

Liverpool Hospital Main Works Redevelopment

Assessment of the Liverpool Hospital Main Works Redevelopment Project
Environmental System Compliance in accordance with SSD-10389 (Mod-3).

Audit Reference:	LHAP-09
Audit Organisation:	Health Infrastructure (Proponent) Johnstaff Projects (Project Manager) Lendlease Building Pty Ltd (Contractor)
Auditors:	Barbara Pater, APP (Lead Auditor)
Date of Audit:	26 September 2025
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The APP Group

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This report has been prepared and reviewed in accordance with our quality control system.

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Date: 8 October 2025

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1. Executive Summary

This Independent Environmental Audit was completed to assess the environmental controls established and implemented by Lendlease Building Pty Ltd to meet the conditions of the Consolidated Consent SSD-10389 (Mod-3), covering the applicable conditions of SSD-10389 (Mod-3) Parts A, B, C, and Advisory Notes for the current Stage 2 works for the Liverpool Hospital Main Works Redevelopment.

The audit was conducted by The APP Group on 26 September 2025, within 26-weeks of the previous construction audit site inspection (undertaken 8 April 2025). The audit period is therefore defined as 8 April 2025 to 26 September 2025.

The main activities during the audit period corresponded to Stage 2 for the demolition of the Alex Grimson building located in the north-western part of Liverpool Hospital, as well as in-ground service installation and piling. Stage 3 is ongoing for the refurbishment works.

The Liverpool Hospital Main Works Redevelopment was found to be generally compliant with the conditions of the Consolidated Development Consent SSD-10389 (Mod-3), with the following key strengths noted:

- ▶ Enablon, used for raising actions onsite, showed no outstanding items, demonstrating a proactive approach with addressing improvement opportunities and site observations, with continued maintenance of actions and their status in the system
- ▶ Lendlease team organised and presented evidence promptly, with a strong understanding of condition requirements and meeting obligations
- ▶ Positive approach to addressing findings / site observations and actioning close out.

Site inspection

During the site inspection, the following observations were raised:

Observation Ref	Observation Details	Status
LHAP-09_OBS-01	Dust was present during the site inspection	Water cart was deployed immediately
LHAP-09_OBS-02	Refresh of erosion and sediment controls at pit drains required	Close out photos provided demonstrated reinstated control measures
LHAP-09_OBS-03	Spill kit required at hazardous materials area	Close out photo provided showing spill kit relocated
LHAP-09_OBS-04	Some minor tracking onto Campbell Street observed	Water cart observed onsite during inspection

Table 1- Site observations

Refer to [Section 6.4](#) for further details with photos (including close out) under [Appendix G](#).

Identified Findings

A summary of the findings identified during the audit, including opportunities for improvement, are as follows:

Audit Rating and Ref	Condition Details	Audit Finding Details + Recommendations	Status
LHAP-09_ OFI-01	A24: ACCESS TO INFORMATION At least 48 hours before the commencement of construction until the completion of all works under this consent, or such other time as agreed by the Planning Secretary, the Applicant must: (a) make the following information and documents (as they are obtained or approved) publicly available on its website: <i>Refer to (i) to (x)</i>	The project website has been re-formatted; however, it was difficult to navigate and locate the documents as required by Condition A24. <u>Recommendation:</u> It is recommended to review the website layout to improve upon its useability and functionality.	-
LHAP-09_ OFI-02	B11: CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN Prior to the commencement of construction, the Applicant must submit a Construction Environmental Management Plan (CEMP) to the Certifier and provide a copy to the Planning Secretary for information.	The current version of the CEMP (Rev 8, June 2025) has not been submitted to the Certifier (BM+G). <u>Recommendation:</u> It is recommended that the CEMP be issued to BM+G to ensure the Certifier has the current version.	Close out received: Aconex ref LL-GCOR-071322 from LL to BM+G 26 September 2025 with current version of CEMP (Rev 8, June 2025) attached. CLOSED

Table 2- Summary of findings

Refer to [Section 6.9](#) and [Appendix E](#) for further details of these findings.

2. Introduction

2.1 Background

The Contractor Lendlease Building Pty Limited (Lendlease) has been appointed by Health Infrastructure (The Proponent) through Johnstaff (Project Manager) for the Liverpool Hospital Main Works Redevelopment which comprises of the following:

- ▶ construction and operation of the eight storey Integrated Services Building (including basement and plant levels);
- ▶ refurbishment works to old and new clinical service buildings and Caroline Chisolm building;
- ▶ tree removal; and
- ▶ demolition, remediation, road, landscaping, and utility works.

The Proponent engaged APP to undertake this independent environmental audit of the development, which was conducted on 8 April 2025 during the construction phase of Stage 2 for the Liverpool Hospital Main Works Redevelopment project, in compliance with the following Development Consent Conditions:

Condition C44

Independent Audits of the development must be carried out in accordance with:

- (a) *the Independent Audit Schedule submitted to the Planning Secretary and the Certifier under condition C41 of this consent, as amended by condition C42; and*
- (b) *the Independent Audit Post Approval Requirements (DPE 2020), or as amended.*

2.2 Project Details

Project Details	
Project Name	Liverpool Hospital Main Works Redevelopment
Project Application No.:	SSD-10389 (Mod-3)
Project Address:	Corner of Elizabeth & Goulburn Street, Liverpool NSW 2170
Project Phase:	Construction
Project Activity Summary:	Key activities occurring onsite included: ▶ Stage 3 ongoing internal refurbishment works. ▶ Stage 2 soft demolition in progress at the Alex Grimson building, piling and shoring works, in-ground services installation, and footpath area upcoming for handover at Goulburn Street.

Table 3- Project details

2.3 Project Staging & Timeframes

The project is generally being delivered in accordance with the Staging Report, with the following status updates provided:

- ▶ Construction Stage 2 works commenced March 2025.

- ▶ Construction Stage 2 completion proposed for Q4 2026.
- ▶ Construction Stage 2 operation proposed Q1 2027.
- ▶ Construction of on-grade car park works set to commence towards the end of Stage 2 works under the Multi-Storey Car Park SSD-10388.
- ▶ Construction Stage 3 continuing and due for completion Q4 2027.

2.4 Audit Team

Details of The APP Group independent environmental auditing team as approved by the Department of Planning, Housing and Infrastructure (DPHI) for this audit are as follows:

Name	Company	Position	Certification
Barbara Pater	APP	Lead Environmental Auditor	Exemplar Global Lead Environmental Auditor – Certificate No. C424613

Table 4- Auditor qualifications

The Department of Planning, Housing and Infrastructure approval letter for this audit is included as [Appendix C](#) with the Independent Audit declaration forms included as [Appendix D](#).

3. Audit Objectives and Scope

3.1 Audit Objectives

The objective of this audit was to undertake the independent environmental review of the project in compliance with Development Consent Schedule 2, SSD-10389 (Mod-3) Condition C40, and in accordance with the requirements for an independent audit methodology and independent audit report as per the *Independent Audit Post Approval Requirements* (IAPAR 2020) during the construction of the Liverpool Hospital Main Works Redevelopment.

3.2 Audit Scope

The scope of this audit comprised a review of the Project compliance with the applicable conditions of SSD-10389 (Mod-3), including the following:

- ▶ Review of implementation of current management plans;
- ▶ Site inspection, as conducted on 26 September 2025;
- ▶ Review of environmental performance of the project based on previous audit results;
- ▶ Review of environmental and compliance records;
- ▶ Interviews with site personnel; and
- ▶ Consultation with stakeholders.

3.3 Audit Period

This independent environmental audit was carried out by APP against SSD-10389 (Mod-3) covering the period within 26-weeks from the previous audit site inspection on 8 April 2025 for Stage 2 construction.

It is noted that this report is based on the result of sampling and supplied documentation and records, as well as activities sighted on the date of the audit, 26 September 2025, and additional records received up until 1 October 2025.

In accordance with the IAPAR 2020, the audit period is defined as: 8 April 2025 to 26 September 2025.

4. Audit Methodology

4.1 Approval of Auditors

Letter from the Planning Secretary agreeing to the auditors is included under [Appendix C](#).

4.2 Audit Scope Development

APP developed the audit scope and checklist as based on the project requirements set out in the Development Consent SSD-10389 (Mod-3) for the Liverpool Hospital Main Works Redevelopment – refer to [Appendix E](#) of this report. Consultation with project stakeholders was also undertaken as part of the scope development as per [Section 4.6](#).

4.3 Audit Process

4.3.1 Opening Meeting

An opening meeting was held with personnel from Johnstaff and Lendlease as per the Audit Attendance Sheet ([Appendix B](#)) on 26 September 2025 at 10:15am.

Key items were discussed as follows:

- ▶ Confirmation of the purpose and scope of the audit
- ▶ Overview of the project and status of construction
- ▶ Staging of works as per Staging Report
- ▶ Occurrence of environmental incidents and non-compliances, if applicable
- ▶ Overview of the audit process in accordance with SSD-10389 (Mod-3) Consent Conditions and the *Independent Audit Post Approval Requirements* (IAPAR 2020).

4.3.2 Conduct of Audit

Audit activities included the following:

- ▶ Review of the project documentation (CEMP and its Sub-Plans) to verify compliance with the SSD-10389 (Mod-3) conditions,
- ▶ Conduct of a site walk led by Lendlease to review implementation of mitigation measures and environmental controls,
- ▶ Conduct of the audit based on the checklists developed in accordance with the Conditions of Consent, interviews with personnel and review of records provided as evidence of compliance, and
- ▶ Discussion of any identified findings and actions noted during the site inspection.

4.3.3 Closing Meeting

The closing meeting was held on 26 September 2025 at 1:45pm with representatives of Johnstaff, Lendlease and APP. General feedback and the audit findings were discussed during the closing meeting.

The APP auditors acknowledged the efforts made in preparing for the audit, cooperation, and openness of Lendlease's personnel during the conduct of this audit.

4.4 Interviewed Persons

Name and position of persons interviewed:

Name	Organisation	Position
Elaine Lee	Lendlease	Senior Project Engineer
Taha Qureshi	Johnstaff	Senior Project Manager
Ishwary Ramjeevan	Johnstaff	Project Manager
Damien Smith	Lendlease	Site Manager

Table 5- Personnel Interviewed

4.5 Site Inspection

A site inspection was carried out on 26 September 2025 at 10:15am led by Lendlease with representatives of Johnstaff and APP with minor observations made. Refer to details of the inspection in [Section 6.4](#) of this report and site photos (including close out) under [Appendix G](#).

4.6 Consultation

Consultation with the Department of Planning, Housing and Infrastructure (DPHI) was sent in advance of the audit (9 September 2025) to request feedback on the project as per the *Independent Audit Post Approval Requirements* (IAPAR 2020) Section 3.2. DPHI responded (15 September 2025) to advise that the Department does not require any additional issues for inclusion within the scope of the Audit that are not already captured by the Consents, and the Department's Independent Audit Post Approval Requirements (May 2020).

Refer to [Appendix F](#) for a copy of the correspondence.

4.7 Audit Compliance Status Descriptors

The following audit criteria were used for the rating of audit findings.

Rating	Description
Compliant	The auditor has collected sufficient verifiable evidence to demonstrate that all elements of the requirement have been complied with within the scope of the audit.
Non-Compliant	The auditor has determined that one or more specific elements of the conditions or requirements have not been complied with within the scope of the audit.

Rating	Description
Not Triggered	A requirement has an activation or timing trigger that has not been met at the time when the audit is undertaken, therefore an assessment of compliance is not relevant.

Table 6- Audit Criteria

In addition to the above descriptors, there was the option to raise Opportunities of Improvement (OFI) and onsite Observations (OBS) during this audit.

5. Document Review

- BM+G BCA Crown Certificate – CC2.2 ref CRO-25001 dated 31 July 2025
- Wolfpeak Staging Report Rev 12 dated 17 September 2025
- Construction Environmental Management Plan (CEMP) Version 8, June 2025
- Stantec Construction Traffic and Pedestrian Management Sub Plan (CTPMSP) Revision E dated 20 November 2024
- PRA Construction Noise and Vibration Management Sub Plan (CNVMSP), Revision 5 – 28 October 2022
- Construction Waste Management Sub-Plan (CWMSMP) Rev. 14 dated 28 March 2025
- Hazardous Chemicals Sub-Plan dated 28 March 2025
- Asbestos and Hazardous Building Materials Management Sub-Plan dated 28 March 2025
- DPHI letter in accordance with Condition A3(a): ref SSD-10389-PA-108 dated 17 July 2025
- DPHI letter in accordance with Condition A10: ref SSD-10389-PA-109 dated 23 September 2025
- PRA Construction Noise and Vibration Impact Statement (CNVIS) Revision 3 dated 2 July 2025
- Pile Design Certificate Ref KA0542 from Keller Pty Ltd for Stage 2 dated 2 April 2025
- LL letter 6 May 2025 for Utilities and Services
- Plumbing Axis Group statement dated 24 September 2025
- Aconex BM+G GCOR-001807, 24 September 2025
- Aconex BM+G GCOR 001805, 24 September 2025
- Aconex LL-GCOR-068988, 1 August 2025
- Aconex: LL-GCOR- 066334, 11 June 2025
- Portal receipt: SSD-10389-PA-109 dated 22 September 2025
- Portal receipt: SSD-10389-PA-104 dated 29 May 2025
- Portal receipt: SSD-10389-PA-105 dated 6 June 2025
- JK Environments RAP Addendum Ref E32837BDlet2-RAP-Add, dated 29 March 2025
- PRA Noise & Vibration Monitoring Report April 2025, Rev 2, 19 May 2025
- PRA Noise & Vibration Monitoring Report May 2025, Rev 2, 6 June 2025
- PRA Noise & Vibration Monitoring Report June 2025, Rev 1, 4 July 2025
- PRA Noise & Vibration Monitoring Report July 2025, Rev 1, 12 August 2025
- PRA Noise & Vibration Monitoring Report August 2025, Rev 1, 9 September 2025
- Induction register
- Proponent Response to Audit Findings dated 27 May 2025
- Email and letter dated 29 May 2025 from HI to DPHI
- Extension request OCR (Operation Compliance Report) + letter from HI to DPH dated 16 September 2025
- LHAP Plant Register (Version 1)
- Plant Item No. 684 Komatsu excavator from Keller PC228USLC-11.
- Risk Assessment 18 July 2024 – Report No. 16240 20240716-1025
- LL checklist dated 5 August 2025
- Plant Item No 693 Theos water cart BZ35AL checklist dated 17 September 2025
- Community Notification – Liverpool Health and Academic Precinct – Delivery of Plant, 25 August 2025
- Community Notification for extended hours, 18 July 2025
- DN Tracker for MW – Live
- AIA Stage 2 Project No. 23SUT5709 Version 2 dated 24 June 2025

- Induction slides
- Bingo report sighted up to August 2025
- Douglas Partners Insitu Waste Classification 92418.04, R.003.Rev 0 dated 26 February 2025
- PRA Clearance Certificate PRJ001027-ACM011-V2, 12 June 2025
- PRA Clearance Certificate PRJ001027-ACM0008, 8 July 2025
- PRA Clearance Certificate PRJ001027-ACM013, 22 July 2025
- Hoarding extension for period of 22 September 2025 until 13 February 2026 ref HA-13/2025, 19 September 2025
- Notice of intent to remove friable asbestos sighted – SafeWork NSW – Notification No. 943R-00445258-01 dated 6 August 2025

6. Audit Findings

6.1 Assessment of Compliance

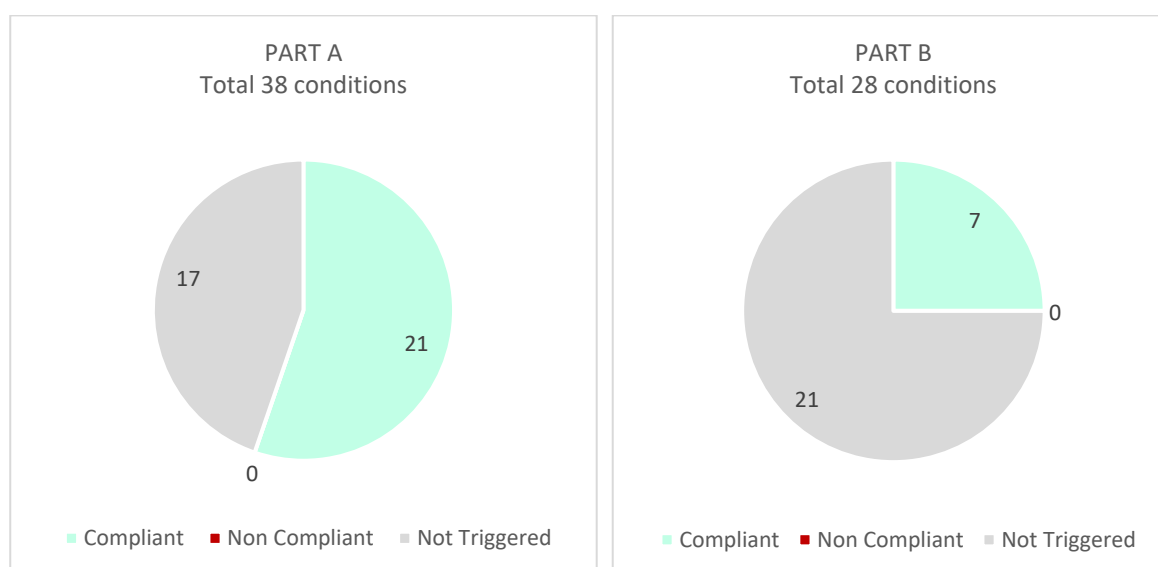
This audit was completed to assess the implementation of the Construction Environmental Management Plan and Sub-Plans, as well as environmental controls established by Lendlease for the Liverpool Hospital Main Works Redevelopment, against Development Consent SSD-10389 (Mod-3) (180 conditions).

The following table summarises the audit findings by rating category:

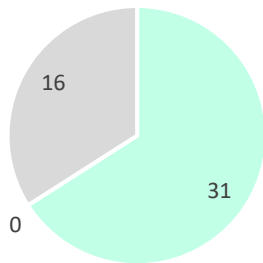
Findings Rating	Findings
Compliant	63
Non-Compliant	0
Not Triggered	117
Total	180

Table 7- Findings Ratings

The comparison of audit requirements against the compliance ratings is as follows:

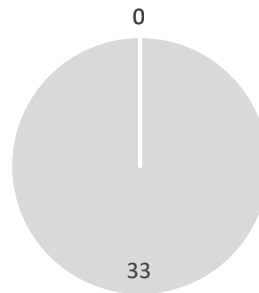


PART C
Total 47 conditions



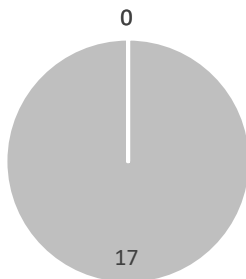
Compliant Non Compliant Not Triggered

PART D
Total 33 conditions



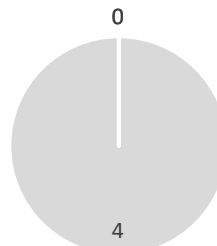
Compliant Non Compliant Not Triggered

PART E
Total 17 conditions



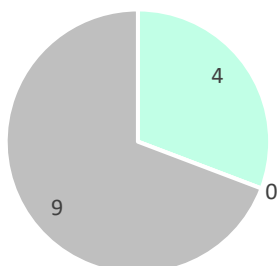
Compliant Non Compliant Not Triggered

INCIDENT & REPORTING REQUIREMENTS
Total 4 conditions



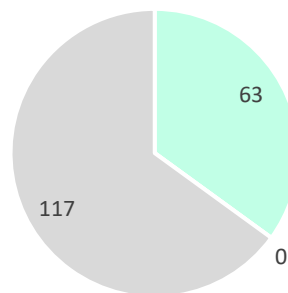
Compliant Non Compliant Not Triggered

Advisory Notes
Total 13 conditions



Compliant Non Compliant Not Triggered

Total 180 Conditions



Compliant Non Compliant Not Triggered

6.2 Notices, Incidents and Complaints

6.2.1 Notices and Incidents

Johnstaff and Lendlease noted that no agency notices, orders, penalty notices or prosecutions have been issued, and no reportable environmental incidents have occurred to date.

6.2.2 Complaints

A Complaints Register is in place where complaint details are recorded, including resolution reached. No complaints were received during the audit period.

6.2.3 Non-Compliances

There were no non-compliance self-reported during the audit period. Non-compliances raised at the previous audit are detailed below under [Section 6.3](#).

No non-compliances were raised during this audit with compliance demonstrated as per Audit Checklist, [Appendix E](#) of this report.

6.3 Previous Audit Findings

Findings and their status from the previous Independent Audit of the Liverpool Hospital Main Works Redevelopment under SSD-10389 (Mod-3), Audit No. 8, dated 8 April 2025, are as follows:

Audit Rating and Ref	Condition Details	Audit Finding Details + Recommendations	Status
Non-Compliance LHAP-08_ NC-01	A2: TERMS OF CONSENT The development may only be carried out: in compliance with the conditions of this consent	Non-Compliances were identified within the scope of the audit, triggering a non-compliance against Condition A2(a). Close out of these non-compliances will automatically address this finding.	Close out of non-compliances below reviewed and addressed. CLOSED
Non-Compliance LHAP-08_ NC-02	A24: ACCESS TO INFORMATION At least 48 hours before the commencement of construction until the completion of all works under this consent, or such other time as agreed by the Planning Secretary, the Applicant must: a. make the following information and documents (as they are obtained or approved) publicly available on its website: <i>Refer to (i) to (x)</i>	At the time of the audit, not all documentation on the project website was up to date. The website should be continually maintained with current documentation to be fully compliant with Condition A2	Website recently upgraded by HI and linked to project documents page. Information was found to be up to date as required by Condition A24. CLOSED
Non-Compliance LHAP-08_ NC-03	B5: PROTECTION OF PUBLIC INFRASTRUCTURE Prior to the commencement of construction, the Applicant must: submit a copy of the dilapidation report to the Planning Secretary, Certifier and Council.	Commencement of Stage 2 was 3 March 2025 as notified; however, the Dilapidation Report was submitted to DPHI 3 April 2025 ref SSD-10389-PA-96, exceeding the prior to commencement timeframe and was therefore self-reported as a non-compliance. In addition to this,	DPHI response as per email sighted, dated 4 April 2025 – breaches recorded; however no further action. CLOSED

Audit Rating and Ref	Condition Details	Audit Finding Details + Recommendations	Status
		submission to Liverpool Council occurred on 26 March 2025, which occurred after the commencement date. It is recommended to review submission requirements and their timeframes to ensure they occur on time.	
Non-Compliance LHAP-08_ NC-04	E3: LONG TERM ENVIRONMENTAL MANAGEMENT PLAN Upon completion of remediation works, and where a LTEMP has been prepared, the Applicant must manage the site in accordance with the LTEMP approved under condition D28 and any on-going maintenance of remediation notice issued by EPA under the <i>Contaminated Land Management Act 1997</i> .	Upon review of Condition E3 as linked to D28, it was identified that the LTEMP was not issued to the Department within one month of the completion of remediation works. As the LTEMP was not submitted to DPHI and approval is yet to be received, a non-compliance is triggered against Condition E3 as the <i>Applicant must manage the site in accordance with the LTEMP approved under Condition D28</i>. It is recommended that timely submission of documentation to DPHI be considered in future.	Following the previous audit, evidence of submission of the LTEMP was provided: LTEMP submitted to DPHI, 11 April 2025, ref SSD-10389-PA-101 with letter from HI. LTEMP with Site Audit Statement attached. DPHI confirmed receipt of the LTEMP, Rev 3 dated 4 March 2025 as prepared by PRA Pty Ltd as per approval letter dated 2 May 2025. This condition is now considered addressed and closed. CLOSED
Opportunity for Improvement LHAP-08_ OFI-01	A11: STAGING A Staging Report prepared in accordance with condition A9 must: <i>Refer to (a) through to (e)</i>	The Staging Report refers to modifications 1 and 2, however does not include wording or reference to modification 3. Based on recent communications with the Department, Compliance Reporting obligations have also been revised for the project. Although Mod-3 does not influence the staging of the project, it is recommended that the Staging Report be updated to refer to Mod-3 as this is still relevant to the Statutory Context of the project. It is also recommended that Appendix A of the Staging Report be reviewed and updated once Compliance Reporting obligations have been confirmed for the operational phases as staged.	Staging Report updated following the audit – sighted Rev 12 dated 17 September 2025 by Wolfpeak now includes Mod-3. Section 3.3 updated to include the alternative timeframes for operational compliance report. CLOSED
Opportunity for Improvement LHAP-08_ OFI-02	C6: CONSTRUCTION HOURS Notification of such construction activities as referenced in condition C5 must be given to affected residents before undertaking the activities or as soon as is practical afterwards.	Notification of make safe works to avoid damage to a property on 28/03/2025 under Condition C5(b) which states that works can be undertaken outside hours: <i>in an emergency to avoid the loss of life, damage to property or to prevent environmental harm</i>; was provided 04/04/2025, one week after the works occurred.	Early morning piling rig delivery – notification as presented as evidence, dated 25 August 2025 Community Notification – Liverpool Health and Academic Precinct – Delivery of Plant. Delivery commencement noted as 2 September 2025 between 3:30am and 4:45am with all oversized loads to be

Audit Rating and Ref	Condition Details	Audit Finding Details + Recommendations	Status
		It is recommended to ensure notification of works under Condition C5 be actioned in a timely manner to remain compliant with Condition C6.	off the road by 5:30am as per NSW Road Regulations. General hotline and email contact details included. Also presented as evidence: 18 July 2025 Community Notification for extended hours 2 August to 21 December 2025 for out of hours Mon-Fri 7am-6pm and Sat-Sun 7am-5pm (Sunday only to be utilised as required). CLOSED
Opportunity for Improvement LHAP-08_ OFI-03	C45: In accordance with the specific requirements in the Independent Audit Post Approval Requirements, the Applicant must: a) review and respond separately to each Independent Audit Report prepared under condition C44 of this consent; b) submit the response to the Planning Secretary and the Certifier; and make each Independent Audit Report and response to it publicly available 60 days after submission to the Planning Secretary.	It is noted that following conduct of this IEA, the previous audit finding was addressed (refer to Section 6.3 of this audit report). However, there was no evidence of handover for the response to the previous audit or the status of close out for the previous audit finding demonstrated. For any changes in personnel, it is recommended adequate handovers occur to demonstrate continual compliance.	Handover presented as evidence – spreadsheet SSDA tracker ‘copy of JL Project Leave’. PM confirmed that an existing Johnstaff handover process is in place and that it will be implemented if required. CLOSED
Note LHAP-08_ Note-01	A15: STAGING, COMBINING AND UPDATING STRATEGIES, PLANS OR PROGRAMS Any strategy, plan or program prepared in accordance with condition A13, where previously approved by the Planning Secretary under this consent, must be submitted to the satisfaction of the Planning Secretary.	Submission of the updated suite of plans (e.g., CEMP Rev 7 dated 28 January 2025) from HI to DPHI is only just occurring. It is noted that there is no timeframe specified for the submission of plan updates (aside from the requirements under Conditions A31 and A32), and that plans are to be submitted to the Department for information only. It is recommended that timely submission of documentation to DPHI be considered in future.	Note only – based on the evidence presented during this audit, there was no requirement to submit plans to DPHI as changes were immaterial. CLOSED

Table 8- Previous Audit Findings

6.4 Audit Site Inspection

A site inspection was conducted of the Stage 2 area led by Lendlease with representatives of Johnstaff, and APP to review the effectiveness of environmental mitigation measures implemented.

Stage 2 soft demolition of the Alex Grimson building was occurring at the time of the audit with piling, shoring and in-ground services work in progress. The following environmental controls were noted to be in place during the site inspection:

- ▶ Tree Protection Zones (TPZ) fenced with signage with protective measures appearing effective and well maintained
- ▶ Protection of pit drains throughout the site including the use of drain guards, sandbags and geofabric (refer to site observations)
- ▶ Water storage unit available
- ▶ Hoarding in place and secured with site personnel access via turnstile
- ▶ Ambient air monitors in place during demolition
- ▶ Hazardous substances appropriately stored with signage
- ▶ Evidence of Envirolab samples for testing
- ▶ Cattle grid installed at heavy vehicle access/egress with hose available for cleaning tyres
- ▶ Workers hosing during piling works to mitigate dust
- ▶ Water cart available onsite
- ▶ Sediment fence installed at site boundary
- ▶ Pedestrian walkway on Campbell Street noted to be clean and free of obstacles
- ▶ Pedestrian detour signage clearly visible on Goulburn Street.

The following site observations were raised:

Observation Ref	Observation Details	Status
LHAP-09_OBS-01	Dust was present during the site inspection	Water cart was deployed immediately
LHAP-09_OBS-02	Refresh of erosion and sediment controls at pit drains required	Close out photos provided demonstrated reinstated control measures
LHAP-09_OBS-03	Spill kit required at hazardous materials area	Close out photo provided showing spill kit relocated
LHAP-09_OBS-04	Some minor tracking onto Campbell Street observed	Water cart observed onsite during inspection

Table 9- Site observations

Photos of the site inspection (including close out photos to address observations) are included in [Appendix G](#).

6.5 Suitability of Plans and the Environmental Management System

The CEMP and Sub-Plans as developed by Lendlease and subject matter experts were approved by Certifying Authority in compliance with the requirements of the Consolidated Development Consent SSD-10389 (Mod-3). All plans are subject to periodic revision. There were no major changes undertaken to the plans during the audit period. Compliance of the Plans against consent conditions SSD 10389 (Mod-3) was verified (refer to [Appendix E](#)) and as follows:

Construction Environmental Management Plan (CEMP) – Condition B11.

- The CEMP includes project information, compliance obligations including reference to the consent conditions, sequencing of construction works, objectives and targets, business continuity, training, communications, subcontractor management, monitoring, incident management and description of operational and environmental controls, which were verified through the site inspection and review of

SSD 10389 conditions Part C – During Construction. No environmental actions were outstanding demonstrating effective implementation of the CEMP.

- The CEMP is regularly updated and is currently Version 8 dated June 2025.

Construction Traffic and Pedestrian Management Sub-Plan (CTPMSP) – Condition B12.

- The CTPMSP includes an overview of existing conditions, e.g., the transport network, public transport and walking and cycling infrastructure; it describes relevant traffic-related activities such as work hours, access, construction vehicle volumes and vehicle routes. The CTPMSP was developed by Stantec and includes the measures for pedestrian and traffic management, including the Driver Code of Conduct.
- The implementation of controls was verified during the review of SSD 10389 conditions Part C – During Construction and site inspection with the heavy vehicle access/egress manned by a traffic controller on Campbell Street.

Construction Noise and Vibration Management Sub-Plan (CNVMSP) – Condition B13.

- The CNVMSP was developed by Property Risk Australia (PRA) and addresses internal communication, regulatory compliance, hours of work, community consultation. It also contains an analysis of noise and vibration in relation to the project, risk assessment and a comprehensive description of controls to be implemented onsite.
- The implementation of controls was verified during the review of SSD 10389 conditions Part C – During Construction.
- Property Risk Australia also provide monthly noise and vibration monitoring reports. Exceedances were recorded during the audit period, however there is justification noted within the reports with no further action required.

Construction Waste Management Sub-Plan (CWMSPP) – Condition B14.

- The CWMSPP addresses the scope of works for the project, objectives, legislative and statutory requirements, key issues and risks. The CWMSPP describes the methodology to be adopted for management of waste at the different phases of the project and includes a description of the key waste streams, estimated quantities, service requirements and opportunities for diversion. In addition to the CWMSPP, Lendlease have in place a Hazardous Chemicals Sub-Plan and Asbestos and Hazardous Building Materials Management Sub-Plan.
- The implementation of controls was verified through the site inspection and review of SSD 10389 conditions Part C – During Construction.

Summary

Based on the outcome of this audit, the Environmental Management Plans continue to be suitable for the project, describing relevant aspects of the works and the required controls for environmental management of the site during the Stage 2 works.

6.6 Development Past Performance

The audit indicated a continued positive environmental performance of the project, as noted by the following:

- Stage 1 complete with Occupational Certificate achieved.
- The CEMP and Sub-Plans were reviewed and implementation verified as per compliance with consent conditions for Stage 2 works.

- Site conditions for Stage 2 appeared well maintained with no record of pollution events or other environmental incidents, disputes or legal notices to date.
- There were no complaints received during the audit period.

6.7 Actual vs Predicated Impacts

The main impacts noted during the audit, including the site inspection, are generally as predicted in the Environmental Impact Statement for the Liverpool Hospital Main Works Redevelopment, including:

6.7.1 Visual Impacts

- Visual impact of the development when viewed from the public domain, had not changed from what was predicted in the EIS.
- Hoarding is now installed for Stage 2 works. Soft demolition was occurring at the time of the site inspection but was not visible from the site boundary. No complaints have been received. A Disruption Notice has been issued for the demolition phase as evidenced.

6.7.2 Lighting and crime prevention

- The EIS notes the benefits towards crime prevention through environmental design. At the current stage of the development the site is secured with restricted access, and lighting is available for members of the public walking on the adjacent footpath at night.
- No graffiti was present during the site inspection, with previous instances appearing mitigated.

6.7.3 Traffic and parking

- A traffic controller continues to be in place at the main heavy vehicle access/egress on Campbell Street.
- No work zones or road occupancy permits were in place at the time of the audit.
- There were no obvious instances of project vehicles parked in residential parking spaces with no complaints received.
- Workers continue to be encouraged to travel by public transport in accordance with the Construction Worker Transportation Strategy.

6.7.4 Noise and vibration

- Soft demolition was occurring during the audit with noise and vibration monitors in place with Property Risk Australia providing monthly reports.
- Noise and vibration impacts appear to be consistent with what is predicted in the EIS with the hospital being the most sensitive receiver.
- The Disruption Notice process continues for communication and consultation to minimise impacts of noise and vibration on sensitive receivers within the hospital and the local community.
- No noise or vibration complaints were received during audit period.

6.7.5 Erosion and sediment

- Controls appeared well established for the Stage 2 works at the time of the audit including sediment fencing along the site boundary, protection of pit drains on Campbell and Goulburn Streets and within the site.
- Water storage available (no discharges have been required)

- Refresh of controls was required for some pit drain protected areas + spill kit was required at hazardous substance storage (refer to [Section 6.4](#)).
- Some minor tracking was present on Campbell Street. It was noted that a water cart was present, managing the dust due to dry conditions onsite.

6.7.6 Other Impacts

There were no other impacts observed related to on environmental aspects such as wind, heritage, or structural, with BCA Crown Certificates issued at each phase of the development.

No significant changes or additional impacts were noted in the actual construction works under Stage 2 as compared to the predicted impacts of the development defined in the Environmental Impact Statement (EIS) developed by Urban Ethos, dated 8 May 2020.

6.8 Key Strengths

The Liverpool Hospital Main Works Redevelopment was found to be generally compliant with the conditions of the Consolidated Development Consent SSD-10389 (Mod-3), with the following key strengths noted:

- ▶ Enablon, used for raising actions onsite, showed no outstanding items, demonstrating a proactive approach with addressing improvement opportunities and site observations, with continued maintenance of actions and their status in the system
- ▶ Lendlease team organised and presented evidence promptly, with a strong understanding of condition requirements and meeting obligations
- ▶ Positive approach to addressing findings / site observations and actioning close out.

6.9 Audit Findings and Recommendations

Implementation of Lendlease's Construction Management Plan and Sub-Plans were verified to be in compliance with Development Consent SSD-10389 (Mod-3). Refer to [Appendix E](#) for full details of the completed audit checklist.

Findings identified during the audit are as summarised overpage (Table 10).

Finding No.	Finding Type	Condition of Consent	Audit Finding Details + Recommendations	Status
LHAP-09_ OFI-01	Opportunity for Improvement	A24: ACCESS TO INFORMATION At least 48 hours before the commencement of construction until the completion of all works under this consent, or such other time as agreed by the Planning Secretary, the Applicant must: (b) make the following information and documents (as they are obtained or approved) publicly available on its website: <i>Refer to (i) to (x)</i>	The project website has been re-formatted; however, it was difficult to navigate and locate the documents as required by Condition A24. <u>Recommendation:</u> It is recommended to review the website layout to improve upon its useability and functionality.	-
LHAP-09_ OFI-02	Opportunity for Improvement	B11: CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN Prior to the commencement of construction, the Applicant must submit a Construction Environmental Management Plan (CEMP) to the Certifier and provide a copy to the Planning Secretary for information.	The current version of the CEMP (Rev 8, June 2025) has not been submitted to the Certifier (BM+G). <u>Recommendation:</u> It is recommended that the CEMP be issued to BM+G to ensure the Certifier has the current version.	Close out received: Aconex ref LL-GCOR-071322 from LL to BM+G 26 September 2025. CLOSED

Table 10- Audit Findings

Appendix A – Audit Agenda



The APP Group

Liverpool Hospital Redevelopment – Main Works – Audit No. 9

Project	Independent Environmental Audit No. 8 – Liverpool Hospital Redevelopment – Main Works	
Proponent	Health Infrastructure	
Project Manager	Johnstaff	
Contractor	Lendlease	
Location	Liverpool Hospital – Lendlease Site Office	
Date and Time	26 September 2025	10:00 AM – 2:00 PM
Auditing Team	Barbara Pater, APP, barbara.pater@app.com.au	
Site contact	Taha Qureshi, Johnstaff, Johnstaff, Taha.qureshi@johnstaff.com.au	
Audit criteria	Development Consent SSD-10389 + in accordance with the <i>Independent Audit Post Approval Requirements</i> (IAPAR 2020)	
Audit scope	Assessment of SSD-10389 Parts A, B, C, D and Appendices, within 26-weeks of previous construction audit (8 April 2025)	

Agenda

Item	Time	Required Personnel
Opening Meeting Confirm scope of the audit, outline the audit process, methodology, timing, access, and resources required.	10:00 AM – 10:15 AM	LL+Johnstaff+HI
Site Walk Sight current construction activities and provide focus for the review of environmental aspects, impacts and controls for: Stage 2	10:15 AM – 11:00 AM	LL+Johnstaff
Review of previous audit findings	11:00 AM – 11:15 AM	LL+Johnstaff

Item	Time	Required Personnel
Review of Consent Conditions SSD-10388 + SSD-10389		
▶ Part A: Administrative Conditions, as applicable ▶ Part B: Prior to Commencement of Construction, as applicable	11:15 AM – 12:00 PM	LL+Johnstaff
Lunch Break	12:00 PM – 12:45 PM	-
▶ Part C: During Construction ▶ Advisory Notes, as applicable	12:45 PM – 1:30 PM	LL+Johnstaff
Auditor consolidation (auditor only) / Afternoon tea break	1:30 PM – 1:45 PM	-
Closing meeting ▶ Outcome of audit and presentation of findings. Deliverables as noted below.	1:45 PM – 2:00 PM	LL+Johnstaff+HI

Deliverables

Audit Deliverables	Responsibility
Draft Report Submission ▶ 15 days following conduct of independent audit	APP
Response to draft report ▶ 7 days following receipt of draft audit report from APP	HI/Johnstaff
Final report submission ▶ Finalised within 7 days following receipt of comments from HI/Johnstaff ▶ Submitted to HI/Johnstaff	APP
Response to findings and submission of final audit report ▶ Final audit report submitted to the DPHI within 60 days	HI/Johnstaff

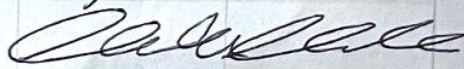
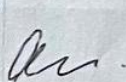
Audit Deliverables	Responsibility
Non-Compliances (if applicable) ▶ HI/Johnstaff is to follow the process to notify DPHI within 7 days regarding any non-compliances raised during the audit. Refer to conditions A28 & A29 of SSD-10389 for details.	HI/Johnstaff

Limitations

- The audit will cover the Stage 2 construction requirements and will therefore be limited to auditing the applicable conditions of Schedules 2, Parts A, B, C and Appendices in accordance with Development Consent Conditions SSD-10389.
- The audit will cover a sampling of records relevant to the scope. APP auditors will apply their professional judgment based on the information made available during the audit.
- APP will conduct the audit in accordance with the *Independent Auditing Post Approval Requirements* (IAPAR 2020) with the following ratings applied: Compliant, Non-Compliant and Not Triggered, with the option to raise any Opportunities for Improvement and/or Observations onsite.

Request for Information
Records to be provided to the Auditor prior to the audit:
▶ Crown Certificate(s) issued since previous audit
▶ Current project plans (CEMP, sub-plans, etc)
▶ Relevant monitoring programs and associated records
▶ Current version(s) of Erosion and Sediment Control plans
▶ Details of any complaints, incidents, non-compliances/non-conformances, unexpected finds during the audit period.

Appendix B – Audit Attendance Sheet

Name	Organisation	Position	Signature	
			Opening Meeting	Closing Meeting
BARBARA PATEL	APP	L.AUDITOR		
Emma Benton	APP	alt head/assistant auditor		
Taha Qureshi	JSP	Senior Project Manager		
Elarae Lee	LLC	SPE		
Ishwary Ramjeevan	JSP	Project Engineer		

Appendix C – Approval of Auditors

NSW Planning ref: SSD-10389-PA-91

Kathryn Saunders

Senior Advisor, Town Planning (Post Approval & Compliance)

Health Infrastructure

1 Reserve Rd

St Leonards NSW 1590

3 October 2024

Sent via the Major Projects Portal only

Subject: Liverpool Hospital Redevelopment – Agreement to Independent Auditor

Dear Ms Saunders,

I refer to your letter dated 26 September 2024 (SSD-10389-PA-91) requesting the Planning Secretary's agreement to a suitably qualified, experienced and independent person as an independent environment auditor for the Liverpool Hospital Redevelopment, approved under SSD 10389 as modified (Consent), for the construction phase of the project.

NSW Planning has reviewed the information you have provided against the *Independent Audit Post Approval Requirements* (2020). NSW Planning is satisfied that Ms Barbara Pater is certified with Exemplar Global as a lead auditor in environmental management systems, is suitably experienced in state significant projects, and has supplied a declaration of independence.

Consequently, I can advise that under Condition C40 of the Consent, the Planning Secretary has agreed to the following lead auditor:

- Ms Barbara Pater, APP Group

This agreement applies to all construction phase audits for the project (and will require the approved auditor to submit a declaration of independence with each subsequent report).

This agreement supersedes any previous agreement(s) of NSW Planning for independent environmental auditors of the Liverpool Hospital Redevelopment.

Please ensure this correspondence is appended to the Independent Audit Report.

The Independent Audit must be prepared, undertaken, and finalised in accordance with the conditions of the Consent and the *Independent Audit Post Approval Requirements* (2020). Failure to meet these requirements will require revision and resubmission.

NSW Planning reserves the right to request an alternate auditor(s) or audit team for future audits.

Should you wish to discuss the matter further, please contact Alfarid Hussain, Compliance Officer, via email at compliance@planning.nsw.gov.au

Yours sincerely

A handwritten signature in black ink that reads "N. Kumar".

Nicholas Kumar

A/Team Leader Compliance – Government Projects

NSW Planning

As nominee of the Planning Secretary

Appendix D – Independent Audit Declarations

Declaration of Independence Form

Independent Audit Declaration Form	
Project Name:	Liverpool Hospital Redevelopment Project
Consent Number:	SSD-10389 (Mod-3)
Description of Project:	The Liverpool Hospital Redevelopment Project involves the construction and operation of the eight storey Integrated Services Building (including basement and plant levels); refurbishment works to old and new clinical service buildings and Caroline Chisolm building; skybridge over Campbell Street; tree removal; demolition, remediation, road, landscaping and utility works, and construction of an at-grade car park.
Project Address:	Liverpool Hospital – Elizabeth Street, Liverpool NSW 2170
Proponent:	Health Infrastructure NSW
Title of Audit:	Independent Environmental Audit
Date:	7 October 2025

I declare that I have undertaken the Independent Audit and prepared the contents of the attached Independent Audit Report and to the best of my knowledge:

- i. the audit has been undertaken in accordance with relevant condition(s) of consent and the Independent Audit Post Approval Requirements (Department 2020);
- ii. the findings of the audit are reported truthfully, accurately and completely;
- iii. I have exercised due diligence and professional judgement in conducting the audit;
- iv. I have acted professionally, objectively and in an unbiased manner;
- v. I am not related to any proponent, owner or operator of the project neither as an employer, business partner, employee, or by sharing a common employer, having a contractual arrangement outside the Independent Audit, or by relationship as spouse, partner, sibling, parent, or child;
- vi. I do not have any pecuniary interest in the project, including where there is a reasonable likelihood or expectation of financial gain or loss to me or spouse, partner, sibling, parent, or child;
- vii. neither I nor my employer have provided consultancy services for the audited project that were subject to this audit except as otherwise declared to the Department prior to the audit; and
- viii. I have not accepted, nor intend to accept any inducement, commission, gift or any other benefit (apart from payment for auditing services) from any proponent, owner or operator of the project, their employees or any interested party. I have not knowingly allowed, nor intend to allow my colleagues to do so.

► **Notes:**

- a) Under section 10.6 of the *Environmental Planning and Assessment Act 1979* a person must not include false or misleading information (or provide information for inclusion in) in a report of monitoring data or an audit report produced to the Minister in connection with an audit if the person knows that the information is false or misleading in a material respect. The proponent of an approved project must not fail to include information in (or provide information for inclusion in) a report of monitoring data or an audit report produced to the Minister in connection with an audit if the person knows that the information is materially relevant to the monitoring or audit. The maximum penalty is, in the case of a corporation, \$1 million and for an individual, \$250,000; and
- b) The *Crimes Act 1900* contains other offences relating to false and misleading information: section 307B (giving false or misleading information – maximum penalty 2 years imprisonment or 200 penalty units, or both)

Name of the Auditor:	Barbara Pater
Signature:	
Qualification:	Lead Environmental Auditor
Company:	APP Corporation Pty Ltd
Company Address:	Level 14, 10 Spring Street, Sydney NSW 2000

Declaration of Independence Form

Independent Audit Declaration Form	
Project Name:	Liverpool Hospital Redevelopment Project
Consent Number:	SSD-10389 (Mod-3)
Description of Project:	The Liverpool Hospital Redevelopment Project involves the construction and operation of the eight storey Integrated Services Building (including basement and plant levels); refurbishment works to old and new clinical service buildings and Caroline Chisolm building; skybridge over Campbell Street; tree removal; demolition, remediation, road, landscaping and utility works, and construction of an at-grade car park.
Project Address:	Liverpool Hospital – Elizabeth Street, Liverpool NSW 2170
Proponent:	Health Infrastructure NSW
Title of Audit:	Independent Environmental Audit
Date:	7 October 2025

I declare that I have undertaken the Independent Audit and prepared the contents of the attached Independent Audit Report and to the best of my knowledge:

- ix. the audit has been undertaken in accordance with relevant condition(s) of consent and the Independent Audit Post Approval Requirements (Department 2020);
- x. the findings of the audit are reported truthfully, accurately and completely;
- xi. I have exercised due diligence and professional judgement in conducting the audit;
- xii. I have acted professionally, objectively and in an unbiased manner;
- xiii. I am not related to any proponent, owner or operator of the project neither as an employer, business partner, employee, or by sharing a common employer, having a contractual arrangement outside the Independent Audit, or by relationship as spouse, partner, sibling, parent, or child;
- xiv. I do not have any pecuniary interest in the project, including where there is a reasonable likelihood or expectation of financial gain or loss to me or spouse, partner, sibling, parent, or child;
- xv. neither I nor my employer have provided consultancy services for the audited project that were subject to this audit except as otherwise declared to the Department prior to the audit; and
- xvi. I have not accepted, nor intend to accept any inducement, commission, gift or any other benefit (apart from payment for auditing services) from any proponent, owner or operator of the project, their employees or any interested party. I have not knowingly allowed, nor intend to allow my colleagues to do so.

► Notes:

- a) Under section 10.6 of the *Environmental Planning and Assessment Act 1979* a person must not include false or misleading information (or provide information for inclusion in) in a report of monitoring data or an audit report produced to the Minister in connection with an audit if the person knows that the information is false or misleading in a material respect. The proponent of an approved project must not fail to include information in (or provide information for inclusion in) a report of monitoring data or an audit report produced to the Minister in connection with an audit if the person knows that the information is materially relevant to the monitoring or audit. The maximum penalty is, in the case of a corporation, \$1 million and for an individual, \$250,000; and
- b) The *Crimes Act 1900* contains other offences relating to false and misleading information: section 307B (giving false or misleading information – maximum penalty 2 years imprisonment or 200 penalty units, or both)

Name of the Auditor:	Grant Brown
Signature:	
Qualification:	Senior Environmental Consultant & Certified Lead Environmental Auditor
Company:	APP Corporation Pty Ltd
Company Address:	Level 14, 10 Spring Street, Sydney NSW 2000

Appendix E – Audit Checklist

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
1	PART	A	ADMINISTRATIVE CONDITIONS			
1.1	A	A1	OBLIGATION TO MINIMISE HARM TO THE ENVIRONMENT In addition to meeting the specific performance measures and criteria in this consent, all reasonable and feasible measures must be implemented to prevent, and, if prevention is not reasonable and feasible, minimise any material harm to the environment that may result from the construction and operation of the development.	Based on the outcome of the audit and site inspection, with the project recording no environmental incidents to date, it was determined that feasible measures were implemented to prevent material harm to the environment during construction of the Stage 2 works. Minor observations were raised during the site inspection, however these did not impact or cause any material harm to the environment.	Note: minor observations raised onsite as follows: OBS-01 - Dust was present during the site inspection. Water cart was deployed immediately OBS-02 - Refresh of erosion and sediment controls at pit drains required. Close out photos provided demonstrated reinstated control measures. OBS-03 - Spill kit required at hazardous materials area. Close out photo provided showing spill kit relocated. OBS-04 - Some minor tracking onto Campbell Street observed. Water cart observed onsite during inspection.	Compliant
1.2	A	A2	TERMS OF CONSENT The development may only be carried out: (a) in compliance with the conditions of this consent; (b) in accordance with all written directions of the Planning Secretary; (c) generally in accordance with the EIS and Response to Submissions as amended by SSD-10389-Mod-1; SSD-10389-Mod-2; SSD-10389-Mod-3; and (d) in accordance with the approved plans in the consolidated consent.	(a) No non-compliances were identified with the conditions of consent with only improvement opportunities raised. (b) Written directions from the Planning Secretary as per Condition A3. (c) Verified to be generally in accordance with the EIS and RtS. The CEMP includes reference to the EIS in Section 3.1. Project still under Mod-3, approved 22/01/2024. (d) One BCA Crown Certificate received since previous audit (conducted Apr-25) – CC2.2 ref CRO-25001 dated 31 July 2025. References Fitzpatrick & Partners Architectural Drawings from 2024. CC2.2 covers: Construction of new on-grade carpark and associated civil and landscaping works		Compliant

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
1.3	A	A3	Consistent with the requirements in this consent, the Planning Secretary may make written directions to the Applicant in relation to: (a) the content of any strategy, study, system, plan, program, review, audit, notification, report or correspondence submitted under or otherwise made in relation to this consent, including those that are required to be, and have been, approved by the Planning Secretary; (b) any reports, reviews or audits commissioned by the Planning Secretary regarding compliance with this approval; and (c) the implementation of any actions or measures contained in any such document referred to in (a) above.	Written direction as received from DPHI in accordance with Condition A3(a) – letter presented as evidence: ref SSD-10389-PA-108 dated 17 July 2025 in response to extended working hours request; DPHI approved the extended hours as follows: Mon-Fri 7am-6pm and Sat-Sun 7am-5pm (Sunday only to be utilised as required). DPHI also requested that the Construction Noise and Vibration Impact Statement (CNVIS) Revision 3 dated 2 July 2025 actioned by PRA for the extended hours to be published on the project website which was sighted as contained on the website.		Compliant
1.4	A	A4	The conditions of this consent and directions of the Planning Secretary prevail to the extent of any inconsistency, ambiguity or conflict between them and a document listed in condition A2(c). In the event of an inconsistency, ambiguity or conflict between any of the documents listed in condition A2(c), the most recent document prevails to the extent of the inconsistency, ambiguity or conflict.	Johnstaff and LL confirmed during the audit interview that there have been no inconsistencies to date.		Not Triggered
1.5	A	A5	LIMITS ON CONSENT This consent lapses five years after the date of consent unless work is physically commenced.	Works have physically commenced, expected project completion is 2027. This consent has not lapsed.		Not Triggered
1.6	A	A6	CAMPBELL STREET SHARED ZONE The Campbell Street shared zone is not approved, and the works associated with the shared zone do not form part of the development approved under this consent.	LL confirmed during the audit interview that there have been no works undertaken on the Campbell Street shared zone.		Not Triggered
1.7	A	A7	PRESCRIBED CONDITIONS The Applicant must comply with all relevant prescribed conditions of development consent under Part 4, Division 2 of the EP&A Regulation. <i>P6, Dv8A:</i> <i>C198 Compliance with Building Code of Australia and insurance requirements under the Home Building Act 1989;</i> <i>98A Erection of signs</i> <i>98B Notification of Home Building Act 1989 requirements</i> <i>98C Conditions relating to entertainment venues</i> <i>98D Condition relating to maximum capacity signage</i>	CC 2.1 Schedule 2 – Conditions & Exclusions No. 3 states the following documents from BCA Stage 2 – Crown Requirements List R7 dated 10.10.2024 are required to be provided to the satisfaction of BM+G prior to piling and shoring works commencing for Stage 2 works. Piling and shoring commenced 9 September 2025. Close out for Items 6 & 7: Pile Design Certificate Ref KA0542 from Keller Pty Ltd for Stage 2 BCA classifications as listed 2 April 2025. Addressed to BM+G. AS also listed e.g., AS1170.2-2011. Signed by Design Eng and Eng Mgr.		Compliant

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
			98E Condition relating to shoring and adequacy of adjoining property.	AN6 – LL 6 May 2025 for Utilities and Services – confirms the terms and conditions of Endeavour Energy Model Standing Offer has been agreed to. Close out for items 17: Plumbing Axis Group dated 24 September 2025 for BCA 2019 Part B1 and AS1170.4 – 2007 Amendment 1 & 2. Hydraulic Design Statement. Reg Design Practitioner and Principal Design Practitioner. Reg No. DEP0002907. Certifier Aconex reissued BM+G GCOR-001807 with status attached. But issued earlier as 001805 on 24 September 2025 but did not have any attachments. Extra handrail, otherwise progressing. Crown Certificate still in place for Stage 3.1: CRO-24113 dated 29 November 2024 for remaining Stage 3 Refurb Works in CSB – (Including CSB refurb areas and associate façade, services and fitout works – ED, Bike Store, Staff Room & Training, Medical Records, Staff Amenities, Med Gas Store), and Caroline Chisholm interim works (NICU L2, Cancer admin L2, CGU L1). One BCA Crown Certificate received during audit period – CC2.2 ref CRO-25001 dated 31 July 2025 which covers: Construction of new on-grade carpark and associated civil and landscaping works – however, LL confirmed during the audit interview that on-grade car park works are yet to commence.		
1.8	A	A8	PLANNING SECRETARY AS MODERATOR In the event of a dispute between the Applicant and a public authority, in relation to an applicable requirement in this approval or relevant matter relating to the Development, either party may refer the matter to the Planning Secretary for resolution. The Planning Secretary's resolution of the matter must be binding on the parties.	Johnstaff + LL confirmed during the audit interview that no disputes were raised or recorded during the audit period.		Not Triggered
1.9	A	A9	EVIDENCE OF CONSULTATION Where conditions of this consent require consultation with an identified party, the Applicant must: (a) consult with the relevant party prior to submitting the subject document for information or approval; and (b) provide details of the consultation undertaken including: (i) the outcome of that consultation, matters resolved and unresolved; and	Johnstaff + LL confirmed during the audit interview that no was consultation undertaken during the audit period.		Not Triggered

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
			(ii) details of any disagreement remaining between the party consulted and the Applicant and how the Applicant has addressed the matters not resolved.			
1.10	A	A10	STAGING The project may be constructed and operated in stages. Where compliance with conditions is required to be staged due to staged construction or operation, a Staging Report (for either or both construction and operation as the case may be) must be prepared and submitted to the satisfaction of the Planning Secretary. The Staging Report must be submitted to the Planning Secretary no later than one month before the commencement of construction of the first of the proposed stages of construction (or if only staged operation is proposed, one month before the commencement of operation of the first of the proposed stages of operation).	Staging Report Rev 12 dated 17 September 2025 updated based on the previous audit improvement opportunity as presented as evidence. Now includes Modification 3 details and Compliance Reporting obligations for operation. Submitted to DPHI as per portal receipt sighted: SSD-10389-PA-109 dated 22 September 2025. DPHI responded as per ref SSD-10389-PA-109 dated 23 September 2025 presented as evidence in response to Staging Report, confirming Staging Report is satisfactory. Based on the audit interviews and activities observed onsite, the project is currently under Stage 2 – CC 2.1, with Stage 3 continuing for internal fit out works. CC 2.2 for on-grade car park works was received 31 July 2025; however, works have not yet commenced.		Compliant
1.11	A	A11	A Staging Report prepared in accordance with condition A9 must: (a) if staged construction is proposed, set out how the construction of the whole of the project will be staged, including details of work and other activities to be carried out in each stage and the general timing of when construction of each stage will commence and finish; (b) if staged operation is proposed, set out how the operation of the whole of the project will be staged, including details of work and other activities to be carried out in each stage and the general timing of when operation of each stage will commence and finish (if relevant); (c) specify how compliance with conditions will be achieved across and between each of the stages of the project; (d) specify how compliance with independent auditing requirements will be achieved across and between each of the operational stages of the project; and (e) set out mechanisms for managing any cumulative impacts arising from the proposed staging.	Requirements as addressed in the Staging Report Rev 12 dated 17 September 2025 as presented as evidence and reviewed as follows: Table in Section 2 indicates the stage, the stage activities, indicative commencement dates and indicative completion dates. Stage 1 (5 sub-stages), Stage 2 demolition and structural work, Stage 3 remaining refurbishment works. (a) Appendix A includes a staging matrix for relevant conditions. (b) Staging description included in Section 2.1 for construction (c) Staging description included in Section 2.2 for operation (d) Compliance with conditions - Appendix A (e) Cumulative impacts detailed in Section 3.5		Compliant
1.12	A	A12	Where a Staging Report is required, the project must be staged in accordance with the Staging Report, as approved by the Planning Secretary.	Staging Report Rev 12 dated 17 September 2025 as presented as evidence – submitted and approved as per letter from DPHI ref: SSD-10389-PA-109 dated 23 September 2025 confirming Staging Report is satisfactory.		Compliant

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				Based on the evidence presented and observed during the audit site inspection, the project is staged generally in accordance with the staging report: Current works under Stage 2 – demolition works still ongoing with piling and shoring commenced 9 September 2025. Stage 2 completion proposed for Q1 2027. Stage 2 operation proposed Q3 2027. On-grade car park works have not yet commenced. Stage 3 – ongoing refurbishment works. Expected completion Q4 2027.		
1.13	A	A13	Where construction or operation is being staged in accordance with a Staging Report, the terms of this consent that apply or are relevant to the works or activities to be carried out in a specific stage must be complied with at the relevant time for that stage as identified in the Staging Report including independent auditing requirements.	Based on the evidence presented, audit interviews and as observed during the site inspection, construction appeared to be carried out in accordance with the Staging Report Rev. 12 dated 17 September 2025 for Stage 2 works. Stage 2 involves the construction of the balance of the Integrated Services Building, generally from around grid line M and northwards and includes the following key activities: • Demolition of existing Cancer Building, Pathology Building, and Alex Grimson Building and associated structures, and • Structural work including piling, substructure, and main structure. Stage 2 also includes the completion of the façade upgrade works to the Oncology Bunkers Building (Building 03) as part of the overall integrated façade works. At the time of the audit, soft demolition was in progress for the Alex Grimson building with some trenching occurring for in-ground services.		Compliant
1.14	A	A14	STAGING, COMBINING AND UPDATING STRATEGIES, PLANS OR PROGRAMS The Applicant may: (a) prepare and submit any strategy, plan (including management plan, architectural or design plan) or program required by this consent on a staged basis (if a clear description is provided as to the specific stage and scope of the development to which the strategy, plan (including management plan, architectural or design plan) or program applies, the relationship of the stage to any future stages and the trigger for updating the strategy, plan	The project has adopted a staged approach, as per the Staging Report Rev. 12 dated 17 September 2025, as approved by DPHI as presented as evidence. Staging Report only staged document as updated, issued to BM+G as per Aconex presented: ref LL-GCOR-070919 on 17 September 2025. Plan reviews occur every three months. Updated for Stage 2 with minimal changes occurring – Construction		Compliant

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			(including management plan, architectural or design plan) or program); (b) combine any strategy, plan (including management plan, architectural or design plan), or program required by this consent (if a clear relationship is demonstrated between the strategies, plans (including management plan, architectural or design plan) or programs that are proposed to be combined); and (c) update any strategy, plan (including management plan, architectural or design plan), or program required by this consent (to ensure the strategies, plans (including management plan, architectural or design plan), or programs required under this consent are updated on a regular basis and incorporate additional measures or amendments to improve the environmental performance of the development).	Environmental Management Plan (CEMP) Rev 8, June 2025 – updated to include on-grade car park drawing.		
1.15	A	A15	Any strategy, plan or program prepared in accordance with condition A13, where previously approved by the Planning Secretary under this consent, must be submitted to the satisfaction of the Planning Secretary.	Staging Report Rev 12 dated 17 September 2025 as presented as evidence – submitted and approved as per letter from DPHI ref: SSD-10389-PA-109 dated 23 September 2025 confirming Staging Report is satisfactory.		Compliant
1.16	A	A16	If the Planning Secretary agrees, a strategy, plan (including management plan, architectural or design plan), or program may be staged or updated without consultation being undertaken with all parties required to be consulted in the relevant condition in this consent.	Johnstaff + LL confirmed during the audit interview that no consultation was required during audit period. No updates requiring consultation.		Not Triggered
1.17	A	A17	Updated strategies, plans (including management plan, architectural or design plan), or programs supersede the previous versions of them and must be implemented in accordance with the condition that requires the strategy, plan, program or drawing.	Staging Report Rev 12 dated 17 September 2025 is currently being implemented as evidenced in the preceding conditions. CEMP updated to Version 8, June 2025 updated to include the on-grade car park drawing. Current suite of plans issued as presented as evidence Aconex LL-GCOR-068988, 1 August 2025.		Compliant
1.18	A	A18	STRUCTURAL ADEQUACY All new buildings and structures, and any alterations or additions to existing buildings and structures, that are part of the development, must be constructed in accordance with the relevant requirements of the BCA. <i>Notes: Part 8 of the EP&A Regulation sets out the requirements for the certification of the development.</i>	Crown Certificate CRO-24113 issued 29 November 2024 for Stage 3.1. LL confirmed during the audit interview that no structural changes occurred during the audit period and construction was continuing as designed.		Compliant

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1.19	A	A19	EXTERNAL WALLS AND CLADDING The external walls of all buildings including additions to existing buildings must comply with the relevant requirements of the BCA.	External walls and façade are unchanged and as per previous audits. CC 2.1 lists the following: - Item 4. Structural Design Certificate, Eureka Façade Engineering, 26 February 2024. - Item 5. Weatherproofing Performance Based Design Brief, Eureka Façade Engineering, 21 October 2022 - Item 6. Performance Solution Report, Eureka Façade Engineering, 26 February 2024. - Item 7. External Wall System Disclosure Statement, Foxville Projects Group Pty Ltd, 19 December 2023. CC 3.1 lists the following: - Item 6: External Wall Disclosure Statement – Appendix by Fitzpatrick + Partners Architects, 11 October 2021 - Item 7: External Wall System Disclosure Statement by Fitzpatrick + Partners Architects, 13 December 2022. LL confirmed during the audit interview that no changes occurred during the audit period and construction was continuing as designed.		Compliant
1.20	A	A20	SITE CONTAMINATION Remediation approved as part of this development consent must be carried out in accordance with the Remediation Action Plan (RAP), dated 29 April 2020, prepared by JK Environments, or any updated RAP, prepared by a Certified Contaminated Land Consultant.	LL confirmed during the audit interview that the Remediation Action Plan dated 29/04/2020 continues to be in place for any unexpected finds. Addendum presented as evidence dated 29 March 2025 Ref E32837BDlet2-RAP-Add. To combine the RAP between the 2 SSD for the on-grade car park works. Signed by Environmental Scientist. JK Environments. SC41209.		Compliant
1.21	A	A21	APPLICABILITY OF GUIDELINES References in the conditions of this consent to any guideline, protocol, Australian Standard or policy are to such guidelines, protocols, Standards or policies in the form they are in as at the date of this consent.	Guidelines such as BCA and Australian Standards requirements are included in the Design and BCA Certificates. Australian Standard for Disability has been followed. CEMP and sub-plans also include relevant guidelines throughout the plans.		Compliant
1.22	A	A22	Consistent with the conditions of this consent and without altering any limits or criteria in this consent, the Planning Secretary may, when issuing directions under this consent in respect of ongoing monitoring and management obligations, require compliance with an updated or revised	Johnstaff + LL confirmed during the audit interview that no directions received from DPHI regarding compliance with updated or revised versions of guidelines or standards.		Not Triggered

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			version of such a guideline, protocol, Standard or policy, or a replacement of them.			
1.23	A	A23	MONITORING AND ENVIRONMENTAL AUDITS Any condition of this consent that requires the carrying out of monitoring or an environmental audit, whether directly or by way of a plan, strategy or program, is taken to be a condition requiring monitoring or an environmental audit under Division 9.4 of Part 9 of the EP&A Act. This includes conditions in respect of incident notification, reporting and response, noncompliance notification, Site audit report and independent auditing. <i>Note: For the purposes of this condition, as set out in the EP&A Act, “monitoring” is monitoring of the development to provide data on compliance with the consent or on the environmental impact of the development, and an “environmental audit” is a periodic or particular documented evaluation of the development to provide information on compliance with the consent or the environmental management or impact of the development.</i>	Johnstaff + LL confirmed during the audit interview, that no notifiable environmental incidents have occurred to date, supported as based on the review of audit evidence and prior audits. Property Risk Australia (PRA) undertake regular noise and vibration monitoring and provide reports: - PRA Noise & Vibration Monitoring Report April 2025, Rev 2, 19 May 2025 - PRA Noise & Vibration Monitoring Report May 2025, Rev 2, 6 June 2025 - PRA Noise & Vibration Monitoring Report June 2025, Rev 1, 4 July 2025 - PRA Noise & Vibration Monitoring Report July 2025, Rev 1, 12 August 2025 - PRA Noise & Vibration Monitoring Report August 2025, Rev 1, 9 September 2025 Independent Environmental Audits occurring every 6 months in accordance with the IAPAR 2020 guidelines.		Compliant
1.24	A	A24	ACCESS TO INFORMATION At least 48 hours before the commencement of construction until the completion of all works under this consent, or such other time as agreed by the Planning Secretary, the Applicant must: (a) make the following information and documents (as they are obtained or approved) publicly available on its website: (i) the documents referred to in condition A2 of this consent; (ii) all current statutory approvals for the development; (iii) all approved strategies, plans and programs required under the conditions of this consent; (iv) regular reporting on the environmental performance of the development in accordance with the reporting arrangements in any plans or programs approved under the conditions of this consent; (v) a comprehensive summary of the monitoring results of the development, reported in accordance with the specifications in any conditions of this consent, or any approved plans and programs;	Website continues to be in place: https://www.hinfra.health.nsw.gov.au/our-projects/project-search/liverpool-health-and-academic-precinct (a) Website includes: (i) Link to Major Projects portal which includes the EIS and RtS (ii) Link to Major Projects portal has original consent + modifications 1 & 2. Separate link to consolidated modification (Mod-3). Project Documents link within project website contains Crown Certificates. (iii) CEMP, Air Quality, Asbestos and Hazardous Building Materials, Conservation and Habitat, Contamination, Heritage and Archaeological, Waste, Noise and Vibration, Stormwater, Erosion and Sedimentation, and Traffic and Parking Management Sub-Plans included. (iv) Noise and Vibration Monitoring for current results for April to August 2025. (v) Noise and Vibration and Airborne Asbestos Monitoring current results as above.	Opportunity for Improvement LHAP-09_OFI-01: The project website has been re-formatted; however, it was difficult to navigate and locate the documents as required by Condition A24. <u>Recommendation:</u> It is recommended to review the website layout to improve upon its useability and functionality.	Compliant

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			(vi) a summary of the current stage and progress of the development; (vii) contact details to enquire about the development or to make a complaint; (viii) a complaints register, updated monthly; (ix) audit reports prepared as part of any independent audit of the development and the Applicant's response to the recommendations in any audit report; (x) any other matter required by the Planning Secretary; and (b) keep such information up to date, to the satisfaction of the Planning Secretary and publicly available for 12 months after the commencement of operations.	(vi) Link "Summary of the Current Stage and Progress of the Development" – to lhap.health.nsw.gov.au which provides the latest newsletter and Project milestones. (vii) Contact details as per Contact tab (viii) Complaints Register up to No. 27 on 3 April 2025. No complaints received during the audit period. (ix) Audit Reports + response included up to audit No. 8. (x) CNVIS required by DPHI to be uploaded in response to OOHW approval. (b) All information appeared to be up to date at the time of the audit, however project is still under construction and full operation has not yet been achieved.		
1.25	A	A25	COMPLIANCE The Applicant must ensure that all of its employees, contractors (and their sub-contractors) are made aware of, and are instructed to comply with, the conditions of this consent relevant to activities they carry out in respect of the development.	SSD conditions continue to be included as part of the contract documents for all the subcontractors as confirmed by LL during the audit interview, with updated plans issued through Aconex to all sub-contractors. Current suite of plans issued through as presented as evidence Aconex LL-GCOR-068988 ,1 August 2025. Induction register in place showing who has been inducted on site. LHAP Induction Register – managed by Safety Coordinator LL confirmed during the audit interview that no changes to the Stage 2 induction have occurred since the previous audit.		Compliant
1.26	A	A26	INCIDENT NOTIFICATION, REPORTING AND RESPONSE The Planning Secretary must be notified through the major projects portal immediately after the Applicant becomes aware of an incident. The notification must identify the development (including the development application number and the name of the development if it has one), and set out the location and nature of the incident.	Johnstaff + LL confirmed during the audit interview that no material harm or environmental incidents were reported during the audit period.		Not Triggered
1.27	A	A27	Subsequent notification must be given and reports submitted in accordance with the requirements set out in Appendix 2 .	Johnstaff + LL confirmed during the audit interview that no notification of material harm incidents were required.		Not Triggered

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1.28	A	A28	NON-COMPLIANCE NOTIFICATION The Planning Secretary must be notified through the major projects portal within seven days after the Applicant becomes aware of any non-compliance. The Certifier must also notify the Planning Secretary through the major projects portal within seven days after they identify any non-compliance.	Non-compliances as identified during the previous audit as follows: Submitted to DPHI as per evidence presented: Proponent Response to Audit Findings dated 27 May 2025 (actioned within 7 days of Final V0 of the audit report dated 22 May 2025). Email and letter dated 29 May 2025 from HI to DPHI. Submitted as per SSD-10389-PA-104. Johnstaff + LL confirmed during the audit interview that there were no self-reported non-compliances during the audit period.		Compliant
1.29	A	A29	The notification must identify the development and the application number for it, set out the condition of consent that the development is non-compliant with, the way in which it does not comply and the reasons for the non-compliance (if known) and what actions have been, or will be, undertaken to address the non-compliance.	As per letter dated 29 May 2025 from HI to DPHI presented as evidence which included reference to consent (SSD-10389), table with a list of findings from the audit, reasons it does not comply (e.g., administrative oversight), and actions to be taken. Submitted as per SSD-10389-PA-104 as per Condition A28.		Compliant
1.30	A	A30	A non-compliance which has been notified as an incident does not need to also be notified as a non-compliance.	Based on the evidence presented regarding non-compliance notification, non-compliances were not notified as an incident.		Not Triggered
1.31	A	A31	REVISION OF STRATEGIES, PLANS AND PROGRAMS Within three months of: (a) the submission of a compliance report under condition A36; (b) the submission of an incident report under condition A27; (c) the submission of an Independent Audit under condition C46; (d) the approval of any modification of the conditions of this consent; or (e) the issue of a direction of the Planning Secretary under condition A2 which requires a review, the strategies, plans and programs required under this consent must be reviewed, and the Planning Secretary and the Certifier must be notified in writing that a review is being carried out.	CEMP Rev 8, June 2025 as presented as evidence notes drawing included for on-grade car park only. As based on the evidence presented and changes to the CEMP as reviewed, no updates or reviews were required during audit period in relation to the following: (a) no compliance reports submitted under Condition A36 (b) no incident reports issued under Condition A27 (c) previous Independent Audit did not trigger any changes to plans. (d) no modifications approved during the audit period. (e) no directions received from DPHI.		Not Triggered
1.32	A	A32	If necessary to either improve the environmental performance of the development, cater for a modification or comply with a direction, the strategies, plans, programs or drawings required under this consent must be revised, to the satisfaction of the Planning Secretary or Certifier (where	LL confirmed during the audit interview that no changes to the CEMP affected the environmental performance of the project, with the on-grade car park drawing added to the CEMP		Not Triggered

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			previously approved by the Certifier). Where revisions are required, the revised document must be submitted to the Planning Secretary and / or Certifier for approval and / or information (where relevant) within six weeks of the review. Note: This is to ensure strategies, plans and programs are updated on a regular basis and to incorporate any recommended measures to improve the environmental performance of the development.	unchanged (*enter drawing details), not triggering submission in accordance with Condition A32.		
1.33	A	A33	COMPLIANCE REPORTING No later than 48 hours prior to the commencement of construction, a Compliance Monitoring and Reporting Schedule prepared in accordance with the Compliance Reporting Post Approval Requirements, as amended by condition A34, must be submitted to the Planning Secretary and the Certifier.	Post-operation compliance report to be submitted at the end of the final phase as confirmed by DPHI – letter ref SSD-10389-PA-87 dated 4 September 2024. Three reports will be submitted within 26-weeks of final completion, estimated to be Q1 2028. No compliance reports have been triggered during the audit period.		Compliant
1.34	A	A34	Table 1 of the Compliance Reporting Post Approval Requirements is amended so that the Compliance Monitoring and Reporting Schedule, minimum frequency of Compliance Reports required is: (a) a Pre-Construction Compliance Report must be submitted to the Planning Secretary prior to commencement of construction; (b) a Pre-Operational Compliance Report must be submitted to the Planning Secretary prior to commencement of operation and/or use; and (c) Operation Compliance Reports are required for the duration of operation and must be submitted to the Planning Secretary at intervals, no greater than 52 weeks from the commencement of operation or as otherwise by the Planning Secretary.	Pre-construction Compliance Report was prepared in accordance with CRPAR 2020 as previously evidenced. Stage 1 commenced operation 3 October 2024. Email from DPHI presented as evidence dated 16 September 2025 to HI confirming that approval is being sought to lodge the Operational Compliance Report for Stage 1 by January 2027 – extension request OCR (Operation Compliance Report) + letter sighted from HI to DPH dated 16 September 2025. Timeframe is still compliant; however, deadline upcoming prior to 3 October 2025 (OCR required within 52-weeks of operation)		Compliant
1.35	A	A35	Compliance Reports of the development must be prepared in accordance with the Compliance Reporting Post Approval Requirements.	Johnstaff confirmed during the audit interview that no compliance reports were required to be actioned during the audit period.		Not Triggered
1.36	A	A36	Compliance Reports of the development must be submitted to the Planning Secretary in accordance with timing outlined in the Compliance Monitoring and Reporting Schedule.	Johnstaff confirmed during the audit interview that no compliance reports were required to be actioned during the audit period.		Not Triggered
1.37	A	A37	The Applicant must make each Compliance Report publicly available 60 days after submitting it to the Planning Secretary.	This condition may become triggered during the operational phase. Compliance Reporting obligations for operation updated within Staging Report Rev 12 dated 17 September 2025. Submitted to DPHI as per portal receipt sighted: SSD-10389-PA-109 dated 22 September 2025. DPHI responded as per ref SSD-10389-PA-109 dated 23 September 2025 presented as evidence in response to Staging Report, confirming Staging Report is satisfactory.		Not Triggered

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1.38	A	A38	Notwithstanding the requirements of the Compliance Reporting Post Approval Requirements, the Planning Secretary may approve a request for ongoing annual operation Compliance Reports to be ceased, where it has been demonstrated to the Planning Secretary's satisfaction that consistent operational compliance has been achieved.	Post-operation compliance report to be submitted at the end of the final phase as confirmed by DPPI – letter ref SSD-10389-PA-87 dated 4 September 2024. Three reports will be submitted within 26-weeks of final completion, estimated to be Q1 2028. Johnstaff confirmed during the audit interview that no compliance reports were required to be actioned during the audit period.		Not Triggered
2	PART	B	PRIOR TO ISSUE OF COMMENCEMENT OF CONSTRUCTION			
2.1	B	B1	NOTICE OF COMMENCEMENT The Applicant must notify the Planning Secretary in writing of the dates of the intended commencement of construction at least 48 hours before those dates.	Original submission as previously evidenced. Stage 2 construction commencement letter dated 28 February 2025 (SSD-10389-PA-95) for date to commence 3 March 2025. Johnstaff + LL confirmed during the audit interview that no new stages required notification. This condition was therefore not triggered during the audit period.		Not Triggered
2.2	B	B2	If the construction of the development is to be staged, the Planning Secretary must be notified in writing at least 48 hours before the commencement of each stage, of the date of commencement and the development to be carried out in that stage.	Stage 2 construction notification letter dated 28 February 2025 (submitted as per portal receipt SSD-10389-PA-95) for date to commence 3 March 2025 as presented as evidence. Johnstaff + LL confirmed during the audit interview that no new stages required notification. This condition was therefore not triggered during the audit period		Not Triggered
2.3	B	B3	CERTIFIED DRAWINGS Prior to the commencement of construction, the Applicant must submit to the satisfaction of the Certifier structural drawings prepared and signed by a suitably qualified practising Structural Engineer that demonstrates compliance with this development consent.	Structural Design Compliance Certificate SCP Consulting Pty Ltd, 6 December 2023 Structural Design Certificate Eureka Façade Engineering Pty Ltd, 26 February 2024. Included under CC 2.1. CC 3.1 works commenced January 2025. CC includes Structural certification SCP dated 15 November 2024. CC3.1 works are ongoing under Stage 3. Prior to construction requirement is no longer triggered.		Not Triggered
2.4	B	B4	EXTERNAL WALLS AND CLADDING Prior to the commencement of façade construction, the Applicant must provide the Certifier with documented evidence that the products and systems proposed for use or used in the construction of external walls, including finishes and claddings such as synthetic or aluminium composite panels, comply with the requirements of the BCA. The Applicant must	Structural Design Certificate Eureka Façade Engineering Pty Ltd, 26 February 2024 Included under CC 2.1. Weatherproofing Performance Based Design Brief Eureka Façade Engineering Pty Ltd, 21 October 2022		Not Triggered

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			provide a copy of the documentation given to the Certifier to the Planning Secretary within seven days after the Certifier accepts it.	Performance Solution Report Eureka Façade Engineering Pty Ltd, 26 February 2024 External Wall System Disclosure Statement Foxville Projects Group Pty Ltd, 19 December 2023 Submitted to DPHI as per Stage 1 submission. LL confirmed during the audit interview that design was unchanged for Stage 2. Stage 2 is still under demolition phase. Façade installation has not yet occurred. This will become triggered for any changes to design.		
2.5	B	B5	PROTECTION OF PUBLIC INFRASTRUCTURE Prior to the commencement of construction, the Applicant must: (a) consult with the relevant owner and provider of services that are likely to be affected by the development to make suitable arrangements for access to, diversion, protection and support of the affected infrastructure; (b) prepare a dilapidation report identifying the condition of all public infrastructure in the vicinity of the site (including roads, gutters and footpaths); and (c) submit a copy of the dilapidation report to the Planning Secretary, Certifier and Council.	Dilapidation Reports for Stage 2 actioned as per previous audit. Timing of this condition is no longer triggered.		Not Triggered
2.6	B	B6	PRE-CONSTRUCTION DILAPIDATION REPORT Prior to the commencement of construction, the Applicant must submit a pre-commencement dilapidation report to Council and the Certifier. The report must provide an accurate record of the existing condition of adjoining private properties and Council assets that are likely to be impacted by the proposed works.	Issued to BM+G (Certifier) via Aconex LL-GCOR-059829 dated 9 January 2025 + Aconex LL-GCOR-058970 on 4 December 2024 for Council Assets Liverpool Hospital Dilapidation Report, also sent to BM+G as sighted. Issued to Council on 26 March 2025 with link to Stage 2 dilapidation reports. CC 2.2 lists: Item 31. Evidence of Submission of Dilapidation Reports to Council, Lendlease Construction Pty Ltd, 26 March 2025 Resubmitted as per on-grade CC, however original dilapidation reports unchanged as confirmed by LL during the audit interview.		Compliant
2.7	B	B7	ECOLOGICAL SUSTAINABILITY DEVELOPMENT Prior to the commencement of construction, unless otherwise agreed by the Planning Secretary, the Applicant must demonstrate that ESD is being achieved by either:	As previously evidenced and only applicable to Stage 1. This does not apply to the current stage of works (Stage 2 and 3). Timing of this condition is no longer triggered.		Not Triggered

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			(a) registering for a minimum 4-star Green Star rating with the Green Building Council Australia and submit evidence of registration to the Certifier; or (b) seeking approval from the Planning Secretary for an alternative certification process.			
2.8	B	B8	OUTDOOR LIGHTING Prior to commencement of lighting installation, evidence must be submitted to the satisfaction of the Certifier that outdoor lighting being installed within the site has been designed to comply with AS 1158.3.1:2005 Lighting for roads and public spaces – Pedestrian area (Category P) lighting – Performance and design requirements and AS 4282-2019 Control of the obtrusive effects of outdoor lighting.	Electrical Design Compliance Certificate JHA Pty Ltd 6 December 2023. Included under CC 2.1 (Item 11). CC 3.1 includes Electrical Design Statement by JHA Consulting Engineers dated 15 November 2024 (Item 12). Construction of lighting has not yet commenced. This condition will become re-triggered open commencement of construction of outdoor lighting.		Not Triggered
2.9	B	B9	DEMOLITION Prior to the commencement of construction, demolition work plans required by AS 2601-2001 <i>The demolition of structures</i> (Standards Australia, 2001) must be accompanied by a written statement from a suitably qualified person that the proposals contained in the work plan comply with the safety requirements of the Standard. The work plans and the statement of compliance must be submitted to the Certifier and Planning Secretary.	Prior to commencement of Stage 2 construction evidence as reviewed during the previous audit. Timing of this condition is no longer triggered. Refer to Condition C3 for further details regarding the current status of demolition.		Not Triggered
2.10	B	B10	ENVIRONMENTAL MANAGEMENT PLAN REQUIREMENTS Management plans required under this consent must be prepared in accordance with relevant guidelines, including but not limited to the Environmental Management Plan Guideline: Guideline for Infrastructure Projects (DPIE April 2020). <i>Note: The Environmental Management Plan Guideline is available on the Planning Portal at: https://www.planningportal.nsw.gov.au/majorprojects/assessment/post-approval</i> <i>Note: The Planning Secretary may waive some of these requirements if they are unnecessary or unwarranted for particular management plans</i>	Construction Environmental Management Plan (CEMP) now Version 8, June 2025 as presented as evidence with Section 3.1 refers to the plans being developed consistent with the DPE Guidelines as previously evidenced with changes not affecting this requirement (updates for on-grade car park drawing only). CEMP and sub-plans compliance as per Conditions B11-B14. Management plans were developed at initial phases of construction. Condition B10 will become triggered for any updates to guidelines which need to be incorporated.		Not Triggered
2.11	B	B11	CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN Prior to the commencement of construction, the Applicant must submit a Construction Environmental Management Plan (CEMP) to the Certifier and provide a copy to the Planning Secretary for information. The CEMP must include, but not be limited to, the following: (a) Details of:	Construction Environmental Management Plan (CEMP) now Version 8, June 2025 as presented as evidence. (a) Details of B11 requirements are outlined in the following sections of the CEMP: (i) Section 5.3 Hours of work (includes General Construction Hours + Specific Construction Hours)	Opportunity for Improvement LHAP-09_OFI-02: The current version of the CEMP (Rev 8, June 2025) has not been submitted to the Certifier (BM+G). It is recommended that the CEMP be issued to BM+G to ensure the Certifier has the current version.	Compliant

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			(i) hours of work; (ii) 24-hour contact details of site manager; (iii) management of dust and odour to protect the amenity of the neighbourhood; (iv) stormwater control and discharge; (v) measures to ensure that sediment and other materials are not tracked onto the roadway by vehicles leaving the site; (vi) groundwater management plan including measures to prevent groundwater contamination; (vii) external lighting in compliance with AS 4282-2019 Control of the obtrusive effects of outdoor lighting; (viii) community consultation and complaints handling; (b) Construction Traffic and Pedestrian Management Sub-Plan (see condition B12); (c) Construction Noise and Vibration Management Sub-Plan (see condition B13); (d) Construction Waste Management Sub-Plan (see condition B14); (e) an unexpected finds protocol for Aboriginal and non-Aboriginal heritage and associated communications procedure; (f) waste classification (for materials to be removed) and validation (for materials to remain) be undertaken to confirm the contamination status in these areas of the site.	(ii) Section 5.6 Site Contacts includes contact details for senior site manager (iii) Section 4.2 (Identification of Key Project Risks), 4.3 (Managing Risks within an Operational Hospital Environment) + 12.0 Air Quality Management Sub Plan (AQMSP) (iv) Section 11.0 Stormwater Erosion and Sediment Control Management Sub Plan (v) Section 11.0 Stormwater Erosion and Sediment Control Management Sub Plan (vi) Section 11.0 Stormwater Erosion and Sediment Control Management Sub Plan (vii) Section 14 External Temporary Lighting (viii) Section 7.0 Community Consultation & Complaint Management (b) Section 8.0 Construction Traffic & Pedestrian Management Plan; Appendix 1 of the CEMP, Construction Traffic and Parking Management Plan (CTPMP) (c) Section 9.0; Appendix 8 of the CEMP, Construction Noise and Vibration Management Sub-Plan (CNVMSP) (d) Section 10.0 Waste & Contamination Management; Appendix 10 of the CEMP, Waste Management Sub-Plan (WMSP) (e) Section 13.2 Unexpected Find Protocols & Consultation includes unexpected finds flowchart (f) Section 10.0 Waste & Contamination Management + Appendix 10 of the CEMP, Waste Management Sub-Plan + Appx 3 (Asbestos Management Plan) + Appx 6 (Hazardous Chemicals Management Sub-Plan)		
2.12	B	B12	The Construction Traffic and Pedestrian Management Sub-Plan (CTPMSP) must be prepared to achieve the objective of ensuring safety and efficiency of the road network and address, but not be limited to, the following: (a) be prepared by a suitably qualified and experienced person(s); (b) be prepared in consultation with Council and TfNSW; (c) detail the measures that are to be implemented to ensure road safety and network efficiency during construction in consideration of potential impacts on general traffic, cyclists and pedestrians and bus services; and	Current plan by Stantec: Construction Traffic and Pedestrian Management Sub Plan (CTPMSP) Revision E dated 20 November 2024 as presented as evidence. Addresses B12 requirements as follows: (a) Prepared by Stantec (b) Document control table shows that TfNSW has provided feedback. (c) Section 4 Construction Pedestrian and Traffic Management (d) Section 3 Overview of Construction Activities – Section 3.7 Construction Vehicle Routes.		Compliant

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			(d) detail heavy vehicle routes, access and parking arrangements.	Evidence of consultation as verified during previous audits. No additional consultation required during audit period.		
2.13	B	B13	The Construction Noise and Vibration Management Sub-Plan must address, but not be limited to, the following: (a) be prepared by a suitably qualified and experienced noise expert; (b) describe procedures for achieving the noise management levels in EPA's <i>Interim Construction Noise Guideline</i> (DECC, 2009); (c) describe the measures to be implemented to manage high noise generating works such as piling, in close proximity to sensitive receivers, including existing patient care buildings within the hospital campus; (d) include strategies that have been developed with the community for managing high noise generating works	Construction Noise and Vibration Management Sub Plan (CNVMSP), Revision 5 – 28 October 2022 unchanged as presented as evidence. Addresses Condition B13 requirements as follows: (a) Prepared by Property Risk Australia (PRA) Pty Ltd (b) Table 10, page 20 (c) Table 10, page 20 (d) Section 11 Evidence of consultation as verified during previous audits. No additional consultation required during the audit period as confirmed by Johnstaff + LL during the audit interview.		Compliant
2.14	B	B14	The Construction Waste Management Sub-Plan (CWMSP) must address, but not be limited to, the following: (a) detail the quantities of each waste type generated during construction and the proposed reuse, recycling and disposal locations; and (b) removal of hazardous materials, particularly the method of containment and control of emission of fibres to the air, and disposal at an approved waste disposal facility in accordance with the requirements of the relevant legislation, codes, standards and guidelines, prior to the commencement of construction.	The Construction Waste Management Sub-Plan (CWMSP) Rev. 14 dated 28 March 2025 is the current version of the plan as presented as evidence. The CWMSP addresses the following: (a) Environmental Management Measures – Waste – Risk Exposure – waste stream table (pages 7 & 8) (b) Management Controls point 1: Dispose of waste using licensed contractors at appropriately licensed/approved facilities – at all times The following also address Condition B14 requirements: Hazardous Chemicals Sub-Plan (for removal of stage 1 scope of works to reflect stage 2 only) and Asbestos and Hazardous Building Materials Management Sub-Plan (Page 4 both dated 28 March 2025 as sighted).		Compliant
2.15	B	B15	A Driver Code of Conduct must be prepared and communicated by the Applicant to heavy vehicle drivers and must address the following: (a) minimise the impacts of earthworks and construction on the local and regional road network; (b) minimise conflicts with other road users; (c) minimise road traffic noise; and (d) ensure truck drivers use specified routes.	Construction Traffic and Pedestrian Management Sub Plan (CTPMSP) Revision E dated 20 November 2024 as presented as evidence. Driver Code of Conduct remains under Section 5 with requirements addressed as follows: (a) Section 5.2 (b) Section 5.2 (c) Section 5.2 (d) Section 5.2		Compliant

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				LL confirmed during the audit interview that no changes occurred or were required during audit period.		
2.16	B	B16	SOIL AND WATER Prior to the commencement of construction, the Applicant must install erosion and sediment controls on the site to manage wet weather events.	Erosion and sediment controls established prior to commencement of Stage 2 works as previously evidenced. Timing of this condition is no longer triggered.		Not Triggered
2.17	B	B17	Prior to the commencement of construction, erosion and sediment controls must be installed and maintained, as a minimum, in accordance with the publication Managing Urban Stormwater: Soils & Construction (4th edition, Landcom 2004) commonly referred to as the 'Blue Book'.	Erosion and sediment controls appeared in place as observed during audit site inspection including protection of pit drains, use of silt fencing and sandbags.		Compliant
2.18	B	B18	CONSTRUCTION PARKING Prior to the commencement of construction, the Applicant must provide sufficient parking facilities on-site for heavy vehicles, except where separate works zone have been approved, to ensure that construction traffic associated with the development does not utilise public and residential streets or public parking facilities.	Heavy vehicle access on Campbell Street. LL confirmed during the audit interview that no work zones have been required. No complaints received from residents or hospital with regards to parking. Prior to commencement of construction requirement no longer triggered.		Not Triggered
2.19	B	B19	CONSTRUCTION WORKER TRANSPORTATION STRATEGY Prior to the commencement of construction, the Applicant must submit a Construction Worker Transportation Strategy to the satisfaction of the Certifier. The Strategy must detail the provision of sufficient parking facilities or other travel arrangements for construction workers in order to minimise demand for parking in nearby public and residential streets or public parking facilities. A copy of the strategy must be submitted to the Planning Secretary for information.	Construction Traffic and Pedestrian Management Sub Plan (CTPMSP) Revision E dated 20 November 2024 with strategy included as per Section 3.3 & Section 6 as presented as evidence. Submitted to the Department as part of CTPMP submission as previously evidenced. LL confirmed during the audit interview that there have been no changes to the strategy with workers are continued to be encouraged to use public transport as per strategy.		Not Triggered
2.20	B	B20	FLOOD MANAGEMENT Prior to the commencement of construction, a civil engineer must provide details and design certification to the Certifier that all new floor levels are protected against flooding up to the 1% Annual Exceedance Probability flood level plus 500 mm of freeboard.	Flood design as previously evidenced. Also referenced in CC2.1 Civil Design Compliance Certificate, 8 December 2023, Item 9. No changes to design certification, however Stage 2 has only one flood door on Goulburn Street with the majority of this requirement covered under Stage 1. Timing of this condition is therefore no longer triggered.		Not Triggered
2.21	B	B21	Prior to the commencement of construction, a civil and structural engineer must provide details and design certification to the Certifier that confirms any new structures affected by flooding (excluding any new structures to be protected by flood mitigation works) up to the Probable Maximum Flood levels in Flooding and Stormwater SSDA Report prepared by Taylor Thomson Whitting, dated 13 March 2020, are constructed from flood compatible building components.	As referenced under CC2.1, Civil Design Compliance Certificate, 8 December 2023, Item 9. LL confirmed during the audit interview that there have been no changes required. Timing of this condition is therefore no longer triggered.		Not Triggered

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2.22	B	B22	OPERATIONAL NOISE – DESIGN OF MECHANICAL PLANT AND EQUIPMENT Prior to installation of mechanical plant and equipment, the Applicant must incorporate noise mitigation measures in the detailed design drawings. An acoustic assessment prepared by a suitably qualified and experienced professional must be submitted to the Certifier verifying that the noise mitigation measures that have been incorporated into the design would ensure that the development will not exceed the noise limits at the times and locations in the table below.	Design Statement – not yet final mechanical assessment – selection underway; prior to install. CC 2.1 states that a design statement from a qualified acoustic consultant confirming all noise mitigation measures have been incorporated in the design is required to be provided to the satisfaction of BM+G prior to piling and shoring works commencing for Stage 2 works. Confirmed during the audit that this is still being finalised with demolition still underway. Waiting on design for Stage 2 finalisation for mechanical plant and equipment. CC 3.1 includes mechanical plant selection Caroline Chisolm – certificate not the final one dated 1 April 2025 from JHA – Preliminary Design Compliance Certificate – Acoustic. Refers to Stage 3.1 but will undergo change to refer to the smaller, specific areas.		Not Triggered
2.23	B	B23	ARCHAEOLOGICAL SALVAGE – HISTORIC ARCHAEOLOGY Prior to the commencement of construction, a suitably qualified and experienced historical archaeologist, who meets Heritage Council of NSW's Criteria for assessing Excavation Directors, must be nominated to manage a historical archaeological program.	Appendix 8 – Heritage and Archaeological Management Sub Plan (HAMSP), Revision 12 – 24 July 2024 continues to be in place with no changes during audit period. RPS are the nominated Heritage Consultants. LL confirmed during the audit interview that there have been no changes to consultant with engagement as previously evidenced. Timing of this condition is currently not triggered.		Not Triggered
2.24	B	B24	Prior to the commencement of construction, an Archaeological Research Design and Excavation Methodology must be prepared to the satisfaction of the Planning Secretary to guide the historical archaeological program. It must be prepared in accordance with Heritage Council of NSW guidelines and in consultation with Heritage NSW. The final approved Archaeological Research Design and Excavation Methodology must be provided to Council.	As previously evidenced for Stage 1. There are no known heritage items for Stage 2; LL confirmed during the audit interview that the unexpected finds procedure is to be implemented for Stage 2. Timing of this condition is currently not triggered.		Not Triggered
2.25	B	B25	ROADS AND APPROVAL Prior to the commencement of any construction works over Campbell Street, a Section 138 Approval must be provided to the Certifier.	LL confirmed during the audit interview that there are no construction works on Campbell Street occurring with works still on hold.		Not Triggered
2.26	B	B26	LANDSCAPING Prior to the commencement of construction, the Applicant must prepare and submit to the Planning Secretary a revised Landscape Plan to manage the revegetation and landscaping works on-site. The plan must: (a) provide for the planting of 150 trees; (b) detail the location, species, maturity and height at maturity of plants to be planted on-site;	Stage 1 landscape pack sent from LL to Council, dated 10 April 2024. Council acknowledged receipt of email same date. Part (e) is currently not within the scope. Main landscaping works have not yet commenced. Conditions under Crown Certificate CC 2.1 states that evidence of submission to the Planning Secretary of the		Not Triggered

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			(c) include species (trees, shrubs and groundcovers) indigenous to the local area; (d) include the planting of trees with a pot container of 75 litres or greater; and (e) include the provision of street tree planting. Species and spacing of trees to be determined in Consultation with Council.	revised Landscape Plan is required to be provided to the satisfaction of BM+G prior to piling and shoring works commencing for Stage 2 works. BM+G comments in response to CC#2.1 requirements: <i>We understand this will be submitted just before prior to commencement. To be conditioned on CC#2</i>		
2.27	B	B27	CAR PARKING AND SERVICE VEHICLE LAYOUT Prior to the commencement of relevant construction works, compliance with the following requirements must be submitted to the Certifier: (a) all vehicles must enter and leave the site in a forward direction; (b) the swept path of the longest construction vehicle entering and exiting the site in association with the new work, as well as manoeuvrability through the site, must be in accordance with the latest version of AS 2890.2; and (c) the safety of vehicles and pedestrians accessing adjoining properties, where shared vehicle and pedestrian access occurs, is to be addressed.	As previously evidenced: Appendix 1 - Construction Traffic and Pedestrian Management Sub-Plan in: (a) Section 3.4. (b) Section 3.4 and Appendix B. (c) Section 3.4, 4.1, 4.2. Plans included in the CTPMSP, which were submitted to the Certifier. Certification of compliance detailed as part of CC#1.4a. Timing of this condition was not triggered during the audit period.		Not Triggered
2.28	B	B28	PUBLIC DOMAIN WORKS Prior to the commencement of any footpath or public domain works, the Applicant must consult with Council and demonstrate to the Certifier that the streetscape design and treatment meets the requirements of Council, including addressing pedestrian management. The Applicant must submit documentation of approval for each stage from Council to the Certifier.	Currently no public domain works within scope. All within the site boundary. CC 2.1 states that a design statement confirming that all streetscape design and treatment meets the requirements of Council, including addressing pedestrian management is required to be provided to the satisfaction of BM+G prior to piling and shoring works commencing for Stage 2 works. This is still to be actioned and is not yet triggered. BM+G comments in response to CC#2.1 requirements: <i>To be conditioned on CC#2</i>		Not Triggered
3	PART	C	DURING CONSTRUCTION			
3.1	C	C1	SITE NOTICE A site notice(s): (a) must be prominently displayed at the boundaries of the site during construction for the purposes of informing the public of project details including, but not limited to the details of the Builder, Certifier and Structural Engineer and must satisfy the following requirements;	Site notice as displayed. Refer to photos. Meets the following requirements: (a) Prominently displayed on Campbell Street (b) Dimensions appeared adequate (c) Appeared to be durable and weatherproof (d) Includes approved work hours, site manager + after hours contact details, LL as builder, BM+G		Complaint

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			(b) minimum dimensions of the notice must measure 841 mm x 594 mm (A1) with any text on the notice to be a minimum of 30-point type size; (c) the notice must be durable and weatherproof and must be displayed throughout the works period; (d) the approved hours of work, the name of the site/ project manager, the responsible managing company (if any), its address and 24-hour contact phone number for any inquiries, including construction/ noise complaint must be displayed on the site notice; and (e) the notice(s) must be mounted at eye level on the perimeter hoardings/fencing and must state that unauthorised entry to the site is not permitted.	(Certifier), SCP Consulting (Structural Engineer); address and contact details. (e) Mounted at eye level with unauthorised entry displayed.		
3.2	C	C2	OPERATION OF PLANT AND EQUIPMENT All construction plant and equipment used on site must be maintained in a proper and efficient condition and operated in a proper and efficient manner.	“Plant register LHAP” in place as presented. Onsite (marked green) and offsite (marked red). LHAP Plant Register (Version 1). Plant Item No. 684 Komatsu excavator from Keller PC228USLC-11. Statement of Compliance 13 August 2019. Risk Assessment 18 July 2024 – Report No. 16240 20240716-1025 LL checklist dated 5 August 2025. Noted as compliant. Plant Item No 693 Theos water cart BZ35AL checklist dated 17 September 2025.		Compliant
3.3	C	C3	DEMOLITION Demolition work must comply with the demolition work plans required by <i>Australian Standard AS 2601-2001 The demolition of structures</i> (Standards Australia, 2001) and endorsed by a suitably qualified person as required by condition B9.	Demolition Plan – Stage 2 SCP Consulting 29 November 2023 as included under CC 2.1 item 36 + Structural and Design Statements which include these requirements still apply as confirmed during the audit interview with LL + Structural demolition LHAP-ST-SCP-DRG-MW-801001 Issue D dated 29 November 2023. Submitted as per CC2.1. Design Statement dated 5 March 2024 Architectural Design Compliance Certificate Stage 2 – references compliance with B9. Architectural drawing as part of demolition drawing. LHAP-AP-FPA-DRG-MW-041034-0, issue 02 dated 4 March 2024. Demolition has been split into two sections as per plan (Stage 2A and 2B). Demolition is now complete for Stage 2a (oncology and pathology building). Soft demolition was in		Compliant

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				progress for Stage 2B (Alex Grimson Building) as observed during audit site inspection.		
3.4	C	C4	CONSTRUCTION HOURS Construction, including the delivery of materials to and from the site, may only be carried out between the following hours: (a) 7am and 6pm, Mondays to Fridays inclusive; and (b) 8am and 1pm, Saturdays. No work may be carried out on Sundays or public holidays.	Hours of work included in the CEMP, induction presentation and site notice. CEMP Section 5.3 "Hours of Work" detailed as presented as evidence. LL confirmed during the audit interview that no regular works have been carried out on Sundays or Public Holidays. Refer to conditions C5 and C6 below for out of hours work.		Compliant
3.5	C	C5	Construction activities may be undertaken outside of the hours in condition C4 and C5 if required: (a) by the Police or a public authority for the delivery of vehicles, plant or materials; or (b) in an emergency to avoid the loss of life, damage to property or to prevent environmental harm; or (c) where the works are inaudible at the nearest sensitive receivers; or (d) for the delivery, set-up and removal of construction cranes, where notice of the crane related works is provided to the Planning Secretary and affected residents at least seven days prior to the works; or (e) where a variation is approved in advance in writing by the Planning Secretary or her nominee if appropriate justification is provided for the works.	<u>Out of hours work under C5(a):</u> Early morning piling rig delivery. <u>Out of hours work under C5(e):</u> extended hours 2 August to 21 December 2025 for out of hours Mon-Fri 7am-6pm and Sat-Sun 7am-5pm (Sunday only to be utilised as required). DPHI extension request approval presented as evidence – ref SSD-10389-PA-108 dated 17 July 2025 for COC C5 (e).		Compliant
3.6	C	C6	Notification of such construction activities as referenced in condition C5 must be given to affected residents before undertaking the activities or as soon as is practical afterwards.	<u>Out of hours work under C5(a):</u> Early morning piling rig delivery – notification as presented as evidence, dated 25 August 2025 Community Notification – Liverpool Health and Academic Precinct – Delivery of Plant. Delivery commencement noted as 2 September 2025 between 3:30am and 4:45am with all oversized loads to be off the road by 5:30am as per NSW Road Regulations. General hotline and email contact details included. <u>Out of hours work under C5(e):</u> 18 July 2025 Community Notification for extended hours 2 August to 21 December 2025 for out of hours Mon-Fri 7am-6pm and Sat-Sun 7am-5pm (Sunday only to be utilised as required).		Compliant

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3.7	C	C7	Construction activities may be undertaken outside of the hours in condition C4 for concrete finishing works (including the use of a helicopter float), unless directed otherwise by the Planning Secretary, with these activities restricted to the following times (over and above the hours approved in condition C4): (a) Friday: 6pm to 10pm. (b) Saturday: 1pm to 10pm. (c) Sunday: 8am to 10pm.	No out of hours work conducted for concrete finishing works. Upcoming concrete pour on Goulburn Street was confirmed by LL during site inspection to be within the standard hours.		Not Triggered
3.8	C	C8	The work permitted under condition C7 must only be undertaken where managed by an Out-of-Hours Work Protocol, prepared in consultation with the EPA and Council, and approved by the Planning Secretary. The Protocol must be prepared to identify a schedule for work to be undertaken outside the hours permitted under condition C4 and how they would be managed. The Protocol must provide: (a) a description of the proposed out-of-hours works; (b) predictions of LAeq (15 minute) noise levels at noise sensitive receivers from these works and activities, where noise levels are predicted to be greater than the construction noise management level (NML); and (c) a monitoring plan to validate the noise predictions, based on monitoring at the boundary of representative sensitive receivers during noise generating activities that are representative of the out-of-hours works; (d) identification of proposed mitigation and management measures; (e) consideration of out-of-hours work against the relevant NML and vibration criteria; (f) a process for consultation with the community at each affected location for identifying and implementing mitigation measures where the NML would be exceeded, including respite periods. The measures must take into account the predicted noise levels and the likely frequency and duration of the out-of-hours works that sensitive receivers would be exposed to; and notification arrangements for affected receivers, the EPA and the Planning Secretary for out-of-hours works.	No Out-of-Hours Work Protocol required. As per Disruption Notice (DN) process. DN for the entire Demolition phase, reference LL_DN-539 dated 7 February 2025, still in place. DN Tracker for MW – Live also presented as evidence. DN-457 for Stage 2 internal cutline hoarding installation start: 2 Dec 2024 to 31 July 2027 Approval – WIP including ongoing comments.		Not Triggered
3.9	C	C9	Rock breaking, rock hammering, sheet piling, pile driving and similar activities may only be carried out between the following hours: (a) 9am to 12pm, Monday to Friday; (b) 2pm to 5pm Monday to Friday; and (c) 9am to 12pm, Saturday.	LL confirmed during the audit interview that piling is as per OOHW extension (refer to Condition C5 and C6).		Compliant

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3.10	C	C10	ARCHAEOLOGICAL SALVAGE – HISTORIC ARCHAEOLOGY The historical archaeological program is to be undertaken in accordance with the approved Archaeological Research Design and Excavation Methodology under condition B24.	LL confirmed during the audit interview that there have been no heritage finds to date. Unexpected finds procedure in place – CEMP Section 13.0 as presented as evidence. Also communicated during induction as sighted.		Not Triggered
3.11	C	C11	A final archaeological excavation report must be prepared within 12 months of the completion of archaeological excavation. The report must include details of any significant artefacts recovered, where they were located and details of their ongoing conservation and protection in perpetuity. Copies of the final excavation report must be provided to the Planning Secretary, Heritage NSW and Liverpool Council's local studies unit.	LL confirmed during the audit interview that there have been no heritage finds to date and confirmed that after Stage 2 an RPS letter is to be provided at OC.		Not Triggered
3.12	C	C12	HERITAGE INTERPRETATION STRATEGY A Heritage Interpretation Strategy (HIS) must be prepared within 12 months of the completion of archaeological excavation, in consultation with Heritage NSW, and submitted to the Planning Secretary and Council. The HIS must ensure that the final design (building and landscaping) incorporates the results of previous and current archaeological excavations undertaken at Liverpool Hospital. This must include key results from the final excavation reports (prepared by Higginbotham, 1995 and AHMS, 2009) including artefacts, and where these can be located. Where relevant this should include information on the display and housing of artefacts.	A Heritage Interpretation Strategy (HIS) will be submitted within 12 months after the completion of excavations as confirmed by Johnstaff during the audit interview. Will trigger if any finds occur during Stage 2.		Not Triggered
3.13	C	C13	IMPLEMENTATION OF MANAGEMENT PLANS The Applicant must carry out the construction of the development in accordance with the most recent version of the CEMP (including Sub-Plans).	The Construction Environmental Management Plan (CEMP). Rev 8, June 2025 and sub-plans have been periodically reviewed. Implementation of the CEMP was noted throughout the review of SSD conditions. No open actions in Enablon – approach is to close things on immediately onsite, otherwise action raised and addressed. Dashboard sighted showing no overdue items, the top 20 observers ranking, 17 categorised as 'Environmental pollution or Damage' e.g., update erosion and sediment controls (however, these include positive observations)		Compliant
3.14	C	C14	CONSTRUCTION TRAFFIC All construction vehicles are to be contained wholly within the site, except if located in an approved on-street work zone, and vehicles must enter the site or an approved on-street work zone before stopping unless directed otherwise by traffic control.	No work zones or road permits required as confirmed by LL during the audit interview. Vehicles access site at Campbell Street with gate manned by traffic controller to contain vehicles within the site boundary.		Compliant
3.15	C	C15	HOARDING REQUIREMENTS The following hoarding requirements must be complied with:	Hoarding in place for Stage 2 as noted during audit site inspection. Confirmed with LL during the site inspection as follows:		Compliant

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			(a) where feasible graphics must be provided illustrating Liverpool's history developed in consultation with Council's Public Art Officer; (b) no third-party advertising is permitted to be displayed on the subject hoarding/ fencing; and (c) the construction site manager must be responsible for the removal of all graffiti from any construction hoardings or the like within the construction area within 48 hours of its application.	(a) Art graphics unchanged and as reviewed during previous audits (b) No instances of advertising. (c) No instances of graffiti.		
3.16	C	C16	NO OBSTRUCTION OF PUBLIC WAY The public way (outside of any approved construction works zone) must not be obstructed by any materials, vehicles, refuse, skips or the like, under any circumstances.	No obstruction of public way or footpath observed during the site inspection.		Compliant
3.17	C	C17	CONSTRUCTION NOISE LIMITS The development must be constructed to achieve the construction noise management levels detailed in the <i>Interim Construction Noise Guideline</i> (DECC, 2009). All feasible and reasonable noise mitigation measures must be implemented and any activities that could exceed the construction noise management levels must be identified and managed in accordance with the management and mitigation measures identified in the approved Construction Noise and Vibration Management Sub-Plan.	Monitoring devices have been installed in the construction site as per the CNVMP. Noise & Vibration Monitoring reports actioned during the audit period as presented as evidence: - PRA Noise & Vibration Monitoring Report April 2025, Rev 2, 19 May 2025 - PRA Noise & Vibration Monitoring Report May 2025, Rev 2, 6 June 2025 - PRA Noise & Vibration Monitoring Report June 2025, Rev 1, 4 July 2025 - PRA Noise & Vibration Monitoring Report July 2025, Rev 1, 12 August 2025 - PRA Noise & Vibration Monitoring Report August 2025, Rev 1, 9 September 2025 Some exceedances were noted; however, justification and explanation are detailed within the reports. LL confirmed during the audit interview that no additional mitigation measures were required and no complaints have been received.		Compliant
3.18	C	C18	The Applicant must ensure construction vehicles (including concrete agitator trucks) do not arrive at the site or surrounding residential precincts outside of the construction hours of work outlined under condition C4 except where permitted by condition C7.	LL confirmed during the audit interview that no vehicles parked outside of construction hours. Contractors are aware of workings hours and controls on site. No complaints received regarding vehicles arriving outside of work hours.		Compliant
3.19	C	C19	The Applicant must implement, where practicable and without compromising the safety of construction staff or members of the public, the use of 'quackers' to ensure noise impacts on surrounding noise sensitive receivers are minimised.	Squawkers were audible during site inspection. Squawkers for vehicles onsite were noted by LL to be a minimum requirement.		Compliant

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
3.20	C	C20	VIBRATION CRITERIA Vibration caused by construction at any residence or structure outside the site must be limited to: (a) for structural damage, the latest version of <i>DIN 4150-3 (1992-02) Structural vibration – Effects of vibration on structures</i> (German Institute for Standardisation, 1999); and (b) for human exposure, the acceptable vibration values set out in the <i>Environmental Noise Management Assessing Vibration: a technical guideline</i> (DEC, 2006) (as may be updated or replaced from time to time).	Vibration criteria detailed under Section 9.0 of the CNVMP. Vibration Monitoring results continue to be actioned as presented as evidence: • PRA Noise & Vibration Monitoring Report April 2025, Rev 2, 19 May 2025 • PRA Noise & Vibration Monitoring Report May 2025, Rev 2, 6 June 2025 • PRA Noise & Vibration Monitoring Report June 2025, Rev 1, 4 July 2025 • PRA Noise & Vibration Monitoring Report July 2025, Rev 1, 12 August 2025 • PRA Noise & Vibration Monitoring Report August 2025, Rev 1, 9 September 2025 Some exceedances were noted; however, justification and explanation are detailed within the reports. LL confirmed during the audit interview that no additional mitigation measures were required and no complaints have been received.		Compliant
3.21	C	C21	Vibratory compactors must not be used closer than 30 metres from residential buildings unless vibration monitoring confirms compliance with the vibration criteria specified in condition C20.	LL confirmed during the audit interview that no vibratory compactors currently being used. Use of hand compactors included as part of the high-risk workshop included with demolition disruption notice.		Not Triggered
3.22	C	C22	The limits in conditions C20 and C32 apply unless otherwise outlined in a Construction Noise and Vibration Management Sub-Plan, approved as part of the CEMP required by condition B13 of this consent.	LL confirmed during the audit interview that the limits as per consent conditions apply.		Compliant
3.23	C	C23	TREE REMOVAL AND FAUNA PROTECTION For the duration of the construction works: (a) street trees must not be trimmed or removed unless it forms a part of this development consent or prior written approval from Council is obtained or is required in an emergency to avoid the loss of life or damage to property; (b) all street trees immediately adjacent to the property boundary along Campbell Street, Forbes Street, Goulburn Street and Elizabeth Street, unless approved for removal, must be protected at all times during construction in accordance with Council's tree protection requirements. Any street tree, which is damaged or removed during construction due to an emergency, must be replaced, to the satisfaction of Council;	LL confirmed during the audit interview and site inspection the following: (a) No street trees requiring trimming or removal. Cleared trees were all on hospital grounds. (b) No protection of street trees required. (c) Three trees under protection on hospital grounds. (Tree 128 and 129 at entrance and Tree 140 near demolition area. Tree protection zones in accordance with Section 1.3 and 1.4 of the Arboricultural Impact Assessment Tree Protection Specification, prepared by treeIQ, dated 5 March 2020. The assessment notes trunk protection to be confirmed by the arborist'. Arborist report received AIA Stage 2 received Project No. 23SUT5709 Version 2 dated 24 June 2025 by		Compliant

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
			(c) all trees on the site that are not approved for removal must be suitably protected during construction as per the recommendations of the Arboricultural Impact Assessment Tree Protection Specification, prepared by treelQ, dated 5 March 2020; and (d) if access to the area within any protective barrier is required during the works, it must be carried out under the supervision of a qualified arborist. Alternative tree protection measures must be installed, as required. The removal of tree protection measures, following completion of the works, must be carried out under the supervision of a qualified arborist and must avoid both direct mechanical injury to the structure of the tree and soil compaction within the canopy or the limit of the former protective fencing, whichever is the greater.	AQF Level 5 Arborist from Eco Logical Australia. Arborist to attend site when cutting into pavement TPZ – Tree 140. (d) Section 4.3 General tree protection measures. Table – Ref 4.5.4 Root Protection during works within the TPZ. Predicted to occur early next year (e) No access to protected tree zones has been required.		
3.24	C	C24	LANDSCAPING Within 36 months of commencement of works, the landscaping works for the Caroline Chisolm courtyard must be completed to re-establish the canopy cover lost as soon as practicable.	As previously evidenced: completed tree canopy coverage prior to handover – Aconex ref LL-GCOR-050153 dated 29 June 2024 presented which provided notification that works to be actioned of week of the 1 July 2024. Within 36-months of commencement of works. Site records from Pegasus presented for the week of 01/07/2024. Records validate O'Landscapes on site to complete the Anzac courtyard works, e.g., 1 July 2024 – 3 workers, 6.13hrs 2 July 2024 – 2 workers, 3.57hrs 3 July 2024 – 1 worker, 2.07hrs 4 July 2024 – 5 workers, 7.78hrs 5 July 2024 – 2 workers, 2.65hrs 6 July 2024 – 3 workers, 5.90hrs LL confirmed during the audit interview that there have been no changes during the audit period. Timing of this condition is therefore no longer triggered.		Not Triggered
3.25	C	C25	AIR QUALITY The Applicant must take all reasonable steps to minimise dust generated during all works authorised by this consent.	Some dust observed during audit site inspection. Water cart was deployed immediately. Refer to photos.		Compliant
3.26	C	C26	During construction, the Applicant must ensure that: (a) exposed surfaces and stockpiles are suppressed by regular watering;	The following were observed during the site inspection: (a) Hose in use during site inspection during piling. Hose also available at heavy vehicle access gate. (b) No removal of material occurring; demolition waste removed by Delta following Stage 2A.		Compliant

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
			(b) all trucks entering or leaving the site with loads have their loads covered; (c) trucks associated with the development do not track dirt onto the public road network; (d) public roads used by these trucks are kept clean; and (e) land stabilisation works are carried out progressively on site to minimise exposed surfaces.	(c) Some minor tracking noted, however it was acknowledged that the water cart was present onsite. (d) Remaining roads noted to be clean (e) Hard stand retained during demolition to reduce dust generation and tracking.		
3.27	C	C27	EROSION AND SEDIMENT CONTROL All erosion and sediment control measures must be effectively implemented and maintained at or above design capacity for the duration of the construction works and until such time as all ground disturbed by the works have been stabilised and rehabilitated so that it no longer acts as a source of sediment. Erosion and sediment control techniques, as a minimum, are to be in accordance with the publication Managing Urban Stormwater: Soils & Construction (4th edition, Landcom, 2004) commonly referred to as the 'Blue Book'.	Stage 2 controls as per audit site inspection appeared well maintained. Controls at the time included protection of pit drains, sediment fencing, the use of sandbags, coir logs, and geofabric with some minor improvements to controls required. Refer to photos. No sediment basins required onsite; sediment tank used for water storage instead, however, no discharges required to date. Potable hose line in use. Refer to Condition A1 for site observations.		Compliant
3.28	C	C28	IMPORTED SOIL The Applicant must: (a) ensure that only VENM, ENM, or other material that meets the requirements of a relevant order and exemption issued by the EPA, is brought onto the site; (b) keep accurate records of the volume and type of fill to be used; and (c) make these records available to the Certifier upon request.	LL confirmed during the audit interview that there have been no imports occurring for Stage 2.		Not Triggered
3.29	C	C29	DISPOSAL OF SEEPAGE AND STORMWATER Adequate provisions must be made to collect and discharge stormwater drainage during construction to the satisfaction of Certifier. The prior written approval of Council must be obtained to connect or discharge site stormwater to Council's stormwater drainage system or street gutter.	LL confirmed during the audit interview that there have been no disposal of seepage or stormwater during the audit period.		Not Triggered
3.30	C	C30	EMERGENCY MANAGEMENT The Applicant must prepare and implement awareness training for employees and contractors, including locations of the assembly points and evacuation routes, for the duration of construction.	PowerPoint Slides presented for induction (unchanged); includes emergency evacuation points as updated for Stage 2. Emergency egress sighted. Nurse calls onsite + evacuation plans displayed.		Compliant
3.31	C	C31	STORMWATER MANAGEMENT SYSTEM Within three months of the commencement of construction, the Applicant must design an operational stormwater management system for the	As previously evidenced: Design Compliance Certificate – Civil 3/9/2021 from SCP. Item #7 in the CC 1 and CC1.2a		Not Triggered

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			development and submit it to the satisfaction of the Certifier. The system must: (a) be designed by a suitably qualified and experienced person(s); (b) be generally in accordance with the conceptual design in the EIS; (c) be in accordance with applicable Australian Standards; and (d) ensure that the system capacity has been designed in accordance with <i>Australian Rainfall and Runoff</i> (Engineers Australia, 2016) and <i>Managing Urban Stormwater: Council Handbook</i> (EPA, 1997) guidelines	item 7, SCP Certificate dated 14/01/2022 – Design Compliance Certificate. Design statement as part of CC 1.4. 1.4a – stage1 façade (to be issued by Dec 2022), 1.4b – refurb of ED, 1.4c. CC#1.5 (per CRO-23019 dated 22/05/2023) CC 2.1 – Item 9. Civil Design Compliance Certificate SCP Consulting Pty Ltd dated 8 December 2023 (no changes to previous design). Timing of this condition is no longer triggered.		
3.32	C	C32	UNEXPECTED FINDS PROTOCOL – ABORIGINAL HERITAGE In the event that surface disturbance identifies a new Aboriginal object, all works must halt in the immediate area to prevent any further impacts to the object(s). A suitably qualified archaeologist and the registered Aboriginal representatives must be contacted to determine the significance of the object(s). The site must be registered in the Aboriginal Heritage Information Management System (AHIMS) which is managed by Heritage NSW and the management outcome for the site included in the information provided to AHIMS. The Applicant must consult with the Aboriginal community representatives, the archaeologists and Heritage NSW to develop and implement management strategies for all objects/sites. Works may only recommence with the written approval of Heritage NSW.	LL confirmed during the audit interview that there have been no unexpected finds to date. The process is described in CEMP Section 13.0 as presented as evidence.		Not Triggered
3.33	C	C33	UNEXPECTED FINDS PROTOCOL – HISTORIC HERITAGE If any unexpected archaeological relics are uncovered during the work, then all works must cease immediately in that area and Heritage NSW contacted. Depending on the possible significance of the relics, an archaeological assessment and management strategy may be required before further works can continue in that area. Works may only recommence with the written approval of Heritage NSW.	LL confirmed during the audit interview that there have been no unexpected finds to date. The process is described in CEMP Section 13.0 as presented as evidence.		Not Triggered
3.34	C	C34	WASTE STORAGE AND PROCESSING All waste generated during construction must be secured and maintained within designated waste storage areas at all times and must not leave the site onto neighbouring public or private properties.	General construction waste removed by Bingo. Separated by brick, sand, metals, timber, green waste, paper / cardboard, plastic and plasterboard, etc. Bingo report sighted up to August 2025 (95.45%) – total recycled to date at 95.36%		Compliant
3.35	C	C35	All waste generated during construction must be assess, classified and managed in accordance with the Waste Classification Guidelines Part 1: Classifying Waste (EPA, 2014).	Classification by Douglas Partners as required e.g., Insitu Waste Classification 92418.04, R.003.Rev 0 dated 26 February 2025 – fill waste classification as: Special Waste (asbestos) - General Solid Waste (non-putrescible), remaining fill onsite as: General Solid Waste (non-		Compliant

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				putrescible); natural soil waste classification as: VENM. Notes that a clearance certificate will be required for any site surfaces to verify ACM previously identified.		
3.36	C	C36	The Applicant must ensure that concrete waste and rinse water are not disposed of on the site and are prevented from entering any natural or artificial watercourse.	LL confirmed during the audit interview that no concrete waste or rinse water disposed onsite; no instances of pollution events.		Compliant
3.37	C	C37	The Applicant must record the quantities of each waste type generated during construction and the proposed reuse, recycling and disposal locations for the duration of construction.	Quantities as per Bingo report: August 2025 1.224T for landfill; May 2025 4.080T recyclable concrete; July 2025 12.360T recycled timber. Register up to August 2025.		Compliant
3.38	C	C38	The Applicant must ensure that the removal of hazardous materials, particularly the method of containment and control of emission of fibres to the air, and disposal at an approved waste disposal facility is in accordance with the requirements of the relevant legislation, codes, standards and guidelines.	Clearance certificates by Property Risk Australia (PRA) presented as evidence as follows: PRJ001027-ACM011-V2, removal dates: 15 May 2025 to 11 June 2025; asbestos removal works were carried out by Theos Bros Pty Ltd, a Class B (Non-Friable) asbestos removal contractor (License Number: AD211050) under the supervision of Benny's Asbestos Removal Pty Ltd, a Class A (Friable) asbestos removal contractor (License Number: AD2319770). Clearance inspection date: 12 June 2025 by LAA 2317095. PRJ000719-ACM008, removal date: 8 July 2025; asbestos removal works were carried out by Theos Bros Pty Ltd, a Class B (Non-Friable) asbestos removal contractor (License Number: AD211050). Inspected same day as removal. PRJ001027-ACM013, removal dates: 19 July 2025 to 22 July 2025; asbestos removal works were carried out by Theos Bros Pty Ltd, a Class B (Non-Friable) asbestos removal contractor (License Number: AD211050) under the supervision of Benny's Asbestos Removal Pty Ltd, a Class A (Friable) asbestos removal contractor (License Number: AD2319770). Inspected 22 July 2025 by LAA001440. Air Monitoring Report Reference: PRJ001027-AM042 to AM044. Asbestos fibre air monitoring and analysis was conducted in accordance with the Guidance Note on the Membrane Filter Method for Estimating Airborne Asbestos Fibres, 2nd Edition [NOHSC: 3003 (2005)]. All results were <0.01 fibres/mL		Compliant
3.39	C	C39	OUTDOOR LIGHTING The Applicant must ensure that all external lighting is constructed and maintained in accordance with AS 4282-2019 Control of the obtrusive effects of outdoor lighting.	LL confirmed during the audit interview that no lighting construction occurred for Stage 2 or during the audit period.		Not Triggered

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3.40	C	C40	INDEPENDENT ENVIRONMENTAL AUDIT Proposed independent auditors must be agreed to in writing by the Planning Secretary prior to the preparation of an Independent Audit Program or commencement of an Independent Audit.	Sighted letter from DPHI SSD-10389-PA-91 dated 3 October 2024 for Agreement to Independent Auditor for the construction phase audits – See Appendix A of the audit report.		Compliant
3.41	C	C41	Within four weeks of the commencement of construction, an Independent Audit Schedule prepared in accordance with the Independent Audit Post Approval Requirements, as amended by condition C42, must be submitted to the Planning Secretary and the Certifier.	Audit Schedule was prepared and sent on 01/09/2021 per email from no-reply@majorprojects as evidenced during initial audit. Timing of this condition is no longer triggered. Audits are being delivered by APP as per IAPAR 2020 timeframe.		Not Triggered
3.42	C	C42	Table 1 of the Independent Audit Post Approval Requirements, is amended so that the Independent Audit Schedule frequency required in the construction phase is: (a) an initial construction Independent Audit must be undertaken within 12 weeks of the notified commencement date of construction; and (b) subsequent Independent Audits of construction must be undertaken at intervals, no greater than 26 weeks from the date of the initial construction Independent Audit.	APP frequency of audits are as follows: 1. The initial independent environmental audit of 13/12/2021 was conducted within 12 weeks of commencement of construction. Subsequent audits have been completed as follows: 2. Audit No. 2 on 07/06/2022 3. Audit No. 3 on 23/11/2022 4. Audit No. 4 on 10/05/2023 5. Audit No. 5 on 27/11/2024 6. Audit No. 6 on 23/04/2024 7. Audit No. 7 on 23/10/2024 8. Audit No. 8 on 08/04/2025 The ninth audit (this audit) was conducted on 26 September 2025, within 26-weeks of the previous construction audit.		Compliant
3.43	C	C43	The Planning Secretary may require Independent Audits to be undertaken at different times to those specified above, upon giving at least eight weeks' notice to the Applicant of the date upon which the Independent Audit must be commenced.	Johnstaff confirmed during the audit interview that no requests from DPHI have been received regarding the timing of the audits. Consultation has been issued to DPHI as per IAPAR 2020 Section 3.2 with subsequent audits occurring every 26-weeks.		Not Triggered
3.44	C	C44	Independent Audits of the development must be carried out in accordance with: (a) the Independent Audit Schedule submitted to the Planning Secretary and the Certifier under condition C41 of this consent, as amended by condition C42; and (b) the Independent Audit Post Approval Requirements (Department 2020, or as amended).	This audit has been conducted in accordance with the <i>Independent Audit Post Approval Requirements</i> (IAPAR 2020): within 26-weeks of the previous construction audit (8 April 2025) Independent environmental audits have met the frequency requirements.		Compliant
3.45	C	C45	In accordance with the specific requirements in the Independent Audit Post Approval Requirements, the Applicant must:	(a) Review and response for the previous IEA as sighted: "Proponent Response to Independent		Compliant

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			(a) review and respond separately to each Independent Audit Report prepared under condition C44 of this consent; (b) submit the response to the Planning Secretary and the Certifier; and (c) make each Independent Audit Report and response to it publicly available 60 days after submission to the Planning Secretary.	Audit Findings Liverpool Hospital Main Works" State Significant Development (SSD) 10389 dated 27 May 2025. (b) Letter from HI to DPPI dated 6 June 2025 presented as evidence for submission of IEA #8 with report and response document attached. Post approval receipt sighted: ref SSD-10389-PA-105. Issued to Certifier by LL via Aconex: LL-GCOR- 066334 dated 11 June 2025 to BM+G. (c) The APP Group Independent Environmental Audit report dated 3 June 2025 (V1) and response to audit findings were verified to be published on the Project website under Document Library.		
3.46	C	C46	Independent Audit Reports and the Applicant's response to audit findings must be submitted to the Planning Secretary within two months of undertaking the independent audit site inspection as outlined in the Independent Audit Post Approval Requirements, unless otherwise agreed by the Planning Secretary.	Letter from HI to DPPI dated 6 June 2025 presented as evidence for submission of IEA #8 with report and response document attached. Post approval receipt sighted: ref SSD-10389-PA-105, within two months of the IEA dated 8 April 2025.		Compliant
3.47	C	C47	Notwithstanding the requirements of the Independent Audit Post Approval Requirements, the Planning Secretary may approve a request for ongoing independent operational audits to be ceased, where it has been demonstrated to the Planning Secretary's satisfaction that an audit has demonstrated operational compliance.	This condition shall be triggered following full completion / operation of the project.		Not Triggered
4	PART	D	PRIOR TO COMMENCEMENT OF OPERATION			
4.1	D	D1	NOTIFICATION OF OCCUPATION At least one month before commencement of operation, the date of commencement of the operation of the development must be notified to the Planning Secretary in writing. If the operation of the development is to be staged, the Planning Secretary must be notified in writing at least one month before the commencement of each stage, of the date of commencement and the development to be carried out in that stage	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.2	D	D2	EXTERNAL WALLS AND CLADDING Prior to commencement of operation, the Applicant must provide the Certifier with documented evidence that the products and systems used in the construction of external walls including finishes and claddings such as synthetic or aluminium composite panels comply with the requirements of the BCA.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
4.3	D	D3	The Applicant must provide a copy of the documentation given to the Certifier to the Planning Secretary within seven days after the Certifier accepts it.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.4	D	D4	POST-CONSTRUCTION DILAPIDATION REPORT Prior to commencement of operation, the Applicant must engage a suitably qualified person to prepare a post-construction dilapidation report. This report must: (a) ascertain whether the construction created any structural damage to adjoining buildings or infrastructure (b) be submitted to the Certifier. In ascertaining whether adverse structural damage has occurred to adjoining buildings or infrastructure, the Certifier must: i. compare the post-construction dilapidation report with the pre-construction dilapidation report required by these conditions; and ii. have written confirmation from the relevant authority that there is no adverse structural damage to their infrastructure and roads. iii. be forwarded to Council.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.5	D	D5	PROTECTION OF PUBLIC INFRASTRUCTURE Unless the Applicant and the applicable authority agree otherwise, the Applicant must: (a) repair, or pay the full costs associated with repairing, any public infrastructure that is damaged by carrying out the development; and (a) relocate, or pay the full costs associated with relocating any infrastructure that needs to be relocated as a result of the development.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.6	D	D6	PROTECTION OF PROPERTY Unless the Applicant and the applicable owner agree otherwise, the Applicant must repair, or pay the full costs associated with repairing any property that is damaged by carrying out the development.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.7	D	D7	UTILITIES AND SERVICES Prior to commencement of operation, the Applicant must obtain a Compliance Certificate for water and sewerage infrastructure servicing of the site under section 73 of the Sydney Water Act 1994.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered

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4.8	D	D8	WORKS AS EXECUTED PLANS Prior to the commencement of operation, works-as-executed drawings signed by a registered surveyor demonstrating that the stormwater drainage and finished ground levels have been constructed as approved, must be submitted to the Certifier.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.9	D	D9	GREEN TRAVEL PLAN Prior to the commencement of operation, a Green Travel Plan (GTP) must be submitted to the satisfaction of TfNSW to promote the use of active and sustainable transport modes. The plan must: (a) be prepared by a suitably qualified traffic consultant in consultation with Council and TfNSW; (b) set mode share targets that encourage the use of public and active transport and reduce the proportion of single-occupant car journeys to the site; (c) identify robust actions and strategies to meet the mode share targets in the first two, five and 10 years post occupation; (d) include a Transport Access Guide that provides information to employees, patients and visitors about the range of travel modes, access arrangements and supporting facilities that service the site, including bicycle parking and other end of trip facilities; (e) identify relevant workplace policies such as flexible working arrangements that enable administrative staff to travel outside peak periods, or which reduce the need for work related travel; (f) consider the appropriateness of any relevant parking policies to manage travel demand, including a measure to apply higher car parking charges during peak times to encourage off-peak use; (g) details of carpooling operations and monitoring of parking priority; (h) appoint a Travel Plan Coordinator to oversee the implementation of the GTP and Transport Access Guide; (i) nominate a party responsible for the ongoing monitoring and review of the GTP, including the delivery of actions and associated mode share targets; (j) include a breakdown of staff shift patterns including the number of staff commencing shifts at particular times; and the residential postcodes of where those staff are travelling from, if known; and (k) include, if available, details of visiting hours and anticipated numbers of patients and visitors.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.10	D	D10	LOCAL TRAFFIC MANAGEMENT PLAN Prior to the commencement of operation, a local traffic management plan must be prepared in consultation with Council and the final submitted to Council outlining traffic management scheme, including signs and line	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating																		
			marking relating to any new vehicle crossings and pick-up and drop-off zones.																					
4.11	D	D11	HERITAGE INTERPRETATION STRATEGY Prior to the commencement of operation, the Applicant must complete the implementation of the HIS required by condition C12.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered																		
4.12	D	D12	OPERATIONAL NOISE – DESIGN OF MECHANICAL PLANT AND EQUIPMENT Prior to the commencement of operation, the Applicant must submit evidence to the Certifier that noise generated at the premises would not exceed the noise limits at the times and locations in the table below. <table><tr><th rowspan="3">Location</th><th colspan="4">Noise Limits in dB(A)</th></tr><tr><th>Day</th><th>Evening</th><th>Night</th><th>Night</th></tr><tr><th>L_{Aeq}(15 minute)</th><th>L_{Aeq}(15 minute)</th><th>L_{Aeq}(15 minute)</th><th>L_{AFmax}</th></tr><tr><td>Any residence</td><td>47</td><td>43</td><td>38</td><td>54</td></tr></table>	Location	Noise Limits in dB(A)				Day	Evening	Night	Night	L _{Aeq} (15 minute)	L _{Aeq} (15 minute)	L _{Aeq} (15 minute)	L _{AFmax}	Any residence	47	43	38	54	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
Location	Noise Limits in dB(A)																							
	Day	Evening	Night		Night																			
	L _{Aeq} (15 minute)	L _{Aeq} (15 minute)	L _{Aeq} (15 minute)	L _{AFmax}																				
Any residence	47	43	38	54																				
4.13	D	D13	MECHANICAL VENTILATION Prior to commencement of operation of a kitchen or any food storage / preparation area, the Applicant must provide evidence to the satisfaction of the Certifier that the installation and performance of the mechanical ventilation systems complies with: a) AS 1668.2-2012 The use of air-conditioning in buildings – Mechanical ventilation in buildings and other relevant codes; and b) any dispensation granted by Fire and Rescue NSW.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered																		
4.14	D	D14	CAR PARKING ARRANGEMENTS Prior to the commencement of operation or other timeframe agreed in writing by the Planning Secretary, the carpark in SSD-10388 must be completed and operational.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered																		
4.15	D	D15	BICYCLE PARKING AND END-OF-TRIP FACILITIES Prior to occupation, compliance with the following requirements for secure bicycle parking and end-of-trip facilities must be submitted to the satisfaction of the Certifier:	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered																		

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
			a) the provision of a minimum 50 staff and 25 visitor bicycle parking spaces; b) the layout, design and security of bicycle facilities must comply with the minimum requirements of the latest version of AS 2890.3:2015 Parking facilities - Bicycle parking, and be located in easy to access, well-lit areas that incorporate passive surveillance; c) the provision of end-of-trip facilities for staff; d) the provision of appropriate pedestrian and cyclist advisory signs; and e) all works/regulatory signposting associated with the proposed developments must be at no cost to the relevant roads authority.			
4.16	D	D16	ROAD DAMAGE Prior to the commencement of operation, the cost of repairing any damage caused to Council or other Public Authority's assets in the vicinity of the site as a result of construction works associated with the approved development must be met in full by the Applicant.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.17	D	D17	FIRE SAFETY CERTIFICATION Prior to commencement of occupation, a Fire Safety Certificate must be obtained for all the Essential Fire or Other Safety Measures forming part of this consent. A copy of the Fire Safety Certificate must be submitted to the relevant authority and Council. The Fire Safety Certificate must be prominently displayed in the building.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.18	D	D18	STRUCTURAL INSPECTION CERTIFICATE Prior to the commencement of occupation of the relevant parts of any new or refurbished buildings, a Structural Inspection Certificate or a Compliance Certificate must be submitted to the satisfaction of the Certifier. A copy of the Certificate with an electronic set of final drawings (contact approval authority for specific electronic format) must be submitted to the approval authority and the Council after: a) the site has been periodically inspected and the Certifier is satisfied that the structural works are deemed to comply with the final design drawings; and b) the drawings listed on the Inspection Certificate have been checked with those listed on the final Design Certificate/s.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
4.19	D	D19	COMPLIANCE WITH FOOD CODE Prior to the commencement of operation, the Applicant must obtain a certificate from a suitably qualified tradesperson certifying that the kitchen, food storage and food preparation areas have been fitted in accordance with the AS 4674 Design, construction and fit-out of food premises and provide evidence of receipt of the certificate to the satisfaction of the Certifier.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.20	D	D20	STORMWATER QUALITY MANAGEMENT PLAN Prior to the commencement of operation of the relevant stormwater system, an Operation and Maintenance Plan (OMP) must be submitted to the satisfaction of the Certifier. The OMP must ensure the proposed stormwater quality measures remain effective and contain the following: a) maintenance schedule of all stormwater quality treatment devices; b) record and reporting details c) relevant contact information; and d) Work Health and Safety requirements.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.21	D	D21	WARM WATER SYSTEMS AND COOLING SYSTEMS The installation of warm water systems and water cooling systems (as defined under the Public Health Act 2010) must comply with the Public Health Act 2010, Public Health Regulation 2012 and Part 1 (or Part 3 if a Performance-based water cooling system) of AS/NZS 3666.2:2011 Air handling and water systems of buildings – Microbial control – Operation and maintenance and the NSW Health Code of Practice for the Control of Legionnaires' Disease.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.22	D	D22	OUTDOOR LIGHTING Prior to the commencement of operation, the Applicant must submit evidence from a suitably qualified practitioner to the Certifier that demonstrates that installed lighting associated with the development achieves the objective of minimising light spillage to any adjoining or adjacent sensitive receivers and: a) complies with the latest version of AS 4282-2019 - Control of the obtrusive effects of outdoor lighting (Standards Australia, 1997); and b) has been mounted, screened and directed in such a manner that it does not create a nuisance to surrounding properties or the public road network.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
4.23	D	D23	SIGNAGE Prior to the commencement of operation, way-finding signage and signage identifying the location of staff car parking must be installed.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.24	D	D24	Prior to the commencement of operation, bicycle way-finding signage must be installed within the site to direct cyclists from footpaths to designated bicycle parking areas.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.25	D	D25	Prior to the commencement of operation, the Applicant must install eight signs (consisting of four secondary and four tertiary pedestrian signs as defined by the Liverpool City Centre Public Domain Master Plan) and related wayfinding infrastructure in the Liverpool CBD, identifying key pedestrian routes and destinations within the area. The proposed signs must be designed in accordance with any applicable wayfinding specifications and must be approved by Council's Manager City Design and Public Domain Manager prior to installation.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.26	D	D26	SITE CONTAMINATION The Applicant must submit a Validation Report for the development. The Validation Report must: a) be prepared by a Certified Contaminated Land Consultant; b) be submitted to the Planning Secretary and the Certifier for information within one month after the completion of remediation works; and be prepared in accordance with the RAP and the Contaminated Sites: Guidelines for Consultants Reporting on Contaminated Sites (OEH, 2011).	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.27	D	D27	SITE AUDIT STATEMENT Prior to the commencement of operation, the Applicant must submit a Site Audit Report and Section A Site Audit Statement for the relevant part of the site prepared by a NSW EPA accredited Site Auditor. The Site Audit Report and Section A Site Audit Statement must verify the relevant part of the site is suitable for the intended land use and be provided for the information of the Planning Secretary and the Certifier.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.28	D	D28	LONG TERM ENVIRONMENTAL MANAGEMENT PLAN Where a Long Term Environmental Management Plan (LTEMP) is identified as required by the RAP, the plan must: a) be prepared by a certified Contaminated Land Consultant;	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
			b) be accompanied by a Section B Site Audit Statement prepared by a NSW EPA accredited Site Auditor, that determines the appropriateness of the LTEMP and/or that the land can be made suitable for the intended use if the site is managed in accordance with the LTEMP; c) be provided to the Planning Secretary within one month of the completion of remediation works, unless otherwise agreed by the Planning Secretary; d) include, but not be limited to: i. a description of the nature and location of any contamination remaining on site; ii. provisions to manage and monitor any remaining contamination, including details of any restrictions placed on the land to prevent development over the containment cell; iii. a description of the procedures for managing any leachate generated from the containment cell, including any requirements for testing, pumping, treatment and/or disposal; iv. a description of the procedures for monitoring the integrity of the containment cell; v. a surface and groundwater monitoring program; vi. mechanisms to report results to relevant agencies; vii. triggers that would indicate if further remediation is required; and viii. details of any contingency measures that the Applicant is to carry out to address any ongoing contamination.			
4.29	D	D29	LANDSCAPING Prior to the commencement of operation, the Applicant must prepare an Operational Landscape Management Plan to manage landscaping on-site. The plan must describe the ongoing monitoring and maintenance measures to manage revegetation and landscaping.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.30	D	D30	The Applicant must not commence operation until the Operational Landscape Management Plan is submitted to the Certifier.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered

Liverpool Hospital Main Works Redevelopment – SSD-10389 (Mod-3)

Independent Environmental Audit – 26 September 2025

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
4.31	D	D31	PUBLIC ART A public art package for the hospital campus, including consideration of engraving or inlays for paving design, must be prepared in consultation with Council's Public Arts Officer or relevant representative. Prior to commencement of operation, relevant components of the public art package must be installed.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.32	D	D32	Prior to commencement of operations, any aviation obstacle lighting required at highest points and corners of the building for the helicopter landing surface on the hospital site, must be installed as per the recommendations of Liverpool Health and Academic Precinct Main Works Submission Aviation Flight Path Report, prepared by AviPro, dated 18 January 2020.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
4.33	D	D33	FLOOD MITIGATION MEASURES Prior to the commencement of operation, an Operation Maintenance Manual (OMM) must be submitted to the satisfaction of the Planning Secretary. The OMM must ensure the proposed flood mitigation measures recommended in Flooding and Stormwater SSDA Report prepared by Taylor Thomson Whitting, dated 13 March 2020, remain effective and contain the following: a) regular maintenance schedule for mechanically operated flood barriers, doors or gates; b) record and reporting details; and c) relevant contact information.	Prior to commencement of operation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages reached operation during the audit period.		Not Triggered
5	PART	E	POST OCCUPATION			
5.1	E	E1	OPERATION OF PLANT AND EQUIPMENT All plant and equipment used on site must be maintained in a proper and efficient condition operated in a proper and efficient manner	Post occupation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages achieved operation during the audit period.		Not Triggered
5.2	E	E2	WARM WATER SYSTEMS AND COOLING SYSTEMS The operation and maintenance of warm water systems and water cooling systems (as defined under the Public Health Act 2010) must comply with the Public Health Act 2010, Public Health Regulation 2012 and Part 2 (or Part 3 if a Performance-based water cooling system) of AS/NZS 3666.2:2011 Air handling and water systems of buildings – Microbial control – Operation and maintenance and the NSW Health Code of Practice for the Control of Legionnaires' Disease.	Post occupation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages achieved operation during the audit period.		Not Triggered

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
5.3	E	E3	LONG TERM ENVIRONMENTAL MANAGEMENT PLAN Upon completion of remediation works, and where a LTEMP has been prepared, the Applicant must manage the site in accordance with the LTEMP approved under condition D28 and any on-going maintenance of remediation notice issued by EPA under the <i>Contaminated Land Management Act 1997</i> .	Post occupation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages achieved operation during the audit period.		Not Triggered
5.4	E	E4	OPERATIONAL NOISE LIMITS The Applicant must ensure that noise generated by operation of the development does not exceed the noise limits in condition D12.	Post occupation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages achieved operation during the audit period.		Not Triggered
5.5	E	E5	The Applicant must undertake short term noise monitoring in accordance with the <i>Noise Policy for Industry</i> where valid data are collected following the commencement of use of each stage of the development. The monitoring program must be carried out by an appropriately qualified person and a monitoring report must be submitted to the Planning Secretary within two months of commencing use of each stage of the development to verify that operational noise levels do not exceed the noise levels identified in condition D12. Should the noise monitoring program identify any exceedance of the recommended noise levels referred to above, the Applicant must implement appropriate noise attenuation measures so that operational noise levels do not exceed the noise levels or provide attenuation measures at the affected noise sensitive receivers.	Post occupation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages achieved operation during the audit period.		Not Triggered
5.6	E	E6	UNOBSTRUCTED DRIVEWAYS AND PARKING AREAS All driveways, footways and parking areas must be unobstructed at all times. Driveways, footways and car spaces must not be used for the manufacture, storage or display of goods, materials, refuse, skips or any other equipment and must be used solely for vehicular and/or pedestrian access and for the parking of vehicles associated with the use of the premises.	Post occupation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages achieved operation during the audit period.		Not Triggered
5.7	E	E7	GREEN TRAVEL PLAN The Green Travel Plan required by condition D9 of this consent must be updated annually and implemented unless otherwise agreed by the Planning Secretary.	Post occupation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages achieved operation during the audit period.		Not Triggered
5.8	E	E8	STORMWATER OPERATION AND MAINTENANCE PLAN The OMP required by condition D20 of this consent must be implemented for the duration of occupation of the development.	Post occupation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages achieved operation during the audit period.		Not Triggered
5.9	E	E9	ECOLOGICALLY SUSTAINABLE DEVELOPMENT Unless otherwise agreed by the Planning Secretary, within six months of commencement of operation, Green Star certification must be obtained	Post occupation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages achieved operation during the audit period.		Not Triggered

Liverpool Hospital Main Works Redevelopment – SSD-10389 (Mod-3)

Independent Environmental Audit – 26 September 2025

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
			demonstrating the development achieves a minimum 4 star Green Star Design & As Built rating. If required to be obtained, evidence of the certification must be provided to the Certifier and the Planning Secretary. If an alternative certification process has been agreed to by the Planning Secretary under condition B7, evidence of compliance of implementation must be provided to the Planning Secretary and Certifier.			
5.10	E	E10	OUTDOOR LIGHTING Notwithstanding condition D22, should outdoor lighting result in any residual impacts on the amenity of surrounding sensitive receivers, the Applicant must provide mitigation measures in consultation with affected landowners to reduce the impacts to an acceptable level.	Post occupation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages achieved operation during the audit period.		Not Triggered
5.11	E	E11	LANDSCAPING The Applicant must maintain the landscaping and vegetation on the site in accordance with the approved Operational Landscape Management Plan required by condition D29 for the duration of occupation of the development.	Post occupation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages achieved operation during the audit period.		Not Triggered
5.12	E	E12	OPERATIONAL WASTE MANAGEMENT PLAN The <i>Liverpool Health Academic Precinct Operational Waste Management Plan</i> , prepared by Waste Audit and Consultancy Services (Aust) Pty Ltd, dated January 2020, for the development must be implemented for the duration of the development and updated annually. The Waste Management Plan must: (a) detail the type and quantity of waste to be generated during operation of the development; (b) describe the handling, storage and disposal of all waste streams generated on site, consistent with the <i>Protection of the Environment Operations Act 1997</i>, <i>Protection of the Environment Operations (Waste) Regulation 2014</i> and the <i>Waste Classification Guideline (Department of Environment, Climate Change and Water, 2009)</i>; and (c) detail the materials to be reused or recycled, either on or off site.	Post occupation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages achieved operation during the audit period.		Not Triggered
5.13	E	E13	HAZARDS AND RISK The Applicant must store all chemicals, fuels and oils used on-site in accordance with: (a) the requirements of all relevant Australian Standards; and (b) the EPA's <i>Storing and Handling of Liquids: Environmental Protection – Participants Manual</i> if the chemicals are liquids.	Post occupation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages achieved operation during the audit period.		Not Triggered
5.14	E	E14	In the event of an inconsistency between the requirements of condition E13(a) and E13(b), the most stringent requirement must prevail to the extent of the inconsistency	Post occupation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages achieved operation during the audit period.		Not Triggered

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
5.15	E	E15	DANGEROUS GOODS The quantities of dangerous goods stored and handled at the site must be below the threshold quantities listed in the Department of Planning's <i>Hazardous and Offensive Development Application Guidelines – Applying SEPP 33</i> at all times.	Post occupation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages achieved operation during the audit period.		Not Triggered
5.16	E	E16	DISCHARGE LIMITS The development must comply with section 120 of the POEO Act, which prohibits the pollution of waters.	Post occupation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages achieved operation during the audit period.		Not Triggered
5.17	E	E17	FLOOD MITIGATION MEASURES The OMM required by condition D33 of this consent must be implemented for the duration of occupation of the development.	Post occupation conditions were not reviewed this audit. Johnstaff + Lendlease confirmed during the audit interview that no stages achieved operation during the audit period.		Not Triggered
6	APPX	1	WRITTEN INCIDENT NOTIFICATION AND REPORTING REQUIREMENTS			
6.1	APPX 1	1.	WRITTEN INCIDENT NOTIFICATION REQUIREMENTS A written incident notification addressing the requirements set out below must be emailed to the Department at the following address: compliance@planning.nsw.gov.au within seven days after the Applicant becomes aware of an incident. Notification is required to be given under this condition even if the Applicant fails to give the notification required under this consent or; having given such notification, subsequently forms the view that an incident has not occurred.	Johnstaff + Lendlease confirmed during the audit interview that there have been no material harm incidents to date.		Not Triggered
6.2	APPX 1	2.	Written notification of an incident must: (a) identify the development and application number; (b) provide details of the incident (date, time, location, a brief description of what occurred and why it is classified as an incident); (c) identify how the incident was detected; (d) identify when the applicant became aware of the incident; (e) identify any actual or potential non-compliance with conditions of consent; (f) describe what immediate steps were taken in relation to the incident; (g) identify further action(s) that will be taken in relation to the incident; and (h) identify a project contact for further communication regarding the incident.	Johnstaff + Lendlease confirmed during the audit interview that there have been no material harm incidents to date.		Not Triggered

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
6.3	APPX 1	3.	Within 30 days of the date on which the incident occurred or as otherwise agreed to by the Planning Secretary, the Applicant must provide the Planning Secretary and any relevant public authorities (as determined by the Planning Secretary) with a detailed report on the incident addressing all requirements below, and such further reports as may be requested.	Johnstaff + Lendlease confirmed during the audit interview that there have been no material harm incidents to date.		Not Triggered
6.4	APPX 1	4.	The Incident Report must include: (a) a summary of the incident; (b) outcomes of an incident investigation, including identification of the cause of the incident; (c) details of the corrective and preventative actions that have been, or will be, implemented to address the incident and prevent recurrence; and (d) details of any communication with other stakeholders regarding the incident.	Johnstaff + Lendlease confirmed during the audit interview that there have been no material harm incidents to date.		Not Triggered
7	APPX	2	ADVISORY NOTES			
7.1	APPX 2	AN1	GENERAL All licences, permits, approvals and consents as required by law must be obtained and maintained as required for the development. No condition of this consent removes any obligation to obtain, renew or comply with such licences, permits, approvals and consents.	Johnstaff + LL confirmed during the audit interview that there have been no additional licences / permits / approvals / consents required.		Not Triggered
7.2	APPX 2	AN2	LONG SERVICE LEVY For work costing \$25,000 or more, a Long Service Levy must be paid. For further information please contact the Long Service Payments Corporation Helpline on 131 441.	Payments as previously evidenced. Johnstaff + LL confirmed during the audit interview that no further payments required.		Not Triggered
7.3	APPX 2	AN3	LEGAL NOTICES Any advice or notice to the consent authority must be served on the Planning Secretary.	Johnstaff + LL confirmed during the audit interview that there have been no legal notices to date.		Not Triggered
7.4	APPX 2	AN4	ACCESS FOR PEOPLE WITH DISABILITIES The works that are the subject of this application must be designed and constructed to provide access and facilities for people with a disability in accordance with the BCA. Prior to the commencement of construction, the Certifier must ensure that evidence of compliance with this condition from an appropriately qualified person is provided and that the requirements are referenced on any certified plans.	Johnstaff + LL confirmed during the audit interview that there have been no changes to design. DDA compliance report Ref. BCA Performance Solutions Report, 2926-6, dated 28 June 2023, prepared by Murrow Consulting still applicable as previously evidenced. Timing of this condition is no longer triggered.		Not Triggered

Liverpool Hospital Main Works Redevelopment – SSD-10389 (Mod-3)

Independent Environmental Audit – 26 September 2025

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
7.5	APPX 2	AN5	Water, electricity and gas are to comply with sections 4.1.3 and 4.2.7 of Planning for Bush Fire Protection 2006.	Johnstaff + LL confirmed during the audit interview that this condition is not relevant for this project.		Not Triggered
7.6	APPX 2	AN6	UTILITIES AND SERVICES Prior to the construction of any utility works associated with the development, the Applicant must obtain relevant approvals from service providers.	Sydney Water Section 73 as received – evidence as per previous audits: Sydney Water Case No. 201710 Compliance Certificate, dated 17 November 2023. As per BM+G notes against C#2.1 requirements: Telstra: As per email dated 1.03.22, provide all the relevant attachment to BM+G. Now provided Jemena Gas: As confirmed, the works do not impact Jemena Gas supplies as it is located on the far eastern side of the site Electricity Authority: As per Aconex no. LL-GCOR-008377 it has been confirmed LLB are only connecting into new switching stations. The switching stations scope of work is carried out by HI/LHD, who have engaged Roberts Build to communicate with Endeavor Energy. Provide the relevant correspondence once finalised in the meantime this will remain a condition. BM+G Comments 15.03.22, 16.09.24 & 13.03.25: Provide confirmation of the Terms and Conditions of Endeavour Energy's Model Standing Offer has been agreed to. Actioned.		Compliant
7.7	APPX 2	AN7	Prior to the commencement of above ground works written advice must be obtained from the electricity supply authority, an approved telecommunications carrier and an approved gas carrier (where relevant) stating that satisfactory arrangements have been made to ensure provisions of adequate services.	Johnstaff + LL confirmed during the audit interview that this is not yet required for the current works.		Not Triggered
7.8	APPX 2	AN8	ROAD DESIGN AND TRAFFIC FACILITIES All roads and traffic facilities must be designed to meet the requirements of Council or TfNSW (whichever is applicable). The necessary permits and approvals from the relevant road authority must be obtained prior to the commencement of road or pavement construction works.	Johnstaff + LL confirmed during the audit interview that this is not yet required for the current works.		Not Triggered
7.9	APPX 2	AN9	ROAD OCCUPANCY LICENCE A Road Occupancy Licence must be obtained from the relevant road authority for any works that impact on traffic flows during construction activities.	Johnstaff + LL confirmed during the audit interview that no ROLs required. No road permits at the time of the audit or during the audit period.		Not Triggered

Liverpool Hospital Main Works Redevelopment – SSD-10389 (Mod-3)

Independent Environmental Audit – 26 September 2025

ID No.	SSD Part	Req. No.	SSD-10389 Requirements	Audit Evidence	Audit Findings / Recommendations	Compliance Rating
7.10	APPX 2	AN10	SAFework REQUIREMENTS To protect the safety of work personnel and the public, the work site must be adequately secured to prevent access by unauthorised personnel, and work must be conducted at all times in accordance with relevant SafeWork requirements.	Stage 2 works enclosed with secured fencing and turnstile access as observed during the audit site inspection. Personnel observed to be wearing PPE. Refer to photos.		Compliant
7.11	APPX 2	AN11	HOARDING REQUIREMENTS The Applicant must submit a hoarding application to Council for the installation of any hoardings over Council footways or road reservation.	Liverpool City Council Hoarding Application Number: HA-3/2024 dated 9 December 2024 for Type B Hoarding – approval granted as presented as evidence. Expires 9 May 2025. Extension from 19 Sep 2025 for period of 22 September 2025 until 13 February 2026 ref HA-13/2025 extension Hoarding Application.		Compliant
7.12	APPX 2	AN12	HANDLING OF ASBESTOS The Applicant must consult with SafeWork NSW concerning the handling of any asbestos waste that may be encountered during construction. The requirements of the Protection of the Environment Operations (Waste) Regulation 2014 with particular reference to Part 7 – 'Transportation and management of asbestos waste' must also be complied with.	Notice of intent to remove friable asbestos sighted – SafeWork NSW – Notification No. 943R-00445258-01 dated 6 August 2025. Asbestos removal licence number: 210803; Expiry date: 7 December 2028; Pure Contracting Pty Ltd Class A / ASA/ Class B / ASB, Proposed work start date: 11 August 2025; Proposed work finish date: 30 January 2026.		Compliant
7.13	APPX 2	AN13	FIRE SAFETY CERTIFICATE The owner must submit to Council an Annual Fire Safety Statement, each 12 months after the final Safety Certificate is issued. The certificate must be on, or to the effect of, Council's Fire Safety Statement.	This is not yet triggered. A Fire Engineering Brief regarding the new build (ISB) has been developed – LL will review and add any required performance solutions for the refurbished parts that will be completed with Stage 3; yet to be finalised. This will be finalised and triggered following commissioning of this area.		Not Triggered

Appendix F – Consultation

RE: Independent Environmental Audit - Liverpool Hospital Redevelopment (SSD-10388 & SSD-10389)



Sarah Cavaleri

To  Barbara PaterCc  Taha Qureshi;  Narmin Adni-Azar; 

Reply



Reply All



Forward



Mon 15/09/2025 10:03 AM

 Follow up. Start by Thursday, 25 September 2025. Due by Thursday, 25 September 2025.
You replied to this message on 15/09/2025 10:29 AM.

Hi Barbara,

Thank you for the below email regarding the next independent audit for the Liverpool Hospital Redevelopment project (SSD-10388 & SSD-10389) (**Consents**).

The Department does not require any additional issues for inclusion within the scope of the Audit that are not already captured by the Consents, and the Department's Independent Audit Post Approval Requirements (May 2020).

If you have any questions or concerns regarding the above, please feel free to contact me.

Kind regards,

Sarah Cavaleri
Compliance Officer
Government Projects
Department of Planning, Housing and Infrastructure
dphi.nsw.gov.au

4 Parramatta Square
12 Darcy Street
Parramatta NSW 2150

Working days Monday to Friday, 8.30am – 4.30pm



Department of Planning and Environment



I acknowledge the traditional custodians of the land and pay respects to Elders past and present. I also acknowledge all the Aboriginal and Torres Strait Islander staff working with NSW Government at this time.

I choose to work flexibly & send emails outside normal office hours. No need to respond to my emails outside yours.

Please consider the environment before printing this email.

From: Barbara Pater <Barbara.Pater@app.com.au>

Sent: Tuesday, 9 September 2025 10:32 AM

To: DPE PSVC Compliance Mailbox <compliance@planning.nsw.gov.au>

Cc: Taha Qureshi <[REDACTED]> Narmin Adni-Azar <[REDACTED]>

Subject: Independent Environmental Audit - Liverpool Hospital Redevelopment (SSD-10388 & SSD-10389)

Dear Sir/Madam,

I am writing to advise that The APP Group – HSEQ Systems and Auditing (APP) will be conducting the next Independent Environmental Audit of the Liverpool Hospital Redevelopment project.

The audit is scheduled to be conducted on the 25-26 September 2025 and will review compliance in accordance with SSD-10388 for the on-grade car park works, and SSD-10389 (Mod-3) for the main works redevelopment..

In line with the consultation requirements of the *Independent Audit Post Approval Requirements* (IAPAR 2020), Section 3.2, APP seeks your input into the scope of the audit and advice on any particular areas where you would like us to focus on.

Please also advise if you wish for any stakeholders to be contacted to obtain their input into the scope of this audit.

Regards,

Barbara Pater

Exemplar Global Lead Environmental Auditor | Consultant



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Gadigal Country | Level 14, 10 Spring Street, Sydney NSW 2000



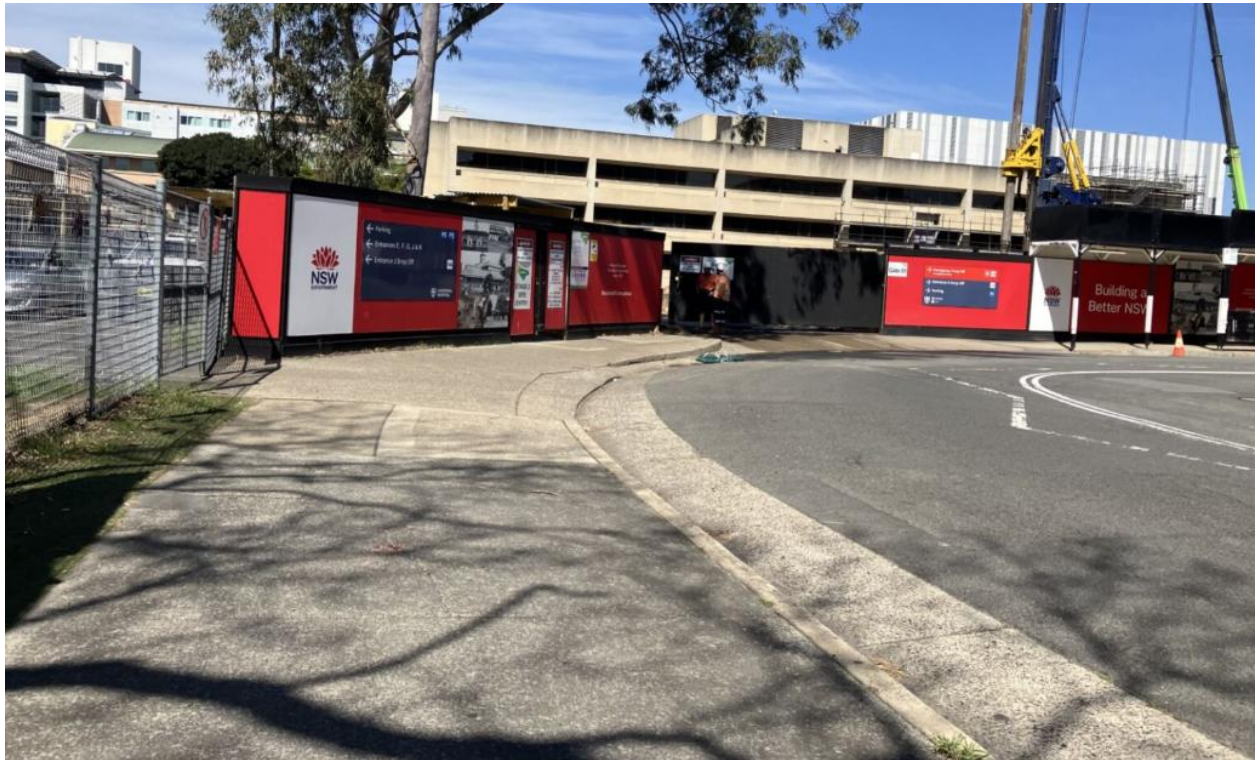
**Learn more about The APP Group
and Bureau Veritas**

The APP Group acknowledges Aboriginal and Torres Strait Islander Peoples as the Traditional Custodians of the Land, Rivers and Sea. We acknowledge and pay our respects to Elders past and present.

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APP Corporation Pty Limited, ABN 29 003 764 770.

Appendix G – Audit Photos

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



Main access to site on Campbell Street



Effective controls demonstrated at Campbell Street

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



Some minor tracking on Campbell Street as per observation OBS-04.



One of three trees protected onsite in fenced area.

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



Second tree with protective measures appearing well maintained.

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



Access to site by turnstile and swipe card



Future on-grade car park area currently used for laydown and storage

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



Consultant present onsite taking soil testing samples



Heavy vehicle using designated route within site boundary

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



In-ground services occurring



Coates sediment tank for water storage. LL confirmed no discharges have been required to date.

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



Water diversion in place.



Separation of materials stockpiled

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



As per observation OBS-02, refresh of controls required (sandbags to be added)



Close out of OBS-02 provided showing sandbags added.

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



As per observation OBS-02, refresh of controls required (tidy up of control measures)



Coir logs in place to manage water flow onsite

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



Demolition contractor Delta Group site signage

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



Third protected tree

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



Other side of tree protection zone.



Delta Group exclusion zone for demolition of Alex Grimson building

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



As per observation OBS-01, dust was observed onsite



Piling works occurring at the time of the audit

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



Ambient air monitor installed at demolition boundary



Hazardous substance storage. As per observation OBS-03, a spill kit is required.

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



Generator onsite. As per observation OBS-03, a spill kit is required.



Close out photo received from LL for OBS-03 showing spill kit relocated.

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



Delta Group storage in use



Water cart deployed during inspection to manage dusty conditions (OBS-01)

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



Evidence of soil sampling for testing



Ambient air monitors installed during demolition works

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



Cattle grid and hose available at heavy vehicle egress



Worker using hose during piling works

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



Sediment fencing at hoarding alongside Campbell Street.



Water cart in operation

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



Good protection measures in place on Campbell Street



Campbell Street walkway maintained

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025

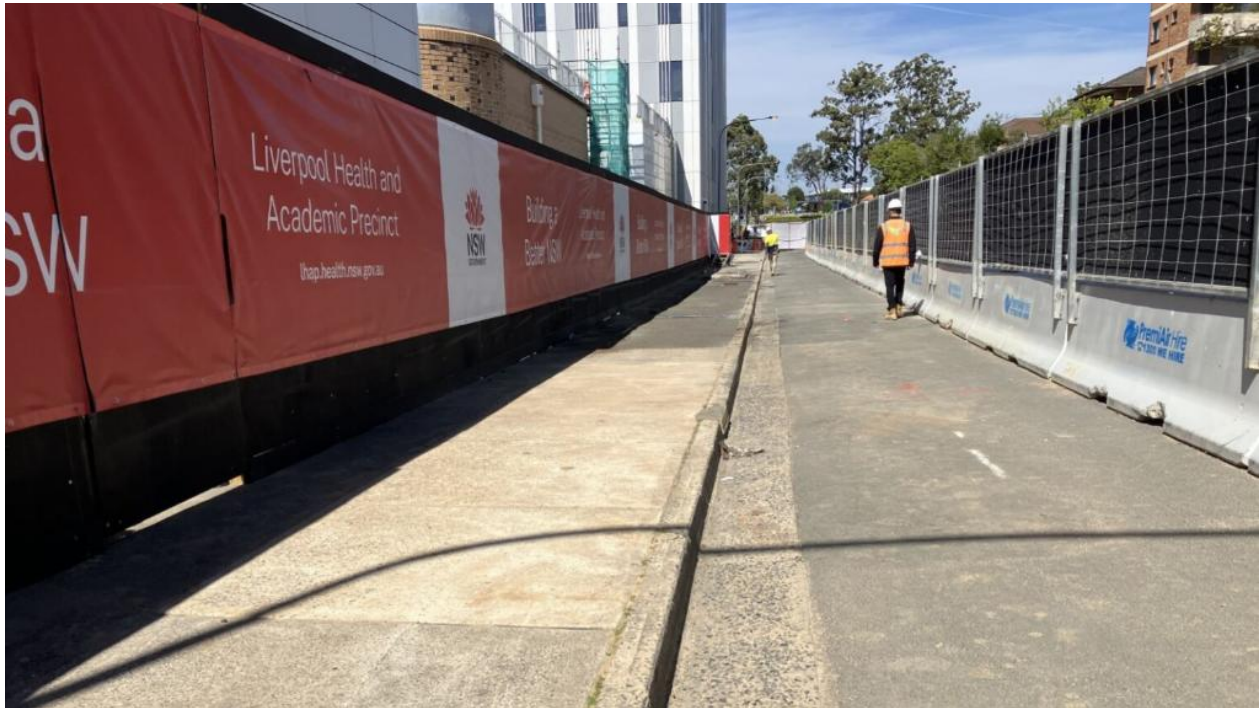


Traffic control signage in place at Campbell Street crossing



Pedestrian detour signage while works are occurring on Goulburn Street

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



Goulburn Street works nearing completion



Upcoming concrete pour for remaining works at Goulburn Street

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



As per observation OBS-02, refresh of controls required at Goulburn Street



Close out photo for OBS-02 from LL showing sandbags replaced. Area still requires clean up to ensure effective controls.

Liverpool Hospital Redevelopment – Site Inspection Photos – 26 September 2025



Main project signage and site notice as required by Condition C1.



The APP Group

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