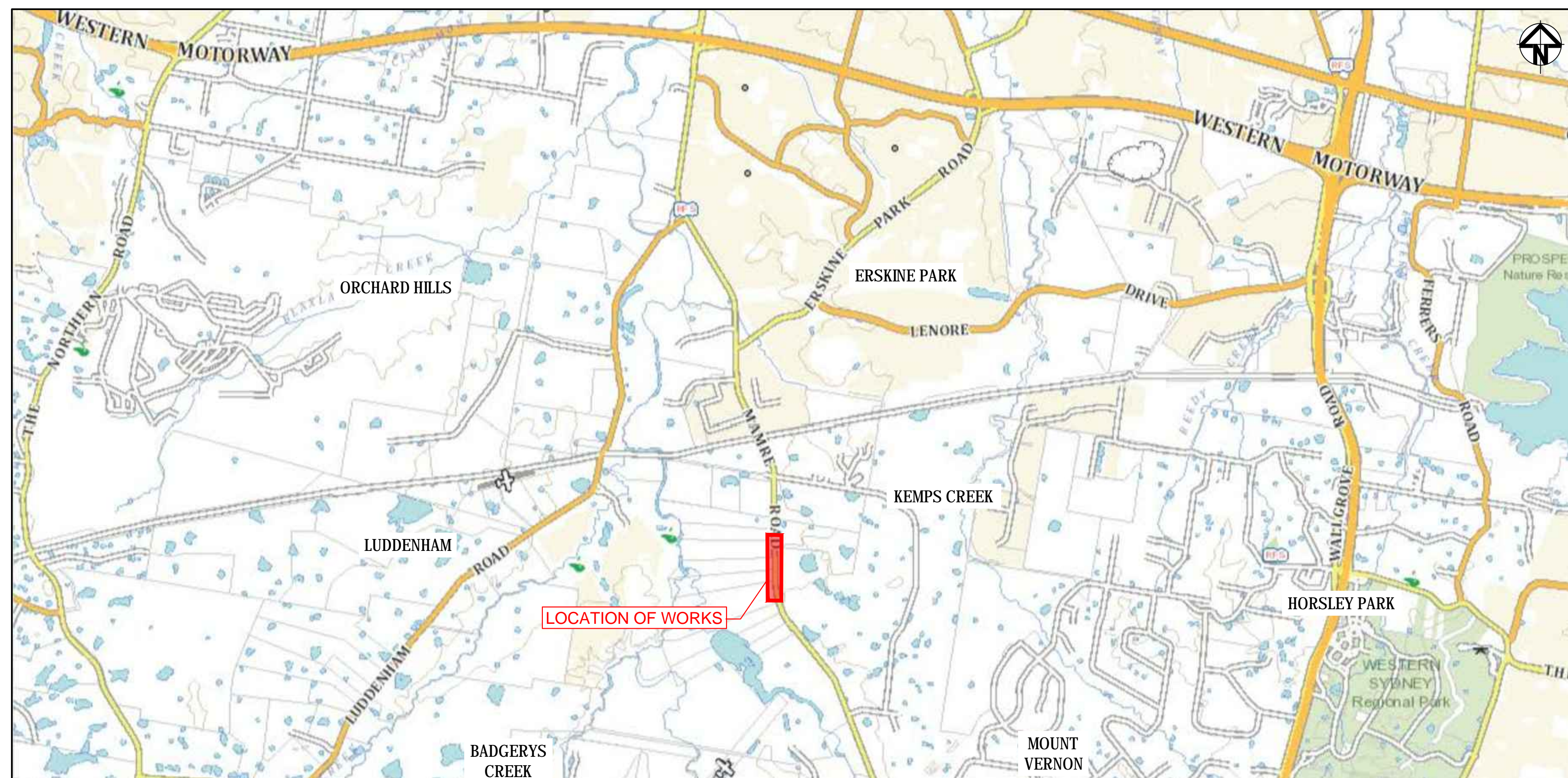


**CLOSED MAMRE ROAD INTERSECTION  
ASPECT INDUSTRIAL ESTATE  
MAMRE ROAD, KEMPS CREEK**



## LOCALITY PLAN

NTS

<u><b>DRAWING LIST</b></u>	
<b>DRAWING No.</b>	<b>DRAWING TITLE</b>
18-596-C0000	COVER SHEET LOCALITY PLAN AND DRAWING LIST
18-596-C0003	GENERAL ARRANGEMENT PLAN
18-596-C0010	TYPICAL SECTIONS
18-596-C0020	ROADWORKS AND STORMWATER DRAINAGE PLAN SHEET 1
18-596-C0021	ROADWORKS AND STORMWATER DRAINAGE PLAN SHEET 2
18-596-C0022	ROADWORKS AND STORMWATER DRAINAGE PLAN SHEET 3
18-596-C0030	PAVEMENT PLAN
18-596-C0040	PAVEMENT MARKING AND SIGNAGE PLAN SHEET 1
18-596-C0041	PAVEMENT MARKING AND SIGNAGE PLAN SHEET 2
18-596-C0042	PAVEMENT MARKING AND SIGNAGE PLAN SHEET 3
18-596-C0050	TURNING PATH PLAN

## SURVEY NOTES

THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN INVESTIGATED BY CARNO HARD & FORESTER AND LAND PARTNERS PTY LTD, BEING REGISTERED SURVEYORS. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN, AT & L DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OR ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAWINGS.

SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION  
BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA, CONTACT AT & L.

THE FOLLOWING NOTES HAVE BEEN TAKEN DIRECTLY FROM THE ORIGINAL SURVEY DOCUMENTS.

THE TITLE BOUNDARIES SHOWN HEREON WERE NOT MARKED AT THE TIME OF SURVEY AND HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY AND NOT BY FIELD SURVEY.

SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. IF NOT ABLE TO BE SO LOCATED, SERVICES HAVE BEEN PLOTTED FROM THE RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE AND HAVE BEEN NOTED ACCORDINGLY ON THE PLAN. WHERE SUCH RECORDS DO NOT EXIST OR ARE INADEQUATE A NOTATION HAS BEEN MADE HEREON.

PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATIONS OF ALL SERVICES.

## EXISTING UNDERGROUND SERVICES NOTES

THE SERVICE INFORMATION HAS BEEN PREPARED ONLY TO SHOW THE APPROXIMATE POSITIONS OF ANY KNOWN SERVICES, AND MAY NOT BE AS CONSTRUCTED OR ACCURATE. AT & I CAN NOT GUARANTEE THAT THE SERVICES INFORMATION SHOWN ON THESE DRAWINGS ACCURATELY INDICATES THE PRESENCE OR ABSENCE OF SERVICES OR THEIR LOCATION AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES INFORMATION SHOWN FROM ANY CAUSE WHATSOEVER.

CONTRACTORS SHALL TAKE DUE CARE WHEN EXCAVATING ONSITE INCLUDING HAND EXCAVATION WHERE NECESSARY.

CONTRACTORS ARE TO CONTACT THE RELEVANT SERVICE AUTHORITY  
PRIOR TO COMMENCEMENT OF EXCAVATION WORKS.





CONTRACTORS ARE TO UNDERTAKE A SERVICES SEARCH, PRIOR TO COMMENCEMENT OF WORKS ON SITE. SEARCH RESULTS ARE TO BE KEPT ON SITE AT ALL TIMES.



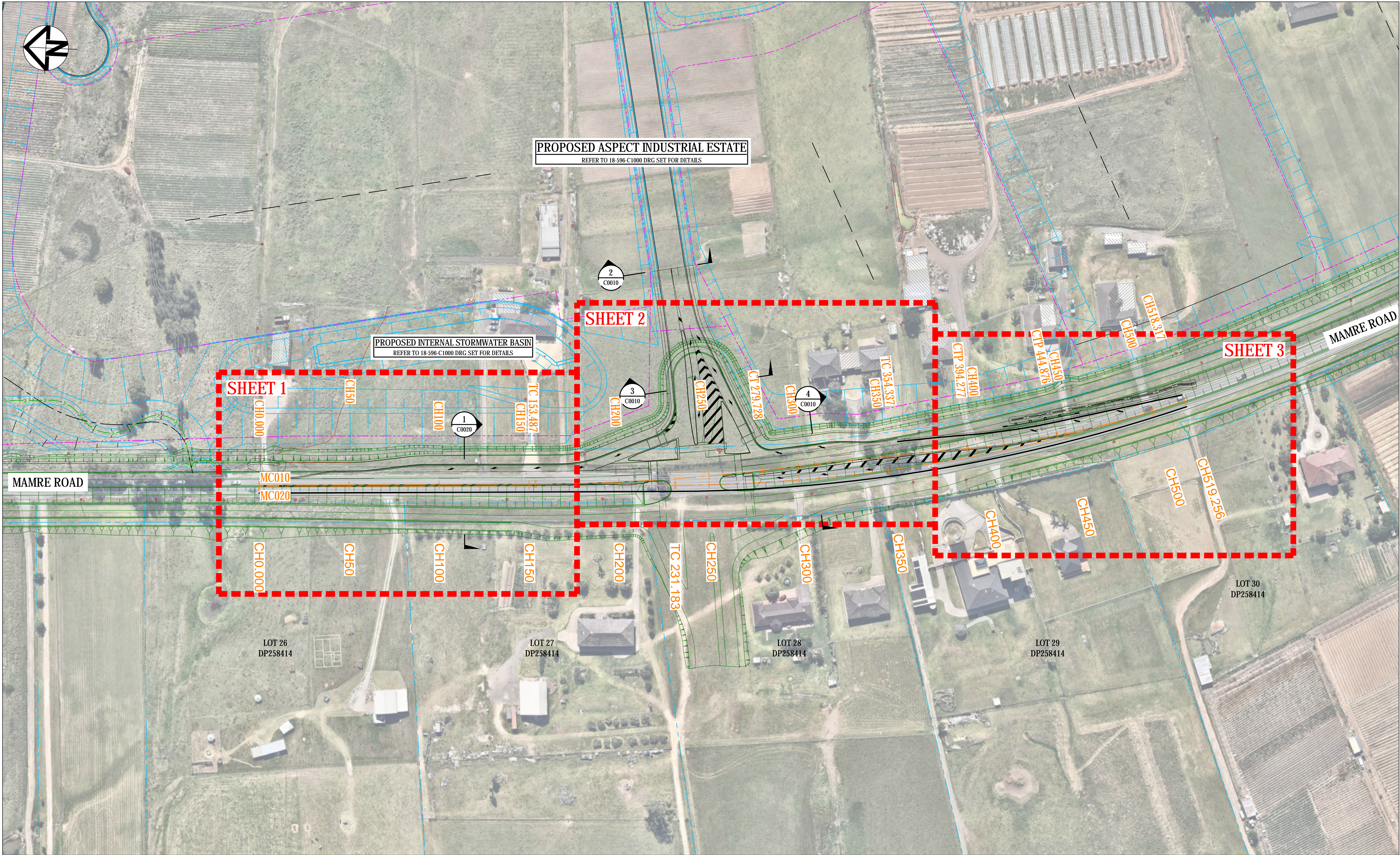
CONTRACTOR SHALL CALL:

**DIAL BEFORE YOU  
DIG 1100**

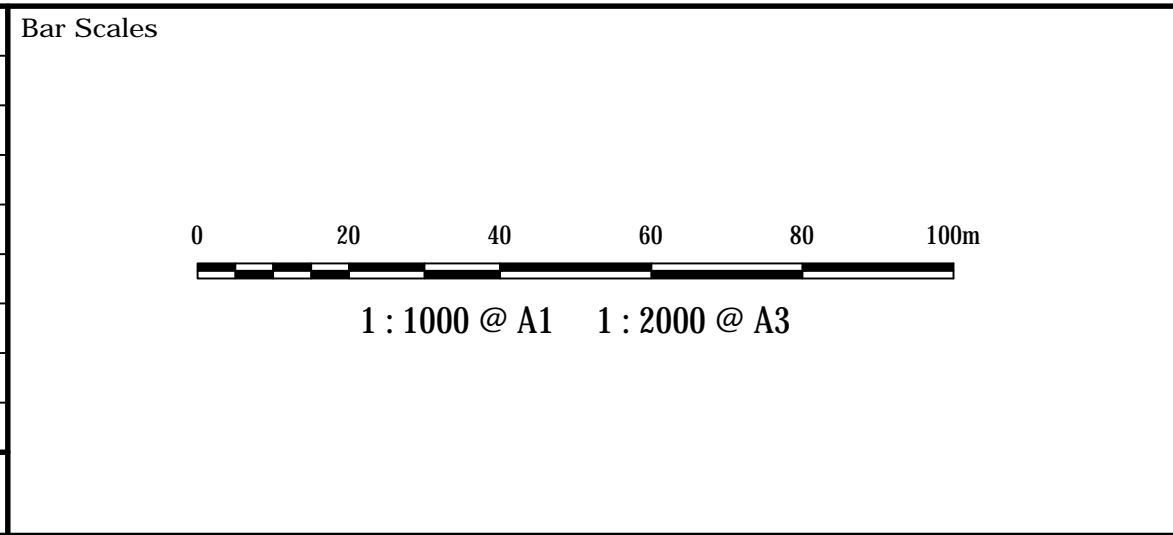
**PRIOR TO COMMENCEMENT OF WORK TO OBTAIN  
ALL CURRENT SERVICE AUTHORITY PLANS**

			Bar Scales	THIS DRAWING CANNOT BE COPIED OR REPRODUCED IN ANY FORM OR USED FOR ANY OTHER PURPOSE OTHER THAN THAT ORIGINALLY INTENDED WITHOUT THE WRITTEN PERMISSION OF AT&L	Client 	<table><tr><td rowspan="2">Scales N.T.S.</td><td>Drawn</td><td>PDK</td><td rowspan="4">Project <b>ASPECT INDUSTRIAL ESTATE MAMRE ROAD, KEMPS CREEK EXTERNAL INTERSECTION</b></td></tr><tr><td>Designed</td><td>PDK</td></tr><tr><td>Grid MGA</td><td>Checked</td><td>AT</td></tr><tr><td>Height Datum AHD</td><td>Approved</td><td></td></tr><tr><td colspan="3">RMS Registration Number <b>DS2020/000XXX</b></td><td rowspan="3">Title <b>COVER SHEET LOCALITY PLAN AND DRAWING LIST</b></td></tr><tr><td colspan="3"></td></tr><tr><td colspan="3"></td></tr></table>	Scales N.T.S.	Drawn	PDK	Project <b>ASPECT INDUSTRIAL ESTATE MAMRE ROAD, KEMPS CREEK EXTERNAL INTERSECTION</b>	Designed	PDK	Grid MGA	Checked	AT	Height Datum AHD	Approved		RMS Registration Number <b>DS2020/000XXX</b>			Title <b>COVER SHEET LOCALITY PLAN AND DRAWING LIST</b>							<table><tr><td colspan="2">Civil Engineers and Project Managers</td></tr><tr><td rowspan="5"></td><td>Level 7, 153 Walker Street North Sydney NSW 2060 ABN 96 130 882 405 Tel: 02 9439 1777 Fax: 02 9923 1055 www.atl.net.au info@atl.net.au</td></tr><tr><td>Status <b>FOR APPROVAL</b></td><td rowspan="2"><b>A1</b></td></tr><tr><td><b>NOT TO BE USED FOR CONSTRUCTION</b></td></tr><tr><td colspan="2">Project - Drawing No. <b>18-596-C0000</b></td><td>Issue <b>B</b></td></tr></table>	Civil Engineers and Project Managers			Level 7, 153 Walker Street North Sydney NSW 2060 ABN 96 130 882 405 Tel: 02 9439 1777 Fax: 02 9923 1055 www.atl.net.au info@atl.net.au	Status <b>FOR APPROVAL</b>	<b>A1</b>	<b>NOT TO BE USED FOR CONSTRUCTION</b>	Project - Drawing No. <b>18-596-C0000</b>		Issue <b>B</b>
Scales N.T.S.	Drawn	PDK	Project <b>ASPECT INDUSTRIAL ESTATE MAMRE ROAD, KEMPS CREEK EXTERNAL INTERSECTION</b>																																				
	Designed	PDK																																					
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	Project - Drawing No. <b>18-596-C0000</b>		Issue <b>B</b>																																				
B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20																																					
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20																																					
Issue	Description	Date																																					





B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20
Issue	Description	Date



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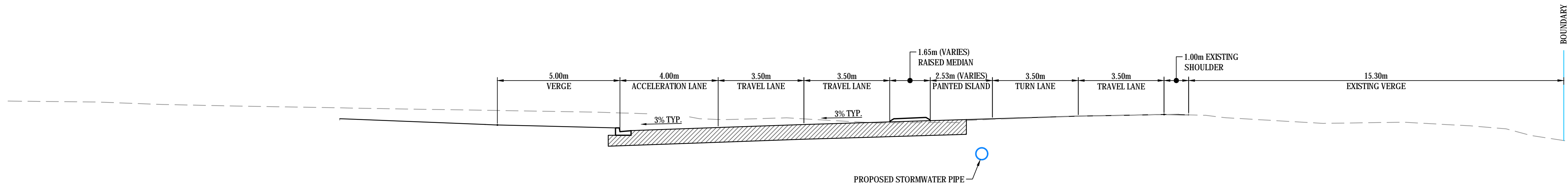


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Grid	MGA	Checked	AT
Height Datum	AHD	Approved	
RMS Registration Number			
DS2020/000XXX			

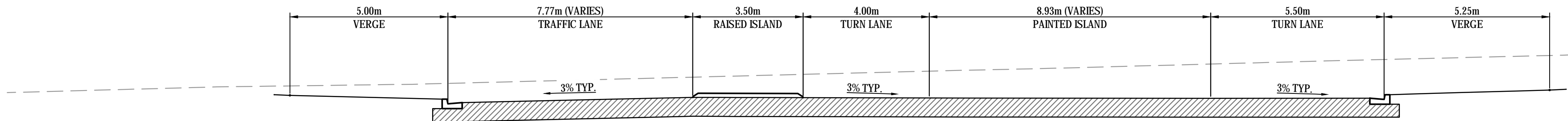
Project	ASPECT INDUSTRIAL ESTATE MAMRE ROAD, KEMPS CREEK EXTERNAL INTERSECTION
Title	
GENERAL ARRANGEMENT PLAN	

Civil Engineers and Project Managers		
Level 7, 153 Walker Street North Sydney NSW 2060 ABN 96 130 882 405 Tel: 02 9439 1777 Fax: 02 9923 1055 www.atl.net.au info@atl.net.au		
Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION	A1
Project - Drawing No.	18-596-C0003	Issue B

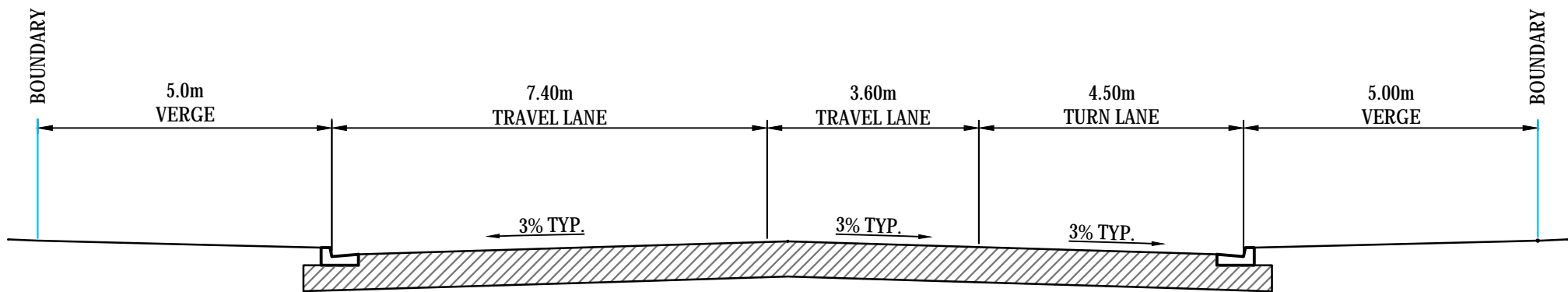




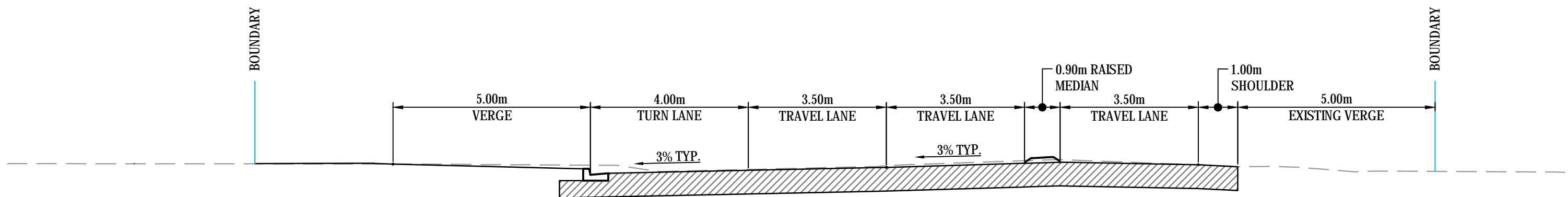
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1 : 100



SECTION 3  
1 : 100



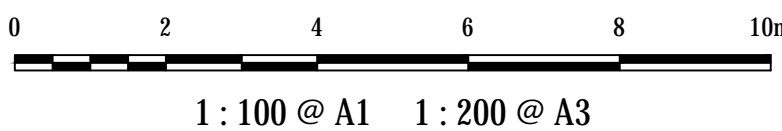
SECTION 2  
1 : 100



SECTION 1  
1 : 100

B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20
Issue	Description	Date

Bar Scales



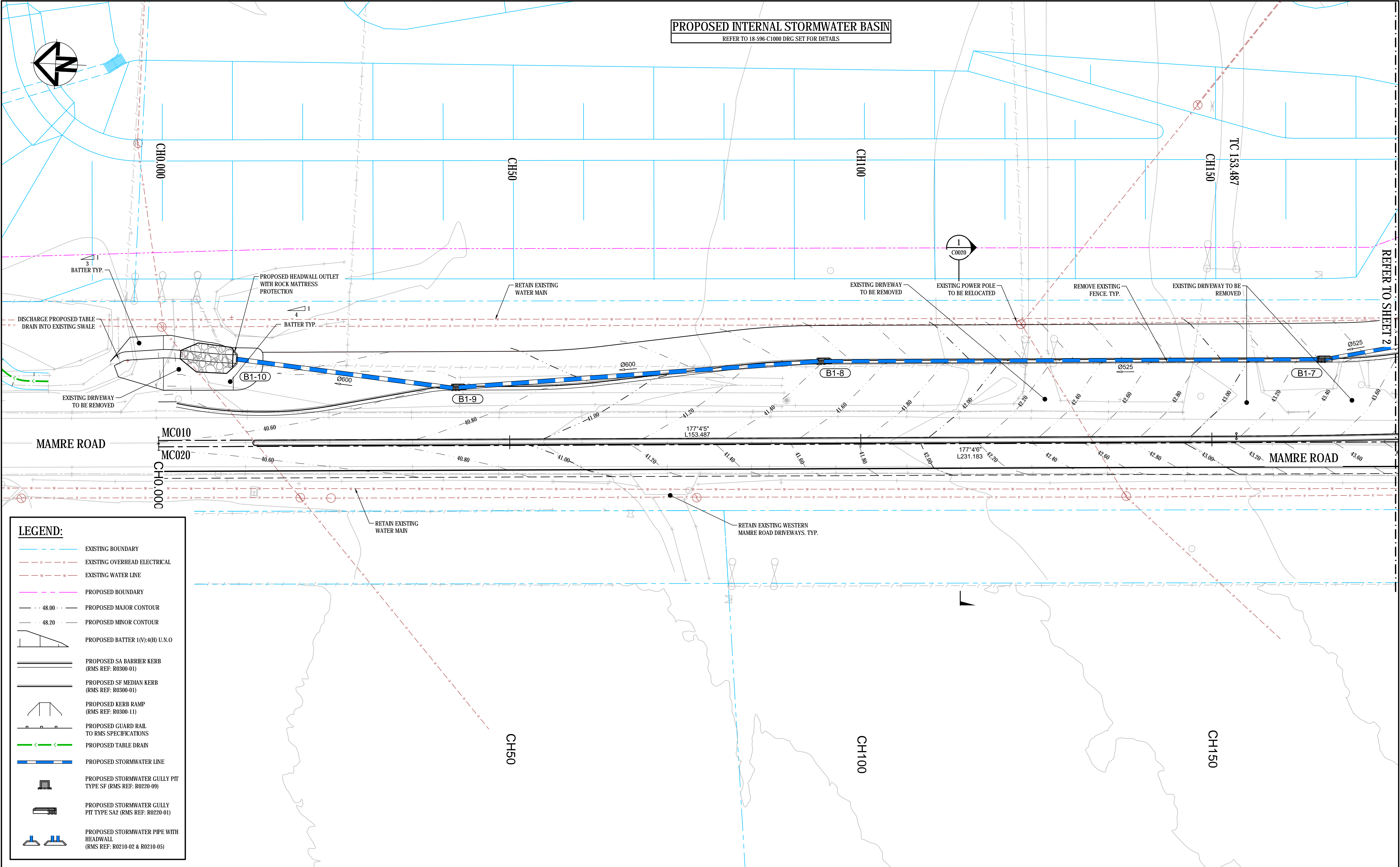
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OTHER PURPOSE OTHER THAN  
THAT ORIGINALLY INTENDED  
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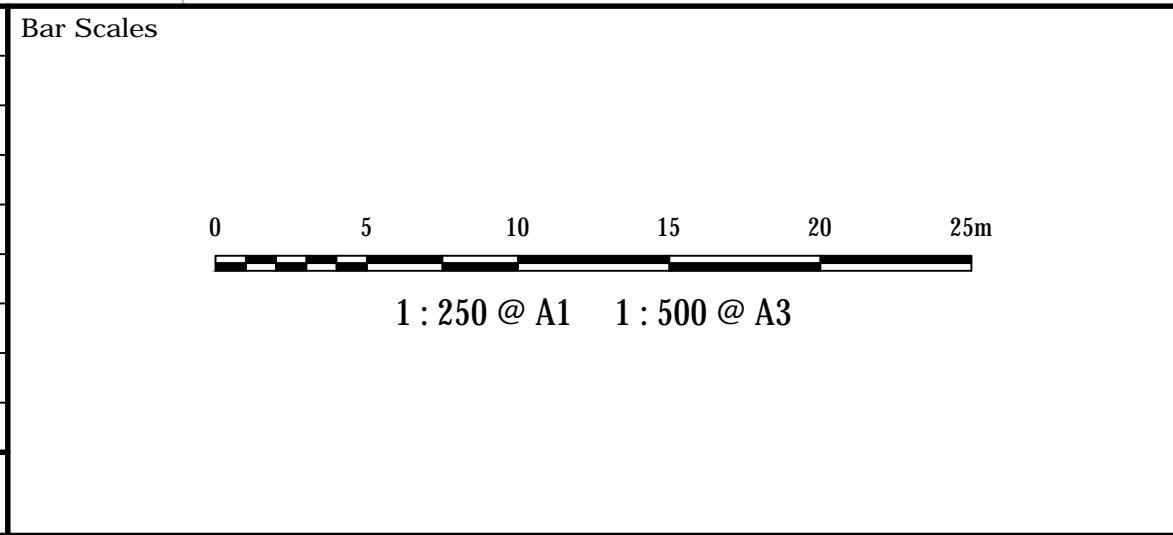
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Grid	MGA	Checked	AT
Height Datum	AHD	Approved	
RMS Registration Number			
DS2020/000XXX			

Project	ASPECT INDUSTRIAL ESTATE MAMRE ROAD, KEMPS CREEK EXTERNAL INTERSECTION	
Title	TYPICAL SECTIONS	

Civil Engineers and Project Managers		
<b>at&amp;l</b>		
Level 7, 153 Walker Street North Sydney NSW 2060 ABN 96 130 882 405 Tel: 02 9439 1777 Fax: 02 9923 1055 www.atl.net.au info@atl.net.au		
Status	FOR APPROVAL	A1
NOT TO BE USED FOR CONSTRUCTION		
Project - Drawing No.		Issue
18-596-C0010		B



B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20
Issue	Description	Date



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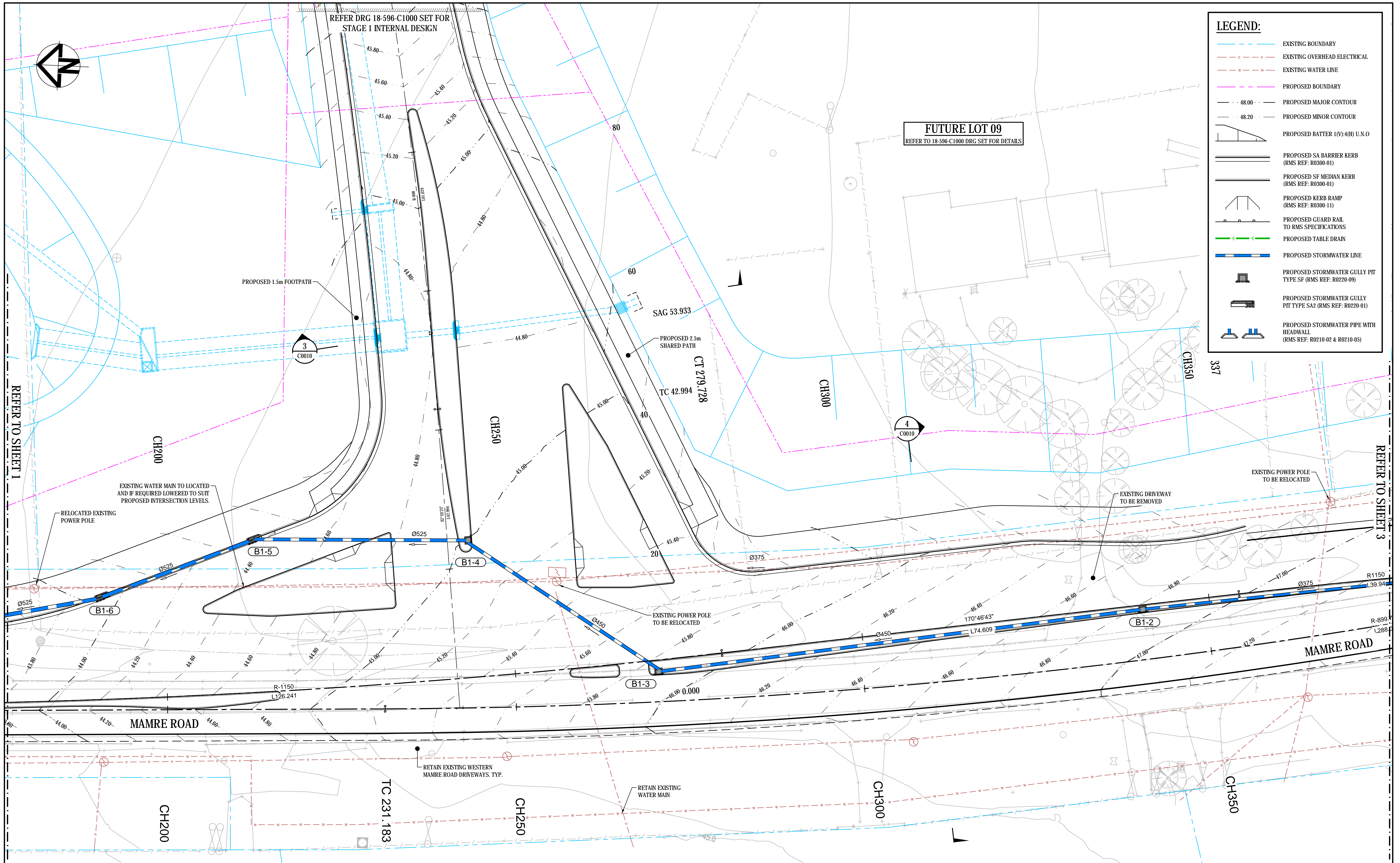


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RMS Registration Number			
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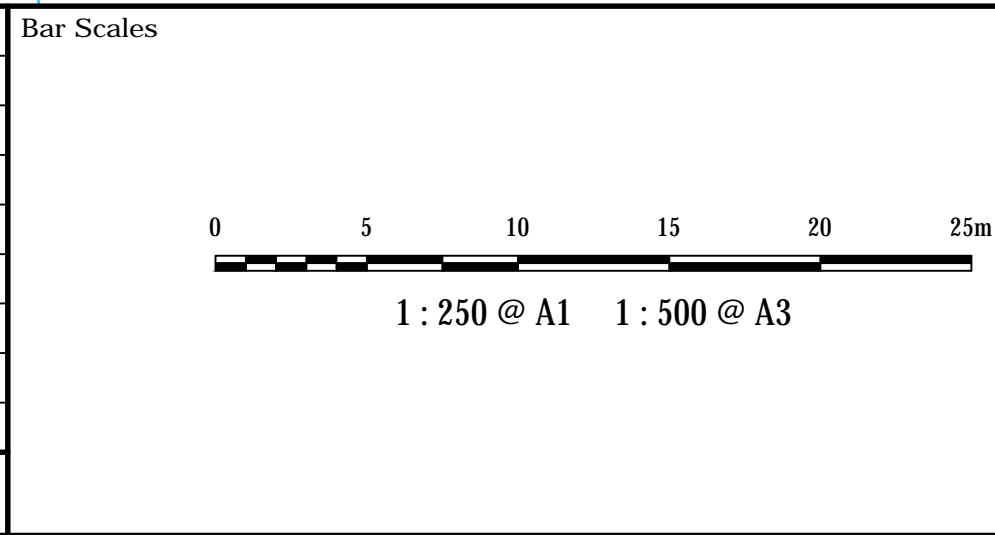
Project	ASPECT INDUSTRIAL ESTATE MAMRE ROAD, KEMPS CREEK EXTERNAL INTERSECTION
Title	ROADWORKS AND STORMWATER DRAINAGE PLAN SHEET 1

Civil Engineers and Project Managers		
Level 7, 153 Walker Street North Sydney NSW 2060 ABN 96 130 882 405 Tel: 02 9439 1777 Fax: 02 9923 1055 www.atl.net.au info@atl.net.au		
Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION	A1
Project - Drawing No.	18-596-C0020	Issue B





Issue	Description	Date
B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20



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Client



Scales	1:250	Drawn	PDK
Grid	MGA	Designed	PDK
Height Datum	AHD	Checked	AT
RMS Registration Number	DS2020/000XXX	Approved	


Project

ASPECT INDUSTRIAL ESTATE  
MAMRE ROAD,  
KEMPS CREEK  
EXTERNAL INTERSECTION

Title

ROADWORKS  
AND STORMWATER DRAINAGE  
PLAN  
SHEET 2

Civil Engineers and Project Managers



Level 7, 153 Walker Street  
North Sydney NSW 2060  
ABN 96 130 882 405  
Tel: 02 9439 1777  
Fax: 02 9923 1055  
www.atl.net.au  
info@atl.net.au

Status

FOR APPROVAL  
NOT TO BE USED FOR CONSTRUCTION

Project - Drawing No.

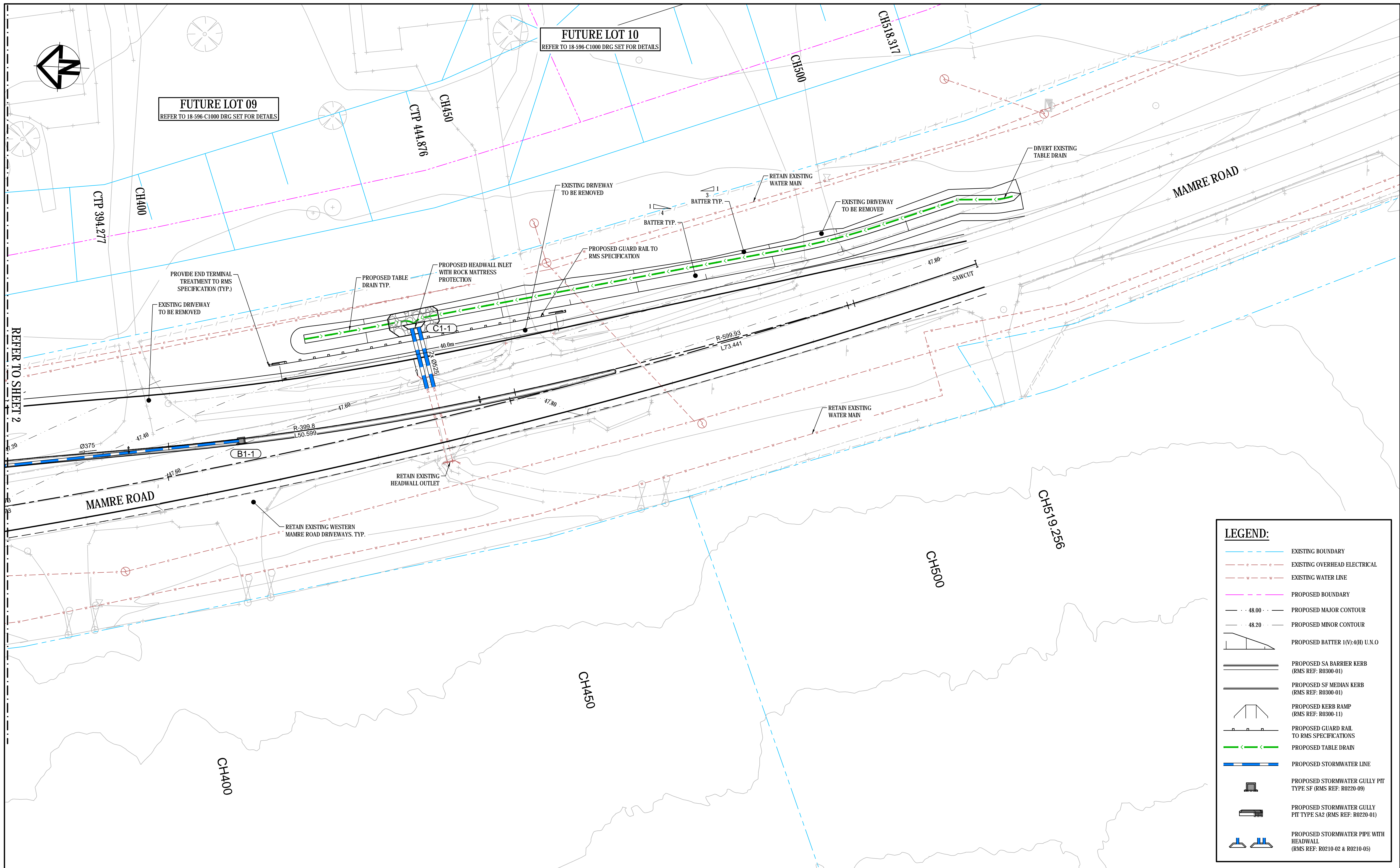
18-596-C0021

Issue

B

A1





**LEGEND:**

- EXISTING BOUNDARY
- EXISTING OVERHEAD ELECTRICAL
- EXISTING WATER LINE
- PROPOSED BOUNDARY
- PROPOSED MAJOR CONTOUR 48.00
- PROPOSED MINOR CONTOUR 48.20
- PROPOSED BATTER 1(V):4(H) U.N.O
- PROPOSED SA BARRIER KERB (RMS REF: R0300-01)
- PROPOSED SF MEDIAN KERB (RMS REF: R0300-01)
- PROPOSED KERB RAMP (RMS REF: R0300-11)
- PROPOSED GUARD RAIL TO RMS SPECIFICATIONS
- PROPOSED TABLE DRAIN
- PROPOSED STORMWATER LINE
- PROPOSED STORMWATER GULLY PIT TYPE SF (RMS REF: R0220-09)
- PROPOSED STORMWATER GULLY PIT TYPE SA2 (RMS REF: R0220-01)
- PROPOSED STORMWATER PIPE WITH HEADWALL (RMS REF: R0210-02 & R0210-05)

B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20
Issue	Description	Date

Bar Scales

0 5 10 15 20 25m

1 : 250 @ A1 1 : 500 @ A3

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Client

Scales

1:250

Grid MGA

Height Datum AHD

RMS Registration Number

DS2020/000XXX

Project

ASPECT INDUSTIAL ESTATE  
MAMRE ROAD,  
KEMPS CREEK  
EXTERNAL INTERSECTION

Title

ROADWORKS  
AND STORMWATER DRAINAGE  
PLAN  
SHEET 3

Civil Engineers and Project Managers

Level 7, 153 Walker Street  
North Sydney NSW 2060  
ABN 96 130 882 405  
Tel: 02 9439 1777  
Fax: 02 9923 1055  
www.atl.net.au  
info@atl.net.au

Status

FOR APPROVAL  
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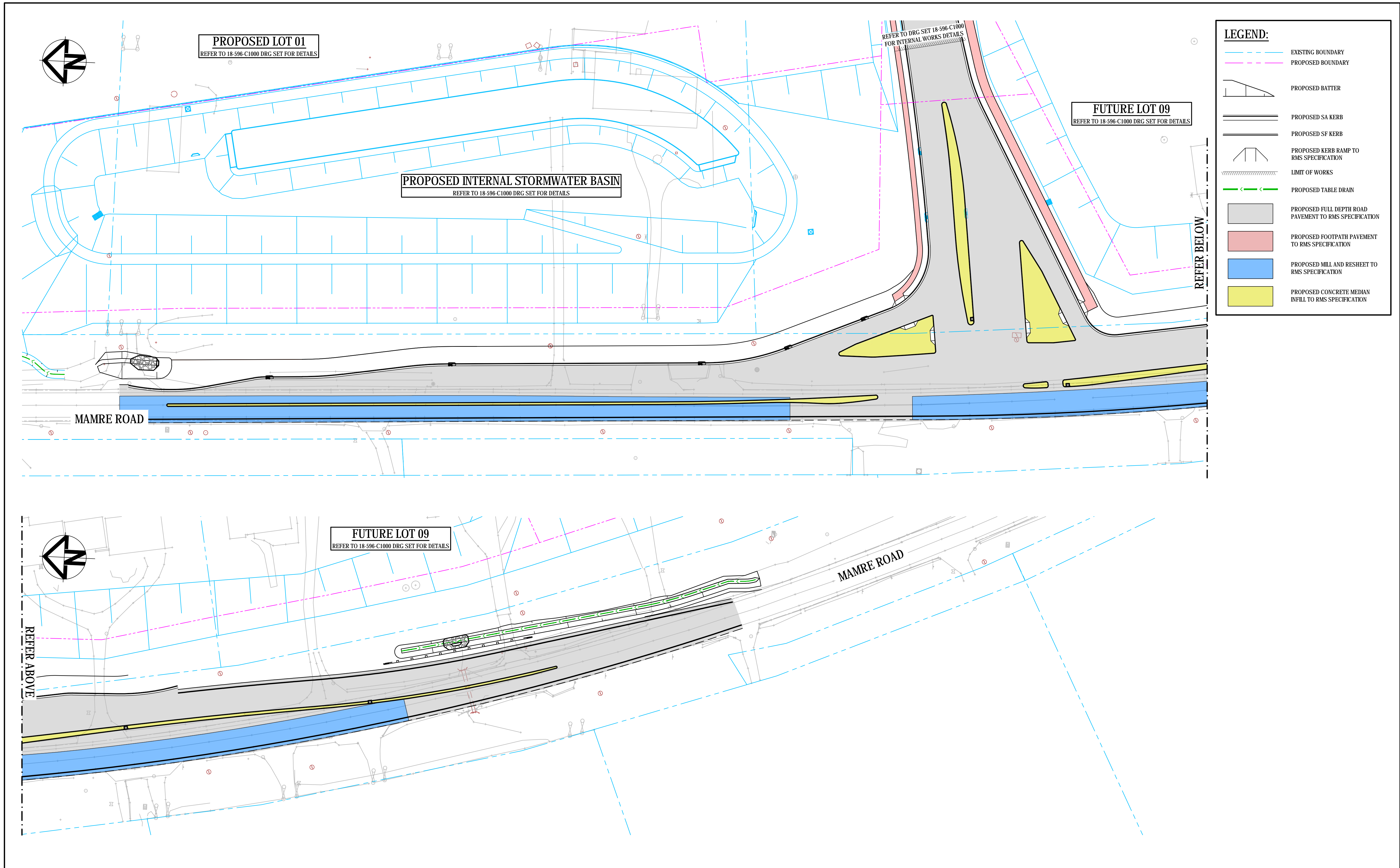
Project - Drawing No.

18-596-C0022

Issue

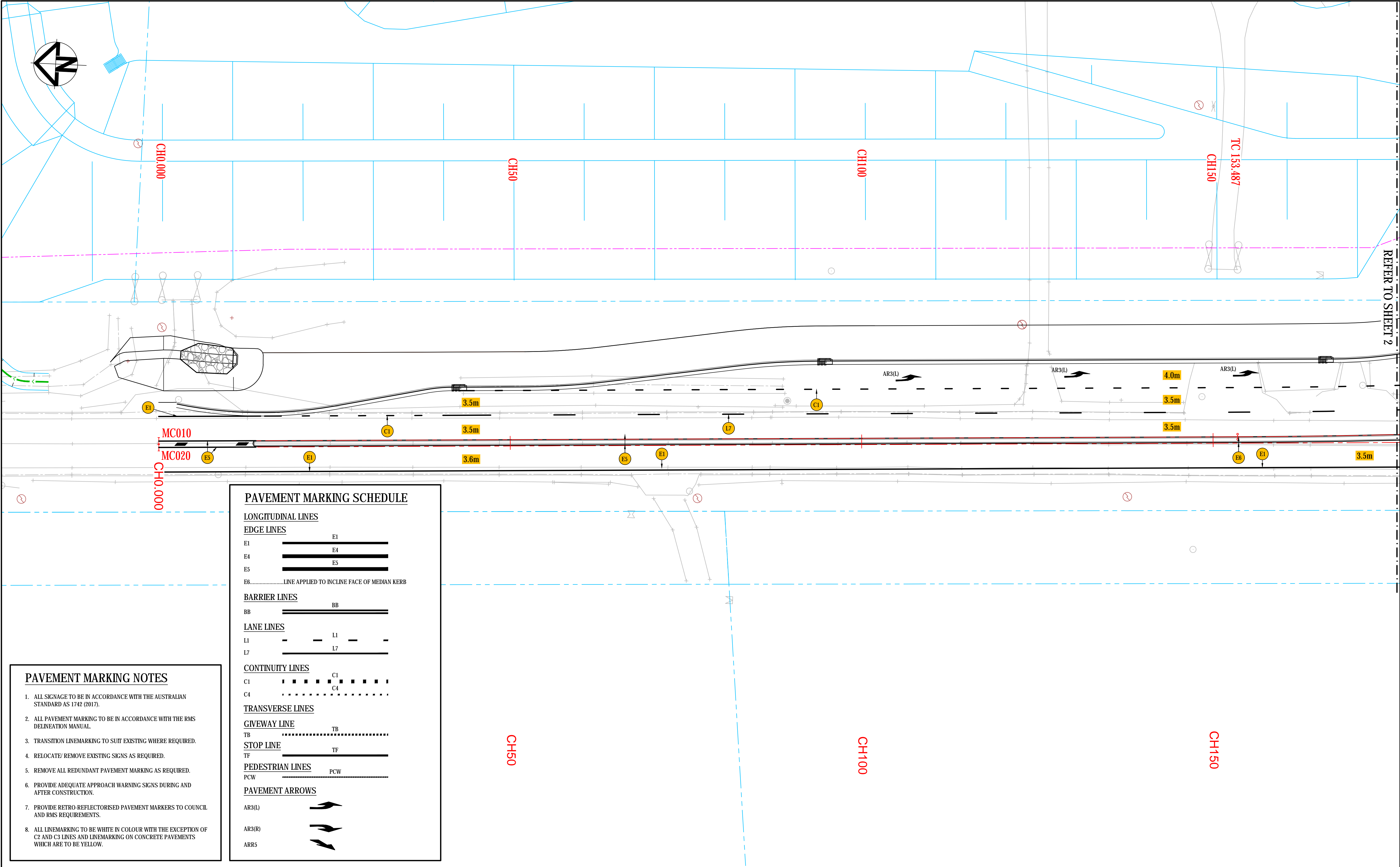
A1  
B





			<p>Bar Scales</p> 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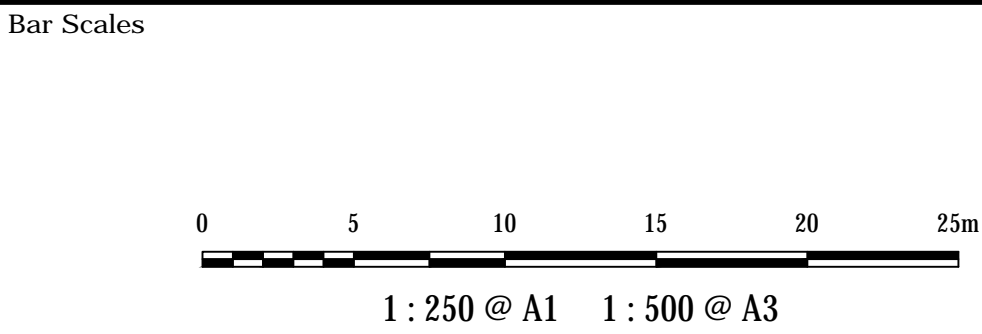




- PAVEMENT MARKING NOTES**
- ALL SIGNAGE TO BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARD AS 1742 (2017).
  - ALL PAVEMENT MARKING TO BE IN ACCORDANCE WITH THE RMS DELINEATION MANUAL.
  - TRANSITION LINEMARKING TO SUIT EXISTING WHERE REQUIRED.
  - RELOCATE/ REMOVE EXISTING SIGNS AS REQUIRED.
  - REMOVE ALL REDUNDANT PAVEMENT MARKING AS REQUIRED.
  - PROVIDE ADEQUATE APPROACH WARNING SIGNS DURING AND AFTER CONSTRUCTION.
  - PROVIDE RETRO-REFLECTORISED PAVEMENT MARKERS TO COUNCIL AND RMS REQUIREMENTS.
  - ALL LINEMARKING TO BE WHITE IN COLOUR WITH THE EXCEPTION OF C2 AND C3 LINES AND LINEMARKING ON CONCRETE PAVEMENTS WHICH ARE TO BE YELLOW.

PAVEMENT MARKING SCHEDULE	
LONGITUDINAL LINES	
EDGE LINES	
E1	
E4	
E5	
E6	.....LINE APPLIED TO INCLINE FACE OF MEDIAN KERB
BARRIER LINES	
BB	
LANE LINES	
L1	
L7	
CONTINUITY LINES	
C1	
C4	
TRANSVERSE LINES	
GIVEWAY LINE	
TB	
STOP LINE	
TF	
PEDESTRIAN LINES	
PCW	
PAVEMENT ARROWS	
AR3(L)	
AR3(R)	
ARR5	

B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20
Issue	Description	Date



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		Designed	PDK
Grid	MGA	Checked	AT
Height Datum	AHD	Approved	
RMS Registration Number			
DS2020/000XXX			

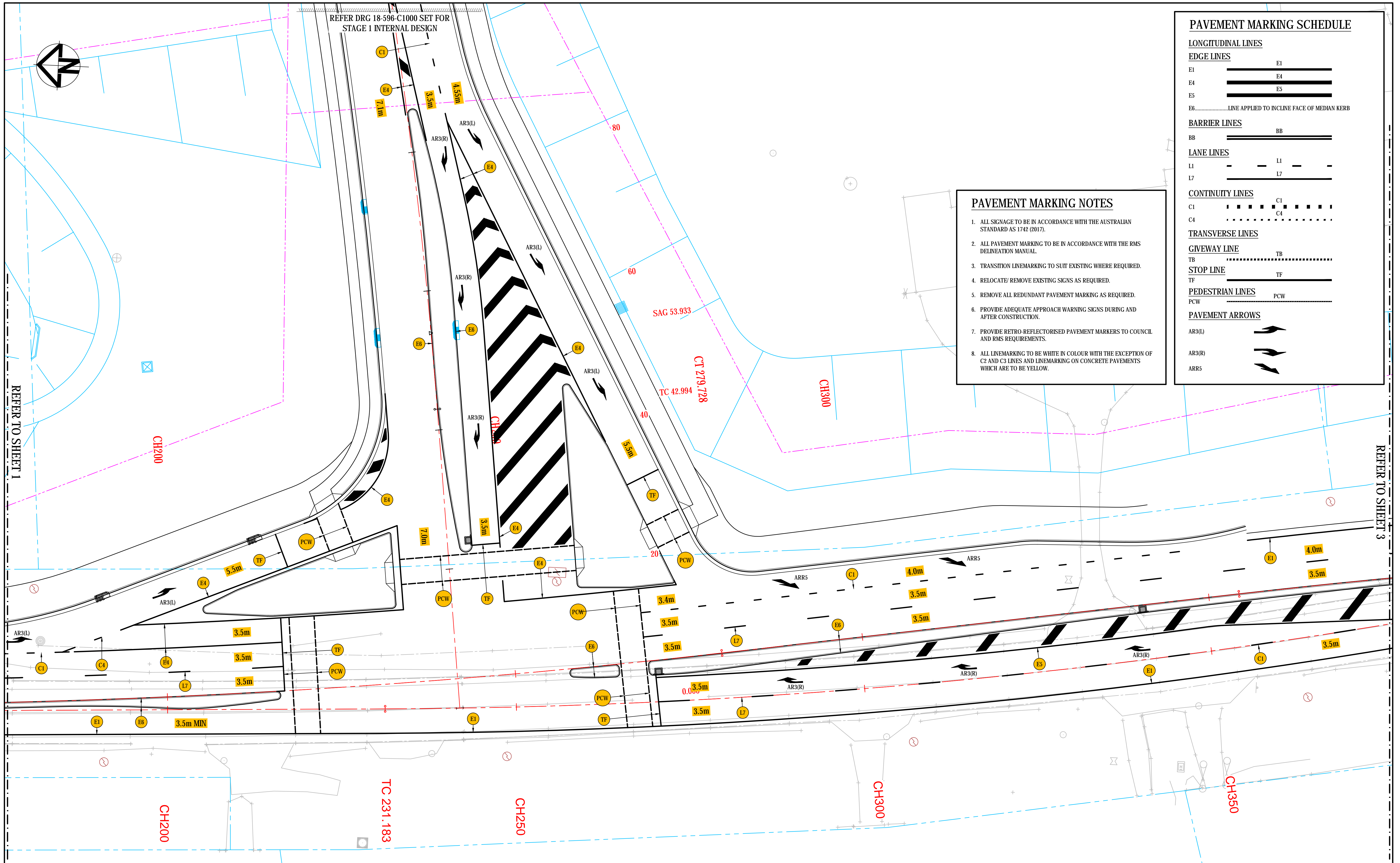
Project	ASPECT INDUSTRIAL ESTATE MAMRE ROAD, KEMPS CREEK EXTERNAL INTERSECTION
Title	PAVEMENT MARKING AND SIGNAGE PLAN SHEET 1

Civil Engineers and Project Managers

Level 7, 153 Walker Street  
North Sydney NSW 2060  
ABN 96 130 882 405  
Tel: 02 9439 1777  
Fax: 02 9923 1055  
www.atl.net.au  
info@atl.net.au

Status	FOR APPROVAL	A1
NOT TO BE USED FOR CONSTRUCTION		
Project - Drawing No.	18-596-C0040	Issue
		B

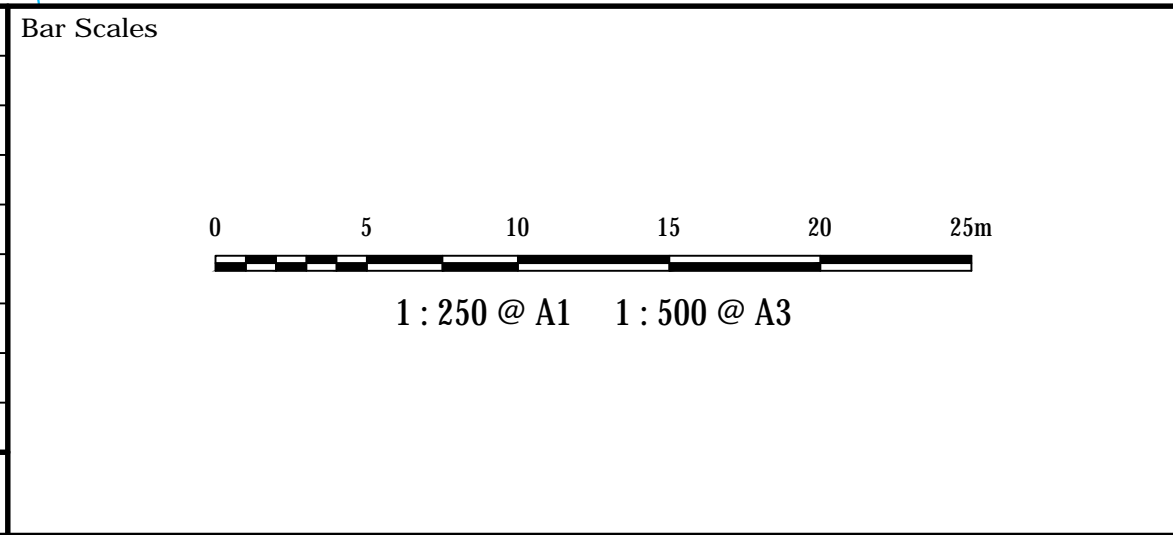




PAVEMENT MARKING SCHEDULE	
LONGITUDINAL LINES	
EDGE LINES	
E1	
E4	
E5	
E6	.....LINE APPLIED TO INCLINE FACE OF MEDIAN KERB
BARRIER LINES	
BB	
LANE LINES	
L1	
L7	
CONTINUITY LINES	
C1	
C4	
TRANSVERSE LINES	
GIVEWAY LINE	
TB	
STOP LINE	
TF	
PEDESTRIAN LINES	
PCW	
PAVEMENT ARROWS	
AR3(L)	
AR3(R)	
ARR5	

- PAVEMENT MARKING NOTES**
- ALL SIGNAGE TO BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARD AS 1742 (2017).
  - ALL PAVEMENT MARKING TO BE IN ACCORDANCE WITH THE RMS DELINEATION MANUAL.
  - TRANSITION LINEMARKING TO SUIT EXISTING WHERE REQUIRED.
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B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20
Issue	Description	Date



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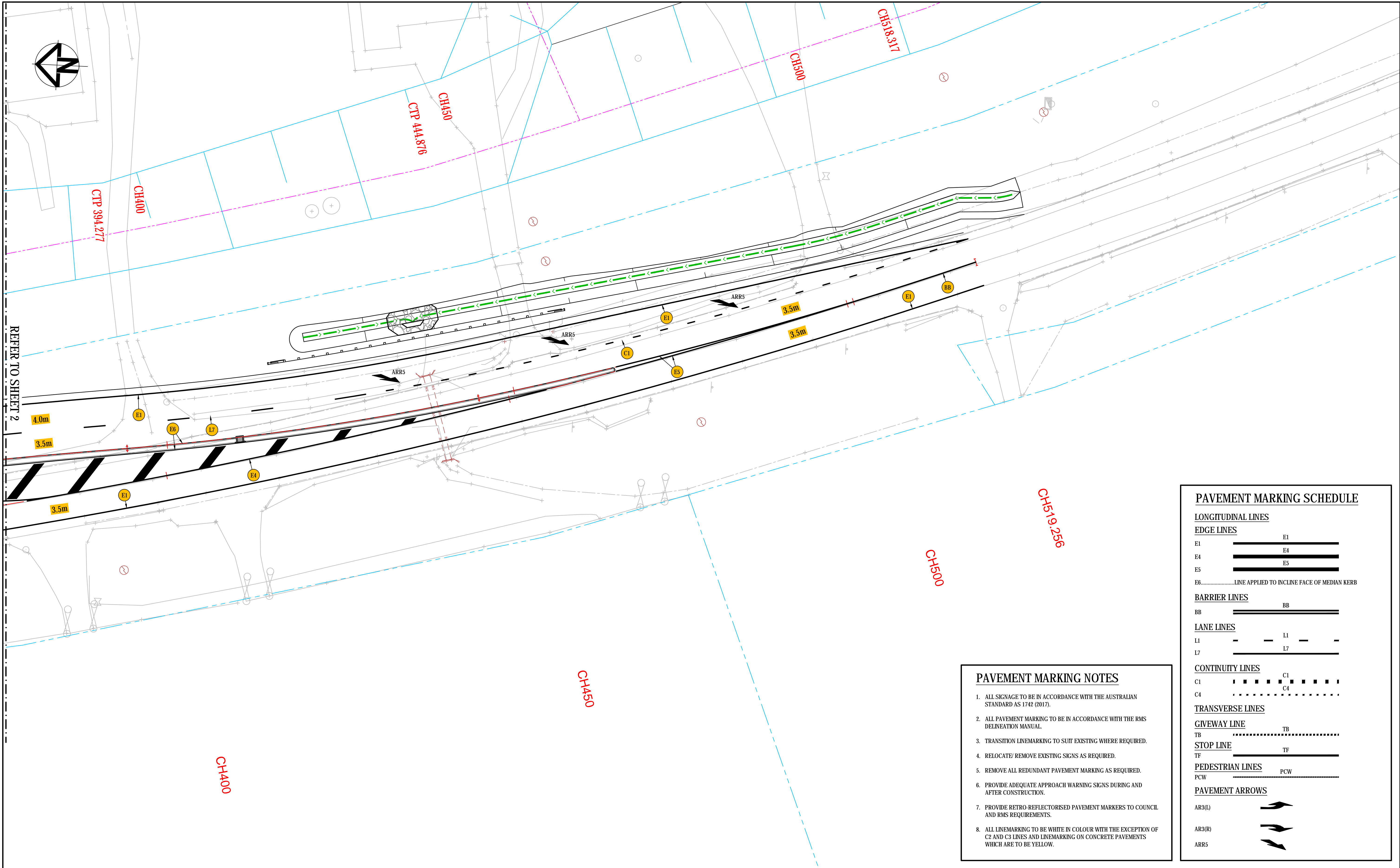


Scales	1:250	Drawn	PDK
		Designed	PDK
Grid	MGA	Checked	AT
Height Datum	AHD	Approved	
RMS Registration Number			
DS2020/000XXX			

Project	ASPECT INDUSTIAL ESTATE MAMRE ROAD, KEMPS CREEK EXTERNAL INTERSECTION
Title	PAVEMENT MARKING AND SIGNAGE PLAN SHEET 2

Civil Engineers and Project Managers	
Level 7, 153 Walker Street North Sydney NSW 2060 ABN 96 130 882 405 Tel: 02 9439 1777 Fax: 02 9923 1055 www.atl.net.au info@atl.net.au	
Status	FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION	
Project - Drawing No.	18-596-C0041
Issue	B

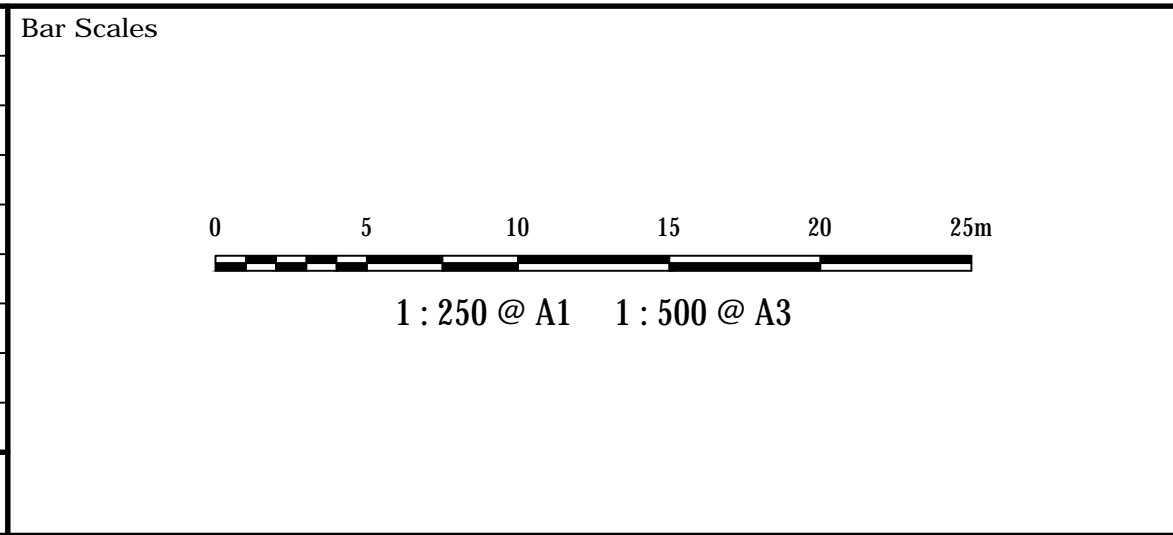




PAVEMENT MARKING SCHEDULE	
LONGITUDINAL LINES	
EDGE LINES	
E1	
E4	
E5	
E6	.....LINE APPLIED TO INCLINE FACE OF MEDIAN KERB
BARRIER LINES	
BB	
LANE LINES	
L1	
L7	
CONTINUITY LINES	
C1	
C4	
TRANSVERSE LINES	
GIVEWAY LINE	
TB	
STOP LINE	
TF	
PEDESTRIAN LINES	
PCW	
PAVEMENT ARROWS	
AR3(L)	
AR3(R)	
ARR5	

- PAVEMENT MARKING NOTES**
- ALL SIGNAGE TO BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARD AS 1742 (2017).
  - ALL PAVEMENT MARKING TO BE IN ACCORDANCE WITH THE RMS DELINEATION MANUAL.
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B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20
Issue	Description	Date



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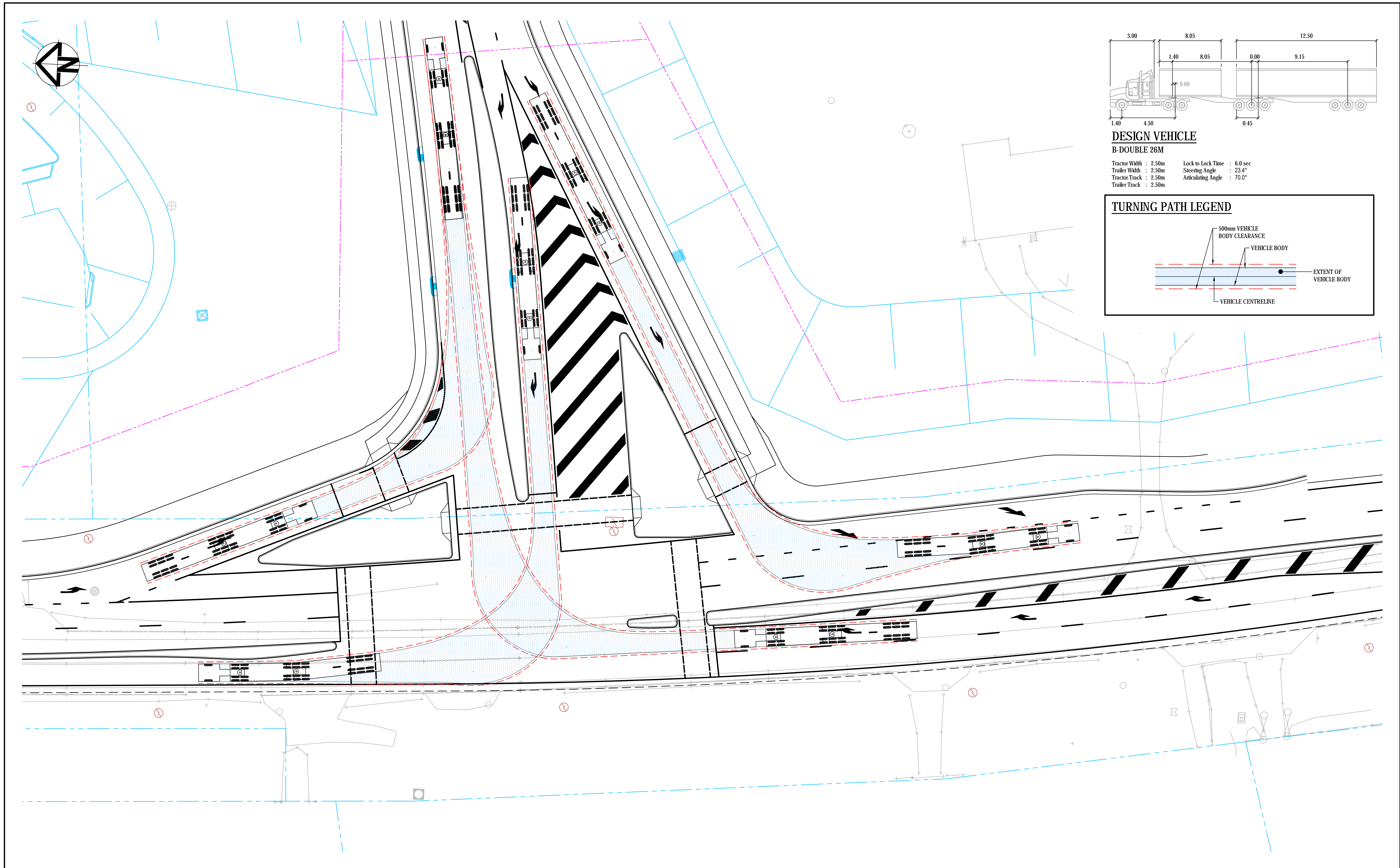


Scales	1:250	Drawn	PDK
		Designed	PDK
Grid	MGA	Checked	AT
Height Datum	AHD	Approved	
RMS Registration Number			
DS2020/000XXX			

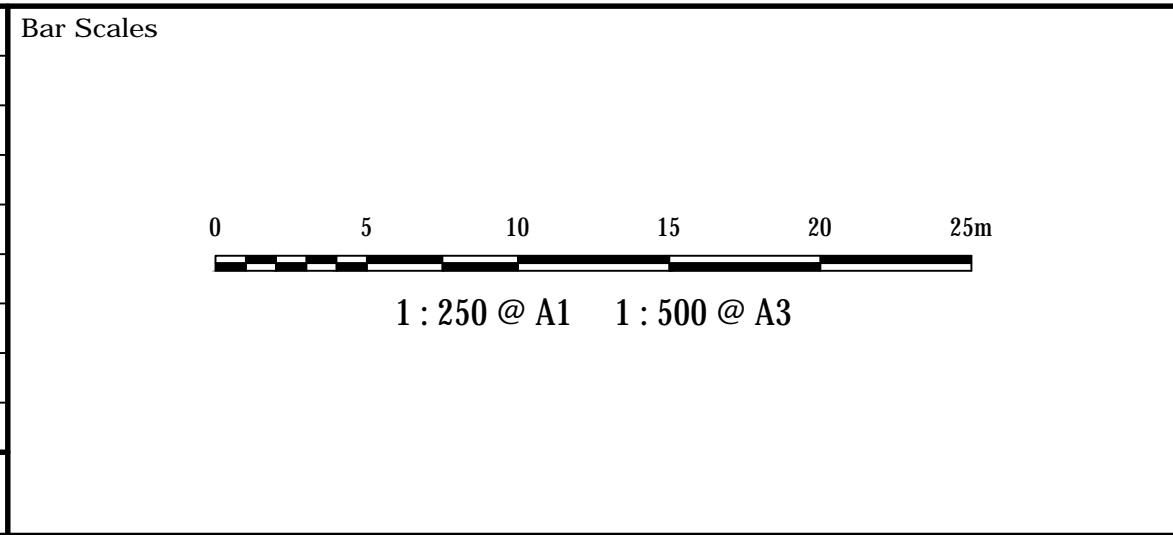
Project	ASPECT INDUSTRIAL ESTATE MAMRE ROAD, KEMPS CREEK EXTERNAL INTERSECTION
Title	PAVEMENT MARKING AND SIGNAGE PLAN SHEET 3

Civil Engineers and Project Managers	
Level 7, 153 Walker Street North Sydney NSW 2060 ABN 96 130 882 405 Tel: 02 9439 1777 Fax: 02 9923 1055 www.atl.net.au info@atl.net.au	
Status	FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION	
Project - Drawing No.	18-596-C0042
Issue	B





B	ISSUE FOR DEVELOPMENT APPLICATION	12-10-20
A	ISSUE FOR DEVELOPMENT APPLICATION	15-05-20
Issue	Description	Date



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		Designed	PDK
Grid	MGA	Checked	AT
Height Datum	AHD	Approved	
RMS Registration Number			
DS2020/000XXX			

Project	ASPECT INDUSTRIAL ESTATE MAMRE ROAD, KEMPS CREEK EXTERNAL INTERSECTION
Title	TURNING PATH PLAN

Civil Engineers and Project Managers	
Level 7, 153 Walker Street North Sydney NSW 2060 ABN 96 130 882 405 Tel: 02 9439 1777 Fax: 02 9923 1055 www.atl.net.au info@atl.net.au	
Status	FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION	
Project - Drawing No.	18-596-C0050
Issue	B