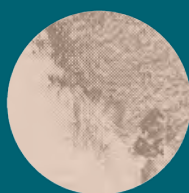


APPENDIX I ARCHAEOLOGICAL RESEARCH DESIGN

Curio Projects





Powerhouse site, Parramatta

Final Archaeological
Research Design

April, 2020



Document Information

Citation

Curio Projects 2020, *Powerhouse Parramatta, Historical Archaeological Research Design*, prepared for Infrastructure NSW.

Local Government Area

Parramatta City Council

Cover Image

Detail of 'Town and district of Parramatta. New South Wales', Gibbs, Shallard & Co. 1877

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Executive Summary

Curio Projects was commissioned by Infrastructure NSW to prepare an Archaeological Research Design for the Powerhouse, Parramatta. This is hereafter referred to as the study area.

This report supports a State Significant Development (SSD) Development Application (DA) for the development of the Powerhouse at 34 & 30B Phillip Street and 338 Church Street, Parramatta. The Powerhouse, Parramatta, is a museum (information and education facility) that has a capital investment value in excess of \$30 million and as such the DA is submitted to the Minister for Planning pursuant to Part 4 of the Environmental Planning and Assessment Act 1979 (EP&A Act).

The study area is comprised of three Archaeological Management Units (AMU) of the PHALMS archaeological report:

- AMU 2882. 42-56 Phillip Street, Parramatta
- AMU 3083. Church Street, Parramatta, and
- AMU 3092. Church Street, Parramatta.

The Department of Planning, Industry and Environment have issued Secretary's Environmental Assessment Requirements (SEARs) to the applicant for the preparation of an Environmental Impact Statement for the proposed development. This report has been prepared having regard to the SEARs.

The historical research undertaken on the study area indicates that it has had continuous occupation since at least 1804 on areas along its southern and eastern boundaries. The centre of the study area and its northern and western boundaries have seen comparatively little development and historic occupation. Areas along the river have been subject to disturbance and scouring during historic flood events.

The site has been assessed as having variable archaeological potential, with the largest area of potential primarily located along the southern and south-eastern boundaries.

Some of the potential archaeology has been assessed as a State level of research significance. Other areas have been assessed as of a Local level of archaeological research significance.

A review of some aspects of the development work indicates that there will be physical impacts to areas containing potential archaeology of both State and Local significance. These primarily comprise excavations for the support columns, service corridors and mature tree plantings.

On this basis it is proposed that, as an initial step, elements of the construction be redesigned to avoid impacts on the potential archaeology. If this is not possible then a program of archaeological recording would take place as a mitigative measure. This archaeological program would commence with test trenching to investigate the level of survival of the potential archaeology. Open area excavation may then proceed based on the results of the testing phase.

1. Introduction

1.1. Report Purpose

Curio Projects was commissioned by Infrastructure NSW to prepare an Archaeological Research Design for the Powerhouse, Parramatta.

This report supports a State Significant Development (SSD) Development Application (DA) for the development of the Powerhouse at 34 & 30B Phillip Street and 338 Church Street, Parramatta. The Powerhouse, Parramatta, is a museum (information and education facility) that has a capital investment value in excess of \$30 million and as such the DA is submitted to the Minister for Planning pursuant to Part 4 of the Environmental Planning and Assessment Act 1979 (EP&A Act).

Infrastructure NSW is the proponent of the DA.

1.2. Study area Description

The study area is located at the northern edge of the Parramatta CBD on the southern bank of the Parramatta River. It occupies an area of approximately 2.5 hectares and has extensive frontages to Phillip Street, Wilde Avenue and the Parramatta River. A small portion of the study area extends along the foreshore of the Parramatta River to the west, close to the Lennox Street Bridge on Church Street. The study area boundary is identified in Figure 1-2 and Figure 1-3. The study area excludes the GE Office Building at 32 Phillip Street.

The study area is currently occupied by a number of buildings and structures, including:

- Riverbank Car Park – a four-level public car park
- Willow Grove – a two-storey villa of Victorian Italianate style constructed in the 1870s, which is a locally-listed heritage item (I737)
- St George's Terrace – a two-storey terrace of seven houses fronting Phillip Street constructed in the 1880s, which is a locally listed heritage items (I1738)
- 36 Philip Street – a two-storey building comprising retail and business premises
- 40 Philip Street – a two-storey building comprising retail and business premises
- 42 Philips Street – a two-storey building set back from the street comprising retail premises

The immediate context of the study area comprises a range of land uses including office premises, retail premises, hotel, serviced apartments and residential apartments. To the north is the Parramatta River and open space corridor, beyond which are predominately residential uses. The Riverside Theatre is located to the north-west across the Parramatta River.

1.3. Limitations and Constraints

This report does not consider the potential Aboriginal archaeology of the study area. Any Aboriginal sites and objects are protected by the National Parks and Wildlife Act, 1974. An additional Aboriginal cultural heritage assessment report and Aboriginal heritage impacts permit (AHIP) will need to be prepared and obtained if Aboriginal heritage will be impacted by the proposed development (see Section 2.2.2)

The discovery of unknown and unassessed archaeological remains during the course of any works may require additional assessment (see Section 9.2).

1.4. Previous Reporting

An historical archaeological assessment and an Aboriginal assessment for the study area were completed in 2015 by Archaeological and Heritage Management Solutions (AHMS).¹ This report assessed the archaeological potential of the study area and its archaeological research significance. For the purposes of the report the 2015 assessment the study area was divided into several discrete areas i.e. Areas 1-21 (Figure 4-1).

Additional reports consulted relating to the study area include:

- AHMS, 2014, 330 Church Street, Parramatta, NSW Historical Archaeological Excavation Report, Report for Heritage Division, Office of Environment and Heritage and Meriton Apartments Pty Ltd;
- AHMS, 2013, 330 Church Street, Parramatta, NSW Historical Archaeological Impact Assessment, Research Design and Excavation Methodology, Report for Meriton Apartments Pty Ltd;
- AHMS, 2011, 12-14 Phillip Street and 333 Church Street, Parramatta, NSW Heritage Investigations and Advice, Report for Parramatta City Council;
- Stedinger Associates, 2005, Archaeological Monitoring of Street Works in Parramatta, Church, Phillip and George Street, Report for Parramatta City Council;
- Edward Higginbotham and Associates Pty Ltd, 1999, Historical and Archaeological Assessment of St George's Terrace, 44-56 Phillip Street, Parramatta, NSW, Report for Citicentre Developments Pty Ltd;
- Order Architects, 1987, Conservation Strategy for the Reconstruction and Adaptation of Willowgrove, 34 Phillip Street Parramatta, Report for Agostini Brothers Pty Ltd and Whiteholme Pty Ltd.

1.5. Authorship and Acknowledgements

The report was researched and written by Sarah Gyngell, archaeologist, and Matthew Kelly, senior archaeologist, Curio Projects. Andre Fleury, archaeologist at Curio projects, completed the overlays for the report.

The main collections used include the State Library of NSW, National Library of Australia Trove Collection, City of Parramatta Council Heritage Centre, and Land and Property Information. This report also draws on information supplied in the Site History Section of Archaeological and Heritage Management Solutions' Historical Archaeological Assessment Report (2015) for Riverbank Square, Phillip St, Parramatta.

¹ AHMS, 2015a, Aboriginal Cultural Heritage Assessment, Riverbank Square, Phillip Street Parramatta, Report for Parramatta City Council and AHMS, 2015b, Historical Archaeological Assessment Report for Riverbank Square, Phillip St, Parramatta Report for Parramatta City Council.



Figure 1-1 Aerial photograph of the study area and its context . (Source: Mark Merton Photography)



Figure 1-2 Study area boundary, key existing features, and immediate local context. (Source: Ethos Urban 2020)

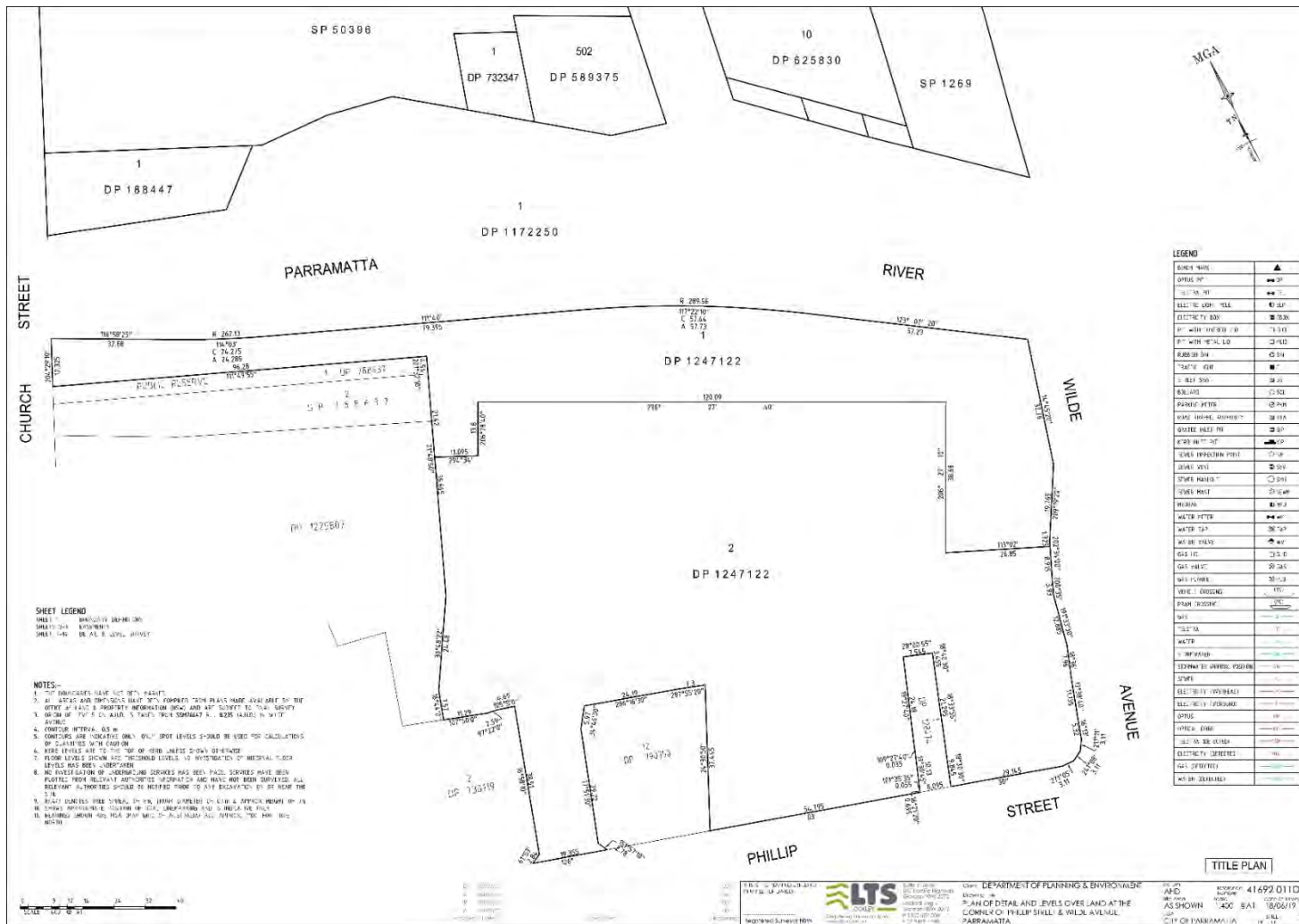


Figure 1-3 Current survey of the study area showing cadastral details of the study area. (Source: LTS Lockley).

2. Assessment Requirements

2.1. Current Development SSD

The Department of Planning, Industry and Environment have issued Secretary's Environmental Assessment Requirements (SEARs) to the applicant for the preparation of an Environmental Impact Statement for the proposed development. This report has been prepared having regard to the SEARs as follows:

SEAR	WHERE ADDRESSED
<p>6. Heritage and Archaeology</p> <p>The EIS shall include:</p> <ul style="list-style-type: none"> o a Historical Archaeological Assessment (HAA) prepared by a suitably qualified archaeologist in accordance with the guidelines Archaeological Assessment (1996) and Assessing Significance for Historical Archaeological Sites and Relics (2009). The HAA is to: o identify what relics, if any, are likely to be present, assess their significance and consider the impacts from the proposal on this potential archaeological resource. Where harm is likely to occur, it is recommended that the significance of the relics be considered in determining an appropriate mitigation strategy. If harm cannot be avoided in whole or part, an appropriate Research Design and Excavation Methodology should also be prepared to guide any proposed excavations or salvage programme o discuss the potential significance of the site and the impact of the proposed works, including analysis of the following Archaeological Management Units (AMUs) of the Parramatta Historical and Archaeological Landscape Management Study (PHALMS) which the site encompasses: <ul style="list-style-type: none"> - AMU 2882. 42-56 Phillip Street, Parramatta - AMU 3083. Church Street, Parramatta - AMU 3092. Church Street, Parramatta. 	<p>Entire report</p> <p>Section 4</p> <p>Section 5</p> <p>Section 6</p> <p>Section 7</p> <p>Section 5</p> <p>Section 6</p>

This report also addresses the following Strategic Policy and Technical Guidelines:

POLICY OR GUIDELINE	WHERE ADDRESSED
<ul style="list-style-type: none"> Heritage Division, Office of Environment and Heritage Guidelines Archaeological Assessment (1996) 	Entire Report
<ul style="list-style-type: none"> Assessing Significance for Historical Archaeological Sites and Relics (2009) 	Section 5

The Environmental Planning and Assessment Act 1979 (EP&A Act) requires that environmental and heritage impacts be considered by consent authorities prior to granting development approvals. The relevant sections of the EP&A Act are:

- Part 4 (Division 4.1): A single assessment and approval system for major development and infrastructure projects.
- Part 4: Development that requires consent under consideration of environmental planning instruments.
- Part 5: An assessment process for activities undertaken by Public Authorities and for developments that do not require development consent but an approval under another mechanism.

Where Project approval is to be determined under Part 4 (Division 4.1) of the Act, further approvals under the National Parks & Wildlife Act, 1974 that protects Aboriginal cultural heritage in NSW are not required. In those instances, management of Aboriginal heritage follows the applicable Aboriginal assessment guidelines (the Guidelines for Aboriginal Cultural Heritage Impact Assessment and Community Consultation, July 2005) and any relevant statement of commitments included in the Development Approval.

2.2. Overarching Heritage Framework

2.2.1. NSW Heritage Act 1977

Heritage places and items of particular importance to the people of New South Wales are listed on the NSW State Heritage Register. The Heritage Act defines a heritage item as a 'place, building, work, relic, moveable object or precinct'. The Heritage Act is responsible for the conservation and regulation of impacts to items of State heritage significance, with 'State Heritage Significance' defined as being of 'significance to the state in relation to the historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value of the item'.

In order to best implement and administer the protection afforded to historical archaeological 'relics' and heritage places as through the NSW Heritage Act, and EPA Act, the NSW State Government have prepared a series of best practice statutory guidelines with regards to historical archaeology. These guidelines are designed to assist developers, landowners and archaeologists to better understand their statutory obligations with regards to historical archaeology in NSW and implement best practice policies into their investigation of historical archaeological heritage values in relation to their land and/or development.

Sections 139 to 145 of the Act prevent the excavation or disturbance of land for the purpose of exposing or moving a relic, except by a qualified archaeologist with an excavation permit issued by the Heritage Council of NSW.

The Act defines relics as:

Relic means any deposit, artefact, object or material evidence that:

- (a) *Relates to the settlement of the area that comprises New South Wales, not being Aboriginals settlement, and*
- (b) *Is of State or local heritage significance.*

2.2.2. National Parks and Wildlife Act 1974 (NSW) (NPW Act)

The *NSW National Parks and Wildlife Act 1974* (NPW Act), administered by the (former) NSW Office of Environment and Heritage (OEH), is the primary legislation that provides statutory protection for all 'Aboriginal objects' (Part 6, Section 90) and 'Aboriginal places' (Part 6, Section 84) within NSW.

An Aboriginal object is defined through the NPW Act as:

"any deposit, object or material evidence (not being a handicraft made for sale) relating to the Aboriginal habitation of the area that comprises New South Wales, being habitation before or concurrent with (or both) the occupation of that area by persons of non- Aboriginal extraction, and includes Aboriginal remains."

The NPW Act provides the definition of 'harm' to Aboriginal objects and places as:

"...any act or omission that:

- (a) *destroys, defaces or damages the object or place, or*
- (b) *in relation to an object-moves the object from the land on which it had been situated, or*
- (c) *is specified by the regulations, or*
- (d) *causes or permits the object or place to be harmed in a manner referred to in paragraph (a), (b) or (c)," (NPW Act 1974)*

The NPW Act also establishes penalties for 'harm' to Aboriginal objects and declared Aboriginal places, as well as defences and exemptions for harm. One of the main defences against the harming of Aboriginal objects and cultural material is to seek an Aboriginal Heritage Impact Permit (AHIP) under Section 90 of the NPW Act, under which disturbance to Aboriginal objects could be undertaken, in accordance with the requirements of an approved AHIP.

In order to best implement and administer the protection afforded to Aboriginal objects and places as through the NPW Act, and EPA Act, the OEH have prepared a series of best practice statutory guidelines with regards to Aboriginal heritage. These guidelines are designed to assist developers, landowners and archaeologists to better understand their statutory obligations with regards to Aboriginal heritage in NSW and implement best practice policies into their investigation of Aboriginal heritage values and archaeology in relation to their land and/or development. These guidelines include:

- *Due Diligence Code of Practice for the Protection of Aboriginal Objects in NSW.*
- *Guide to Investigating, assessing and reporting on Aboriginal Cultural Heritage in NSW.*
- *Code of Practice for the Archaeological Investigation of Aboriginal Objects in New South Wales.*
- *Aboriginal Cultural Heritage Consultation Requirements for Proponents 2010.*
- *Aboriginal Heritage Impact Permits, a Guide for Applicants.*

2.3. Statutory Heritage Listings

The study area is noted listed on the National Heritage List or the Commonwealth Heritage List. The study area is not listed under the NSW Heritage Act.

Areas of the study area are listed by Parramatta City Council under the Environmental Planning and Assessment Act, 1979. The study area features items of heritage significance including two items and three Archaeological Management Units (AMU). The AMUs are areas that hold local historic significance to the development of Parramatta during the early convict and colonial periods. Willow Grove at 34 Phillip Street, is identified on the State Heritage Register (SHR Listing No. 2240440) as a local heritage item. St George's terraces (and potential archaeological site) at 44 Phillip Street is identified on the State Heritage Register (SHR Listing No. 2240441) as a local heritage item. Lennox Bridge to the north-west of the study area is also an item of heritage significance (SHR No: 00750).

2.4. Parramatta Local Environment Plan 2011

The study area is located within the Parramatta City Council. The study contains two items listed on Schedule 5, Part 1 Heritage Items. Willow Grove and Potential Archaeological Site is located at 34 Phillip Street, Parramatta and is listed as item I737 on the Parramatta LEP. St George's terraces (and potential archaeological site) at 44 Phillip Street is listed as item I738.

2.5. Non-Statutory Heritage Listings

2.5.1. Parramatta Historical and Archaeological Landscape Management Study

The Parramatta Historical and Archaeological Landscape Management Study (PHALMS) was launched in February 2000 by the NSW Government with the overall objective of seeing Parramatta's significant archaeological heritage incorporated into plans for the city's future development. PHALMS identified Archaeological Management Units across Parramatta. The three AMUs on the current study area are (see Figure 2-5):

- AMU 3083 (42-56 Phillip Street, Parramatta) is within the study area and includes the site of Willow Grove. This AMU is considered to have exceptional archaeological research potential as part of the early settlement and commercial centre of Parramatta through the convict and colonial periods and is of Local Significance. This AMU may contain physical archaeological evidence comprising structural features, intact subfloor deposits, open deposits and artefact scatters.
- AMU 2882 (Church Street, Parramatta) includes St George's terraces and is considered to have high archaeological research potential as part of the early township and association with early convict occupation and is of State Significance. This AMU may also contain physical archaeological evidence including structural features, intact subfloor deposits, open deposits and scatters.
- AMU 3092 (Church Street, Parramatta) is the river foreshore along northern boundary of the study area and has little archaeological research potential due to a history of major disturbance. It has been assessed as of Local Significance.

2.6. Compliance with Relevant CMPs

2.6.1. Conservation Management Plan: Willow Grove, 34 Phillip Street, Parramatta

FORM Architects prepared a Conservation Management Plan (June 2017) for the site of Willow Grove, 34 Phillip Street, Parramatta, for the City of Parramatta Council.² The site is scheduled as an item of environmental heritage with local heritage significance on the Parramatta LEP (2011). The item includes a two storey Victorian building with surrounding gardens and mature trees. The CMP recommended that minimum standards of maintenance and repairs under Section 118 of the Heritage Act 1977 and the Heritage Regulations 2005 be met for managing the asset of Willow Grove on a long-term basis. Any works to the place should be carried out in accordance with the principles set out in the Australia ICOMOS 'The Burra Charter'. FORM architects also recommended a preventative maintenance schedule be implemented to ensure heritage significance is maintained.

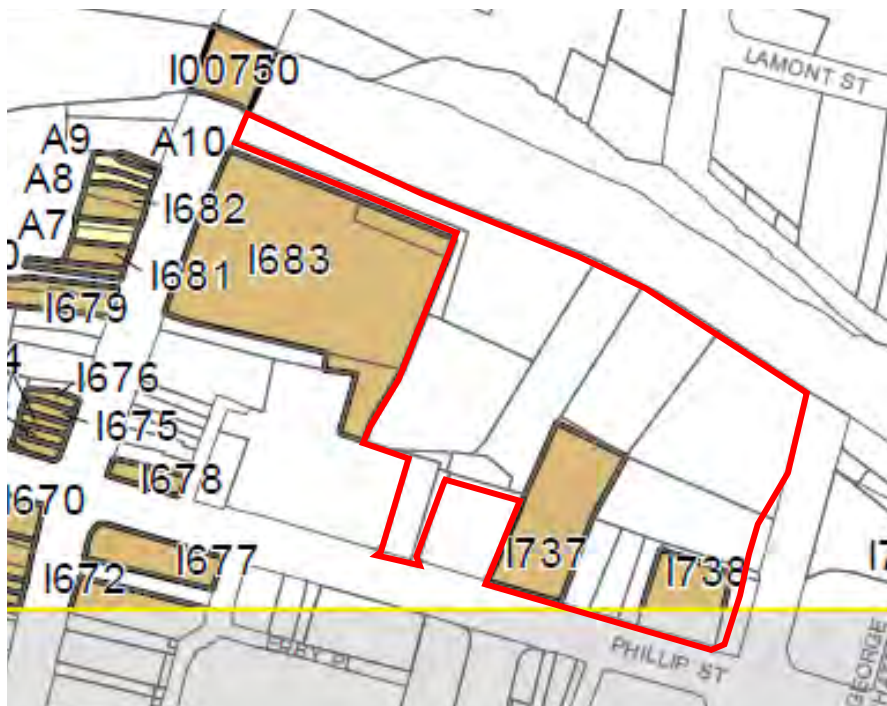


Figure 2-1: Parramatta Heritage Map including Heritage Items I737 and I738 within study area (red outline) (Also note Item I00750, Lennox Bridge). Parramatta LEP 2011. (Source:)

² Previously a Conservation Strategy had been completed for the site: Order Architects, 1987, Conservation Strategy for the Reconstruction and Adaptation of Willowgrove, 34 Phillip Street Parramatta, Report for Agostini Brothers Pty Ltd and Whiteholme Pty Ltd.

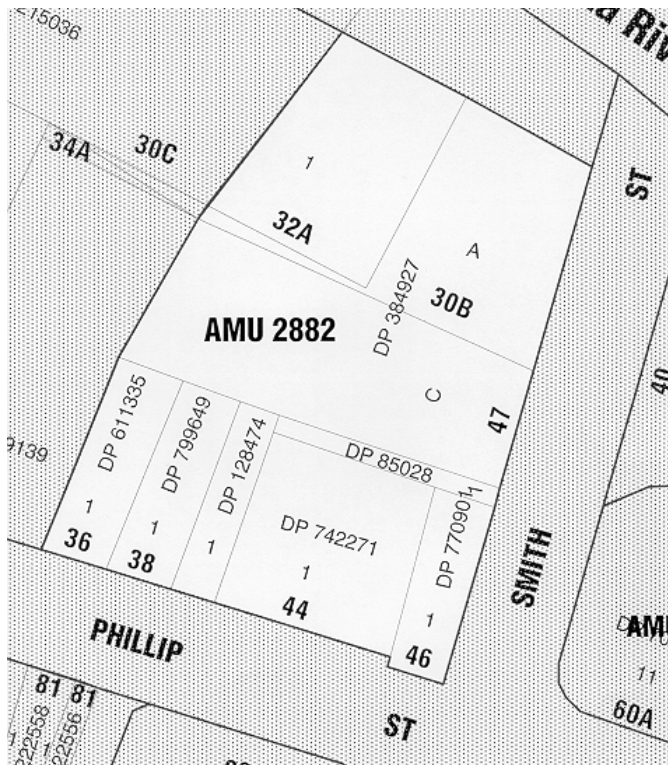


Figure 2-2 Plan of AMU 2882 (42-56 Phillip Street, Parramatta). (Source: PHALMS)

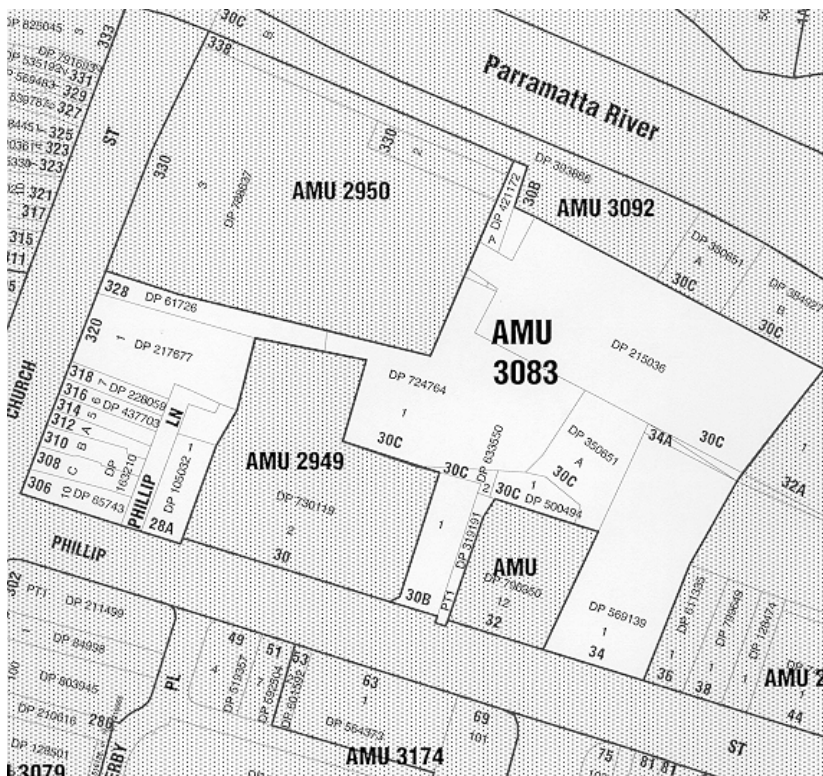


Figure 2-3 Plan of AMU 3083 (Church Street, Parramatta). (Source: PHALMS)

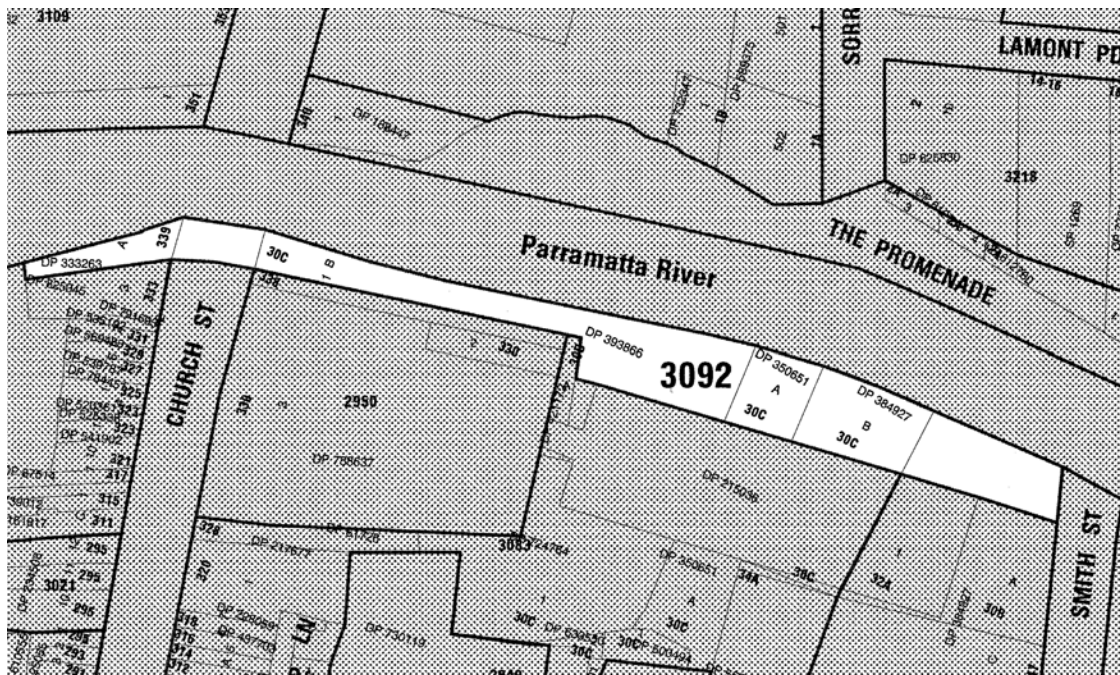


Figure 2-4 Plan of AMU 3092 (Church Street, Parramatta). (Source: PHALMS)



Figure 2-5: Heritage Items and Archaeological Management Units within the study area. (Source: Powerhouse Precinct Parramatta, International Design Competition Stage 2 Design Brief, 2019.)

3. Historical Summary

The following section (Section 3.1) is based on Section 5 'Ethnographic Background' in the AHMS Aboriginal Cultural Heritage Assessment and Section 3 'Site History' in AHMS Historical Archaeological Assessment Report, supplemented by additional material from research by Curio Projects.³ The focus of this historical summary is historical development on the study area for an assessment of archaeological potential.

Table 1 Historical phases on the study area

Historical phase	Dates
1 Aboriginal settlement	Pre-1788
2 Early colonial settlement	1788-1800
3 Town Development	1800-1840
4 Municipal Development	1840-1870
5 Late nineteenth century	1870-1900
6 Early to mid-twentieth century	1900-1950
7 Mid-twentieth century to Present	1950-2019

3.1. Aboriginal settlement (pre-1788)

The traditional owners of the Parramatta region are the Darug people, a language group that occupied a large region from the Hawkesbury River in the north to La Perouse in the south, and as far west as Bathurst.⁴ The Darug included several clans, and the Barramattugal people occupied the area including the current study area.⁵

The wide range of environments in the Parramatta region supported a diverse ecosystem of plants and animals, creating an attractive location for Aboriginal settlement. The Parramatta river provided freshwater and estuarine species of fish, along with tortoise and waterfowl. Shell middens excavated in the area indicate that shellfish was a significant component of the local diet.⁶ The grasslands supported game for hunting and tree species in the area were important sources of bark for constructing shelters and canoes.

Aboriginal presence in the Parramatta region has been dated to at least 30,000 years ago. Many Aboriginal artefacts including stone artefacts and hearths have been recovered from the Parramatta Terrace Sand Sheet and dated to at least 30,000 years old.⁷ This deposit has been found during several excavations in Parramatta, although not always containing evidence of Aboriginal occupation.

³ AHMS, 2015a, *op cit* and AHMS, 2015b, *op cit*.

⁴ Eades, D, 1976, *The Dharawal and Dhurga languages of the New South Wales south coast*, No. 8. Aboriginal Studies Press.

⁵ Attenbrow 2002, *Sydney's Aboriginal past : investigating the archaeological and historical records*, University of NSW Press, Sydney.

⁶ Attenbrow 2002

⁷ McDonald, J, 2005, Archaeological Salvage Excavation of Site CG1 (NPWS # 45-5-26/,8), at the corner of Charles and George Streets, Parramatta, NSW, Report for Meriton Apartments Pty Limited.

In instances of the presence of artefacts, they have been recovered from deposits at depths of 0.8 to 2 m below the modern surface. The soil profile of the study area has been heavily disturbed since European arrival, most significantly by service lines, deep excavation and flooding.⁸

The traditional lifestyle of the Aboriginal community was significantly impacted by the European colonial settlement. The population in the area decreased as the community came into conflict with the settlers and were displaced and forced to move into territories of other Aboriginal clans to access resources.⁹

3.2. Early colonial settlement (1788-1800)

Following British arrival in Sydney Cove in January 1788, exploration began to locate arable land for the establishment of a convict settlement. In April 1788, the Parramatta area was identified by an exploration party as a suitable location for settlement and farming. By the end of the year a small party of twenty convicts and twenty marines was stationed at Parramatta.¹⁰ The settlement was established on an area of flat ground to the south of the Parramatta River named Pavilion Flat. A fort was built to the east of Pavilion Flat and several convict huts were built by July 1789. Land clearance for farming began quickly and a Government Farm was established on the north side of the river. Initial crop yields were not large enough to support the colony, which continued to rely on imports.¹¹

The settlement was named Rose Hill and consisted of two main streets, High Street (now George Street) and South Street (now Macquarie Street), and two north-south streets, Bridge Street (now O'Connell Street) and Church Street. Two laneways were also formed. Governor Phillip designed the settlement plan and allocated allotments of 100 feet by 200 feet along the major thoroughfares. The river was crossed at a bridge at what is now O'Connell Street while a ford crossed the river at what is now Smith Street (Figure 3-4).

Each allotment contained a ten-person hut.¹² Captain Watkin Tench described the houses as being "ground floor only, built of wattles plastered with clay and thatched".¹³ Each house had a fireplace with a brick chimney and were divided into two rooms. A large space north of High Street, encompassing the study area, was set aside for the site of a Town Hall and a market square.¹⁴ Phillip Street was not yet in existence. During the early stage of the town's development the study area was most likely undeveloped by European settlers, according to a sketch by William Bradley in 1789 (Figure 3-1). However, Tench's 1790 description of Parramatta indicates that the area extending 100 feet east and west of Church street and between Phillip Street and the river functioned as a

⁸ AHMS, 2015, Aboriginal Cultural Heritage Assessment, Riverbank Square, Phillip Street Parramatta, Report for Parramatta City Council.

⁹ Attenbrow 2002

¹⁰ Kass *et al.* 1996, 'Parramatta: A Past Revealed', p. 16-17.

¹¹ Kass *et al.* 1996, p. 26-27.

¹² Tench '1778' p. 156.

¹³ Tench '1778' p. 156.

¹⁴ Kass *et al.* 1996, p. 25.

marketplace. Rose Hill was renamed Parramatta in June 1791. In 1793 a road between Sydney and Parramatta was constructed, still known as Parramatta Road.¹⁵

The original plan for the Town Hall and market square was abandoned in the 1790s and Church Street was extended through the former market square to a small bridge connecting the town with farms on the northern bank of the river. Following the removal of the market square, allotments were added to the east Church Street frontage. No development had occurred within the study area at this time (Figure 3-2).

3.3. Town Development (1800-1840)

Prior to the nineteenth century not many grants of land had been issued and formal allocation of land was more often issued as a lease and were held under permissive occupancy.¹⁶ Between 1800 and 1809 formal leases were taken up for much of the land along George, Church and Macquarie Streets. According to Assistant Surveyor James Meehan, in 1804 the east side of Church Street (referred to as Gaol Road by Meehan) and up to the line of what was later to become Smith Street was divided into several allotments (Figure 3-3). Phillip Street had still not been formed.¹⁷

Lachlan Macquarie became Governor of the colony in 1810. Macquarie began the construction of public buildings and attempted to regulate land occupancy.¹⁸ Along with Meehan, he established new streets and made other town planning improvements. High Street was renamed George Street and Phillip Street was established in 1810.¹⁹ The creation of Phillip Street resulted in a reconfiguration of the properties between Church Street and Smith Street, and the creation of Section 25 of the Town of Parramatta. In 1812 the Parramatta River flooded which caused minor damage to the township along the river flats west of the Church Street bridge.²⁰

Many allotments in Parramatta continued to be held under permissive occupancy. The lack of legal status was an issue for occupants and Governor Macquarie attempted to address the issue of land tenure.²¹ Governor Brisbane took control of the administration of the Colony in 1821 and land tenure in Parramatta was still in a state of confusion. The 14 years leases of 1809, i.e. Harrex's on allotment 10 and the others on the study area, were due to lapse in 1823. A survey of the town by Stewart was provided to the Colonial Secretary in 1823 regarding official concerns about the level of permissive occupancy in the town (Figure 3-6). To restore some sense of order the Government declared that 21-year leases (to themselves lapse in 1844) would be offered to occupants of land in an attempt to gain some consistency in land ownership.²² The two maps which show the situation at approximately this time in the town's development demonstrate subtle changes in occupation on the study area (c.f. Figure 3-5 and Figure 3-6). However, the issue of legal title to land remained problematic and in 1833

¹⁵ Wotherspoon 2010 *Dictionary of Sydney*, 'the Road West'.

¹⁶ Kass *et al.* 1996, p. 112.

¹⁷ NSW State Archives and Records: NSW Surveyors Field Books James Meehan Book 32 (SZ865).

¹⁸ Kass *et al.* 1996, p. 75.

¹⁹ HRNSW, V7, p.531.

²⁰ *Sydney Gazette*, 28 November 1812 p.2

²¹ Kass *et al.* 1996, p. 75.

²² Kass *et al.* 1996, p. 112-114.

the Government created Commissioners and a Court of Claims to hear land disputes. Leases were converted to grants when occupants owned a structure on the allotment worth at least £1000.²³ In 1838 outstanding issues were resolved when legal title was granted based on ownership and occupation of the leaseholder.

3.4. Municipal Development (1840-1870)

The 21-year leases that had been issued by Gov. Brisbane in 1823, were due for renewal or re-negotiation in 1844. In 1843 a private surveyor W.M. Brownrigg approached the government to use its records to produce a map indicating each portion of land in Parramatta town, buildings thereon, leases and grants for potential land speculators. The publication of this survey in 1844 resulted in the plan of the study area shown as Figure 3-9.²⁴

Severe economic depression and drought in the 1840s slowed the growth of Parramatta along with the Sydney colony.²⁵ Although Parramatta was set to develop as a significant regional centre for businesses, few major developments occurred besides the introduction of the railway in 1855.²⁶ Confusion regarding land ownership remained an issue and consequently, William Brownrigg used government records to complete a plan of Parramatta indicating allotments that had been built upon, and to distinguish grants from leasehold (Figure 3-9).

Another severe flooding event in June 1864 caused damage to properties on Marsden street and to shops on Church Street.²⁷ The water reached the top of the new Church Street bridge arch indicating that a large portion of the study area would have been flooded, although there is no record of damage being reported.

3.5. The Study Area

3.5.1. Early colonial settlement 1788-1800

Prior to the commencement of the nineteenth century evidence for occupation or other activities are not evident on the study area. As shown in Figure 3-1 and Figure 3-2 the early activities at Parramatta were sited nearby to the west and occupation may have been as close as the north-south row of allotments on the west side of the line of Church Street. Nevertheless, it is possible that associated activities such as vegetation clearance and some small scale tillage was undertaken on the study area due to its proximity to the early Parramatta settlement.

3.5.2. Town Development 1800-1840

Definite evidence of development, on the study area, is demonstrated in the 1804 Evan's plan of Parramatta (Figure 3-3). Development occurred on the study area in the early 19th century in the form of white-washed cottages, visible in Evans painting of the south bank of Parramatta River (Figure 3-4). The plan of allotments within the study area was less structured than along the George and Church

²³ Golden MacKay Logan 2001, The Parramatta Historical Archaeological Landscape Management Study.

²⁴ Kass *et al.* 1996, p. 140.

²⁵ Kass 2008, 'Parramatta' Dictionary of Sydney.

²⁶ *Empire*, 'Opening of the Sydney and Parramatta Railway' 27 September 1855, p. 4.

²⁷ *Sydney Morning Herald*, 21 June 1864 p. 6.

Street as the development in the area was not part of Phillip's original layout of allotments (Figure 3-3). The 1804 Evans plan indicates the location of structures and allotments on the study area and by this time it encompassed parts of ten large and fairly regular allotments and five of which were occupied by whitewashed, probably slab or weatherboard, structures, items A1, B1, C1, D1 and E1 (Figure 3-3 and Figure 3-32). Only one of the allotments in the block was leased, Block 10 to James Harrex, a carpenter, for 14 years and consisted of 1 acre, 1 rood and 7 poles with a quit rent of 10 shillings per year.²⁸ This block is not within the study area. The occupants of the other allotments shown in the Evans Plan are not currently known. The allotments were likely issued as leases and held under permissive occupancy with small scale gardening/tillage and or cottage industries taking place in conjunction with domestic residence. An 1809 painting of Parramatta River and the south bank showing white cottages provides us with a picture of the nature of the occupation of this town block in the early nineteenth century (Figure 3-4).

The construction of Phillip Street in 1810 altered the layout of allotments within the study area and it was likely that at this time the boundaries of each were re-set. By 1822 and 1823 the study area, now indicated as Section 25 of the Township, encompassed parts of nine allotments (nos. 20 (west), 7, 8, 9, 45, 43, 41, 40, and 20 (east)) and 7 structures, items F1, G1, H1, I1, J1, K1 and L1 with the (Figure 3-5, Figure 3-6 and Figure 3-33). The arrangement of the allotments was now more irregular with three allotments, 7, 8 and 9 having no direct street access, though they had access to the river. These isolated allotments would however have been provided with reserved access across adjoining pieces of land.²⁹

Item F1, in the 1823 plan, was located on allotment 45 fronting Phillip Street. Item G1 was located on allotment 8 along Parramatta river isolated from a street frontage. H1 was located roughly in the middle of allotment 43. Item J1 was located on the frontage of allotment 41, Phillip street. Items K1 and L1 were located within allotment 40 on the corner of Phillip and Smith Street. Item I1 was located on allotment 20 (east) on Smith Street. Allotment 9 in the centre of Section 25 formed an irregular pentagonal allotment due to the progressing subdivision of earlier allotments. There are no indications of any structures on allotment 7, east of allotment 20 (west) on Church Street.

Between the two dates allotment 45, in the south fronting Phillip Street, lost a small structure at the rear while allotment 20 (east) gained a small structure near its southern boundary with allotment 40.

On June 30th, 1823, allotment 43, extending from Phillip Street through to the river in the north, was leased by Governor Brisbane to John Wigley. This allotment was later divided into two and advertised for sale (1830) and the notice provides some evidence of how the allotments were developed by this time:

Lot 1- That excellent allotment of building ground in Phillip-street Parramatta, in front of Mr. Wigleys's house, measuring 75 feet in front by 180 feet in depth. This lot is in the heart of Parramatta, most eligibly situate for business of any kind, and, if it were in Sydney, would bring from £1,000 to £1,500.

²⁸ Ryan, R, [ed.], 1974, *Land Grants 1788-1809*, Australian Documents Library, Sydney, p. 245.

²⁹ See Smith vs Houison, *The Sydney Morning Herald*, 30 November, p.3.

*Lot 2- All the buildings, dwelling house, store, detached kitchen, coach house, and stable, in excellent repair, with tan-pit, large orchard stocked with valuable fruit trees, and running down to the Parramatta River. This is admirably adapted for a tannery or slaughter-house; there is a fine well of water on ground, pond of water cresses. &c. &c. &c. The approach is by an easy lane, of 10 feet width, from Phillip Street, and there can hardly be a more promising speculation in the rising town of Parramatta.*³⁰

The detailed description of the contents of the allotment belie the simple and spartan depiction of the site in the plans from the 1820s to 1840s (Figure 3-6, Figure 3-8 and Figure 3-9). The lot appears for sale only three years later as one allotment and described:

*Upon the banks of the Parramatta River, a genteel Family Cottage, now in excellent repair, with nearly two acres of garden ground, and containing a frontage in Phillip-street of 85 feet, and from thence to the river nearly 450 feet....one of the most compact and well finished cottages ever offered to the public. The residence contains four excellent rooms, two kitchens, with an iron oven and copper boiler, together with stabling and coach house, cellar, and other conveniences. A tasteful verandah has been recently erected, and the whole establishment put into the most efficient sate of repair. The garden and orchard contain nearly one hundred choice fruit trees, consisting of apple plum, green gauge, pear loquat, nectarine, peach, apricot, medler, cherry, orange, mulberry, fig and lemon, all now in a high state of preservation; also some very fine grape vines, with two watercress beds, and two beautiful springs of water, full in the driest seasons. ...the whole premises fenced in.*³¹

The structure built on allotment 43, Item H1/H2 (Figure 3-33 and Figure 3-34, predates the construction of Willow Grove built on this allotment in 1886.

The potential for additional structural elements on these allotments is further demonstrated at the south-east of Section 25. Allotment 40 is shown in the 1822/3 to 1830s period as having two structures fronting Phillip Street (Figure 3-5, to Figure 3-8). In 1822 Samuel Larken deeded the allotment to Samuel Gilbert with the deed describing the site as having "two houses and one skilling" (skillion). As with the other allotments on the study area the surveyors did not feel it necessary to record all the features of a particular allotment but only the principal dwelling. Gilbert was granted a lease for 21 years at a quit rent of 6d per rod.³²

By 1840 Gilbert also sought to extend his occupation by requesting a town grant of allotment 40, Section 25.³³ Gilbert paid the quit rent price and arrears to just over £37 and in 1841 the town grant was formally issued.

3.5.3. Municipal Development 1840-1870

In a largely illegible plan dating to the period of the late 1830s there is little change in the allotment boundaries or building stock indicated (Figure 3-8). The structure(s) that had been on allotment 45 in

³⁰ *The Sydney Monitor*, 19 May, 1830, p.3.

³¹ *The Sydney Herald*, 1833, 25 February, 1833, p.3.

³² Kass, "St George's Terrace History" in Edward Higginbotham and Associates Pty Ltd, 1999, Historical and Archaeological Assessment of St George's Terrace, 44-56 Phillip Street, Parramatta, NSW, Report for Citicentre Developments Pty Ltd, p.4.

³³ *Ibid*, p.7.

the 1822/3 plans had been demolished by the late 1830s but this allotment was advertised for sale in 1836 and was described as:

Saturday next the 3d instant, on the Ground in Phillip-Street, Parramatta nearly opposite Mr. Hayward's Stables, all those four large and valuable Building Plots, Situated in Phillip Street, Parramatta, next to Mr Lee's Residence, containing by Plan about 94 perches, being granted to Mary Larkland, and now having two tenements thereon, which are capable of great improvement. ...There is a very productive Garden in two of the Allotments and a never failing supply of water³⁴

The 1844 Brownrigg plan (Figure 3-9) indicates some of the grantees/lessees for these allotments (from 1823 when the land system in Parramatta was reformed). They were:

Table 2 Table of Grantees, Purchasers and or Lessees on the study area in 1844.

Allotment	Lessee	Grantee	Purchaser
Allotment 20 (west)	T Wo(o)lley	-	Hughes and Hosking;
Allotment 7	Indistinct	-	"
Allotment 8	W While	-	"
Allotment 9	J Harrex Estate	J Harrex Estate and J Bennett	-
Allotment 45	M Larkham	S (G?) Suttor ³⁵	-
Allotment 43	J Wigley	Benjamin Lee	-
Allotment 41	T Wo(o)lley	"	"
Allotment 40	S Gilbert	S Gilbert (1841)	
Allotment 20 (east)	W Morris	W Peisley (1854)-	

In the Brownrigg plan Hughes and Hosking owned allotment 20 on Church Street, which was leased by T. Wo(o)lley. Hughes and Hosking also owned the two blocks to the east along Parramatta River. Item G1 in allotment 8 was no longer in existence in 1844 and a new structure had been built, Item N1. Allotment 7 remained undeveloped. The mercantile firm of Hughes and Hosking, established in the 1820s in Pitt Street Sydney and then the Albion Wharf, Sussex Street. Invested in real estate across the colony. At one stage they were possibly the largest business in the colony but by the time of the publication of this plan were insolvent. ³⁶

By 1852 allotments 20 (west), 7 and 8 were in Crown possession and were then conveyed to James Houison, a prominent builder and architect in Parramatta.³⁷ In 1855 Houison constructed a bond store on his land, Item T1 (see Figure 3-35). However, this structure does not fall within the boundaries of the study area. His fourth son Alexander, a carpenter, was gifted the land in 1864 and converted the

³⁴ *The Sydney Gazette and New South Wales Advertiser*, 1 September, 1836, p.3.

³⁵ George Suttor is noted as purchasing an allotment of land in Phillip Street in 1836 for £155. *Sydney Herald*, 19 December, 1836, p.2.

³⁶ Vivienne Parsons, 'Hosking, John (1806–1882)', Australian Dictionary of Biography, National Centre of Biography, Australian National University, <http://adb.anu.edu.au/biography/hosking-john-2200/text2843>, published first in hardcopy 1966, accessed online 6 January 2020 and SMH, Sept, 22, 1882, p.10.

³⁷ Dictionary of Sydney, 'Houison, James'.

original structure to a household for his family.³⁸ The building was three stories, with the middle story at ground level. It was built of ashlar sandstone with sandstone chimneys. After Alexander's death in 1888, the property passed to his widow, Fanny Eliza Roberts, and the house was subsequently occupied by members of the Houison family into the 1930s.³⁹

In February 1843 Benjamin Lee purchased allotment 43 for 106 pounds and 1 shilling.⁴⁰ According to Brownrigg's plan of Parramatta, Wigley continued the leasehold on the land and a structure, Item H2, was built (see Figure 3-34). Lee also owned allotment 41 which was leased to Wo(o)lley (Figure 3-9). Two structures are visible on allotment 41. Item K2 may be the same structure visible in the 1823 plan, and a second structure had been added on the allotment, Item P1 (Figure 3-34).

In 1844, allotment 9 of section 25 is annotated as 'J. Harrix's Estate' (James Harrex) although it appears to have been owned by J. Bennett and was leased to James Harrex. Harrex was likely an occupant offered a 21-year lease by Governor Brisbane's administration in 1823. In February 1854 Hannah Sarah Roberts, an Innkeeper, claimed the land of allotment 9. McRoberts claimed that Harrex had devised the property in trust to her and others, and that the trustees had sold the property to her.⁴¹ The property later appears under her husband's name as the original grantee. Benjamin Lee later purchased the property and he sold the northern part of the property to the Houison family at some time before his death in 1879. No structures appear to have been built on this property during the nineteenth century (Figure 3-9).

In 1844 allotment 20 (east) on Smith street was being leased to W. Morris by W. Peisley. Peisley purchased the allotment from the government for 24 pounds, eight shillings and 6 pence on August 10th 1854.⁴² Item J1 was no longer in existence. According to Brownrigg's plan, no new developments had occurred on the allotment. However, Peisley was a butcher and operated his business on the allotment at some point in the mid- nineteenth century and it likely structures, including a shop and abattoir, were constructed here.

Samuel Gilbert had been granted allotment 40 in February 1841.⁴³ Three structures were indicated on this allotment in the 1844 plan. It is possible that two of them, Items K2 and L2 are the same structures visible in the 1823 plan, with the addition of a structure in the middle, Item S1. However it should also be noted that in personal correspondence Samuel's son, John, notes that by 1843 he had two cottages built in his father's absence – so in the last two years. He may have simply replaced earlier wooden cottages with newer ones in the same location.⁴⁴

A brick party wall running north-south divided allotment 40 during Gilbert's ownership of the site and the northern portion of the study area had been purchased by Lee (Figure 3-12). In 1868 George

³⁸ Jervis 1963, 'Cradle City'. Council of the City of Parramatta, p. 45. The 1867 Post Office lists Alexander as a storekeeper in Church Street – Bailliere's Official Post Office Directory of NSW. 1867, p.260.

³⁹ Sands Directory City of Sydney, 1858-1930.

⁴⁰ NSW Historical Lands Records Review, Certificate of Title Vol 712 Fol 173.

⁴¹ *The Sydney Morning Herald* 4 February 1854, p. 4.

⁴² NSW Historical Lands Records Review, Certificate of Title Vol 2089 Fol 157.

⁴³ *Sydney Monitor and Commercial Advertiser* 28 November 1840, p. 3.

⁴⁴ Kass, *op cit*, p.8.

Coates, a highly regarded carpenter and builder, purchased the land previously owned by Gilbert and Lee.⁴⁵ Suttor purchased allotment 45 by a crown grant in 1843 and the land was being leased to M. Lorkham in 1844.⁴⁶

3.5.4. Late Nineteenth Century (1870-1900)

A bird's eye view of Parramatta in the 1870s shows that development in Section 25 focused along the street frontages of Church and Phillip Streets, while the allotments along the river frontage remained largely open and underdeveloped (Figure 3-13). Structures on Phillip Street and on the corner with Smith Street appear to correspond with structures known from the 1823 and 1844 plans, although new development may have occurred.

The 1872 Greville's Post Office Directory for Parramatta has the following listings for some of the residents of the study area.

Name	Occupation	Street
Alexander Houison	Architect	Church Street
Samuel Gilbert		Church Street
Benjamin Lee	-	Phillip Street

Lee, Peisley, Gilbert and Suttor remained the owners of their respective Phillip Street and Smith Street properties into the late 1860s or 1870s, however by the early 1880s significant development and changes in ownership and had occurred. This is visible in the 1895 Parramatta Detail Series plan (Figure 3-18), and the Sands Directory list which traces the development of occupants and establishments.

In 1881, George Coates' son Herbert took over his father's builder and contractor business and built St. George's terraces on the corner of Phillip and Smith Streets (Items U1-U8).⁴⁷ On 21 September 1881, St. George's Terrace, "a newly-erected terrace, built of brick on a stone foundation" was listed for sale.⁴⁸ The advertisement suggested that the corner house would be suitable for a store or hotel and was made up of 7 rooms and washhouse on the ground floor, and 7 rooms on the upper floor. Numbers 2 to 8 were private residences of 4 rooms, kitchen and washroom, each with front verandas and balconies.⁴⁹ The 1895 Parramatta Detail Series plan also shows structures at the rear of each terrace's yard which are likely outbuildings and/or sheds (Items NN-WW). To date, the terrace buildings, numbers 2-8, remain standing on the study area, at 44 Phillip Street. However, the large corner house (U1) used as a boarding house and later a hotel is no longer standing, possibly demolished by the mid-twentieth century.

⁴⁵ *The Old Parramattan* 'St. George's Terrace', https://theoldparramattan.org/st-georges-terrace-parramatta/#_ftn33, accessed December 16th, 2019; *State Heritage Register* AMU 2882.

⁴⁶ NSW Historical Lands Records Review, Certificate of Title Vol 690 Fol 234.

⁴⁷ *Hawkesbury Chronicle and Farmers Advocate*, Saturday 2 July 1881, p. 4.

⁴⁸ *Sydney Morning Herald*, Wednesday 21 September 1881, p. 8.

⁴⁹ *Sydney Morning Herald*, 21 September 1881, p.8.

The 1884 Sands Directory list confirmed that Alexander Houison, 'foreman of works' occupied allotment 20 on Church Street. Allotments along Phillip Street, east to west, were occupied by:

- Hawkins, Wm. Boarding-house;
- St. George's Terrace: 1. Coates, George, timber merchant; 3. Cort, Robert; 4. De Saxe, George, dentist; 5. Gates, Mrs. E.;
- Anderson, Mrs. M., grocer;
- Houston, Wm., tweed manufacturer, Florenceville;
- Robertson, Wm., joiner, Clarenceville;
- Ellis, Thomas, auctioneer;
- Phillips, Mrs. E.;
- Hyland, Mrs. C; (not on study area?)
- Hyland, Luke; (not on study area?)
- Peters, George, monumental mason. (not on study area?)

Mrs Robertson, at Clarenceville, was also hosting boarders to supplement the family's income and this continued through the late 1880s till 1890 (by this time Mrs Hill) when there were rooms for two to three paying residents.⁵⁰ In 1886 Hawkins' boarding-house, on the corner of Smith and Phillip Street, became the Oriental Hotel and was listed to S. Marshall. The occupants of St George's terraces changed throughout the decade and included agents, carpenters and other tradesmen.

By 1884, Shepherd Smith owned a large area of land in Section 25 of Parramatta including most of allotment 9 along with parts of allotments of 43 and 45. The land stayed in the Smith family into the 1920s.

Mrs Robertson established 'Clarenceville', a "comfortable Home for Boarders", in 1886 on allotment 41.⁵¹ The building continued to be referred to as 'Clarenceville' after it was used a boarding-home. Margaret Anderson's grocer remained until 1897 while the occupants of other allotments varied over the years. The 1899 Sands Directory list confirmed that the Houison family still occupied allotment 20 on Church Street. In 1899 allotments along Phillip Street, east to west, were occupied by:

- Oriental hotel – Robert Balmer
- St George's Terraces: 1 Martin F; 2 Castle Thomas; 3 Ling William; 4 Hunter Mrs. James; 5 Whiteman James; 7 Roulston Mrs. R.
- Grieve Mrs. E. confectioner
- White J.
- Gallagher Mrs. T. F.
- Jeffery W. N., dentist
- Paul J., "Willow Grove"
- Richards Frederick
- Barton William, bootmaker (not on study area?)
- Brown W., blacksmith (not on study area?)

⁵⁰ Entries in *The Cumberland Mercury*, 1884 to 1890.

⁵¹ *Cumberland Mercury*, 20 October 1886, p. 3.

- Byrne P. S. (not on study area?)

By the end of the nineteenth century, the original subdivision of section 25 of Parramatta had changed significantly with further division of allotments and purchases of small “parts” of allotments. Numerous structures were built during this phase, particularly in the southeast corner of the study area, including large structures such as St George’s Terraces, along with outbuildings (FIG). Due to the varied occupations of occupants on Phillip Street, the yard areas of the allotments may have been used for several purposes related to their businesses over the years.

Willow Grove

In 1879 Mr J. Paul secured land covering parts of three allotments previously owned by Lee and Peisley, (primarily allotment 43).⁵² This land would become the ‘Willow Grove’ property. In the 1880s a two-storey house named ‘Willow Grove’ (Item V1) was built on Paul’s property and several small outbuildings were also in use.⁵³ Mrs Gallagher, a relative of Mr Paul, was listed as the occupant of the property in 1892 and the site was first listed as “Willow Grove” under Paul J in 1899.⁵⁴ Willow Grove was sold to Mrs D. Boltoun in 1902. To date, the Willow Grove house is still standing, although it has changed in function, and development has likely occurred in the yard such as the construction of service lines and outbuildings.

3.5.5. Early to mid-Twentieth Century 1900-1950

In the early twentieth century no new significant construction occurred on the study area, although the use of structures and land varied over these years. The Oriental hotel closed in c.1910 and Willow Grove changed ownership. During the 1920s and 1930s Church Street Parramatta grew as a retail district and many major retail chains opened stores in Parramatta by 1937. Lennox Bridge was widened in 1935, on the west side, to accommodate increased motorised traffic to the town.

1909 Sands directory lists the occupants of allotments along Phillip Street, east to west:

- Oriental Hotel— Robert H. Garrett St,
- George’s terrace: 1 Leabeater A. W.; 3 Howie William; 4 Hunter Mrs. James; Jenkins Alfred; 5 Williams Henry; 6 O’Keefe John J.
- Turner Thomas, grocer
- Green Robert T.
- Morley Charles, “Clarenceville”
- Melhuish Henry D., “ Willow Grove ”
- Pratt William, carrier
- Gittoes Moses (not on study area?)
- Brown W. blacksmith (not on study area?)

⁵² FORM Architects 2017, Willow Grove CMP p.13.

⁵³ FORM Architects 2017, Willow Grove CMP p.13.

⁵⁴ FORM Architects 2017, Willow Grove CMP p.17; Sands Directory City of Sydney 1889, p. 468.

In 1919 The Willow Grove house was registered as a private hospital, known as “Estella”, when Mrs E.E. Davidson, a matron and midwife, purchased the property.⁵⁵ By 1923 the hospital had been renamed Westcourt Private Hospital. Again in 1925, the name was changed to “Aloha” and it continued to operate as a nursing facility until 1952 when the property was subdivided and sold by then owner Sister Frances Amy Thompson.⁵⁶

Although the southeast area of the study area was primarily occupied by domestic households, businesses operating on Church Street used the centre of the study area for storage purposes. An aerial photograph of the study area c.1928 indicates substantial development of the interior of Section 25 (Figure 3-21). Lanyon and Sons at 334 Church street were suppliers of agricultural equipment and the central area of the study area may have been used for storage of products in sheds. A motor garage and motorcycle salesroom on Church Street may also be associated with these sheds. During the late 1930s the Church Street frontage was remodelled, and a substantial building was constructed behind the single storey shopfronts. The main portion of the property appears to have operated as a motor vehicle salesroom and at one stage, as the Parkview Service Station. Access to the structure at the rear of the shops was provided by a covered driveway from Church Street between the two shop fronts. During the 1940s and 1950s 334 Church Street was occupied as a real estate agency (P. L. Ashley and later J. G. Malcolm).

The north east corner and the northern boundary area of the study area along the river remained underdeveloped, with empty allotments visible on the 1943 aerial (Figure 3-22).

Along the Phillip Street frontage several of the allotments were developed with large industrial saw tooth roof buildings appearing by the 1930s either side of 30 Phillip Street. These remained till the 1960s (Figure 3-21 to Figure 3-26). The facility at 28 Phillip Street was operated for many years as a clothing factory (for some time The Parramatta Clothing Co. Ltd) and that at 32 Phillip Street first as a furniture manufacturer and then as an auction house, then stores for stock agents K.A. Fraser and Co (with sales yards possibly at the rear on the study area) and The Producers' Co-operative Distributing Society Limited (Figure 3-23).⁵⁷ Neither structure is on the current study area. The residence which lies between (30 Phillip St) was variously a private residence (‘Eliamatta’, formerly ‘Clarenceville’) occupied by the Cadden Family in the 1920s, a boarding house operated by Miss Nutter in the 1930s and shops by the 1950s.⁵⁸

3.6. Mid-Twentieth Century to Present 1950-2019

Major development affecting the archaeological potential of the study area occurred in the second half of the twentieth century. The most prominent development on the study area was the clearance of a large area for an open car park behind Phillip Street and adjacent to the river (Figure 3-25). The

⁵⁵ FORM Architects 2017, Willow Grove CMP p.19.

⁵⁶ Parramatta Heritage Centre, “‘Estella’ Private Hospital, Parramatta 1920-1953”.

⁵⁷ Sydney Sands Directory, 1925 to 1933; *The Cumberland Argus and Fruitgrowers Advocate*, 7 April, 1938, p.11.

The Producers' Co-operative Distributing Society Limited was registered in 1925 as a ‘rural society’ operating as a grocer and liquor wholesaler. It had 9,500 members in the 1940s.

⁵⁸ Sydney Sands Directory, 1925 to 1933; *The Cumberland Argus and Fruitgrowers Advocate*, 24 October, 1923, p.2, 23 March, 1926, p.5.

Council of the City of Parramatta had begun purchasing the rear allotments of Phillip and Church Street in the 1940s for the creation of this car park and David Frater, from Harris Park, was apparently instrumental in the acquisition of the land. Consequently, the area was named after him.⁵⁹ Frater was a local identity, former farmer and grazier, in the Young district, and philanthropist.

The 600-800 space car park was opened in 1953 and was the result of simple land clearance, levelling and tarmacking of the riverside. To provide access off Phillip Street to this area it appears the house/shops at 30 Phillip Street was demolished at this time. The parking area was later provided with lighting.⁶⁰ By the early 1970s this open space car park was replaced by the current building, also initially named the David Frater carpark (Figure 3-29). It is today named the Riverbank Car Park.

The other major twentieth century development on the study area was the construction of the David Jones store in Church Street, adjacent to the Lennox Bridge. By the late 1950s Scott's (Newcastle Investments Limited, an investment company incorporated in 1920 and a subsidiary of David Jones Ltd, had purchased all the required allotments adjacent to Lennox Bridge. Ground works began in 1960 and the construction cost was a projected £1.5 million on the first suburban David Jones store.⁶¹ All existing structures on the property were removed including the Houison Bond Store and it is likely that substantial excavations and levelling were required for the site. The building site was also flooded at least twice during the construction period requiring pumping out to allow works to recommence.⁶² By the time of the store's opening in 1961 the cost had blown out to £2.5 million.⁶³

Its opening was a 'Parramatta event':

The opening was met with much fanfare with 400 people per minute entering the store for when it opened its doors for the first time. With 220,000 square feet inside and an outside surrounded by lawns, willow trees and a car park it claimed to be the "biggest outer metropolitan store in the Commonwealth."

⁶⁴

The David Jones Store closed in 2000 and the 1960s building demolished and the site was redeveloped by Meriton Apartments in 2015.

⁵⁹ *The Cumberland Argus*, 14 October, 1953, p.1 and 28 April, 1954, p.1.

⁶⁰ *The Cumberland Argus*, 29 September, 1954, p.1.

⁶¹ *The Cumberland Argus*, 1 June, 1960, p.5.

⁶² *The Cumberland Argus*, 26 October, 1960, p.1 and 22 November, 1961, p.45.

⁶³ *The Cumberland Argus*, 8 November, 1961, p.3.

⁶⁴ <http://arc.parracity.nsw.gov.au/blog/2013/12/19/australias-retail-history-the-david-jones-building-parramatta/> accessed 22 January, 2020.



Figure 3-1 Detail of Bradley's "Flats at the Head of Port Jackson survey'd by Wm. Bradley 1789" showing the row of huts on the west side of what possibly became the line of Church Street (arrow) and the approximate study area (red outline). (Source ML Z/MT4 140/1792/1) ,



Figure 3-2: Detail of Plan of Parramatta, 1796 with the location of the study area indicated. (Source: SLNSW BT 26/Series 1/map 17)



Figure 3-3: Study Area in 1804. Block 10 was leased to James Harrex. The plan is titled 'The Township of Parramatta' and dated 1813, however research by Edward Higginbotham has dated the plan to 1804. (Source: G. W. Evans British Library)

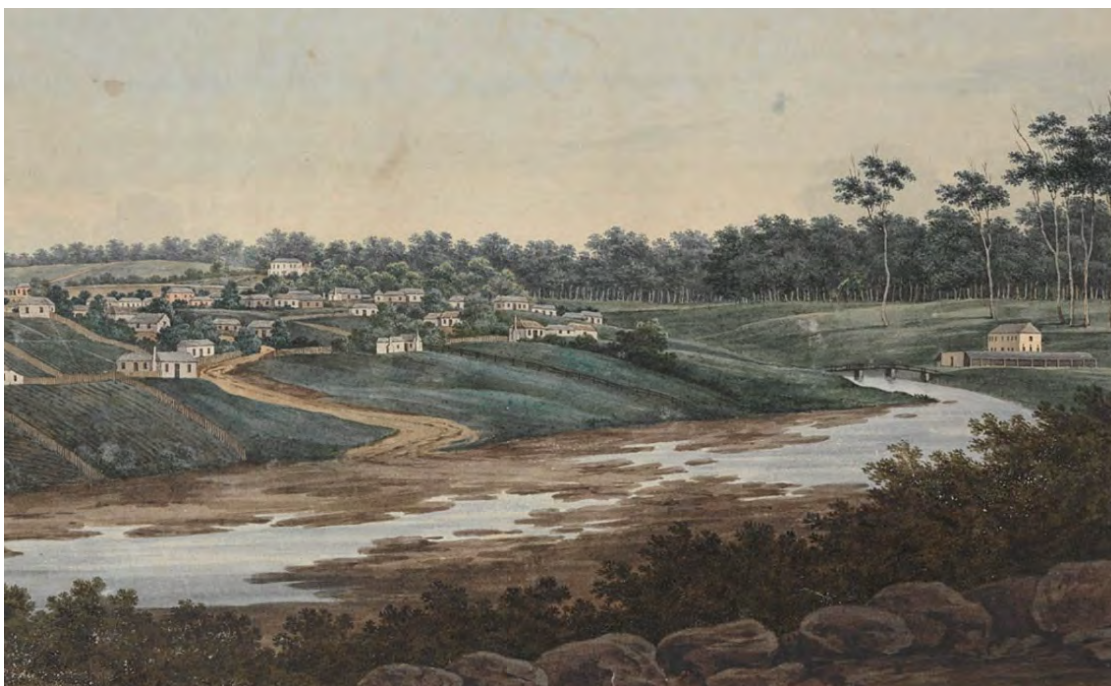


Figure 3-4: 'A view of part of Parramatta'. Note the ford in the foreground, at the approximate location for the Smith Street bridge, and the white-washed cottages, on south bank of river, within the study area. The line of Church Street is indicated by the line of old bridge abutments across the line of the river, at right. (Source: Mitchell Library, SLNSW. Series 01: Australian paintings by J.W. Lewin, G.P. Harris, G.W. Evans and others, 1796-1809 vol 3 f.5. (attributed to G. W. Evans).)



Figure 3-5: Study area 1822 in survey undertaken by McBrien comparable to Figure 3-6. In comparison note the addition of a later structure on allotment 20 (east) but the removal of a structure on allotment 45. (Source: LPI CP 1.01d.R)



Figure 3-6: Section 25 of Parramatta Town Plan 1823) Study area indicated in red. (Source: LPI CP1.1022)



Figure 3-7 A sketch, c. late 1820s, of the Phillip and Smith Street intersection showing structures on the south-east corner of Section 25-allotments 20 east and 40. (Source: State Archives, Surveyor General's Sketch Books V1 F 11.)



Figure 3-8 Detail of the 1836-9 survey of Parramatta. The study area is indicated in red. (Source: Map of Parramatta compiled from Richard's survey", Johnstone 1836, AO Map 4799)



Figure 3-9: Detail of the 1844 Brownrigg plan of Parramatta. Study area indicated in red. (Source: ML State Library NSW M4 811.1301/1844/1.)



Figure 3-10 Source : Detail of Section 25 from an 1854 Plan showing only the development of the street frontages, especially. (Source: "Survey of all the Streets in the town of Parramatta South for the purpose of aligning the same. SG P714J)



Figure 3-11: Reuss and Browne's map of the subdivisions of Parramatta and environs, 1859.(Source: ML Z/M3 811.13gbbd/1859/1)

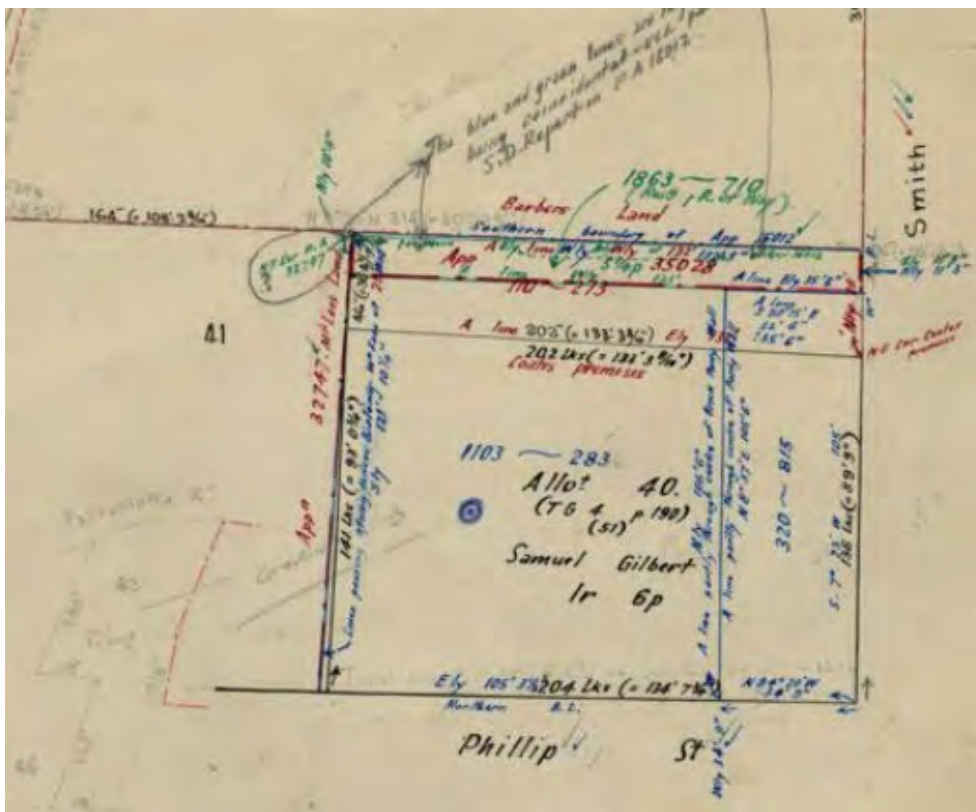


Figure 3-12: Allotment 40, Section 25 Parramatta (pre-1868?). Property Application 16012. (Source:LPI)



Figure 3-13: Detail of 'Town and district of Parramatta, New South Wales', Gibbs, Shallard & Co. 1877. The view shows development on the study area along the Church and Phillip street frontages with Willowgrove shown in the middle of the block (arrow) Section 25 outlined in red. (Source: ML XV1B / Parr/1).



"WILLOW GROVE," THE RESIDENCE OF MRS. GALLAGHER, PARRAMATTA.

Figure 3-14: Photograph of 'Willow Grove', c. 1886. (Source: *Parramatta and districts illustrated with a review of chief municipal, electoral, industrial and commercial factors of Parramattan progress*, 1899, p.33)

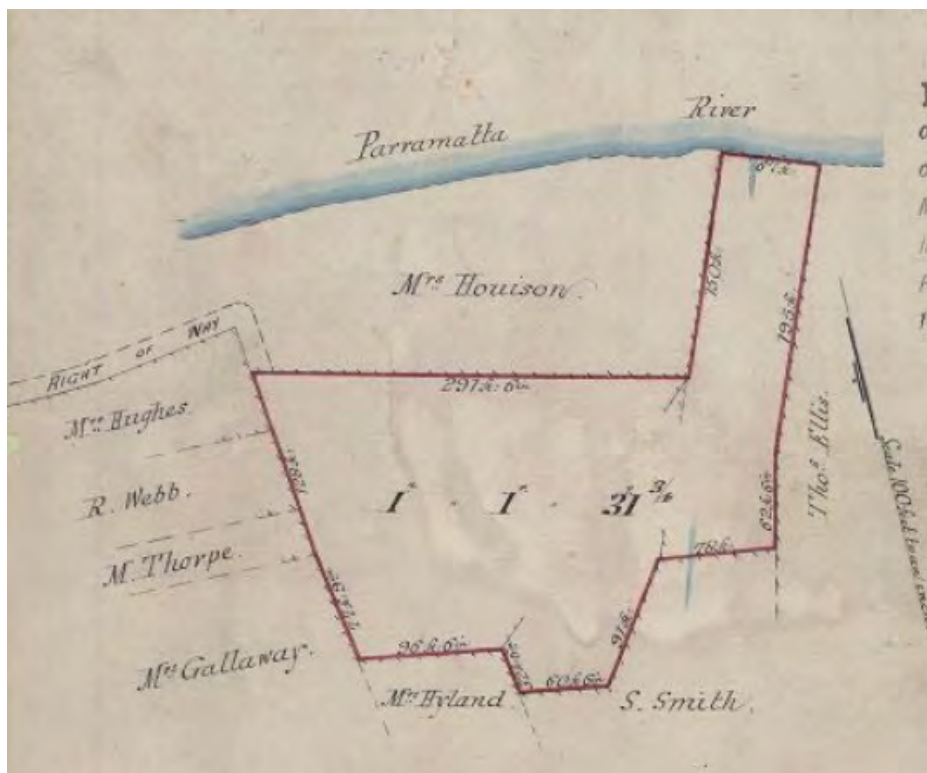


Figure 3-15: Part of Allotment 43, granted to Benjamin Lee in 1843 and part of allotment , originally granted to James McRoberts in 1855, owned by Shepherd Smith, 1884. Vol 712 Fol 173.

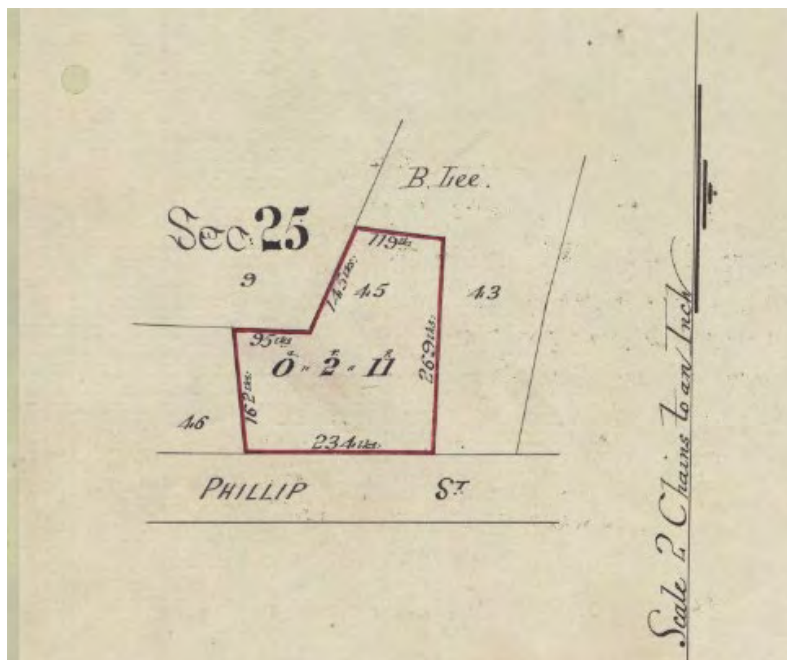


Figure 3-16: Allotment 45, Section 25 owned by Shepherd Smith, 1884 but formerly granted to George Suttor in 1843. Vol 690 Fol 234.

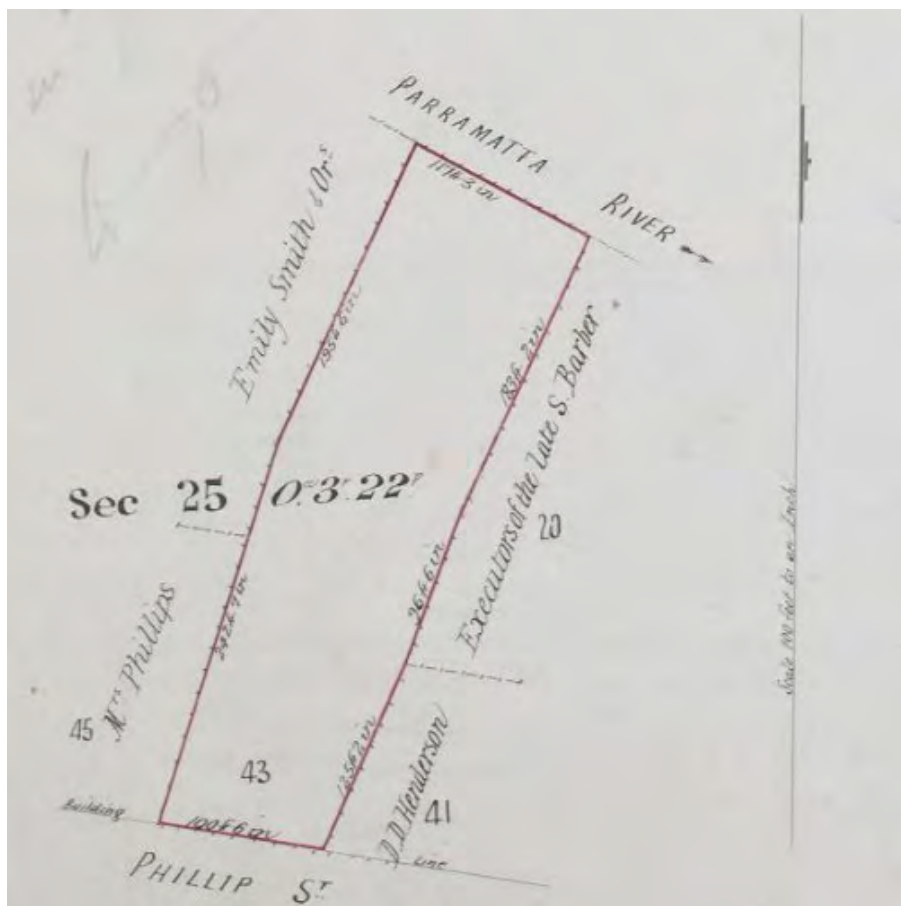


Figure 3-17: Allotment 43 Section 25, "Willow Grove property", owned by Annie Gallagher, 1892. Vol 1052 Fol 160.



Figure 3-18: Study area 1895. Parramatta Detail Series MLSLSW ZM Ser 4 811.1301/1

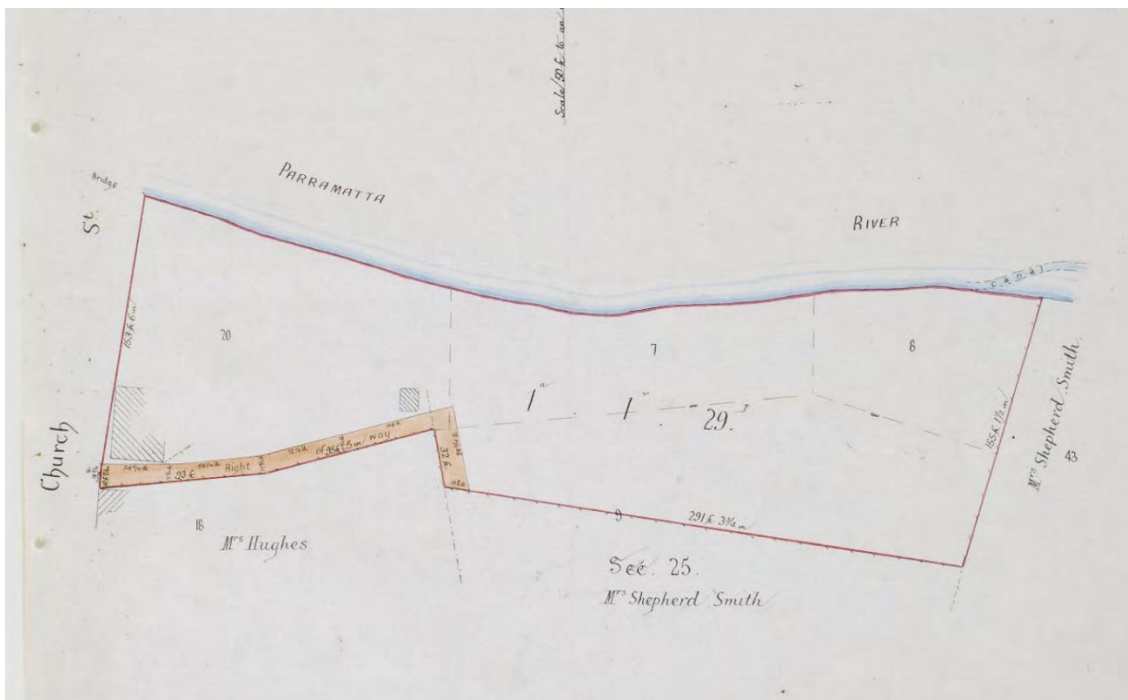


Figure 3-19: Part of allotments 7, 8 and 20 of Section 25. Owned by Fanny Eliza Houison in 1898. Vol 1239 Fol 216.

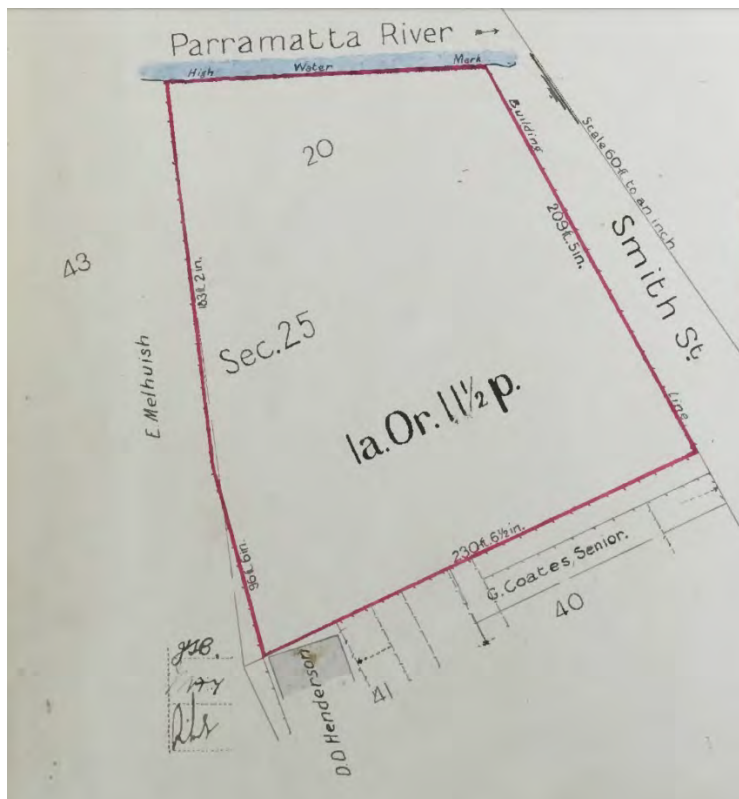


Figure 3-20 Certificate of Title for Elizabeth Melhuish, 1910. (Source: LPI CT V2089 f 157)



Figure 3-21 Low resolution aerial of Parramatta in 1928 showing the study area. (Source: LPI)



Figure 3-22 Detail of the 1943 aerial with 2020 allotment outlines. Note the open and overgrown nature of the river frontage (Source: Six Maps)

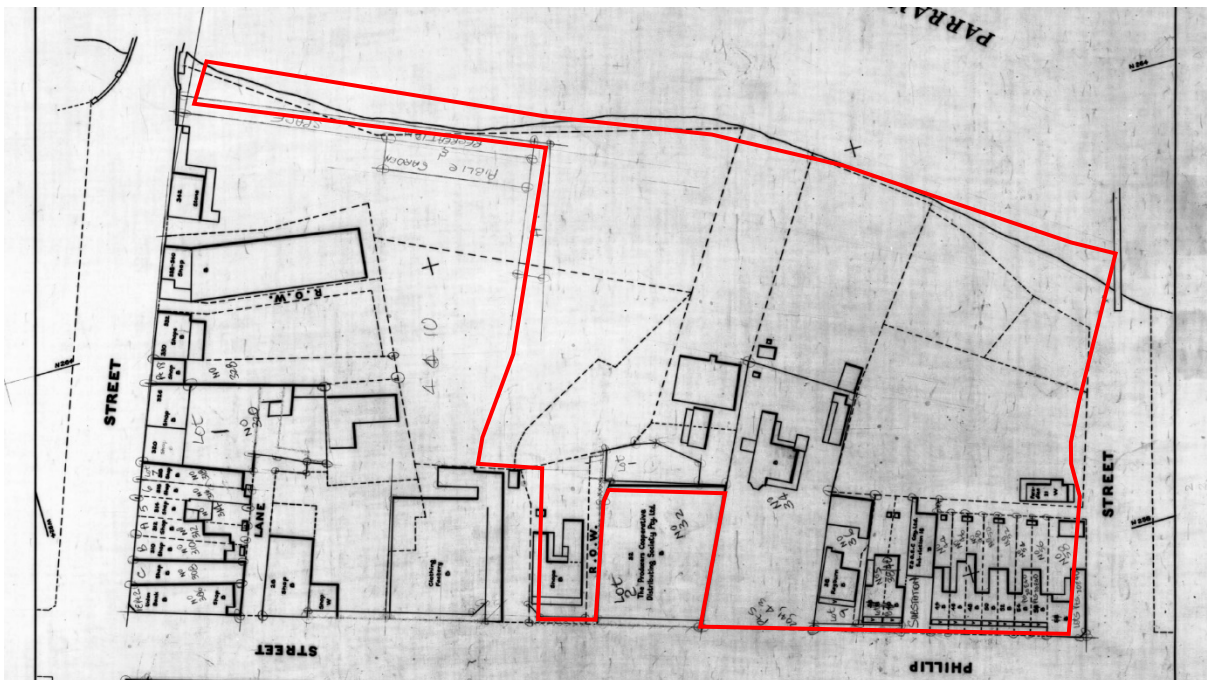


Figure 3-23 Detail of Sheet 2712 showing the study area in 1950. (Sydney Water Archives).



Figure 3-24 Detail of an oblique aerial photograph of the study area looking south-east across the Parramatta River probably the early 1950s. Willowgrove is indicated by the arrow and the land for the Frater carpark is yet to be cleared. (Source NLA PIC FH/7110 LOC Cold store PIC HURL 217/6)



Figure 3-25 Late 1950s aerial photo with the block -Section 25- containing the study area in the foreground and indicated in red. Note the large open space, cleared, yet to be tarmacked, with three or four mature trees which was the parking space named after David Frater. (Source:)

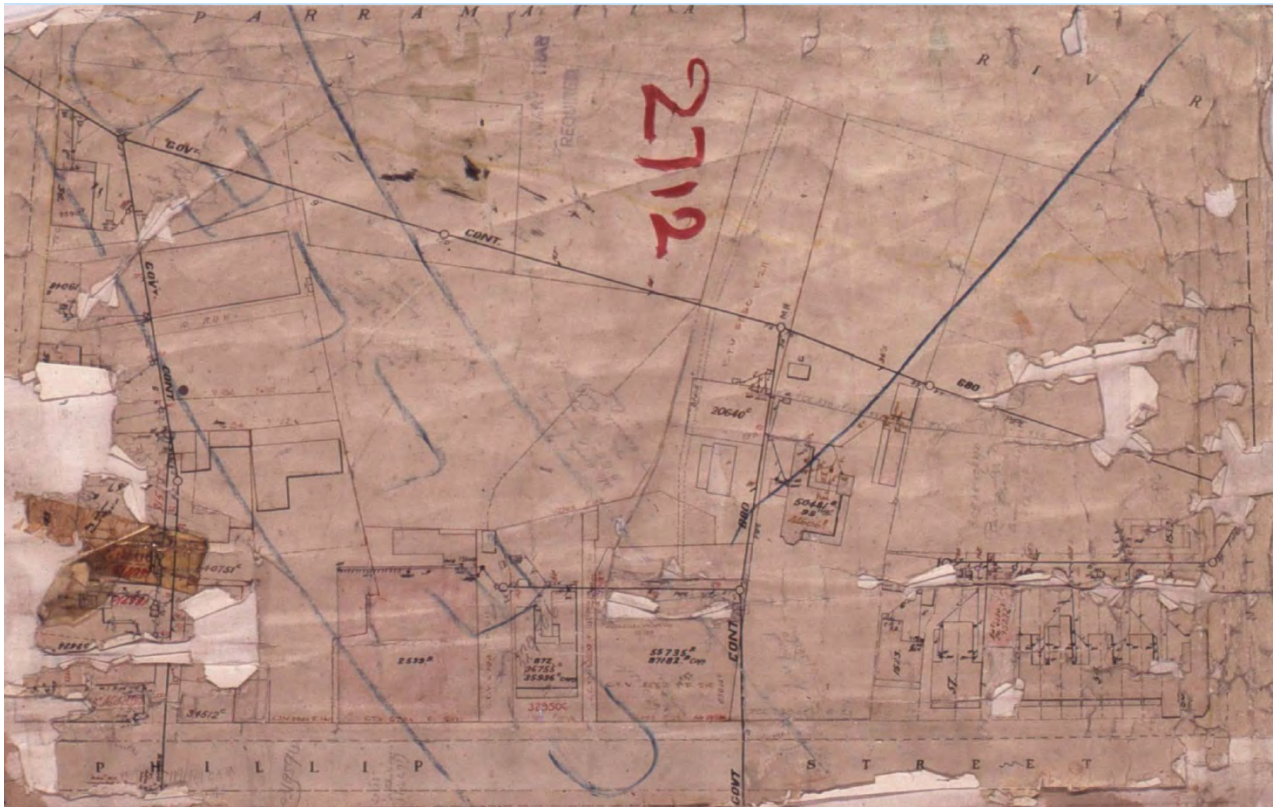


Figure 3-26 Undated late twentieth century plan of the study area. (Source: Sydney Water Archives).

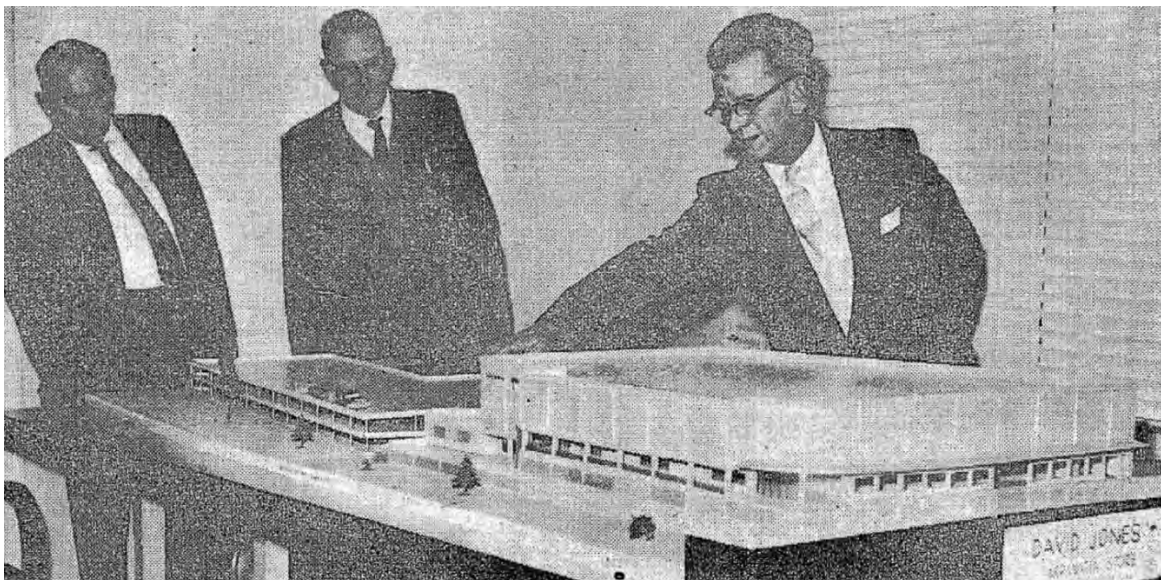


Figure 3-27 Parramatta Chamber of Commerce President, Mr. R. Chapple, and two other members of the Chamber inspecting a model of the proposed David Jones building. (Source: *The Cumberland Argus*, 20 July 1960, p.1)



Figure 3-28 Detail of a 1960s Charting Plan from the Land Department showing Frater Reserve across the northern portion of the study area. (Source: LPI)



Figure 3-29 Detail of a 1972 aerial photo of Parramatta showing the study area. Note the open space adjoining the river has now been cleared and developed with the river's edge regularised. (Source: LPI)



Figure 3-30 The study area in 1982. (Source: LPI).



Figure 3-31 The study area in 2009 prior to the demolition of the David Jones building in 2013. (Source Near Map).

3.7. Summary of Historical Development

The study area has been subject to development since the first years of the nineteenth century and numerous changes occurred in land tenure. Each phase of development was accompanied by modifications to the subdivision of the land, and the creation of buildings, works, deposits and features. Consequently, the land has been used and occupied for many functions.

Building activity focused on the Phillip Street and Smith Streets frontages, along with historic allotment 9. The south east side of the study area was been dominated by residential building activity in the eighteenth century. While the centre of the study area was occupied by large storage buildings in the early twentieth century.

The following tables and figures (Figure 3-32 to Figure 3-38) summarise the history of development on the study area by address and historic allotment number.

Table 3 Former structures identified within the study area.

Structure item(s)	Phase	Historic allotment	Description
A1	Early town development c. 1804-1823	7	White-washed single storey cottage with hipped roof
B1	Early town development c. 1804-1823	8	White-washed single storey cottage with hipped roof
C1	Early town development c. 1804-1823	43	White-washed single storey cottage with hipped roof
D1	Early town development c. 1804-1823	20 (east)	White-washed single storey cottage with hipped roof
E1	Early town development c. 1804-1823	40	White-washed single storey cottage with hipped roof
F1	Early town development c. 1823	45	Residential structure
G1	Early town development c. 1823	8	Residential structure
H1	Early town development c. 1823	43	Residential structure
H2	Municipal Development c. 1844	43	Residential structure – possibly same structure as H1
I1	Early town development c. 1823	20 (east)	Residential structure
J1	Early town development c. 1823	41	Residential structure
K1	Early town development c. 1823	40	Residential structure

Structure item(s)	Phase	Historic allotment	Description
K2	Municipal Development c. 1844-1880s	40	Residential structure – possibly same structure as K1
L1	Early town development c. 1823	40	Residential structure
L2	Municipal Development c. 1844-1880s	40	Residential structure – possibly same structure as L1
M1	Municipal Development c. 1844	8	Outbuilding
N1	1844	45	Outbuilding.
O1	Municipal Development c. 1844	43	Outbuilding/shed associated with H2
P1	Municipal Development c. 1844	40	Outbuilding/shed associated with H2
Q1	Municipal Development c. 1844	41	Outbuilding associated with J2
R1	Municipal Development c. 1844	41	Small residential structure or shed associated with J2
S1	Municipal Development c. 1844-1880s	40	Residential structure
T1	Municipal Development c. 1855	20 (east) (not on study area)	Bond Store and later a household. Three stories including a basement, built of ashlar sandstone.
N/A	1870s	40	Brick party wall aligned north to south
U1	1880s to Present Demolished 1950s??	40	St George's Terraces, Terrace 1 (Oriental Hotel). Built of brick on a stone foundation.
U2	1880s to Present	40	Terrace 2
U3	1880s to Present	40	Terrace 3
U4	1880s to Present	40	Terrace 4
U5	1880s to Present	40	Terrace 5
U6	1880s to Present	40	Terrace 6
U7	1880s to Present	40	Terrace 7
U8	1880s to Present	40	Terrace 8
V1	1880s to Present	43	Willow Grove

Structure item(s)	Phase	Historic allotment	Description
W1	1880s	41	"Clarenceville" domestic structure
X1	Pre-1895	43	Possible outbuilding/privy associated with Willow Grove
Y1	Pre-1895	43	Possible shed associated with Willow Grove
Z1	Pre-1895	43	Possible shed/outbuilding associated with Willow Grove
AA	Pre-1895	43	Possible shed/outbuilding associated with Willow Grove
BB	Pre-1895	45/9	Large drain aligned roughly N-S across study area
CC	Pre-1895	45	Possible shed (boundary of study area)
DD	Pre-1895	45	Large residential structure on Phillip Street frontage
EE	Pre-1895	45	Outbuilding associated with Item DD
FF	Pre-1895	41	Residential structure on Phillip Street frontage
GG	Pre-1895	41	Outbuilding associated with Item FF
HH	Pre-1895	41	Outbuilding associated with Item II
II	Pre-1895	41	Residential structure on Phillip Street frontage
JJ	Pre-1895	41	Residential structure on Phillip Street frontage
KK	Pre-1895	41	Shed or cart house associated with Item JJ
LL	Pre-1895	41	Shed or cart house associated with Item JJ
MM	Pre-1895	40	Outbuilding associated with JJ
NN	Pre-1895	40	Shed associated with U1

Structure item(s)	Phase	Historic allotment	Description
OO	Pre-1895	40	Large shed associated with V1
PP	Pre-1895	40	Outbuilding associated with U1
QQ	Pre-1895	40	Outbuilding associated with U2
RR	Pre-1895	40	Outbuilding associated with U3
SS	Pre-1895	40	Outbuilding associated with U4
TT	Pre-1895	40	Outbuilding associated with U5
UU	Pre-1895	40	Outbuilding associated with U6
VV	Pre-1895	40	Outbuilding associated with U7
WW	Pre-1895	40	Outbuilding associated with U8

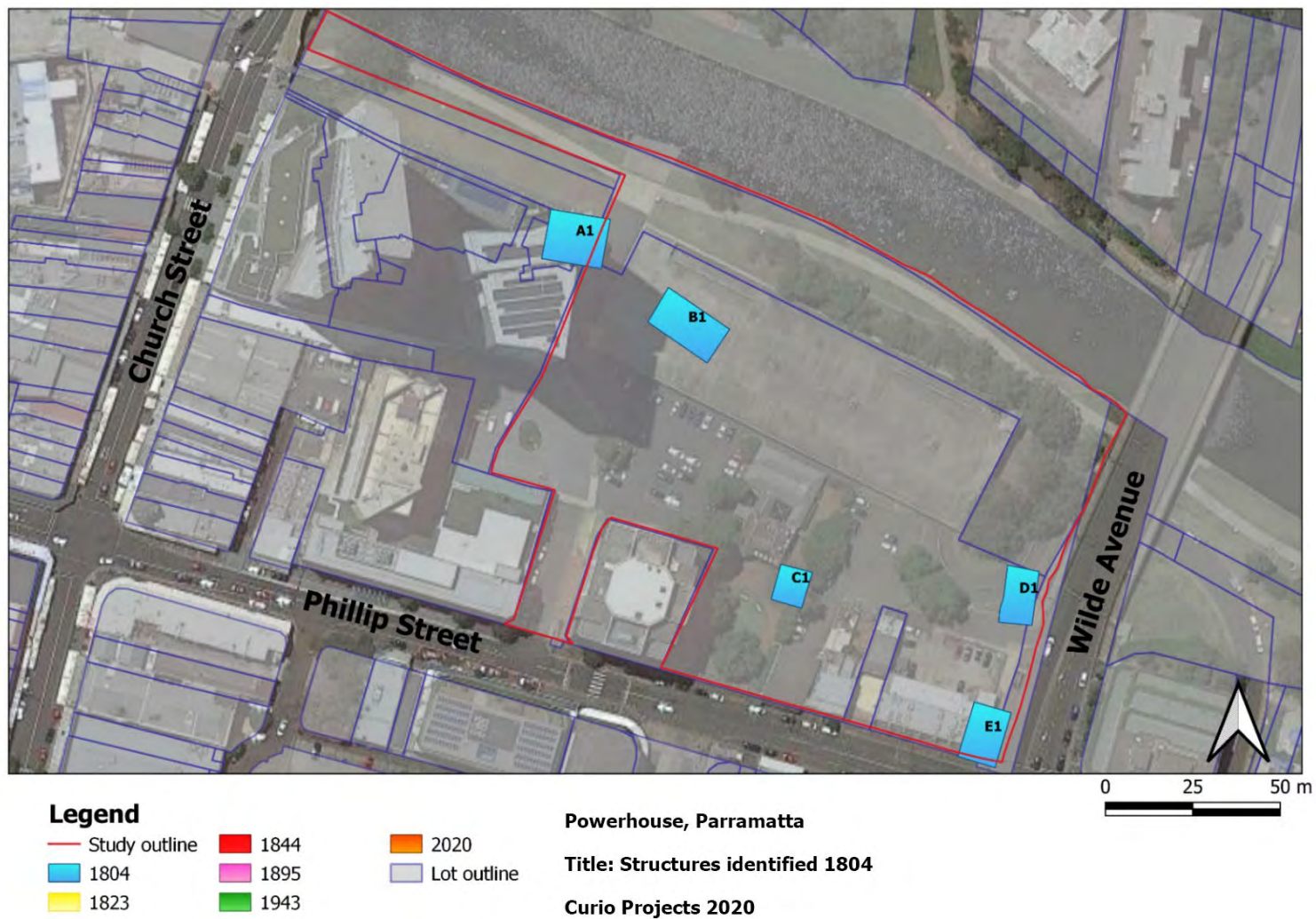


Figure 3-32: Structures present in 1804. Labelled areas cross-referenced with Table 3-1.

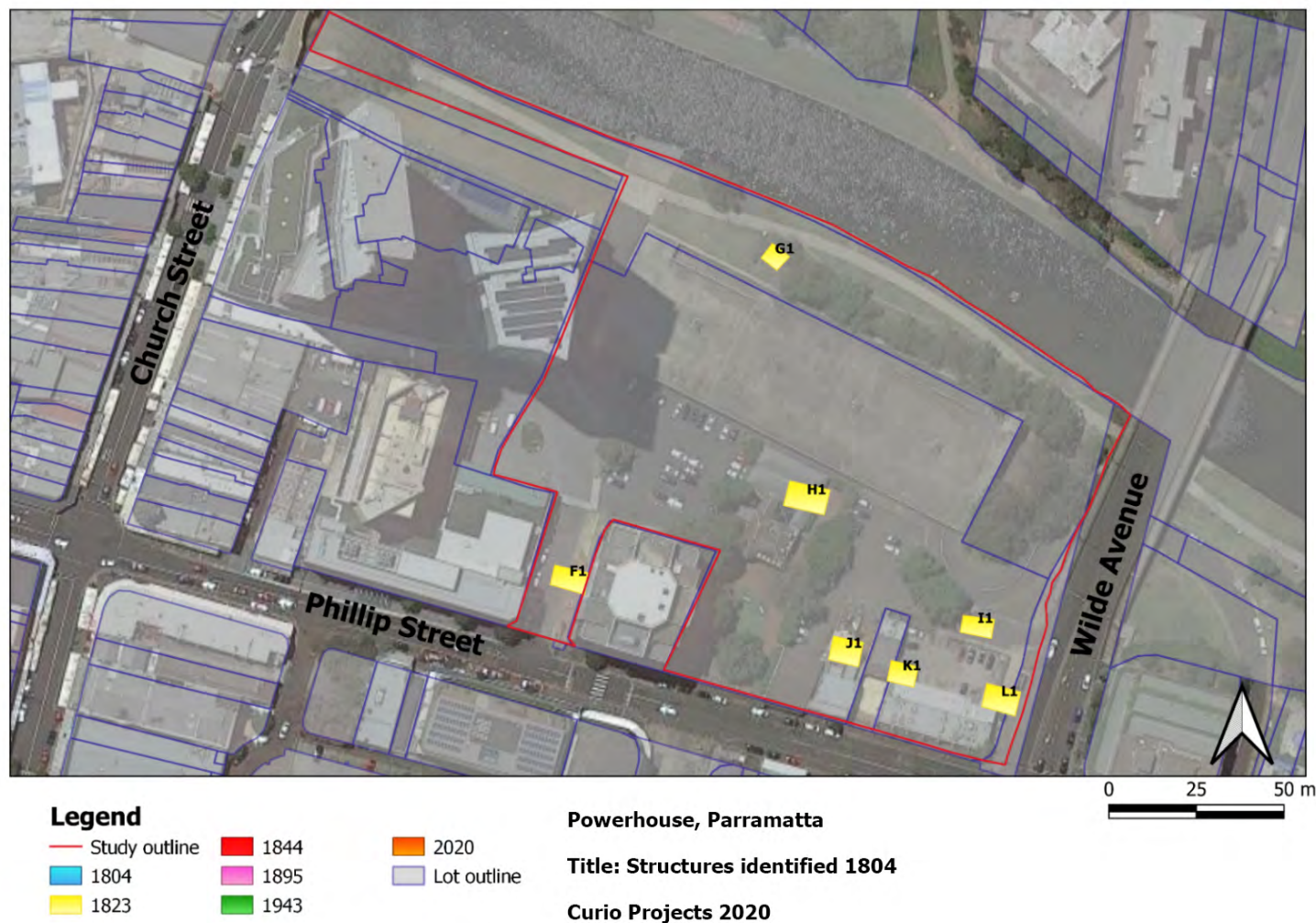


Figure 3-33: Structures present in 1823. Labelled areas cross-referenced with Table 3-1.

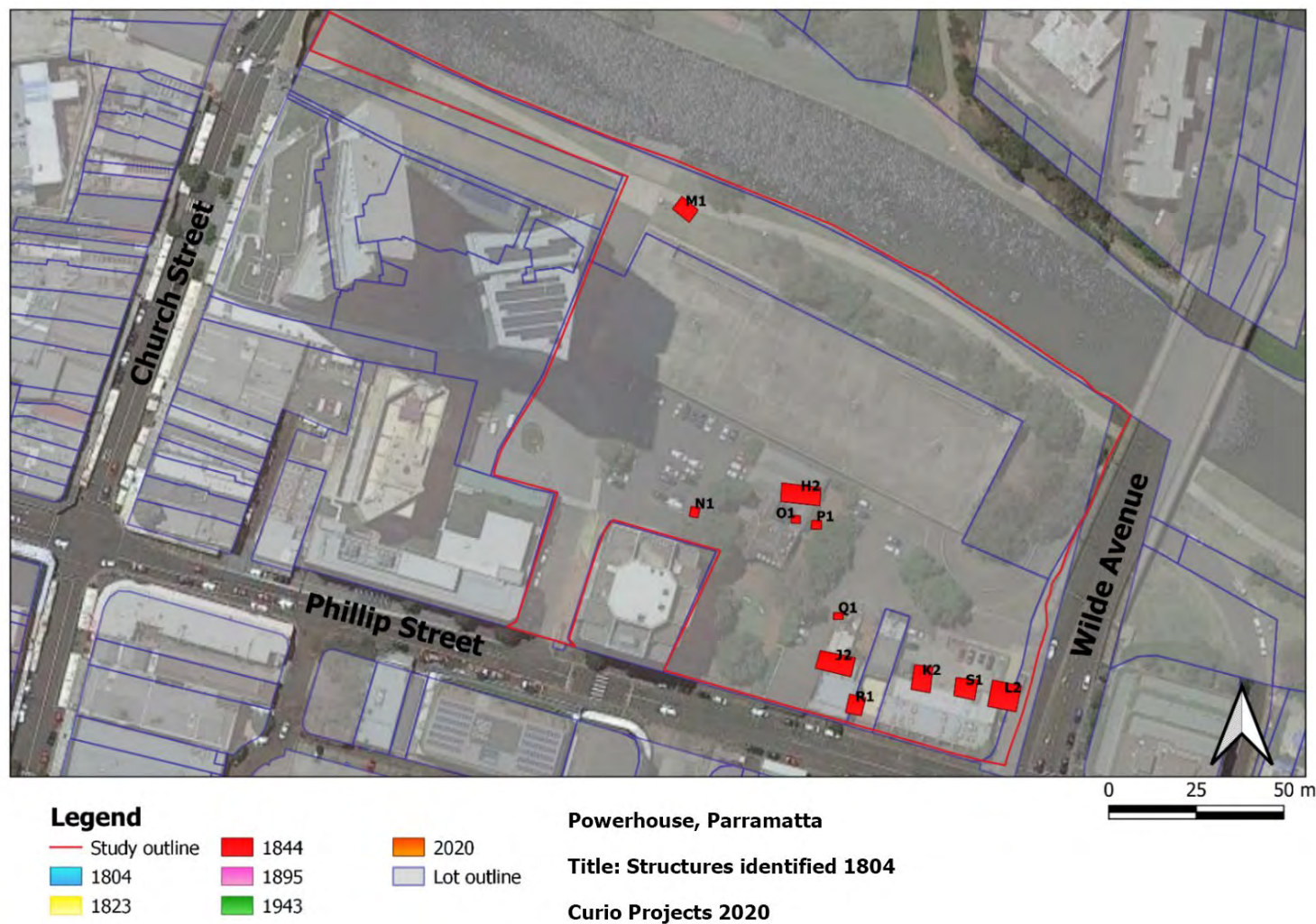


Figure 3-34: Structures present in 1844. Labelled areas cross-referenced with Table 3-1.

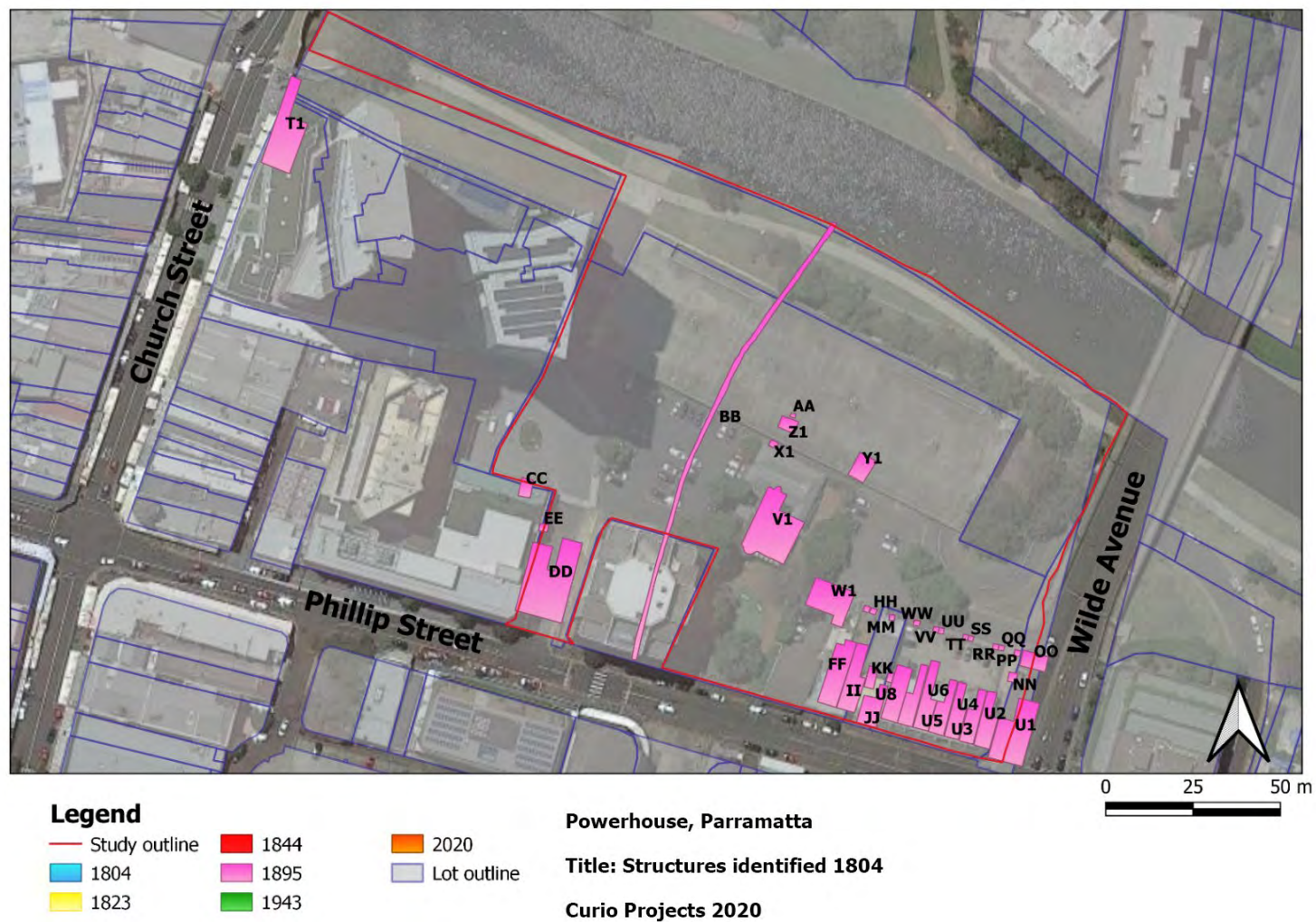


Figure 3-35: Structures present in 1895. Labelled areas cross-referenced with Table 3-1.

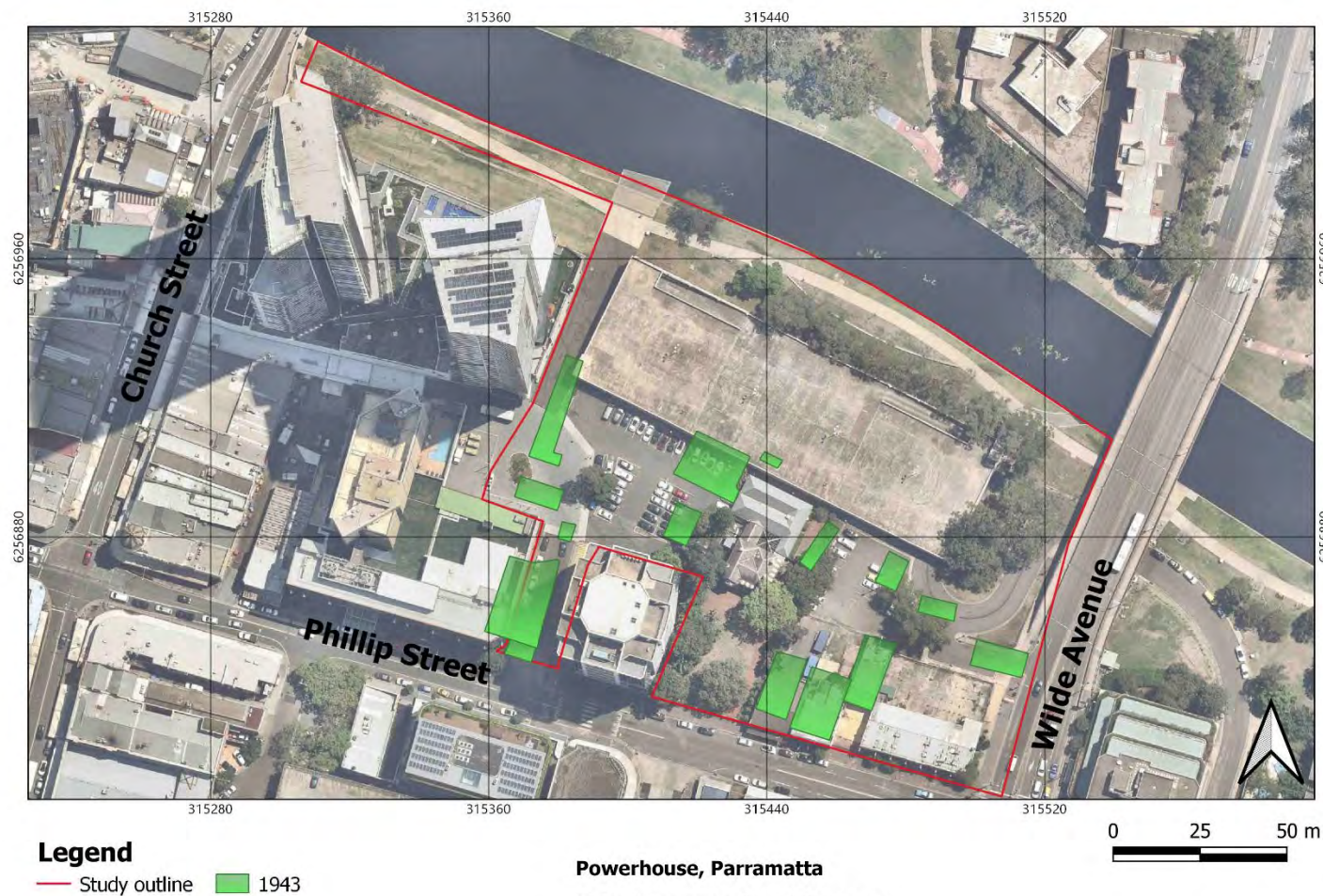


Figure 3-36 Overlay of the 1943 aerial photo on the study area. (Source: Google Maps with Curio Projects additions)

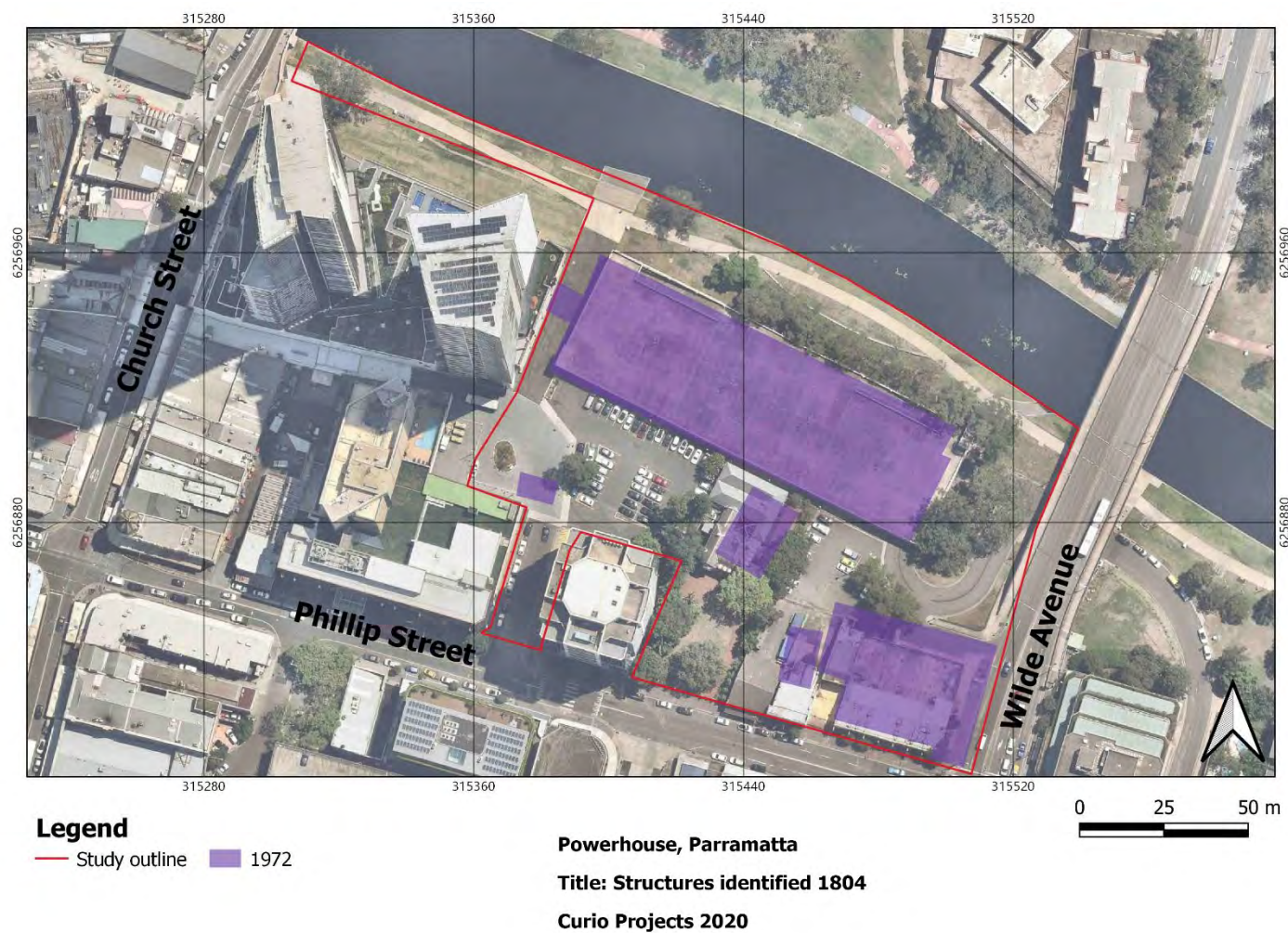


Figure 3-37 Overlay of the 1972 aerial photo on the study area. (Source: Google Maps with Curio Projects additions)

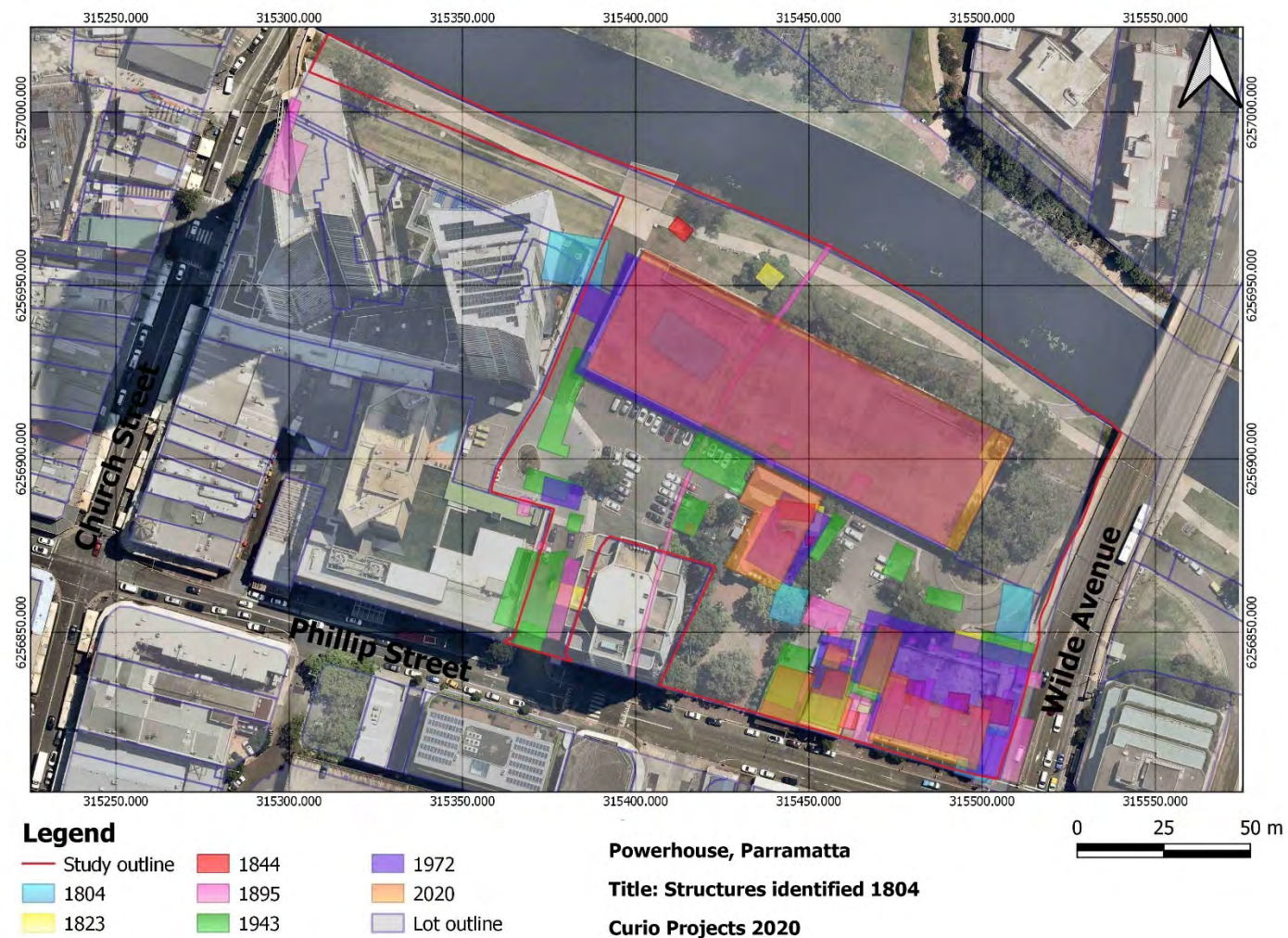


Figure 3-38 Composite overlay of the historic plans and aerial photos on the study area. (Source: Google Maps with Curio Projects additions)

3.8. Summary by Allotment

3.8.1. 338 Church Street, part of historical Allotment 20 Section 25 Church Street

Dates	Developments	Owner/occupants	Items
1800-1840	Earliest structure c.1823	Unknown	F1
1844		Owned by Hughes and Hosking. Occupied by T. Wo(o)lley.	F2
1850s	Bond Store	Owned and occupied by Houison family.	O1
1864	Bonds Store renovated to household.	Owned and occupied by Houison family.	O1
1956		Houison & Houison	
June 1963		Scott's (Newcastle) Limited Investments (Vol-Folio: 8454-215)	

3.8.2. River frontage, part of historical allotment 7

Dates	Developments	Owner/occupants	Items
1800-1840	Possible structure c. 1804. No longer in existence c. 1823.	Unknown	A1
1844	Possible well?	Owned by Hughes and Hosking	
1852		Owned by Crown and converted to Houison family.	
1870s		Houison family.	
June 1963		Scott's (Newcastle) Limited Investments (Vol-Folio: 8454-215)	

3.8.3. River frontage, part of historical allotment 8

Dates	Developments	Owner/occupants	Items
1800-1823	Possible structure c. 1804,	Unknown	B1
1823-1844	Structure c. 1822/3	Unknown	G1
1844	New structure and possible well?	Owned by Hughes and Hosking	N1
1852		Owned by Crown and converted to Houison family.	
1870s		Houison family.	

3.8.4. 330 Church Street, part of historical Allotment 9, and the rear of historical Allotments 41, and 43 Section 25.

Dates	Developments	Owner/occupants	Items
1800-1844	No development	Leased to Harrex by Crown c. 1823	

1844	No development	Owned by Bennet and leased to Harrex	
1854	No development	Land granted to Mrs Roberts	
1854-1879	No development	Purchased by Lee and northern part of property purchased by Houison family	
17 th September 1884		Purchased by Shepherd Smith	
16 th April 1917		Allotment 9: Ownership transferred from Emily Smith to Henry Haddrill (Vol-Folio: 2749-187)	
1943	Two structures visible in aerial		??
June 1960		Owned by Scott's (Newcastle) Limited Investments (Vol-Folio: 8454-215)	
October 1983		Land transferred to Parramatta City Council	

3.8.5. 32 Phillip Street, part of historical Allotment 45 Section 25

Dates	Developments	Owner/occupants	Items
1800-1844	Structure by c. 1822/3	Unknown	H1
1843	No development and earlier structure no longer in existence	Land granted to George Suttor by Crown Grant and leased to Larkham	
1845		Lease to George Banks and William Henry Suttor	
"		Conveyance to G B and W H Suttor	
1878		Allotment purchased by Shepherd Smith	
1922		Part of allotment 45 (and allotments 9 and 43) purchased by John B Smith from Leslie Shepherd Smith	
1928		Parts of allotment 45 (and allotment 9) purchased by Sydney Goodwin and John J. Bona (Furniture Manufacturers)	

Dates	Developments	Owner/occupants	Items
1946		Part of allotment 45 (and allotments 9 and 43) purchased by David Frater	
1953		Part of allotments 9, 43 and 45 purchased by the Council of the City of Parramatta	

3.8.6. 34 Phillip Street, part of historical allotments 9 and 43, Section 25

Dates	Developments	Owner/occupants	Items
1800-1823	Possible structure c. 1804	Unknown	C1
1823	Structure built c. 1822/3	Occupied by John Wigley, leased by the government	I1
1843		Purchased by Benjamin Lee February 1843 and leased to Wigley	I2, S1 and T1
1879		Land purchased by J Paul	
1880s	"Willow Grove" built	Annie Gallagher occupant c. 1886	W1
1884		Part of allotment 43 (rear) purchased by Shepherd Smith	
1895	Large drain discharging into Parramatta River at rear of former allotment 43.	Shepherd Smith	??
1919	Willow Grove becomes a private hospital "Estelle"	Land purchased by E. Davidson.	W1
1925		Owned by May West	W1
1928		Part of allotment 43 purchased by John Brown Smith	W1
1949		Owned by Frances Thompson	W1
1953		Purchased by the Council of the City of Parramatta	W1

3.8.7. 36 Phillip Street, part of historical Allotment 41 Section 25

Dates	Developments	Owner/occupants	Items
1800-1844	Earliest structure-built c. 1822/3	Unknown	K1

Dates	Developments	Owner/occupants	Items
1844	One structure on allotment.	Owned by Lee and leased to Wo(o)lley	K2
1879		Land purchased by J Paul	
1880s	"Clarenceville" boarding home constructed on part of allotment	Mrs Robertson	X1
1892		Land owned occupied by D. D. Henderson	X1
1900		Land purchased by Charles Byrnes	
1906		Land purchased by E. Melhuish	
1919		Land purchased by E. Davidson	
1923		Land purchased by May West	
1954		Land acquired by the Council of the City of Parramatta	

3.8.8. 38-42 Phillip Street, part of historical Allotment 41 Section 25

Dates	Developments	Owner/occupants	Items
1800-1844	Earliest structure built c. 1823	Unknown	K1
1844	One visible structure on allotment.	Owned by Lee and leased to Wo(o)lley	K2
1895	Range of structures including outbuildings		??
1900		Land purchased by Charles Byrnes	
1906		Land purchased by E. Melhuish	
1919		Land purchased by E. Davidson	
1923		Land purchased by May West	
1954		Land acquired by the Council of the City of Parramatta	
March 1989		Purchased by Parramatta Realty PTY Limited from A. Dalziel (Bk 3676 No. 301)	

3.8.9. 44-56 Phillip Street, part of historical Allotment 40 Section 25

Dates	Developments	Owner/occupants	Items
1800-1823	Earliest structure built c. 1804	Unknown	E1
1823-1844	Two structures built c. 1823	Unknown	L1 and M1
1840s	Three structures on allotment c. 1844	Leased by Sir Thomas Brisbane for 21 years to Samuel Gilbert	L2, M2 and Q1
1860s	Brick party wall	Samuel Gilbert (owner and occupant?)	U1
1880s	St George's Terraces built 1881. First occupants listed in 1884.	Occupants of Terraces: 1. Coates, George, timber merchant; 3. Cort, Robert; 4. De Saxe, George, dentist; 5. Gates, Mrs. E. Hawkin's Boarding House on corner of Smith and Phillip Street.	V1-V8
1886	Hawkin's Boarding House becomes the Oriental Hotel	Oriental Hotel listed to S. Marshall	V1

3.8.10. 46 Phillip Street, part of historical allotment 20 Section 25

Dates	Developments	Owner/occupants	Items
1800-1823	Earliest structure c. 1804. Demolished by c. 1823.	Unknown	D1
1823	Structure built c. 1823.	Unknown	J1
1844	Slaughterhouse constructed c. 1840 (location unknown)	Purchased by Mr William Peisley, butcher, from Crown.	??
1865	All buildings demolished by 1895	Southern portion of historic allotment sold to Samuel Barber	
1913	Structures for ice works, grocer and preserving company on southern area of former allotment 20		???
1923		Land transferred to a cordial maker	
1953		Northern portion of historical Allotment 20 transferred to Parramatta City Council	
October 1983		Southern portion of historical Allotment 20 transferred to Parramatta City Council	

3.9. Historical Themes

Table 4 State Historical Themes applicable to the study area.

Australian theme	NSW Theme	Notes	Relevant Occupation Phases	Examples
Peopling Australia	Aboriginal cultural and interactions with other cultures	Activities associated with maintaining, developing, experiencing and remembering Aboriginal cultural identities and practises, past and present; with demonstrating distinctive ways of life; and with interactions demonstrating race relations.	Pre-1788 1788-1800 1800-1840	Aboriginal occupation of the region prior to European settlement. Interaction between Aboriginal peoples and European settlers.
	Convict	Activities relating to incarceration, transport, reform, accommodation and working during the convict period in NSW (1788-1850).	1788-1800 1800-1840 1840-1870	Early convict settlement in Parramatta.
	Migration	Activities and processes associated with the resettling of people from one place to another (international, interstate, and intrastate) and the impacts of such movements.	1788-1800 1800-1840 1840-1870	Initial and continuing arrival of Europeans to the region.
Developing local, regional and national economies	Agriculture	Activities relating to the cultivation and rearing of plant and animal species, usually for the	Possibly all phases	Early European settlement farming activity.

Australian theme	NSW Theme	Notes	Relevant Occupation Phases	Examples
		commercial purposes, can include aquaculture.		Agricultural company sheds occupied the study area in the twentieth century.
	Environmental – cultural landscape	Activities associated with the interactions between humans, human societies and the shaping of their physical surroundings.	All phases	Development activity from all phases.
	Commerce	Activities relating to buying, selling and exchanging goods and services.	1840-1870 1870-1890 Twentieth century	Phillip Street frontage businesses.
	Industry	Activities associated with the manufacture, production and distribution of goods.	1870s-1900 Twentieth century	
Building settlements, towns and cities	Land tenure	Activities and processes for identifying forms of ownership and occupancy of land and water, both Aboriginal and non-Aboriginal.	All phases	Early subdivision of Section 25, followed by Governor Brisbane's land grants.
	Utilities	Activities associated with the provision of services, especially on a communal basis.	All phases	Willow Grove "Estella" hospital.

Australian theme	NSW Theme	Notes	Relevant Occupation Phases	Examples
	Accommodation	Activities associated with the provision of accommodation, and types of accommodation.	1840-1870 1870-1900	George's Terraces Clarenceville Boarding home
Developing Australia's cultural life	Domestic life	Activities associated with creating, maintain, living and working around houses and institutions.	All phases	Domestic households on Phillip and Church Street frontages

4. Assessment of Archaeological Potential

4.1. 2015 AHMS Assessment

The AHMS report divided the 2015 assessment area into 21 individual areas (see assessed the previous impacts on the study area and presented this assessment in a plan (Figure 4-2). Several areas of land reclamation were identified-indicating areas that were later additions to the present landform and therefore unlikely to contain early archaeological evidence

The construction of a multi-level car park in the central area of the study area truncated the soil profile to a depth of several metres-thereby removing all archaeology in this area. The potential of archaeological deposits within the footprint of the car park is low to nil.

The area south of the car park has potential for extant deposits at depths below 400 mm. Laying of bitumen removed 300 mm of upper soil profile/archaeological deposit.

The northern area of study area, along the Parramatta River, has been heavily disturbed by 20th and 21st century flooding events. Also, a pedestrian path and retaining wall has caused disturbance to topsoil.

The detailed areas of archaeological potential in the study area, as assessed by AHMS, are presented in Figure 4-3 and form the basis for the approach to archaeology in the remainder of this report.

Table 5 Summary of archaeological potential of zones.

Zone	Archaeological Potential	Comments
1	Low to nil.	Several flooding events and reclamation of the bank along Parramatta River has heavily disturbed the soil profile, reducing the potential for in situ archaeological deposits.
2	Low to nil.	The construction of a multi-level car park in the central area of the study area has removed archaeological deposits to the depth of several metres.
3	Moderate to low.	The area has potential for extant deposits at depths below 400 mm.
4	High to moderate.	Willow Grove and yard
5	Moderate to low.	The area has potential for extant deposits at depths below 400 mm.
6	High to moderate.	St George's Terraces and yard

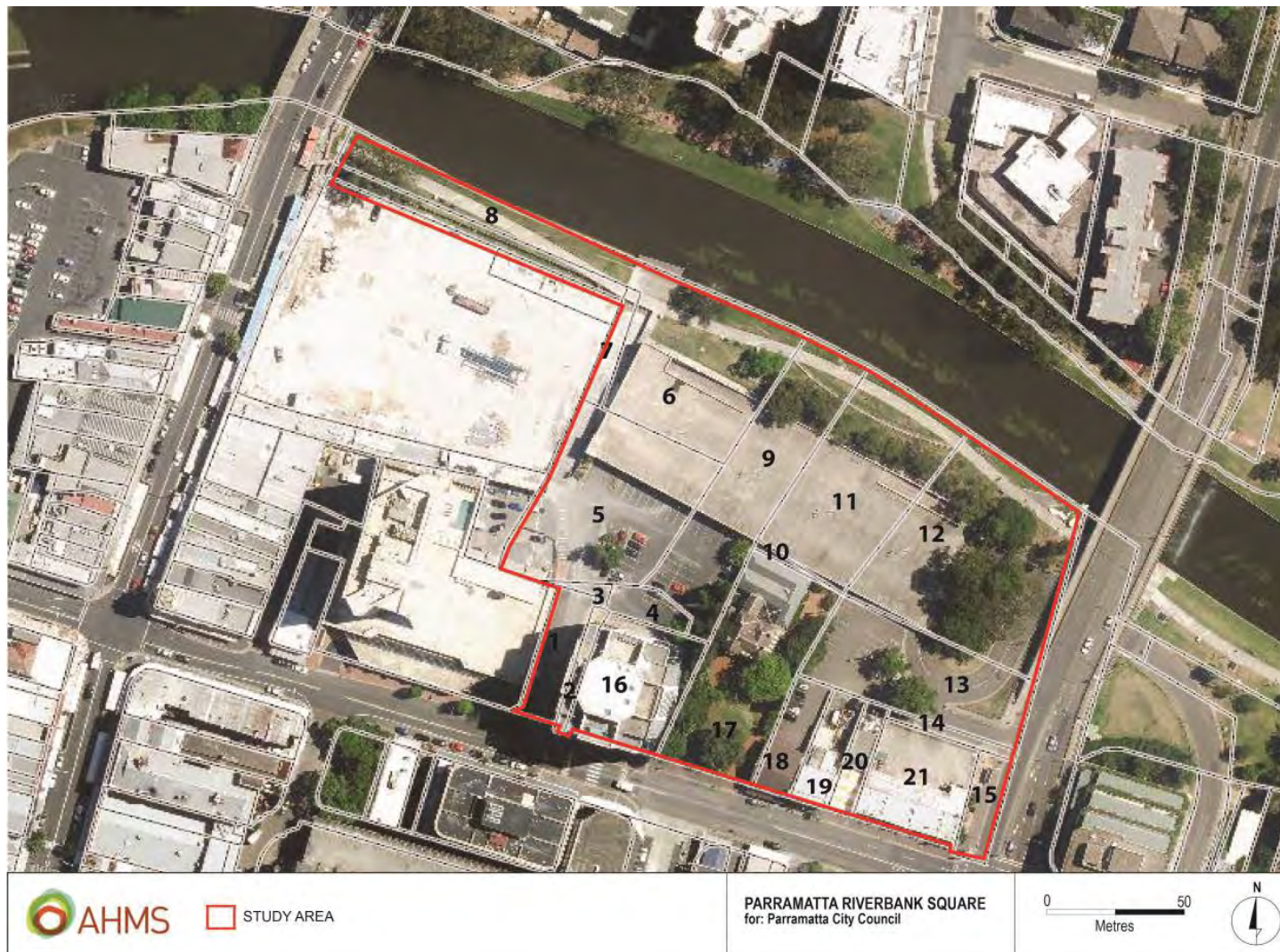


Figure 4-1 AHMS 2015 Area IDs used in the report. (Source AHMS, 2015b, Figure 1)

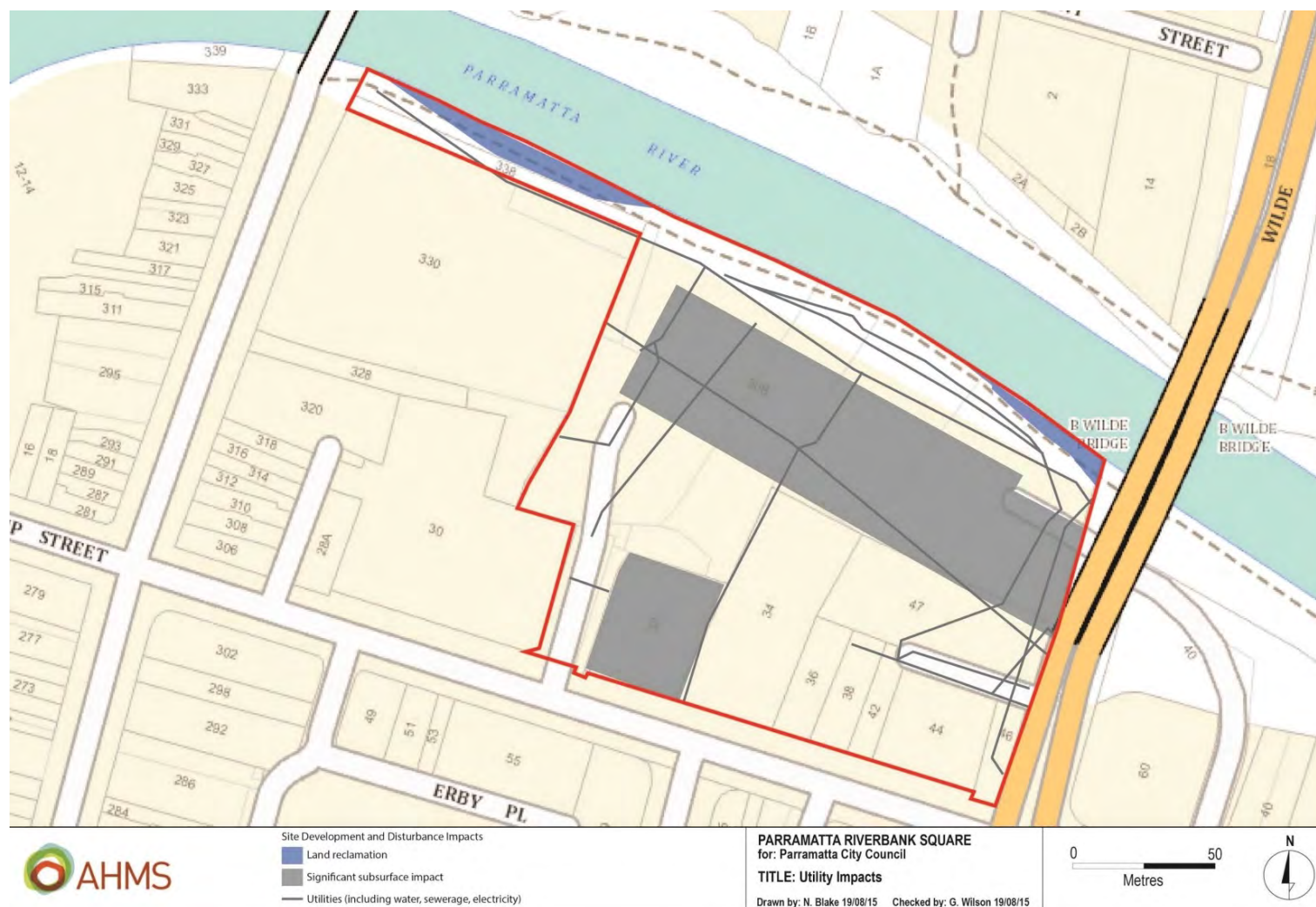


Figure 4-2 AHMS plan showing subsurface impacts on their study area. (Source: AHMS, 2015b)

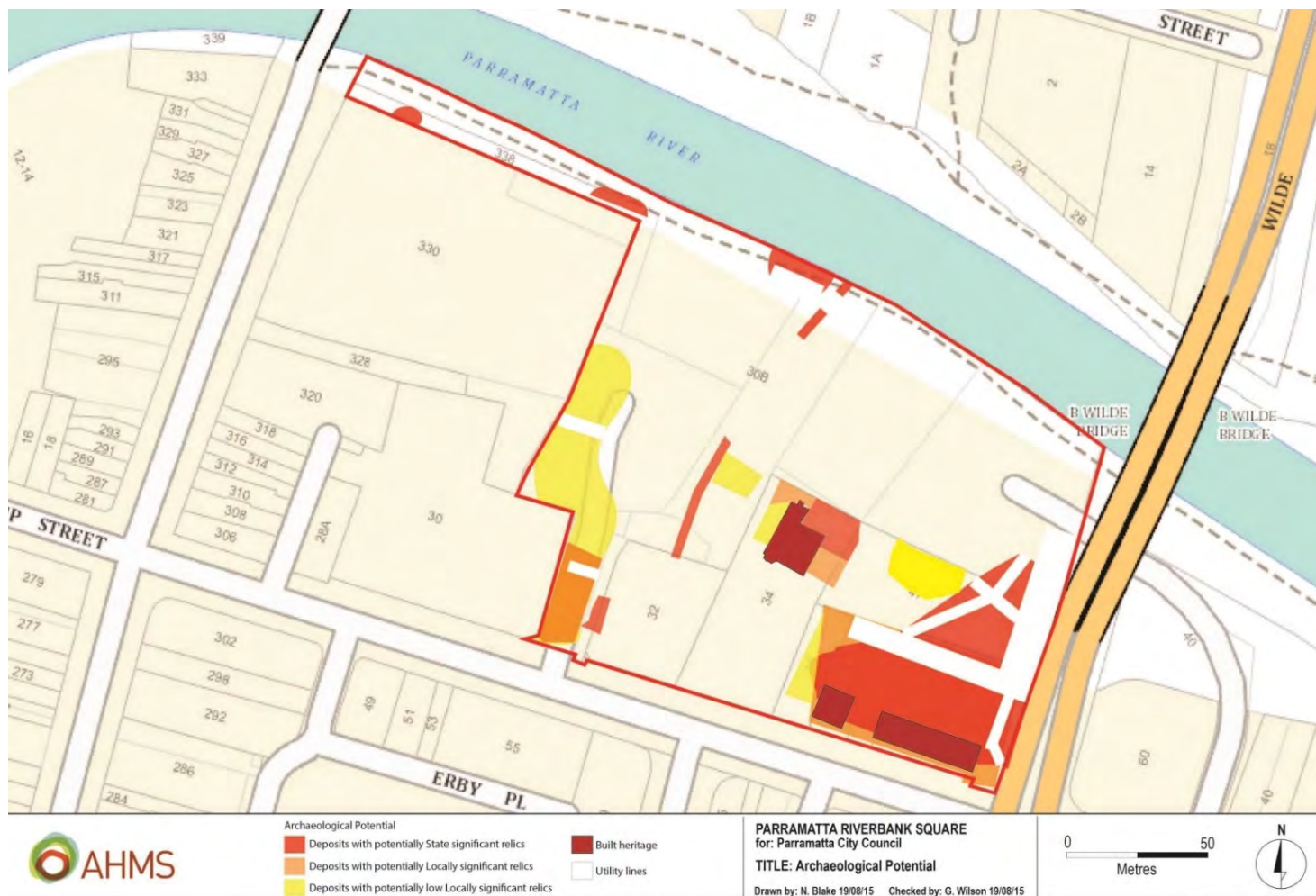


Figure 4-3 AHMS plan showing archaeological potential on their study area. (Source: AHMS, 2015b)

5. Archaeological Significance

5.1. Basis for Assessment

Archaeological significance refers to the heritage significance of known or potential archaeological remains. Archaeological remains are an integral component of the overall significance of a place and it is therefore necessary to assess the archaeological resources of a site independently from aboveground and other heritage elements. Assessment of archaeological significance is more challenging because the extent and nature of the archaeological features are often unknown, and judgment is usually formulated based on expected or potential attributes. The Burra Charter principles and values criteria are important to the assessment, conservation and management of sites and relics, and are necessary for assessing the heritage significance of an archaeological site.

5.2. Existing Statements of Significance

5.2.1. PHALMS

As described above the study area has been previously assessed in the 2000 PHALMS report (AMUs 3092, 2882 and 3083). These AMUs were assessed as having little to exceptional archaeological research potential.

The Statement of Significance for AMU **3092**⁶⁵

This AMU has little archaeological research potential.

This area was part of the early township. As this area is situated right on the riverbank, there has been a limited amount of development. The area was affected by flooding in the late nineteenth century and reclaimed in the twentieth century to provide a public foreshore reserve.

The physical archaeological evidence within this area may include ecological samples and individual artefacts which have potential to yield information relating to major historic themes including Environment, Land Tenure, Townships and Utilities.

Archaeological evidence at this site is likely to be subject to major disturbance.

This AMU is of Local significance.

and **2882** is:

This AMU has high archaeological research potential.

The area was part of the early township and is associated with the early convict occupation of the Parramatta. It developed as part of the commercial centre of the town.

The physical archaeological evidence within this area may include structural features, intact subfloor deposits, open deposits and scatters, ecological samples and individual artefacts which have potential to yield information relating to major historic themes including Commerce, Environment, Housing, Industry, Utilities and Convicts.

⁶⁵ <https://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=2243092>

Archaeological evidence at this site is likely to be subject to minor disturbance.

This AMU is of State significance.⁶⁶

and **3083** is

This AMU has exceptional archaeological research potential.

This area was part of the early Rose Hill settlement and the commercial centre of Parramatta through the convict and colonial periods to the present day.

The physical archaeological evidence within this area may include built landforms, structural features, intact subfloor deposits, open deposits and scatters, ecological samples and individual artefacts which have potential to yield information relating to major historic themes including Commerce, Environment, Housing, Land Tenure and Townships.

Archaeological evidence at this site is likely to be subject to minor disturbance.

This AMU is of Local significance.

5.2.2. 2015 AHMS Report

The following Statement of Archaeological Research Significance was completed for the 2015 AHMS Archaeological Assessment:

The study area has been subject to development since c1792 and since that time, the documentary record demonstrates a range of land tenure changes - though these changes had a demonstrably restricted impact on the overall form of the study area - with the widening of Smith Street the clearest boundary change occurring in the mid-20th century. Along the foreshore, flood mitigation measures, including shoring and land reclamation as well as a sanitation outlet show technological management of this land whose northern boundary is formed by the Parramatta River. Within the study area itself, historic plans indicate individual lot boundary modifications, namely further subdivision as the site developed a commercial focus, the site became heavily utilised in the second half of the 19th century.

It is this use of the site in the second half of the 19th century, with the exponential growth associated with commercial use and the 20th century land modifications is likely to be represented, though truncated in the archaeological records as footings and remanent evidence of structures and subsurface deposits. These resources may include this structural evidence as well as deeper subsurface remains, such as wells and cesspits. The information that these remains could provide regarding layout and site function of the site, in this period is already available from other sites or the currently available historic record.⁶⁷

5.3. NSW Heritage Criteria for Assessing Significance

Accurate assessment of the cultural significance of sites, places and items, is an essential component of the NSW heritage assessment and planning process. A clear determination of a site's significance allows informed planning decisions to be made, in addition to ensuring that heritage values are

⁶⁶ <https://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=2242882>

⁶⁷ AHMS, 2015b, *op cit*, p.82.

maintained, enhanced, or at least minimally affected by development. Assessments of significance are made by applying the Burra Charter evaluation criteria to assess the heritage values of the study area. These criteria can be used to assess both Aboriginal and European items and landscapes, and are as follows:

- (a) **Historic Significance** - An item is important in the course or pattern of NSW's cultural or natural history (or the cultural or natural history of the local area)
- (b) **Associative Significance** - An item has strong or special associations with the life or works of a person, or group of persons, of importance in NSW' cultural or natural history (or the cultural or natural history of the local area)
- (c) **Aesthetic Significance** - An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area)
- (d) **Social Significance** - An item has strong or special associations with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons
- (e) **Technical/Research/Scientific Significance** - An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area)
- (f) **Rarity** - An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area).
- (g) **Representativeness** - An item is important in demonstrating the principal characteristics of a class of NSW's cultural or natural places; or cultural and natural environments.

These criteria are commonly used to assess all items of heritage significance whether state or local, with the criterion that relates most directly to historical archaeological significance and archaeological relics being Criterion (e): commonly referred to as 'scientific significance'.

The following criteria has been developed by the NSW Heritage Division to assist archaeologists determine the significance of archaeological sites and relics.

5.4. Assessing Significance related to Archaeological Sites and Relics

5.4.1. Archaeological Research Potential (current NSW Heritage Criterion E).

Archaeological research potential is the ability of archaeological evidence, through analysis and interpretation, to provide information about a site that could not be derived from any other source and which contributes to the archaeological significance of that site and its 'relics'.

The integrity of the site, the state of preservation of archaeological material and deposits will also be relevant.

- To which contexts (historical, archaeological and research-based) is it anticipated that the site would yield important information?
- Is the site likely to contain the mixed remains of several occupations and eras, or is it expected that the site has the remains of a single occupation or a short time-period?

- Is the site rare or representative in terms of the extent, nature, integrity and preservation of the deposits (if known)?
- Are there a large number of similar sites?
- Is this type of site already well-documented in the historical record?
- Has this site type already been previously investigated with results available?
- Is the excavation of this site likely to enhance or duplicate the data set?

5.4.2. Associations with individuals, events or groups of historical importance (NSW Heritage Criteria A, B & D).

Archaeological remains may have particular associations with individuals, groups and events which may transform mundane places or objects into significant items through the association with important historical occurrences.

- Does the archaeological site link to any NSW Historic Themes? Will the site contain 'relics' and remains which may illustrate a significance pattern in State or local history?
- Is the site widely recognized?
- Does the site have symbolic value?
- Is there a community interest (past or present) which identifies with, and values the specific site?
- Is the site likely to provide material expression of a particular event or cultural identity?
- Is the site associated with an important person? (the role of the person in State or local history must be demonstrated/known)
- What is the strength of association between the person and the site?
- Did the person live or work at the site? During the phase of their career for which they are most recognized? Is that likely to be evident in the archaeology/physical evidence of the site?
- Did a significant event or discovery take place at the site? Is that evident/or likely to be evident in the archaeology/physical evidence of the site?

5.4.3. Aesthetic or technical significance (NSW Heritage Criterion C).

Whilst the technical value of archaeology is usually considered as 'research potential' aesthetic values are not usually considered to be relevant to archaeological sites. This is often because until a site has been excavated, its actual features and attributes may remain unknown. It is also because aesthetic is often interpreted to mean attractive, as opposed to the broader sense of sensory perception or 'feeling' as expressed in the Burra Charter.

Nevertheless, archaeological excavations which reveal highly intact and legible remains in the form of aesthetically attractive artefacts, aged and worn fabric and remnant structures, may allow both professionals and the community to connect with the past through tangible physical evidence.

- Does the site/is the site likely to have aesthetic value?
- Does the site/is the site likely to embody distinctive characteristics?
- Does the site/is the site likely to embody a distinctive architectural or engineering style or pattern/layout?

- Does the site demonstrate a technology which is the first or last of its kind?
- Does the site demonstrate a range of, or change in, technology?

5.4.4. Ability to demonstrate the past through archaeological remains (NSW Heritage Criteria A, C, F & G).

Archaeological remains have an ability to demonstrate how a site was used, what processes occurred, how work was undertaken and the scale of an industrial practice or other historic occupation. They can demonstrate the principal characteristics of a place or process that may be rare or common.

A site may best demonstrate these aspects at the time of excavation. It may also be possible to explain the nature of the site and demonstrate past practices via public interpretation either before, during, or after excavation.

- Does the site contain well-preserved or rare examples of technologies or occupations which are typical of particular historic periods or eras of particular significance?
- Was it a long-term or short-term use?
- Does the site demonstrate a short period of occupation and therefore represents only a limited phase of the operations of a site or technology or site? Or does the site reflect occupation over a long period?
- Does the site demonstrate continuity or change?
- Are the remains at the site highly intact, legible and readily able to be interpreted?

In addition to the significance described according to significance criteria as presented above, the archaeological research potential of a site is generally further informed by three key questions:

- Can the site contribute knowledge that no other resource can?
- Can the site contribute knowledge which no other site can?
- Is this knowledge relevant to general questions about human history or other substantive questions relating to Australian history, or does it contribute to other major research questions?⁶⁸

5.5. Archaeological Significance Assessment

The archaeological significance for the study area has been assessed by taking into consideration the historical overview of the study area and surrounds, especially in relation to the comparative analysis of other relevant historical archaeological sites in Sydney and Parramatta. In particular, the identified sites and recommendations from the PHALMS study are reconsidered here. This included assessing the nature of potential structural and cultural remains that may exist on-site and the occupation periods to which they likely belong. The following archaeological significance assessment was prepared in accordance with the NSW Heritage Criteria for Assessing Significance related to Archaeological Sites and Relics.

⁶⁸ Bickford, A and S Sullivan, 1984, "Assessing the Research Significance of Historic Sites", in Sullivan S and S Bowdler (eds.), Site Surveys and Significance Assessment in Australian Archaeology (Proceedings of the 1981 Springwood Conference on Australian Prehistory), Department of Prehistory, Research School of Pacific Studies, The Australian National University, Canberra pp. 23–24

5.5.1. Historical Archaeological Research Potential (Criterion E)

The study area has moderate to high potential to contain archaeological evidence associated with phases of previous occupation of the study area, some of them from the early township. These are particularly, Phase 3 (Town Development 1800 -1840) to Phase 6 (Early to mid-twentieth century). Remains of the Phase 2 occupation (i.e. c.1804.) in the south-east corner of the study area (and any other portions of the study area) would be able to demonstrate the nature of the occupation and lives of the earliest European inhabitants of the study area which at this stage are largely unknown through historical records. Any of the potential structural or occupation deposits from this early occupation phase may provide further information about the nature of convict to early colonial domestic occupation in Parramatta which could be compared with other historical and archaeological evidence from other similar early colonial settlement sites, both in Parramatta and Sydney. Any remains of the 1823-44 structures and occupation on the study area would provide the opportunity to research the early changing occupation patterns and activities, the establishment of local businesses with a view to better understanding of the economic development of Parramatta. Substantial and extensive remains from this period are likely to be State Significant.

The study area may also contain the remains of occupation after Phase 3 (i.e. Phases 4 to 6) . The associated occupation deposits that may remain in the study area (relics/artefacts) from these periods can also be considered significant for their potential to provide archaeological evidence that permits an evaluation of different economic practices in later settlement periods. If any evidence of deeper subsurface features survive (e.g.: wells and cess spits), their contents have the potential to yield information associated with the occupants of the study area and activities they carried out there.

The study area could yield important information from the Phase 2 occupation period (1820s-1840s) onwards in Parramatta, should archaeological remains survive. This information

This archaeological site containing evidence from this range of occupation phases is still rare in terms of the period and nature of the occupation. Especially compared to other nearby sites in Parramatta, a number of extensive sites containing evidence from Phase 2 to Phase 6 periods of occupation have already been archaeologically investigated and consequently excavated, this type of site is already documented. Nevertheless, these early colonial archaeological sites, have the potential to provide new evidence about the nature of occupation in the early Parramatta River during the early settlement and the development of the colony in Parramatta.

5.5.2. Association with Individuals, Events or Groups of Historical Importance (Criteria A, B, & D)

The study area is part of the 'secondary' expansion of the settlement at Parramatta reflecting the period of small scale growth of the town after first settlement in the area. The study area may contain 'relics' and remains from Phase 1 and Phase 2 which may illustrate significant aspects of the establishment and development of Australia's second settlement and subsequent free-settlement lease holds on the study area. These have the potential to be significant at a National, State and local level. This evidence may be the deposits left by and the dwellings occupied by may contain 'relics' and remains from Phase 1 and Phase 2 which may illustrate significant aspects of the establishment and development of Australia's second settlement and subsequent free-settlement lease holds on the

study area. These have the potential to be significant at a National, State and local level. This evidence may be the deposits left, and the dwellings occupied, by the currently unknown residents of the structures shown in the 1804 and 1823 plans. Then remainder of known historical occupation on the study area does not demonstrate any particularly significant individual association with the area.

5.5.3. Aesthetic or Technical Significance (Criterion C)

The archaeological remains of the study area are not likely to have significant aesthetic value. They may, nevertheless, depending on their level of intactness and survival retain some aesthetic quality as picturesque 'ruin' – that is "architectural remains depicted as having been reconquered by nature and time".⁶⁹ This quality may recommend any such remains for interpretation and (where possible) retention. However, if any substantial structural remains survive, they may also demonstrate distinctive characteristics related to the early domestic architectural or construction techniques and styles employed in the colony. This may be especially pertinent in considering remains from the earliest structures recorded on the study area.

5.5.4. Ability to Demonstrate the Past through Archaeological Remains (Criteria A, C, F & G)

Given a substantial level of preservation of the potential archaeological resource within the study area archaeological remains associated with any pre-1844 dwelling/s that may survive and artefacts retrieved from occupation deposits, wells, cisterns and cesspits would have the ability to demonstrate characteristics of the area's nineteenth development and occupation. This survival would constitute a significant archaeological research resource. Intact occupation deposits associated with known occupants and allotments have the potential to demonstrate the course of lives over the nineteenth century that provides a different, but complimentary picture, to that provided by the historical record. Any extant remains of structures and external spaces, from the nineteenth through to the twentieth centuries has the ability to demonstrate how the study area's occupants ordered their lives in a growing township that was moving towards more sophisticated municipal organisation. Large scale extant structural remains have a special ability to demonstrate the past and as such represent a significant archaeological resource.

5.6. Statement of Archaeological Research Significance

The study area has the potential to contribute unique historic archaeological information, which can complement previous archaeological work in Parramatta. The study area will contribute archaeological information that may be compared and contrasted to these sites. A unique quality of the study area is its proximity to the Parramatta River, which may contribute some knowledge, which few other sites can, in relation to water management in the colony and the effects of river flooding had on the study area's occupants. This knowledge has the potential to contribute towards answering questions about the initial establishment and development of Australia's second colony settlement.

The archaeological evidence relating to the nineteenth century occupation of the study area has the potential to provide significant information about the study area's development in relation to the

⁶⁹ Weiler, K, 2013, "Picturesque Authenticity in Early Archaeological Photography in British India", in M, Falser and M Juneja, [eds.], *Archaeologizing' Heritage: Transcultural Entanglements between Local Social Practices and Global Virtual Realities*, Springer, p.39.

historic socio-economic profiles of the occupants from an early period in the town's development. The study area also has some potential to provide information on the nineteenth and early twentieth century water supply, use and management in Parramatta that is not available from other sites.

The study area is comprised of three AMU's of the PHALMS report (AMU 2882. 42-56 Phillip Street, Parramatta, AMU 3083. Church Street, Parramatta and AMU 3092. Church Street, Parramatta). The archaeological research significance of only 2882 and 3083 have been assessed as significant in the PHALMS report though it is noted that 3092 may contain archaeological evidence related to Parramatta's early occupation.

Cumulatively, the potential archaeological information gathered from the study area would be able to demonstrate practices relating to occupation patterns, expressed through the material culture, typical of the early nineteenth to early twentieth century Parramatta, but also unique to the study area, with potential to supplement the existing knowledge of the local area and provide new insight into the past.

6. Proposed Development

6.1. General Outline

This application will deliver a new cultural institution for Parramatta in the heart of Sydney's Central City. The SSD DA seeks consent for the delivery of the New Powerhouse as a single stage, comprising:

- site preparation works, including the termination or relocation of site services and infrastructure, tree removal and the erection of site protection hoardings and fencing;
- demolition of existing buildings including the existing Riverbank Car Park, 'Willow Grove', 'St George's Terrace' and all other existing structures located on the site;
- construction of the New Powerhouse, including:
 - front and back-of-house spaces;
 - seven major public presentation spaces;
 - studio, co-working and collaboration spaces comprising the 'Powerlab', supported by 40 residences (serviced apartments) for artists, students, researchers and scientists, and 60 dormitory beds for school students;
 - education and community spaces for staff, researchers and the Powerlab residents, the community, and education and commercial hirers;
 - commercial kitchen comprising the 'Powerlab Kitchen' used for research and product development, and as a destination, education and event space;
 - film, photography, and postproduction studio that will connect communities with industry and content that will interpret the Powerhouse Collection;
 - public facing research library and archive for community, industry, students and researchers to access materials; and
 - a mix of retail spaces including food and drink tenancies with outdoor dining.
- operation and use of the New Powerhouse including for events of up to approximately 10,000 persons at any one time;
- maintenance of the existing vehicular access easement via Dirrabarri Lane, the removal of Oyster Lane and termination of George Khattar Lane, and the provision of a new vehicular access point to Wilde Avenue for loading;
- public domain within the site including new public open space areas, landscaping and tree planting across the site; and
- building identification signage.

The project does not seek consent for the carrying out of works outside of the site boundary, and in particular does not involve any alterations to the existing edge of the formed concrete edge of the Parramatta River or to the waterway itself.

Further detail is provided below about development activities that have potential to impact historical archaeological deposits and values. That is, activities that will disturb the ground surface. Figure 6-1 to Figure 6-14 below present the relevant plans for the development, relevant to understanding below ground impacts that may present archaeological impact.

6.2. Bulk Excavation Works

Bulk excavation works are required beneath the new western building to accommodate required services including grease arrestor, sewer and stormwater pumps, lift pits, foundation piles (see below), and rainwater/waste tank. Due to the fall of the land within the study area (i.e. sloping to the north towards the river), excavation depths beneath the western building will range from approximately 2 metres below ground level in the north, to approximately 4 metres below ground level at the southern end of the building. Some localised excavation beneath the eastern building is will also be required for foundation piles (see Section 6.2.2), and lift pits.

Figure 6-1 presents the demolition plan and Figure 6-2 the proposed main excavation plan for the concept design.

6.3. Foundation Piling⁷⁰

The structural foundation concept for the new development has been designed as necessary to comply with requirement to support long spans (>35 metres) and high floor loading capacities, as specified by the project brief.⁷¹ The two new buildings will be supported on large diameter piles drilled into sandstone bedrock, connected to the superstructure via pile caps supporting the main building columns, overlaid with a c.150 mm concrete slab on grade (subject to geotechnical advice). Piles would extend between 4-10 metres into the bedrock (subject to geotechnical advice) with the total pile lengths varying from 14-20 metres. The concept for the piling foundations is the installation of approximately 22 and 20 perimeter piles (for the western and eastern buildings respectively), spanned by horizontal perimeter ground beams. The exact number and placement of piles will be confirmed and finalised by structural engineers. Perimeter piles are aligned to underlie the buildings perimeter support columns, with use of both single piles, as well as paired piles to support heavily loaded columns. Each perimeter pile would typically be 1800 mm in diameter with a 2000 mm x 2400 mm x 2000 mm deep pile cap (single piles), or 2000 mm x 5700 mm x 2000 mm deep pile cap (paired piles).

Additional piles will be required across the footprint of each building to support architectural and design features that require additional sub-structural support (e.g. features such as educational floors and stairs in the eastern building, and support for concrete core walls and escalator in western building). Additional piles may also be required in the northern part of the western building to support a ground beam to support the façade, however this would be subject to further geotechnical advice. Other required structural support elements that will impact the ground surface are likely to include excavation of a trench along the northern wall of the western building to accommodate the movable door in this location (minimum 1 metre depth), and other smaller diameter piles (600 mm-1200 mm) for additional wall and door support, as well as foundational concrete pads.

6.4. Service Trenching

Exact locations and dimensions of service and utility trenching required to support the new development are to be confirmed. However, Figure 6.12 shows indicative locations, and trenches are

⁷⁰ Description of foundation concept summarised from Arup, Foundation- Preliminary Concept, SSK-01, 12.2.2020

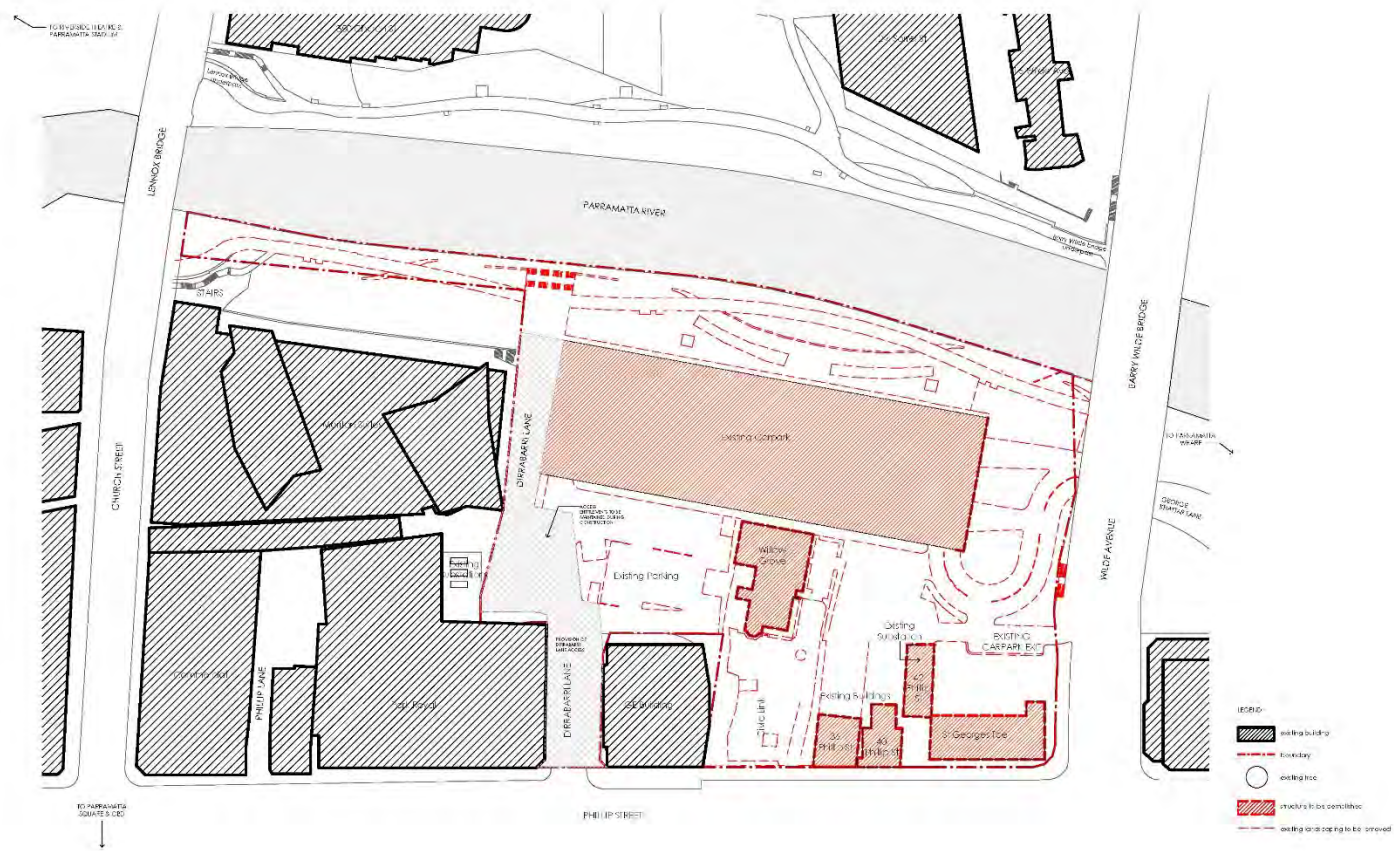
⁷¹ As per *Architectural Design Brief*

likely to require excavation in the range of 1-7 metres depth and 600 mm-3000 mm (for each service) in width.

6.5. Landscaping and Other Activities

Landscaping works at lower ground level will be mainly focused on the northern side of the new buildings, fronting the river foreshore. The existing strip of lawn and river path along the river foreshore will both be retained, while new lawn areas will be established fronting the undercroft of the new buildings. A new 'rain garden' is proposed to the west of the western building, integrated with the emergency vehicular access ramp to the river (Figure 6.13). Landscaping works will also include removal of some existing trees (Figure 6-13), and replacement with new native mature trees, as well as other native plantings. The excavations indicated for new trees are shown in Figure 6-14.

The landscaping plans represent a potential impact on the archaeology of the site. The removal of existing trees, if undertaken by excavation has some potential to damage existing archaeology. However, the scale of this impact is unknown at this time. The planting of mature trees may also have a physical impact of the site's archaeology through the excavation of pits for mature tree root boles. The exact size of excavations for any tree is also unknown at this stage.



ARCHITECTS MOREAU KUSUNOKI 5 RUE DE NEMOURS 75011 PARIS FRANCE	GENTON 71 TORCHES SYDNEY NSW 2000 AUSTRALIA	PROJECT POWERHOUSE PARRAMATTA	TITLE Site Demolition Plan	SCALE 1:500 @ A1 	NORTH 	REVISION HISTORY Rev 1: 01/04/20 Rev 2: 01/04/20 Rev 3: 01/04/20 Rev 4: 01/04/20	DATE 01/04/20	NUMBER DA061	REVISION 4
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Figure 6-1 Study area Demolition Plan (Moreau Kusunoki/Genton, DA061, Rev. 4, 1.4.2020)

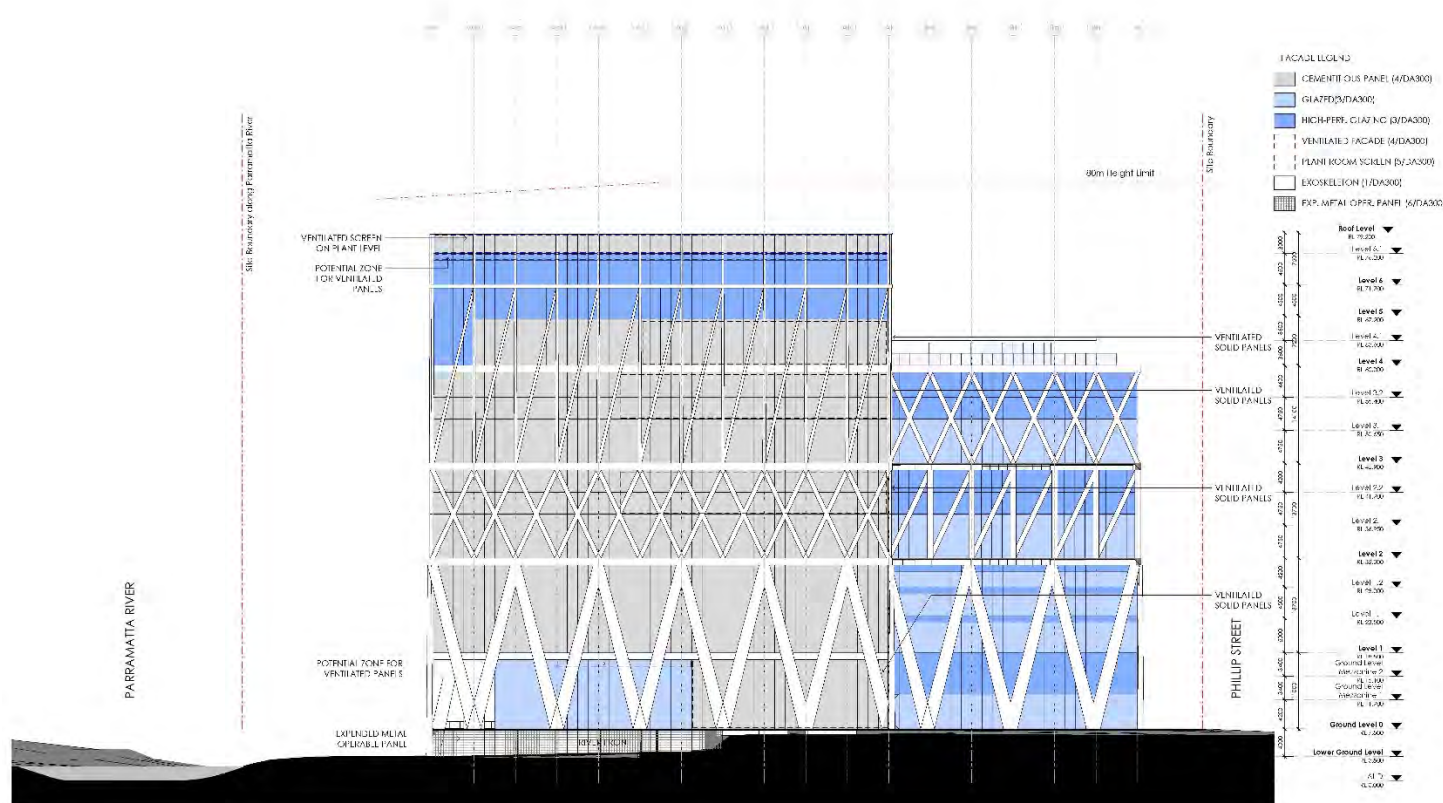


Figure 6-2 Excavation Plan (Moreau Kusunoki/Genton, DA070, Rev. 1, 1.4.2020)

HISTORICAL ARCHAEOLOGICAL RESEARCH DESIGN, POWERHOUSE SITE | INFRASTRUCTURE NSW | APRIL 2020
Curio Projects Pty Ltd

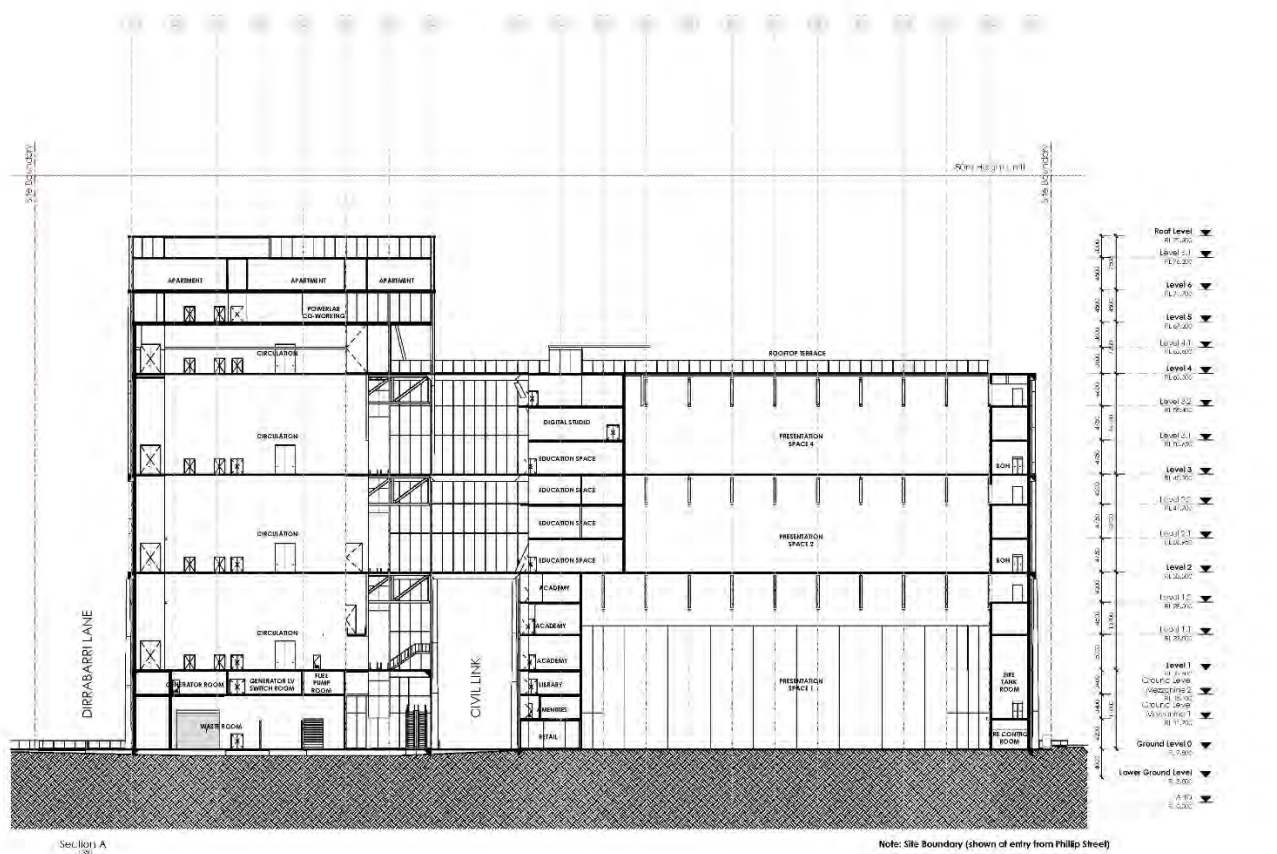
ARCHITECTS	PROJECT	TITLE	SCALE	REVISION HISTORY	DATE	NUMBER	REVISION
MOREAU KUSUNOKI 5 RUE DE NEUCHÂT 75011 PARIS FRANCE	POWERHOUSE PARRAMATTA	External Elevation East	1 : 250 @ A1 	1. PROJECT 2. ISSUED FOR PERMITS 3. ISSUED FOR CONSTRUCTION 4. ISSUED FOR AS-BUILT	21/04/20	DA201	5

HISTORICAL ARCHAEOLOGICAL RESEARCH DESIGN, POWERHOUSE SITE | INFRASTRUCTURE NSW | APRIL 2020
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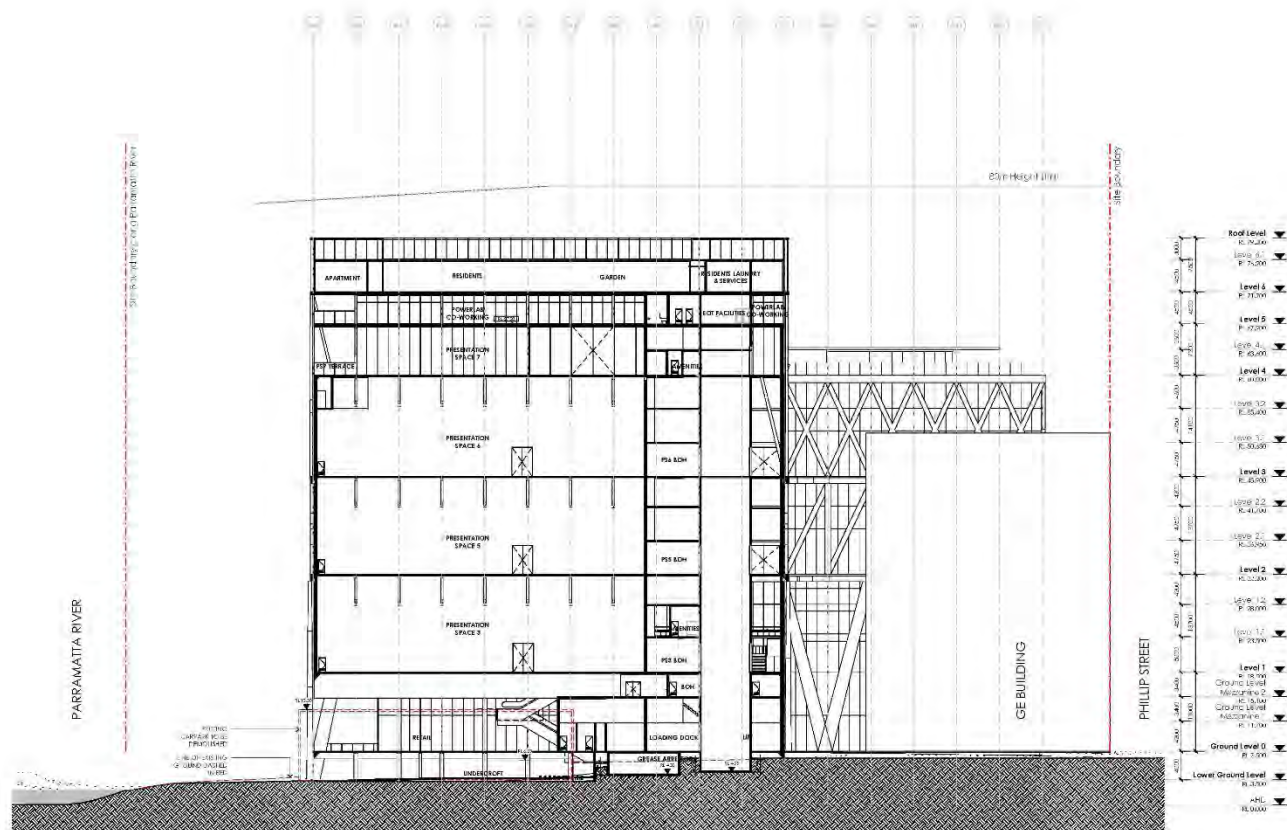
ARCHITECTS	PROJECT	TITLE	SCALE	REVISION HISTORY	DATE	NUMBER	REVISION
MOREAU KUSUNOKI 8 RUE DE NEMOURS 75011 PARIS FRANCE	GENTON 71 YORK ST SYDNEY NSW 2000 AUSTRALIA	POWERHOUSE PARRAMATTA External Elevation West	SCALE 1:250 @ A1 1:100 @ A2 1:50 @ A3	No. 1: Initial No. 2: Revised No. 3: Revised No. 4: Revised No. 5: Revised	21/04/20	DA203	5

Figure 6-6 External Elevation West (Moreau Kusunoki/Genton, DA203, Rev. Rev. 5, 21.4.2020)



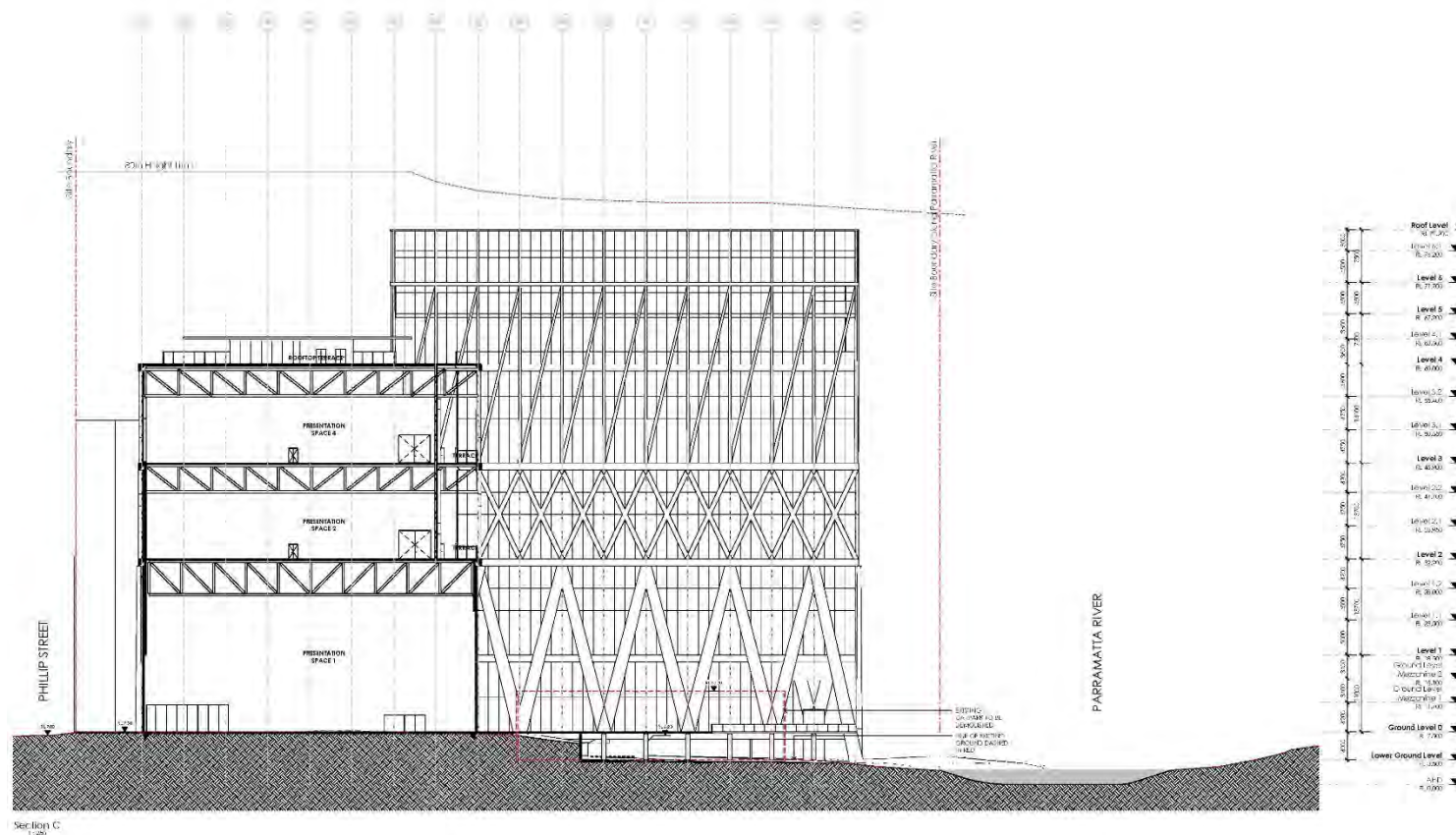
ARCHITECTS	PROJECT	TITLE	SCALE	NORTH	REVISION HISTORY	DATE	NUMBER	REVISION
MOREAU KUSUNOKI SCALE OF MEASUREMENTS: 1:1000 (PLAN), 1:200 (SECTION)	GENTON 11/10/2019 ST. SYDNEY NSW 2000/2019/19/19	POWERHOUSE PARRAMATTA Section A	NTS @ 1:1000		1. 01/04/2020: Initial design 2. 01/04/2020: Revised design 3. 01/04/2020: Revised design 4. 01/04/2020: Revised design	01/04/20	DA250	4

Figure 6-7 Section A (Moreau Kusunoki/Genton, DA251, Rev. 5, 1.4.2020)



ARCHITECTS	PROJECT	TITLE	SCALE	REVISION HISTORY	DATE	NUMBER	REVISION
MOREAU KUSUNOKI 15 RUE DE NEUCHÂTEAU, PARIS FRANCE	GENTON 15 RUE DE NEUCHÂTEAU, PARIS FRANCE	POWERHOUSE PARRAMATTA Section B	1:250 @ 1/4"	1. 01/04/20 2. 01/04/20 3. 01/04/20 4. 01/04/20 5. 01/04/20	01/04/20	DA251	5

Figure 6-8 Section B (Moreau Kusunoki/Genton, DA251, Rev. 5, 1.4.2020)



ARCHITECTS

MOREAU KUSUNOKI

311 BOW STREET / PARRAMATTA ROAD

GENTON

71 WORK STREET / PARRAMATTA ROAD

PROJECT

POWERHOUSE PARRAMATTA

TITLE

Section C

SCALE

1:20 (3x1)

REVISION HISTORY

1. 20/02/2020: Initial Design

2. 27/02/2020: Design Review

3. 04/03/2020: Design Review

4. 11/03/2020: Design Review

DATE

01/04/20

NUMBER

DA252

REVISION

4

Figure 6-9 Section C (Moreau Kusunoki/Genton, DA251, Rev. 5, 1.4.2020)

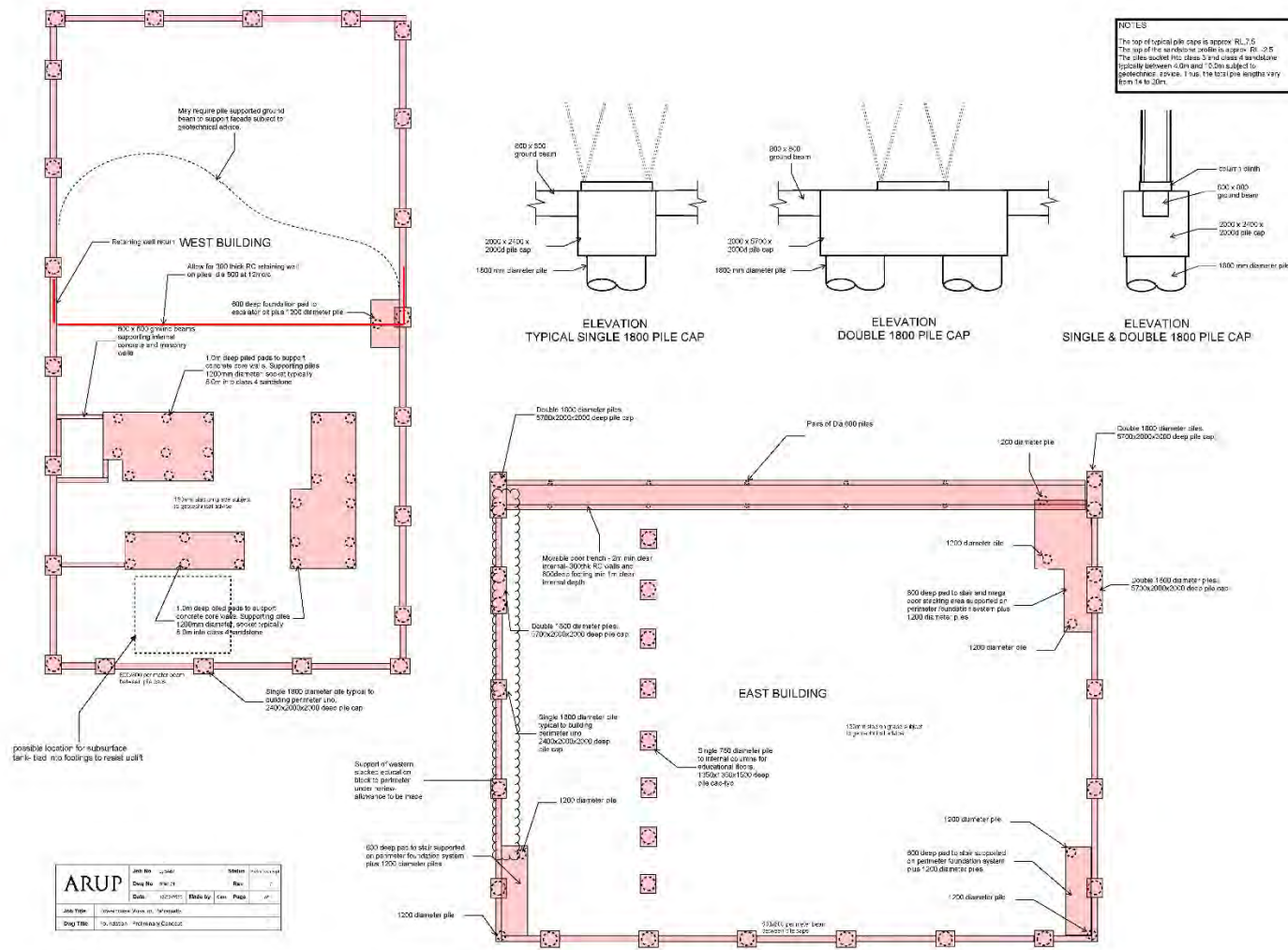


Figure 6-10 Foundation-Preliminary Concept (Arup, SSK-01, 12.2.2020)

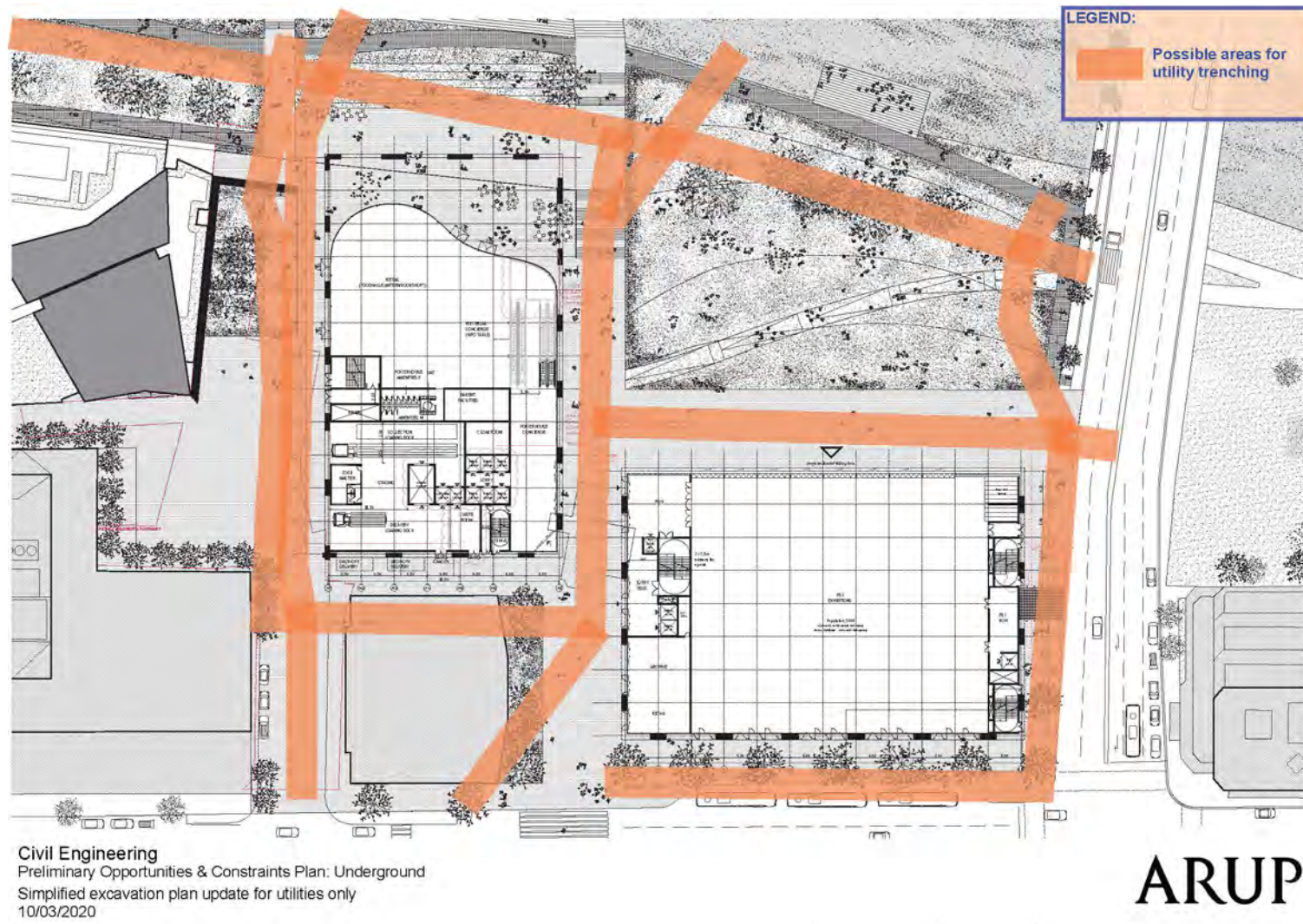


Figure 6-11 Potential Utilities Trenching Plan (Arup, 10.3.2020)



Figure 6-12 Landscape Podium Level Plan (McGregor Coxall LD_DA_00-02, Rev. C, 2.4.2020)



Figure 6-13 Tree Retention and Removal Plan (McGregor Coxall LD_DA_30-03, Rev. C, 2.4.2020)



Figure 6-14 Landscaping Plan, Trees Proposed (McGregor Coxall LD_DA_30-04, Rev. C, 2.4.2020)

7. Potential Impacts on Archaeology

7.1. Introduction

The archaeological potential of the study area was established and mapped by AHMS and this was set out in their 2015 report (shown as Figure 4-3). This plan has been used as the basis for the following assessment of the physical impacts of the proposed works. At this stage, the design has reached concept stage only. Nevertheless the excavations indicated for support piles, lift pits, potential service corridors and landscaping and mature plantings show some potential to have physical impacts on the archaeological resource from areas of low local significance to areas of potentially State significant archaeology (Figure 7-1).

7.2. Specific Areas of Impact

These include (refer to Figure 7-1):

- Pile footprints,
 1. on the area now occupied by 'Willowgrove';
 2. through the area now occupied by St George's terraces;
 3. through areas at the south-eastern portion of the study area containing State significant archaeology, and
- Service Corridors,
 4. across an area along the river containing State significant archaeology;
 5. across an area on the south-western portion of the study area containing locally significant archaeology;
 6. across an area on the centre of the study area containing locally significant archaeology
 7. through areas at adjacent to 'Willowgrove' containing State significant archaeology;
 8. through areas at the south and eastern portion of the study area containing State significant archaeology, and
- Tree plantings,
 9. through areas at adjacent to 'Willowgrove' containing State significant archaeology;
 10. through areas at the south and eastern portion of the study area containing State significant archaeology.

7.3. Mitigation Measures

7.3.1. Avoidance

The first, and preferred, option to mitigate any identified impacts on the archaeological resource is redesign to avoid. Options may be sought to reposition (where possible) support columns or seek to span areas identified as having archaeological potential with two or more columns. A similar avoidance approach may also be employed with installation of services, either avoiding areas of the archaeological resource and redesigning the route of the services or identifying existing service corridors, trenches etc and laying new services within areas that have previously been subject to excavation disturbance. Finally, landscaping may also be redesigned to avoid physical impacts on the archaeological resource either through changing the nature of the intended planting, i.e. low impact

shallow rooted bushes rather than mature trees with the potential to create future damage through expansion of the root ball.

7.3.2. Archaeological Excavation/Recording

If it is not possible to avoid through redesign or use of previously disturbed areas, then archaeological intervention may be necessary to provide a level of mitigation (i.e. recording the archaeology) prior to unavoidable disturbance or removal by the development. For further details of the provisional approach for archaeological recording as a mitigation measure see Section 9.

Location of Study Area, proposed impacts and potential archaeological deposits

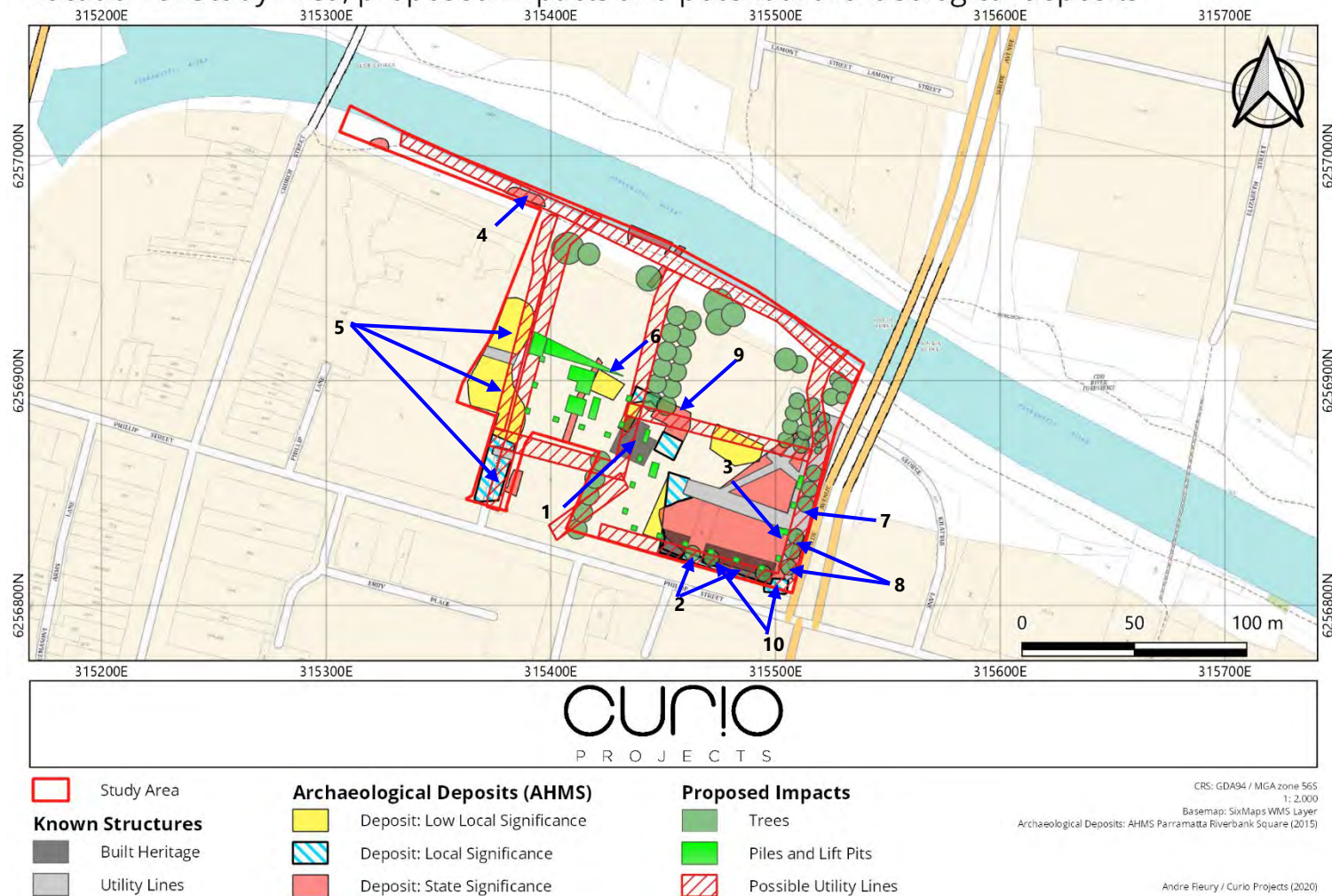


Figure 7-1 Physical impacts on the study area from the Concept Design overlaid on the potential archaeology. (Source: AHMS, 2015,

8. Historical Archaeological Investigation Program

8.1. Introduction

An archaeological Research Design identifies and establishes the rationale, context, questions and methodology for the archaeological investigation of a site. The rationale is established through the assessment process which identifies the past occupation of the study area and the heritage values and research potential of the likely archaeological resource. The questions focus on recovering the values or 'unknown' information or gaps in information about the past that may be archaeologically recoverable, and which may be lost if the archaeological resource is disturbed or destroyed. In turn, the questions focus the development of excavation and recording methods to recover the information or values of the study area.

The following research framework provides a context and methodology to guide the archaeological recording and excavation of targeted areas that may be impacted by the site preparation earthworks and subsequent redevelopment works.

8.2. Research Design

The research potential of the study area should be considered in a broad context, as well as in a site-specific context. Archaeological test excavation of the study area should consider physical evidence of its historical development and occupation within a broad thematic context. The Heritage Council of NSW has composed a table of NSW Historical Themes to ensure that the initial information recovered from a site can be understood within a broader research framework. In addition, the PHALMS project established broad research aims to provide higher level research questions for sites in Parramatta.

8.2 Research Questions

Development plans indicate that the proposed development may impact the potential archaeological relics across the study area. Accordingly, the research questions for the study area have been developed to provide key and pertinent information about the past occupation and use of the study area that may be recoverable through the archaeological investigation of those surviving relics.

8.2.1 General Research Questions

An archaeological research design can be formulated to answer general questions about any deposits or features exposed during the work. These general questions are applicable to most archaeological sites investigated. These general questions are:

- What features or deposits are present on the study area;
- What is their nature and extent;
- What date can be assigned to them;
- How does this information compare to available historical information relating to the study area; and
- What is the significance of the "relics"?

8.3. Study area Specific Research Questions

The historical themes that are relevant to the potential archaeological resources at the study area are as follows:

Table 6 Historical themes relevant to the archaeological test excavation program.

AUSTRALIAN THEME	STATE THEME	LOCAL THEME	COMMENT
4. Settlement-Building settlements, towns and cities	Land tenure-Activities and processes for identifying forms of ownership and occupancy of land and water, both Aboriginal and non- Aboriginal	Early land grants	Relates to Phase 1
8. Culture-Developing cultural institutions and ways of life	Domestic life-Activities associated with creating, maintaining, living in and working around houses and institutions	Ways of life 1850-1900-	Relates to Phase 2: Residential Usage
4. Settlement-Building settlements, towns and cities	Accommodation-Activities associated with the provision of accommodation, and particular types of accommodation – does not include architectural styles – use the theme of Creative Endeavour for such activities	Housing- Includes the range from individual homes or homesteads to group accommodation.	Relates to Phase 2: Residential Usage
3. Economy-Developing local, regional and national economies	Commerce-Activities relating to buying, selling and exchanging goods and services	Commerce – Includes banking, retailing.	Relates to Phase 2-3: possible Commercial Usage

8.3.1. Research Design Questions

Site-specific research questions were based on the consideration of available historical documentation of the study area's development and occupation:

- Does any evidence of the early to mid-nineteenth century occupation survive at the study area?
- If present, do deeper features contain stratified artefact bearing deposits that may provide more detailed information about the occupants and activities that were carried out at the study area throughout the last two hundred years?
- What can the retrieved information tell us about water management in the late nineteenth century Parramatta?
- How has the influence of the nearby river affected the study area's occupants?
- What does the archaeological record reveal about the development of this eastern area of Parramatta in the nineteenth and early twentieth centuries?
- What can be learnt about the lives of study area occupants and/or changes in the use and occupancy of the area?

- Is there any physical evidence of Aboriginal-European contact within the study area?
- What is the value of archaeological resources obtained from this study area in relation to other similar sites that have already been assessed/investigated in the area?

9. MITIGATIVE STRATEGY AND EXCAVATION METHODS

9.1. Archaeological Investigation Methods

9.1.1. General

The assessment of archaeological potential for the study area assessed it as having archaeological potential, albeit, variable but encompassing archaeological remains of both local and State significant research potential. As such it is initially proposed to undertake test trenches to investigate the nature and extent of the archaeological remains here. Should the testing indicate the presence of intact and significant archaeological features and deposits then it would be anticipated that the excavations would be expanded into open area excavations.

9.1.2. Nominated Team

Archaeological investigation works would be directed by Dr. Matthew Kelly, who would be nominated as the Primary Excavation Director and Andre Fleury, who would be the Secondary Excavation Director. Dr Kelly has worked extensively within the Parramatta LGA and is approved by the NSW Heritage Division to direct excavations of local and State Heritage listed sites and places.

The remaining team would comprise assistant archaeologists and a site planner, who would be drawn from Curio's pool of permanent staff and sub-consultants. On-site surveying and planning would be carried out by Bernadette Owens, who would also be responsible for the collation of site drawings.

Excavation Director: Matthew Kelly

Secondary Excavation Director: Andre Fleury

Archaeological Assistant(s) TBC

Planner: Bernadette Owens

The details of the additional team members will be confirmed in writing to the archaeologists at NSW Office of Premier and Cabinet once the timing of the excavation has been finalised.

9.1.3. Test Trenching

It is proposed that an initial program of the excavation of test trenches across the study area of be undertaken to investigate the potential for archaeological remains of features and deposits of the occupation of the study area. Should the test trenches indicate that no significant archaeological deposits or features remain on study area then the archaeologist will record the exposed deposits to indicate the nature of the remains beneath the existing floor and complete a short report to meet the relevant condition(s) of the Excavation Permit. No further archaeological involvement is proposed based on the conclusion of this short report that no 'relics' are present.

However, should the test trenches indicate a general level of integrity and survival of significant archaeological deposits and features then a program of open area excavation will be conducted to expose and record those deposits and features in the areas of the study area where they are present and likely to suffer physical impact from the development.

The initial 11 test trenches have been sited to investigate the presence of specific built elements and interior spaces that may contain significant deposits. They will also provide a snapshot of the general level of survival of archaeological relics across the entire study area.

- Trench 1 (dimensions 5 metre x 2 metre) has been sited to investigate the potential for State Significant archaeological remains along the north-west of the study area adjacent to the river;
- Trench 2 (dimensions 5 metre x 2 metre) has been sited to investigate the potential for State Significant archaeological remains along the north of the study area adjacent to the river;
- Trench 3 (dimensions 5 metre x 2 metre) has been sited to investigate the potential for locally Significant archaeological remains in the centre of the study area;
- Trench 4 (dimensions 5 metre x 2 metre) has been sited to investigate the potential for locally Significant archaeological remains in the centre of the study area;
- Trench 5a and 5b (each with dimensions 5 metre x 2 metre) have both been sited to investigate the potential for State Significant archaeological remains, the area of an 1804 hut site and the area of Willowgrove house;
- Trench 6 (dimensions 5 metre x 2 metre) has been sited to investigate the potential for State Significant archaeological remains to the north of Willowgrove;
- Trench 7 (dimensions 5 metre x 2 metre) has been sited to investigate the potential for State Significant archaeological remains along Phillip Street
- Trench 8 (dimensions 5 metre x 2 metre) has been sited to investigate the potential for State Significant archaeological remains on the site of St George's terrace;
- Trench 9 (dimensions 5 metre x 2 metre) has been sited to investigate the potential for State Significant archaeological remains (i.e. the area of an 1804 hut site) on the site of St George's terrace;
- Trench 10 (dimensions 5 metre x 2 metre) has been sited to investigate the potential for State Significant archaeological remains (i.e. the area of an 1804 hut site) on the eastern boundary of the study area;

9.1.4. Open Area Salvage Excavation

The archaeological salvage and recording program, should it proceed, will focus on the areas identified as containing archaeological relics of local significance or State Significance that will be disturbed or removed by works during development.

These areas/deposits, with locally or State significant 'relics' will be excavated in their entirety, in the process recording the significant deposits, collecting artefacts from these deposits, and recording the remains of former structures, yard spaces and surfaces in these areas. The deposits will be removed by hand, or machine at the discretion of the Excavation Director, until sterile natural or deposits of no significance are exposed.

Where the test trenches indicate substantial disturbance or removal of archaeological deposits then these areas will not be subject to comprehensive salvage excavation but may be sampled at the discretion of the archaeologist.

9.1.5. Recording

The recording process will include the following:

- Manual (hand) excavation of exposed relics using hand tools (shovels and trowels);
- Exposure (via hand excavation) of the identified archaeological deposit/relic to the extent of the deposit within the test pit or trench;
- Preparation of annotated site plans to plot the location of features, deposits and items;
- Note taking in a dedicated field notebook that will be used to create a running record of the monitoring and salvage program;
- Photography of the excavation using a high-end digital camera (& scale bar/mini rod) with photo date and contextual details recorded in a photo catalogue; and
- Recording of any archaeological features and deposits identified to be of local significance, which will be given sequential identifiers (context numbers). Contexts and summary details will be entered into a running context catalogue with significant/notable items recorded on individual data sheets.

Artefacts from intact and significant contexts will be retained, bagged and tagged according to location, context and fabric. These will later be cleaned, re-bagged and subject to preliminary cataloguing before being secured in archive boxes.

9.2. Post Excavation Reporting/Analysis

Following completion of the field program, analysis of the excavation results will be undertaken. This will address the research questions outlined above (Sections 8.2 and 8.3), with regard to the exact location, extent and nature of the archaeological remains present on the site. The artefacts recovered during the course of the archaeological investigation will be catalogued and analysed by appropriate artefact specialists. Where relevant, specialists will produce reports about the artefacts that explain how these remains assist an understanding of the study area's history and occupation. Typical artefact assemblage groups include ceramics, miscellaneous, building materials, glass and bone and shell.

The excavation report and results of the artefacts analysis will be incorporated into a final excavation report. The report will be prepared in accordance with current heritage best practice and the requirements and any specific conditions identified in the approved excavation permit for the site.

9.3. Artefact and Excavation Records Repository

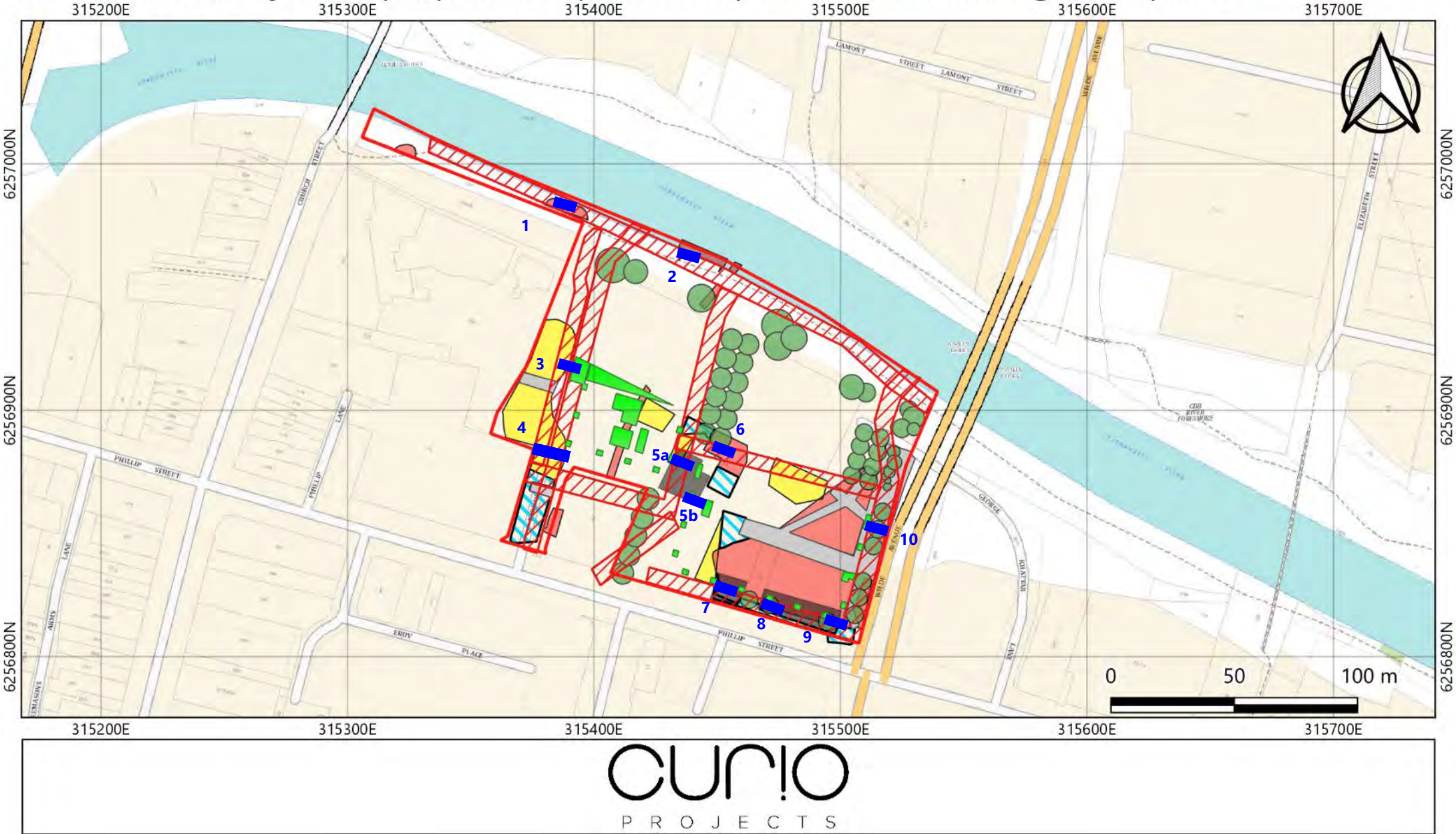
The client will need to provide a repository for storage, in perpetuity, of any artefacts recovered from the site. This is to be discussed with the client following the conclusion of the archaeological program at the site and would be confirmed in the post excavation report. The final location of this repository, whether on-site or not, would be determined after negotiations with the client.

9.4. Unexpected Finds Procedure

If potential relics are encountered during any phase of construction work the following steps shall be taken.

- STOP ALL WORK in the vicinity of the find and immediately notify the relevant Site Supervisor or the Project Archaeologist/Excavation Director and demark the area to protect the potential relic.
- The Site Supervisor is to record the details, take photos of the find and ensure that the area is adequately protected from additional disturbance.
- If the Archaeological Excavation Director advises that the find is not a potential Aboriginal object or significant historical relic, work will recommence in accordance with the established program.
- If the Archaeological Excavation Director advises that the find is a potential relic, the Site Supervisor/Project Manager should undertake the following procedure:
 - Liaise with the Archaeological Excavation Director to determine the significance of the heritage item; and
 - Implement any appropriate mitigations dependent on the advised significance of the relic as outlined in appropriate site management documents (i.e. an Archaeological Management Plan).

Location of Study Area, proposed impacts and potential archaeological deposits



Study Area

Known Structures

Built Heritage

Utility Lines

Archaeological Deposits (AHMS)

Deposit: Low Local Significance

Deposit: Local Significance

Deposit: State Significance

Proposed Impacts

Trees

Piles and Lift Pits

Possible Utility Lines

CRS: GDA94 / MGA zone 56S

1: 2,000

Basemap: SixMaps WMS Layer

Archaeological Deposits: AHMS Parramatta Riverbank Square (2015)

Andre Fleury / Curio Projects (2020)

Figure 9-1 Siting of test trenches.

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