved.

Over time a number of alterations have occurred in the room, including;

- The addition of carved timber pediments over the doors and wallpaper sometime around c.1900-04
- · Addition of the north western most entrance door in the mid twentieth century
- Modifications to the ceiling for services including down lights and sprinklers in the 1980s
- · Modifications to door hardware

# **Significance**

The space is highly significant for its association with a long line of Premier's and Treasurer's and for its intact configuration, the range of original and intricate features, and its high level of integrity. Of particular significance are the carved timber elements throughout, the moulded ceiling and the imposing marble fireplace.

# Recommended Management

This space is highly significant as probably the most intact space within the former Treasury buildings, and should be preserved and conserved in the future. The *Schedule of Significant Elements* included in Appendix B of the CMP identifies and grades the significance levels of the individual elements within this space. Section 8 *Conservation Policies* of the CMP includes specific policies regarding the ongoing conservation and interpretation of this space. These policies include:

Policy 84 There should be no additional openings between the Original Treasury Building and the Link Building and/or the Western Wing building on any floors. The possible exception to this policy is reopening the two doorways between the Former Treasurer's Room and The Premier's Room on the first floor, which were created in c.1899 when the Link Building was constructed. The doors to these openings remain in situ in the Premier's Room and should be reused.

Policy 94 There should be no further modifications to S3.14 except to restore known missing elements including the early / original wallpaper finishes. There should be no partitioning of the space. All features including the fireplace, timber wall cladding and original light fittings should be retained and conserved to the highest extent feasible. Services (including lighting and internet associated services) should be sympathetic to the historic character of the space and should be reversible.

# Link Building "The Premier's Room", First Floor

Policy 95 The Premier's Room was previously serviced by a corridor which ran along the cortile. Sympathetic modifications to S3.15 and S3.16 are permissible with consideration for the altered nature of the spaces.

Policy 127 Interpretation of the site should incorporate in-situ retention of significant fabric, spaces and or elements, particularly where elements are associated with the significant former Treasury use. This includes the basement vault, Premier's Room and former Treasurer's Room. Creative uses for these spaces that encourages public access and use should be explored.

Policy 131 The Interpretation Strategy should consider and explore the historical themes outlined in this CMP at Section 3.7.

# Location Solve and the second state of the se

# Link Building "The Premier's Room", First Floor













# SPACE 3.14 Link Building "The Premier's Room", First Floor













# Strong Room Building, First Floor

### Description

Space 3.17 is the upper most floor within the former Strong Room building constructed in c.1896-97. All three levels of the Strong Room building have been substantially altered from their original configuration, however Space 3.17 on the first floor is the only level to retain its overall proportion and scale.

The space comprises contemporary carpet over combination of reinforced concrete slab and patches of remnant timber parquetry flooring.

The walls comprise rendered and painted sandstone.

There is a contemporary plasterboard ceiling with coffered profile supported on new concrete columns, contemporary light fittings, sprinklers, down lights and air conditioning ducts.

All of the external facing windows to the northern and eastern walls are timber framed multi-paned sash windows, with modern perspex sound proof screens attached.

Windows to the southern wall facing the arcade are steel framed.

# Condition & Modifications

The space is in generally good condition, albeit significantly modified.

The original configuration of the room when constructed included an open central circular void space between the ground and first floors, rendering the first floor to a gallery configuration. This void space has long since been infilled. All of the original columns have been replaced with contemporary concrete columns.

The northern and eastern walls are in generally original condition. The western and southern walls have been modified. The western wall once comprised four windows. However, as a result of the 1980's hotel redevelopment, these windows were removed and replaced with modern service doors connecting through to the new hotel building adjoining. The southern wall has been modified to include two sets of timber doors between Space 3.17 and Space 3.13.

# **Significance**

Space 3.17, whilst a modified space, is significant as the only level of the former Strong Room to retain its open spatial quality. A number of original features are intact including the timber framed windows to the northern and eastern walls, and the steel framed windows to the southern wall. The steel framed windows are of particular significance, being associated with the building's former original use as a Strong Room and the former Treasury use of the site.

# Recommended Management

Whilst modified, Space 3.17 should be retained and conserved for its open spatial quality and remnant Strong Room associations. The *Schedule of Significant Elements* included in Appendix B of the CMP identifies and grades the significance levels of the individual elements within this space. Section 8 *Conservation Policies* of the CMP includes specific policies regarding the ongoing conservation and interpretation of this space. These policies include:

Policy 86 The interior of the Strong Room building has been substantially altered, including infill of the original first floor gallery and structural modifications (removal of original columns and ceilings). Sympathetic further alterations are permissible with consideration for potential heritage impact, the extent of change, original use and configuration and the interpretation strategy.

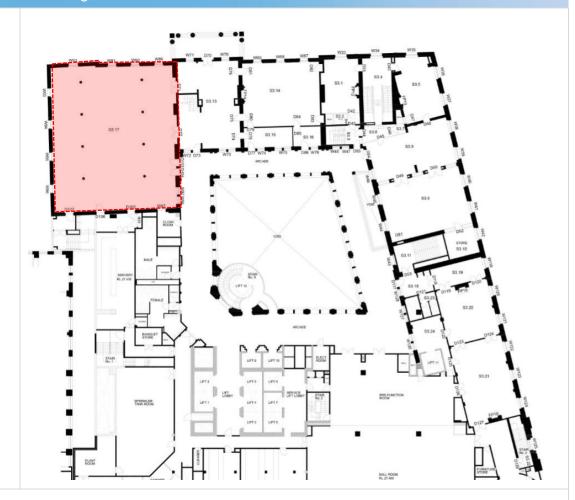
Policy 87 Remnant original parquetry flooring in S2.21 should be retained and conserved and should remain exposed to facilitate interpretation of the original Strong Room fabric.

Policy 88 Future major proposed works should seek to interpret the original internal configuration of the Strong Room on the ground and first floors.

Policy 89 The steel windows and doors to the Strong Room are directly associated with the original function of the building and should be conserved.

# SPACE 3.17 Strong Room Building, First Floor

# Location







# SPACE 3.17 Strong Room Building, First Floor













# The Cortile (Outside of the SHR Item Curtilage) Basement Level fabric and void space above

# Description

The cortile space is central internal courtyard space, bounded on the eastern and southern sides by colonnaded arcades from c.1899 and c.1919, and bounded on the northern and western sides by the 1980's arcade. It is located <u>outside of the SHR listing curtilage</u> for the item. An inventory sheet has been included given the direct interface the cortile has with the Colonnaded arcade to the rear of the Former Treasury Buildings.

The courtyard formerly housed yards and outbuildings associated with the Treasury. When the hotel redevelopment of the property was undertaken in the 1980s, the addition of two colonnaded arcades formed a central quadrangle space. This development followed the original intent of extending the Treasury buildings over time to form an internal quadrangle courtyard.

The central portion of the cortile comprises predominantly 1980s fabric, including a concrete substructure, marble tiles and carpeted flooring. A three-storey caged lift and elliptical staircase feature prominently within the north-western corner of the cortile. The caged lift was an early feature of the Western Wing building (albeit modified), having been removed to the cortile during 1980s hotel re-development works. The elliptical staircase is a reproduction of the original elliptical staircase.

A number of decorative elements within the cortile are reproductions and reference other features of the historic buildings, including four lion pedestals referencing the same to the Macquarie Street frontage, and a caged air conditioning vent referencing the caged detail of the lift. The cortile is roofed with a large domed steel and glazed structure. While this design references an early McRae drawing, the roof structure is of no heritage significance.

# Condition & Modifications

The cortile is in generally good condition. The cortile space itself is a later space created as a result of the 1980s' redevelopment of the site.

# Recommended Management

The cortile space itself is not historic. The cortile should remain unobstructed as a triple height void space, with no further construction to be undertaken within the space. This will allow for the continued interpretation and visual prominence of the Treasury's arcade. Intrusive and confusing elements within the cortile space should be removed or altered where possible to enhance the integrity of the space.

Policy 67 Changes to the cortile roof are possible, including modification and replacement, provided that the changes or replacement do not detract from the significance of the Former Treasury Buildings heritage item and that the heritage item's values can be visually appreciated and interpreted.

Policy 68 Any changes to the cortile roof should ensure that these changes enhance the open spatial qualities of the cortile space which directly interfaces with the Former Treasury Buildings.

Policy 99 Changes to the cortile space are possible subject to assessment and approval, including modification and replacement of fabric in line with its assessed significance outlined in this CMP, provided that the changes or replacements do not detract from the significance of the Former Treasury Buildings heritage item and that the heritage item's values can be visually appreciated and interpreted.

Policy 100 Any proposed changes to the cortile should ensure that these changes enhance the open spatial qualities of the cortile space which directly interfaces with the Former Treasury Buildings.

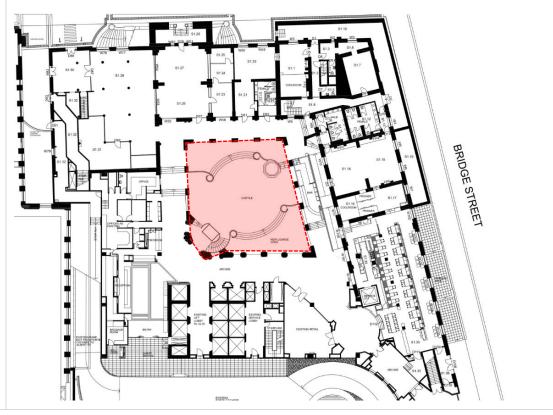
Policy 101 The elliptical stair and caged lift was originally located within a tower as part of the Western Wing, and was relocated to its existing location as part of the 1980s' hotel redevelopment of the site. Relocation of this stair and lift element may be considered subject to heritage assessment and approval. Consideration of alternative locations should include consideration of alternative location opportunities within the remaining Western Wing.

Policy 102 While the stair fabric is not original nor significant, the combination of the elliptical stair form with the caged lift was part of the original design intent of the Western Wing and therefore any relocation of the caged lift should preferably incorporate an elliptical stair. Consideration should be given to the original design of the stair. New work should be readily apparent as new work.

# The Cortile (Outside of the SHR Item Curtilage) Basement Level fabric and void space above

Policy 103 Decorative elements located within the basement level of the cortile space, including the lion pedestals and caged air conditioning vent, are later twentieth century elements which intended to replicate traditional details of the Former Treasury Buildings. These elements do not positively contribute to the setting of the Former Treasury Buildings and may be removed.

# Location











# The Cortile (Outside of the SHR Item Curtilage) Basement Level fabric and void space above









# APPENDIX D STANDARD EXEMPTIONS FOR STATE HERITAGE REGISTER LISTED SITES

# **HERITAGE INFORMATION SERIES**

# STANDARD EXEMPTIONS FOR WORKS REQUIRING HERITAGE COUNCIL APPROVAL



# DISCLAIMER

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# INTRODUCTION

In NSW important items of our environmental heritage are listed on the State Heritage Register. Any changes to those items should respect and retain those qualities and characteristics that make the heritage place special.

Any major works proposed for **State Heritage Register items** therefore need to be assessed and approved by the Heritage Council to ensure that the heritage significance of the item will not be adversely affected.

However, the assessment process can waste the time and resources of both the owner and the Heritage Council if the works are only minor in nature and will have minimal impact on the heritage significance of the place. The Heritage Act allows the Minister for Planning, on the recommendation of the Heritage Council, to grant exemptions for certain activities which would otherwise require approval under the NSW Heritage Act.

There are two types of exemptions which can apply to a heritage item listed on the State Heritage Register:

- standard exemptions for all items on the State Heritage Register. Typical activities that are exempted include building maintenance, minor repairs, alterations to certain interiors or areas and change of use.
- site specific exemptions for a particular heritage item can be approved by the Minister on the recommendation of the Heritage Council.

These guidelines have been prepared to inform owners and managers of heritage items listed on the State Heritage Register about the standard exemptions. They also explain how to develop site specific exemptions for a heritage item.

# The State Heritage Register

Heritage places and items of particular importance to the people of New South Wales are listed on the State Heritage Register. The Register was created in April 1999 by amendments to the *Heritage Act 1977*.

The key to listing on the State Heritage Register is the level of significance. Only those heritage items which are of **state significance in NSW** are listed on the State Heritage Register.

To check whether an item is listed on the register, check the online heritage database on the homepage of the Heritage Branch, Department of Planning:

### www.heritage.nsw.gov.au

This online database lists all statutorily protected items in NSW. It may be accessed from the homepage, via the Listings tab, then Heritage databases.

### WHY HAVE STANDARD EXEMPTIONS?

The standard exemptions apply to all items listed on the State Heritage Register. These exemptions came into force on 5 September, 2008. They replace all previous standard exemptions.

The current exemptions replace those gazetted on 4 April 2006 and as amended 28 April 2006. They relate to a broad range of minor development and will result in a more streamlined approval process.

The purpose of the standard exemptions is to clarify for owners, the Heritage Branch and local councils what kind of maintenance and minor works can be undertaken without needing Heritage Council approval. This ensures that owners are not required to make unnecessary applications for minor maintenance and repair.

The Heritage Council has prepared guidelines to help owners and managers to interpret and apply the standard exemptions. Those guidelines were first published in 2004 and have been incorporated into this document.

# HOW WILL EXEMPTIONS ALREADY IN PLACE BE AFFECTED BY THE NEW STANDARD EXEMPTIONS?

- Standard Exemptions: The new standard exemptions replace all existing standard exemptions.
- Site Specific Exemptions: Some heritage items have site specific exemptions for works other than those in the standard list. Site specific exemptions will continue to remain in force.

# WHAT OTHER APPROVALS ARE NECESSARY TO DO WORK ON A HERITAGE ITEM?

The exemptions only reduce the need to obtain approval from the Heritage Council, under section 60 of the Heritage Act, to carry out works to a heritage item listed on the State Heritage Register. You should check with your local council for information on additional development and building approvals, and with the Heritage Branch for other approvals which may be required under the Heritage Act, such as an Excavation Permit.

# HOW TO RELATE THE STANDARD EXEMPTION CLAUSES TO YOUR HERITAGE ITEM

The standard exemption clauses can be grouped under two headings:

- maintenance and repairs;
- alterations.

Clauses have been kept as concise as possible to avoid ambiguities. The terminology used is consistent with the Australia ICOMOS Burra Charter. Australia ICOMOS is the Australian Chapter of International Council on Monuments and Sites, a UNESCO-affiliated international organisation of conservation specialists. The Burra Charter is a nationally accepted standard for assessing and managing change to heritage items.

Before you develop firm proposals for changes to the heritage item, take the following actions:

- [ 1.] Check the boundaries of the item to which the State Heritage Register listing applies;
- [ 2.] Check the exemptions which apply to your heritage item:
- [ 3.] Read these explanatory notes to ensure that the work you propose is exempted, and check if prior Heritage Council notification and endorsement is required before the works are commenced;
- [ 4.] If the work is not exempted, apply to the Heritage Council for approval under section 60 of the Heritage Act;
- [ 5.] Check with the local council concerning other approvals that may be required;
- [ 6.] Check with the Heritage Branch if the work you propose involves the disturbance of relics more than 50 years old.

# SCHEDULE OF STANDARD EXEMPTIONS

**HERITAGE ACT, 1977** 

NOTICE OF ORDER UNDER SECTION 57(2) OF THE HERITAGE ACT, 1977

I, the Minister for Planning, pursuant to subsection 57(2) of the Heritage Act 1977, on the recommendation of the Heritage Council of New South Wales, do by this Order:

- revoke the Schedule of Exemptions to subsection 57(1) of the Heritage Act made under subsection 57(2) and published in the Government Gazette on 22 February 2008; and
- grant standard exemptions from subsection 57(1) of the Heritage Act 1977, described in the Schedule attached.

FRANK SARTOR Minister for Planning Sydney, 11 July 2008

# SCHEDULE OF EXEMPTIONS TO SUBSECTION 57(1) OF THE

### **HERITAGE ACT 1977**

# MADE UNDER SUBSECTION 57(2)

# **GENERAL CONDITIONS**

- 1. These general conditions apply to all of the following Exemptions.
- 2. Anything done pursuant to the following Exemptions must be carried out in accordance with relevant Guidelines issued by the Heritage Branch including "The Maintenance of Heritage Assets: A Practical Guide" 1998, "Movable Heritage Principles" 2000 and "The Heritage Council Policy on Managing Change to Heritage Items".
- The following Standard Exemptions do not apply to anything affecting objects, places, items or sites of heritage significance to Aboriginal people or which affect traditional access by Aboriginal people.
- 4. The Director, and Managers employed by the Heritage Branch,Department of Planning; the Executive Director, Tenant and Asset
  Management Services, employed by the Sydney Harbour Foreshore
  Authority; the Executive Director Culture & Heritage employed by the
  Department of Environment and Climate Change and the General
  Manager, Sustainability employed by the Sydney Water Corporation
  may perform any of the functions of the Director-General of the
  Department of Planning (Director-General) under these exemptions.

The authorisation to the Executive Director, Tenant and Asset Management Services of the Sydney Harbour Foreshore Authority is restricted to land for which it is the delegated approval body under section 169 of the Heritage Act, and the preparation and submission of information required to demonstrate that compliance with the criteria contained in these exemptions is satisfied, must not be carried out by the Executive Director, Tenant and Asset Management Services.

The authorisation to the Executive Director Culture & Heritage of the Department of Environment and Climate Change is restricted to land for which it is the delegated approval body under section 169 of the Heritage Act, and the preparation and submission of information required to demonstrate that compliance with the criteria contained in these exemptions is satisfied, must not be carried out by the Executive Director Culture & Heritage.

The authorisation to the General Manager, Sustainability employed by the Sydney Water Corporation is restricted to land for which it is the delegated approval body under section 169 of the Heritage Act, and the preparation and submission of information required to demonstrate that compliance with the criteria contained in these exemptions is

- satisfied, must not be carried out by the General Manager, Sustainability.
- In these Exemptions, words shall be given the same meaning as in the Heritage Act 1977 ("the Act") unless the contrary intention appears from the context of the exemption.
- Anything done pursuant to the following Exemptions must be specified, supervised and carried out by people with knowledge, skills and experience appropriate to the work.

# Guidelines

In addition to the above guidelines listed in paragraph two, the Heritage Council adopted further guidelines on 7 April 2004 (revised 2009) for use in interpreting and applying the standard exemptions.

If it is unclear whether proposed development satisfies the requirements of these exemptions, an application will be required under section 60 of the Heritage Act.

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### STANDARD EXEMPTION 1: MAINTENANCE AND CLEANING

- The following maintenance and cleaning does not require approval under subsection 57(1) of the Act:
  - the maintenance of an item to retain its condition or operation without the removal of or damage to the existing fabric or the introduction of new materials;
  - (b) cleaning including the removal of surface deposits, organic growths or graffiti by the use of low pressure water (less than 100 psi at the surface being cleaned) and neutral detergents and mild brushing and scrubbing.
- NOTE 1: Traditional finishes such as oils and waxes must continue to be used for timber surfaces rather than modern alternative protective coatings such as polyurethane or acrylic which may seal the surface and can cause damage.
- NOTE 2: Surface patina which has developed on the fabric may be an important part of the item's significance and if so needs to be preserved during maintenance and cleaning.

# Guidelines

Maintenance is distinguished from repairs, restoration and reconstruction as it does not involve the removal of or damage to existing fabric or the introduction of new materials. It is a continuing process of protective care. Typical maintenance activity includes:

- the removal of vegetation and litter from gutters and drainage systems;
- resecuring and tightening fixings of loose elements of building fabric;
- Iubricating equipment and services which have moving parts;
- the application of protective coatings such as limewash, polish, oils and waxes to surfaces which have previously had such coatings applied; and
- cleaning by the removal of surface deposits using methods other than aggressive mechanical or chemical techniques such as high pressure, high temperature or strong solvents which may affect the substrate.

This standard exemption applies to the maintenance of all types of heritage items including buildings, works, landscapes, cemeteries and movable heritage. Reference should be made to other relevant standard exemptions (#12. 14 and 17) for particular types of items.

### STANDARD EXEMPTION 2: REPAIRS

- 1. 1. Repair to an item which is of the type described in (a) or (b) below does not require approval under subsection 57(1) of the Act:
  - (a) the replacement of services such as cabling, plumbing, wiring and fire services that uses existing service routes, cavities or voids or replaces existing surface mounted services and does not involve damage to or the removal of significant fabric;
  - (b) the repair (such as refixing and patching) or the replacement of missing, damaged or deteriorated fabric that is beyond further maintenance, which matches the existing fabric in appearance, material and method of affixing and does not involve damage to or the removal of significant fabric.
- NOTE 1: Repairs must be based on the principle of doing as little as possible and only as much as is necessary to retain and protect the element.

  Therefore replacement must only occur as a last resort where the major part of an element has decayed beyond further maintenance.
- NOTE 2: Any new materials used for repair must not exacerbate the decay of existing fabric due to chemical incompatibility, obscure existing fabric or limit access to existing fabric for future maintenance.
- NOTE 3: Repair must maximise protection and retention of fabric and include the conservation of existing detailing, such as vents, capping, chimneys, carving, decoration or glazing.

# Guidelines

This standard exemption is not intended to allow the cumulative replacement of large amounts or a high proportion of the fabric of an item. If replacement of large amounts of fabric is necessary, an application will be required to be submitted under s. 60 of the Heritage Act. If there is uncertainty about whether the proposed extent of repair is exempt from approval, advice should be sought from the Heritage Branch, Department of Planning.

Repairs should have detailed specifications and carried out by licensed tradespeople with experience in the conservation of heritage buildings. It is essential that the composition of elements of the fabric such renders, mortars, timber species and metal types remain the same to assist with matching appearance and avoiding chemical incompatibility.

Repair may involve reconstruction which means returning an item to a known earlier state. This may involve the use of new or recycled materials.

Reconstruction must satisfy a four-part test to qualify for exemption from approval:

- The nature of the earlier state being reconstructed must be known.
   Where there is conjecture about the earlier state of the fabric or
   where it is proposed to change the appearance, material or method
   of fixing of the fabric an application under s.60 of the Heritage Act
   will be required.
- 2. The replacement fabric must be matching in appearance and method of fixing. The use of salvaged or recycled fabric can be a valuable resource in matching appearance in preference to the use of new fabric which may appear obtrusive. However the damage to other heritage buildings by the salvaging of fabric for reuse is unacceptable. Salvaged materials must be judiciously sourced so as not to encourage secondary damage to other heritage resources. The use of artificial ageing techniques to assist the matching of new with original fabric is only advocated where there is an obtrusive mismatch of materials which negatively impacts on the heritage significance of the item. Ideally, new and original fabric should be subtly discernable on close examination to assist interpretation of the history of change to the building.
- 3. The fabric being replaced must be beyond further maintenance. The replacement of fabric may only occur where fabric is missing or it is so damaged or deteriorated that it is beyond further maintenance. In many cases the judgement about the level of deterioration and the effectiveness of further maintenance will require the advice of a person who is suitably experienced in similar heritage conservation projects. If it is unclear that the fabric is beyond further maintenance, its replacement will require the submission of an application under s. 60 of the Heritage Act.
- 4. Significant fabric must not be damaged or removed. In all cases of repair, the damage or removal of significant fabric is not permitted without approval. Significant fabric is that which contributes to the heritage significance of the item. The identification of the level of significance of fabric will usually require the advice of a person who is suitably experienced in similar heritage conservation projects. The damage or removal of significant fabric will require the submission of an application under s. 60 of the Heritage Act.

New material used in repairs should where possible be date stamped in a location which is not conspicuous but is legible on close examination. Archival recording of removed and replacement fabric is advocated and should be used in interpretive displays where practicable.

# STANDARD EXEMPTION 3: PAINTING

- Painting does not require approval under subsection 57(1) of the Act if the painting:
  - (a) does not involve the disturbance or removal of earlier paint layers other than that which has failed by chalking, flaking, peeling or blistering;
  - involves over-coating with an appropriate surface as an isolating layer to provide a means of protection for significant earlier layers or to provide a stable basis for repainting; and
  - (c) employs the same colour scheme and paint type as an earlier scheme if they are appropriate to the substrate and do not endanger the survival of earlier paint layers.
- Painting which employs a different colour scheme and paint type from an earlier scheme does not require approval under subsection 57(1) of the Act, provided that:
  - (a) the Director-General is satisfied that the proposed colour scheme, paint type, details of surface preparation and paint removal will not adversely affect the heritage significance of the item; and
  - (b) the person proposing to undertake the painting has received a notice advising that the Director-General is satisfied.
- 3. A person proposing to undertake repainting of the kind described in paragraph 2 must write to the Director-General and describe the proposed colour scheme, paint type, details of surface preparation and paint removal involved in the repainting. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 2(a) the Director-General shall notify the applicant.

NOTE: Preference should be given to the re-establishment of historically significant paint schemes of the item that are appropriate to the significance of the building.

### Guidelines

Painting of surfaces which have not previously been painted such as face brickwork, stone, concrete or galvanised iron is likely to adversely affect the heritage significance of the item and is not exempt from approval under this standard exemption. Likewise, the stripping of paint coatings which were intended to be protective may expose the substrate to damage and cause the loss of the historical record and significance of the building. In cases where surface preparation has revealed significant historic paint layers, repainting should facilitate the interpretation of the evolution of the building by displaying appropriately located sample patches of historic paint schemes. This

information should also be examined if it is proposed to recreate earlier finishes or paint schemes.

Paint removal of failed layers to achieve a stable base for repainting is exempt from approval but intervention should be minimised to avoid the loss of the significant historical record. Where old paint layers are sound they should be left undisturbed. The removal of paint with a high content of lead or other hazardous materials requires considerable care and use of experienced tradespeople as its disturbance can create health hazards. If the removal of such paint layers will adversely affect the heritage significance of the item, an application will be required under section 60 of the Heritage Act.

Reference should be made to The Maintenance Series, NSW Heritage Branch, particularly Information Sheets 6.2 Removing Paint from Old Buildings, 7.2 Paint Finishes and 7.3 Basic Limewash which are available online at www.heritage.nsw.gov.au.

# STANDARD EXEMPTION 4: EXCAVATION

- Excavation or disturbance of land of the kind specified below does not require approval under subsection 57(1) of the Act, provided that the Director-General is satisfied that the criteria in (a), (b) or (c) have been met and the person proposing to undertake the excavation or disturbance of land has received a notice advising that the Director-General is satisfied that:
  - (a) an archaeological assessment, zoning plan or management plan has been prepared in accordance with Guidelines published by the Heritage Council of NSW which indicates that any relics in the land are unlikely to have State or local heritage significance; or
  - (b) the excavation or disturbance of land will have a minor impact on archaeological relics including the testing of land to verify the existence of relics without destroying or removing them; or
  - (c) a statement describing the proposed excavation demonstrates that evidence relating to the history or nature of the site, such as its level of disturbance, indicates that the site has little or no archaeological research potential.
- Excavation or disturbance of land of the kind specified below does not require approval under subsection 57(1) of the Act:
  - (a) the excavation or disturbance of land is for the purpose of exposing underground utility services infrastructure which occurs within an existing service trench and will not affect any other relics;
  - (b) the excavation or disturbance of land is to carry out inspections or emergency maintenance or repair on underground utility services and due care is taken to avoid effects on any other relics;
  - the excavation or disturbance of land is to maintain, repair, or replace underground utility services to buildings which will not affect any other relics;
  - (d) the excavation or disturbance of land is to maintain or repair the foundations of an existing building which will not affect any associated relics:
  - (e) the excavation or disturbance of land is to expose survey marks for use in conducting a land survey
- 3. A person proposing to excavate or disturb land in the manner described in paragraph 1 must write to the Director-General and describe the proposed excavation or disturbance of land and set out why it satisfies the criteria set out in paragraph 1. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 1 (a), (b) or (c) the Director-General shall notify the applicant.

- NOTE 1: Any excavation with the potential to affect Aboriginal objects must be referred to the Director-General of the Department of Environment and Climate Change.
- NOTE 2: If any Aboriginal objects are discovered on the site, excavation or disturbance is to cease and the Department of Environment and Climate Change is to be informed in accordance with section 91 of the National Parks and Wildlife Act, 1974.
- NOTE 3: This exemption does not allow the removal of State significant relics.
- NOTE 4: Where substantial intact archaeological relics of State or local significance, not identified in the archaeological assessment, zoning plan, management plan or statement required by this exemption, are unexpectedly discovered during excavation, work must cease in the affected area and the Heritage Council must be notified in writing in accordance with section 146 of the Act. Depending on the nature of the discovery, additional assessment and possibly an excavation permit may be required prior to the recommencement of excavation in the affected area.
- NOTE 5: Archaeological research potential of a site is the extent to which further study of relics which are likely to be found is expected to contribute to improved knowledge about NSW history which is not demonstrated by other sites or archaeological resources.

# STANDARD EXEMPTION 5: RESTORATION

- Restoration of an item by returning significant fabric to a known earlier location without the introduction of new material does not require approval under subsection 57(1) of the Act.
- The following restoration does not require approval under subsection 57(1) of the Act, provided that the Director-General is satisfied that the criteria in (a) have been met and the person proposing to undertake the restoration has received a notice advising that the Director-General is satisfied:
  - (a) the restoration of an item without the introduction of new material (except for fixings) to reveal a known earlier configuration by removing accretions or reassembling existing components which does not adversely affect the heritage significance of the item.
- 3. A person proposing to undertake restoration of the kind described in paragraph 2 must write to the Director-General and set out why there is a need for restoration to be undertaken and the proposed material and method of restoration. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 2(a), the Director-General shall notify the applicant.

### Guidelines

Restoration in accordance with clause 1 of this standard exemption does not involve the removal of fabric and only relates to the return of fabric which has been removed to storage or has been dislodged from its original location.

# STANDARD EXEMPTION 6: DEVELOPMENT ENDORSED BY THE HERITAGE COUNCIL OR DIRECTOR-GENERAL

- Minor development specifically identified as exempt development which
  does not materially impact on heritage significance, by a conservation
  policy or strategy within a conservation management plan which has
  been endorsed by the Heritage Council of NSW or by a conservation
  management strategy endorsed by the Director-General does not
  require approval under subsection 57(1) of the Act.
- A person proposing to do anything of the kind described in paragraph 1
  must write to the Director-General and describe the proposed
  development. If the Director-General is satisfied that the proposed
  development meets the criteria set out in paragraph 1, the DirectorGeneral shall notify the applicant.

# Guidelines

This standard exemption does not exempt development that is consistent with a conservation policy or strategy contained in an endorsed conservation management plan or interim conservation management strategy other than development that is specifically identified as exempt development in that conservation plan or strategy.

# STANDARD EXEMPTION 7: MINOR ACTIVITIES WITH LITTLE OR NO ADVERSE IMPACT ON HERITAGE SIGNIFICANCE

- Anything which in the opinion of the Director-General is of a minor nature and will have little or no adverse impact on the heritage significance of the item does not require approval under subsection 57(1) of the Act.
- A person proposing to do anything of the kind described in paragraph 1
  must write to the Director-General and describe the proposed activity. If
  the Director-General is satisfied that the proposed activity meets the
  criteria set out in paragraph 1, the Director-General shall notify the
  applicant.

### Guidelines

This standard exemption has the potential to relate to a wide range of minor development. In determining whether a proposed development is minor the Director may have regard to the context of the particular heritage item such as its size and setting. For instance a development may be considered to be minor in the context of Prospect Reservoir's 1200ha curtilage whereas a similar proposal affecting an item on a smaller site may not be considered to be minor.

In order to assess whether a proposal has an adverse affect on heritage significance it is necessary to submit a clear and concise statement of the item's heritage significance and an assessment of whether a proposal impacts on that significance.

# STANDARD EXEMPTION 8: NON-SIGNIFICANT FABRIC

- The following development does not require approval under subsection 57(1) of the Act, provided that the Director-General is satisfied that the criteria in (a) have been met and the person proposing to undertake the development has received a notice advising that the Director-General is satisfied:
  - (a) the alteration of a building involving the construction or installation of new fabric or services or the removal of building fabric which will not adversely affect the heritage significance of the item.
- A person proposing to do anything of the kind described in paragraph 1
  must write to the Director-General and describe the proposed
  development. If the Director-General is satisfied that the proposed
  development meets the criteria set out in paragraph 1(a), the DirectorGeneral shall notify the applicant.

### Guidelines

In order to assess the level of significance of fabric it is necessary to submit a clear and concise statement of the item's heritage significance and to grade the fabric of the place in accordance with its association with or impact on that significance. It may not always be concluded that more recent fabric is of less or no heritage significance.

# STANDARD EXEMPTION 9: CHANGE OF USE

- The change of use of an item or its curtilage or the commencement of an additional or temporary use does not require approval under subsection 57(1) of the Act, provided that the Director-General is satisfied that the criteria in (a) and (b) have been met and the person proposing to undertake the change of use has received a notice advising that the Director-General is satisfied:
  - (a) the use does not involve the alteration of the fabric, layout or setting of the item or the carrying out of development other than that permitted by other standard or site specific exemptions; and
  - (b) the use does not involve the cessation of the primary use for which the building was erected, a later significant use or the loss of significant associations with the item by current users:
- A person proposing to change the use of an item or its curtilage or to commence an additional or temporary use of an item or its curtilage in the manner described in paragraph 1 must write to the Director-General and describe the changes proposed. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 1(a) and (b), the Director-General shall notify the applicant.

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# Guidelines

For the purposes of this standard exemption any change of use which is inconsistent with specific conditions of any previous approval or consent such as hours of operation or nature of conduct of an activity requires approval under section 57(1) or the modification of an approval under section 65A of the Heritage Act.

# STANDARD EXEMPTION 10: NEW BUILDINGS

- Subdivision under the Strata Scheme (Freehold Development) Act or Strata Scheme (Leasehold Development) Act of the interior of a building that has been constructed since the listing of the item on the State Heritage Register or the publication of an interim heritage order in the Gazette which applies to the land does not require approval under subsection 57(1) of the Act.
- Alteration to the interior of a building which has been constructed since the listing of the item on the State Heritage Register or the publication of an interim heritage order in the Gazette which applies to the land does not require approval under subsection 57(1) of the Act.

### Guidelines

Subdivision to which clause 1 of this standard exemption applies must not subdivide the curtilage of the exterior of a building other than approved car spaces. A strata plan which otherwise proposes the subdivision of the curtilage of a heritage item requires approval under section 57(1) of the Heritage Act.

For the purposes of clause 2 of this standard exemption, alterations to the interior of a building:

- do not include internal alterations to additions to buildings which existed prior to the listing of the site on the State Heritage Register or publication of the interim heritage order;
- must not affect the external appearance of the building such as by balcony enclosure or window screening; and
- must not be inconsistent with any specific conditions of a previous approval.

Such alterations require approval under section 57(1) of the Heritage Act.

# STANDARD EXEMPTION 11: TEMPORARY STRUCTURES

- The erection of temporary structures does not require approval under subsection 57(1) of the Act, provided that the Director-General is satisfied that the criteria in (a) and (b) have been met and the person proposing to erect the structure has received a notice advising that the Director-General is satisfied:
  - (a) the structure will be erected within and used for a maximum period of 4 weeks after which it will be removed within a period of 2 days and not erected again within a period of 6 months; and
  - (b) the structure is not to be located where it could damage or endanger significant fabric including landscape or archaeological features of its curtilage or obstruct significant views of and from heritage items.
- 2. A person proposing to erect a structure of the kind described in paragraph 1 must write to the Director-General and set out the nature of the structure, the use for the structure and how long it will remain in place and the next occasion on which it is anticipated that the structure will be erected. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraphs 1(a) and 1(b) the Director-General shall notify the applicant.

### Guidelines

The cumulative impact of the multiple use of this standard exemption will be considered by the Director in the assessment of the simultaneous construction of a number of temporary structures or a succession of temporary structures which may have a prolonged adverse impact on heritage significance of the item.

# STANDARD EXEMPTION 12: LANDSCAPE MAINTENANCE

- Landscape maintenance which is of the type described below does not require approval under subsection 57(1) of the Act:
  - (a) weeding, watering, mowing, top-dressing, pest control and fertilizing necessary for the continued health of plants, without damage or major alterations to layout, contours, plant species or other significant landscape features;
  - (b) pruning (to control size, improve shape, flowering or fruiting and the removal of diseased, dead or dangerous material), not exceeding 10% of the canopy of a tree within a period of 2 years:
  - (c) pruning (to control size, improve shape, flowering or fruiting and the removal of diseased, dead or dangerous material) between 10% and 30% of the canopy of a tree within a period of 2 years;
  - (d) removal of dead or dying trees which are to be replaced by trees of the same species in the same location; or
  - (e) tree surgery by a qualified arborist, horticulturist or tree surgeon necessary for the health of those plants.
- 2. A person proposing to undertake landscape maintenance in the manner described in paragraph 1(b) 1(c) or 1(d) must write to the Director-General and describe the maintenance proposed and provide certification by a qualified or experienced arborist, horticulturist or tree surgeon that the maintenance is necessary for the tree's health or for public safety. If the Director-General is satisfied that the proposed maintenance meets these criteria, the Director-General shall notify the applicant.
- NOTE 1: In relation to cemeteries, landscape features include monuments, grave markers, grave surrounds, fencing, path edging and the like.
- NOTE 2: Other standard exemptions may apply to landscape maintenance such as #4 Excavation and #6 Development endorsed by the Heritage Council; and #7 Minor works with no adverse heritage impact.

#### Guidelines

Landscape features and gardens can be of heritage significance in their own right. They are often vital to the curtilage of a heritage item and fundamental to the setting of other (eg; built or archaeological) heritage items and important to the appreciation of their heritage significance. Landscape setting is by its nature evolving and often requires more regular maintenance than other elements of heritage fabric. Horticultural advice may be required to ensure a regime of maintenance appropriate to the retention of the heritage significance of a place.

General advice about landscape maintenance is provided by The Maintenance of Heritage Assets: A Practical Guide Information Sheet 9.1 Heritage Gardens and Grounds, printed versions available from the Heritage Branch, Department of Planning.

General advice about heritage gardens is also available on the Heritage

Branch website at: <a href="http://www.heritage.nsw.gov.au/06\_subnav\_10.htm">http://www.heritage.nsw.gov.au/06\_subnav\_10.htm</a>
and at: <a href="http://www.gardenhistorysociety.org.au">www.gardenhistorysociety.org.au</a>.

#### STANDARD EXEMPTION 13: SIGNAGE

- The erection of signage which is of the types described in (a) or (b) below does not require approval under subsection 57(1) of the Act:
  - temporary signage which is located behind or on the glass surface of a shop window which is not internally illuminated or flashing and is to be removed within eight weeks; or
  - (b) a real estate sign indicating that the place is for auction, sale or letting and related particulars and which is removed within 10 days of the sale or letting of the place;
- 2. The erection of signage which is of the types described in (a) or (b) below does not require approval under subsection 57(1) of the Act, provided that the Director-General is satisfied that the criteria in (a) and (b) respectively have been met and the person proposing to erect it has received a notice advising that the Director-General is satisfied:
  - (a) the erection of non-illuminated signage for the sole purpose of providing information to assist in the interpretation of the heritage significance of the item and which will not adversely affect significant fabric including landscape or archaeological features of its curtilage or obstruct significant views of and from heritage items; or
  - (b) signage which is in the form of a flag or banner associated with a building used for a purpose which requires such form of promotion such as a theatre or gallery, which is displayed for a maximum period of eight weeks and which will not adversely affect significant fabric including landscape or archaeological features of its curtilage;
- 3. A person proposing to erect signage of the kind described in paragraph 2 must write to the Director-General and describe the nature and purpose of the advertising or signage. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 2(a) or 2(b), the Director-General shall notify the applicant.
- 4. Signage of the kind described in paragraphs 1 and 2 must:
  - (a) not conceal or involve the removal of signage which has an integral relationship with the significance of the item;
  - (b) be located and be of a suitable size so as not to obscure or damage significant fabric of the item;
  - be able to be later removed without causing damage to the significant fabric of the item; and
  - (d) reuse existing fixing points or insert fixings within existing joints without damage to adjacent masonry.

#### Guidelines

In addition to the requirements of clause 4 of the standard exemptions, signage may be controlled by development control plans or signage policies prepared by the relevant local council. The operation of the standard exemptions do not affect the requirements for consent by local councils or the need to satisfy any signage policies which may have been adopted by them.

Additional forms of signage not addressed by this standard exemption may not require approval under section 57(1) of the Heritage Act if they satisfy the requirements of other standard exemptions such as Standard Exemption 7 (Minor Activities with no Adverse Impact on Heritage Significance) or Standard Exemption 8 (Non-significant Fabric).

Signage in accordance with clause 2(a) of the standard exemption for the purpose of assisting the interpretation of heritage significance:

- requires approval under section 57(1) of the Heritage Act if additional information is provided which is unrelated to heritage interpretation such as commercial promotion or sponsorship; and
- must be in accordance with Interpreting Heritage Places and Items published by the Heritage Council and available online.

### STANDARD EXEMPTION 14: BURIAL SITES AND CEMETERIES

- Development on land within a burial site or cemetery which is of the type described in (a), (b) or (c) below does not require approval under subsection 57(1) of the Act:
  - (a) the creation of a new grave;
  - (b) the erection of monuments or grave markers in a place of consistent character, including materials, size and form, which will not be in conflict with the character of the place; or
  - (c) an excavation or disturbance of land for the purpose of carrying out conservation or repair of monuments or grave markers:

provided that there will be no disturbance to human remains, to relics in the form of grave goods, associated landscape features or to a place of Aboriginal heritage significance.

- A person proposing to carry out development in the manner described in paragraph 1(b) or (c) must write to the Director-General and describe the development proposed. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 1, the Director-General shall notify the applicant.
- This exemption does not apply to the erection of above-ground chambers, columbaria or vaults, or the designation of additional areas to be used as a burial place.

NOTE 1: Other standard exemptions apply to the maintenance, cleaning and repair of burial sites and cemeteries.

#### Guidelines

In addition to burial remains and artefacts, above ground cemetery elements may include headstones, footstones and other burial markers or monuments and associated elements such as grave kerbing, iron grave railings, grave furniture, enclosures and plantings. It is important that cemeteries listed on the State Heritage Register have a conservation policy or conservation management plan endorsed by the Heritage Council and that it records the history and significant fabric of the place with policies for conservation, relocation and the erection of new monuments and grave markers.

Additional advice about the management of heritage cemeteries is provided in:

- Cemeteries: Guidelines for their Care and Conservation, Heritage Council of NSW and Department of Planning, 1992;
- Skeletal Remains, NSW Heritage Council, 1998;
- Guidelines for Cemetery Conservation, National Trust of Australia (NSW), 2002.

## STANDARD EXEMPTION 15: COMPLIANCE WITH MINIMUM STANDARDS AND ORDERS

- Development which is required for the purpose of compliance with the minimum standards set out in Part 3 of the Heritage Regulation 1999 or an order issued under either:
  - (a) section 120 of the *Heritage Act 1977* regarding minimum standards of maintenance and repair; or
  - (b) section 121S of the Environmental Planning and Assessment Act 1979 regarding an order which is consistent with a submission by the Heritage Council under subsection 121S(6) of that Act;

does not require approval under subsection 57(1) of the Act.

#### Guidelines

This standard exemption is intended to facilitate and expedite compliance with orders and minimum standards of maintenance and repair.

The Minimum Standards of Maintenance and Repair replaced the "wilful neglect" provisions of the Heritage Act in 1999. The minimum standards are contained in Part 3 of the Heritage Regulation 2005 and are reproduced in the Heritage Information Series published by the Heritage Branch, Department of Planning. The minimum standards only apply to items listed on the State Heritage Register and relate to:

- weather protection;
- · fire prevention and protection;
- security; and
- essential maintenance and repair to prevent serious or irreparable damage.

Maintenance and repair which exceed the minimum standards in the Regulation may be exempt from approval under other standard exemptions (refer to #1 and #2).

Orders under s.121S(6) of the EP&A Act are those given by a council or other consent authority in relation to an item listed on the State Heritage Register, land to which an interim heritage order applies or a heritage item listed under an environmental planning instrument. Orders must not be given in relation to items listed on the State Heritage Register or land to which an interim heritage order relates unless the consent authority has given notice of it to the Heritage Council and considered any submission made by it.

#### STANDARD EXEMPTION 16: SAFETY AND SECURITY

- The following development does not require approval under subsection 57(1) of the Act, provided that the Director-General is satisfied that the criteria in (a) or (b) have been met and the person proposing to undertake the development has received a notice advising that the Director-General is satisfied:
  - (a) the erection of temporary security fencing, scaffolding, hoardings or surveillance systems to prevent unauthorised access or secure public safety which will not adversely affect significant fabric of the item including landscape or archaeological features of its curtilage; or
  - (b) development, including emergency stabilisation, necessary to secure safety where a building or work or part of a building or work has been irreparably damaged or destabilised and poses a safety risk to its users or the public.
- A person proposing to undertake development of the kind described in paragraph 1 must write to the Director-General and describe the development and, if it is of the kind set out in 1(b), provide certification from a structural engineer having experience with heritage items confirming the necessity for the development with regard to the criteria set out in 1(b) and any adverse impact on significant fabric. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 1(a) or (b), the Director-General shall notify the applicant.

#### Guidelines

Development exempt under this standard exemption must be for the temporary or emergency securing of safety for users or the public. Permanent upgrading of site or building security may be exempt under other standard exemptions such as #7 (Minor Activities with little or no Adverse Impact on Heritage Significance) or #8 (Non-significant Fabric). Development described in 1(b) of this exemption is intended to apply in circumstances where there has been damage caused by a sudden change in circumstances of the building such as a catastrophic event, rather than safety risks which may arise from ongoing neglect of maintenance.

Emergency maintenance and repairs such as required following a storm event may be exempt under other standard exemptions such as #1 (Maintenance and Cleaning) and #2 (Repairs). More intrusive means of upgrading security which may damage significant fabric will require the submission of an application under section 60 of the Heritage Act.

Development in accordance with this exemption must be undertaken with minimal intervention to significant fabric.

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  - (b) development, including emergency stabilisation, necessary to secure safety where a building or work or part of a building or work has been irreparably damaged or destabilised and poses a safety risk to its users or the public.
- 2. A person proposing to undertake development of the kind described in paragraph 1 must write to the Director-General and describe the development and, if it is of the kind set out in 1(b), provide certification from a structural engineer having experience with heritage items confirming the necessity for the development with regard to the criteria set out in 1(b) and any adverse impact on significant fabric. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 1(a) or (b), the Director-General shall notify the applicant.

#### Guidelines

Development exempt under this standard exemption must be for the temporary or emergency securing of safety for users or the public. Permanent upgrading of site or building security may be exempt under other standard exemptions such as #7 (Minor Activities with little or no Adverse Impact on Heritage Significance) or #8 (Non-significant Fabric). Development described in 1(b) of this exemption is intended to apply in circumstances where there has been damage caused by a sudden change in circumstances of the building such as a catastrophic event, rather than safety risks which may arise from ongoing neglect of maintenance.

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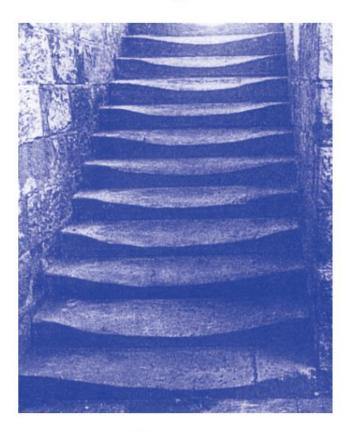
Development in accordance with this exemption must be undertaken with minimal intervention to significant fabric.

# APPENDIX E THE BURRA CHARTER

# THE BURRA CHARTER

The Australia ICOMOS Charter for Places of Cultural Significance

2013





Australia ICOMOS Incorporated International Council on Monuments and Sites

#### ICOMOS

ICOMOS (International Council on Monuments and Sites) is a non-governmental professional organisation formed in 1965, with headquarters in Paris. ICOMOS is primarily concerned with the philosophy, terminology, methodology and techniques of cultural heritage conservation. It is closely linked to UNESCO, particularly in its role under the World Heritage Convention 1972 as UNESCO's principal adviser on cultural matters related to World Heritage. The 11,000 members of ICOMOS include architects, town planners, demographers, archaeologists, geographers, historians, conservators, anthropologists, scientists, engineers and heritage administrators. Members in the 103 countries belonging to ICOMOS are formed into National Committees and participate in a range of conservation projects, research work, intercultural exchanges and cooperative activities. ICOMOS also has 27 International Scientific Committees that focus on particular aspects of the conservation field. ICOMOS members meet triennially in a General Assembly.

#### Australia ICOMOS

The Australian National Committee of ICOMOS (Australia ICOMOS) was formed in 1976. It elects an Executive Committee of 15 members, which is responsible for carrying out national programs and participating in decisions of ICOMOS as an international organisation. It provides expert advice as required by ICOMOS, especially in its relationship with the World Heritage Committee. Australia ICOMOS acts as a national and international link between public authorities, institutions and individuals involved in the study and conservation of all places of cultural significance. Australia ICOMOS members participate in a range of conservation activities including site visits, training, conferences and meetings.

#### Revision of the Burra Charter

The Burra Charter was first adopted in 1979 at the historic South Australian mining town of Burra. Minor revisions were made in 1981 and 1988, with more substantial changes in 1999.

Following a review this version was adopted by Australia ICOMOS in October 2013.

The review process included replacement of the 1988 Guidelines to the Burra Charter with Practice Notes which are available at: australia.icomos.org

Australia ICOMOS documents are periodically reviewed and we welcome any comments.

#### Citing the Burra Charter

The full reference is The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013. Initial textual references should be in the form of the Australia ICOMOS Burra Charter, 2013 and later references in the short form (Burra Charter).

#### © Australia ICOMOS Incorporated 2013

The Burra Charter consists of the Preamble, Articles, Explanatory Notes and the flow chart.

This publication may be reproduced, but only in its entirety including the front cover and this page. Formatting must remain unaltered. Parts of the Burra Charter may be quoted with appropriate citing and acknowledgement.

Cover photograph by Ian Stapleton.

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http://australia.icomos.org/

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# The Burra Charter

(The Australia ICOMOS Charter for Places of Cultural Significance, 2013)

#### **Preamble**

Considering the International Charter for the Conservation and Restoration of Monuments and Sites (Venice 1964), and the Resolutions of the 5th General Assembly of the International Council on Monuments and Sites (ICOMOS) (Moscow 1978), the Burra Charter was adopted by Australia ICOMOS (the Australian National Committee of ICOMOS) on 19 August 1979 at Burra, South Australia. Revisions were adopted on 23 February 1981, 23 April 1988, 26 November 1999 and 31 October 2013.

The Burra Charter provides guidance for the conservation and management of places of cultural significance (cultural heritage places), and is based on the knowledge and experience of Australia ICOMOS members.

Conservation is an integral part of the management of places of cultural significance and is an ongoing responsibility.

#### Who is the Charter for?

The Charter sets a standard of practice for those who provide advice, make decisions about, or undertake works to places of cultural significance, including owners, managers and custodians.

#### **Using the Charter**

The Charter should be read as a whole. Many articles are interdependent.

The Charter consists of:

Definitions Article 1
 Conservation Principles Articles 2–13
 Conservation Processes Articles 14–25
 Conservation Practices Articles 26–34
 The Burra Charter Process flow chart.

The key concepts are included in the Conservation Principles section and these are further developed in the Conservation Processes and Conservation Practice sections. The flow chart explains the Burra Charter Process (Article 6) and is an integral part of

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the Charter. Explanatory Notes also form part of the Charter.

The Charter is self-contained, but aspects of its use and application are further explained, in a series of Australia ICOMOS Practice Notes, in *The Illustrated Burra Charter*, and in other guiding documents available from the Australia ICOMOS web site: australia.icomos.org.

#### What places does the Charter apply to?

The Charter can be applied to all types of places of cultural significance including natural, Indigenous and historic places with cultural values.

The standards of other organisations may also be relevant. These include the Australian Natural Heritage Charter, Ask First: a guide to respecting Indigenous heritage places and values and Significance 2.0: a guide to assessing the significance of collections.

National and international charters and other doctrine may be relevant. See australia.icomos.org.

#### Why conserve?

Places of cultural significance enrich people's lives, often providing a deep and inspirational sense of connection to community and landscape, to the past and to lived experiences. They are historical records, that are important expressions of Australian identity and experience. Places of cultural significance reflect the diversity of our communities, telling us about who we are and the past that has formed us and the Australian landscape. They are irreplaceable and precious.

These places of cultural significance must be conserved for present and future generations in accordance with the principle of inter-generational equity.

The Burra Charter advocates a cautious approach to change: do as much as necessary to care for the place and to make it useable, but otherwise change it as little as possible so that its cultural significance is retained.

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#### **Article 1. Definitions**

For the purposes of this Charter:

- 1.1 Place means a geographically defined area. It may include elements, objects, spaces and views. Place may have tangible and intangible dimensions.
- 1.2 Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects.

Places may have a range of values for different individuals or groups.

- 1.3 Fabric means all the physical material of the place including elements, fixtures, contents and objects.
- 1.4 Conservation means all the processes of looking after a place so as to retain its cultural significance.
- 1.5 Maintenance means the continuous protective care of a place, and its setting.

Maintenance is to be distinguished from repair which involves restoration or reconstruction.

- 1.6 Preservation means maintaining a place in its existing state and retarding deterioration.
- 1.7 Restoration means returning a place to a known earlier state by removing accretions or by reassembling existing elements without the introduction of new material.
- Reconstruction means returning a place to a known earlier state and is distinguished from restoration by the introduction of new material.
- 1.9 Adaptation means changing a place to suit the existing use or a proposed use.
- 1.10 Use means the functions of a place, including the activities and traditional and customary practices that may occur at the place or are dependent on the place.

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#### **Explanatory Notes**

Place has a broad scope and includes natural and cultural features. Place can be large or small: for example, a memorial, a tree, an individual building or group of buildings, the location of an historical event, an urban area or town, a cultural landscape, a garden, an industrial plant, a shipwreck, a site with in situ remains, a stone arrangement, a road or ravel route, a community meeting place, a site with spiritual or religious connections.

The term cultural significance is synonymous with cultural heritage significance and cultural heritage value.

Cultural significance may change over time and with use.

Understanding of cultural significance may change as a result of new information.

Fabric includes building interiors and subsurface remains, as well as excavated material.

Natural elements of a place may also constitute fabric. For example the rocks that signify a Dreaming place.

Fabric may define spaces and views and these may be part of the significance of the place.

See also Article 14.

Examples of protective care include:

- maintenance regular inspection and cleaning of a place, e.g. mowing and pruning in a garden;
- repair involving restoration returning dislodged or relocated fabric to its original location e.g. loose roof gutters on a building or displaced rocks in a stone bora ring;
- repair involving reconstruction replacing decayed fabric with new fabric

It is recognised that all places and their elements change over time at varying rates.

New material may include recycled material salvaged from other places. This should not be to the detriment of any place of cultural significance.

Use includes for example cultural practices commonly associated with Indigenous peoples such as ceremonies, hunting and fishing, and fulfillment of traditional obligations. Exercising a right of access may be a use.

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- 1.11 Compatible use means a use which respects the cultural significance of a place. Such a use involves no, or minimal, impact on cultural significance.
- 1.12 Setting means the immediate and extended environment of a place that is part of or contributes to its cultural significance and distinctive character.
- 1.13 Related place means a place that contributes to the cultural significance of another place.
- 1.14 Related object means an object that contributes to the cultural significance of a place but is not at the place.
- 1.15 Associations mean the connections that exist between people and a place.
- 1.16 Meanings denote what a place signifies, indicates, evokes or expresses to people.
- 1.17 Interpretation means all the ways of presenting the cultural significance of a place.

#### **Conservation Principles**

#### Article 2. Conservation and management

- 2.1 Places of cultural significance should be conserved.
- 2.2 The aim of conservation is to retain the cultural significance of a place.
- 2.3 Conservation is an integral part of good management of places of cultural significance.
- 2.4 Places of cultural significance should be safeguarded and not put at risk or left in a vulnerable state.

#### Article 3. Cautious approach

- 3.1 Conservation is based on a respect for the existing fabric, use, associations and meanings. It requires a cautious approach of changing as much as necessary but as little as possible.
- 3.2 Changes to a place should not distort the physical or other evidence it provides, nor be based on conjecture.

#### Article 4. Knowledge, skills and techniques

4.1 Conservation should make use of all the knowledge, skills and disciplines which can contribute to the study and care of the place.

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#### **Explanatory Notes**

Setting may include: structures, spaces, land, water and sky; the visual setting including views to and from the place, and along a cultural route; and other sensory aspects of the setting such as smells and sounds. Setting may also include historical and contemporary relationships, such as use and activities, social and spiritual practices, and relationships with other places, both tangible and intangible.

Objects at a place are encompassed by the definition of place, and may or may not contribute to its cultural significance.

Associations may include social or spiritual values and cultural responsibilities for a place.

Meanings generally relate to intangible dimensions such as symbolic qualities and memories.

Interpretation may be a combination of the treatment of the fabric (e.g. maintenance, restoration, reconstruction); the use of and activities at the place; and the use of introduced explanatory material.

The traces of additions, alterations and earlier treatments to the fabric of a place are evidence of its history and uses which may be part of its significance. Conservation action should assist and not impede their understanding.

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4.2 Traditional techniques and materials are preferred for the conservation of significant fabric. In some circumstances modern techniques and materials which offer substantial conservation benefits may be appropriate.

#### Article 5. Values

- 5.1 Conservation of a place should identify and take into consideration all aspects of cultural and natural significance without unwarranted emphasis on any one value at the expense of others.
- 5.2 Relative degrees of cultural significance may lead to different conservation actions at a place.

#### **Article 6. Burra Charter Process**

- 6.1 The cultural significance of a place and other issues affecting its future are best understood by a sequence of collecting and analysing information before making decisions. Understanding cultural significance comes first, then development of policy and finally management of the place in accordance with the policy. This is the Burra Charter Process.
- 6.2 Policy for managing a place must be based on an understanding of its cultural significance.
- 6.3 Policy development should also include consideration of other factors affecting the future of a place such as the owner's needs, resources, external constraints and its physical condition.
- 6.4 In developing an effective policy, different ways to retain cultural significance and address other factors may need to be explored.
- 6.5 Changes in circumstances, or new information or perspectives, may require reiteration of part or all of the Burra Charter Process.

#### Article 7. Use

- 7.1 Where the use of a place is of cultural significance it should be retained.
- 7.2 A place should have a compatible use.

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#### **Explanatory Notes**

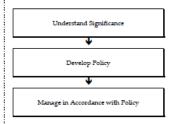
The use of modern materials and techniques must be supported by firm scientific evidence or by a body of experience.

Conservation of places with natural significance is explained in the Australian Natural Heritage Charter. This Charter defines natural significance to mean the importance of ecosystems, biodiversity and geodiversity for their existence value or for present or future generations, in terms of their scientific, social, aesthetic and life-support value.

In some cultures, natural and cultural values are indivisible.

A cautious approach is needed, as understanding of cultural significance may change. This article should not be used to justify actions which do not retain cultural significance.

The Burra Charter Process, or sequence of investigations, decisions and actions, is illustrated below and in more detail in the accompanying flow chart which forms part of the Charter.



Options considered may include a range of uses and changes (e.g. adaptation) to a place.

The policy should identify a use or combination of uses or constraints on uses that retain the cultural significance of the place. New use of a place should involve minimal change to significant fabric and use; should respect associations and meanings; and where appropriate should provide for continuation of activities and practices which contribute to the cultural significance of the place.

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#### Article 8. Setting

Conservation requires the retention of an appropriate setting. This includes retention of the visual and sensory setting, as well as the retention of spiritual and other cultural relationships that contribute to the cultural significance of the place.

New construction, demolition, intrusions or other changes which would adversely affect the setting or relationships are not appropriate.

#### Article 9. Location

- 9.1 The physical location of a place is part of its cultural significance. A building, work or other element of a place should remain in its historical location. Relocation is generally unacceptable unless this is the sole practical means of ensuring its survival.
- 9.2 Some buildings, works or other elements of places were designed to be readily removable or already have a history of relocation. Provided such buildings, works or other elements do not have significant links with their present location, removal may be appropriate.
- 9.3 If any building, work or other element is moved, it should be moved to an appropriate location and given an appropriate use. Such action should not be to the detriment of any place of cultural significance.

#### **Article 10. Contents**

Contents, fixtures and objects which contribute to the *cultural* significance of a place should be retained at that place. Their removal is unacceptable unless it is: the sole means of ensuring their security and *preservation*; on a temporary basis for treatment or exhibition; for cultural reasons; for health and safety; or to protect the place. Such contents, fixtures and objects should be returned where circumstances permit and it is culturally appropriate.

#### Article 11. Related places and objects

The contribution which related places and related objects make to the cultural significance of the place should be retained.

#### Article 12. Participation

Conservation, interpretation and management of a place should provide for the participation of people for whom the place has significant associations and meanings, or who have social, spiritual or other cultural responsibilities for the place.

#### Article 13. Co-existence of cultural values

Co-existence of cultural values should always be recognised, respected and encouraged. This is especially important in cases where they conflict.

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#### **Explanatory Notes**

Setting is explained in Article 1.12.

For example, the repatriation (returning) of an object or element to a place may be important to Indigenous cultures, and may be essential to the retention of its cultural significance.

Article 28 covers the circumstances where significant fabric might be disturbed, for example, during archaeological excavation.

Article 33 deals with significant fabric that has been removed from a place.

For some places, conflicting cultural values may affect policy development and management decisions. In Article 13, the term cultural values refers to those beliefs which are important to a cultural group, including but not limited to political, religious, spiritual and moral beliefs. This is broader than values associated with cultural significance.

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#### **Conservation Processes**

#### Article 14. Conservation processes

Conservation may, according to circumstance, include the processes of: retention or reintroduction of a use; retention of associations and meanings; maintenance, preservation, restoration, reconstruction, adaptation and interpretation; and will commonly include a combination of more than one of these. Conservation may also include retention of the contribution that related places and related objects make to the cultural significance of a place.

#### Article 15. Change

- 15.1 Change may be necessary to retain cultural significance, but is undesirable where it reduces cultural significance. The amount of change to a place and its use should be guided by the cultural significance of the place and its appropriate interpretation.
- 15.2 Changes which reduce cultural significance should be reversible, and be reversed when circumstances permit.
- 15.3 Demolition of significant fabric of a place is generally not acceptable. However, in some cases minor demolition may be appropriate as part of conservation. Removed significant fabric should be reinstated when circumstances permit.
- 15.4 The contributions of all aspects of cultural significance of a place should be respected. If a place includes fabric, uses, associations or meanings of different periods, or different aspects of cultural significance, emphasising or interpreting one period or aspect at the expense of another can only be justified when what is left out, removed or diminished is of slight cultural significance and that which is emphasised or interpreted is of much greater cultural significance.

#### Article 16. Maintenance

Maintenance is fundamental to conservation. Maintenance should be undertaken where fabric is of cultural significance and its maintenance is necessary to retain that cultural significance.

#### Article 17. Preservation

Preservation is appropriate where the existing fabric or its condition constitutes evidence of cultural significance, or where insufficient evidence is available to allow other conservation processes to be carried out.

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#### **Explanatory Notes**

Conservation normally seeks to slow deterioration unless the significance of the place dictates otherwise. There may be circumstances where no action is required to achieve conservation.

When change is being considered, including for a temporary use, a range of options should be explored to seek the option which minimises any reduction to its cultural significance.

It may be appropriate to change a place where this reflects a change in cultural meanings or practices at the place, but the significance of the place should always be respected.

Reversible changes should be considered temporary. Non-reversible change should only be used as a last resort and should not prevent future conservation action.

Maintaining a place may be important to the fulfilment of traditional laws and customs in some Indigenous communities and other cultural groups.

Preservation protects fabric without obscuring evidence of its construction and use. The process should always be applied:

- where the evidence of the fabric is of such significance that it should not be altered; or
- where insufficient investigation has been carried out to permit policy decisions to be taken in accord with Articles 26 to 28.

New work (e.g. stabilisation) may be carried out in association with preservation when its purpose is the physical protection of the fabric and when it is consistent with Article 22.

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#### Article 18. Restoration and reconstruction

Restoration and reconstruction should reveal culturally significant aspects of the place.

#### Article 19. Restoration

Restoration is appropriate only if there is sufficient evidence of an earlier state of the fabric.

#### **Article 20. Reconstruction**

- 20.1 Reconstruction is appropriate only where a place is incomplete through damage or alteration, and only where there is sufficient evidence to reproduce an earlier state of the fabric. In some cases, reconstruction may also be appropriate as part of a use or practice that retains the cultural significance of the place.
- 20.2 Reconstruction should be identifiable on close inspection or through additional interpretation.

#### Article 21. Adaptation

- 21.1 Adaptation is acceptable only where the adaptation has minimal impact on the cultural significance of the place.
- 21.2 Adaptation should involve minimal change to significant fabric, achieved only after considering alternatives.

#### Article 22. New work

- 22.1 New work such as additions or other changes to the place may be acceptable where it respects and does not distort or obscure the cultural significance of the place, or detract from its interpretation and appreciation.
- 22.2 New work should be readily identifiable as such, but must respect and have minimal impact on the *cultural significance* of the *place*.

#### Article 23. Retaining or reintroducing use

Retaining, modifying or reintroducing a significant use may be appropriate and preferred forms of conservation.

#### Article 24. Retaining associations and meanings

- 24.1 Significant associations between people and a place should be respected, retained and not obscured. Opportunities for the interpretation, commemoration and celebration of these associations should be investigated and implemented.
- 24.2 Significant meanings, including spiritual values, of a place should be respected. Opportunities for the continuation or revival of these meanings should be investigated and implemented.

#### **Explanatory Notes**

Places with social or spiritual value may warrant reconstruction, even though very little may remain (e.g. only building footings or tree stumps following fire, flood or storm). The requirement for sufficient evidence to reproduce an earlier state still applies.

Adaptation may involve additions to the place, the introduction of new services, or a new use, or changes to safeguard the place. Adaptation of a place for a new use is often referred to as 'adaptive re-use' and should be consistent with Article 7.2.

New work should respect the significance of a place through consideration of its siting, bulk, form, scale, character, colour, texture and material. Imitation should generally be avoided.

New work should be consistent with Articles 3, 5, 8, 15, 21 and 22.1.

These may require changes to significant fabric but they should be minimised. In some cases, continuing a significant use, activity or practice may involve substantial new work.

For many places associations will be linked to aspects of use, including activities and practices.

Some associations and meanings may not be apparent and will require research.

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#### Article 25. Interpretation

The *cultural significance* of many *places* is not readily apparent, and should be explained by *interpretation*. Interpretation should enhance understanding and engagement, and be culturally appropriate.

#### **Conservation Practice**

#### Article 26. Applying the Burra Charter Process

- 26.1 Work on a place should be preceded by studies to understand the place which should include analysis of physical, documentary, oral and other evidence, drawing on appropriate knowledge, skills and disciplines.
- 26.2 Written statements of cultural significance and policy for the place should be prepared, justified and accompanied by supporting evidence. The statements of significance and policy should be incorporated into a management plan for the place.
- 26.3 Groups and individuals with associations with the place as well as those involved in its management should be provided with opportunities to contribute to and participate in identifying and understanding the cultural significance of the place. Where appropriate they should also have opportunities to participate in its conservation and management.
- 26.4 Statements of cultural significance and policy for the place should be periodically reviewed, and actions and their consequences monitored to ensure continuing appropriateness and effectiveness.

#### Article 27. Managing change

- 27.1 The impact of proposed changes, including incremental changes, on the cultural significance of a place should be assessed with reference to the statement of significance and the policy for managing the place. It may be necessary to modify proposed changes to better retain cultural significance.
- 27.2 Existing fabric, use, associations and meanings should be adequately recorded before and after any changes are made to the place.

#### Article 28. Disturbance of fabric

28.1 Disturbance of significant fabric for study, or to obtain evidence, should be minimised. Study of a place by any disturbance of the fabric, including archaeological excavation, should only be undertaken to provide data essential for decisions on the conservation of the place, or to obtain important evidence about to be lost or made inaccessible.

#### 8 — Australia ICOMOS Incorporated

#### **Explanatory Notes**

In some circumstances any form of interpretation may be culturally inappropriate.

The results of studies should be kept up to date, regularly reviewed and revised as necessary.

Policy should address all relevant issues, e.g. use, interpretation, management and change.

A management plan is a useful document for recording the Burra Charter Process, i.e. the steps in planning for and managing a place of cultural significance (Article 6.1 and flow chart). Such plans are often called conservation management plans and sometimes have other names.

The management plan may deal with other matters related to the management of the place.

Monitor actions taken in case there are also unintended consequences.

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28.2 Investigation of a place which requires disturbance of the fabric, apart from that necessary to make decisions, may be appropriate provided that it is consistent with the policy for the place. Such investigation should be based on important research questions which have potential to substantially add to knowledge, which cannot be answered in other ways and which minimises disturbance of significant fabric.

#### Article 29. Responsibility

The organisations and individuals responsible for management and decisions should be named and specific responsibility taken for each decision.

#### Article 30. Direction, supervision and implementation

Competent direction and supervision should be maintained at all stages, and any changes should be implemented by people with appropriate knowledge and skills.

#### Article 31. Keeping a log

New evidence may come to light while implementing policy or a plan for a place. Other factors may arise and require new decisions. A log of new evidence and additional decisions should be kept.

#### Article 32. Records

- 32.1 The records associated with the conservation of a place should be placed in a permanent archive and made publicly available, subject to requirements of security and privacy, and where this is culturally appropriate.
- 32.2 Records about the history of a place should be protected and made publicly available, subject to requirements of security and privacy, and where this is culturally appropriate.

#### Article 33. Removed fabric

Significant fabric which has been removed from a place including contents, fixtures and objects, should be catalogued, and protected in accordance with its cultural significance.

Where possible and culturally appropriate, removed significant fabric including contents, fixtures and objects, should be kept at the place.

#### Article 34. Resources

Adequate resources should be provided for conservation.

Words in italics are defined in Article 1.

#### **Explanatory Notes**

New decisions should respect and have minimal impact on the cultural significance of the place.

The best conservation often involves the least work and can be inexpensive.

The Burra Charter, 2013

Australia ICOMOS Incorporated — 9

#### The Burra Charter Process

#### Steps in planning for and managing a place of cultural significance

The Burra Charter should be read as a whole.

Key articles relevant to each step are shown in the boxes. Article 6 summarises the Burra Charter Process.



10 — Australia ICOMOS Incorporated

The Burra Charter, 2013

# APPENDIX F MINIMUM STANDARDS FOR MAINTENANCE AND REPAIR

### **HERITAGE INFORMATION SERIES**

# MINIMUM STANDARDS OF MAINTENANCE AND REPAIR



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#### Front cover graphics:

Aboriginal hand stencils, South Coast. Photograph courtesy of National Parks and Wildlife Service Interior of Belltrees shearing shed, built near Scone in NSW in 1879 by architect J. Horbury Hunt.

Artefacts from the site of first Government House Archaeology Collection. Photograph courtesy of Museum of Sydney on the site of first Government House

Grose Valley, Blue Mountains, NSW. Photograph courtesy of NSW National Parks and Wildlife Service Back cover graphics:

Australia Square, Sydney

Entrance to the central temple, Sze Yup Temple, Glebe. Photograph by Karl Zhao Lands Department Building, Sydney

The bow of iron steamer, Merimbula, wrecked near Currarong in 1928. Photograph by David Nutley Snowy Mountains Scheme. Photograph courtesy of the Snowy Mountains Hydro-electric Authority St Mark's Anglican Church, Darling Point, Sydney. Photograph by Stuart Humphreys Belltrees Shearing Shed, near Scone, NSW.

Detail from the crypt floor of St Mary's Cathedral, Sydney. Photograph courtesy of St Mary's Cathedral

#### MINIMUM STANDARDS FOR MAINTENANCE AND REPAIR

Major amendments to the Heritage Act 1977 passed both houses of State Parliament and came into effect on 2 April 1999. The changes are the result of substantial review of the NSW heritage system.

One of the changes in policy reflected in the new legislation is the establishment of Minimum Standards. Since the original Heritage Act was passed in 1977 the "wilful neglect" provisions had been ineffective in preventing the deterioration of heritage items. In the twenty years of its operation there were no successful prosecutions under this section of the Act.

The section has therefore been deleted and replaced. Owners of items listed on the **State Heritage Register** are now required to ensure that heritage significance is maintained. Owners are required to achieve minimum standards of maintenance and repair.

The standards are set out in the Regulation, and relate to:

- weatherproofing;
- · fire protection;
- · security; and
- · essential maintenance.

These are minimum standards to ensure that heritage significance is maintained. They do not require owners to undertake restoration works, but where works are needed owners may be eligible to apply for financial assistance through the Heritage Incentives Program.

Where these standards are not met and the heritage significance of the item is in jeopardy the Heritage Council will now have the power to order repairs after consultation with the owner.

As a last resort, if negotiations have failed and the owner does not comply with the order, the Heritage Council can arrange for the works to be carried out and charge the expenses to the owner. The Minister may consent to the Heritage Council's prosecution of the owner for failure to comply with an order under this section of the Act.

A copy of the *Heritage Amendment Regulation 1999*, extracted from the New South Wales Government Gazette No.27, 1999, pages 1 – 9, is included for your information.

#### What is the State Heritage Register?

Heritage places and items of particular importance to the people of New South Wales are listed on the State Heritage Register. The Register was created in April 1999 by amendments to the *Heritage Act 1977*.

The key to listing on the State Heritage Register is the level of significance. Only those heritage items which are of **state significance in NSW** are listed on the State Heritage Register.

The Register replaces the old system of permanent conservation orders as a means of listing items of state significance

The Register forms part of the State Heritage Inventory, an electronic database of all protected heritage items in New South Wales. To check whether an item is listed on the Register, consult the **State Heritage Inventory** on the internet through the Heritage Office home page: www.heritage.nsw.gov.au

#### **Heritage Amendment Regulation 1999**

under the

#### Heritage Act 1977

His Excellency the Governor, with the advice of the Executive Council, has made **the following Regulation under** the *Heritage Act 1977*.

CRAIG KNOWLES, M.P., Minister for Urban Affairs and Planning

#### **Explanatory note**

The object of this Regulation is to impose minimum standards with respect to the maintenance and repair of buildings, works and relics that are listed on the State Heritage Register or within a precinct that is listed on that Register.

This Regulation is made under the *Heritage Act 1977*, including sections 118 (as substituted by the *Heritage Amendment Act 1998*) and 165 (the general regulation-making power).

NEW SOUTH WALES GOVERNMENT GAZETTE NO. 27

#### 5 March 1999 LEGISLATION 1597

Clause 1 Heritage Amendment Regulation 1999

#### Heritage Amendment Regulation 1999

#### 1 Name of Regulation

This Regulation is the Heritage Amendment Regulation 1999.

#### 2 Commencement

This Regulation commences on 2 April 1999.

#### 3 Amendment of Heritage Regulation 1993

The Heritage Regulation 1993 is amended as set out in Schedule 1.

#### 4 Notes

The explanatory note does not form part of this Regulation.

NEW SOUTH WALES GOVERNMENT GAZETTE NO. 27

#### 1598 LEGISLATION 5 March 1999

Heritage Amendment Regulation 1999

Amendments Schedule 1

#### **Schedule 1 Amendments**

(Clause 3)

#### [1] Part 1, heading

Insert before clause 1:

#### Part 1 Preliminary

#### [2] Clause 3 Interpretation

Insert at the end of clause 3:

(3) Notes in the text of this Regulation do not form part of this Regulation.

#### [31 Part 2, heading

Insert before clause 4:

#### Part 2 Fees and forms

#### [4] Part 3

Insert after clause 9:

#### Part 3 Minimum standards of maintenance and repair

#### 9A Minimum standards imposed

Pursuant to section 118 of the Act, the standards set out in this Part are imposed as minimum standards with respect to the maintenance and repair of a building, work or relic that is listed or within a precinct that is listed on the State Heritage Register.

Note. Section 119 of the Act requires the owner of the building, work or relic to ensure that it is maintained and repaired to standards that are not less than the minimum standards imposed by this Part. Nothing in this Part affects any requirement for the approval under Part 4 of the Act of any aspect of maintenance or repair.

NEW SOUTH WALES GOVERNMENT GAZETTE NO. 27

5 March 1999 LEGISLATION 1599

Heritage Amendment Regulation 1999

Schedule 1 Amendments

#### 9B Inspection

- (1) The building, work or relic, and its curtilage or site, must be inspected to identify maintenance and repairs that are needed to ensure compliance with section 119 of the Act in respect of the standards set out in clauses 9C-9H.
- (2) The inspection must be carried out at least once every 12 months in the case of the standards set out in clauses 9C-9G and at least once every 3 years in the case of the standards set out in clause 9H.
  - Note. The maintenance and repair requirements of section 119 of the Act are ongoing and are not limited to matters identified by an inspection carded out for the purposes of this clause.
- (3) The inspection is to be carried out by a person with expertise and experience appropriate to the nature of the item concerned.
- (4) In the case of a relic kept in a repository or as part of a collection, the inspection is to extend to the conditions under which the relic is kept.
- (5) In the case of a relic that is attached to or forms part of land, the inspection is to include an assessment of the stability of the site of the relic.

#### 9C Weather protection

- (1) The following systems or components, if present, must be maintained and repaired (including by being cleaned and secured) when and to the standard necessary to ensure a reasonable level of protection for the building, work or relic, and its curtilage or site, against damage or deterioration due to weather:
  - (a) surface and sub-surface drainage systems,
  - roof drainage systems, including gutters, rainwater heads, downpipes and stormwater drainage systems,
  - (c) water storages, dams, ponds, retention basins, watercourses, batters, levee banks, sea-walls and other flood and erosion mitigation measures,

NEW SOUTH WALES GOVERNMENT GAZETTE NO. 27

#### 1600 LEGISLATION 5 March 1999

#### Heritage Amendment Regulation 1999

#### Amendments Schedule 1

- roofs, walls, doors and windows (including the glass components of doors and windows) and other components intended to exclude sun, rain, wind, hail, snow or other weather elements, including their security against the effects of high winds;
- (e) systems or components which might be at risk of damage or dislodgment by high winds, including damage by falling trees and branches, tidal inundation or wave action;
- systems and components such as damp proof courses, flashings, ventilation systems and other measures intended to prevent the ingress of water or dampness or to reduce its effects;
- (g) lightning conductors;
- (h) any other system or component designed to protect the building, work or relic or its curtilage or site against damage or deterioration due to weather.
- (2) Doors and windows of a building may, as an alternative to being repaired, be boarded up, but only:
  - (a) if the building is unoccupied, or
  - (b) as a short term measure pending repair.
- (3) If an opening to a building is designed or intended to have a door, window or other closure in place and does not have the door, window or other closure in place, the opening must be boarded up.

#### 9D Fire protection

(1) Vegetation, rubbish and any other material that could create a fire hazard for the building, work or relic is to be removed and not permitted to accumulate.

Note. Vegetation and other items can be of heritage significance, and their removal may require the approval of the Heritage Council or the local council.

NEW SOUTH WALES GOVERNMENT GAZETTE NO. 27

#### 5 March 1999 LEGISLATION 1601

Heritage Amendment Regulation 1999

#### Schedule 1 Amendments

- (2) The following systems or components, if present, must be maintained and repaired when and to the standard necessary to ensure a reasonable level of protection for the building, work or relic against damage or destruction by fire:
  - (a) lightning conductors,
  - fire detection and control systems, including smoke and beat detectors and fire sprinkler systems and including associated alarm and communication systems,
  - (c) stores of inflammable materials or rubbish,
  - (d) building services such as electricity, gas and heating systems,
  - (c) any other system or component, designed to protect the building, work or relic from damage or destruction by fire.

#### 9E Additional fire protection for unoccupied buildings

- (1) The following additional fire protection measures must be taken for the protection of a building that is to be unoccupied for a continuous period of 60 days or more:
  - heating or gas services must be shut down, gas or oil supply to those services must be turned
    off at the mains or other point of connection to supply, and portable gas or oil storages must be
    removed,
  - (b) permanent or temporary smoke detection systems must be installed with associated communication systems connected to the Fire Brigade and, if the building will be unoccupied for a period of 6 months or more, provided with a permanent power supply.
- (2) This clause does not apply to any outbuilding within the curtilage or site of a building unless the outbuilding has been constructed or adapted for use as a dwelling.
- (3) The use of a building for storage of goods or materials does not constitute occupation of the building for the purposes of this clause if the building ordinarily has another use or is a building of a kind not ordinarily used for storage.

NEW SOUTH WALES GOVERNMENT GAZETTE NO. 27

#### 1602 LEGISLATION 5 March 1999

#### Heritage Amendment Regulation 1999

#### Amendments Schedule 1

#### 9F Security

- (1) Fencing or surveillance systems appropriate to the nature and location of the building, work or relic must be installed to secure it and its site and prevent vandalism.
- (2) The following systems or components, if present, must be maintained and repaired when and to the standard necessary to ensure a reasonable level of security for the building, work or relic:
  - (a) boundary and internal fences and gates, including associated locking mechanisms,
  - in the case of a building, the walls, roof and other building elements, doors, windows and other closures, including glazing and associated locking and latching mechanisms,
  - (c) any electronic surveillance or alarm system installed on the site,
  - (d) any other system or component designed to ensure the security of the building, work or relic.
- (3) Doors and windows of a building may, as an alternative to being repaired, be boarded up, but only:
  - (a) if the building is unoccupied, or
  - (b) as a short term measure pending repair.
- (4) If an opening to a building is designed or intended to have a door, window or other closure in p lace and does not have the door, window or other closure in place, the opening must be boarded up.

#### 9G Additional security measures for unoccupied buildings

- (1) The following additional security measures must be taken for the protection of a building that is to be unoccupied for a continuous period of 60 days or more:
  - if an electronic surveillance or alarm-system is installed, the system must be connected to a Police Station or a commercial security provider,

NEW SOUTH WALES GOVERNMENT GAZETTE NO. 27

#### 5 March 1999 LEGISLATION 1603

Heritage Amendment Regulation 1999

#### Schedule 1 Amendments

- (b) if no electronic surveillance or alarm system is installed, arrangements must be in place for regular surveillance of the building, work or relic, as appropriate to its nature and location.
- (2) This clause does not apply to any outbuilding within the curtilage or site of a building unless the outbuilding has been constructed or adapted for use as a dwelling.
- (3) The use of a building for storage of goods or materials does not constitute occupation of the building for the purposes of this clause if the building ordinarily has another use or is a building of a kind not ordinarily used for storage.

#### 9H Essential maintenance and repair

- (1) Essential maintenance and repair of a building, work or relic (being maintenance and repair necessary to prevent serious or irreparable damage or deterioration) must be carried out whenever necessary.
- (2) Essential maintenance and repair includes:
  - the taking of measures (Including inspection) to control pests such as termites, rodents, birds and other vermin, and
  - (b) the taking of measures to maintain a stable environment for in-situ archaeological relics.
- (3) The requirement for essential maintenance and repair extends to (but is not limited to) the following:
  - (a) foundations, footings and supporting structure of any building, work or relic,
  - (b) structural elements such as walls, columns, beams, floors, roofs and roof structures, and verandah or balcony structures,
  - (c) exterior and interior finishes and details,
  - (d) systems and components (such as ventilators or ventilation systems) intended to reduce or prevent damage due to dampness,

NEW SOUTH WALES GOVERNMENT GAZETTE NO. 27

#### 1604 LEGISLATION 5 March 1999

#### Heritage Amendment Regulation 1999

Amendments Schedule 1

- (e) fixtures, fittings and moveable objects attached to the building, work or relic, or to its curtilage or site.
- (f) landscape elements on the site of and associated with the building, work or relic, including vegetation, garden walls, paths, fences, statuary, ornaments and the like.

#### 9I Conservation management plans

- A conservation management plan is a plan prepared by the owner of a building, work or relic for the conservation of the building, work or relic.
- (2) A conservation management plan endorsed by the Heritage Council for a building, work or relic may:
  - (a) provide that a standard set out in this Part does not apply to the building. work or relic (in which case the standard does not apply to it), or
  - (b) impose additional standards of maintenance and repair for the building, work or relic (in which case those standards are imposed as minimum standards with respect to the maintenance and repair of the building, work or relic, in addition to those set out In this Part).

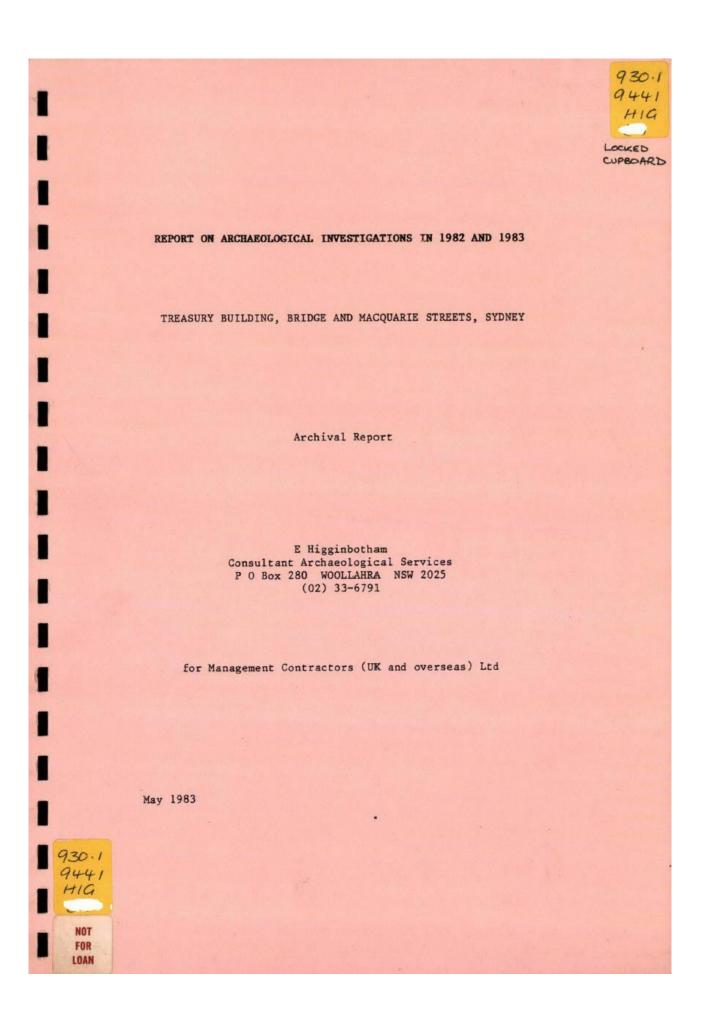
#### [5] Part 4, heading

Insert before clause 10:

#### Part 4 Miscellaneous

NEW SOUTH WALES GOVERNMENT GAZETTE NO. 27

# APPENDIX G HIGGINBOTHAM, E. 1983, REPORT ON ARCHAEOLOGICAL INVESTIGATIONS IN 1982 AND 1983



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REPORT ON ARCHAEOLOGICAL INVESTIGATIONS IN 1982 AND 1983

TREASURY BUILDING, BRIDGE AND MACQUARIE STREETS, SYDNEY

Archival Report

E Higginbotham

Consultant Archaeological Services
P O Box 280 WOOLLAHRA NSW 2025
(02) 33-6791

for Management Contractors (UK and overseas) Ltd

May 1983



# Contents I Introduction. Archaeological considerations. ii iii Areas of archaeological interest. 1. The stables block (1851-1853) and courtyard. The octagonal toilet block (by 1872). 2. The land sale room (1851-1853). 3. Enclosed cavity under main entrance staircase. 4. Enclosed cavity under hallway. Conclusion. I 1

#### Introduction

The Treasury Building is situated on the corner of Macquarie and Bridge Streets, Sydney. The original sandstone building was constructed between 1849 and 1851, the out-buildings being completd in 1853. The site housed the offices of the Colonial Treasurer and the Auditor-General, the rooms of one department being divided from the other by a partition wall. With the departure of the Auditor-General to new premises in 1873, several other government bodies occupied the complex in the following years. Indeed substantial additions and alterations were made in the late nineteenth and twentieth centuries to provide more office space and other facilities.

With the removal of the Treasury Department to the State
Office Block in 1967, and the transfer of the other
government bodies to new premises, the Treasury Building
became vacant and thus available for re-use or redevelopment
in 1981.

The Urban Transport Authority, acting on behalf of the State Government, negotiated in 1982 a ninety-nine year lease of the Treasury Building complex to the Apsley Park Hotel Company Ltd, a subsidiary jointly owned by Sir Robert MacAlpine and Sons Ltd, and the Intercontinental Hotels Corporation. Apsley Park Hotel Co Ltd appointed Management Contractors (UK and overseas) Ltd as their project managers for the development of the site as a hotel.

Clive Lucas Pty Ltd, Architects, were commissioned in 1982 'to establish the significance of the Treasury Building and its component parts, to determine the constraints on iintervention that followd from this, and to outline a conservation policy'. In August 1982 their report was presented, entitled The Treasury Building, Macquarie and

Bridge Streets, Sydney, N.S.W., Australia: conservation analysis, statement of cultural significance, development constraints, draft conservation policy. A detailed report on the documentary evidence referring to the history of the Treasury Building was compiled by Rosemary Annable and was included in the report by Clive Lucas Pty Ltd. For this reason there will be little detailed discussion of historical evidence in the following pages.

#### Archaeological considerations

Clive Lucas Pty Ltd, Architects, in their statement of significance concluded that archaeological considerations had <u>secondary</u> (section 5.14) and <u>further</u> significance (section 5.23), but that no archaeological evidence formed a <u>principally</u> significant item<sup>2</sup>. These sections of the statement of significance are quoted in full below:

'5.14. The site is a potentially productive archaeological site for the remains of the original out-houses and walls, and subsequent additions.'

'5.23. The site has historical associations with the main city tram terminus and is a potentially productive archaeological site for same.'

Arising out of this statement of significance, Clive Lucas Pty Ltd stated in the following chapter, entitled conservation constraints, that 'the archaeological remains on the site should be properly investigated and recorded' (section 6.3.7)<sup>3</sup>.

## Areas of archaeological interest

An archaeologist was appointed by Management Contractors (UK and overseas) Ltd on 16 December 1982. Development on the

site of the Treasury Building had already begun. Thus before the archaeological investigation could get underway all archaeological layers associated with the city tram terminus had been removed.

Although all parties wished the archaeological remains on the site to be properly investigated, it was considered too costly to delay mechanical excavation. For this reason the archaeologist could only observe while substantial remains of walling associated with the stables were taken out. Not enough time was available to undertake the type of archaeological excavation that could have provided useful and meaningful results. Indeed most of the walling associated with the stables of the original Treasury Building was removed in the space of about four hours on 20 December 1982.

The areas of archaeological interest available for investigation were as follows, and will be described in more detail below (figure 1).

- the stables block (1851-1853) and courtyard. The octagonal toilet block (by 1872).
- 2) the land sale room (1851-1853).
- enclosed cavity under main entrance staircase (1849-1851).
- 4) enclosed cavity under hallway (1849-1851).

### 1. The stables block (1851-1853)

The stables block was located at the western end of the range of out-buildings associated with the Treasury Building. At the opposite end stood the land sale room, on a higher level than the stables.

-

During the mechanical excavation of this area in December 1982, it was only possible to observe and briefly record remains of substantial walling, and associated archaeological layers before their removal. For this reason the evidence retrieved does not substantially improve upon the information available from historical documentation. The evidence salvaged during mechanical excavation is illustrated in figures 1 and 2. The first shows the layout of walling and the second records the stratigraphy associated with part of the stables and toilet block.

#### 2) The land sale room (1851-1853)

The land sale room was constructed at the eastern end of the range of out-buildings. It was demolished in the late nineteenth century to make way for the new strong room (1896-1898) and link building (1897-1900).

The concrete and cement flooring in the basement of the link building was removed in March 1983 in order that air conditioning ducts could be laid in advance of a new damp-proof floor. Advantage was taken of this situation to excavate for remains of the land sale room. Unfortunately a substantial depth of topsoil and subsoil had been removed during the construction of the link building and no remains at all survived of the foundations of the land sale room.

#### 3) Enclosed cavity under main entrance staircase

This cavity was opened up in April 1983. Brief inspection showed that the area was not of archaeological interest, as had been previously believed. The cavity was partly filled with building debris.

#### 4) Enclosed cavity under staircase

The situation here was identical to that described above. The area proved not to be of archaeological interest. It was completely filled with building debris.

#### Conclusion

All areas expected to be of archaeological interest at the Treasury Building were inspected and any remains were adequately recorded. In addition the archaeologist was on-call throughout the early months of the development until all archaeological remains outside the building had been removed. Had any unexpected archaeological discoveries been made, the contractors had been instructed to contact the archaeologist and allow sufficient time, where possible, to record such evidence.

It is unfortunate that the archaeological remains associated with the stables block were removed so early in the investigation. No other area provided important evidence. Once the mechanical excavation of a development site has commenced it is generally too late to contemplate archaeological excavation: the cost of delay is too great. However if adequate consideration can be given to archaeological matters prior to the commencement of works, then it is frequently possible to conduct archaeological excavations without undue extra costs nor substantial delays.

Circumstances in this case did not allow enough time for fruitful excavation. It appears that archaeological evidence which may have substantially added to the historical record has been lost. It would have been possible to record the room plan and the sequence of alterations to the fabric, from which an understanding could have been obtained of the changes in usage of each area. These were precisely the unanswered questions that were pinpointed in the conservation report by Clive Lucas Pty Ltd.

# Notes

- 1. Clive Lucas Pty Ltd 1982. The Treasury Building,

  Macquarie and Bridge Streets, Sydney, N.S.W., Australia:

  conservation analysis, statement of cultural
  significance, development constraints, draft
  conservation policy, p.3.
- 2. ibid, p.152.
- 3. ibid, p.154.

I E ı Figure 1. The Treasury Building, Macquarie and Bridge Streets, Sydney. Site plan showing areas of archaeological interest, as follows: 1. Stables (1851-1853) and courtyard, with toilet block (by 1872); 2. Land sale room (1851-1853); 3 and 4. Cavities under main staircase and I under hallway (Sl section 1, illustrated in figure 2). The original offices and out-buildings are shown in heavy outline, along with the present room plan of the basement for the former. The remains of walling for the stables and toilet block were discovered during the archaeological I investigation. The extent of buildings in 1982 is illustrated in light outline. 1

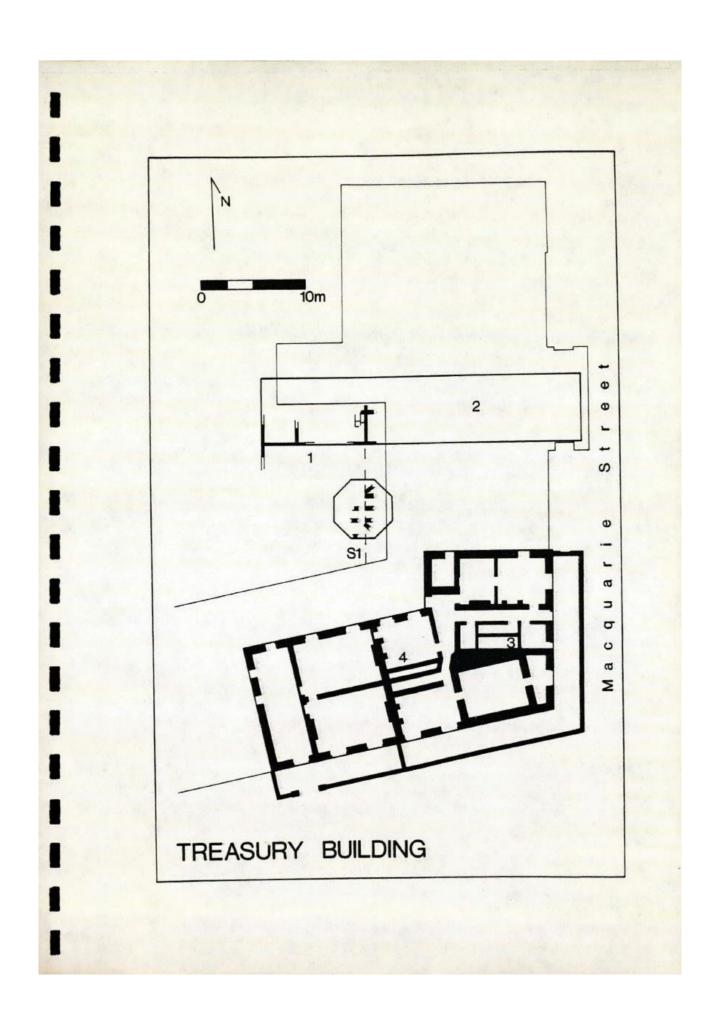


Figure 2. Section 1 illustrating footings of the stables and toilet block with associated fill layers, other features and service trenches. This section provides evidence of substantial additions and alterations to the site, and reveals an interesting sequence. It may best be interpreted as follows: the earliest features are the footings of both the stables and toilet block. These remains are sealed by a thin layer of asphalt indicating that after the demolition of these out-buildings the area became a courtyard. The service trench near the stables was excavated after the latter had been demolished. It may be concluded therefore that the fill layers above the footings and below the asphalt are associated with demolition of the out-buildintgs and construction in the vicinity, as indicated by the service trench. Historical documentation suports this interpretation with evidence that at least part of the stables was demolished in 1898 to make way for the link building (1897-1900). The latest structures in this section are the concrete slab and modern walling at the north end. The latter forms part of the stairwell and lavatory building (1958) constructed as an addition to the strong room (1896-1898). (The zero point for the datum line was located on the north face of the arcade surrounding the cortile. The datum line is at 19 metres A.H.D.)

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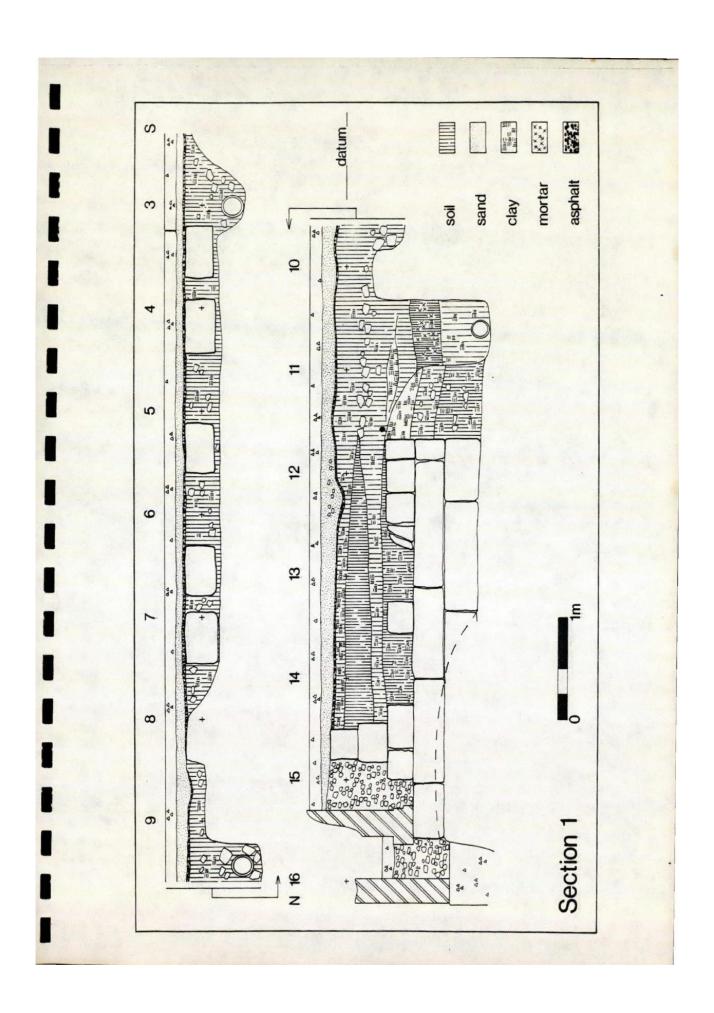




Figure 3. Small remaining fragment of sandstone flag flooring in the stables, as illustrated in figure 1 (December 1982, photographed from E).



Figure 4. Western wall of stables and boundary wall (December 1982, photographed from N.W.).



Figure 5. Section 1 with footings associated with the stables block (December 1982, photographed from S.W.).



Figure 6. Section 1 with footings associated with the toilet block (December 1982, photographed from W).



Figure 7. Footings of the toilet block. This photograph was taken slightly before figure 6, before mechanical excavation of the remaining fill back to the line of section 1. The footings in both figures 6 and 7 were recorded and planned. (see figure 1)(December 1982, photographed from W).

