

REVISIONS

ISSUE	DESCRIPTION	DATE
C	PRELIMINARY BUILDER REVIEW + PRICING	31/05/21
F	ISSUED FOR HERITAGE APPROVAL	18/06/21
G	ISSUED FOR TENDER	17/06/21
H	ISSUED FOR CONSTRUCTION CERTIFICATE APPROVAL	22/06/21

- GENERAL NOTES:**
- ALL EXISTING FLOOR, WALL AND CEILING SURFACES THRESHOLDS, EDGES AND DETAILING TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION WORKS.
 - ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE HERITAGE CONSULTANTS REPORT AND RECOMMENDATIONS.
 - ANY VARIATIONS, INCONSISTENCIES OR AMBIGUITIES IN THE PROJECT REPORTS, DRAWINGS OR DOCUMENTATION ARE TO BE IMMEDIATELY REPORTED TO THE PROJECT ARCHITECT FOR WRITTEN INSTRUCTIONS ON HOW TO PROCEED.
 - ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA, RELEVANT CODES, AND WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
 - DO NOT SCALE FROM DRAWINGS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
 - ALL EXTERNAL PLS ARE APPROXIMATE ONLY. REFER DETAILED SURVEY FOR PRECISE SITE LEVELS.
 - ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE DA CONSULTANT DOCUMENTATION AND REPORTS INCLUDING BUT NOT LIMITED TO:
 - HERITAGE REPORT
 - ACCESS REPORT
 - ARBORIST REPORT
 - TRAFFIC REPORT
 - FIRE ENGINEERING REPORT
 - BCA REPORT
 - STRUCTURAL ENGINEERS REPORT
 - LANDSCAPE ARCHITECTS DOCUMENTATION
 - ACOUSTIC REPORT
 - HAZARDOUS MATERIALS REPORT
 - SPECIALIST AND ALTERNATIVE SOLUTION REPORTS
 - CONTRACTOR TO ENSURE WORKS ARE COORDINATED WITH SPECIALIST CONSULTANT INPUT + REPORTS.
 - ALL FENCING AND GATES THAT CHILDREN WILL HAVE ACCESS TO MUST BE FITTED WITH CHILDPROOF LOCKING SYSTEMS TO PREVENT CHILDREN FROM LEAVING / ENTERING AREAS UNSUPERVISED.
 - OUTDOOR SPACES AND PLAY AREAS ACCESSIBLE TO CHILDREN MUST BE ENCLOSED ON ALL SIDES WITH A BARRIER WHICH IS A MINIMUM HEIGHT OF 1250MM AND COMPLIES WITH AS1926.1-2012
 - ALL NEW WET AREAS TO INCLUDE A BATTEN AND SHEET LINING TO SEPARATE EXISTING FABRIC FROM NEW FINISHES, ADHESIVES, WATERPROOFING AND THE LIKE - REFER DETAIL
 - ANY EXISTING BUILDING ELEMENTS (SUCH AS DOORS, WINDOWS, FITTINGS AND FIXTURES) THAT ARE DEEMED SIGNIFICANT BY THE HERITAGE CONSULTANT AND REMOVED AS PART OF THE WORKS ARE TO BE HANDLED AND SAFELY STORED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE HERITAGE CONSULTANT.
 - NO INBUILT AMPLIFICATION DEVICES TO BE PROVIDED
 - WINDOW RESTRICTING DEVICES TO BE ADDED TO WINDOWS AS REQUIRED BY BCA - REFER SPECIFICATION.
 - TREE NUMBERING AND INFORMATION IS INDICATIVE ONLY. REFER TO ARBORISTS REPORT FOR ALL DETAILS OF PROPOSED TREE RETENTION AND REMOVAL
 - FREESTANDING FURNITURE SHOWN FOR APPROVAL PURPOSES ONLY. LOOSE FURNITURE ITEMS (SIGN IN, LOCKERS AND STORAGE UNITS ETC) ARE TO BE PROCURED AND INSTALLED BY BLUEGUM COMMUNITY SCHOOL.

ISSUED FOR CONSTRUCTION CERTIFICATE APPROVAL

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Nominated Architect Jarrod Lamshed NSW REG. 8763

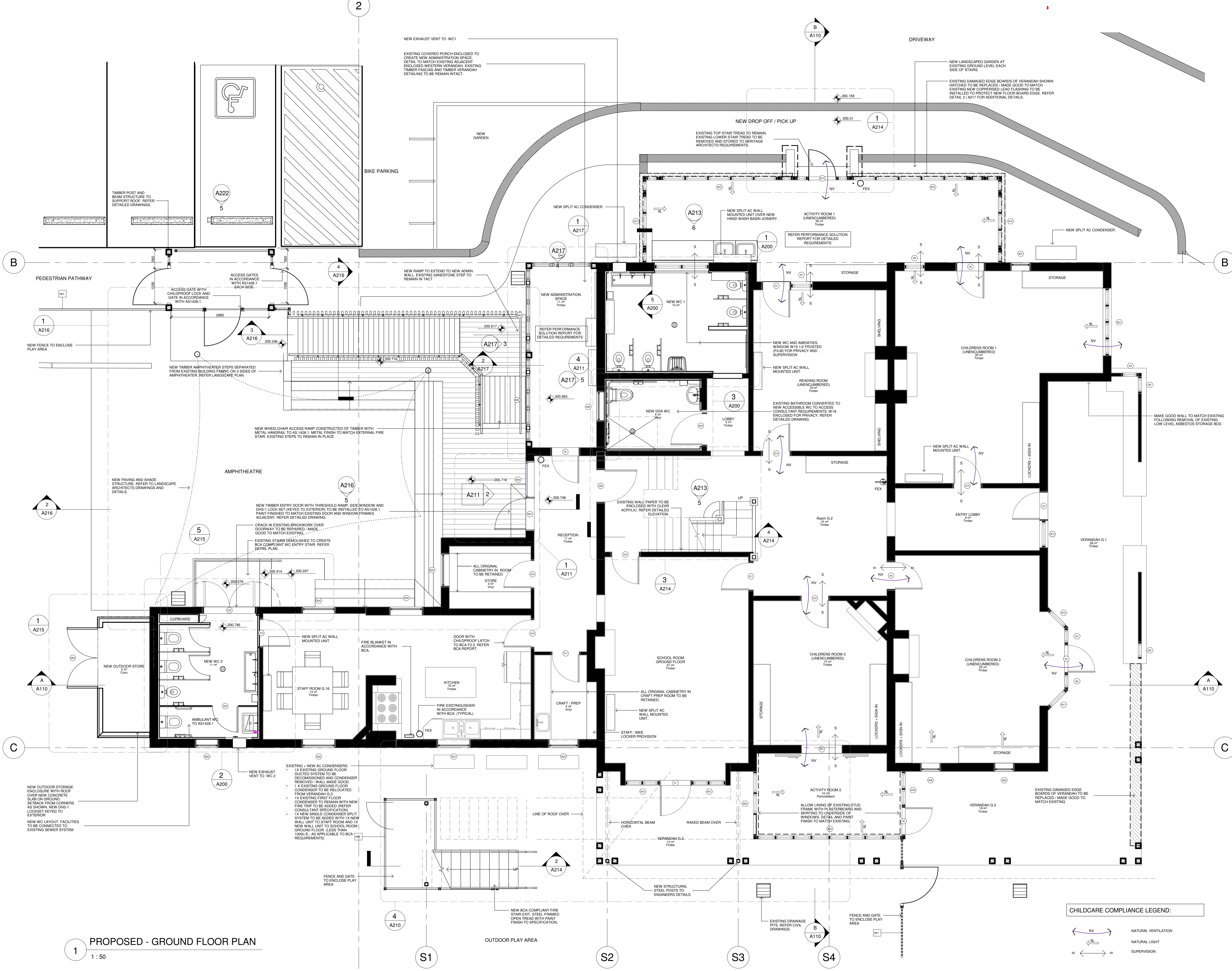
Project
PROPOSED BLUEGUM COMMUNITY SCHOOL

1 ROSEMEAD STREET
HORNSBY NSW 2077

Title
GA - GROUND FLOOR PLAN

Date 23.06.21 **Drawn** RM **Scale** As indicated

Drawing No. A104 **Revision** H



1 PROPOSED - GROUND FLOOR PLAN
1 : 50