



Jarre Pty Ltd

Services and Utilities Impact Assessment

Gosford Gateway Centre

July 2020

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1	Draft Issue	27/03/2020	
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Reference for relevant Secretary's Environmental Assessment Requirements

Key Issue	Requirement	Relevant Report Section
Utilities		
- In consultation with relevant agencies prepare a services and utilities impact assessment which: - assesses the capacity of existing services and utilities and identify any upgrades required to facilitate the development - assesses the impacts of the proposal on existing utility infrastructure and service provider assets and describe how any potential impacts would be managed		
		Section 3
		Section 4
Policies, Plans and Guidelines		Sections 3 & 4 (specifically 3.10, 3.11, 4.4 & 4.5)
- Central Coast Council's Gosford City Centre Developer Services Plan (DSP) - Central Coast Council's Gosford City Centre Water Servicing Strategy (Aug 2017) - Central Coast Council's Gosford City Centre Sewer Servicing Strategy (Mar 2017)		

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1 Introduction

Barker Ryan Stewart has been engaged by Jarre Pty Ltd to provide a Services and Utilities Impact Assessment for a State Significant Development (SSD) at the Gosford Gateway Centre.

This report assesses the availability and suitability of the existing services and utilities in the immediate area of the development and provides details of Council's and Utility Service providers requirements that are to be fulfilled prior to the service being made available to the development.

2 Site Location and Proposed Development

2.1 Existing Site and Location

The primary address for the SSD site is 8-16 Watt Street, Gosford and is legally known as Lot 112 in DP1022614. The subject site also includes Lots 1-4 in DP1191104 (Figure 2). Details and existing uses of these lots are shown in Table 1.

The site is located in the centre of Gosford opposite Gosford Station and Burns Park. It comprises most of the northern part of the block, bounded to the north by Faunce Street, Watt Street to the east and addresses Mann Street to the West. The location is shown in Figure 1

The adjoining commercial buildings to the SSD are serviced by underground Telstra, gas, electricity, water, and sewer which are generally located within the road reserves of Watt, Mann and Faunce Streets.

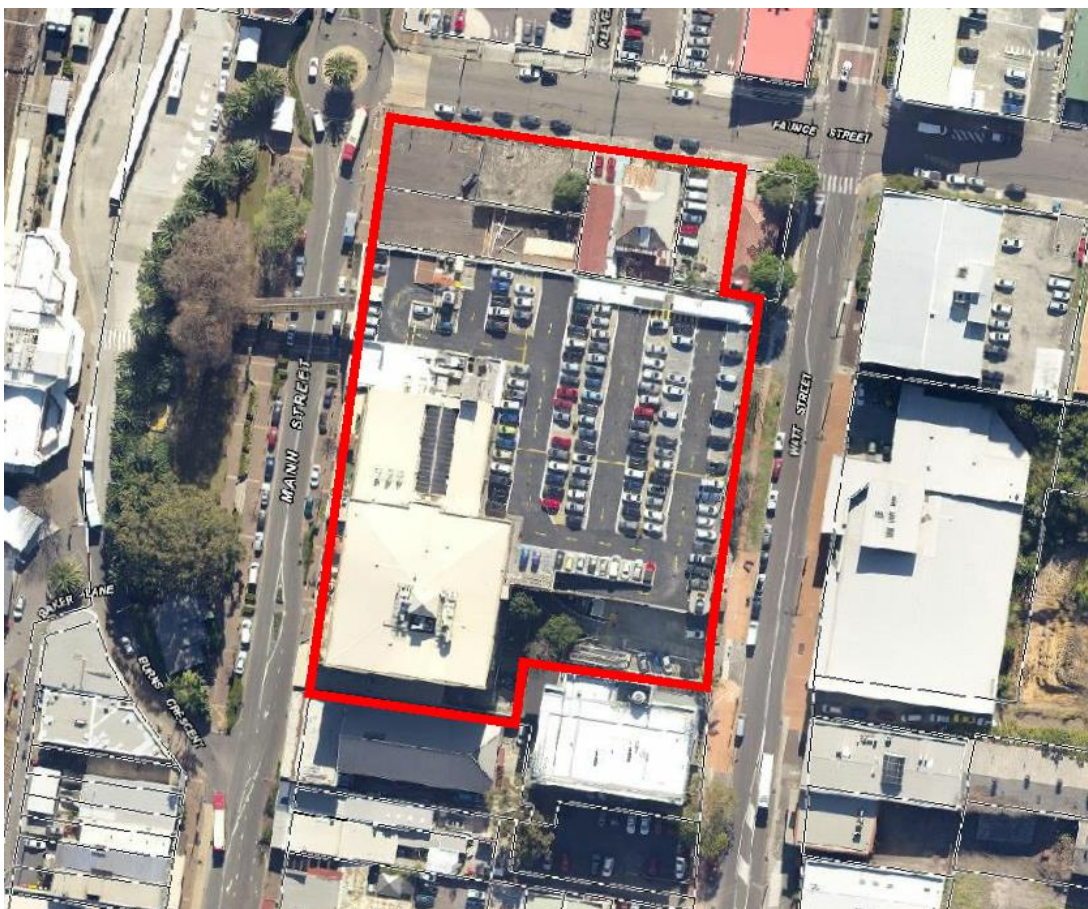


Figure 1: Site location

Table 1: Site Details

Address	Existing Use	Legal Description
8-16 Watt Street	Four Storey Shopping Centre	Lot 112 DP 1022614
243 Mann Street	Ground Level Car Parking	Lot 4 DP 1191104
249 Mann Street	Ground Level Car Parking	Lot 3 DP 1191104
135 Faunce Street	Single Storey detached dwelling	Lot 3 DP 1191104
137 Faunce Street	Two Storey detached dwelling	Lot 1 DP 1191104
Total		



Figure 2: Site details

2.2 Proposed Development

The proposed State Significant Development Application (SSD DA) seeks concept development approval for the redevelopment of the Gosford Gateway Centre.

The concept development proposes three mixed use towers and a public plaza. The development will be constructed in stages.

The concept development application will be subject to subsequent Development Applications with development approvals required for each stage.

Full details of the proposal are included in the Environmental Impact Statement prepared by Barker Ryan Stewart.

3 Existing Utility Services

3.1 Dial Before You Dig

A Dial Before You Dig utility services search was undertaken on 21 February 2020 to acquire all the relevant information on available existing underground utility services that can be utilised by the development.

The Dial Before You Dig search request and reply are attached in Appendix A.

3.2 Electricity

Electrical services are available for connection to the site.

Enquires with Ausgrid have been made in relation to the provisioning requirements for the development

The electrical plans from Ausgrid are attached in Appendix B.

3.3 Telstra

Telstra mains are laid within the road verge along the entire length of the subject sites north, west and eastern boundaries.

The underground telecommunication plans from Telstra are attached in Appendix C.

3.4 Optus

Optus has a major Optic Fibre Network in the road verges of Faunce Street and Mann Street adjacent to the northern and western boundaries. The assets in this area are of **National Significance**.

There is also optic fibre in the road verge for the full frontage along Watt Street.

The underground telecommunications plans, from Optus are attached in Appendix D.

Care should be taken during construction to avoid impacts on existing cables. In particular, care should be taken during construction to avoid any impact on the Optus Optic Fibre Network located in the road verge of Mann and Faunce Streets located along the western and northern boundaries respectively. The assets in this area are of National Significance.

3.5 NBN

NBN fibre optic cables exist within the road verge along all three frontages of the site being Mann Street, Watt Street and Faunce Street.

The NBN plans are attached in Appendix E.

3.6 AAPT (PowerTel)

AAPT (PowerTel) underground fibre optic telecommunications cables are in the vicinity of the site located on the northern side of Faunce Street.

The plans showing the location of these assets are attached in Appendix F.

3.7 Nextgen

Nextgen Networks does not have any telecommunications assets available or that would be affected by development works.

A plan showing the location of Nextgen assets is attached in Appendix G.

3.8 Pipe Networks

Pipe Networks has infrastructure located in the verge starting from just south of the subject site on Watt Street and extending through to Faunce Street.

The plan showing the location of Pipe Networks assets is attached in Appendix H.

3.9 Gas

A 160mm PE distribution gas main with 210 kPa pressure located within the road verge extends for the full length of the eastern property boundary along Watt Street.

The underground gas main plans from Jemena are attached in Appendix I.

3.10 Watermain

A 200mm diameter CICL water main is located along the Mann Street boundary of the property with additional 100mm CICL watermain's running the full length of the northern and eastern boundaries in the road verge of Faunce and Watt Streets. Pressure tests have been completed with the results shown in Appendix K.

The water main location plans from Central Coast Council are attached in Appendix J.

3.11 Sewer

Plans supplied by Central Coast Council show that an existing 300mm diameter sewer main currently runs through the centre of the proposed development, however the sewer main may not be adequate to service the proposed sewage load. Council prefer the sewer to be gravitated via suitable internal sewer pipe and discharge to the allocated junction or an additional junction cut-in, if required.

The sewer main location plans from Central Coast Council are attached in Appendix J.

The sewer long section and plan can be found in Appendix L.

The internal sewer system plans can be found in Appendix M.

4 Impacts of proposed development on existing services and utilities

4.1 Electricity

Ausgrid has no objections to the development.

Based on discussions with Ausgrid staff we have been advised that approximately 3 chamber substations will be required. There is sufficient space on site to accommodate the substations and their location will be confirmed at the subsequent DA stages

4.2 Telecommunications

Telecommunication services are available for connection to the site.

Care should be taken during construction to avoid impacts on existing cables. In particular, care should be taken during construction to avoid any impact on the Optus Optic Fibre Network located in the road verge of Mann Street and Faunce Street adjacent to the western and northern boundaries. The assets in this area are of National Significance.

4.3 Gas

Gas supply is available along the full length of the Watt Street boundary within the road verge and is available for connection.

4.4 Water

Water services are available to the site. A pressure and flow rate test of the existing DN200 water main located on Mann Street was completed the results and reply can be found in Appendix K.

This proposal is for a concept DA and more detailed investigations for infrastructure upgrades will be required for the subsequent DA submissions.

The water main location plans from Central Coast Council are attached in Appendix J.

4.5 Sewer

This proposal is for a concept DA and more detailed investigations for infrastructure upgrades will be required for the subsequent DA submissions.

The sewer main location plans from Central Coast Council are attached in Appendix J.

The sewer long section and plan can be found in Appendix L.

The internal sewer system plans can be found in Appendix M.

5 Summary

This report has investigated the existing underground utility services located in the surrounding road network that will provide an essential service to this State Significant Development site. The following utility services are available:

- Low voltage underground electricity
- Telstra Telecommunications
- Optus Fibre Optic Telecommunications Network
- NBN
- AAPT (PowerTel) Fibre Optic Telecommunications
- 160mm PE distribution gas main
- 200mm CIL Watermain
- 300mm Sewer Main

Provided appropriate construction procedures are implemented (including detailed sub-surface and above ground investigations of service infrastructure is undertaken prior to earthworks) and all work is completed in accordance with the requirements of the various service providers, the development can proceed without adversely impacting on utility infrastructure for the locality.

Appendix A: Dial Before You Dig Plans

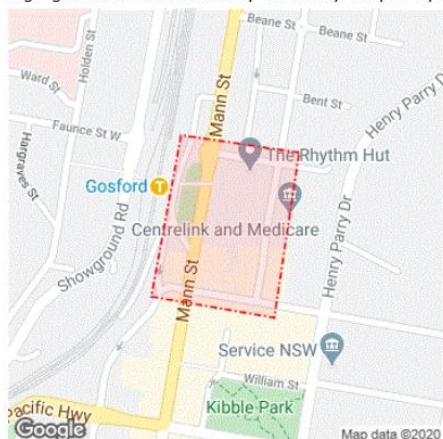
**Job No 19079639**Phone: 1100
www.1100.com.au**Caller Details**

Contact: Mr Jonathan Terry
Company: Barker Ryan Stewart
Address: Level 6 12 Century Circuit
 Baulkham Hills NSW 2153

Caller Id: 1833059 **Phone:** 0296590015
Mobile: Not Supplied **Fax:** Not Supplied
Email: jonathan@brs.com.au

Dig Site and Enquiry Details

WARNING: The map below only displays the location of the proposed dig site and does not display any asset owners' pipe or cables. The area highlighted has been used only to identify the participating asset owners, who will send information to you directly.



User Reference: Gosford Gateway
Working on Behalf of: Private
Enquiry Date: 21/02/2020 **Start Date:** 22/02/2020 **End Date:** 25/12/2020

Address:
 8-16 Watt Street
 Gosford NSW 2250

Job Purpose:

Excavation

Onsite Activity:

Manual Excavation

Location of Workplace:

Both

Location in Road:

CarriageWay, Footpath, Nature Strip

- Check the location of the dig site is correct. If not submit a new enquiry.
- If the scope of works change, or plan validity dates expire, resubmit your enquiry.
- Do NOT dig without plans. Safe excavation is your responsibility. If you do not understand the plans or how to proceed safely, please contact the relevant asset owners.

Notes/Description of Works:**Your Responsibilities and Duty of Care**

- The lodgement of an enquiry does not authorise the project to commence. You must obtain all necessary information from any and all likely impacted asset owners prior to excavation.
- If plans are not received within 2 working days, contact the asset owners directly & quote their Sequence No.
- ALWAYS perform an onsite inspection for the presence of assets. Should you require an onsite location, contact the asset owners directly. Please remember, plans do not detail the exact location of assets.
- Pothole to establish the exact location of all underground assets using a hand shovel, before using heavy machinery.
- Ensure you adhere to any State legislative requirements regarding Duty of Care and safe digging requirements.
- If you damage an underground asset you **MUST** advise the asset owner immediately.
- By using this service, you agree to Privacy Policy and the terms and disclaimers set out at **www.1100.com.au**
- For more information on safe excavation practices, visit **www.1100.com.au**

Asset Owner Details

The assets owners listed below have been requested to contact you with information about their asset locations within 2 working days. Additional time should be allowed for information issued by post. It is **your responsibility** to identify the presence of any underground assets in and around your proposed dig site. Please be aware, that not all asset owners are registered with the Dial Before You Dig service, so it is **your responsibility** to identify and contact any asset owners not listed here directly.

** Asset owners highlighted by asterisks ** require that you visit their offices to collect plans.

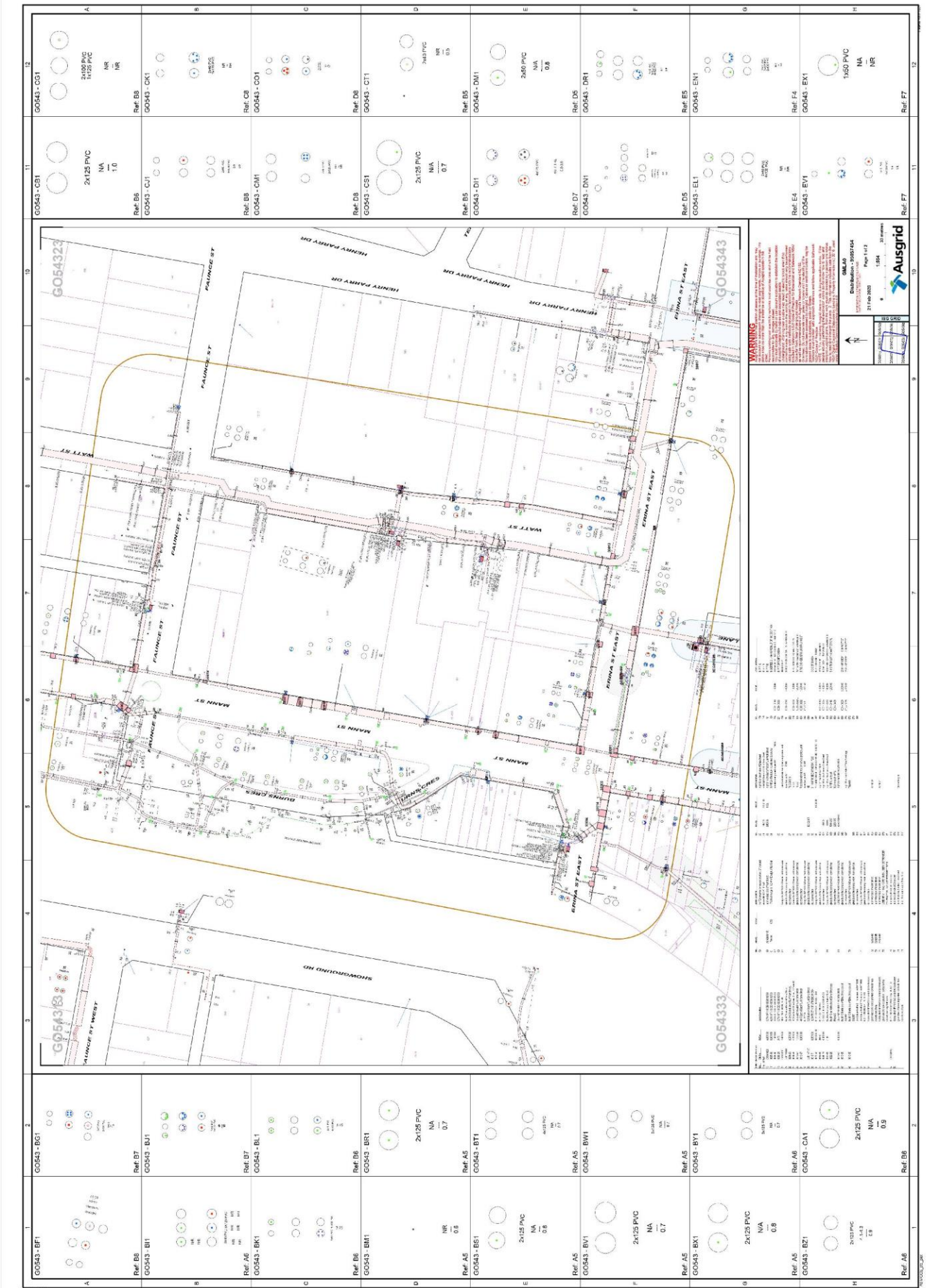
Asset owners highlighted with a hash require that you call them to discuss your enquiry or to obtain plans.

Seq. No.	Authority Name	Phone	Status
95057452	AAPT / PowerTel, NSW	1800786306	NOTIFIED
95057454	Ausgrid	0249510899	NOTIFIED
95057450	Central Coast Council	0243503111	NOTIFIED
95057457	Jemena Gas North	1300880906	NOTIFIED
95057458	NBN Co, NswAct	1800626329	NOTIFIED
95057456	Optus and/or Uecomm, Nsw	1800505777	NOTIFIED
95057453	PIPE Networks, Nsw	1800201100	NOTIFIED
95057451	Roads and Maritime Services	0288370285	NOTIFIED
95057455	Telstra NSW, Central	1800653935	NOTIFIED

END OF UTILITIES LIST

Lodge Your Free Enquiry Online – 24 Hours a Day, Seven Days a Week [NSW]

Appendix B: Ausgrid Underground Electrical Plans



Appendix C: Telstra Underground Telecommunications Plans



For all Telstra DBYD plan enquiries -
email - Telstra.Plans@team.telstra.com
For urgent onsite contact only - ph 1800 653 935 (bus hrs)

TELSTRA CORPORATION LIMITED A.C.N. 051 775 556

Generated On 21/02/2020 11:24:39

Sequence Number: 95057455

**CAUTION: Critical Network Route in plot area.
DO NOT PROCEED with any excavation prior to
seeking advice from Telstra Plan Services on :
1800 653 935**

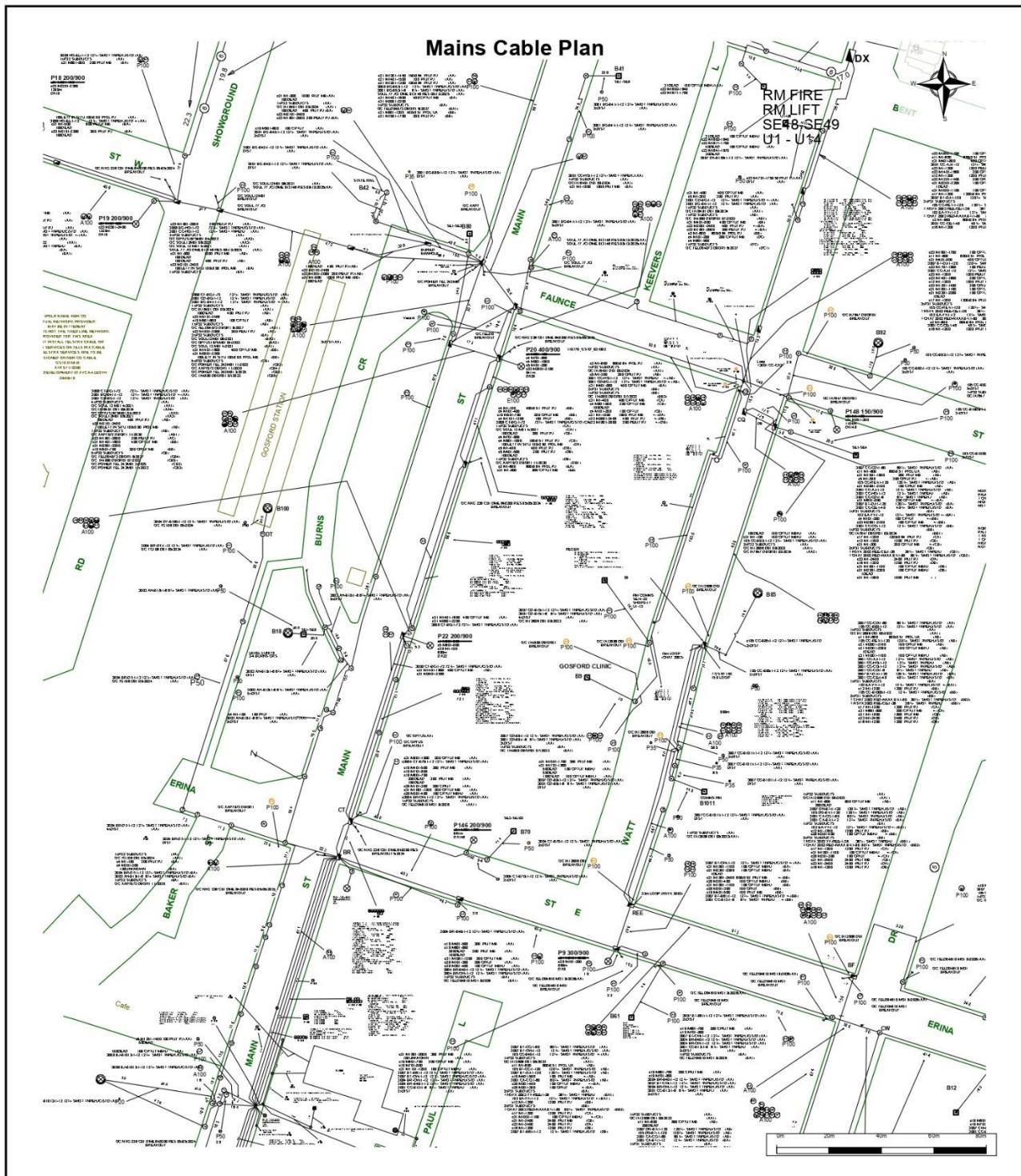
The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

WARNING - Due to the nature of Telstra underground plant and the age of some cables and records, it is impossible to ascertain the precise location of all Telstra plant from Telstra's plans. The accuracy and/or completeness of the information supplied can not be guaranteed as property boundaries, depths and other natural landscape features may change over time, and accordingly the plans are indicative only. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans.

It is your responsibility to locate Telstra's underground plant by careful hand pot-holing prior to any excavation in the vicinity and to exercise due care during that excavation.

Please read and understand the information supplied in the duty of care statement attached with the Telstra plans. TELSTRA WILL SEEK COMPENSATION FOR LOSS CAUSED BY DAMAGE TO ITS PLANT.

Telstra plans and information supplied are valid for 60 days from the date of issue. If this timeframe has elapsed, please reapply for plans.



For all Telstra DBYD plan enquiries -
email - Telstra.Plans@team.telstra.com
For urgent onsite contact only - ph 1800 653 935 (bus hrs)

TELSTRA CORPORATION LIMITED A.C.N. 051 775 556

Generated On 21/02/2020 11:24:46

Sequence Number: 95057455

**CAUTION: Critical Network Route in plot area.
DO NOT PROCEED with any excavation prior to
seeking advice from Telstra Plan Services on :
1800 653 935**

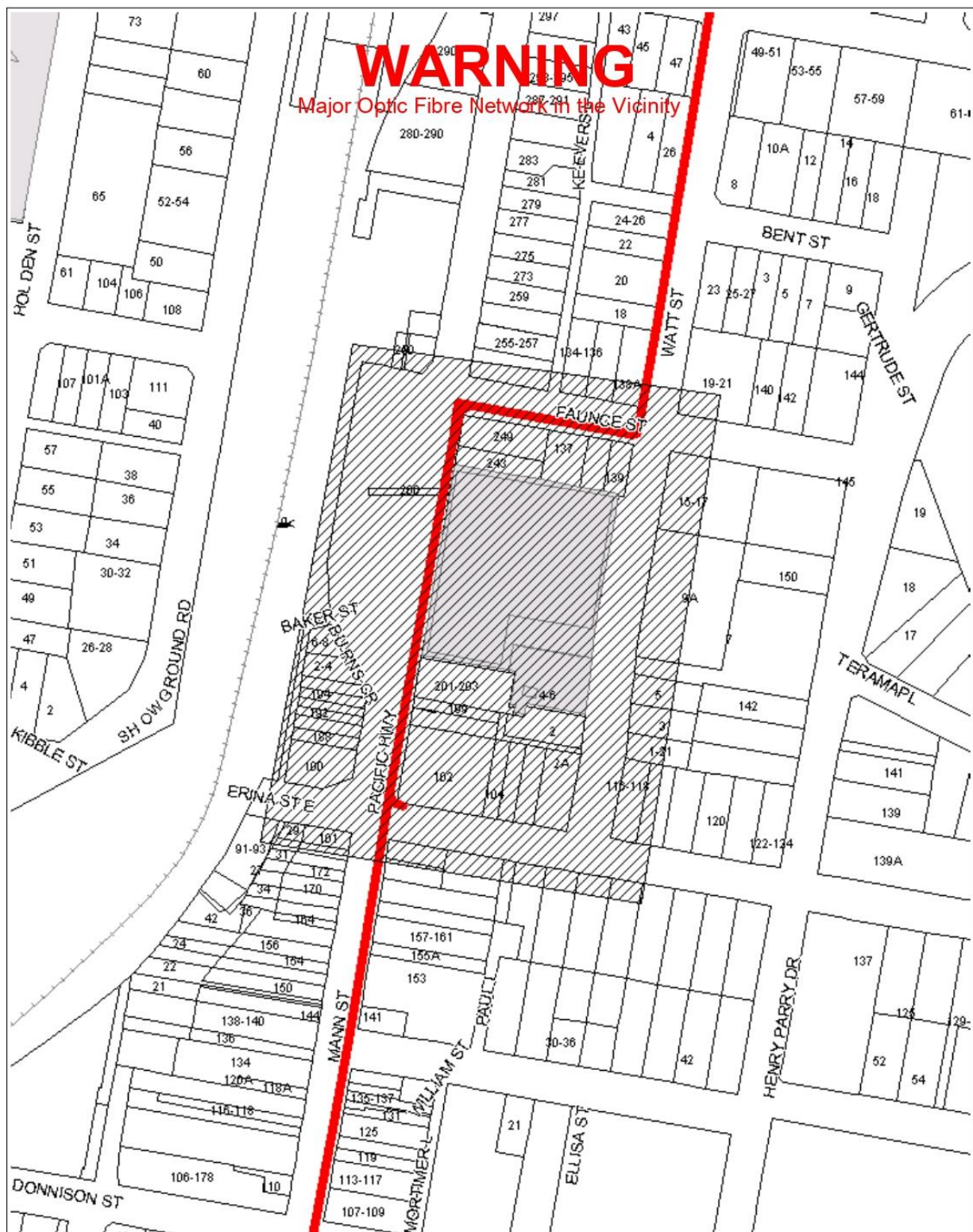
WARNING - Due to the nature of Telstra underground plant and the age of some cables and records, it is impossible to ascertain the precise location of all Telstra plant from Telstra's plans. The accuracy and/or completeness of the information supplied can not be guaranteed as property boundaries, depths and other natural landscape features may change over time, and accordingly the plans are indicative only. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans.

It is your responsibility to locate Telstra's underground plant by careful hand pot-holing prior to any excavation in the vicinity and to exercise due care during that excavation.

Please read and understand the information supplied in the duty of care statement attached with the Telstra plans. TELSTRA WILL SEEK COMPENSATION FOR LOSS CAUSED BY DAMAGE TO ITS PLANT.

Telstra plans and information supplied are valid for 60 days from the date of issue. If this timeframe has elapsed, please reapply for plans.

Appendix D: Optus Fibre Optic Telecommunications Plans



WARNING: This document is confidential and may also be privileged. Confidentiality nor privilege is not waived or destroyed by virtue of it being transmitted to an incorrect addressee. Unauthorised use of the contents is therefore strictly prohibited. Any information contained in this document that has been extracted from our records is believed to be accurate, but no responsibility is assumed for any error or omission. Optus Plans and information supplied are valid for 30 days from the date of issue. If this timeline has elapsed please raise a new enquiry.

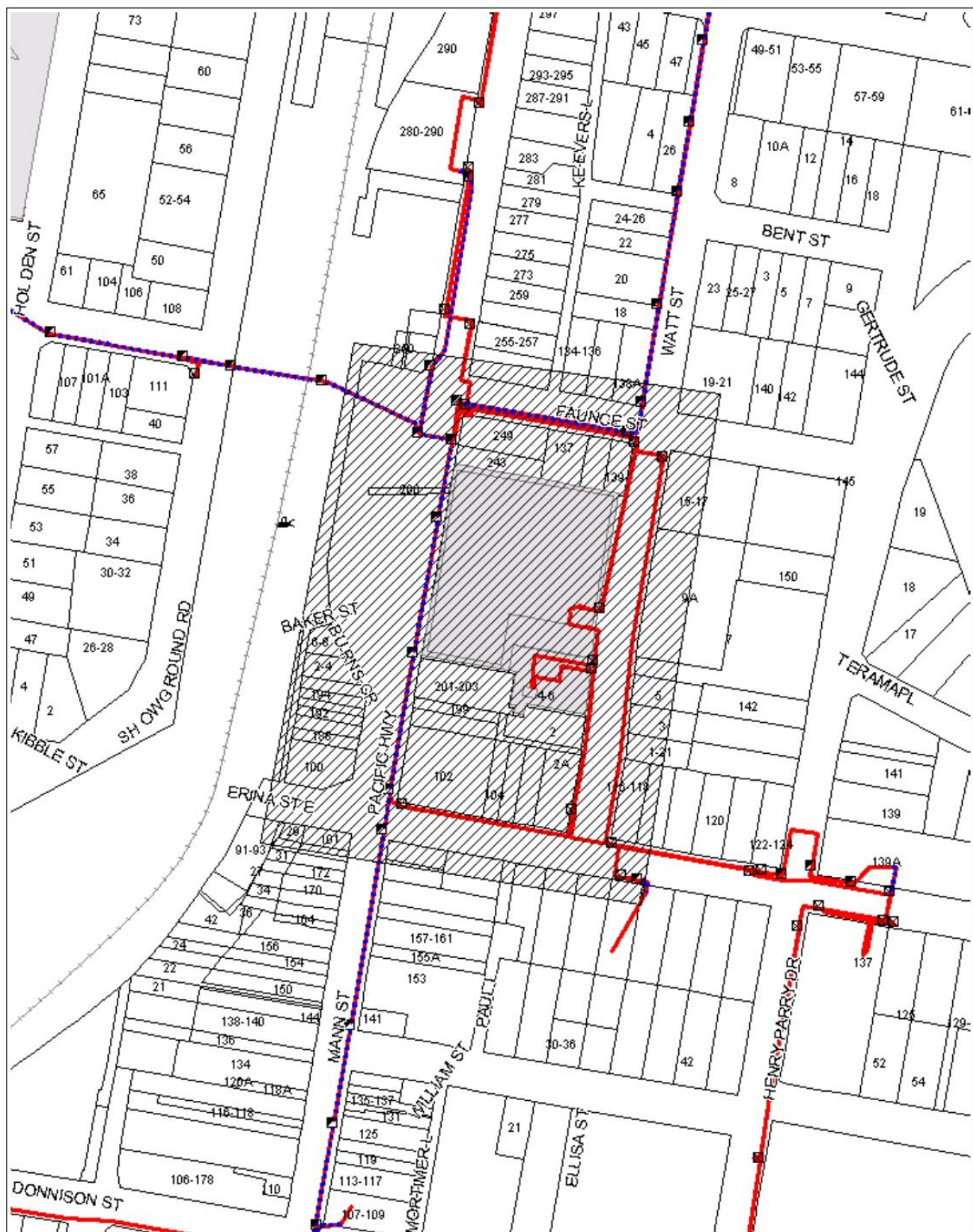
Sequence Number: 95057456

Date Generated: 21/02/2020



For all Optus DBYD plan enquiries –
Email: Fibre.Locations@optus.net.au
For urgent onsite assistance contact 1800 505 777
Optus Limited ACN 052 833 208





WARNING: This document is confidential and may also be privileged. Confidentiality nor privilege is not waived or destroyed by virtue of it being transmitted to an incorrect addressee. Unauthorised use of the contents is therefore strictly prohibited. Any information contained in this document that has been extracted from our records is believed to be accurate, but no responsibility is assumed for any error or omission. Optus Plans and information supplied are valid for 30 days from the date of issue. If this timeline has elapsed please raise a new enquiry.

Sequence Number: 95057456

Date Generated: 21/02/2020



For all Optus DBYD plan enquiries –
Email: Fibre.Locations@optus.net.au
For urgent onsite assistance contact 1800 505 777
Optus Limited ACN 052 833 208



Appendix E: NBN Underground Communications Plans



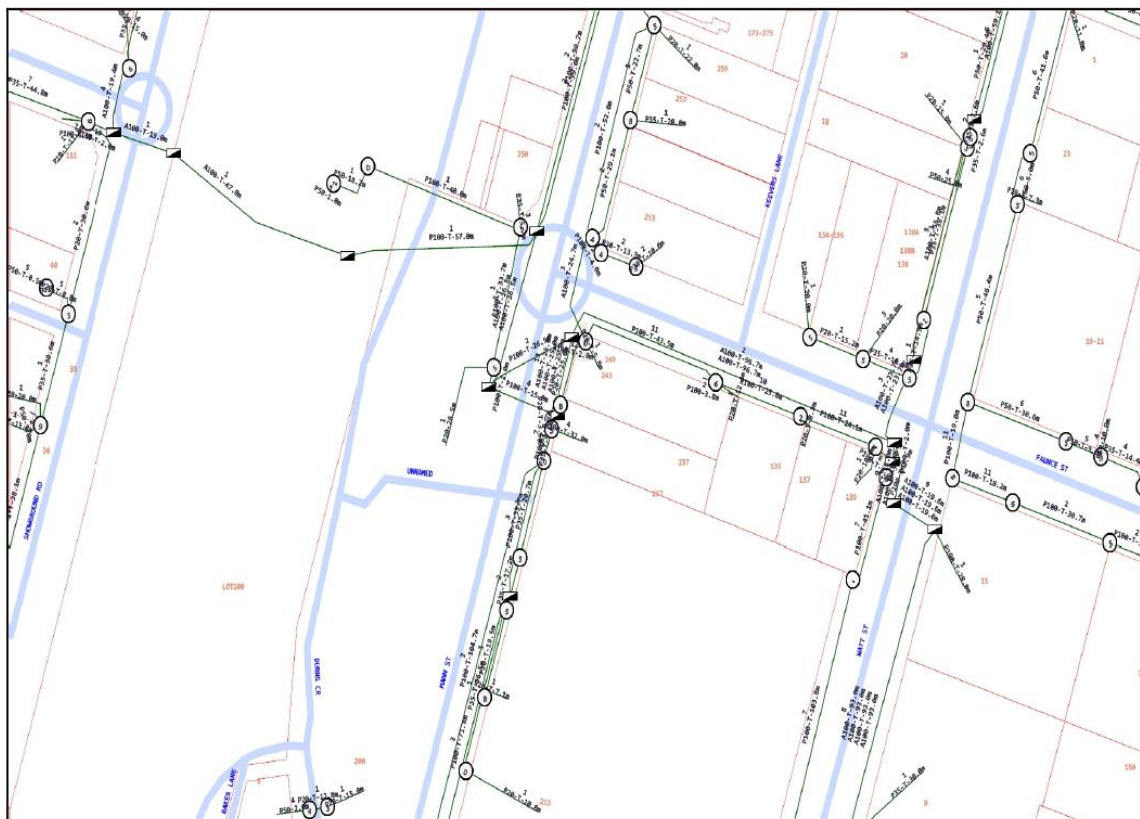
Indicative Plans

Issue Date:	21/02/2020	 The logo features a red circle with a black 'X' over a white icon of a person digging. To the right, the text 'DIAL BEFORE YOU DIG' is written in bold, with 'DIAL' and 'BEFORE' in red and 'YOU DIG' in black. Below this, the website 'www.1100.com.au' is listed.
Location:	8-16 Watt Street , Gosford , NSW , 2250	





	LEGEND
	Parcel and the location
	Pit with size "5"
	Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null.
	Manhole
	Pillar
	Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart.
	2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart.
	Trench containing any INSERVICE/CONSTRUCTED (Copper/RF/Fibre) cables.
	Trench containing only DESIGNED/PLANNED (Copper/RF/Fibre/Power) cables.
	Trench containing any INSERVICE/CONSTRUCTED (Power) cables.
	Road and the street name "Broadway ST"
Scale	0 20 40 60 Meters 1:2000 1 cm equals 20 m

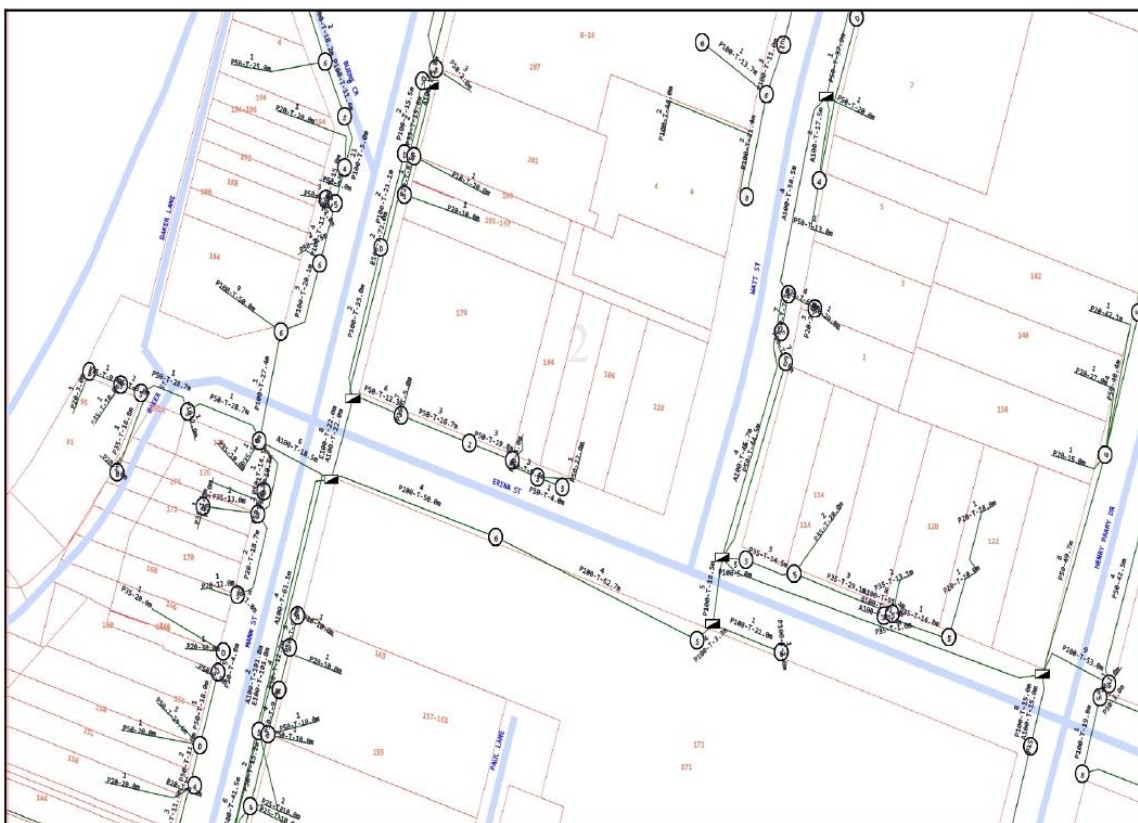


Level 11, 100 Arthur Street, North Sydney NSW 2060

© 2015 nbn co limited | ABN 86 136 533 741

Email info@nbn.com.au

Web nbn.com.au



Emergency Contacts

You must immediately report any damage to **nbn™** network that you are/become aware of. Notification may be by telephone - 1800 626 329.

Appendix F: AAPT (PowerTel) Underground Fibre Optic Telecommunications Plans



Response Cover Letter

Date: 21/02/2020

AAPT (PowerTel) Limited
GPO Box 7041 Sydney 2001
Phone: 1800 786 306
A/H: 1800 786 306

To:

Mr Jonathan Terry Customer ID: 1833059
Barker Ryan Stewart
Level 6 12 Century Circuit
Baulkham Hills NSW 2153

Email: jonathan@brs.com.au
Phone: 0296590015
Fax: Not Supplied
Mobile: Not Supplied



Dear Mr Jonathan Terry

The following is our response to your Dial Before You Dig enquiry.

AAPT ASSETS ARE AFFECTED BY YOUR ENQUIRY 95057452

Sequence Number: 95057452
Location: 8-16 Watt Street
Gosford
NSW
2250
Commencement Date: 22/02/2020

In relation to your enquiry at the above address, AAPT (PowerTel) advises as follows.

The records of AAPT (PowerTel) Limited disclose that there are underground FIBRE OPTIC / TELECOMMUNICATIONS cables in the vicinity of the above enquiry.

Your enquiry has been dispatched to an AAPT (PowerTel) Route Technician who will contact you ASAP with further information regarding the exact location of the AAPT (PowerTel) network.

Should the scope of your work or the area of your work change, please contact as below to receive further advice. Due to continued network expansion, the network information can only be considered valid and accurate for 28 days from issue.

AAPT will seek compensation for any damage to its network through negligence or ignorance of duty of care. Should you require any further information, please contact as below:

AAPT
Ph: 1800 786 306

DISCLAIMER: This document has been prepared solely for the use of AAPT. It should not be scaled to locate any asset. No warranty is given that the information given is accurate or complete

DUTY OF CARE

Due to the nature of underground cables and the age of some cables and records the accuracy and/or completeness of the information cannot be guaranteed and, accordingly, they are indicative only and as a result AAPT (PowerTel) does not accept any responsibility for any inaccuracies of its plans. They should not be solely relied upon when undertaking underground works. It is also inaccurate to assume that fibre optic cables follow straight lines and careful onsite investigations are essential to locate an assets exact position.

The following minimum clearances must be maintained.

- 1) 300mm when laying asset's inline, horizontal or vertical.
- 2) 500mm when operating vibrating equipment. Eg: Vibrating plates.
- 3) 1000mm when operating mechanical excavators or Jackhammers.

ON SITE LOCATING OF AAPT'S (POWERTEL) CABLING AND INFRASTRUCTURE MUST BE CONDUCTED BY AAPT'S (POWERTEL) PERSONNEL ONLY. AAPT (POWERTEL) WILL USE ALL LEGAL MEANS TO SEEK DAMAGES AND ANY OTHER REMEDIES AVAILABLE TO IT IN THE EVENT THAT ITS CABLE OR ANY OTHER NETWORK INFRASTRUCTURE IS DAMAGED BY YOU OR YOUR PERSONNEL AND/OR CONTRACTORS. IT IS AN OFFENCE TO OPEN ANY AAPT'S (POWERTEL) PITS OR MANHOLES AND/OR ANY ASSOCIATED INFRASTRUCTURE BELONGING TO OR PART OF AAPT'S (POWERTEL) NETWORK

Due to the inherent dangers associated with excavation in the vicinity of underground cables, precautions should be taken in the undertaking of any underground works, including (but not limited to) the following.

All excavation sites should be examined for underground cables by careful hand excavation. Cable cover slabs & Manhole covers must not be disturbed. Hand excavation needs to be undertaken with extreme care to minimise the possibility of damage to the cable.

EG: Blades of hand equipment should be orientated parallel to the line of the cable rather than digging across the cable.

All personnel must be properly briefed, particularly those associated with the use of earth-moving equipment, trenching, boring and pneumatic equipment.

All excavations must be undertaken in accordance with the relevant legislation and regulations.

ANY DAMAGE TO AAPT (POWERTEL) NETWORK MUST BE REPORTED IMMEDIATELY TO 1800 786 306

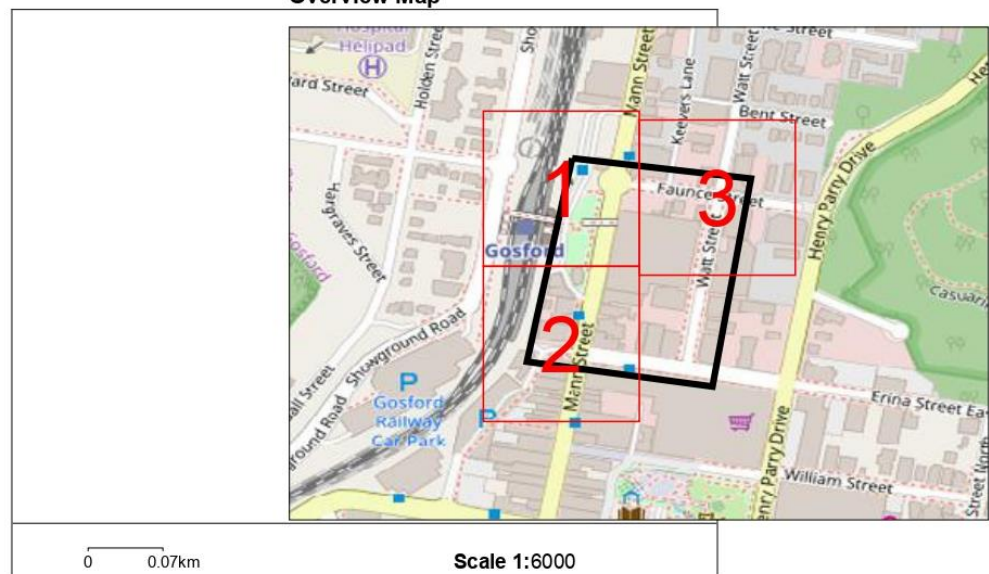
Any information provided is valid only for 28 days from the date of issue of this document.

If the work operations extend beyond this period, or if the designs are altered in any way, you are requested to re-submit your proposal for re-assessment by contacting Dial Before You Dig ph:1100 or www.dialbeforeyoudig.com.au

Onsite visits by AAPT (PowerTel) agents may incur costs, this would solely depend on the type and extent of the work to be carried out.

EG: Major roadwork's, network relocation's, Large planning and design work's.

Overview Map

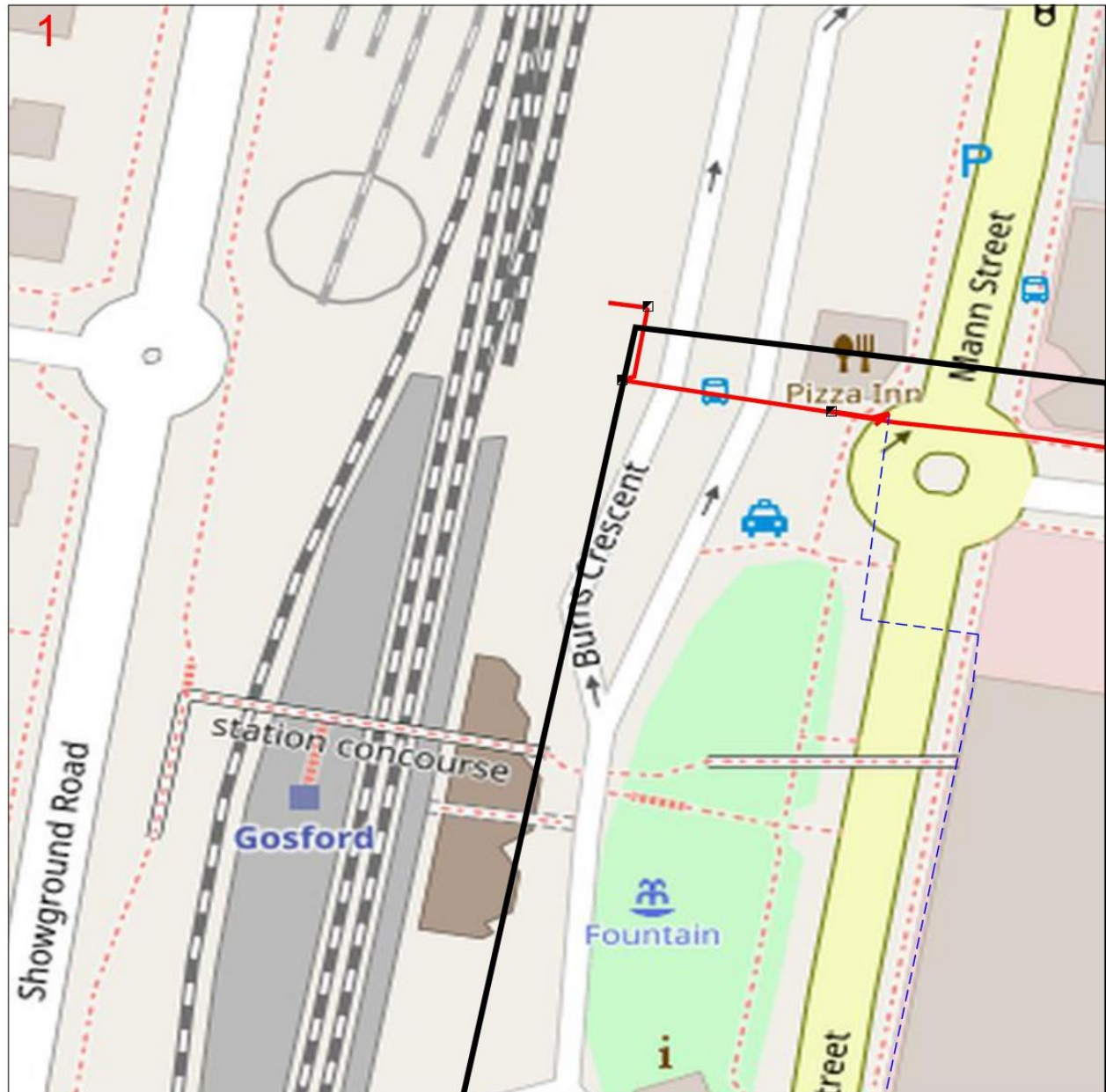


AAPT (for information specific to this job only) PH 1800 786 306

DISCLAIMER: This document has been prepared solely for the use of AAPT. It should not be scaled to locate any asset. No warranty is given that the information given is accurate or complete



AAPT (PowerTel) Limited GPO Box 7041 Sydney 2001
Phone: 1800 786 306 A/H 1800 786 306



Enquiry Number: 95057452

Map Sheet: 1

Scale: 1:750

0 0.008km

LEGEND:

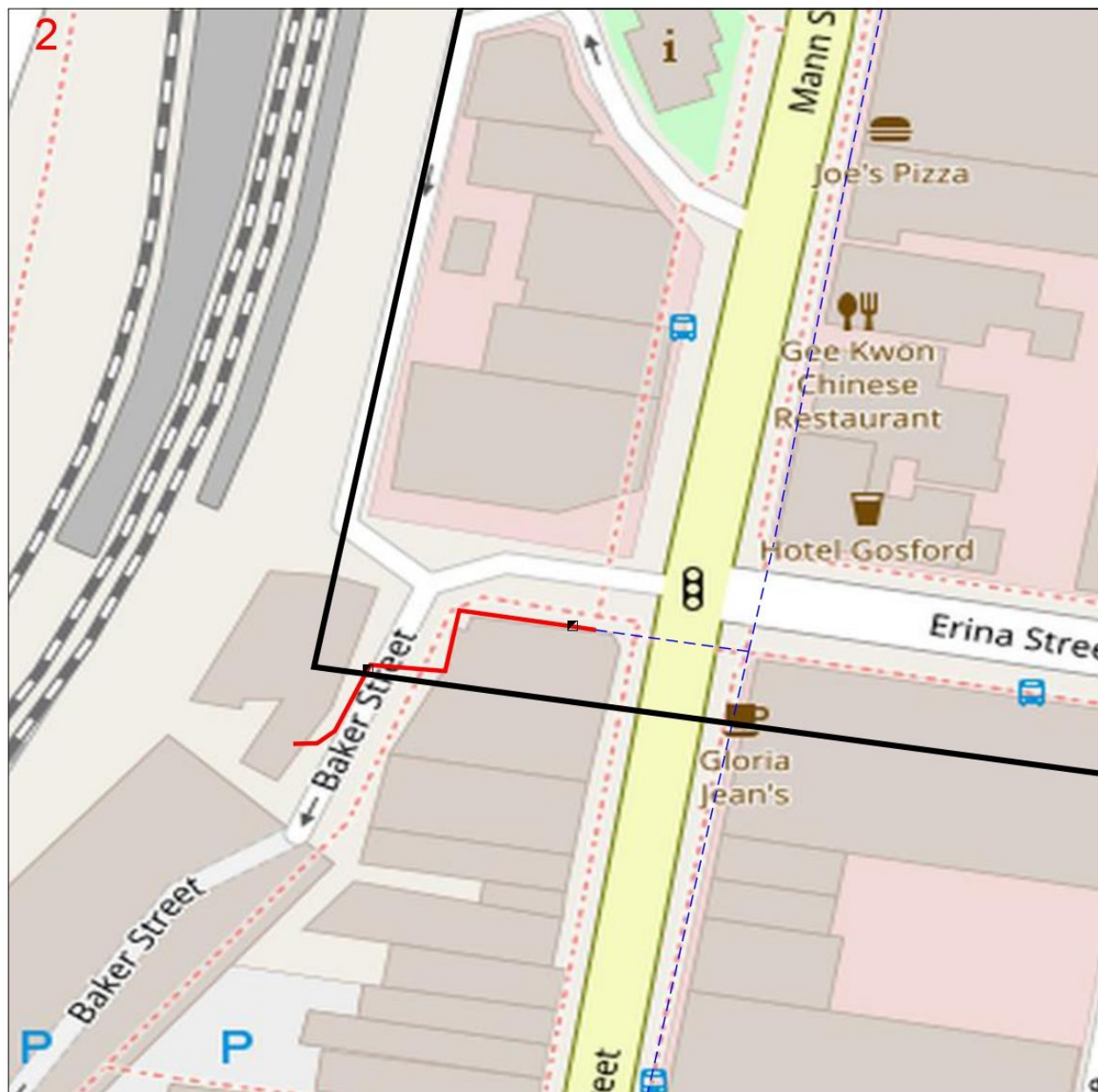
- DBYD Work Area
- AAPT Duct
- Non AAPT Duct
- AAPT Manhole



DISCLAIMER: This document has been prepared solely for the use of AAPT. It should not be scaled to locate any asset. No warranty is given that the information given is accurate or complete



AAPT (PowerTel) Limited GPO Box 7041 Sydney 2001
Phone: 1800 786 306 A/H 1800 786 306



Enquiry Number: 95057452

Map Sheet: 2

Scale: 1:750

0 0.008km

LEGEND:

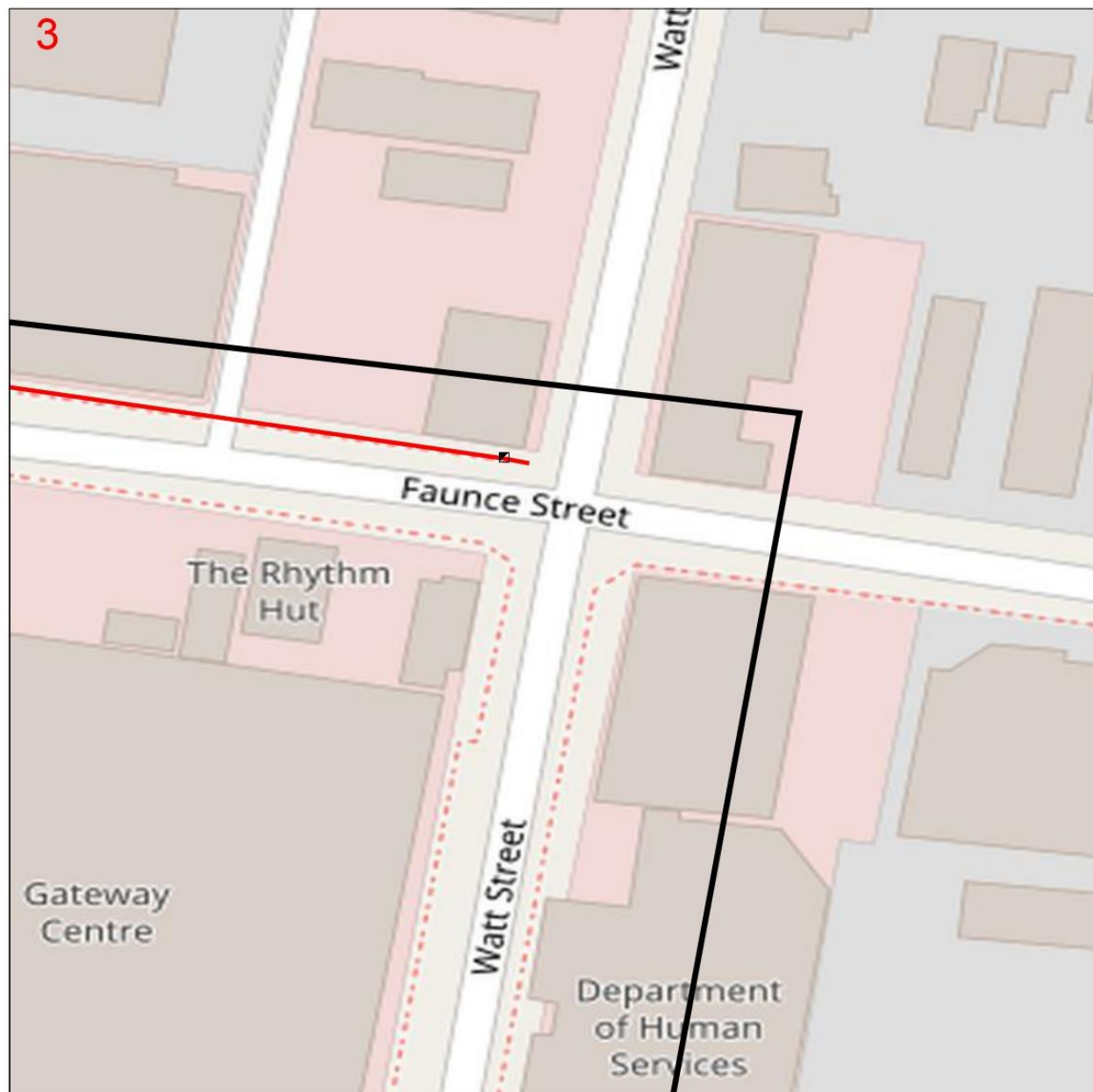
- DBYD Work Area
- AAPT Duct
- Non AAPT Duct
- AAPT Manhole



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AAPT (PowerTel) Limited GPO Box 7041 Sydney 2001
Phone: 1800 786 306 A/H 1800 786 306



Enquiry Number: 95057452

Map Sheet: 3

Scale: 1:750

0 0.008km

LEGEND:

- DBYD Work Area
- AAPT Duct
- Non AAPT Duct
- AAPT Manhole



DISCLAIMER: This document has been prepared solely for the use of AAPT. It should not be scaled to locate any asset. No warranty is given that the information given is accurate or complete

Appendix G: Nextgen Telecommunications Assets

Appendix H: Pipe Networks Response Letter



Level 17, PIPE Networks House, 127 Creek Street, Brisbane 4000
PH:(07) 3233 9895 FAX:(07) 3233 9880

Attention: Mr Jonathan Terry
Fax: Not Supplied
DBYD Enquiry Number: 95057453

Date: 21/02/2020

Location: 8-16 Watt Street
Gosford
NSW
2250

DBYD ENQUIRY RETURN:

PIPE Networks **DOES** own or operate telecommunications network infrastructure within the area detailed above.

The affected network **is contained in the PIPE Networks duct network** and can be found on **PIPE Networks** own network plans.

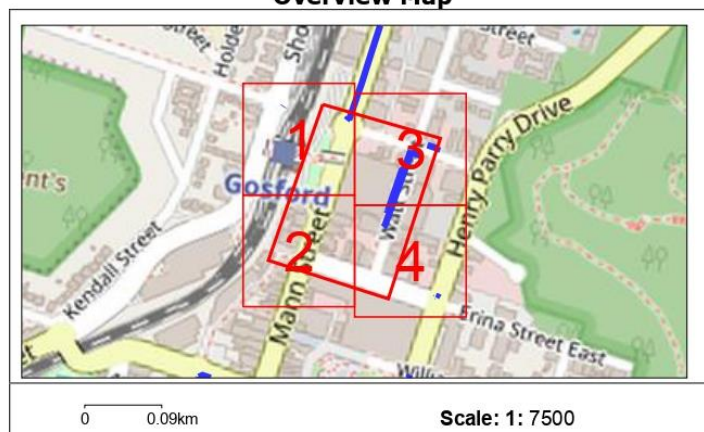
This network is vital to our operations and as such, it is critical that no works commence within the area until a PIPE Networks representative has contacted you.

A PIPE Networks representative will contact you within 24 hours to further discuss your intended works. If you do not hear from PIPE networks within 24hours please call us for assistance.

Due to continued network expansion, this network information can only be considered valid and accurate for 28 days from issue.

PIPE Networks will seek compensation for any damage to its network through negligence or ignorance of your duty of care.

Overview Map



PIPE Networks (for information specific to this job only)
Ph (07) 3233 9895
Email: dbyd@pipenetworks.com

DISCLAIMER: No responsibility/liability is taken by PIPE Networks for any inaccuracy, error, omission or action based on the information supplied in this correspondence.

Note: If the works fall in an area that adjacent to PIPE Networks infrastructure, a pre-inspection is required prior to commencement of works. Contact PIPE Networks to arrange an inspection time. **NO WORKS TO COMMENCE PRIOR TO INSPECTION.**



Only PIPE Networks' duct displayed.

For location of PIPE Networks cable in third-party duct, please contact third-party named on attached cover letter.



Enquiry Number: 95057453

Map Sheet: 1

Scale: 1:750

0 0.008km

LEGEND

DBYD Request Area Asset

Line
Area

Manhole
Duct



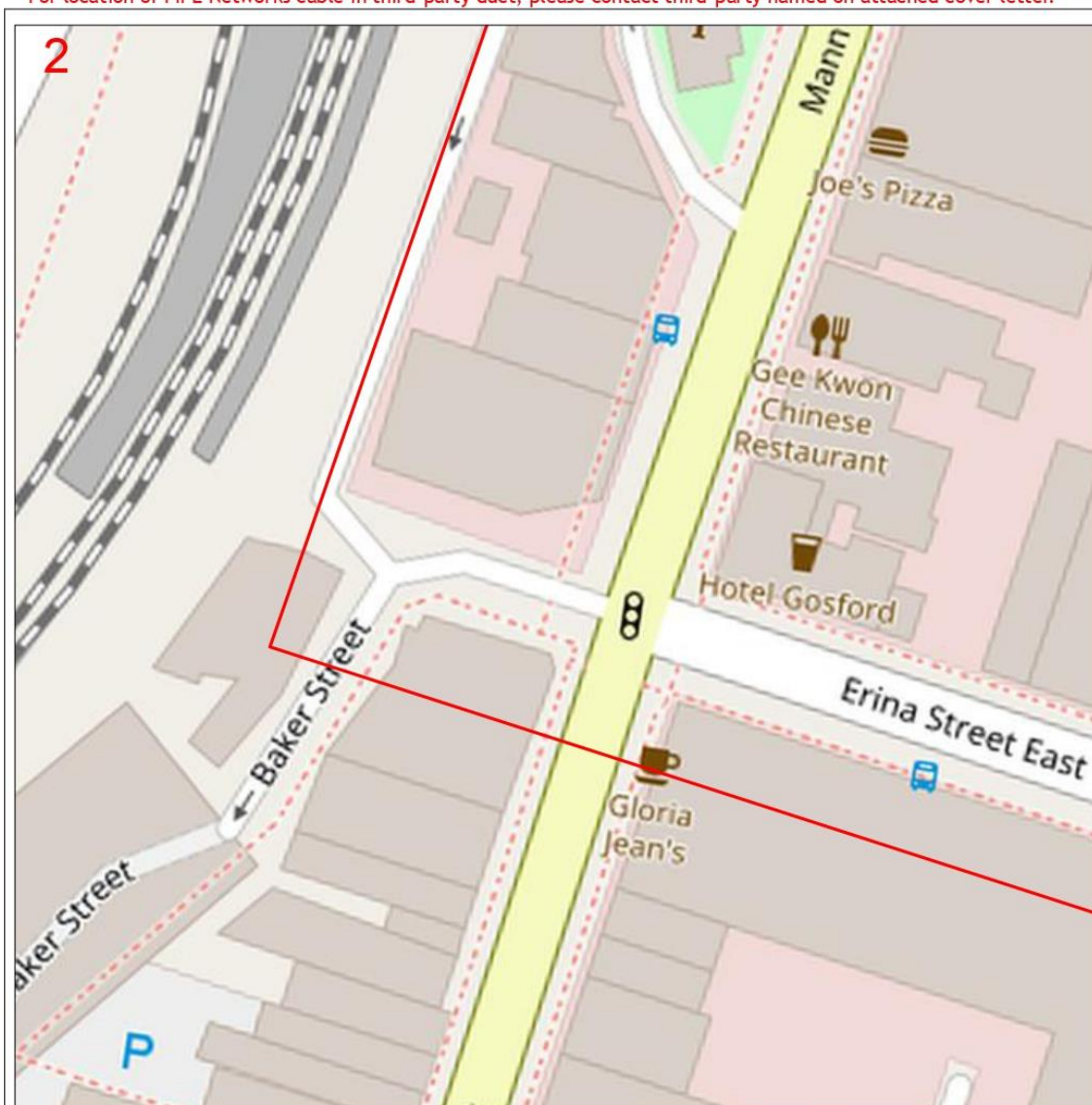
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Note: If the works fall in an area that is adjacent to PIPE Networks infrastructure, a pre-inspection is required prior to commencement of works. Contact PIPE Networks to arrange an inspection time. **NO WORKS TO COMMENCE PRIOR TO INSPECTION.**



Only PIPE Networks' duct displayed.

For location of PIPE Networks cable in third-party duct, please contact third-party named on attached cover letter.



Enquiry Number: 95057453

Map Sheet: 2

Scale: 1:750

0 0.008km

LEGEND

DBYD Request Area Asset



Line



Area



Manhole



Duct



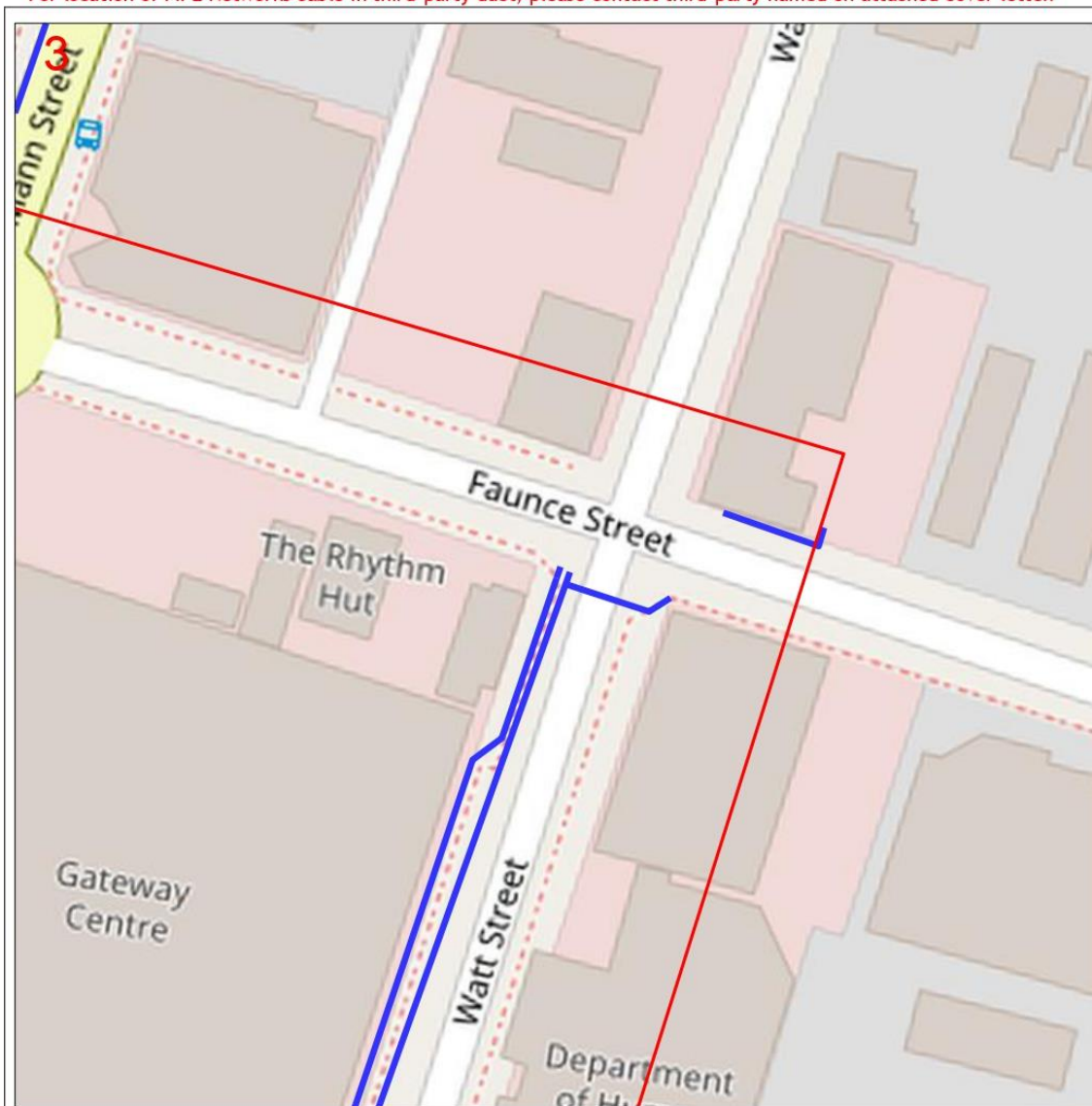
DISCLAIMER: No responsibility/liability is taken by PIPE Networks for any inaccuracy, error, omission or action based on the information supplied in this correspondence. © 2013 PIPE Networks Ltd.

Note: If the works fall in an area that is adjacent to PIPE Networks infrastructure, a pre-inspection is required prior to commencement of works. Contact PIPE Networks to arrange an inspection time. **NO WORKS TO COMMENCE PRIOR TO INSPECTION.**



Only PIPE Networks' duct displayed.

For location of PIPE Networks cable in third-party duct, please contact third-party named on attached cover letter.



Enquiry Number: 95057453

Map Sheet: 3

Scale: 1:750

0 0.008km

LEGEND

DBYD Request Area Asset



Line



Area



Manhole



Duct



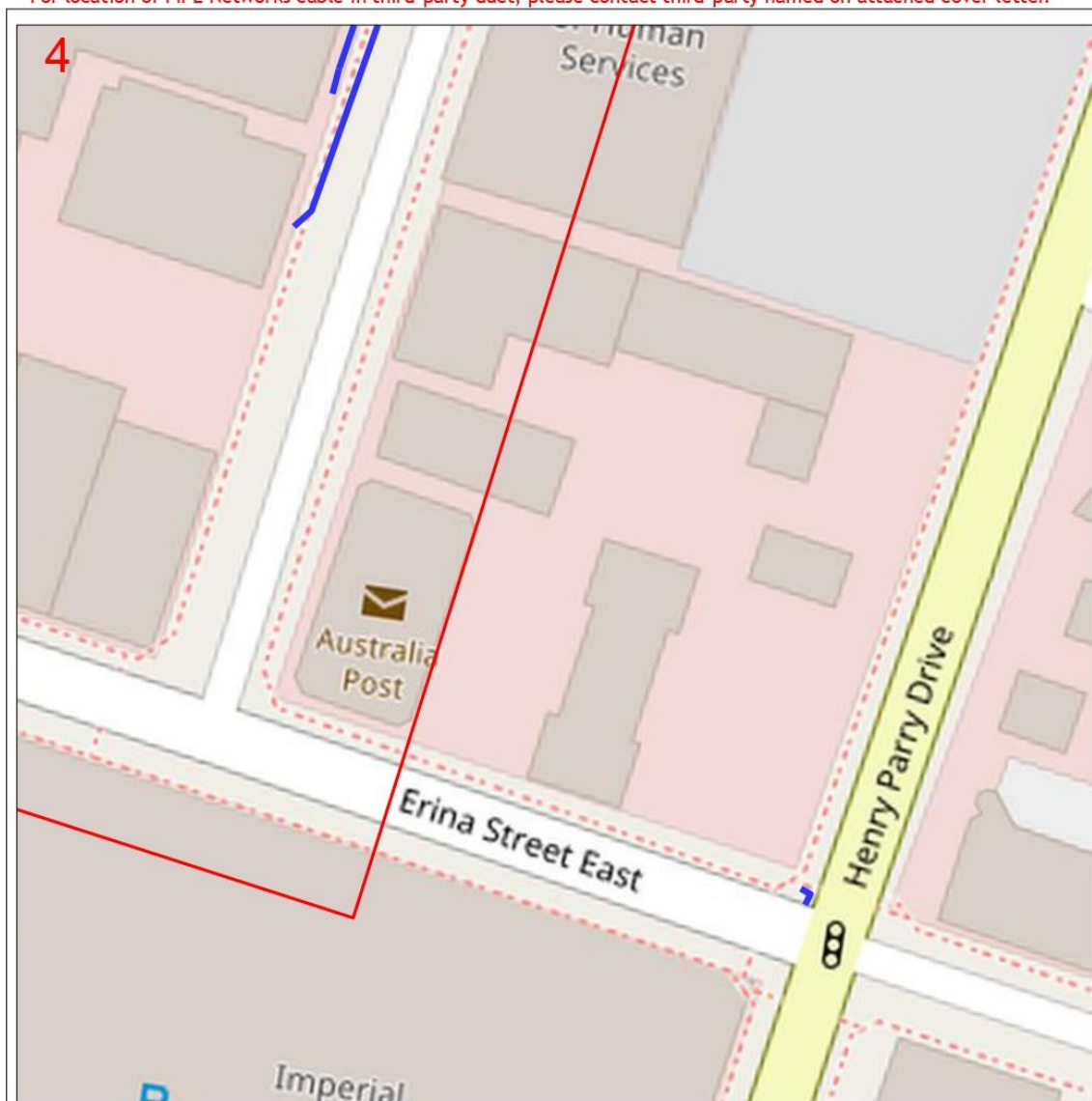
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Note: If the works fall in an area that is adjacent to PIPE Networks infrastructure, a pre-inspection is required prior to commencement of works. Contact PIPE Networks to arrange an inspection time. **NO WORKS TO COMMENCE PRIOR TO INSPECTION.**



Only PIPE Networks' duct displayed.

For location of PIPE Networks cable in third-party duct, please contact third-party named on attached cover letter.



Enquiry Number: 95057453

Map Sheet: 4

Scale: 1:750

0 0.008km

LEGEND

DBYD Request Area Asset



Line



Area



Manhole



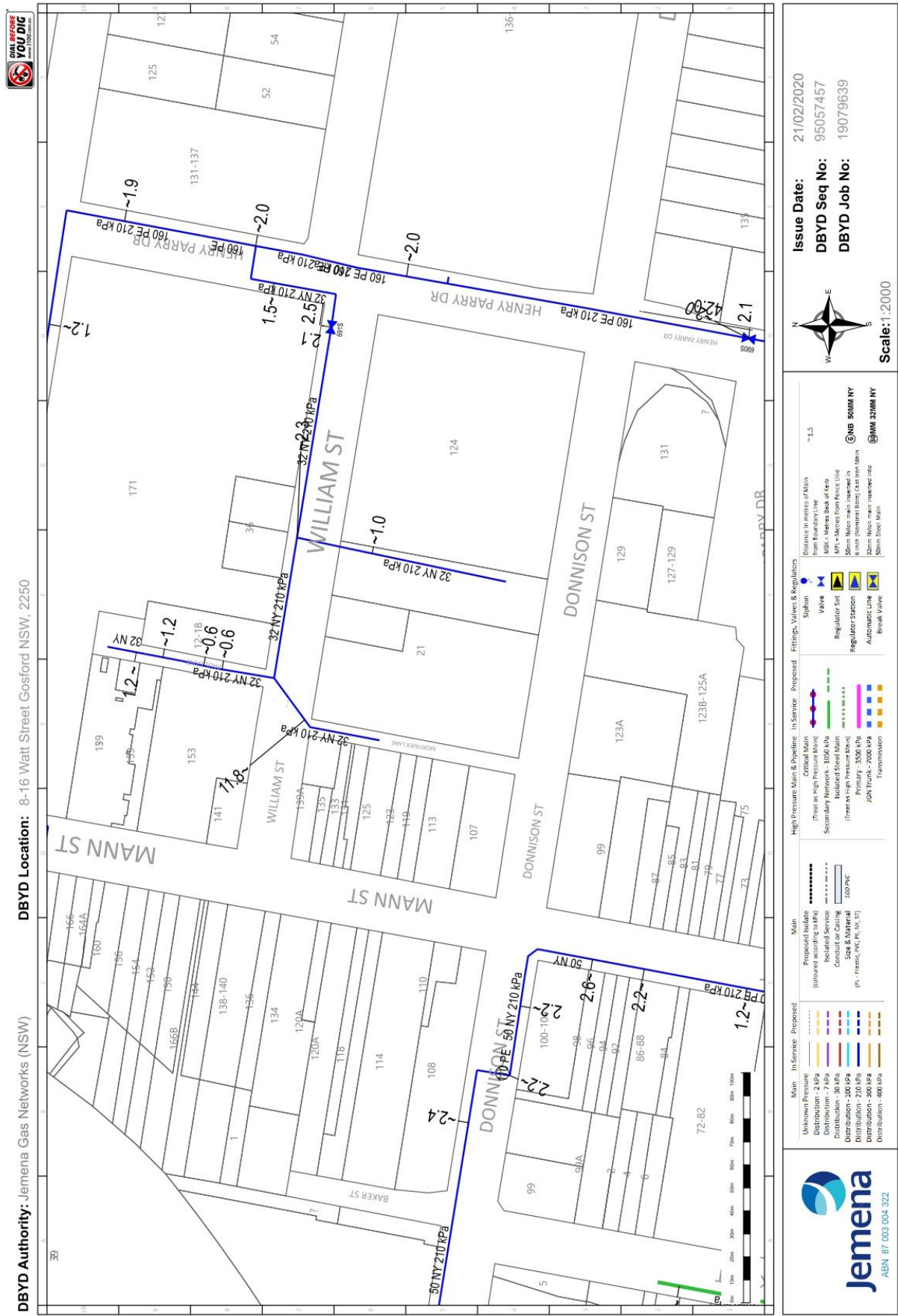
Duct



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Note: If the works fall in an area that is adjacent to PIPE Networks infrastructure, a pre-inspection is required prior to commencement of works. Contact PIPE Networks to arrange an inspection time. **NO WORKS TO COMMENCE PRIOR TO INSPECTION.**

Appendix I: Jemena Underground Gas Main Plans



WARNING: This is a representation of Jemena Gas Networks underground assets only and may not indicate all assets in the area. It must not be used for the purpose of exact asset location in order to undertake any type of excavation. This plan is diagrammatic only, and distances scaled from this plan may not be accurate. Please read all conditions and information on the attached information sheet. This extract is subject to those conditions. The information contained on this plan is only valid for 28 days from the date of issue.





Appendix J: Central Coast Council Water and Sewer Main Plans

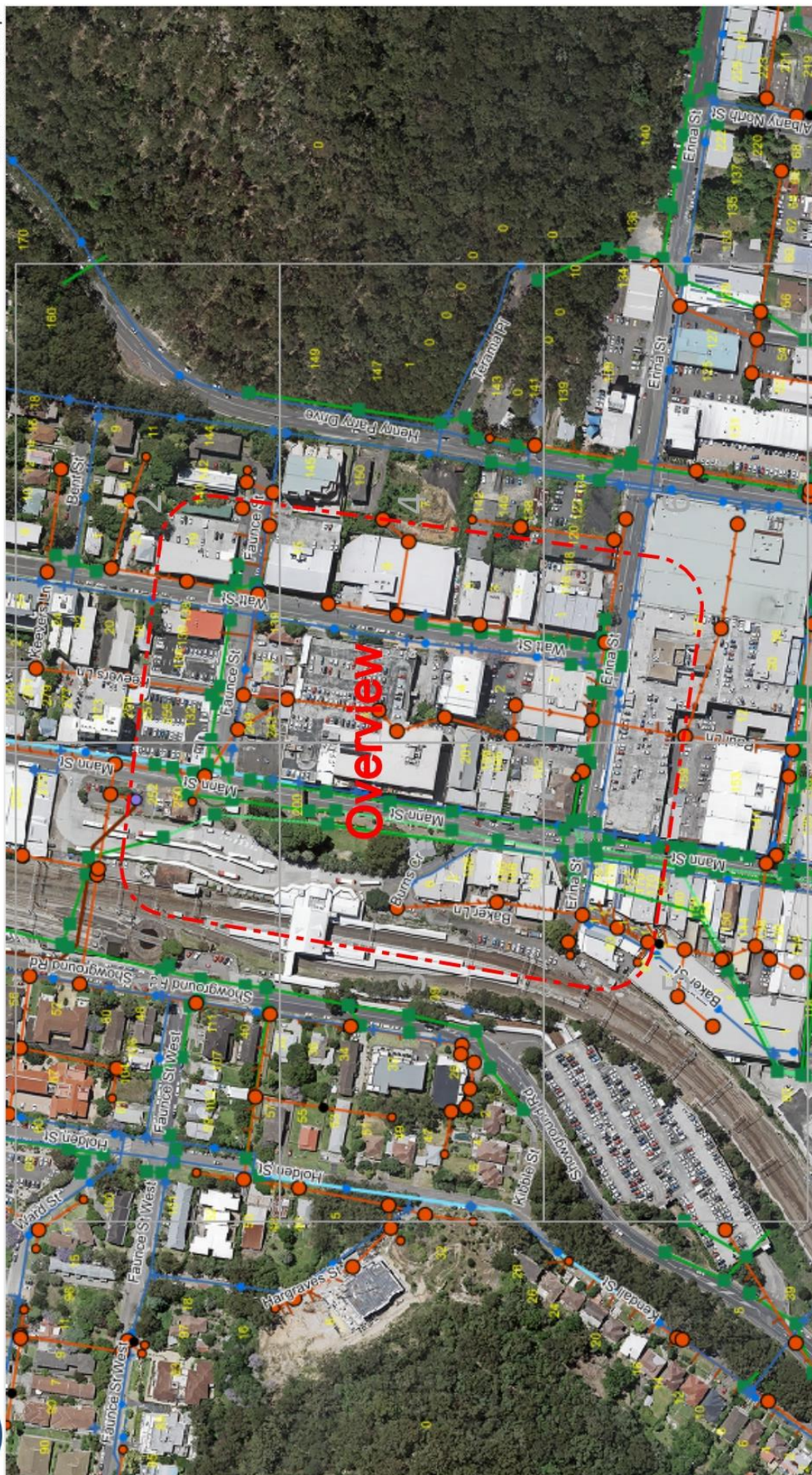


The Essential First Step.

Sequence No: 95057450

Job No: 19079639

Location: 8-16 Watt Street, Gosford, NSW 2250



Legend

- Sewer Maintenance Hole
- Sewer Dead End
- Sewer Lamphole
- Sewer Service Connection
- Sewer Gravity Main
- Sewer Gravity Main (Asbestos)
- Sewer Gravity Main - Expired
- Sewer Pressure Main
- Sewer Pressure Main - Expired
- Sewer Pressure Main - Expired (Asbestos)
- Water Hydrant
- Water Valve
- Watermain
- Watermain (Asbestos)
- Watermain - Expired
- Watermain - Expired (Asbestos)
- Watermain - Recycled
- Drainage Pit
- Drainage Pipe
- Drainage Pipe - Expired
- Cadastre - Central Coast

Scale: 1:3075



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AU Central Coast C - Response Plan (Southern).docx (06 Mar 2018)

**DIAL BEFORE
YOU DIG**
www.1100.com.au

The Essential First Step.

Sequence No: 95057450
Job No: 19079639
Location: 8-16 Watt Street



Scale: 1:1000



- Legend**
- Sewer Maintenance Hole
 - Sewer Dead End
 - Sewer Lamphole
 - Sewer Service Connection
 - Sewer Gravity Main
 - Sewer Gravity Main (Asbestos)
 - Sewer Gravity Main - Expired
 - Sewer Pressure Main
 - Sewer Pressure Main - Expired
 - Watermain
 - Watermain (Asbestos)
 - Watermain - Expired
 - Water Hydrant
 - Watermain - Expired (Asbestos)
 - Watermain - Recycled
 - Drainage Pit
 - Drainage Pipe
 - Drainage Pipe - Expired
 - Cadastre - Central Coast

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AU.Central Coast C - Response Plan (Southern).docx (06 Mar 2018)



Sequence No: 95057450

Job No: 19079639

Location: 8-16 Watt Street, Gosford, NSW 2250



The Essential First Step.



Legend

Legend

● Sewer Maintenance Hole	— Sewer Gravity Main (Asbestos)	+ Water Valve	— Watermain - Recycled
● Sewer Dead End	— Sewer Gravity Main - Expired	— Watermain	■ Drainage Pit
● Sewer Lamphole	— Sewer Pressure Main	— Watermain (Asbestos)	— Drainage Pipe
● Sewer Service Connection	— Sewer Pressure Main - Expired	— Watermain - Expired	— Drainage Pipe - Expired
● Sewer Gravity Main	● Water Hydrant	— Watermain - Expired (Asbestos)	■ Cadastre - Central Coast

Scale: 1:1000



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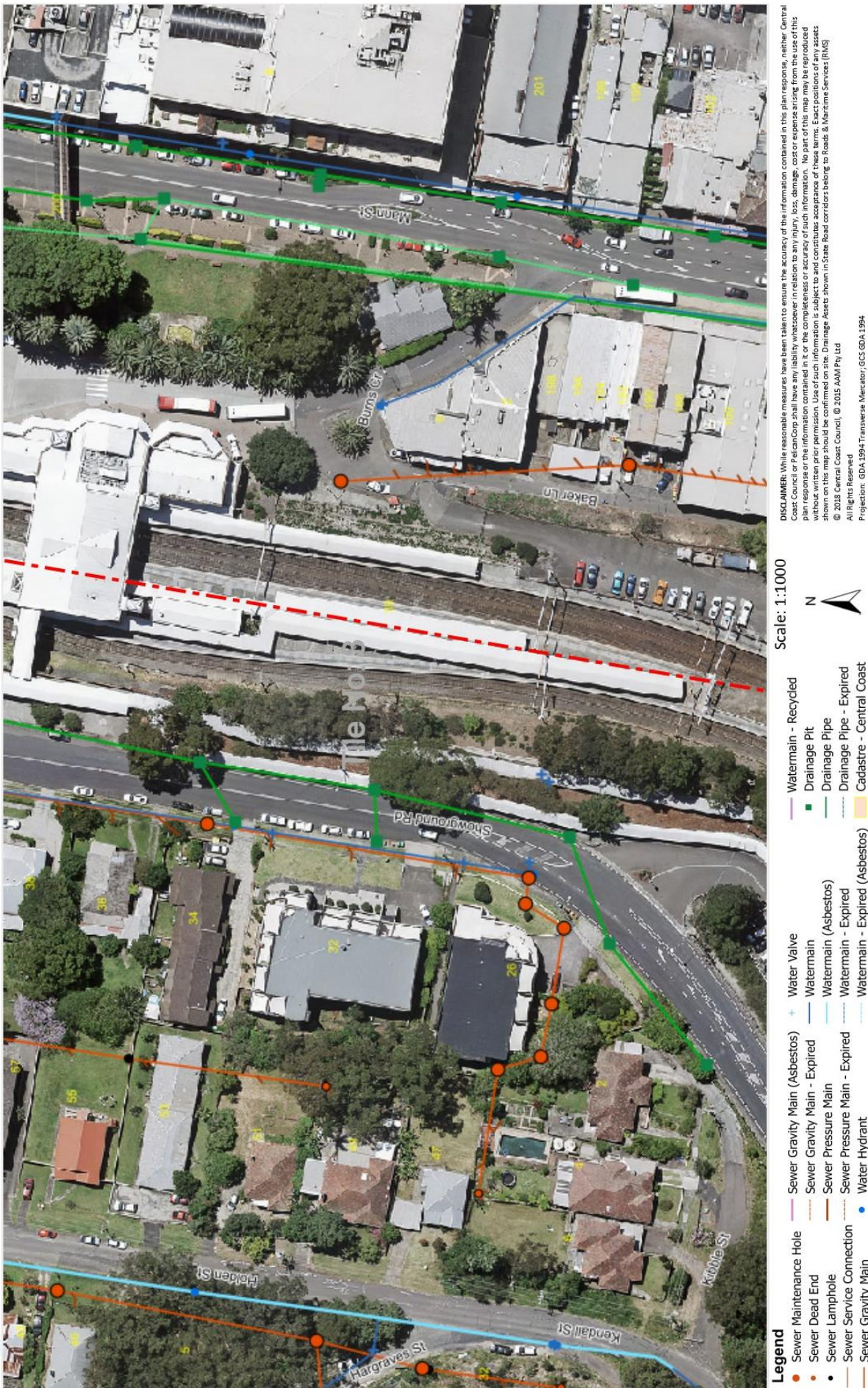
AU.Central Coast C - Response Plan (Southern).docx (06 Mar 2018)



Sequence No: 95057450
Job No: 19079639
Location: 8-16 Watt Street, Gosford, NSW 2250



The Essential First Step.





Sequence No: 95057450
Job No: 19079639
Location: 8-16 Watt Street, Gosford, NSW 2250



Scale: 1:1000

N

Watermain - Recycled

Drainage Pit

Drainage Pipe

Drainage Pipe - Expired

Cadastre - Central Coast

Sewer Gravity Main (Asbestos)

Sewer Gravity Main - Expired

Sewer Pressure Main

Sewer Pressure Main - Expired

Sewer Service Connection

Sewer Gravity Main

Water Valve

Watermain

Watermain (Asbestos)

Watermain - Expired

Watermain - Expired (Asbestos)

Water Hydrant

Water Maintenance Hole

Sewer Dead End

Sewer Lamphole

Sewer Service Connection

Sewer Gravity Main

Watermain - Recycled

Drainage Pit

Drainage Pipe

Drainage Pipe - Expired

Cadastre - Central Coast

Watermain - Recycled

Drainage Pit

Drainage Pipe

Drainage Pipe - Expired

Cadastre - Central Coast

Sewer Gravity Main (Asbestos)

Sewer Gravity Main - Expired

Sewer Pressure Main

Sewer Pressure Main - Expired

Sewer Service Connection

Sewer Gravity Main

Water Valve

Watermain

Watermain (Asbestos)

Watermain - Expired

Watermain - Expired (Asbestos)

Water Hydrant

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Appendix K: Central Coast Water Pressure Testing



Mokhlesur Rahman
F2020/00495
24th March 2020

Attention: Jonathan Terry

Dear Sir

Water Supply Pressures – 8-16 Watt Street, Gosford.

In response to your mains pressure enquiry in relation to the above property, the following advice is provided based on a hydraulic model analysis of the water supply system under fire flow conditions:-

Physical Data		80mm Hydrant Flow Test Results	
Main and Hydrant Flow Test Location indicated on attached map	Y	Pressure at Main (Ground Level) with:	Pressure (kPa)
Main Diameter (mm)	200mm	* No Flow	935
Ground Level (AHD) at Test Location (m)	6.0m	* 0.66L/s Flow	935
		* 5.0 L/s Flow	934
		* 10.0 L/s Flow	934
		* 15.0 L/s Flow	933
		* 20.0 L/s Flow	932
		* 25.0 L/s Flow	930
		* 30.0 L/s Flow	929
		* 35.0 L/s Flow	927
		* 40.0 L/s Flow	925
		* 45.0 L/s Flow	922
		* 50.0 L/s Flow	920
		* Max. Flow (86.5 L/s)	890

NOTE: The above flow and pressure information is a calculated estimate from a hydraulic model of the water supply system, and should not be treated as a guarantee of supply in any way. These values are not representative of conditions at all times of the day or season and are subject to variables beyond Council's control, such as proposed system augmentations, variations in system demands or changes in hydraulic operation of the network. This information is valid for 12 months from the date of this letter.

Should you have enquiries regarding this matter, please contact Mokhlesur Rahman, Headworks modeller via mokhlesur.rahman@centralcoast.nsw.gov.au.

Yours faithfully

Mokhlesur Rahman
Headworks modeller
Central Coast Council



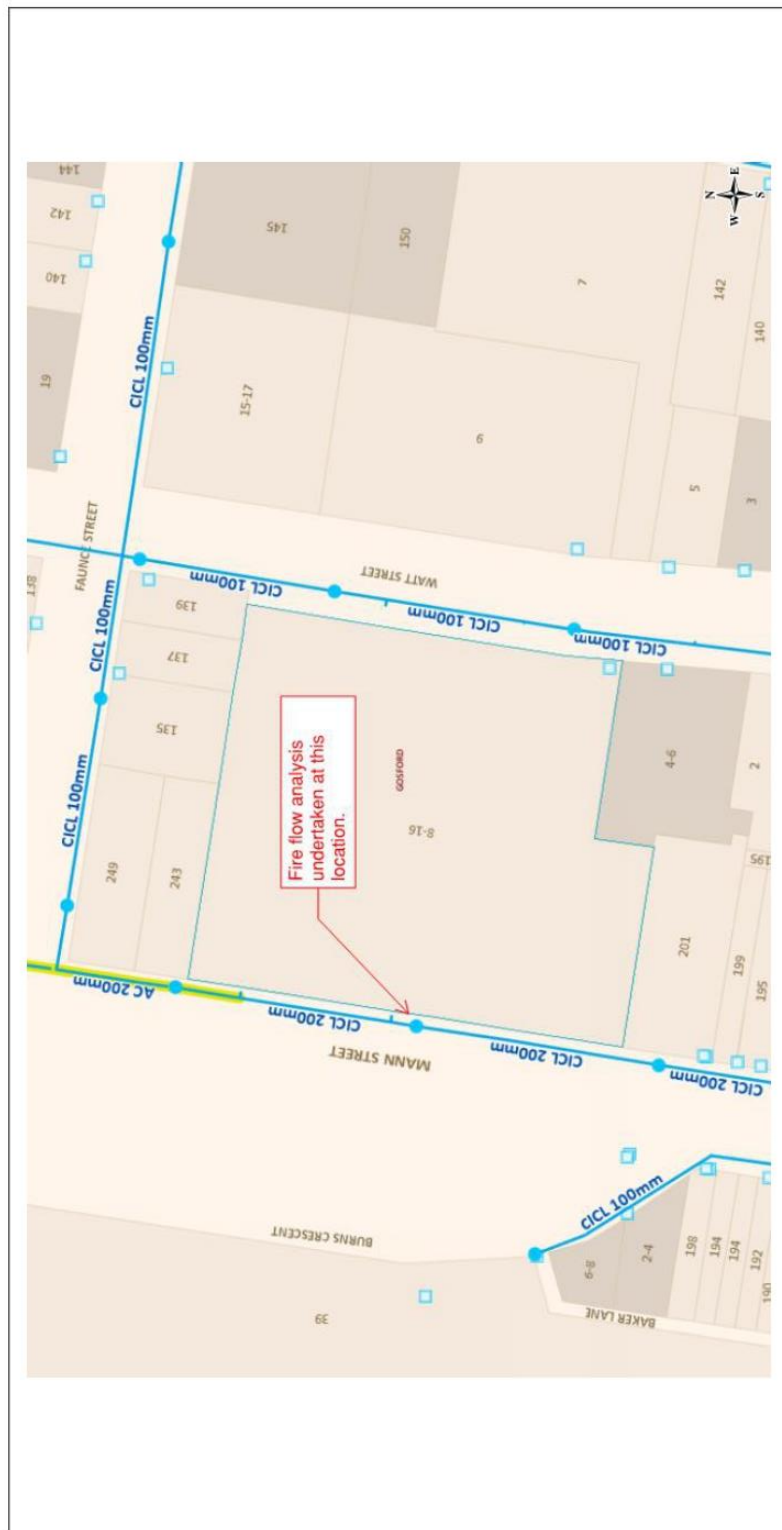
Wyong Office: 2 Hely St / PO Box 20 Wyong NSW 2259

Gosford Office: 49 Mann St / PO Box 21 Gosford NSW 2250

P 1300 463 954 | E ask@centralcoast.nsw.gov.au | W centralcoast.nsw.gov.au | ABN 73 149 644 003



PLAN OF TESTING POINT



Wyong Office: 2 Hely St / PO Box 20 Wyong NSW 2259

Gosford Office: 49 Mann St / PO Box 21 Gosford NSW 2250

P 1300 463 954 | E ask@centralcoast.nsw.gov.au | W centralcoast.nsw.gov.au | ABN 73 149 644 003



Appendix L: Sewer Long Section and Plan

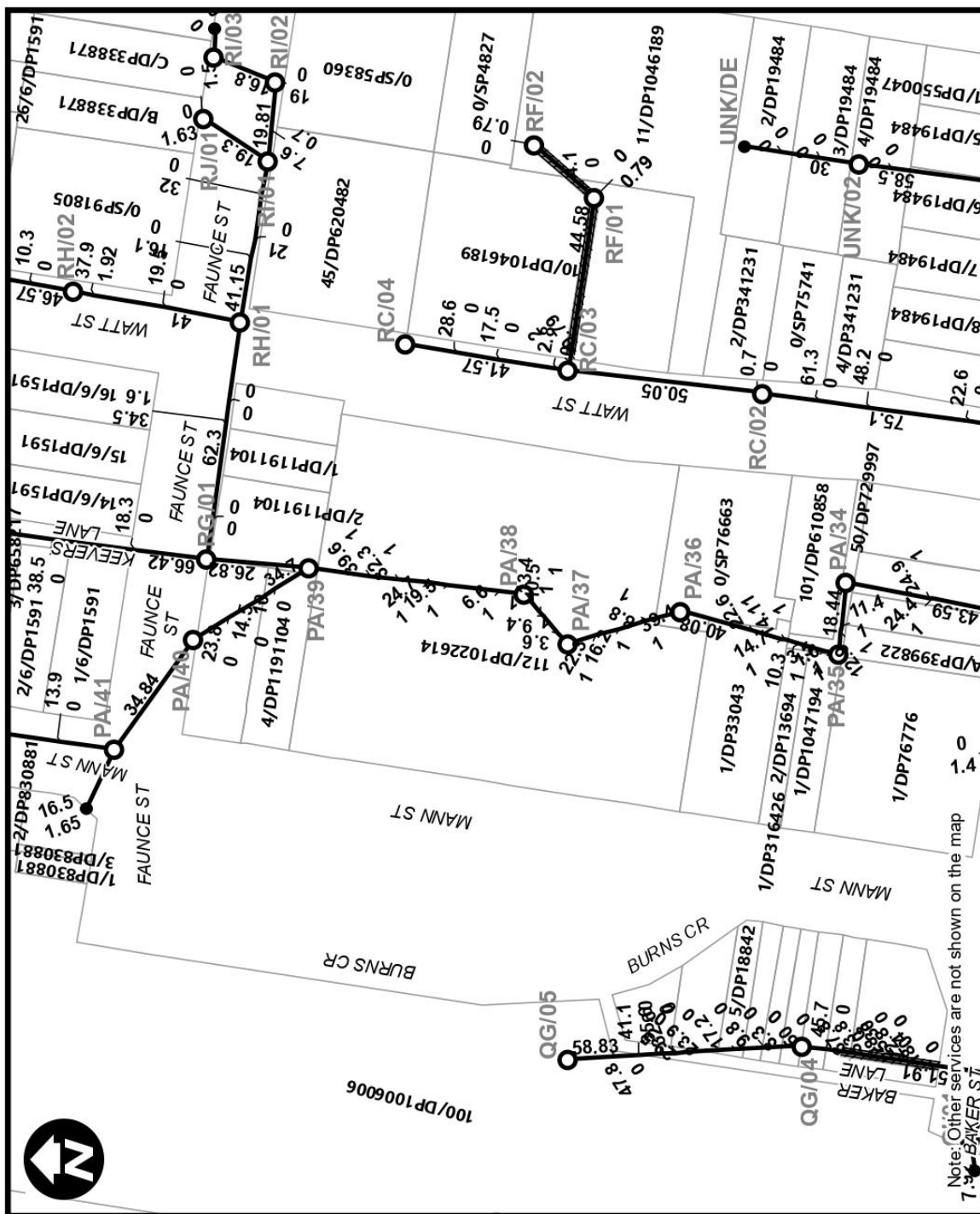
CENTRAL COAST COUNCIL
SERVICE LOCATION DIAGRAM
(SEWER MAINS)
NOT TO SCALE

Issue Date: 04/03/2020



Legend

- Sewer Maintenance Hole
- Dead End
- Sewer Manhole
- Sewer Gravity Mains
- Sewer Gravity Mains
- Sewer Junctions
- Sewer Junctions
- Sewer Encasement
- Sewer Encasement

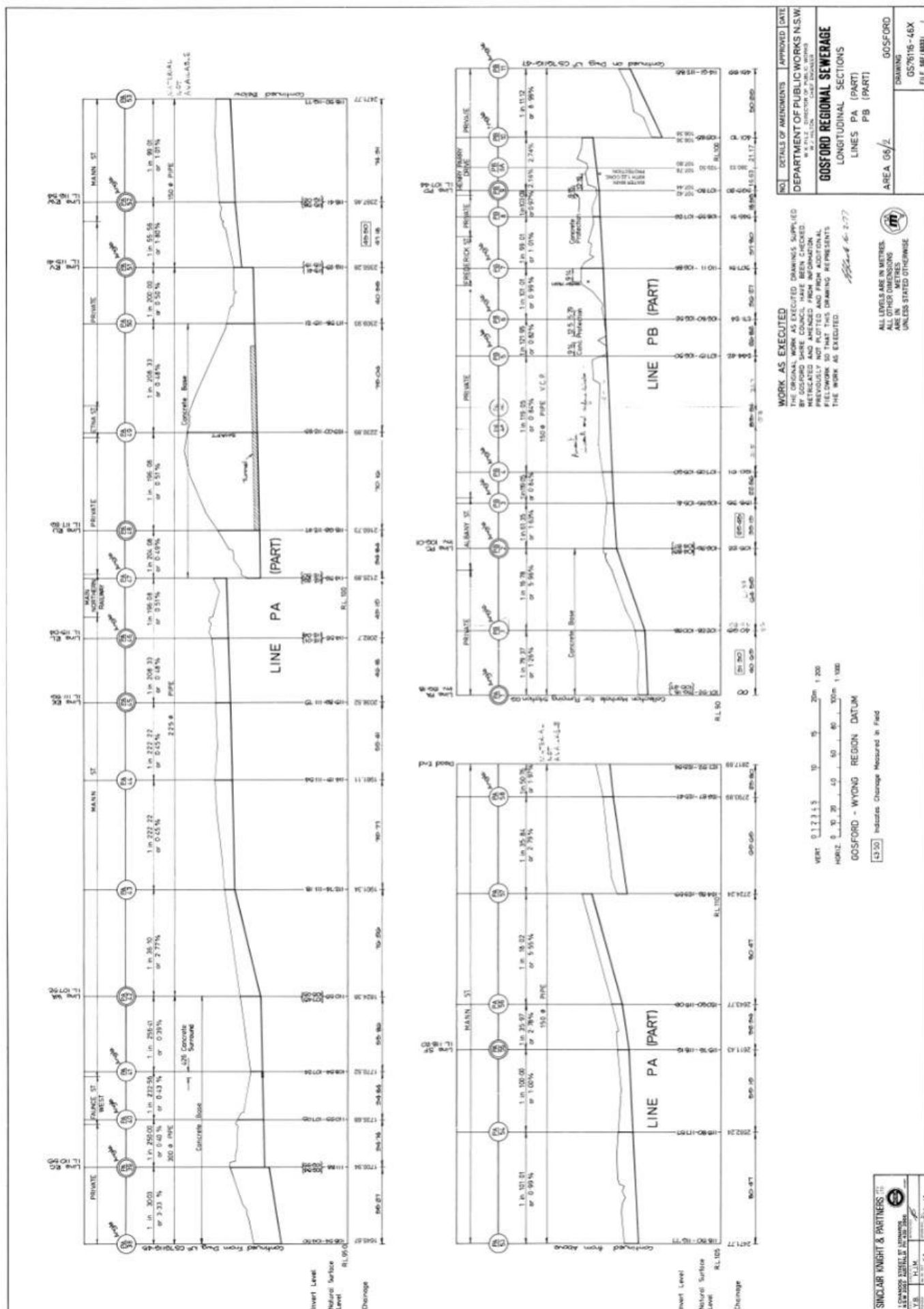


Note: Other services are not shown on the map

DISCLAIMER

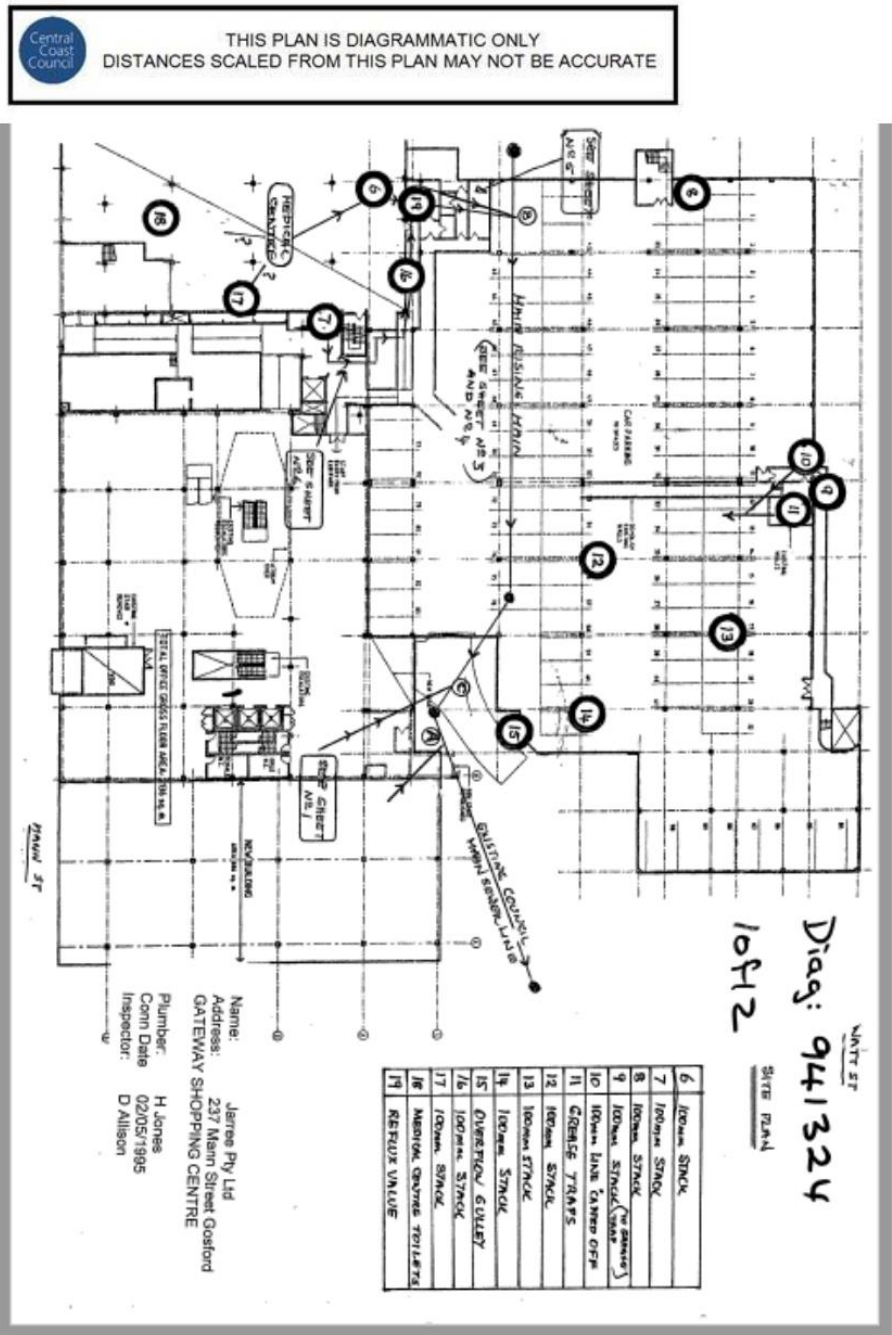
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Source: Central Coast Council
 Projection: GDA_1994_Transverse_Mercator: GCS_GDA_1994



Appendix M: Sewer Internal Drainage Plans

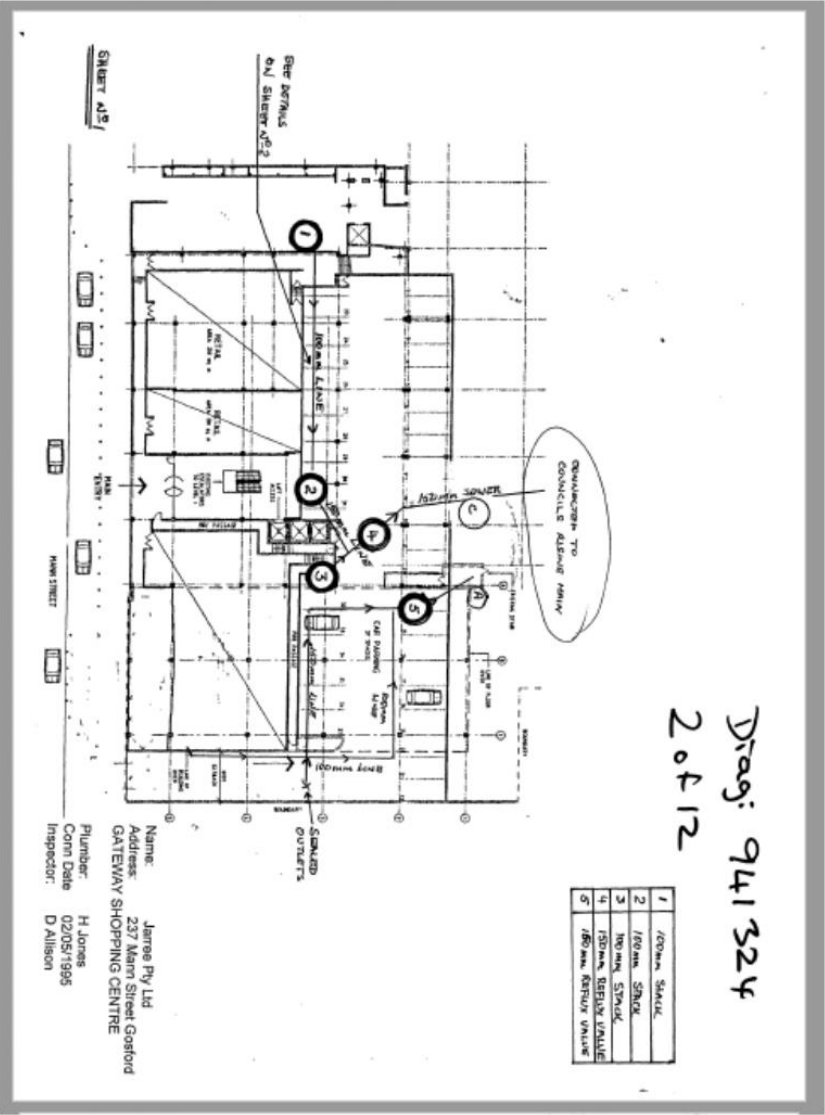
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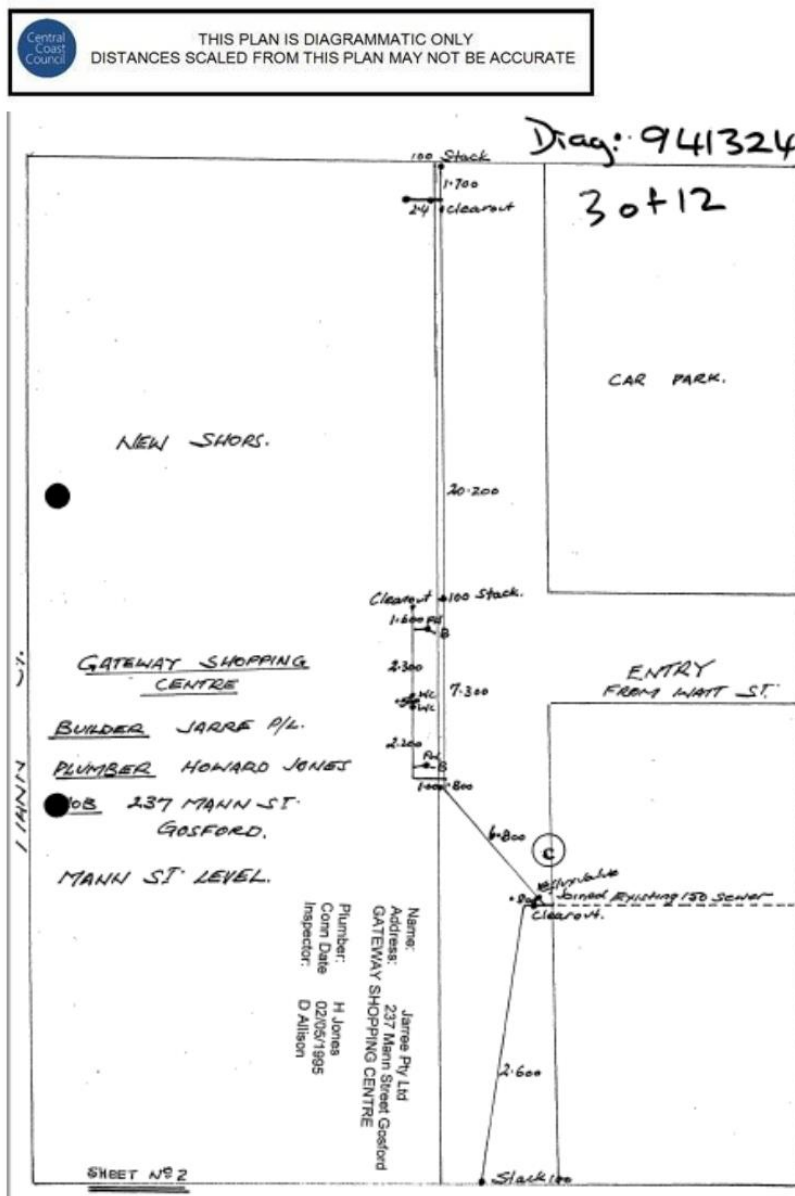
Property: Lot 112 DP 1022614 8-16 Watt Street GOSFORD

Central Coast Council

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DISTANCES SCALED FROM THIS PLAN MAY NOT BE ACCURATE



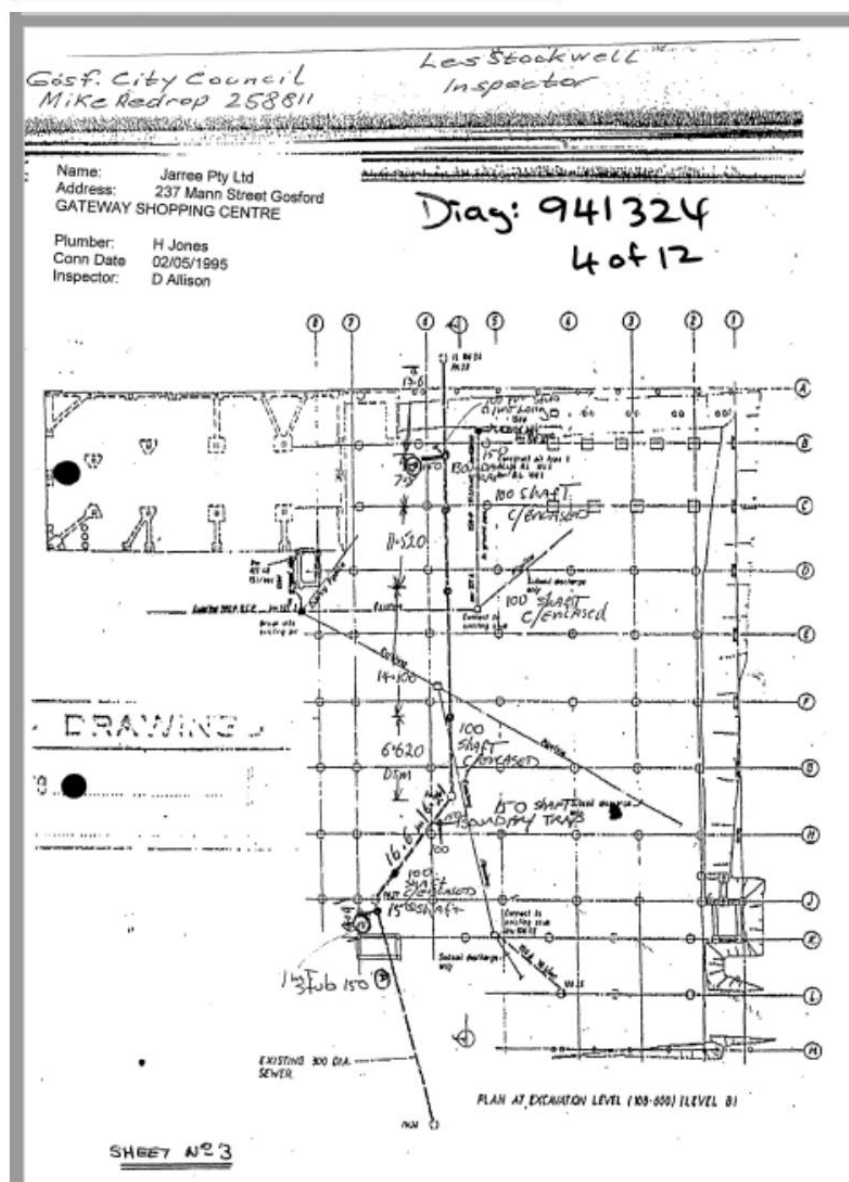
Property: Lot 112 DP 1022614 8-16 Watt Street GOSFORD



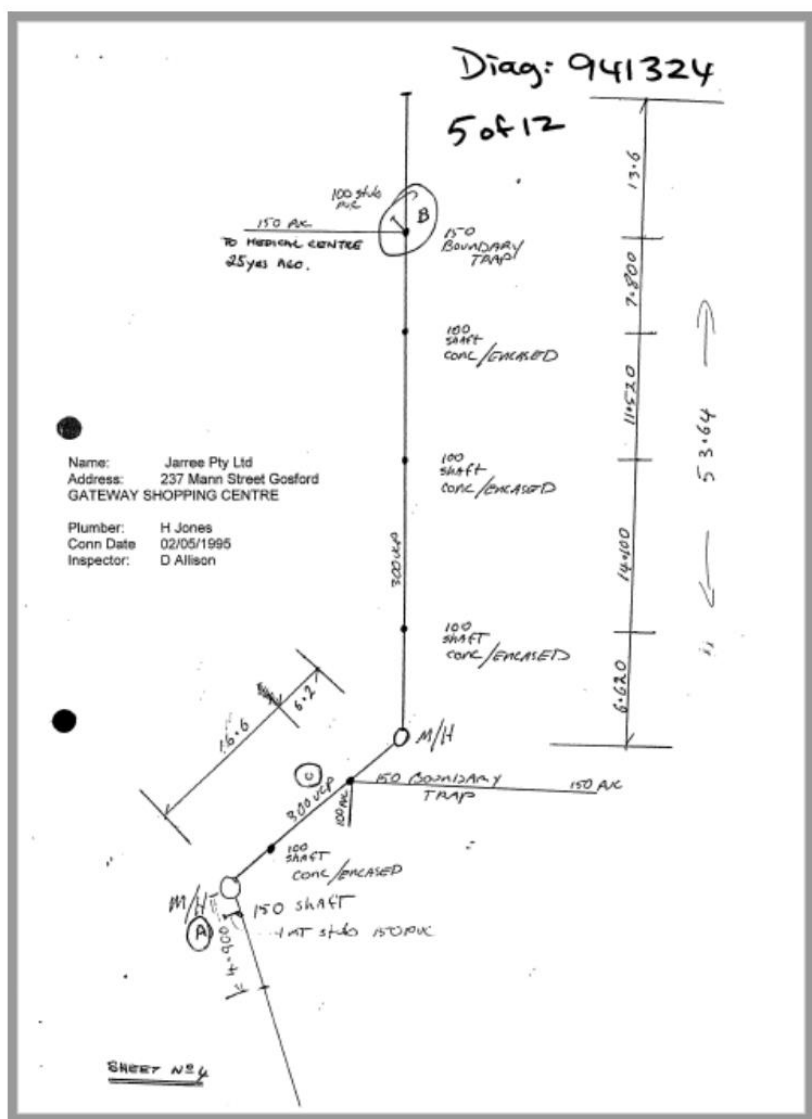
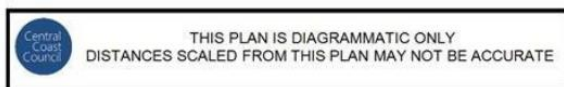
Property: Lot 112 DP 1022614 8-16 Watt Street GOSFORD



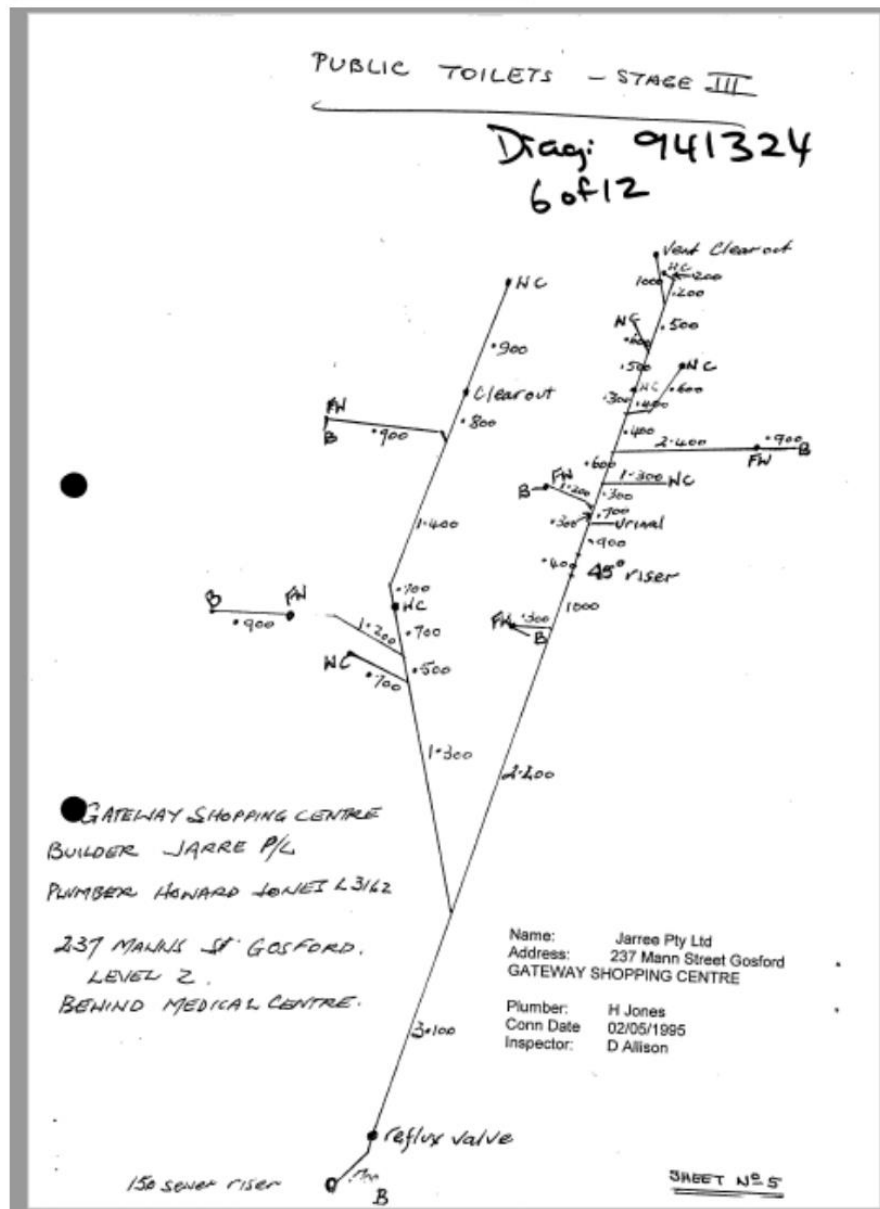
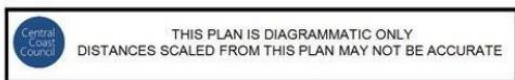
THIS PLAN IS DIAGRAMMATIC ONLY
DISTANCES SCALED FROM THIS PLAN MAY NOT BE ACCURATE



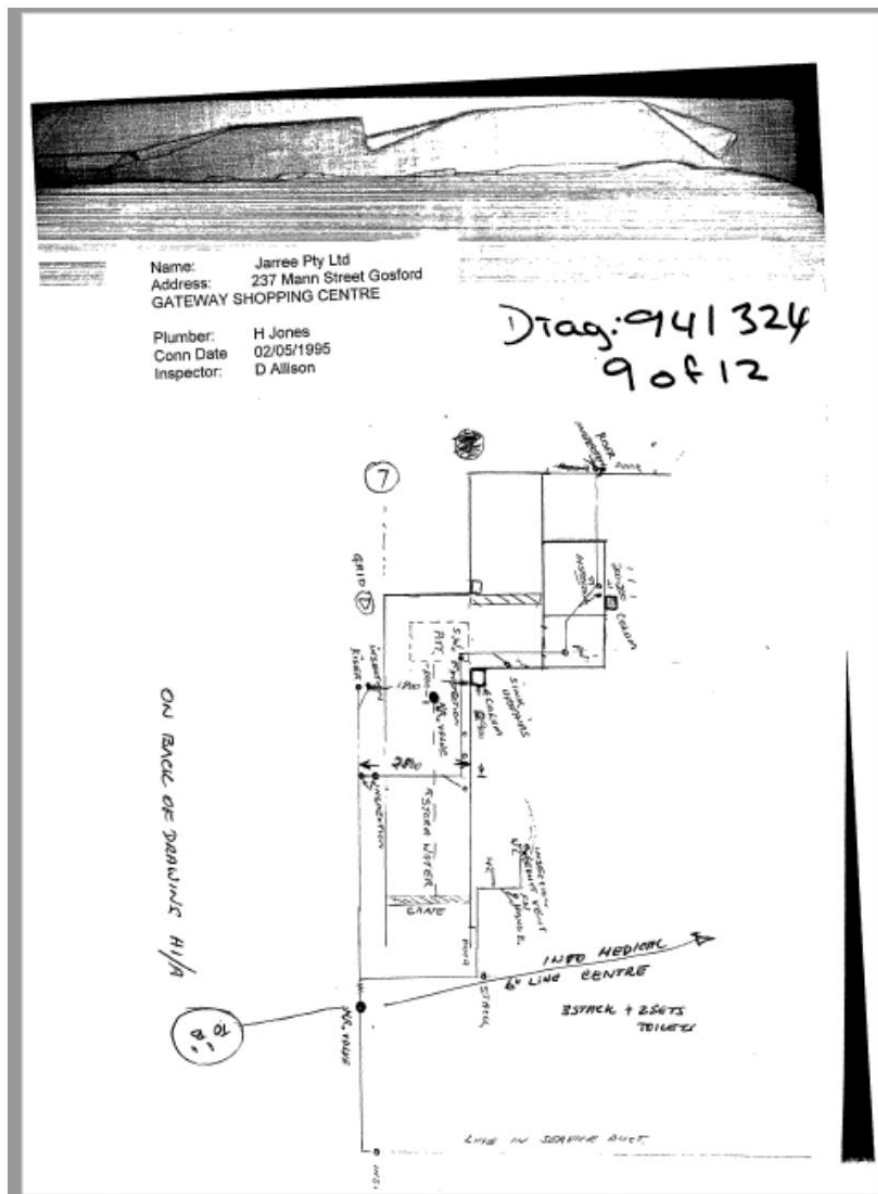
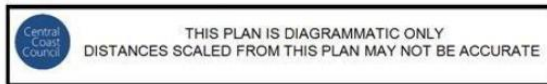
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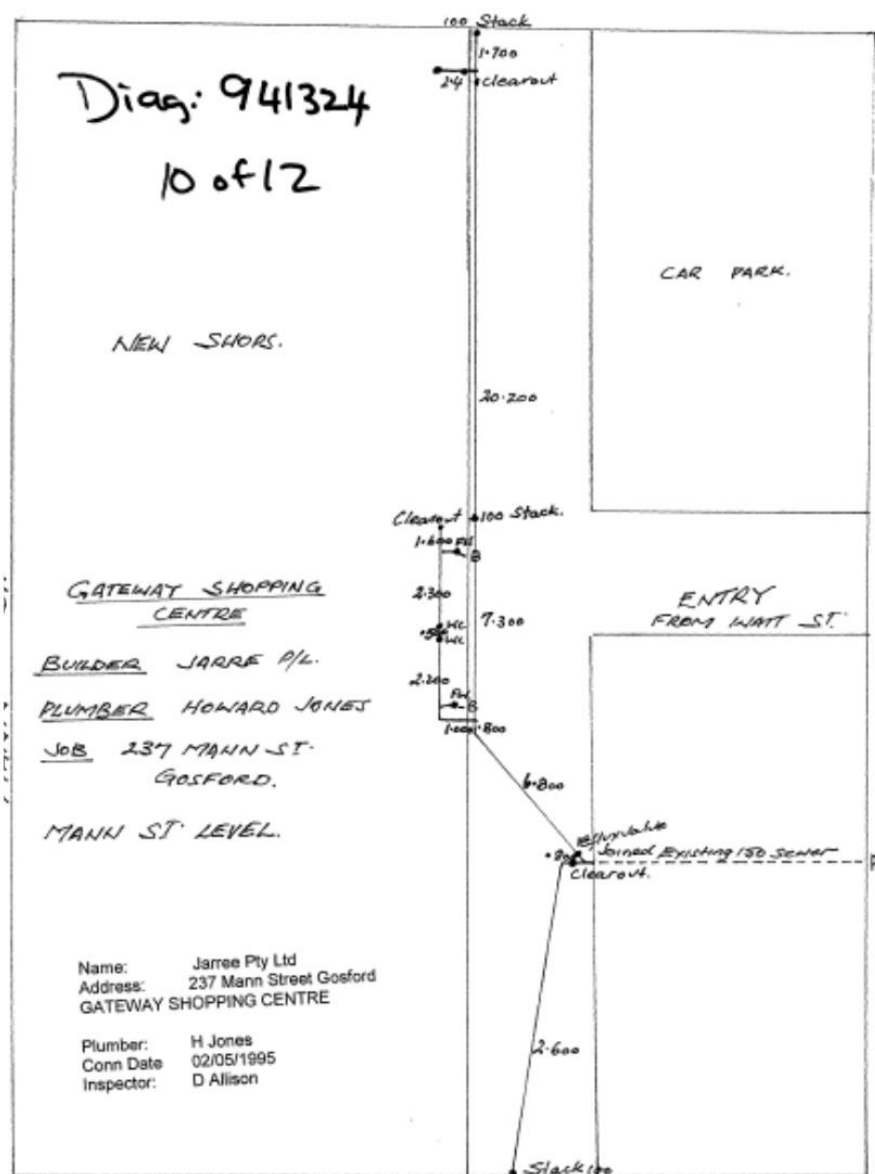
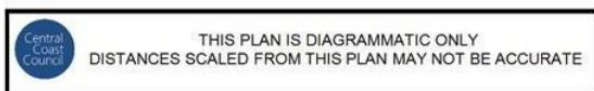
Property: Lot 112 DP 1022614 8-16 Watt Street GOSFORD



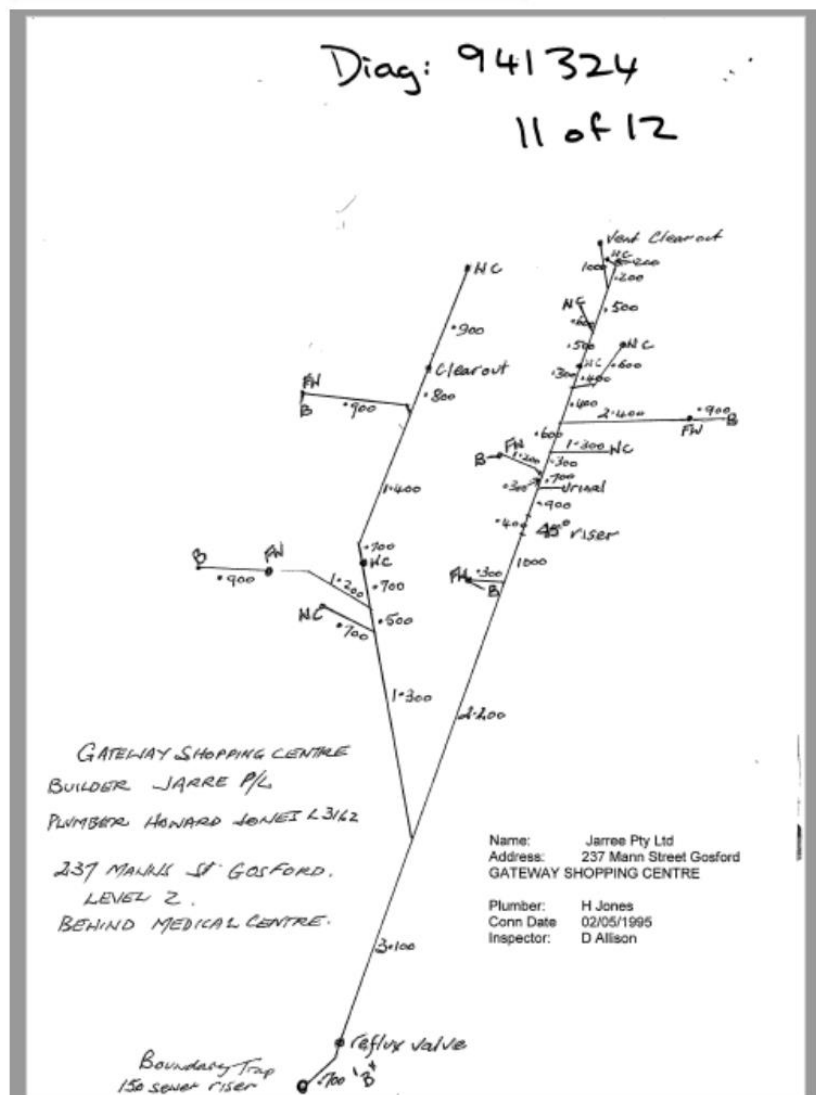
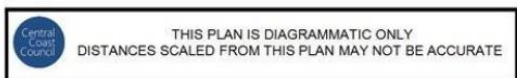
Property: Lot 112 DP 1022614 8-16 Watt Street GOSFORD



Property: Lot 112 DP 1022614 8-16 Watt Street GOSFORD



Property: Lot 112 DP 1022614 8-16 Watt Street GOSFORD



Property: Lot 112 DP 1022614 8-16 Watt Street GOSFORD

