



Powerhouse Parramatta

SSD-10416 Section 4.55(1A) Modification – Statement of Heritage Impact

Infrastructure NSW

2 December 2021

311015-00080

Advisian
Worley Group

advisian.com

Disclaimer

This report has been prepared on behalf of and for the exclusive use of Infrastructure NSW (INSW) and is subject to and issued in accordance with the agreement between INSW and Advisian Pty Ltd (Advisian). Advisian accepts no liability or responsibility whatsoever for it in respect of any use of or reliance upon this report by any third party. Copying this report without the permission of INSW and Advisian is not permitted.

Company details

Advisian Pty Ltd
ABN 50 098 008 818
Level 17, 141 Walker Street
North Sydney NSW 2060
Australia

T: +61 2 9495 0500
F: +61 2 9495 0520

311015-00080: Powerhouse Parramatta – SSD-10416 Section 4.55(1A) Modification – Statement of Heritage Impact


Rev	Description	Author	Review	Advisian approval	Revision date	Client approval	Approval date
A	Draft issued for Client review	 C. Jones	 S. Khan	 -	03.11.2021	 N/A	N/A
0	Final	 C. Jones	 S. Khan	 S. Khan	02.12.2021	 N/A	N/A

Table of contents

Executive summary	vii
Acronyms and abbreviations.....	viii
1 Introduction.....	1
1.1 Background.....	1
1.2 Proposed Modification Summary.....	2
1.3 Methodology	2
2 The Site, Its Context and Setting.....	3
3 Heritage Significance	5
3.1 Statement of Significance.....	5
3.2 Grading of Significance.....	5
3.3 Historical Background	6
4 Description and Physical Evidence	13
4.1 Modifications and Current Condition	13
4.1.1 Site Inspections.....	13
4.1.2 Description of Existing Heritage Elements.....	16
4.1.3 Landscape and Natural Features	16
4.1.4 Movable Heritage	16
4.2 Historical Archaeological Potential	16
5 The Proposed Modification.....	20
5.1 St George's Terrace	20
6 Heritage Impact Assessment.....	24
6.1 Impact of Proposed Modification.....	24
6.1.1 Heritage Branch Assessment Guidelines	24
6.1.2 The Burra Charter Articles	27
6.2 Heritage Impact Assessment Table.....	30
6.3 Options Analysis.....	30
6.4 Summary of Heritage Impact Assessment.....	30
6.5 Historical Archaeological Impact	31

7	Mitigation Measures.....	32
8	Conclusion.....	33

Table list

Table 3-1 Grading of significance for St George's Terrace.....	5
Table 3-2 Historical overview of St George's Terrace.....	6
Table 6-1 Impact matrix (Source: Advisian, 2020).....	24
Table 6-2 Relevant questions and considerations sought from the NSW Heritage Office's Statements of Heritage Impact (2002) guideline.....	24
Table 6-3 Relevant Articles of The Burra Charter	27
Table 6-4 Impact on the significant elements of St George's Terrace.....	30
Table 7-1 Recommended mitigation measures.....	32

Figure list

Figure 1-1 West elevation of St George's Terrace showing the intrusive brick rear addition (Source: LTS Lockley, 2020).	2
Figure 2-1 Aerial view of the site boundary and the existing built environment (prior to works commencing), including St George's Terrace (Source: Ethos Urban, 2020).	3
Figure 2-2 St George's Terrace ground floor plan (Source: LTS Lockley, 2020).....	4
Figure 2-3 St George's Terrace first floor plan (Source: LTS Lockley, 2020).	4
Figure 3-1 1895 plan showing St George's Terrace including the Oriental Hotel. The SSDA site is overlaid in red (Source: Parramatta Detail Series MLSLNSW ZM Ser 4 811.1301/1 as cited in Curio Projects (2020)).....	8
Figure 3-2 1930 aerial image of St George's Terrace including the Oriental Hotel. The SSDA site is overlaid in red (Source: Department of Land and Property Information as cited in JBS&G Australia Pty Ltd (2020)).	8
Figure 3-3 Detail of Sheet 2712 showing St George's Terrace in 1950 (Source: Sydney Water Archives as cited in Curio Projects (2020)).....	9
Figure 3-4 Aerial photograph looking south-east across the Parramatta River (c.1950s) showing St George's Terrace (blue arrow) (Source: NLA PIC FH/7110 LOC Cold store PIC HURL 217/6).	9
Figure 3-5 Aerial photograph (1972) of Parramatta showing St George's Terrace (blue arrow) (Source: LPI as cited in Curio Projects (2020)).	10
Figure 3-6 View of St George's Terrace from Phillip Street (c. 1970s-1980s) adapted for retail and commercial uses (Source: City of Parramatta, No. LSP00890).	10
Figure 3-7 1982 aerial image of St George's Terrace (Source: Department of Land and Property Information as cited in JBS&G Australia Pty Ltd (2020)).	11

Figure 3-8 View of St George's Terrace from Phillip Street (1982) (Source: Getty Images).	11
Figure 3-9 View of St George's Terrace (1987) from the opposite building on Phillip Street (Source: City of Parramatta, No. LSP00956).	12
Figure 3-10 Aerial photograph (2009) of Parramatta showing St George's Terrace (blue arrow) prior to demolition of the nearby David Jones building in 2013 (red arrow) (Source: Nearmap as cited in Curio Projects (2020)).	12
Figure 4-1 View looking north from Phillip Street to front of St George's Terrace (Source: Advisian, 2020).	14
Figure 4-2 View looking south-west from Wilde Avenue to the brick addition at the rear of St George's Terrace (Source: Advisian, 2020).	14
Figure 4-3 Internal alterations and refurbishments to original first floor section (Source: Advisian, 2020).	14
Figure 4-4 First floor rear addition with evidence of former windows infilled on the left wall (Source: Advisian, 2020).	14
Figure 4-5 Internal refurbishments and damage to original first floor section (Source: Gothe-Snape, A and Advisian, 2020).	14
Figure 4-6 Internal refurbishments between ground and first floors (Source: Gothe-Snape, A, 2020).	14
Figure 4-7 Internal refurbishments to ground floor original and rear addition sections (Source: Gothe-Snape, A, 2020).	15
Figure 4-8 Internal refurbishments to original ground floor (Source: Gothe-Snape, A, 2020).	15
Figure 4-9 External fabric at Phillip Street frontage (Source: Advisian, 2020).	15
Figure 4-10 External fabric: west elevation (left) and east elevation (right) (Source: Advisian, 2020).	15
Figure 4-11 View looking north from Phillip Street to front of St George's Terrace with doors and windows boarded up (Source: Advisian, 2021).	15
Figure 4-12 View looking south to the rear of St George's Terrace following demolition of the rear addition (Source: Advisian, 2021).	15
Figure 4-13 Plan of mapped areas of archaeological potential (Source: Curio Projects, 2020).	17
Figure 4-14 Aerial view of TT 09 and 12 at the rear of St George's Terrace (Source: Curio Projects, 2021).	17
Figure 4-15 Detail of TT 12 showing stone footing two roomed structure (blue dotted line) corresponding to a structure shown in the 1823 plan of Parramatta (Source: Curio Projects, 2021).	18
Figure 4-16 Areas of future recommended archaeological work on the site (Source: Curio Projects, 2021).	19
Figure 5-1 St George's Terrace ground floor demolition plan. The grey shaded area is the rear addition that was demolished as part of the early works contract in 2021 (Source: Genton, 2021).	21
Figure 5-2 St George's Terrace south elevation demolition plan (Source: Genton, 2021).	21

Figure 5-3 St George's Terrace west elevation demolition plan. The grey shaded area is the rear addition that was demolished as part of the early works contract in 2021 (Source: Genton, 2021).....	21
Figure 5-4 Proposed ground floor plan (Source: Genton, 2021).	22
Figure 5-5 Proposed south elevation (Source: Genton, 2021).....	22
Figure 5-6 Proposed section (Source: Genton, 2021).....	23
Figure 5-7 Perspective image of St George's Terrace and Phillip Street Forecourt (Source: Genton, 2021).	23

Executive summary

This Statement of Heritage Impact (SoHI) has been prepared to provide a heritage impact assessment for the proposed modification to State Significant Development Consent (SSD-10416) for the approved Powerhouse Parramatta (the project).

Proposed modification

The proposed modification relates to conservation and adaptive reuse of St George's Terrace, including the following:

- Partial demolition of fabric of the existing building.
- Retention of the existing southern façade and partial east and west elevations.
- Fit-out and reuse of St George's Terrace to support the project's programs.

Conclusion of key heritage impacts

A summary of the heritage impact assessment is provided below:

- The proposed modification will integrate St George's Terrace into the overall form and function of the project.
- The majority of the proposed demolition is to modern fabric which is considered to be intrusive, and its removal is supported on heritage conservation grounds.
- The partial demolition of a small section of the original fabric and chimneys is sympathetic to the item as it facilitates the retention of the general traditional form and height of St George's Terrace when viewed from Phillip Street. The remaining original walls to the east and west elevations and period façade details are to be retained and conserved as part of the project.
- Remaining internal fabric is not able to be retained as demolition is required to facilitate the construction of the new internal spaces to provide supplementary concierge support for education, group bookings, and events for the operation of the project.
- The retention of St George's Terrace, including its remaining period façade details, will maintain its core heritage significance with regard to its high degree of integrity when viewed in the round and particularly from Phillip Street.
- The design for the adaptive re-use of St George's Terrace is responsive and sympathetic to the context, setting and significance of St George's Terrace.
- There is the potential for archaeological deposits to be disturbed below the ground floor slab of St George's Terrace which is to be removed and replaced.

The mitigation measures in Section 7 are considered to provide an appropriate response to avoid, minimise and manage potential impacts.

Therefore, the proposal is supported on heritage grounds.

Acronyms and abbreviations

Acronym/abbreviation	Definition
AMU	Archaeological Management Unit
CBD	Central Business District
EP&A Act	<i>Environmental Planning and Assessment Act 1979</i>
ICOMOS	International Council on Monuments and Sites
LEP	<i>Parramatta Local Environmental Plan 2011</i>
Project	The approved Powerhouse Parramatta
SoHI	Statement of Heritage Impact
SSD	State Significant Development
TT	Test trenches

1 Introduction

Advisian Pty Ltd (Advisian) has prepared this Statement of Heritage Impact (SoHI) to provide a heritage impact assessment for the proposed modification to the approved Powerhouse Parramatta (the project) at 34-54 and 30B Phillip Street and 338 Church Street, Parramatta (the site).

1.1 Background

State Significant Development Consent (SSD-10416) was granted by the Minister for Planning and Public Spaces on 11 February 2021 for the project in accordance with Part 4 of the *Environmental Planning and Assessment Act 1979* (EP&A Act). Specifically, approval was granted for the following:

- Removal of existing buildings and trees, relocation of Willow Grove and retention of St George's Terrace.
- Construction of two buildings up to RL 79.2m, with a gross floor area of 24,516m² for museum and ancillary uses.
- Vehicle servicing, coach pick-up/drop-off facilities, bicycle parking and road amendments.
- Public domain improvement including publicly accessible open spaces, landscaping and creation of a through site link.

The project received approval to retain and adaptively reuse St George's Terrace (Figure 1-1) as part of the Phillip Street frontage of Powerhouse Parramatta as described in the Addendum SoHI, prepared by Advisian, dated 2 November 2020¹. It was intended that further detailed assessment and design responding to the design excellence criteria and additional heritage assessments would be undertaken on the site at the detailed design and construction phases of the project. This process would ensure the appropriate retention and integration of St George's Terrace with the project.

It was subsequently confirmed by Infrastructure NSW (INSW) that, as this detail could not be provided at the SSD stage, the fit-out and operation of St George's Terrace would form part of a future process to enable further design development and programmatic details to be resolved.

Accordingly, this Section 4.55(1A) Modification Application seeks to provide these details to fully integrate St George's Terrace into the project. This separate and subsequent process has the intended effect of satisfying Condition A6(a) of the consent, the condition can also be deleted as now redundant through the Modification Application.

¹ Advisian (2020), Powerhouse Parramatta Addendum Statement of Heritage Impact – St George's Terrace.

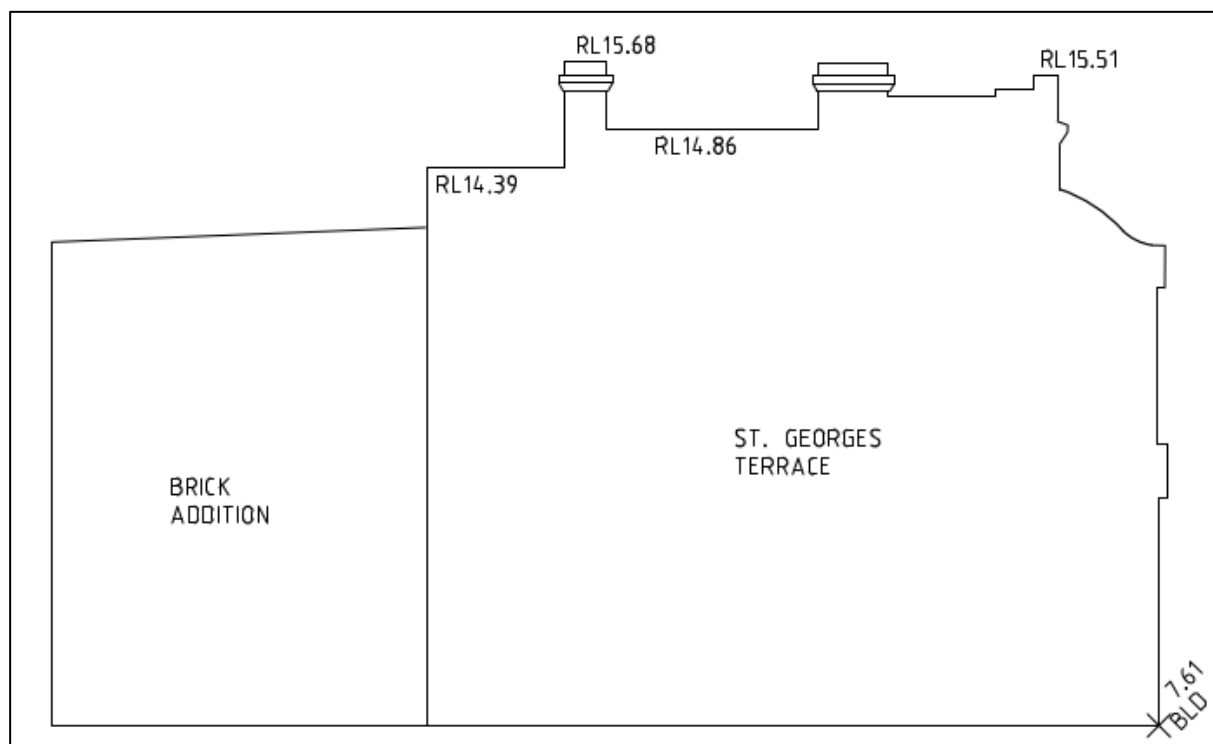


Figure 1-1 West elevation of St George's Terrace showing the intrusive brick rear addition (Source: LTS Lockley, 2020).

1.2 Proposed Modification Summary

The proposed modification relates to the detailed design, fit-out, and use of St George's Terrace as summarised below:

- Conservation and adaptive reuse of St George's Terrace, including the following:
 - Partial demolition of fabric of the existing building.
 - Retention of the existing southern façade and partial east and west elevations.
 - Fit-out and reuse of St George's Terrace to support the project's programs.

1.3 Methodology

The following methodology has been used in preparation of this SoHI:

- Review of relevant guidelines including:
 - The NSW Heritage Office's Heritage Manual including the *Statements of Heritage Impact* (2002) and *Assessing Heritage Significance* (2001) guidelines.
 - *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance* (Australia ICOMOS, 2013).
- Review of design information provided by INSW.
- Inspection of the site, its context and setting from publicly and privately accessible spaces on 13 March 2020, 13 October 2020 and 29 October 2021.

2 The Site, Its Context and Setting

The project site boundary is identified in Figure 2-1 within the Parramatta Central Business District (CBD) and excludes the GE Office Building at 32 Phillip Street, Parramatta. St George's Terrace is located on the south-east corner of the site and comprises seven terraces on Phillip Street, as labelled in Figure 2-1, with floor plans as of 2020 in Figure 2-2 and Figure 2-3.

Works on the site have commenced and are well underway for the delivery of the project. This includes the demolition of all structures excluding Willow Grove which is being relocated and St George's Terrace which is being retained and adaptively reused as part of the project.

The immediate surrounding context of the site comprises a range of land uses including office premises, retail premises, hotel, serviced apartments and residential apartments. To the north is the Parramatta River and open space corridor, beyond which are predominately residential uses. The Riverside Theatre is located to the north-west across the Parramatta River.



Figure 2-1 Aerial view of the site boundary and the existing built environment (prior to works commencing), including St George's Terrace (Source: Ethos Urban, 2020).

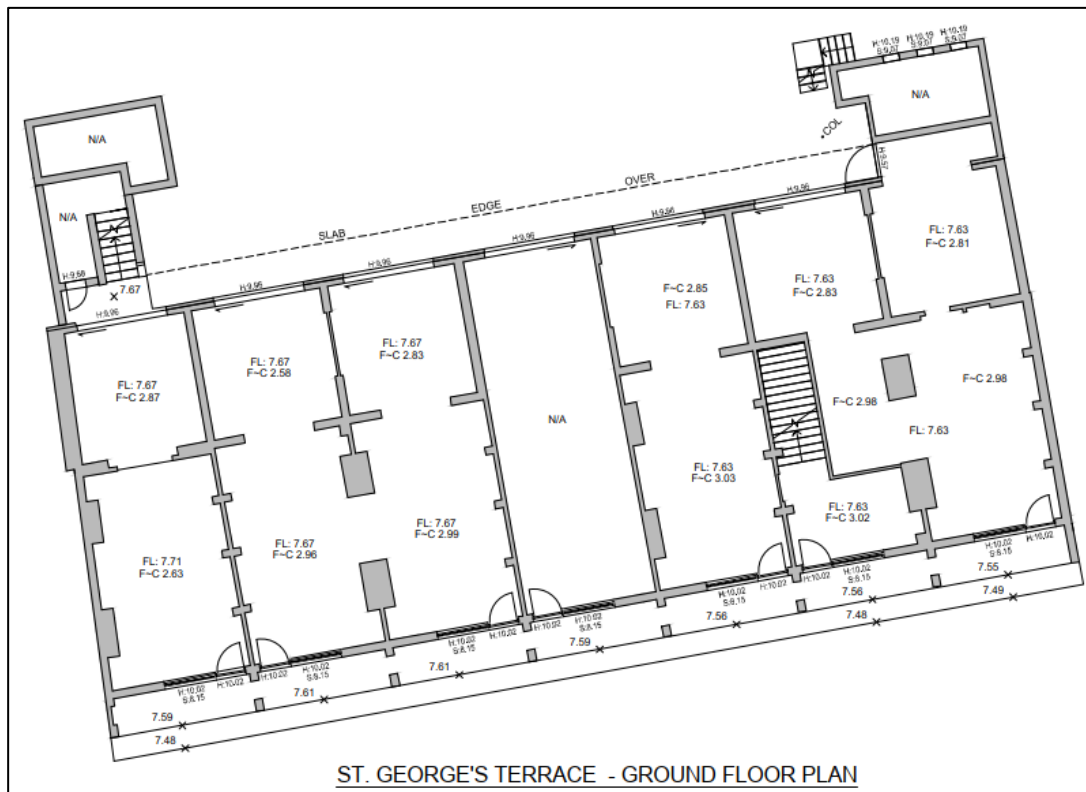


Figure 2-2 St George's Terrace ground floor plan (Source: LTS Lockley, 2020).

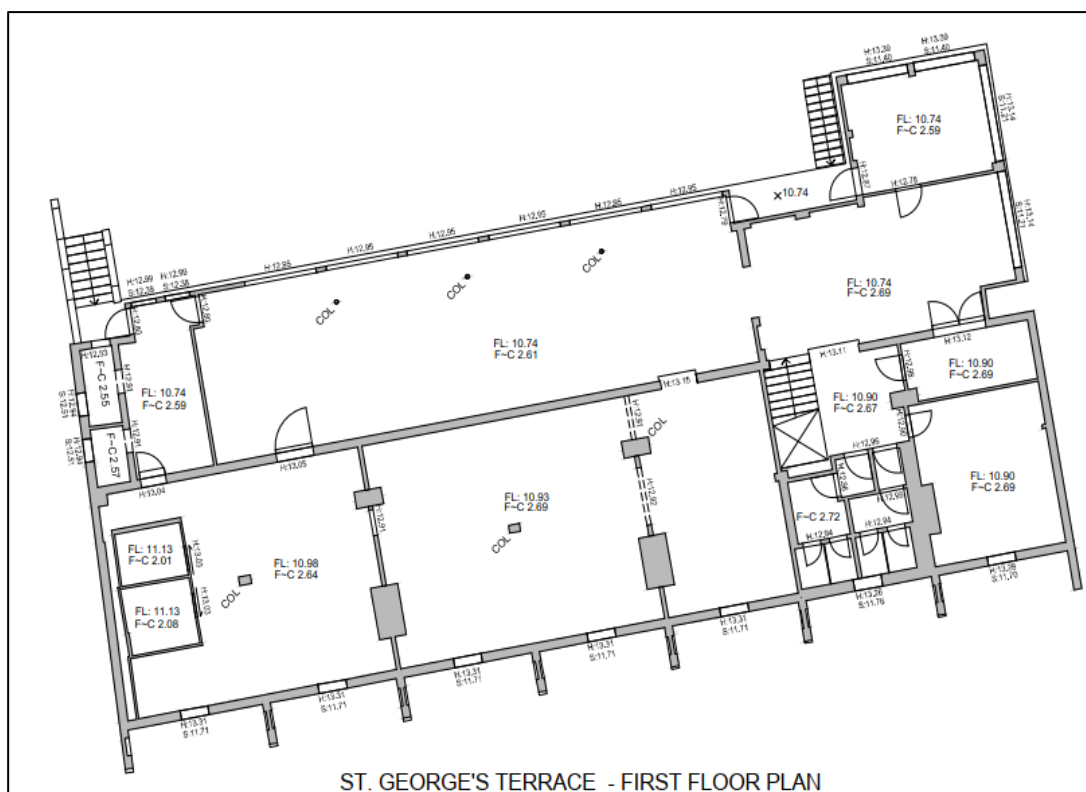


Figure 2-3 St George's Terrace first floor plan (Source: LTS Lockley, 2020).

3 Heritage Significance

3.1 Statement of Significance

The Statement of Significance for the “St George’s Terrace (and potential archaeological site)” from its entry on the *Parramatta Local Environmental Plan 2011* (the LEP) is as follows:

“The row of terraces at 44 Phillip Street, Parramatta is of significance for Parramatta LGA for historical and aesthetic reasons and as a representative example of modest Victorian period terraces constructed during an early wave of development in the area. The group presents as having a relatively high degree of integrity when viewed from the street and strongly contributes to the Phillip Street streetscape and the character of the Parramatta townscape, additionally in unison with other historic buildings near-by.”

3.2 Grading of Significance

Table 3-1 grades the significant elements of St George’s Terrace as was assessed in the Addendum SoHI (Advisian, 2020). It is noted that the intrusive rear addition was demolished in quarter 2 2021.

Table 3-1 Grading of significance for St George’s Terrace.

Element(s)	Grading	Assessment
Modern internal and external alterations and additions	Intrusive	<p>St George’s Terrace has undergone substantial modern alterations and additions to the front and rear elevations, including the removal of the original verandahs and plaster urns, addition of an aluminium awning on each terrace, brick rear addition and internal refurbishments.</p> <p>Extensive internal alterations and refurbishments have fundamentally changed the original layout and use which originally comprised seven residential terraces.</p> <p>Modern alterations and additions are considered to be intrusive and detract from heritage significance.</p>
Remaining external fabric including period façade details at the front elevation	High	<p>Remaining external fabric includes the external brick wall sections and rendered chimneys excluding the intrusive brick rear addition as shown on Figure 1-1. Period façade details at the front elevation include continuous corniced parapet with inscription and brick privacy walls with recessed arches. The remaining external fabric and period façade details are original fabric and directly contribute to the heritage significance of the item as a period Victorian row of terraces which in turn contributes to the Phillip Street streetscape and Parramatta CBD townscape.</p>
Remaining internal fabric	Moderate	<p>Remaining internal fabric including modest fireplaces and potentially some walls. Whilst these elements are original fabric, they have been modified as a result of the extensive internal alterations and refurbishments that have occurred, particularly since the 1970s. These elements contribute to the overall heritage significance of the item.</p>

3.3 Historical Background

St George's Terrace was constructed in 1881 as a modest Victorian period row of seven terraces on Phillip Street and a corner house on Phillip and Smith Streets in Parramatta. The historical development of the property indicates that it housed a range of occupants of various occupations and was later adapted for retail and commercial uses from the 1970s.

A historical overview of St George's Terrace has been prepared to provide an understanding of its historical development based on available information to inform an impact assessment of the retention, conservation and adaptive reuse of the building as part of the project.

The following sources were reviewed to inform the historical overview of St George's Terrace:

- Kass, T. (1997), *A history of the Site of St George's Terrace Phillip Street Parramatta*, prepared for E.A. Higginbotham and Associates.
- Curio Projects (2020), *Powerhouse Parramatta, Historical Archaeological Research Design*, prepared for INSW.
- JBS&G Australia Pty Ltd (2020), *Detailed Site Investigation*, prepared for INSW.
- Cameron, M. (n.d.), *The Old Parramattan [sic], St George's Terrace*, accessed 15 October 2020, available at: <https://theoldparramattan.wordpress.com/st-georges-terrace-parramatta/>.

A historical overview of St George's Terrace is provided in Table 3-2.

Table 3-2 Historical overview of St George's Terrace.

Year	Historical Development
Pre-1881	Benjamin Lee, Samuel Gilbert, William Peisley and George Suttor remained owners of their respective Phillip Street and Smith Street properties into the late 1860s or 1870s. However, by the early 1880s significant development and changes in ownership had occurred.
1881	George Coates' son, Herbert, took over his father's builder and contractor business and built St George's Terrace. On 21 September 1881, St George's Terrace, " <i>a newly-erected terrace, built of brick on a stone foundation</i> " was listed for sale. The advertisement suggested that the corner house of St George's Terrace, described as " <i>an old brick, two-storey house</i> " would be suitable for a store or hotel and was made up of 7 rooms and washhouse on the ground floor, and 7 rooms on the upper floor. Numbers 2 to 8 were private residences of 4 rooms, kitchen and washroom, each with front verandas and balconies. Currently, the terrace buildings, numbers 2-8, remain standing at 44 Phillip Street, Parramatta. However, the large corner house used as a boarding house and later a hotel (the Oriental Hotel) is no longer standing, demolished sometime between 1972 and 1982.
1884	First occupants listed in 1884: Terrace 1 – Coates, George, timber merchant; Terrace 3 – Cort, Robert; Terrace 4 – De Saxe, George, dentist; Terrace 5 – Gates, Mrs. E. Hawkin's Boarding House on the corner of Phillip and Smith Streets.

Year	Historical Development
	Thereafter, George Coates retained St George's Terrace as a rental property until his death in 1912.
1880s	The occupants of St George's Terrace changed throughout the decade and included agents, carpenters and other tradesmen.
1886	Hawkin's Boarding House becomes the Oriental Hotel and was listed to S. Marshall.
1895	The 1895 Parramatta Detail Series plan also shows structures at the rear of each terrace's yard which are likely outbuildings and/or sheds. Due to the varied occupations of occupants on Phillip Street, the yard areas of the allotments may have been used for several purposes related to their businesses over the years.
1899	Occupants of St George's Terrace: Terrace 1 – Martin F; Terrace 2 – Castle Thomas; Terrace 3 – Ling William; Terrace 4 – Hunter Mrs. James; Terrace 5 – Whiteman James; Terrace 7 – Roulston Mrs. R.
1908	The Oriental Hotel was closed as early as 1908.
1909	Occupants of St George's Terrace: Terrace 1 – Leabeater A. W.; Terrace 3 – Howie William; Terrace 4 – Hunter Mrs. James; Jenkins Alfred; Terrace 5 – Williams Henry; Terrace 6 – O'Keefe John J.
1917	By about this time, the land had been reduced by the sale of parts leaving only St George's Terrace as the core.
1970s	St George's Terrace was refurbished and adapted for retail and commercial uses.
2020	It is understood that St George's Terrace has been vacant for some time.

Historical plans and photographs of St George's Terrace are shown Figure 3-1 to Figure 3-10.



Figure 3-1 1895 plan showing St George's Terrace including the Oriental Hotel. The SSDA site is overlaid in red (Source: Parramatta Detail Series MLSLNSW ZM Ser 4 811.1301/1 as cited in Curio Projects (2020)).



Figure 3-2 1930 aerial image of St George's Terrace including the Oriental Hotel. The SSDA site is overlaid in red (Source: Department of Land and Property Information as cited in JBS&G Australia Pty Ltd (2020)).

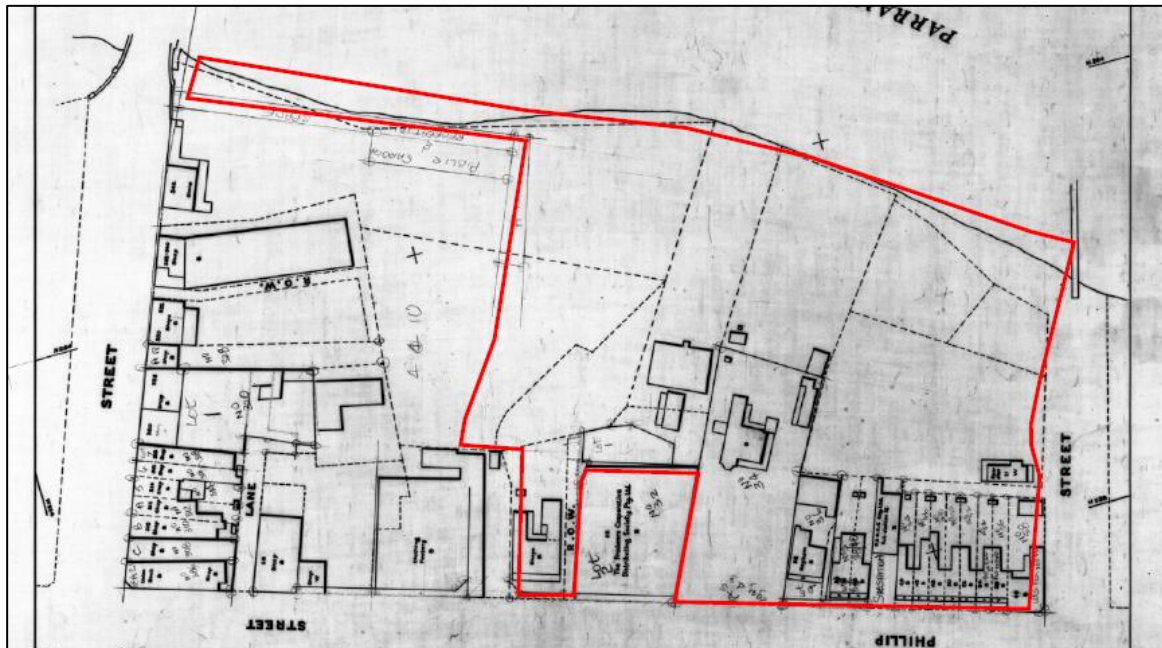


Figure 3-3 Detail of Sheet 2712 showing St George's Terrace in 1950 (Source: Sydney Water Archives as cited in Curio Projects (2020)).



Figure 3-4 Aerial photograph looking south-east across the Parramatta River (c.1950s) showing St George's Terrace (blue arrow) (Source: NLA PIC FH/7110 LOC Cold store PIC HURL 217/6).

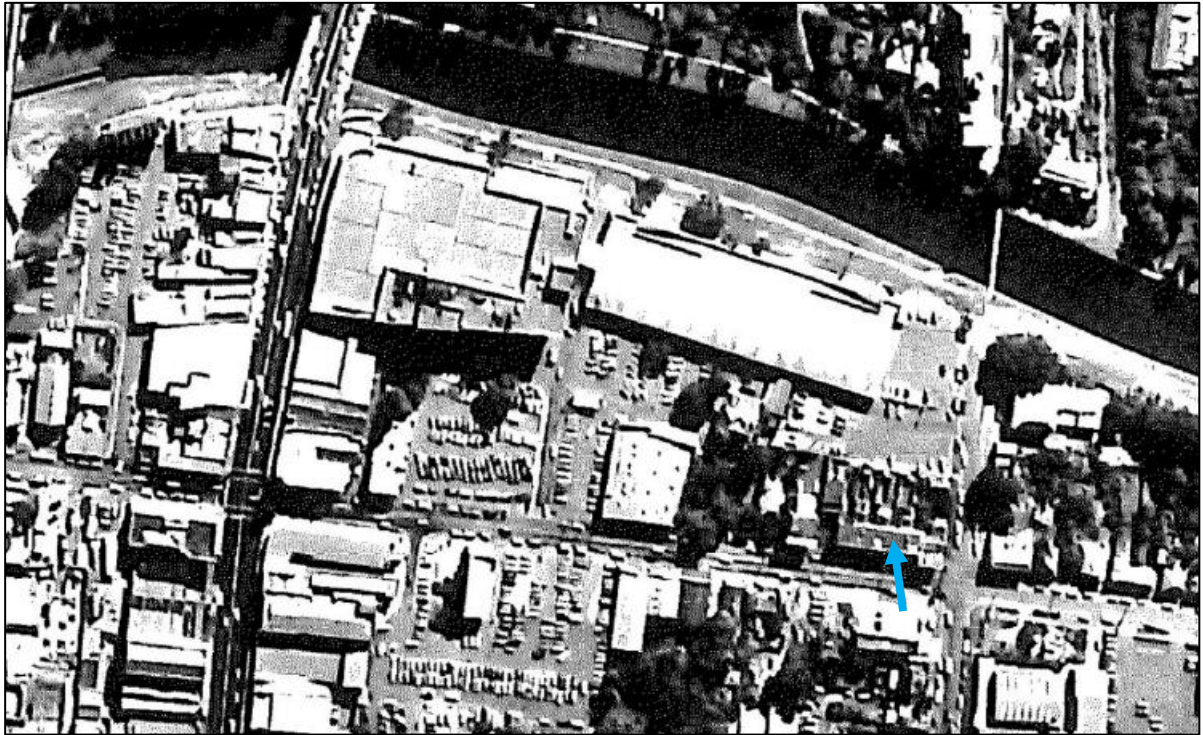


Figure 3-5 Aerial photograph (1972) of Parramatta showing St George's Terrace (blue arrow) (Source: LPI as cited in Curio Projects (2020)).



Figure 3-6 View of St George's Terrace from Phillip Street (c. 1970s-1980s) adapted for retail and commercial uses (Source: City of Parramatta, No. LSP00890).



Figure 3-7 1982 aerial image of St George's Terrace (Source: Department of Land and Property Information as cited in JBS&G Australia Pty Ltd (2020)).



Figure 3-8 View of St George's Terrace from Phillip Street (1982) (Source: Getty Images).



Figure 3-9 View of St George's Terrace (1987) from the opposite building on Phillip Street (Source: City of Parramatta, No. LSP00956).

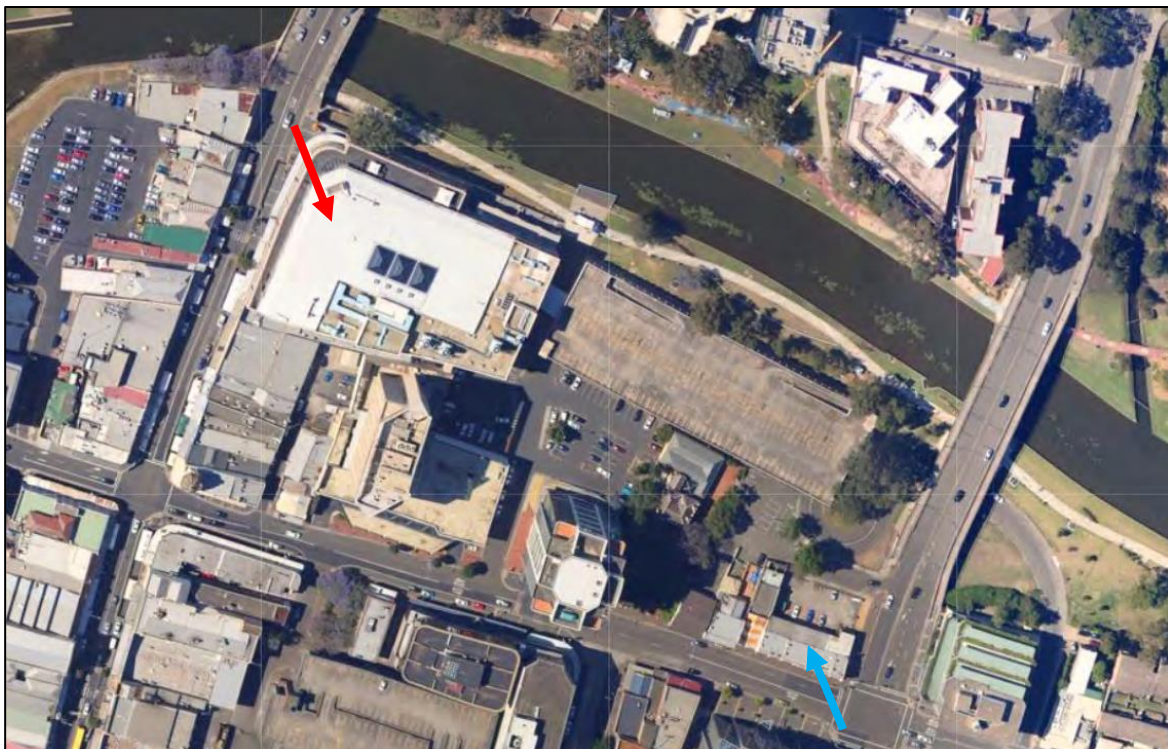


Figure 3-10 Aerial photograph (2009) of Parramatta showing St George's Terrace (blue arrow) prior to demolition of the nearby David Jones building in 2013 (red arrow) (Source: Nearmap as cited in Curio Projects (2020)).

4 Description and Physical Evidence

4.1 Modifications and Current Condition

St George's Terraces previously contained two main external sections: original rendered brick with chimneys and brick rear addition. Over time it has undergone substantial modern alterations and additions to the front and rear elevations, including the removal of the original verandahs and plaster urns, addition of an aluminium awning on each terrace, new windows, brick rear addition and internal refurbishments for retail and commercial uses from the 1970s. The intrusive brick rear addition was demolished in quarter 2 2021.

Extensive internal alterations and refurbishments have fundamentally changed the original layout and use which originally comprised seven residential terraces. Internal components are considered to be in 'poor' to 'fair' condition and ceiling damage was observed near a former restaurant kitchen. Remaining internal fabric includes modest fireplaces and potentially some internal walls. Modern alterations and additions are considered to be intrusive and detract from heritage significance.

The remaining period façade details at the front elevation include continuous corniced parapet with inscription "St. George's Terrace 1881" and brick privacy walls with recessed arches. External components are considered to be in fair condition. Remaining period façade details and internal fabric are original fabric and directly contribute to heritage significance. As a result, these elements ought to be retained and conserved as part of the adaptive reuse of St George's Terrace.

Importantly, St George's Terrace is of heritage significance as a period Victorian row of terraces contributing to the Phillip Street streetscape and Parramatta CBD townscape.

4.1.1 Site Inspections

Inspections of the site, its context and setting were undertaken from publicly and privately accessible spaces on 13 March 2020, 13 October 2020 and 29 October 2021. Photographs of the site showing the past modifications and the condition of St George's Terrace are provided in Figure 4-1 to Figure 4-12.



Figure 4-1 View looking north from Phillip Street to front of St George's Terrace (Source: Advisian, 2020).



Figure 4-2 View looking south-west from Wilde Avenue to the brick addition at the rear of St George's Terrace (Source: Advisian, 2020).



Figure 4-3 Internal alterations and refurbishments to original first floor section (Source: Advisian, 2020).



Figure 4-4 First floor rear addition with evidence of former windows infilled on the left wall (Source: Advisian, 2020).



Figure 4-5 Internal refurbishments and damage to original first floor section (Source: Gothe-Snape, A and Advisian, 2020).



Figure 4-6 Internal refurbishments between ground and first floors (Source: Gothe-Snape, A, 2020).



Figure 4-7 Internal refurbishments to ground floor original and rear addition sections (Source: Gothe-Snape, A, 2020).



Figure 4-8 Internal refurbishments to original ground floor (Source: Gothe-Snape, A, 2020).



Figure 4-9 External fabric at Phillip Street frontage (Source: Advisian, 2020).



Figure 4-10 External fabric: west elevation (left) and east elevation (right) (Source: Advisian, 2020).



Figure 4-11 View looking north from Phillip Street to front of St George's Terrace with doors and windows boarded up (Source: Advisian, 2021).



Figure 4-12 View looking south to the rear of St George's Terrace following demolition of the rear addition (Source: Advisian, 2021).

4.1.2 Description of Existing Heritage Elements

St George's Terrace is considered to comprise the following elements:

- Modern internal and external alterations and additions including brick façades.
- Remaining external fabric including period façade details at the front elevation.
- Remaining internal fabric.

The grading of elements is provided in Section 3.2.

4.1.3 Landscape and Natural Features

There are no landscape and natural features at St George's Terrace. Most of the unkempt vegetation that was present at the Phillip Street frontage has been removed as it obstructs views to the item and detracts from an appreciation of its significance.

4.1.4 Movable Heritage

The contents, fixtures and objects at St George's Terrace are considered to constitute moveable heritage. There is not considered to be any significant moveable heritage.

4.2 Historical Archaeological Potential

St George's Terrace is located within Archaeological Management Unit (AMU) 2882, which is described as follows:

"AMU 2882 (Church Street, Parramatta) includes St George's terraces and is considered to have high archaeological research potential as part of the early township and association with early convict occupation and is of State Significance. This AMU may also contain physical archaeological evidence including structural features, intact subfloor deposits, open deposits and scatters."

The Addendum Historical Archaeology Impact Assessment Report (Curio Projects, 2020)² highlighted areas of archaeological potential at the site as shown in Figure 4-13. This report developed a revised archaeological investigation program based on 12 test trenches (TT) on selected areas of the site. In addition to the test trenching, it was proposed that archaeological monitoring be undertaken of other excavations, such as services lines, additional piling and pile removal and landscaping.

TT at St Georges Terrace (Figure 4-14) as identified by Curio Projects (2021)³ include:

- TT 09 (dimensions 10m x 2m) to investigate the potential for State Significant archaeological remains to the rear of St George's Terrace.
- TT 12 (dimensions 15m x 2m) to investigate the potential for State Significant archaeological remains on the south-eastern corner of the site.

² Curio Projects (2020), Addendum Historical Archaeology Impact Assessment Report – Powerhouse Parramatta.

³ Curio Projects (2021), Historical Archaeological Research Design and Excavation Methodology.



Figure 4-13 Plan of mapped areas of archaeological potential (Source: Curio Projects, 2020).



Figure 4-14 Aerial view of TT 09 and 12 at the rear of St George's Terrace (Source: Curio Projects, 2021).

The Historical Archaeological Research Design and Excavation Methodology (Curio Projects, 2021) describes the results of the test excavation and monitoring carried out at the site. A summary is provided below.

Building remains within the areas of TT 09 and TT 12 were cleared by machine under the supervision of an archaeologist beginning on 31 May 2021. Further machine and hand clearance revealed sandstone structures, early brick surfaces in TT 09 and TT 12 corresponding to structures shown in the 1823 and 1844 plans of the area (Figure 4-15).

The clearance of TT 09 revealed a modified natural deposit (possibly a bleached A2 part of the soil profile), indicating the potential survival of early surfaces and deposits in this area. No substantial structure was exposed in TT 09, however two clay packed post holes were exposed indicating the location of a former timber structure here.

TT 09 and TT 12 have revealed structures and deposits that warrant archaeological salvage excavations at the rear of St George's Terrace and to the west of the substation. The remains in these areas correspond to structures shown in plans from the 1820s and 1840s with some features (i.e., post holes) reflecting occupation dating even earlier. It was recommended that further testing, archaeological monitoring and salvaging be undertaken on the site as set out in Figure 4-16 with areas indicated in red that are subject to salvage excavations. These excavations focus on structural remains of buildings, houses, outbuildings etc., deeper sub-surface features (cesspits, wells, cisterns etc.), underfloor and exterior deposits, yard features. These excavations are currently in progress.



Figure 4-15 Detail of TT 12 showing stone footing two roomed structure (blue dotted line) corresponding to a structure shown in the 1823 plan of Parramatta (Source: Curio Projects, 2021).



Figure 4-16 Areas of future recommended archaeological work on the site (Source: Curio Projects, 2021).

5 The Proposed Modification

The proposed modification relates to the detailed design, fit-out, and use of St George's Terrace. The proposed modification is summarised below:

- Conservation and adaptive reuse of St George's Terrace, including the following:
 - Partial demolition of fabric of the existing building.
 - Retention of the existing southern façade and partial east and west elevations.
 - Fit-out and reuse of St George's Terrace to support the project's programs.

A detailed description of the above items is provided below.

5.1 St George's Terrace

Demolition of the rear addition and internal and external alterations to the building were approved for the project. The demolition plans confirm the extent of demolition proposed with a selection of plans shown in Figure 5-1 to Figure 5-3. A small section of the original external wall along the ground floor of the western elevation is proposed to be removed. Original walls to be retained are to be supported during demolition and construction as per structural engineer's advice.

St George's Terrace is intended to be constructed and used as a single, flexible space of generous height to support various programmatic modes of the Powerhouse Parramatta (Figure 5-4 to Figure 5-6). The design is minimalistic to allow maximum flexibility of operations. The internal space of all seven terraces is to be combined to form a single double-height space. The predominant use is to provide supplementary concierge support for education, group bookings, and events. In a similar manner to the Presentation Spaces, the terraces will also serve broader museum functions including exhibitions. A concealed kitchenette and amenities are located at the eastern end of the terrace to support the internal functions of the space.

The design of the space is minimalistic to allow for the retention and appreciation of the remaining heritage fabric. The space will connect to the surrounding public domain through doorways to the west (onto Phillip Street Plaza as shown in Figure 5-7) and to the north, creating an activated laneway between the terrace and Presentation Space 1.

The modern doorways and windows to Phillip Street will be retained in aperture, but infilled with higher grade glazing, allowing views to the interior. The main access point will be through the western and northern doorways, to ensure the primacy of the main museum entrance within the western building for wayfinding. The render to original external walls will be made good, where required, and new white paint colour applied.

Refer to the demolition and architectural plans and design statement for further details.

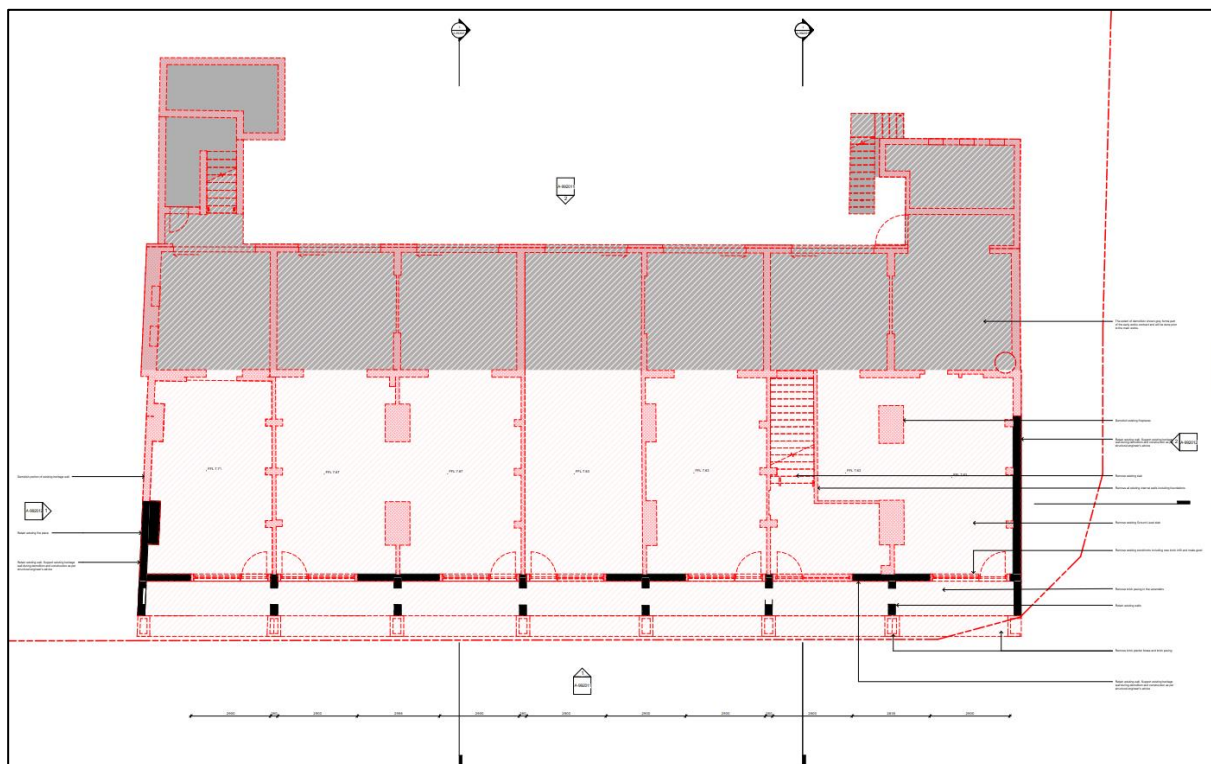


Figure 5-1 St George's Terrace ground floor demolition plan. The grey shaded area is the rear addition that was demolished as part of the early works contract in 2021 (Source: Genton, 2021).

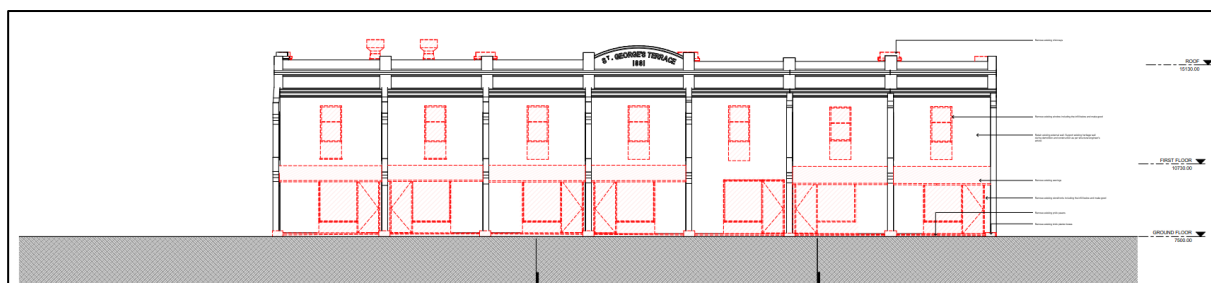


Figure 5-2 St George's Terrace south elevation demolition plan (Source: Genton, 2021).

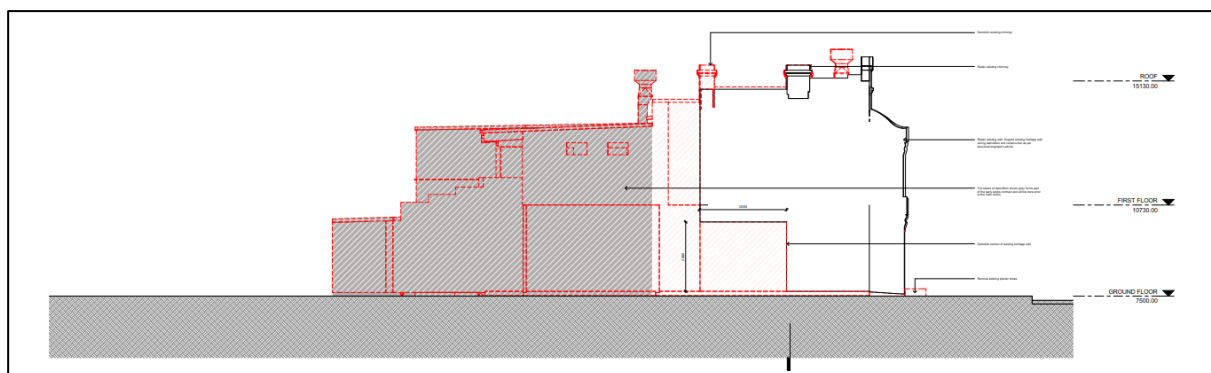


Figure 5-3 St George's Terrace west elevation demolition plan. The grey shaded area is the rear addition that was demolished as part of the early works contract in 2021 (Source: Genton, 2021).

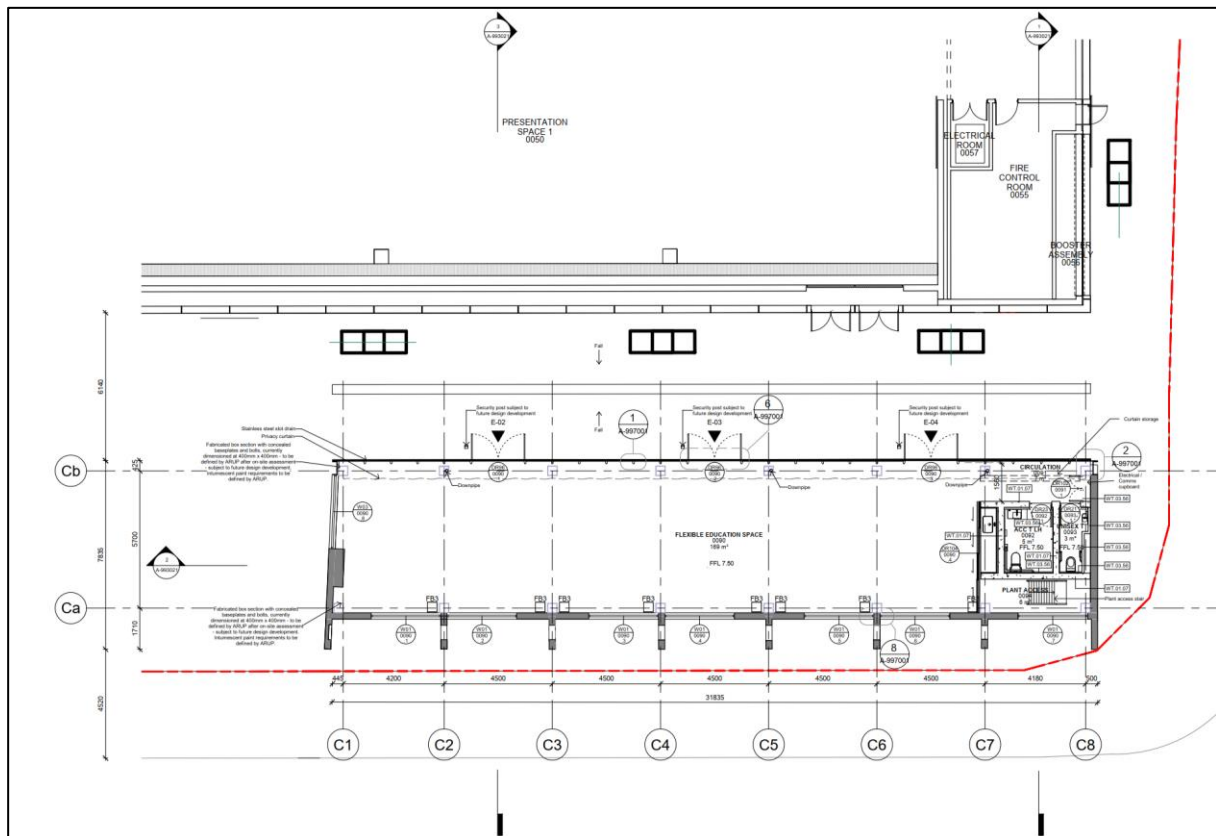


Figure 5-4 Proposed ground floor plan (Source: Genton, 2021).

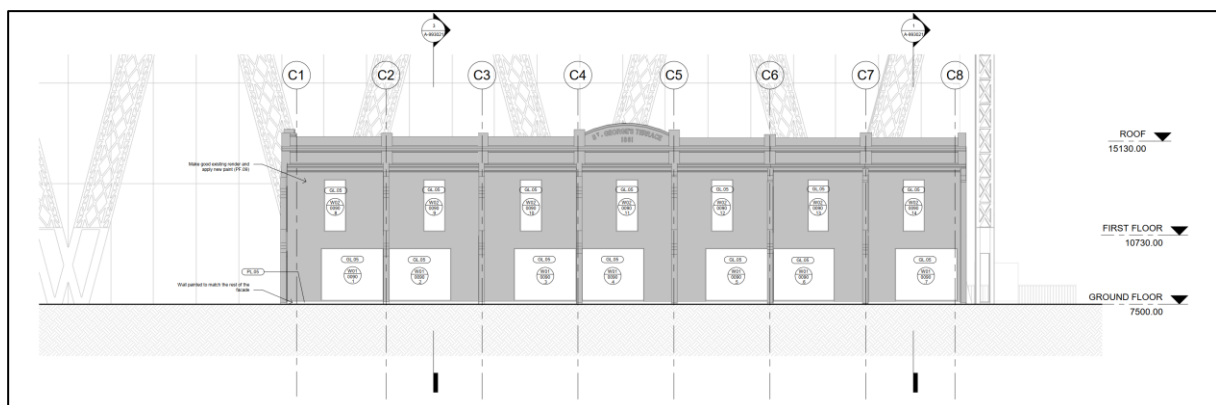


Figure 5-5 Proposed south elevation (Source: Genton, 2021).

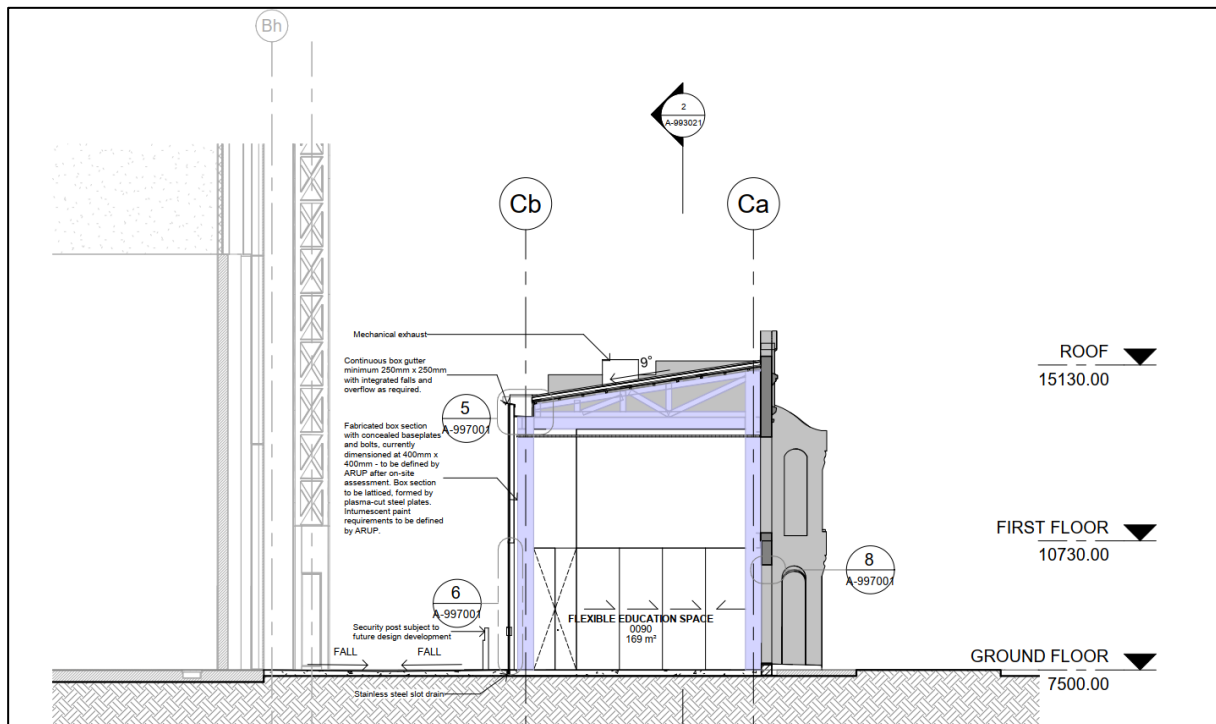


Figure 5-6 Proposed section (Source: Genton, 2021).



Figure 5-7 Perspective image of St George's Terrace and Phillip Street Forecourt (Source: Genton, 2021).

6 Heritage Impact Assessment

6.1 Impact of Proposed Modification

The impact assessment has been undertaken in accordance with the relevant provisions of:

- NSW Heritage Office's *Statements of Heritage Impact* (2002) guideline which is part of the NSW Heritage Manual; and
- The relevant Articles of *The Burra Charter*.

Table 6-1 outlines the impact matrix which classifies the severity of potential impacts, including physical and visual, on the conservation values that constitute heritage significance.

Table 6-1 Impact matrix (Source: Advisian, 2020).

Impact Level	Definition
Major	Work to a heritage item resulting in substantial or total irreversible loss of significant fabric and/or visual setting. Work includes substantial or total demolition of a heritage item and may result in statutory delisting. Work resulting in a significant community sense of loss. Major impact cannot be totally mitigated.
Moderate	Work to a heritage item resulting in adverse impact to fabric and/or visual setting. Work includes alterations or additions to, or removal or partial demolition of, significant fabric. Work resulting in some community sense of loss. Moderate impact can be minimised by mitigation measures.
Minimal to Minor	Work to, adjacent to, or in the immediate vicinity of, a heritage item resulting in a minimal to minor adverse impact on fabric and/or visual setting. Works resulting in minor or no community sense of loss. Minimal to minor impacts can be effectively mitigated.
No impact	Work adjacent to, or in the immediate vicinity of, a heritage item with no impact.

6.1.1 Heritage Branch Assessment Guidelines

The proposal is assessed (Table 6-2) in accordance with the relevant questions and considerations outlined in the NSW Heritage Office's *Statements of Heritage Impact* (2002) guideline.

Table 6-2 Relevant questions and considerations sought from the NSW Heritage Office's *Statements of Heritage Impact* (2002) guideline.

Question	Response
Major partial demolition Q1 Is the demolition essential for the heritage item to function? Q2 Are particular features of the item affected by the demolition?	Major partial demolition A1 Yes. As discussed in the Addendum SoHI, the partial demolition is required to enable the retention, conservation and adaptive reuse of St George's Terrace as part of the project.

Question	Response
<p>Q3 Is the detailing of the partial demolition sympathetic to the heritage significance of the item?</p> <p>Q4 If the partial demolition is a result of the condition of the fabric, is it certain that the fabric cannot be repaired?</p>	<p>A2 Yes. The majority of the proposed demolition is to modern fabric which is considered to be intrusive, and its removal is supported on heritage conservation grounds. A section of original fabric to the ground floor is to be demolished to facilitate access to the new Phillip Street forecourt. All existing chimneys except for the chimney on the west elevation will be demolished to accommodate the construction of the new internal spaces.</p> <p>A3 Yes. The partial demolition of a small section of the original fabric and chimneys is sympathetic to the item as it facilitates the retention of the general traditional form and height of St George's Terrace when viewed from Phillip Street. The remaining original walls to the east and west elevations and period façade details will be retained and conserved as part of the Powerhouse Parramatta.</p> <p>A4 Not applicable. The demolition has consideration for the built form, landscape design and spatial relationship of St George's Terrace to the project and proposed adaptive reuses.</p>
<p>Change of use</p> <p>Q1 Has the advice of a heritage consultant or structural engineer been sought? Has the consultant's advice been implemented?</p> <p>Q2 Does the existing use contribute to the significance of the heritage item?</p> <p>Q3 Why does the use need to be changed?</p> <p>Q4 What changes to the fabric are required as a result of the change of use?</p> <p>Q5 What changes to the site are required as a result of the change of use?</p>	<p>Change of use</p> <p>A1 Yes. The advice of a heritage consultant and structural engineer was sought throughout the detailed design process and is to be implemented.</p> <p>A2 No. St George's Terrace has been vacant for the past two years. The most recent uses were for retail and commercial purposes.</p> <p>A3 There is presently no use.</p> <p>A4 Partial demolition to a vast majority of modern fabric and minor areas of original fabric is required to enable the adaptive reuse of St George's Terrace to provide a single and flexible space for supplementary concierge support for education, group bookings, and events for the operation of Powerhouse Parramatta. The proposed modification will integrate St George's Terrace into the overall form and function of the project, ensuring the long-term use and enjoyment of this site by the community.</p> <p>A5 The adaptive reuse will be linked to the built form, landscape design and spatial relationship of St George's Terrace to the Powerhouse Parramatta.</p>

Question	Response
<p>New development adjacent to a heritage item</p> <p>Q1 How is the impact of the new development on the heritage significance of the item or area to be minimised?</p> <p>Q2 Why is the new development required to be adjacent to a heritage item?</p> <p>Q3 How does the curtilage allowed around the heritage item contribute to the retention of its heritage significance?</p> <p>Q4 How does the new development affect views to, and from, the heritage item? What has been done to minimise negative effects?</p> <p>Q5 Is the development sited on any known, or potentially significant archaeological deposits? If so, have alternative sites been considered? Why were they rejected?</p> <p>Q6 Is the new development sympathetic to the heritage item? In what way (e.g. form, siting, proportions, design)?</p> <p>Q7 Will the additions visually dominate the heritage item? How has this been minimised?</p> <p>Q8 Will the public, and users of the item, still be able to view and appreciate its significance?</p>	<p>New development adjacent to a heritage item</p> <p>A1 The integration of the built form, landscape design and the spatial relationship of St George's Terrace to the approved Powerhouse Parramatta will create a new arrival experience for the Powerhouse Parramatta and support its programming.</p> <p>A2 The project has been designed to provide publicly accessible interconnections with Civic Link and the Parramatta River and provide for a world class museum. The proposed modification will integrate St George's Terrace into the overall form and function of the project.</p> <p>A3 The existing mapped curtilage of St George's Terrace is considered to comprise all fabric that contributes to heritage significance including intrusive elements. The demolition of intrusive elements is supported.</p> <p>A4 The project will not affect views to and from the front (Phillip Street) elevation of the heritage item which remains a focal point in the streetscape, located in front of the eastern building. Impacts to views to the rear elevation has been minimised by the setback between the item and the approved Powerhouse Parramatta to create an activated laneway.</p> <p>A5 Yes. The development is located on land with historical archaeological potential. Archaeological deposits are being salvaged from the site in accordance with the approved project conditions.</p> <p>A6 Yes. The retention of St George's Terrace will maintain its core heritage significance with regard to its high degree of integrity when viewed in the round and particularly from Phillip Street which includes the period façade details along the front elevation. The item's retention will also contribute to an increased level of visual amenity and result in a sympathetic response to the existing Phillip Street streetscape.</p> <p>A7 Not applicable. The development is not an addition to the heritage item.</p> <p>A8 Yes. The public and users of St George's Terrace will still be able to view and appreciate its significance, context and setting as part of the Powerhouse Parramatta as most of original external fabric including its period façade details to its front elevation will be retained and conserved.</p>

6.1.2 The Burra Charter Articles

The Australia ICOMOS Charter for Places of Cultural Significance 2013 provides "guidance for the conservation and management of places of cultural significance". The proposal is assessed (Table 6-3) in accordance with the relevant Articles of *The Burra Charter*.

Table 6-3 Relevant Articles of *The Burra Charter*.

Article	Response
Conservation Principles	
Article 2. Conservation and management	
2.4 Places of cultural significance should be safeguarded and not put at risk or left in a vulnerable state.	St George's Terrace is currently vacant. It will be retained and conserved as part of the project and its proposed adaptive reuse respects its heritage significance.
Article 3. Cautious approach	
3.1 Conservation is based on a respect for the existing <i>fabric, use, associations</i> and <i>meanings</i> . It requires a cautious approach of changing as much as necessary but as little as possible.	The modern internal and external alterations and additions are considered to be intrusive and detracts from the item's heritage significance, and will be demolished (with the rear addition already demolished during the early works phase). Most of the original brick structure fronting Phillip Street will be retained and conserved.
3.2 Changes to a <i>place</i> should not distort the physical or other evidence it provides, nor be based on conjecture.	Modern alterations and additions are considered to be intrusive and detract from heritage significance. These alterations and additions will be demolished. Remaining internal fabric including modest fireplaces and potentially some internal walls are evidence of past history and use which contribute to the significance of St George's Terrace. However, this internal fabric is not able to be retained as demolition is required to facilitate the construction of the new internal spaces to provide supplementary concierge support for education, group bookings, and events for the operation of Powerhouse Parramatta.
Article 4. Knowledge, skills and techniques	
4.1 Conservation should make use of all knowledge, skills and disciplines which can contribute to the study and care of the <i>place</i> .	The retention, conservation and adaptive reuse of St George's Terrace as part of the Powerhouse Parramatta has been informed by heritage and structural engineering advice.
Article 7. Use	
7.1 Where the <i>use</i> of a <i>place</i> is of cultural significance it should be retained.	Not applicable as St George's Terrace is currently vacant.

Article	Response
7.2 A <i>place</i> should have a <i>compatible use</i> .	It is proposed that St George's Terrace provide supplementary concierge support for education, group bookings, and events for the operation of Powerhouse Parramatta. These uses are considered to be compatible as it will respect the item's cultural significance.
Article 8. Setting	
<p><i>Conservation</i> requires the retention of an appropriate <i>setting</i>. This includes retention of the visual and sensory setting, as well as the retention of spiritual and other cultural relationships that contribute to the <i>cultural significance</i> of the <i>place</i>.</p> <p>New construction, demolition, intrusions or other changes which would adversely affect the setting or relationships are not appropriate.</p>	<p>St George's Terrace contributes to the Phillip Street streetscape and Parramatta CBD townscape. The retention and adaptive reuse of the heritage item will prevent the total, irreversible loss of significant fabric and the item's conservation values. Thus, the retention of the remaining original brick façade fronting Phillip Street will assist in the retention of the item's original visual aesthetic and setting in this location. The façade will retain a rendered and painted appearance consistent with its architectural style.</p> <p>It is considered that the design for the adaptive reuse of St George's Terraces is responsive and sympathetic to the context and setting and significance of the item.</p>
Conservation Processes	
Article 15. Change	
15.1 Change may be necessary to retain <i>cultural significance</i> , but is undesirable where it reduces cultural significance. The amount of change to a <i>place</i> and its <i>use</i> should be guided by the <i>cultural significance</i> of the place and its appropriate <i>interpretation</i> .	<p>Change to St George's Terrace will be undertaken to enable its retention, conservation and adaptive reuse as part of the Powerhouse Parramatta. The proposed demolition will not reduce the cultural significance of the place as it retains the form and relationship of the place to the streetscape and is in an appropriate position to adaptively reuse for the purposes of the museum consistent with previous commercial uses of the site.</p> <p>This will form part of its history and use which is considered to contribute to the significance of St George's Terrace.</p> <p>Change has been guided by the significance of St George's Terrace. For instance, the modern internal and external alterations and additions are to be demolished.</p>
15.3 Demolition of significant <i>fabric</i> of a <i>place</i> is generally not acceptable. However, in some cases minor demolition may be appropriate as part of <i>conservation</i> . Removed significant fabric should be reinstated when circumstances permit.	A section of original fabric to the ground floor is to be demolished to facilitate access to the new Phillip Street forecourt. All existing chimneys except for the chimney on the west elevation will be demolished to accommodate the construction of the new internal spaces. The demolition will allow for the retention,

Article	Response
	conservation and adaptive reuse of the remaining original brick structure.
15.4 The contributions of all aspects of <i>cultural significance</i> of a <i>place</i> should be respected. If a place includes <i>fabric, uses, associations</i> or <i>meanings</i> of different periods, or different aspects of cultural significance, emphasising or interpreting one period or aspect at the expense of another can only be justified when what is left out, removed or diminished is of slight cultural significance and that which is emphasised or interpreted is of much greater cultural significance.	<p>The significance of St George's Terrace will be respected through its retention, conservation and adaptive reuse as part of the Powerhouse Parramatta.</p> <p>Respect for the contributions of the aspects of cultural significance of the place is achieved through the retention of the remaining original brick structure and period façade details.</p>
Article 21. Adaptation	
21.1 <i>Adaptation</i> is acceptable only where the adaptation has minimal impact on the <i>cultural significance</i> of the <i>place</i> .	<p>Adaptation such as additions or new uses will respect the significance of St George's Terrace. Adaptation has been guided by heritage advice focusing on retaining and interpreting the core significance of St George's Terrace.</p> <p>The selected uses have been designed to comply with the relevant legislation with regard to the National Code of Construction and accessibility requirements.</p>
21.2 <i>Adaptation</i> should involve minimal change to significant <i>fabric</i> , achieved only after considering alternatives.	<p>Alternatives were considered in relation to the retention of St George's Terrace (refer to Section 6.3 below). Proposed uses involve minimal change to the remaining significant fabric.</p>
Article 22. New work	
22.1 New work such as additions or other changes to the <i>place</i> may be acceptable where it respects and does not distort or obscure the <i>cultural significance</i> of the place, or detract from its <i>interpretation</i> and appreciation.	Refer to Article 21.1 .
22.2 New work should be readily identifiable as such, but must respect and have minimal impact on the <i>cultural significance</i> of the <i>place</i> .	<p>New internal and external works are readily identifiable and designed to respect the cultural significance of the item and not have more than a minor impact. In relation to internal works, based on the moderate grading for the remaining internal fabric, the proposed demolition of this fabric is considered to be acceptable as an appropriate action which protects the essential significance of the item and facilitates a new compatible use.</p>

6.2 Heritage Impact Assessment Table

The summary of the impact of the proposed modification on the elements of St George's Terrace is provided in Table 6-4. Reference is made to each element's grading of significance.

Table 6-4 Impact on the significant elements of St George's Terrace.

Element(s)	Grading	Impact
Modern internal and external alterations and additions	Intrusive	The proposal will have no impact to heritage significance through the removal of intrusive alterations and additions. The impact is to the remaining intrusive internal and external components as the rear addition has already been demolished. The removal of intrusive elements is supported on heritage conservation grounds.
Remaining external fabric including period façade details at the front elevation	High	The proposal will have a minor impact to heritage significance. The impact is to a section of the original brick structure and the chimneys. Other remaining external fabric including period façade details will be retained and conserved with the proposed adaptive reuse of St George's Terrace.
Remaining internal fabric	Moderate	The proposal will have a moderate impact to remaining internal fabric with demolition of all internal areas required for the proposed new works and adaptive re-use.

6.3 Options Analysis

Section 5.3 of the Addendum SoHI discussed three design options that were considered for the retention of St George's Terrace. Option 2 was selected as the preferred option as it will provide a greater setback between the project and St George's Terrace and is consistent with the objectives of the development and the flood constraints of the site. The preferred option was accepted to maximise the retention of the core significance of St George's Terrace as well as meeting functional and design requirements for the approved project.

6.4 Summary of Heritage Impact Assessment

This section describes the impact of the proposal to St George's Terrace. The impact of the proposal on the heritage significance of St George's Terrace is summarised below in accordance with the following considerations outlined in the NSW Heritage Office's *Statements of Heritage Impact* (2002) guidelines.

The following aspects of the proposal respect or enhance the heritage significance of the item or conservation area for the following reasons:

The development will respect the significance of St George's Terrace and has been guided by heritage and structural engineering advice focusing on retaining and interpreting the core significance of St George's Terrace as well as meeting functional and design requirements for the Powerhouse Parramatta. This will also assist in the retention of conservation values and the visual setting.

The proposed modification will integrate St George's Terrace into the overall form and function of the project, ensuring the long-term use and enjoyment of this site by the community.

The retention of St George's Terrace will maintain its core heritage significance with regard to its high degree of integrity when viewed in the round and particularly from Phillip Street which includes the period façade details along the front elevation. The item's retention and adaptive reuse will also contribute to an increased level of visual amenity and result in a sympathetic response to the existing Phillip Street streetscape. The design for the adaptive re-use of St George's Terrace is responsive and sympathetic to the context and setting and significance of St George's Terrace.

The majority of the proposed demolition is to modern fabric which is considered to be intrusive, and its removal is supported on heritage conservation grounds.

It is proposed that St George's Terrace provides supplementary concierge support for education, group bookings, and events for the operation of Powerhouse Parramatta. These uses are considered to be compatible as it will respect the item's cultural significance and will contribute to the broader cultural significance of Parramatta.

The following aspects of the proposal could detrimentally impact on heritage significance. The reasons are explained as well as the measures to be taken to minimise impacts:

The partial demolition of a small section of the original fabric and chimneys is sympathetic to the item as it facilitates the retention of the general traditional form and height of St George's Terrace when viewed from Phillip Street. The remaining original walls to the east and west elevations and period façade details will be retained and conserved as part of the project.

Remaining internal fabric is not able to be retained as demolition is required to facilitate the construction of the new internal spaces to provide supplementary concierge support for education, group bookings, and events for the operation of Powerhouse Parramatta.

Remaining period façade details are to also be retained and conserved as part of the adaptive reuse. In this way, the proposal will retain the core significance of St George's Terrace as part of the project.

Furthermore, the retention, conservation and adaptive reuse of most of the original brick structure will prevent the total irreversible loss of significant fabric. It will also minimise the impact on heritage in the Parramatta CBD as a result of the project.

The following sympathetic solutions have been considered and discounted for the following reasons:

Refer to Section 6.3 regarding alternative options considered for the proposal.

6.5 Historical Archaeological Impact

The archaeological resource at St George's Terrace is on land located in the vicinity as described in Section 4.2. Archaeological deposits to the rear of St George's Terrace, as shown in Figure 4-16, are currently undergoing a salvaging process.

There is the potential for archaeological deposits to be disturbed below the ground floor slab of St George's Terrace which is to be removed and replaced. Mitigation measures for archaeological monitoring and managing unexpected finds as described in the Historical Archaeological Research Design and Excavation Methodology (Curio Projects, 2021) ought to be adopted to avoid, minimise and mitigate potential impacts.

7 Mitigation Measures

The recommended mitigation measures to avoid, minimise and manage potential impacts are provided in Table 7-1.

Table 7-1 Recommended mitigation measures.

Proposed Measure	Timing
Photographic archival recording of St George's Terrace in accordance with Condition B2 of the Development Consent SSD-10416.	Completed.
The Heritage Interpretation Plan as required by Condition C16 is to identify appropriate interpretative content related to the history of St George's Terrace and opportunities to incorporate this content into the adaptively re-used building during operation.	Pre-Construction, Construction and Operation.
The Contractor is to identify and implement demolition and construction methods in a Construction Environmental Management Plan (CEMP) that protects and minimise impacts to significant fabric that is to be retained at St George's Terrace.	Pre-Construction and Construction.
<p>Potential impacts on the archaeological resource at the site must be managed in accordance with the recommendations of the Historical Archaeological Research Design and Excavation Methodology (Curio Projects, 2021) and be incorporated into the CEMP, which include:</p> <ul style="list-style-type: none"> • undertake archaeological monitoring, salvaging and recording where archaeological disturbance or removal is unavoidable. • archiving of salvaged archaeological remains. • enacting the unexpected finds protocol in the event that potential relics are encountered during demolition and construction. 	Pre-Construction and Construction.
A Conservation Management Plan is to be prepared to guide the ongoing conservation, maintenance, and interpretation of St George's Terrace in accordance with Condition E34.	Pre-Operation.

8 Conclusion

A summary of the heritage impact assessment is provided below:

- The proposed modification will integrate St George's Terrace into the overall form and function of the project.
- The majority of the proposed demolition is to modern fabric which is considered to be intrusive, and its removal is supported on heritage conservation grounds.
- The partial demolition of a small section of the original fabric and chimneys is sympathetic to the item as it facilitates the retention of the general traditional form and height of St George's Terrace when viewed from Phillip Street. The remaining original walls to the east and west elevations and period façade details are to be retained and conserved as part of the project.
- Remaining internal fabric is not able to be retained as demolition is required to facilitate the construction of the new internal spaces to provide supplementary concierge support for education, group bookings, and events for the operation of the project.
- The retention of St George's Terrace including its remaining period façade details will maintain its core heritage significance with regard to its high degree of integrity when viewed in the round and particularly from Phillip Street.
- The design for the adaptive re-use of St George's Terrace is responsive and sympathetic to the context, setting and significance of St George's Terrace.
- There is the potential for archaeological deposits to be disturbed below the ground floor slab of St George's Terrace which is to be removed and replaced.

The mitigation measures in Section 7 are considered to provide an appropriate response to avoid, minimise and manage potential impacts.

Therefore, the proposal is supported on heritage grounds.