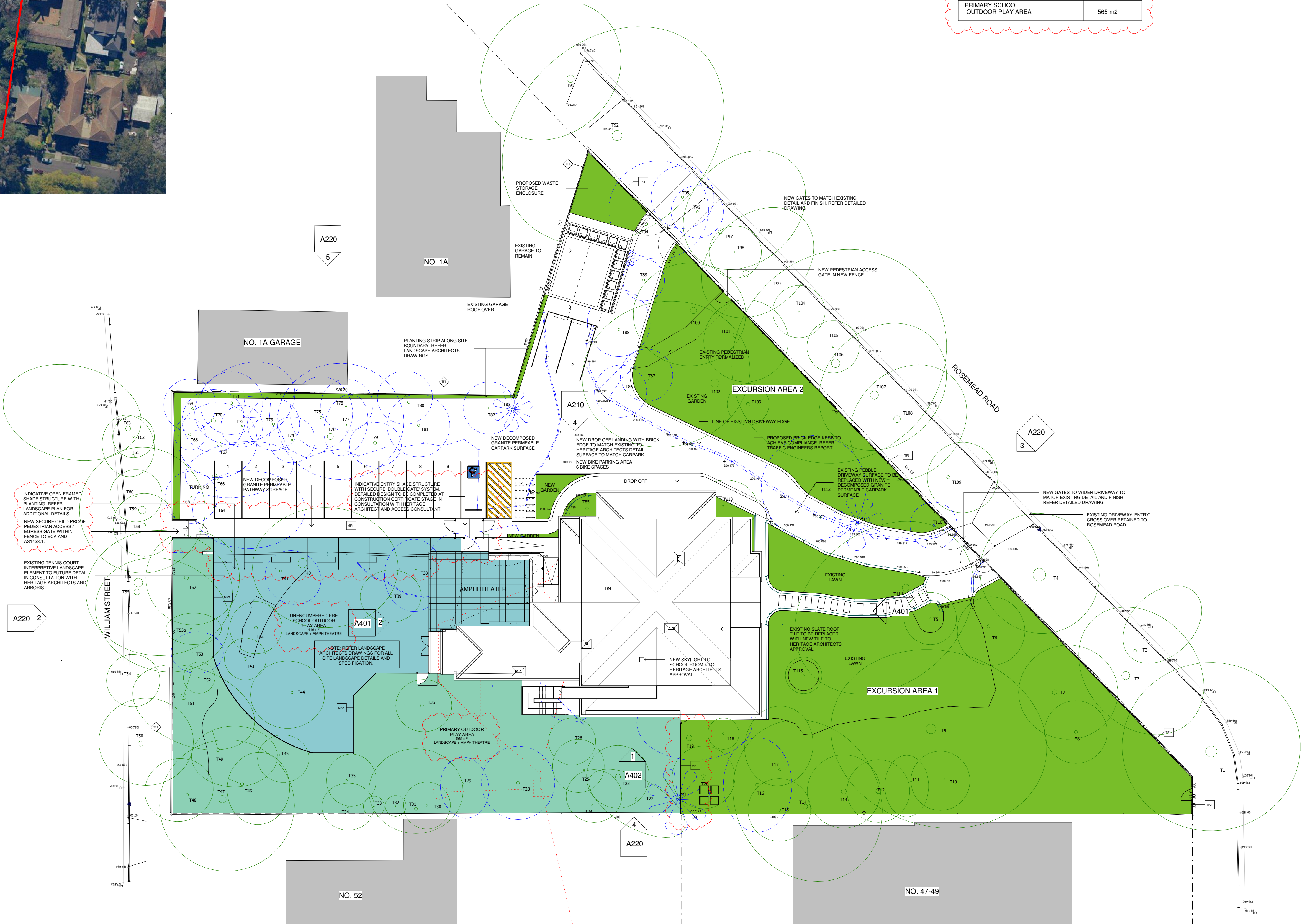




LOCATION PLAN
NTS



SITE PLAN
1 : 200

KEY DATA	
TOTAL SITE AREA (SURVEY)	3623m2
NO. PRESCHOOL PLACES 3-5 YEARS	32 PLACES
NO. SCHOOL PLACES 5-12 YEARS	48 PLACES
NUMBER OF STAFF	8
PRESCHOOL UNENUMBERED INDOOR AREA	109 m2
PRESCHOOL UNENUMBERED OUTDOOR PLAY AREA	416 m2
PRIMARY SCHOOL OUTDOOR PLAY AREA	565 m2

SHEET LIST	
SHEET NUMBER	SHEET NAME
A100	SITE AND ROOF PLAN
A200	FLOOR PLANS + SECTIONS
A210	ELEVATIONS HOUSE
A220	ELEVATIONS SITE
A230	ADDITIONAL DETAILS 01
A231	ADDITIONAL DETAILS 02
A300	SITE MANAGEMENT + STORMWATER CONCEPT PLAN
A500	SCHEDULE OF EXTERNAL FINISHES

REVISIONS		
ISSUE	DESCRIPTION	DATE
A	CONCEPT FOR DISCUSSION	16/10/19
B	PARKING + EGRESS REVISIONS FOR COMMENT	04/11/19
C	ISSUED FOR CONSULTANT COORDINATION	11/11/19
D	FINAL DA DRAFT	26/11/19
E	DA APPROVAL ISSUE	09/12/19
F	ADDITIONAL INFORMATION AMENDMENTS	10/02/20
G	TREE NUMBERS + WASTE BINS AMENDED	31/03/20
I	BGA GRANT APPLICATION WORKS	31/07/20
J	CHILDCARE GRANT APPLICATION WORKS	20/08/20
K	DEPARTMENT RETURN TO SUBMISSIONS ISSUE	06/11/20
L	MF1 AND MF2 FENCE AND GATES ADJUSTED, SHADE STRUCTURE ADDED AND LANDSCAPE PLAY AREAS ADJUSTED	26/11/20

GENERAL LEGEND:	
DP	DOWNPIPE
WB	WATER SUBBLERS
000.000+	EXISTING RL
5-6-7-8	SUPERVISION VIEW ACCESS
	NATURAL LIGHT ACCESS
	NATURAL VENTILATION
	DEMOLISHED ELEMENTS
	ALTERATIONS AND ADDITIONS - NEW
	EXISTING PROPOSED GARDENS
	INDOOR LEARNING SPACES
	OUTDOOR PLAY AREA (LANDSCAPED)

- GENERAL NOTES:
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 - ARBOREST REPORT
 - TRAFFIC REPORT
 - FIRE ENGINEERING REPORT
 - BOA REPORT
 - STRUCTURAL ENGINEERS REPORT
 - LANDSCAPE ARCHITECTS DOCUMENTATION
 - ACOUSTIC REPORT
 - HAZARDOUS MATERIALS REPORT
 - SPECIALIST AND ALTERNATIVE SOLUTION REPORTS
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 - NO INBUILT AMPLIFICATION DEVICES TO BE PROVIDED.
 - WINDOW RESTRICTING DEVICES TO BE ADDED TO WINDOWS AS REQUIRED BY BCA. DETAIL TO HERITAGE CONSULTANT REQUIREMENTS.
 - TREE NUMBERING AND INFORMATION IS INDICATIVE ONLY. REFER TO ARBORISTS REPORT FOR ALL DETAILS OF PROPOSED TREE RETENTION AND REMOVAL.

DEPARTMENT RTS ISSUE

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Nominated Architect Jarrod Lamshed NSW REG. 8763

Project
PROPOSED BLUEGUM COMMUNITY SCHOOL
1 ROSEMEAD STREET
HORNSBY NSW 2077

Title
SITE AND ROOF PLAN

Date 26.11.20 Drawn CP Scale As indicated

Drawing No. A100 Revision L

REVISIONS		
ISSUE	DESCRIPTION	DATE
B	PARKING + EGRESS REVISIONS FOR COMMENT	04/11/19
C	ISSUED FOR CONSULTANT COORDINATION	11/11/19
D	FINAL DA DRAFT	26/11/19
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K	DEPARTMENT RETURN TO SUBMISSIONS ISSUE	06/11/20
L	MF1 AND MF2 FENCE AND GATES ADJUSTED, SHADE STRUCTURE ADDED AND LANDSCAPE PLAY AREAS ADJUSTED	26/11/20

GENERAL LEGEND:

GP	DOWN PIPE	DEMOLISHED ELEMENTS
WB	WATER BUBBLERS	ACTIVATIONS AND EGRESS
000.000+	EXISTING RL	EXISTING PROPOSED GARDENS
RL	PROPOSED RL	ROOM LEARNING SPACES
1/4" = 3/8"	SUPERVISION VIEW ACCESS	OUTDOOR PLAY AREA (ELEVATIONS)
1/4" = 3/8"	NATURAL LIGHT ACCESS	
	NATURAL VENTILATION	

GENERAL NOTES:

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- NO INSULT AMPLIFICATION DEVICES TO BE PROVIDED.
- WINDOW RESTRICTING DEVICES TO BE ADDED TO WINDOWS AS REQUIRED BY BCA DETAIL TO HERITAGE CONSULTANT REQUIREMENTS.
- TREE NUMBERING AND INFORMATION IS INDICATIVE ONLY. REFER TO ARBORISTS REPORT FOR ALL DETAILS OF PROPOSED TREE RETENTION AND REMOVAL.

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Nominated Architect Jarrod Lamshed NSW REG. 8763

Project

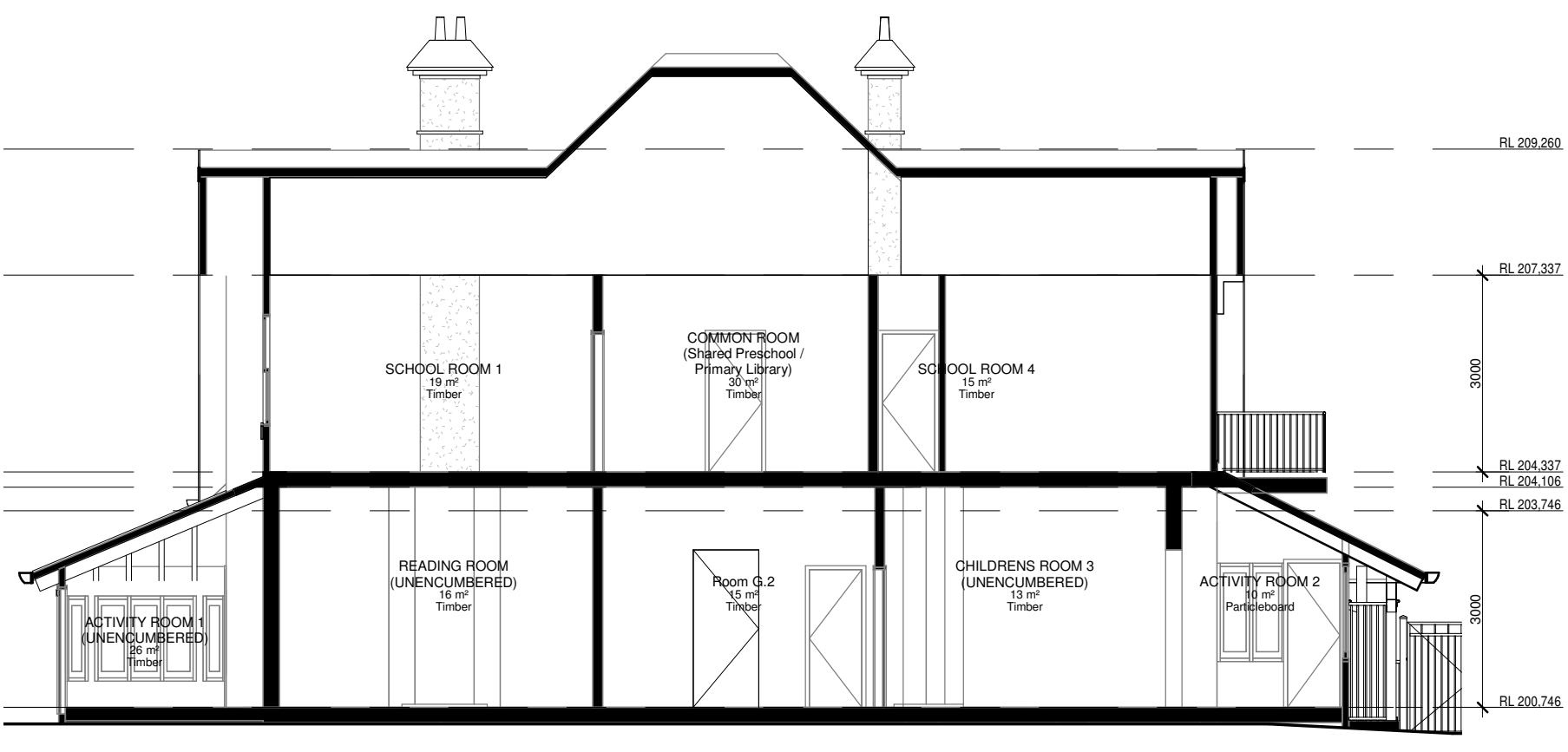
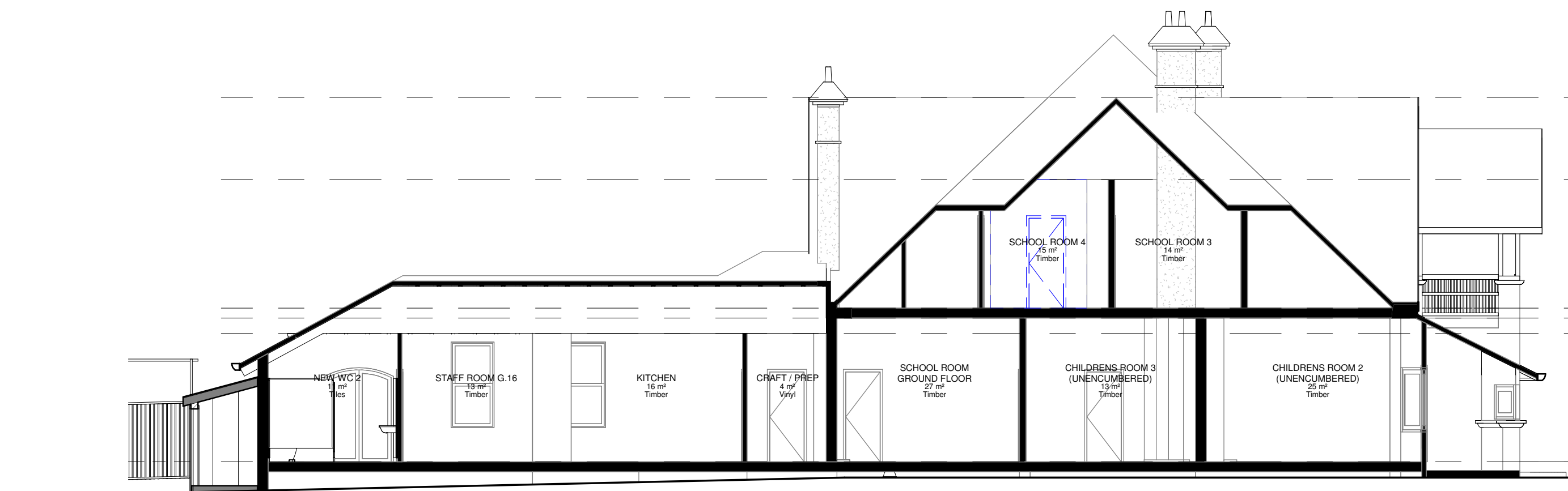
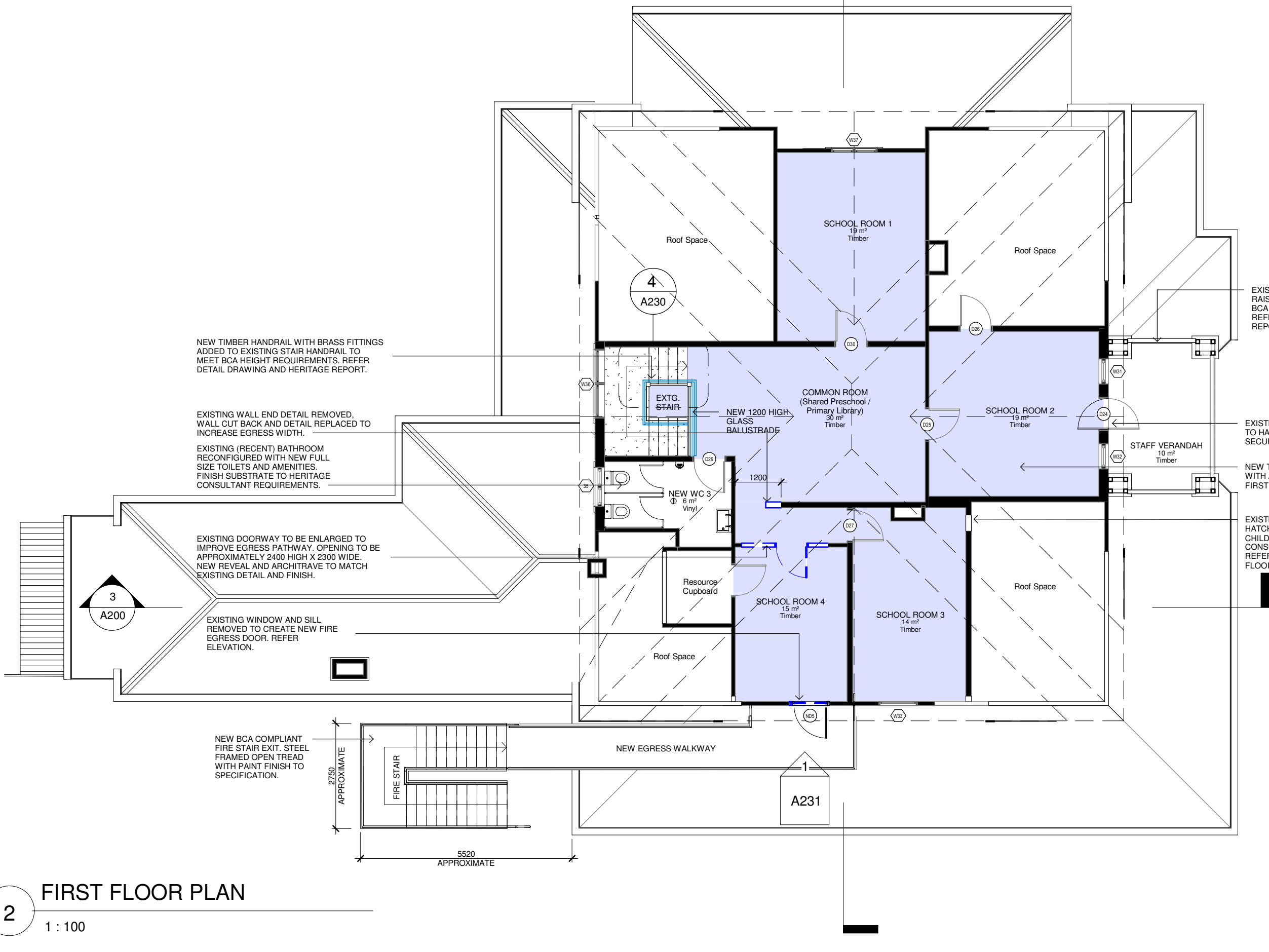
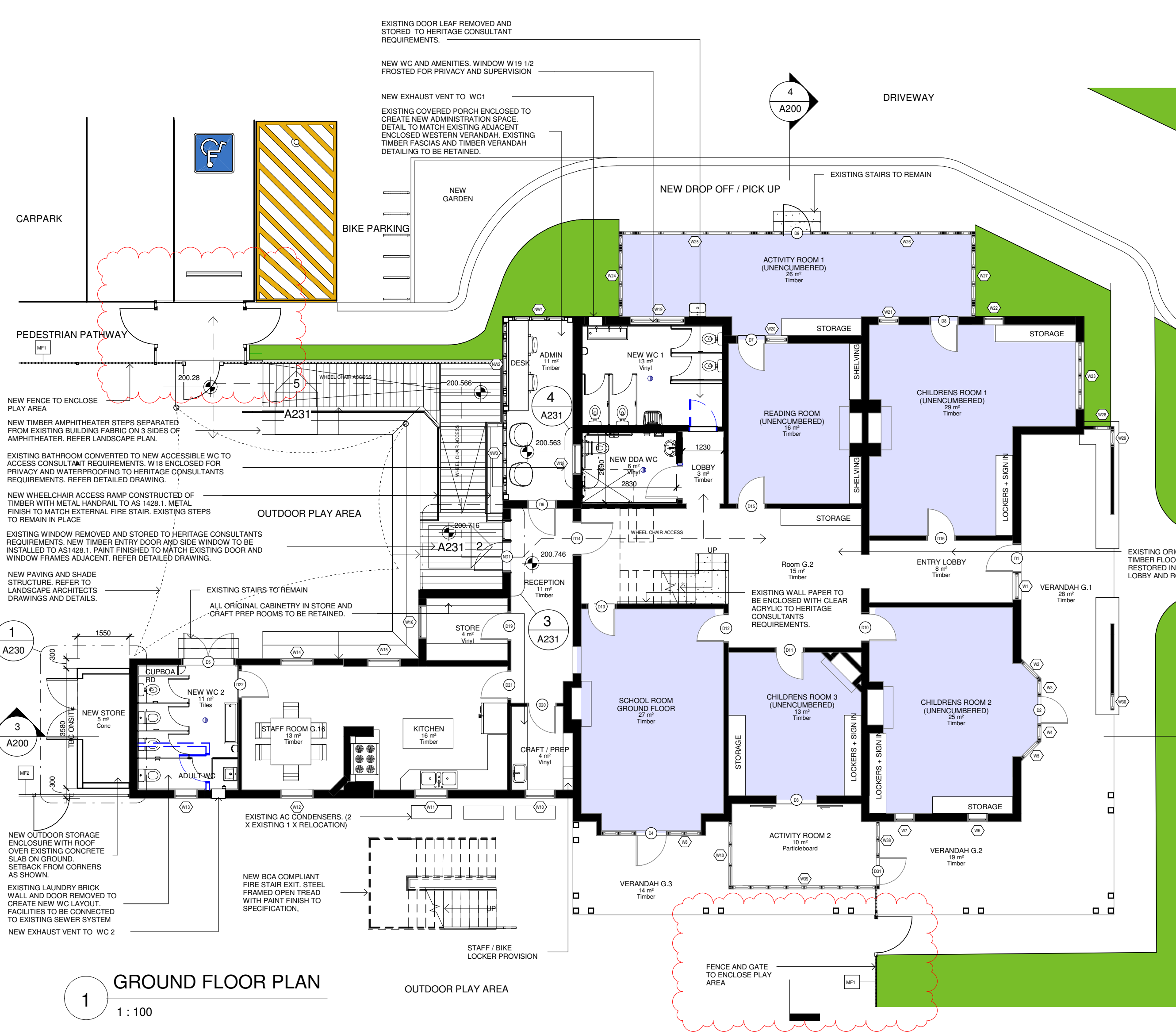
PROPOSED BLUEGUM COMMUNITY SCHOOL
1 ROSEMEAD STREET
HORNSBY NSW 2077

Title

FLOOR PLANS + SECTIONS

Date	Drawn	Scale
26.11.20	CP	1 : 100

Drawing No.	Revision
A200	L



3 Section 1
1 : 100

4 Section 2
1 : 100

REVISIONS		
ISSUE	DESCRIPTION	DATE
A	CONCEPT FOR DISCUSSION	16/10/19
B	PARKING + EGRESS REVISIONS FOR COMMENT	04/11/19
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H	HERITAGE + ACOUSTIC REVISIONS	04/05/20
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K	DEPARTMENT RETURN TO SUBMISSIONS ISSUE	06/11/20
L	MF1 AND MF2 FENCE AND GATES ADJUSTED, SHADE STRUCTURE ADDED AND LANDSCAPE PLAY AREAS ADJUSTED	26/11/20

GENERAL LEGEND:

DIP	DOWN PIPE	DEMOLISHED ELEMENTS
WB	WATER BUBBLERS	ALTERATIONS AND ADDITIONS - NEW WORK
000.000	EXISTING RL	EXISTING PROPOSED GARDENS
PROPOSED RL		
S (←→)	SUPERVISION VIEW ACCESS	ROOM LEAVING SPACES
NATURAL LIGHT ACCESS		OUTDOOR PLAY AREA (LANDSCAPE)
NATURAL VENTILATION		

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DEPARTMENT RTS ISSUE

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Nominated Architect Jarrod Lamshed NSW REG. 8763

Project

PROPOSED BLUEGUM COMMUNITY SCHOOL
1 ROSEMEAD STREET
HORNSBY NSW 2077

Title

ELEVATIONS HOUSE

Date 26.11.20 Drawn CP Scale As indicated

Drawing No. A210 Revision L

3 NORTH ELEVATION

1 : 100

2 EAST ELEVATION

1 : 100

1 SOUTH ELEVATION

1 : 100

4 WEST ELEVATION

1 : 100

ROSEMEAD ENTRY FENCE SIGN

1 : 10

INDICATIVE SIGNAGE ARTWORK AND DETAILS

NEW EXTERNAL FINISHES

PF1 + PF2 - NEW PAINT FINISH - COLOUR DULUX WOODS AND GREY (EXTERNAL GRADE ENAMEL). GLOSS FINISH FOR ALL EXTERNAL STEEL WORK TO DULUX SPECIFICATION.

WB1 - NEW JAMES HARDIE SCYON AXON WALL CLADDING WITH 13mm GROOVES WITH PF2 PAINT FINISH. STUD FRAMING INSULATION AND FIRE RATING TO BCA REQUIREMENTS.

R1 - NEW ROOF FINISH WITH MATCHING DOWNPIPES AND ACCESSORIES. COLOR TO MATCH COLOURBOND WOODLAND GREY.

NOTE: ALL CORRUGATED SHEETS TO HAVE TOP AND BOTTOM CLOSED-CELL INFILL STRIPS INSTALLED - REFER TO MANUFACTURERS DETAILS.

PC1 - NEW POWDERCOAT FINISH TO MATCH COLOURBOND SURF MIST.

TF1 - TIMBER FENCE TO 1800MM HIGH TO ACOUSTIC CONSULTANT REQUIREMENTS. FENCE TO SLOPE DOWN TO 1200MM AT BOUNDARY WHERE APPLICABLE.

NOTE: DETAILING TO WILLIAM STREET FRONTAGE TO BE CONFIRMED WITH HERITAGE ARCHITECT AND ACOUSTIC CONSULTANT AT THE CONSTRUCTION CERTIFICATE STAGE.

MF1 - NEW 1800MM HIGH METAL FENCE WITH POWDER COAT FINISH TO MATCH PF1.

MF2 - NEW 1200MM HIGH METAL FENCE WITH POWDER COAT FINISH TO MATCH PF1.

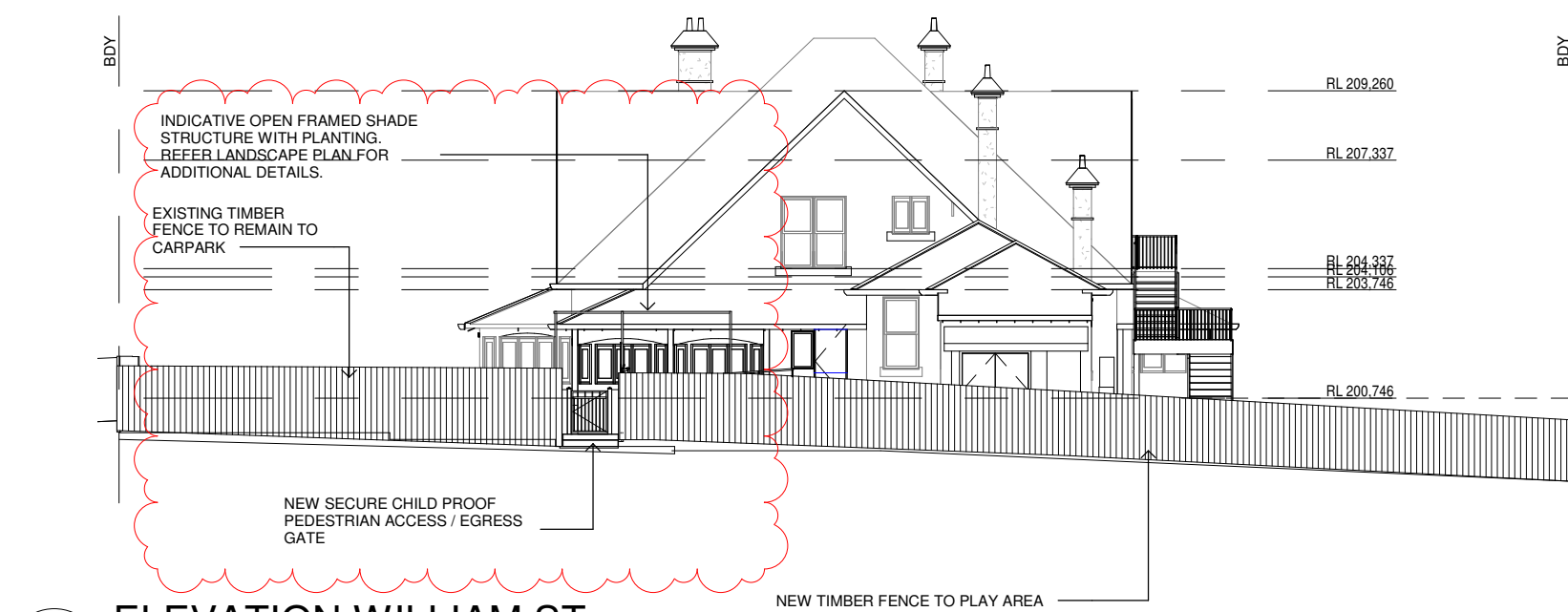
TF3 - TIMBER PALING FENCE APPROXIMATELY 1000MM HIGH.

DETAILING AND PICKET TOP PROFILE TO BE CONFIRMED WITH HERITAGE ARCHITECT AT THE CONSTRUCTION CERTIFICATE STAGE.

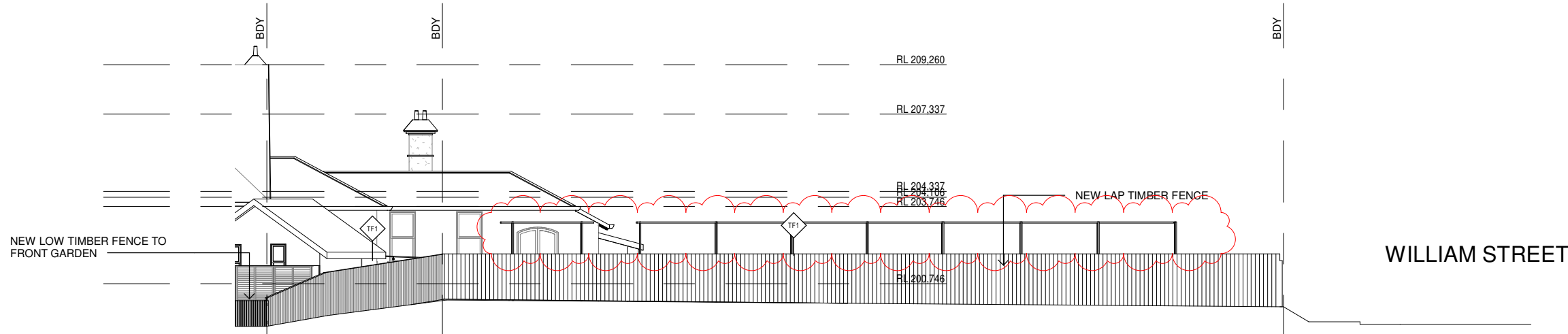
5 INDICATIVE DETAIL NEW ROSEMEAD ROAD ENTRY GATES

1 : 20

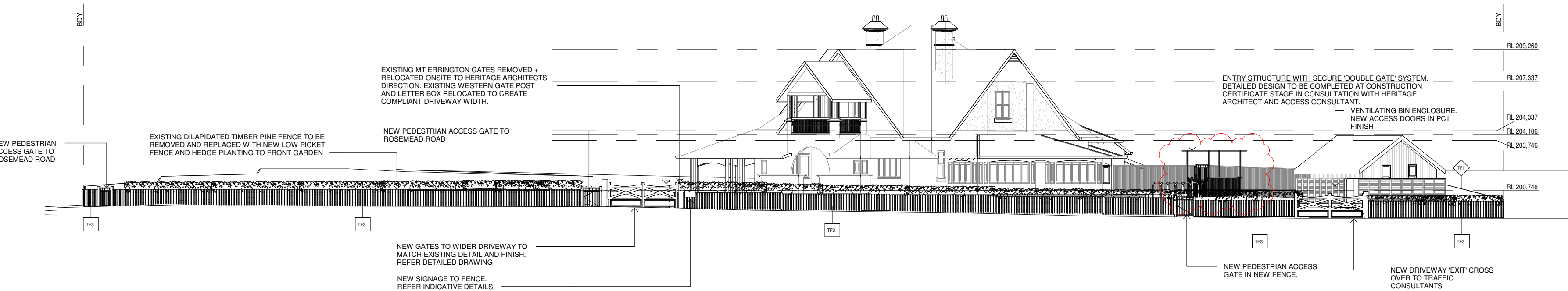
NOTE: INDICATIVE CONFIGURATION AND PROPORTION SHOWN. DETAILED DRAWINGS TO BE PREPARED AT CONSTRUCTION CERTIFICATE STAGE UNDER THE DIRECTION OF THE HERITAGE ARCHITECT.



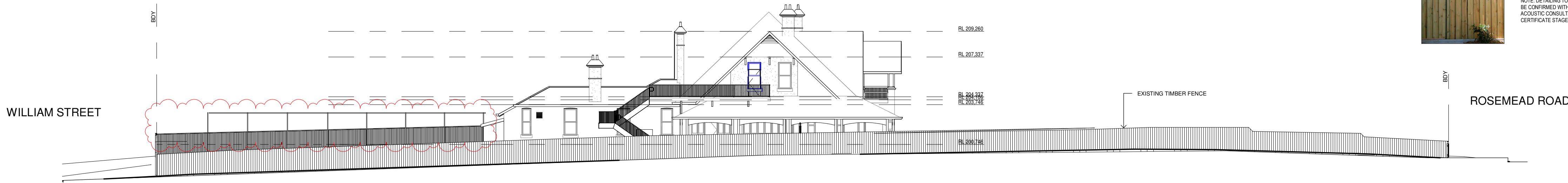
2 ELEVATION WILLIAM ST
1 : 200



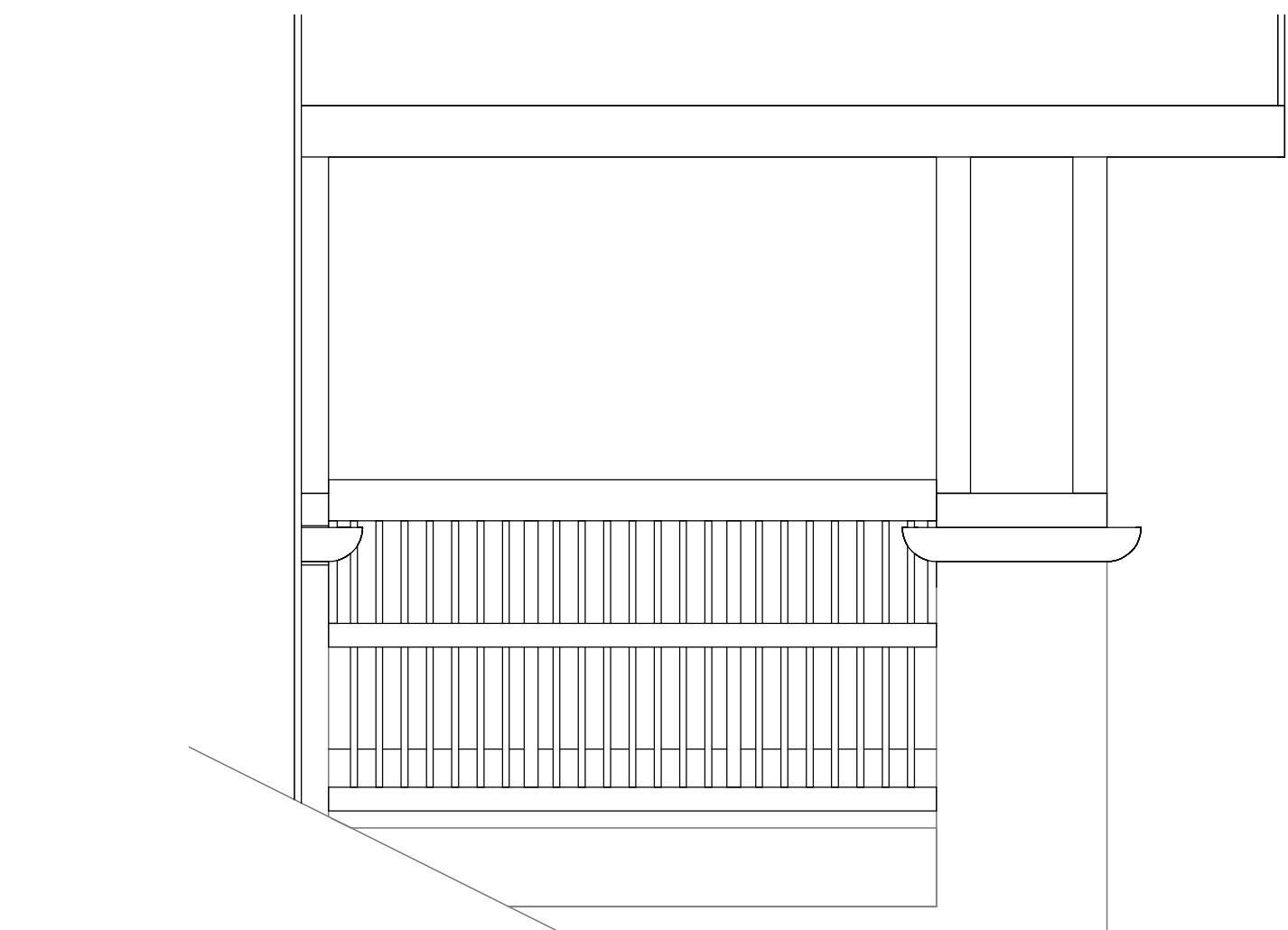
5 ELEVATION WEST BOUNDARY
1 : 200



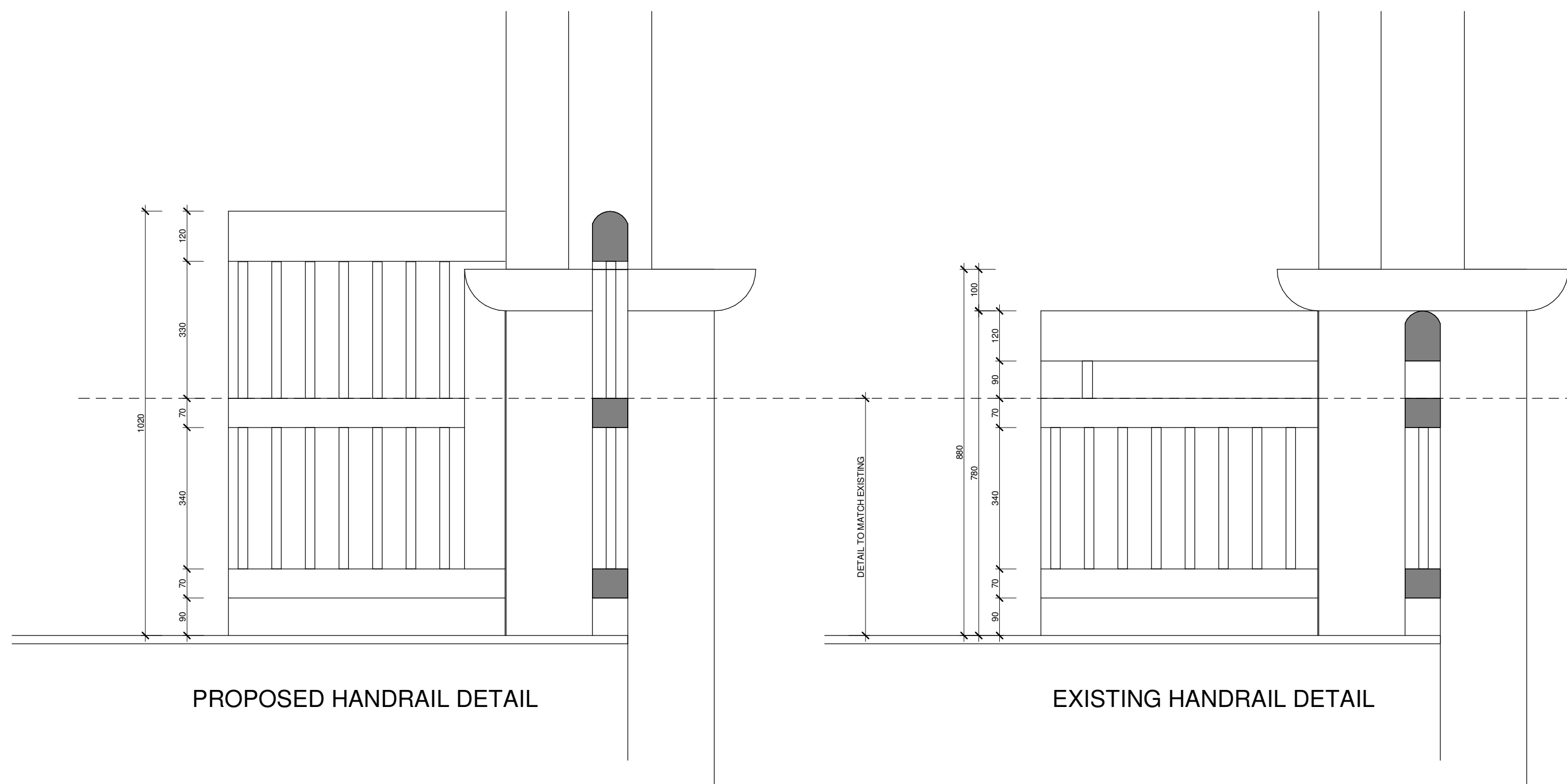
3 ELEVATION ROSEMEAD ROAD
1 : 200



4 ELEVATION EAST BOUNDARY
1 : 200



6 STAFF ONLY BALCONY ELEVATION
1 : 20



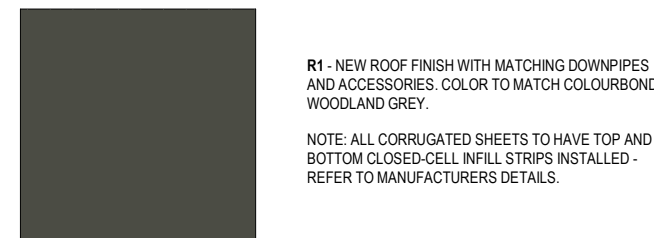
1 STAFF ONLY HANDRAIL DETAILS
1 : 10

NEW EXTERNAL FINISHES



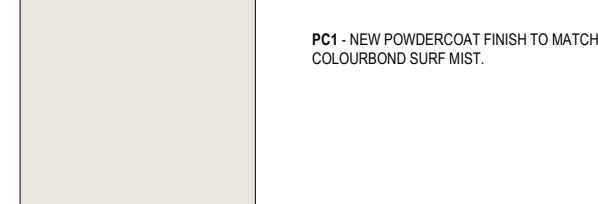
PP1 + PP2 - NEW PAINT FINISH - COLOUR DULUX WOODLAND GREY EXTERNAL GRADE ENAMEL. GLOSS FINISH FOR ALL EXTERNAL STEEL WORK TO DULUX SPECIFICATION.

WB1 - NEW JAMES HARDIE SYCRON AXON WALL CLADDING WITH 13mm GROOVES WITH PP2 PAINT FINISH. STUD FRAMING INSULATION AND FIRE RATINGS TO BCA REQUIREMENTS.

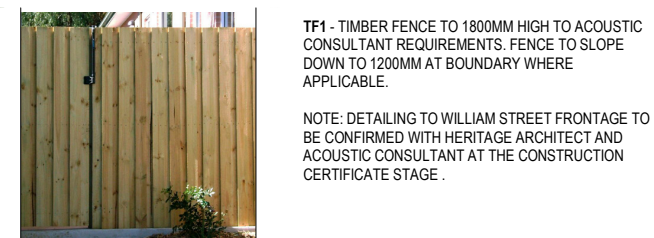


R1 - NEW ROOF FINISH WITH MATCHING DOWNPIPES AND ACCESSORIES. COLOR TO MATCH COLOURBOND WOODLAND GREY.

MF1 - NEW 1800MM HIGH METAL FENCE WITH POWDER COAT FINISH TO MATCH PP1.
MF2 - NEW 1200MM HIGH METAL FENCE WITH POWDER COAT FINISH TO MATCH PP1.



PC1 - NEW POWDERCOAT FINISH TO MATCH COLOURBOND SURF MIST.



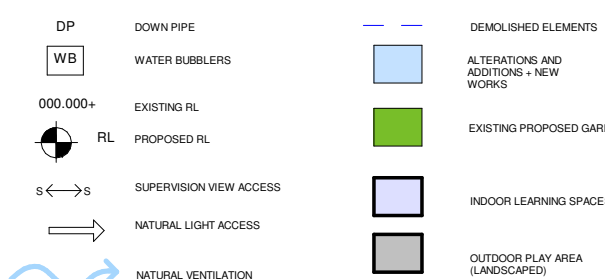
TF1 - TIMBER FENCE TO 1800MM HIGH TO ACOUSTIC CONSULTANT REQUIREMENTS. FENCE TO SLOPE DOWN TO 1200MM AT BOUNDARY WHERE APPLICABLE.

TF3 - TIMBER FENCING FENCE APPROXIMATELY 1000MM HIGH.

NOTE: DETAILING TO WILLIAM STREET FRONTAGE TO BE CONFIRMED WITH HERITAGE ARCHITECT AND ACOUSTIC CONSULTANT AT THE CONSTRUCTION CERTIFICATE STAGE.

DETAILING AND PICKET TOP PROFILE TO BE CONFIRMED WITH HERITAGE ARCHITECT AT THE CONSTRUCTION CERTIFICATE STAGE.

GENERAL LEGEND:



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Nominated Architect Jarrod Lamshed NSW REG. 8763

Project

PROPOSED BLUEGUM
COMMUNITY SCHOOL
1 ROSEMEAD STREET
HORNSBY NSW 2077

Title

ELEVATIONS SITE

Date 26.11.20 Drawn CP Scale As indicated

Drawing No. A220 Revision L

REVISIONS		
ISSUE	DESCRIPTION	DATE
F	ADDITIONAL INFORMATION AMENDMENTS	10/02/20
G	TREE NUMBERS + WASTE BINS AMENDED	31/03/20
I	BGA GRANT APPLICATION WORKS	31/07/20
J	CHILDCARE GRANT APPLICATION WORKS	20/08/20
K	DEPARTMENT RETURN TO SUBMISSIONS ISSUE	06/11/20
L	MF1 AND MF2 FENCE AND GATES ADJUSTED, SHADE STRUCTURE ADDED AND LANDSCAPE PLAY AREAS ADJUSTED	26/11/20

GENERAL LEGEND:		
DP	DOWNPIPE	DETAILED ELEMENTS
WB	WATER BUBBLES	ALTERATIONS AND ADDITIONS - NEW WORK
000.000+	EXISTING RL	EXISTING PROPOSED OWNERS
RL	PROPOSED RL	ROOM/LEARNING SPACES
S ←→ S	SUPERVISION VIEW ACCESS	OUTDOOR PLAY AREA (LANDSCAPED)
→	NATURAL LIGHT ACCESS	
→	NATURAL VENTILATION	

- GENERAL NOTES:
- ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE HERITAGE CONSULTANTS REPORT AND RECOMMENDATIONS.
 - ANY VARIATIONS, INCONSISTENCIES OR AMBIGUITIES IN THE PROJECT REPORTS, DRAWINGS OR DOCUMENTATION ARE TO BE IMMEDIATELY REPORTED TO THE HERITAGE CONSULTANT AND CLIENT FOR WRITTEN INSTRUCTIONS ON HOW TO PROCEED.
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 - LANDSCAPE ARCHITECTS DOCUMENTATION
 - ACOUSTIC REPORT
 - HAZARDOUS MATERIALS REPORT
 - SPECIALIST AND ALTERNATIVE SOLUTION REPORTS
 - CONTRACTOR TO ENSURE WORKS ARE COORDINATED WITH SPECIALIST CONSULTANT INPUT + REPORTS.
 - ALL FENCING AND GATES THAT CHILDREN WILL HAVE ACCESS TO MUST BE FITTED WITH CHILDPROOF LOCKING SYSTEMS TO PREVENT CHILDREN FROM LEAVING / ENTERING AREAS UNSUPERVISED.
 - OUTDOOR SPACES AND PLAY AREAS ACCESSIBLE TO CHILDREN MUST BE ENCLOSED ON ALL SIDES WITH A BARRIER WHICH IS A MINIMUM HEIGHT OF 1250MM AND COMPLIES WITH AS1926.1:2012
 - ALL NEW WET AREAS TO INCLUDE A BATTEN AND SHEET LINING TO SEPARATE EXISTING FABRIC FROM NEW FINISHES, ADHESIVES, WATERPROOFING AND THE LIKE.
 - ANY EXISTING BUILDING ELEMENTS (SUCH AS DOORS, WINDOWS, FITTINGS AND FIXTURES) THAT ARE DEEMED SIGNIFICANT BY THE HERITAGE CONSULTANT AND REMOVED AS PART OF THE WORKS ARE TO BE HANDLED AND SAFELY STORED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE HERITAGE CONSULTANT.
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 - WINDOW RESTRICTING DEVICES TO BE ADDED TO WINDOWS AS REQUIRED BY BCA DETAIL TO HERITAGE CONSULTANT REQUIREMENTS.
 - TREE NUMBERING AND INFORMATION IS INDICATIVE ONLY. REFER TO ARBORISTS REPORT FOR ALL DETAILS OF PROPOSED TREE RETENTION AND REMOVAL.

DEPARTMENT RTS ISSUE

ARMADA
Architecture Masterplanning and Design Agency

Studio 55 Level 5
61 Marlborough Street
Surry Hills, NSW 2010
directors@armadaarchitects.com.au

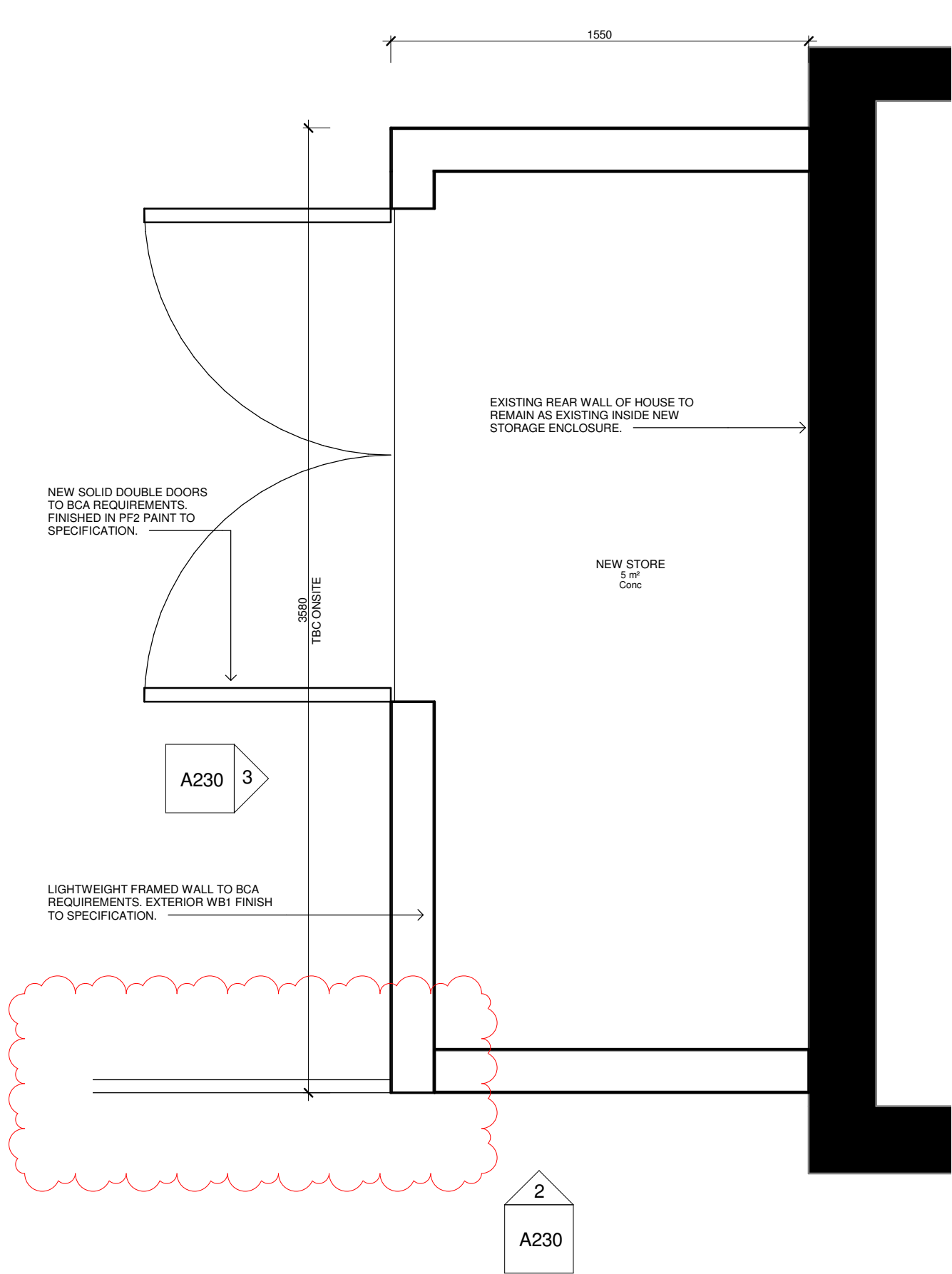
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Nominated Architect Jarrod Lamshed NSW REG. 8763

Project
PROPOSED BLUEGUM COMMUNITY SCHOOL
1 ROSEMEAD STREET
HORNSBY NSW 2077

Title
ADDITIONAL DETAILS 01

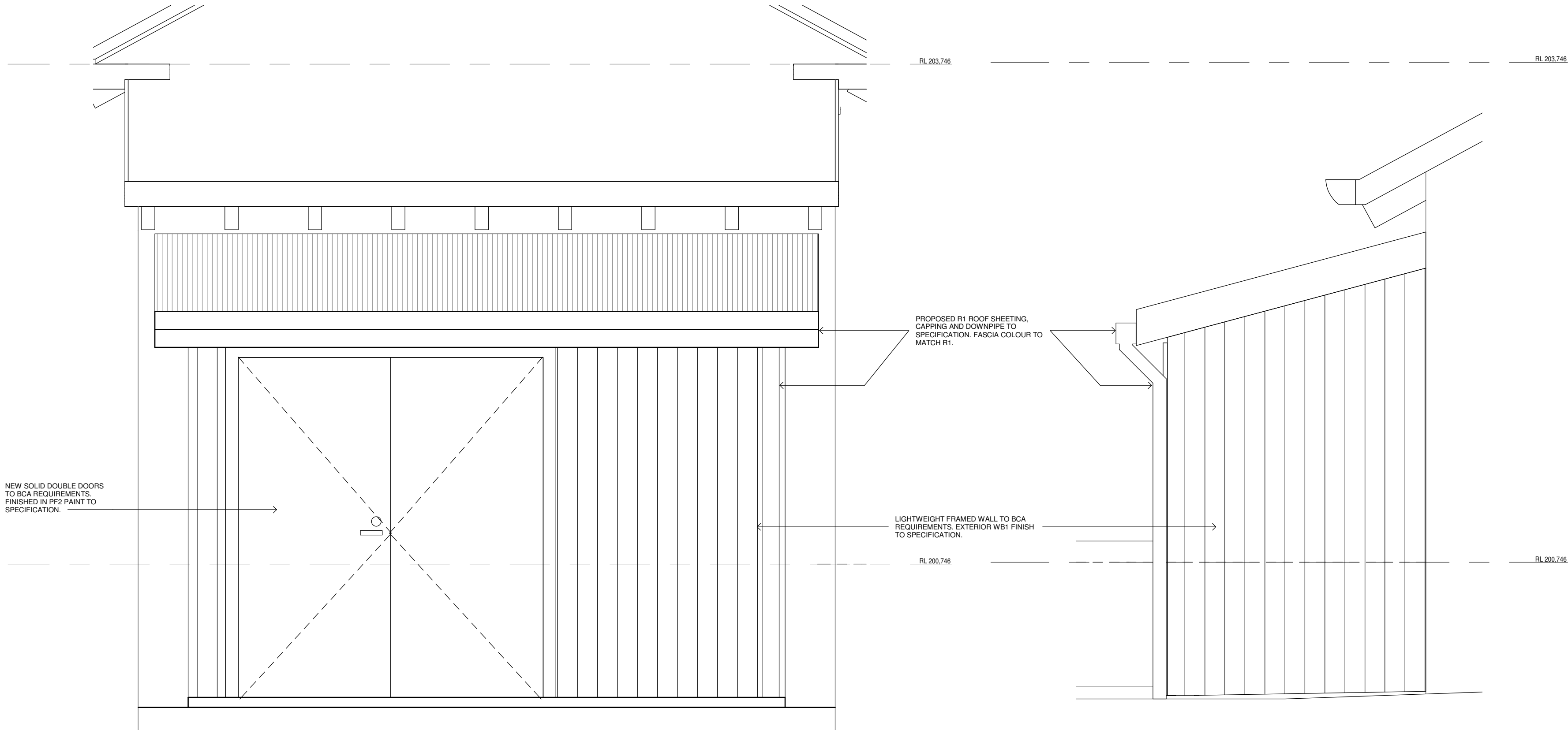
Date 26.11.20 Drawn CP Scale As indicated

Drawing No. A230 Revision L



EXTERNAL STORAGE DETAIL PLAN

1 : 20

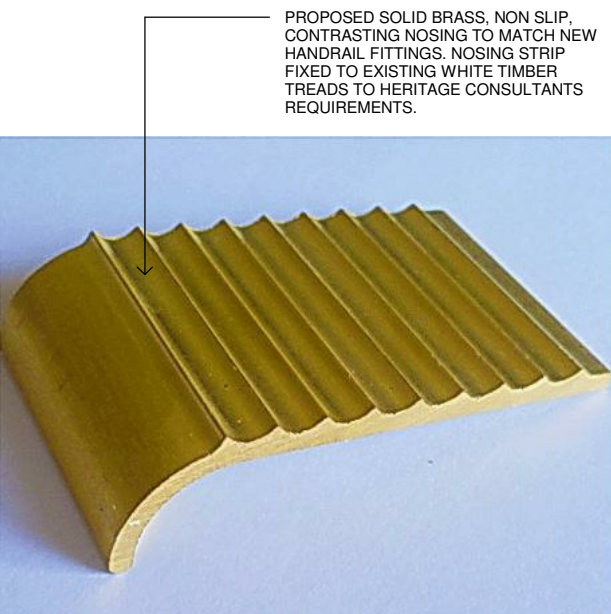


EXTERNAL STORAGE FRONT

3 : 20

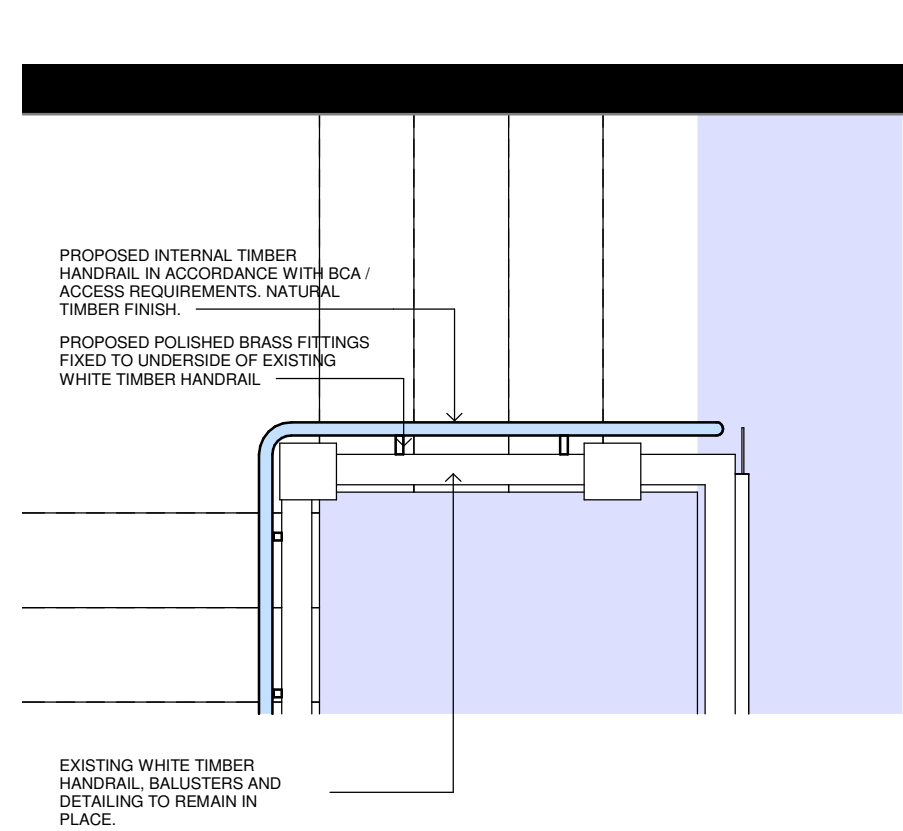
EXTERNAL STORAGE SIDE

2 : 20



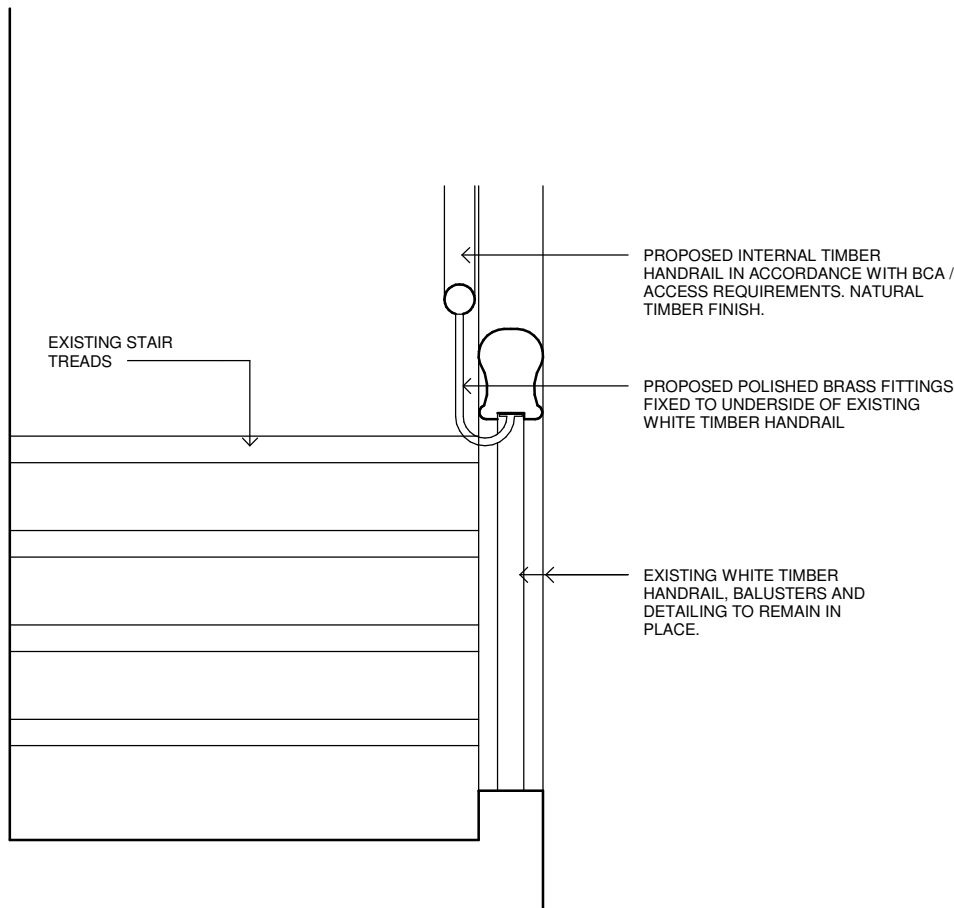
INTERNAL STAIR NOSING DETAIL

1 : 100



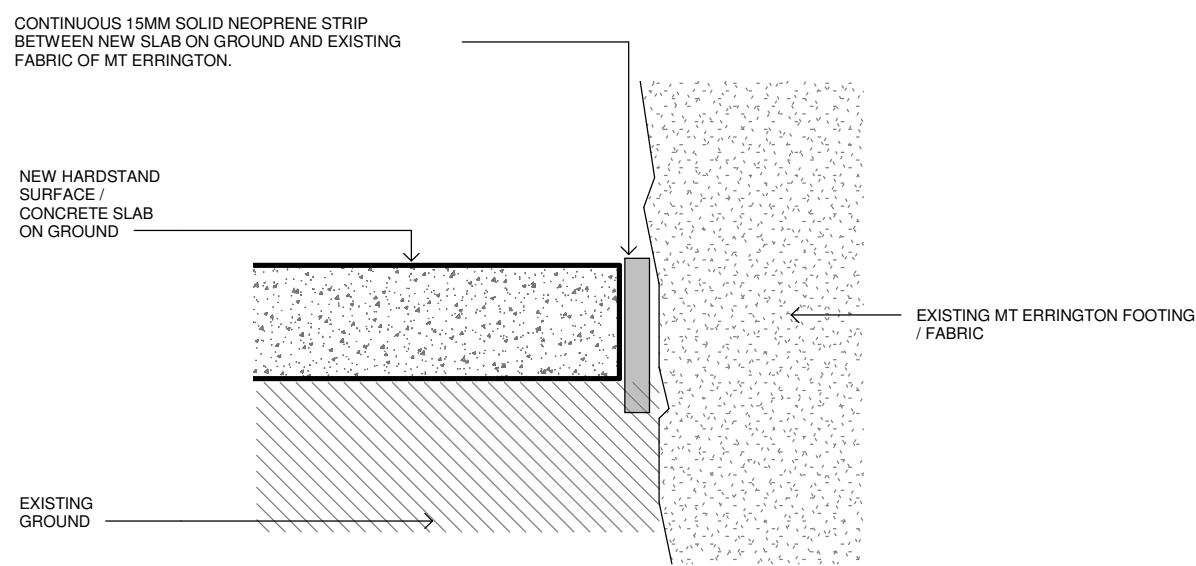
MAIN STAIR HANDRAIL DETAIL PLAN

4 : 20



MAIN STAIR HANDRAIL DETAIL SECTION

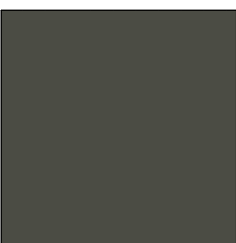
5 : 10



TYPICAL HARDSTAND TO EXISTING FABRIC DETAIL

6 : 10

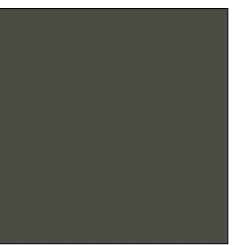
NEW EXTERNAL FINISHES



PF1 + PF2 - NEW PAINT FINISH - COLOUR DULUX WOODLAND GREY. EXTERNAL GRADE ENAMEL, GLOSS FINISH FOR ALL EXTERNAL STEEL WORK TO DULUX SPECIFICATION.



WB1 - NEW JAMES HARDIE SCYON AXON WALL CLADDING WITH 13mm GROOVES WITH PF2 PAINT FINISH. STUD FRAMING, INSULATION AND FIVE RATING TO BCA REQUIREMENTS.



R1 - NEW ROOF FINISH WITH MATCHING DOWNPIPES AND ACCESSORIES. COLOR TO MATCH COLOURBOND WOODLAND GREY.
NOTE: ALL CORRUGATED SHEETS TO HAVE TOP AND BOTTOM CLOSED-CELL INSUL STRIPS INSTALLED. REFER TO MANUFACTURERS DETAILS.



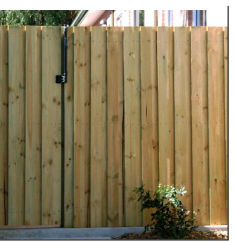
MF1 - NEW 1800MM HIGH METAL FENCE WITH POWDER COAT FINISH TO MATCH PF1.



MF2 - NEW 1200MM HIGH METAL FENCE WITH POWDER COAT FINISH TO MATCH PF1.



PC1 - NEW POWDERCOAT FINISH TO MATCH COLOURBOND SURF MIST.



TF1 - TIMBER FENCE TO 1800MM HIGH TO ACOUSTIC CONSULTANT REQUIREMENTS. FENCE TO SLOPE DOWN TO 100MM AT BOUNDARY WHERE APPLICABLE.
NOTE: DETAILING TO WILLIAM STREET FRONTAGE TO BE CONFIRMED WITH HERITAGE ARCHITECT AND ACOUSTIC CONSULTANT AT THE CONSTRUCTION CERTIFICATE STAGE.

NOTE: DETAILING AND FINISHES ARE INDICATIVE ONLY. FINAL DETAILS SUBJECT TO HERITAGE, BCA AND ACCESS CONSULTANT APPROVAL.

GENERAL LEGEND:

GENERAL NOTES:

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 - h. LANDSCAPE ARCHITECTS DOCUMENTATION
 - i. ACUSTIC REPORT
 - j. HAZARDOUS MATERIALS REPORT
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ARMADA ARCHITECTS PTY LTD.
Nominated Architect Jarrod Lamshed NSW REG. 8763

Project

ADDITIONAL DETAILS 02

Drawing No. **A231** Revision **K**



1 : 50



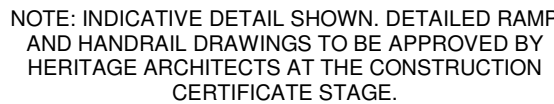
1 : 20



1 : 20



1 : 10



GENERAL LEGEND:

	DOWN PIPE		DEMOLISHED ELEMENTS
	WATER BUBBLERS		ALTERATIONS AND ADDITIONS - NEW WORK
	EXISTING R/L		EXISTING PROPOSED GARDEN
	PROPOSED R/L		INDOOR LEARNING SPACES
	SUPERVISION VIEW ACCESS		OUTDOOR PLAY AREA (LANDSCAPED)
	NATURAL LIGHT ACCESS		
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PROPOSED BLUEGUM
COMMUNITY SCHOOL
1 ROSEMEAD STREET
HORNSBY NSW 2077

Date	Drawn	Scale
26.11.20	CP	As indica



FINAL LEVELS MAY BE SUBJECT TO ADJUSTMENT, SUCH ADJUSTMENTS WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER

THIS PLAN HAS BEEN PREPARED FROM A COMBINATION OF FIELD SURVEY AND EXISTING RECORDS FOR THE PURPOSE OF CONSTRUCTION ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.

PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OR FURTHER UNDERGROUND SERVICES AND DETAILED LOCATION OF ALL SERVICES.

#THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE MANAGEMENT AND SAFE DISPOSAL OF ANY HAZARDOUS MATERIALS IN ACCORDANCE WITH RELEVANT LEGISLATION AND STANDARDS.

THE BUILDING CONTRACTOR SHALL MAKE ADJUSTMENTS TO THIS PLAN OR BARRIER TYPE
ON SITE IF REQUIRED DURING THE WORKS TO ENSURE COMPLIANT MANAGEMENT
OF SITE MATERIALS.

CONTOURS HAVE BEEN INTERPOLATED FROM THE SPOT HEIGHTS TAKEN
ARE APPROXIMATE ONLY.

← FALL NEW PATHWAYS AND SURFACES WITH FALL TO PERMEABLE
NATURAL GROUND AS SHOWN