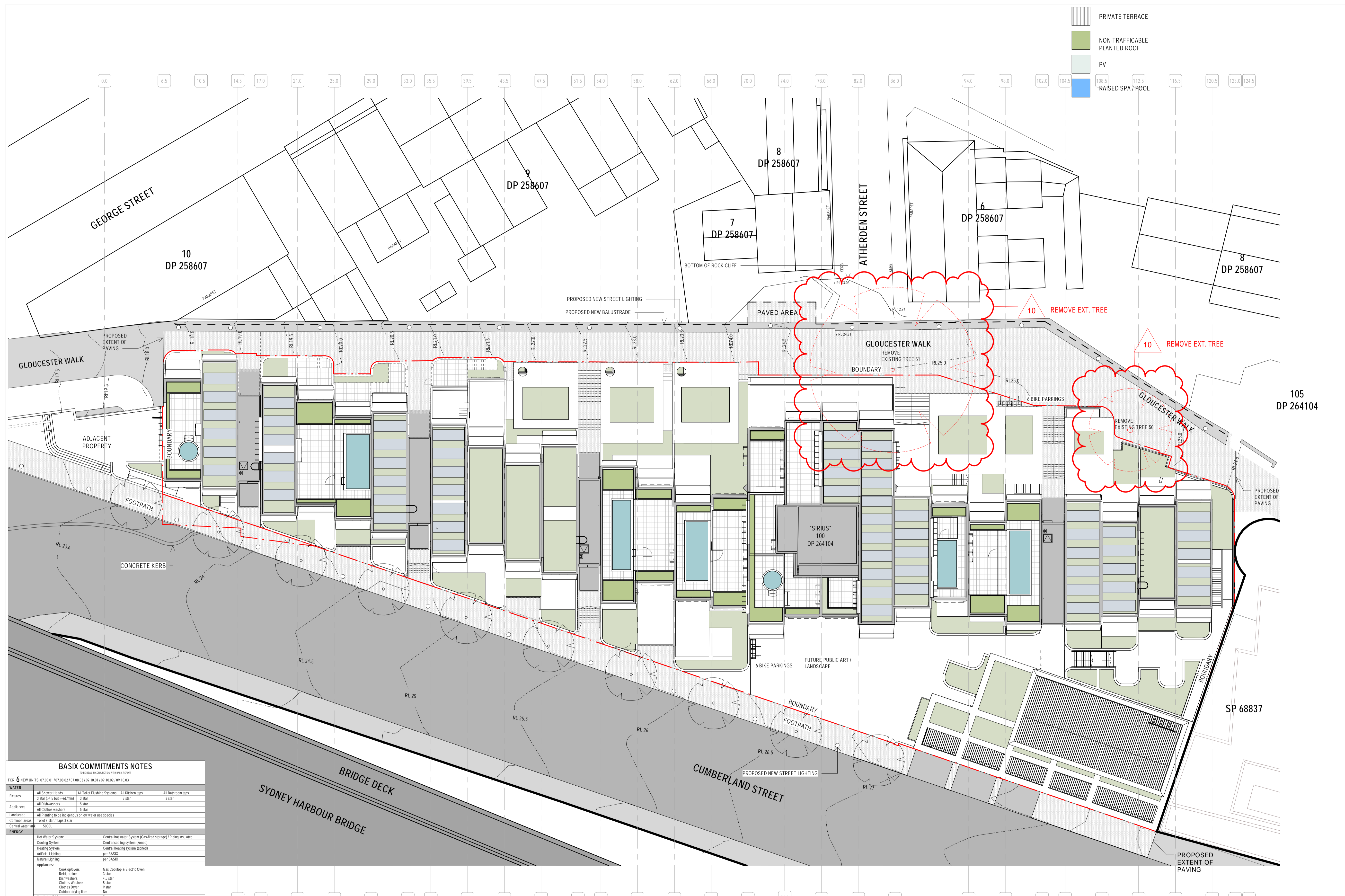


NOTE
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR
TO COMMENCEMENT OF WORK OR PREPARATION OF SHOP DRAWINGS.
DO NOT SCALE THIS DRAWING.

ISSUE	DATE	FOR
1	25.08.20	FOR INFORMATION
2	28.08.20	FOR INFORMATION
3	31.08.20	FOR INFORMATION
4	04.09.20	NOT FOR SSSA - DRAFT
5	15.09.20	NOT FOR SSSA - DRAFT
6	16.09.20	NOT FOR SSSA - DRAFT
7	17.09.20	NOT FOR SSSA - DRAFT
8	18.09.20	FOR SSSA
9	30.07.21	FOR S4.55
10	06.08.21	FOR S4.55



BASIX COMMITMENTS NOTES
FOR 6 NEW UNITS: 07.08.01 / 07.08.02 / 07.08.03 / 09.10.01 / 09.10.02 / 09.10.03

WATER	Fixtures	Appliances	Landscaping	Common areas
All Shower Heads	3 star (+4.5 bar -44mm)	All Dishwashers	All Planting to be indigenous or low water use species	3 star / 3 star / 3 star
All Toilet Flushing Systems	3 star	All Clothes Washers		
All Kitchen taps	3 star			
All Bathroom taps	3 star			

ENERGY

Hot Water System	Cooling System	Heating System	Airflow Lighting	Natural Lighting	Appliances	Ventilation Fridge	Pool/Spa
Central hot water System (Gas-fired storage) / Piping insulated	Central cooling system (zoned)	Central heating system (zoned)	per BASIX	per BASIX	Gas Cooktop & Electric Oven Refrigerator Dishwasher Clothes Washer Clothes Dryer Outdoor drying line	No	09.10.01 gas heated spa Volume 2.0 KL 09.10.02 gas heated pool Volume 12.3KL

COMMON AREAS
REFER TO BASIX

BASIX CONSTRUCTION NOTES
FOR 70 UNITS ALTERNATION AND ADDITION

INSULATION	Materials	Requirement
External wall	concrete block / plasterboard	R1.8 (or R1.70 including construction)
	insulated masonry/brickwork, fibre metal clad	R1.20 (or R1.70 including construction)
	others	R1.70 (including construction)
Roof / Ceiling	concrete / plasterboard internal	R2.50 (top) roof / racking

GLAZING

Orientation	Shading Device	Frame and glass type	U-Value	SHGC
East	Eave / verandah / Pergola / Balcony >=450mm	U-Value: 3.44 / SHGC: 0.42	U-Value: 3.44	SHGC: 0.42
West	Eave / verandah / Pergola / Balcony >=450mm	U-Value: 3.44 / SHGC: 0.42	U-Value: 3.44	SHGC: 0.42
South	Eave / verandah / Pergola / Balcony >=450mm	U-Value: 3.44 / SHGC: 0.42	U-Value: 3.44	SHGC: 0.42
North	None	U-Value: 3.44 / SHGC: 0.42	U-Value: 3.44	SHGC: 0.42

Department of Planning and Environment

Issued under the Environmental Planning and Assessment Act 1979
Approved Section 4.55 (1A) Modification Application

No: SSD 10384 MOD 1 Granted on 28 March 2022

Signed: AW Sheet No: 1 of 12

PROJECT MANAGER
DEDICO DEVELOPMENT SERVICES

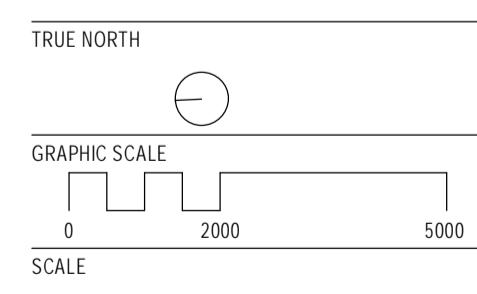
CLIENT

SIRIUS DEVELOPMENTS PTY LTD
CLIENT NUMBER

PROJECT

SIRIUS SITE
2-60 CUMBERLAND ST, THE ROCKS
BVN PROJECT NUMBER

1712011
DRAWING KEY



FOR INFORMATION
DRAWING

PROPOSED SITE PLAN

ISSUE	NO
AR-DA-A-00-07	10

ISSUE	DATE	FOR
1	23.07.20	FOR INFORMATION
2	28.08.20	FOR INFORMATION
3	04.09.20	NOT FOR SSDA - DRAFT
4	07.09.20	NOT FOR SSDA - DRAFT
5	09.09.20	NOT FOR SSDA - DRAFT
6	15.09.20	NOT FOR SSDA - DRAFT
7	17.09.20	NOT FOR SSDA - DRAFT
8	18.09.20	FOR SSDA
9	23.10.20	FOR SSDA
10	30.07.21	FOR S4.55
11	05.08.21	FOR S4.55



1 GA - GLOUCESTER WALK STREET ELEVATION



2 GA - CUMBERLAND STREET ELEVATION

PROJECT MANAGER
DEDICO DEVELOPMENT SERVICES

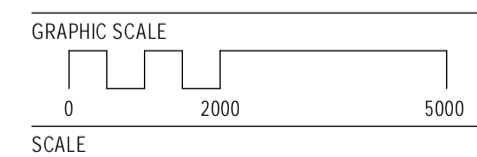
CLIENT

SIRIUS DEVELOPMENTS PTY LTD
CLIENT NUMBER

PROJECT

SIRIUS SITE
2-60 CUMBERLAND ST, THE ROCKS
BVM PROJECT NUMBER

1712011
DRAWING KEY

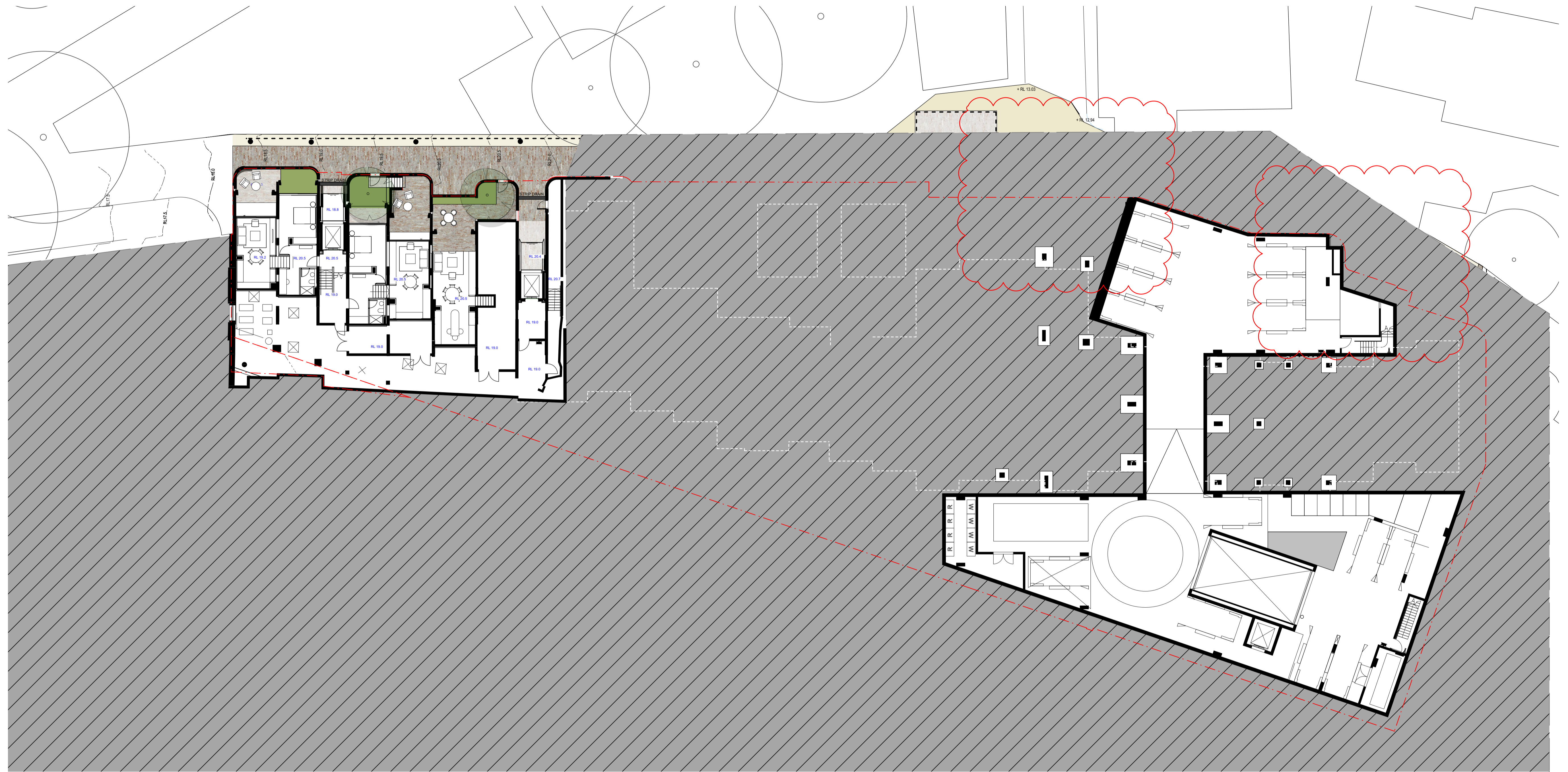


1:300@A1
STATUS

FOR INFORMATION
DRAWING

EAST & WEST ELEVATIONS -
STREETSCAPE

ISSUE
AR-DA-C-10-00
11



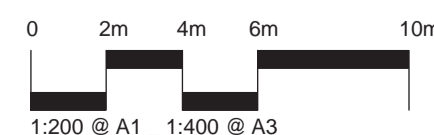
Department of Planning
and Environment

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Approved Section 4.55 (1A) Modification Application

No: SSD 10384 MOD 1 Granted on 28 March 2022

Signed: AW Sheet No: 3 of 12

ISS.	AMENDMENT	DATE	BY
J	Revised SSDA (response to Council Comments)	19.05.21	GD
K	SSDA Modification - Tree Removal & Replacement	04.08.21	GD
L	SSDA Modification - Tree Removal & Replacement	06.08.21	GD
M	SSDA Modification - Tree Removal & Replacement	19.08.21	GD
N	SSDA Modification - Public Domain Tree Removal & Replacement	06.09.21	GD
O	SSDA Modification - Public Domain Tree Removal & Replacement	29.10.21	GD



IMPORTANT NOTES:
Do not scale from drawings to the satisfaction of the Landscape Architect.
Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated.
All dimensions and BGA in metres.
Verify all dimensions on site before the commencement of any works.
Construction shall be in accordance with the approved plans.
All work shall be carried out in accordance with the approved plans and Local Government Regulations.
All work shall be carried out in accordance with the approved plans and Local Government Regulations.
All work shall be carried out in accordance with the approved plans and Local Government Regulations.
The drawings are the property of B&B Engineers. No part of the drawings may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of B&B Engineers.

CLIENT
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Pty Ltd

ARCHITECT
B&B

CHECKED
LB

DWG. TITLE
Landscape Plan - BASEMENT B4-B3

PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

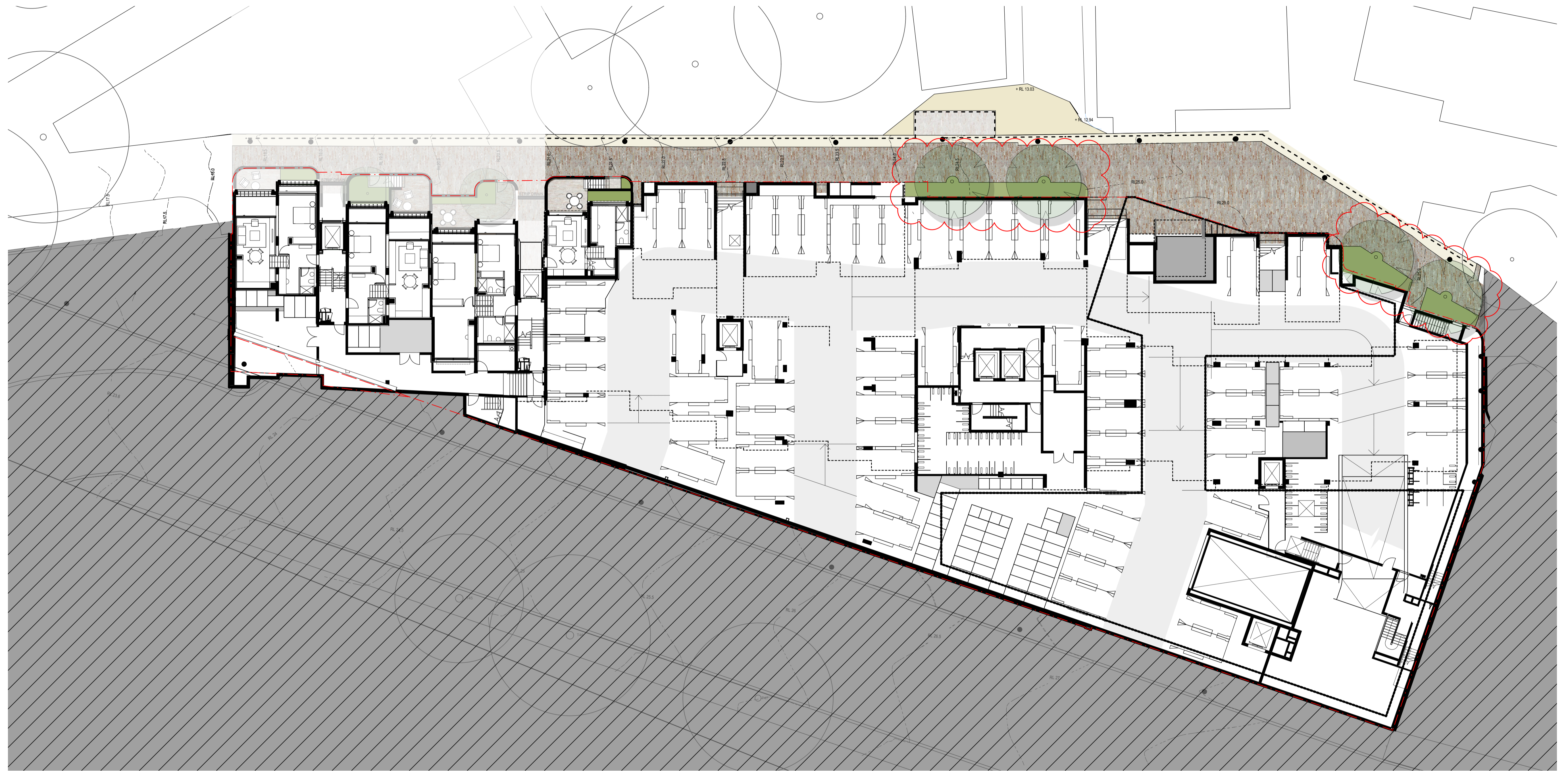
SCALE
1:200 @ A1

DRAWN
LB

ISSUE
SSDA

360
Level 1, 1 Marys Place
Burrumbidgee NSW 2570
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w www.360.net.au
ABN 60 148 901 382

L-DA-08



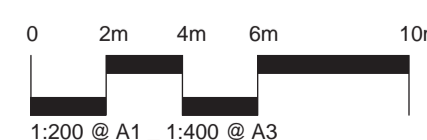
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and Environment

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Approved Section 4.55 (1A) Modification Application

No: SSD 10384 MOD 1 Granted on 28 March 2022

Signed: AW Sheet No: 4 of 12

ISS.	AMENDMENT	DATE	BY
J	SSDA Modification - Tree Removal & Replacement	04.08.21	GD
K	SSDA Modification - Tree Removal & Replacement	06.08.21	GD
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N	SSDA Modification - Public Domain Tree Removal & Replacement	29.10.21	GD
O	SSDA Modification - Public Domain Tree Removal & Replacement	25.11.21	GD



IMPORTANT NOTES:
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Larger scale drawings and within dimensions take preference. All dimensions in mm unless otherwise stated.
Verify all dimensions on site before the commencement of any works.
Consultation and consent are required for any proposed works.
Without Ovals and to include in Engineer's Site/Structure/Load/Overhead/Underground.
All work shall be carried out in a professional manner by Qualified Technicians according to Landscape Drawings and Engineer's Specifications.
The drawings are the property of BVA Engineering Pty Ltd and shall not be used for any other purpose without the prior written consent of BVA Engineering Pty Ltd.

CLIENT
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Pty Ltd

ARCHITECT
BVA

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LB

DWG. TITLE
Landscape Plan - BASEMENT B2-B1

PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

SCALE
1:200@A1


DRAWN
LB

ISSUE
SSDA

360
Level 1, 1 Marys Place
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L-DA-09



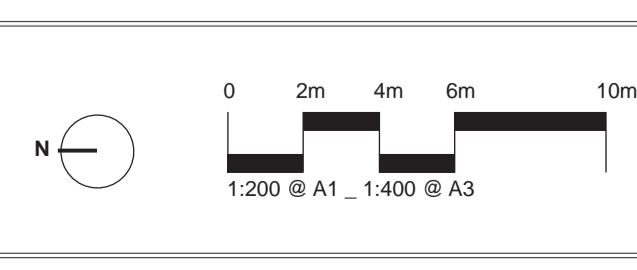

Department of Planning and Environment

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Approved Section 4.55 (1A) Modification Application


No: SSD 10384 MOD 1 Granted on 28 March 2022

Signed: AW Sheet No: 5 of 12

ISS.	AMENDMENT	DATE	BY
J	SSDA Modification - Tree Removal & Replacement	04.08.21	GD
K	SSDA Modification - Tree Removal & Replacement	06.08.21	GD
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N	SSDA Modification - Public Domain Tree Removal & Replacement	29.10.21	GD
O	SSDA Modification - Public Domain Tree Removal & Replacement	25.11.21	GD



IMPORTANT NOTES:
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CLIENT Sirius Developments Pty Ltd	ARCHITECT 	CHECKED LB
SCALE 1:200 @ A1 1:400 @ A3	DRAWN LB	ISSUE SSDA

DWG. TITLE
Landscape Plan - LEVEL 01-03

PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS


360
 Level 1, 1 Marys Place
 Bunnings Hill NSW 1510
 t +61 2 9550 2800
 w www.360.net.au
 AEN: 60 148 901 382

L-DA-010



LEGEND

- 1 Public amenity upgrade - Elevated brick paved terrace to maximise views across Sydney Harbour
- 2 Steps up from footpath to public terrace
- 3 1:14 compliant ramp up from footpath to public terrace
- 4 Wall to ramp, potential signage opportunity
- 5 Parapet wall with palisade fence on top (to match existing)
- 6 Brick seat integrated with parapet wall and planted arbour over
- 7 2 x Feature shade trees to courtyard park
- 8 Private courtyards with landscaping for privacy
- 9 Articulated boundary security/privacy treatment - combination of brick wall and steel palisade fence
- 10 Basement fire stair
- 11 Private Lobby entry
- 12 New brick paving to Gloucester Walk - specification and format to be detailed and agreed with Property NSW
- 13 Retain existing edge treatment to Gloucester Walk, including:
- Stone edge, Palisade fence/balustrade, Lighting and Security cameras
- 14 Remove existing Plane Trees T50 & T51. Refer to Arboricultural Report. Replace each with 2x *Nyssa sylvatica*
- 15 Public Through Site Link from Cumberland St to Gloucester Walk. Potential to integrate artwork
- Refer artwork strategy prepared by UAP
- 16 Through site link lift adjacent steps
- 17 Phillip room external terrace with garden to edge parapet
- 18 Generous public forecourt with small format Bluestone paving treatment to match City of Sydney
- integrated public art to plaza forecourt (refer artwork strategy prepared by UAP)
- 19 Retail space (cafe) at ground level of Cumberland St Building with outdoor dining
- 20 Raised planter with seating edge to provide informal seating to cafe and soften the built form of Cumberland Building
- 21 Egress through to Lift Lobby 5
- 22 Communal garden retreat with social seating spaces (resident access only)
- 23 Fire egress path
- 24 Blue Stone paving to footpath
- 25 Extention of Bluestone paving within plaza forecourt
- 26 Smart Pole street lights to City of Sydney Specification - refer electrical/civil engineers documentation
- 27 Vehicle Driveway crossover to City of Sydney Specification - refer civil engineers documentation
- 28 12 x visitor bicycle parking (6 within forecourt fronting Cumberland St, and 6 adjacent the throughsite link on Gloucester Walk
- 29 Street Trees Planted to City of Sydney Street Tree Specification. *Nyssa sylvatica* (Black Tulepo) 200L

NOTE

Details of paving treatment around the site shall be developed in consultation with PMNSW, with final details being submitted to PMNSW for approval prior to the issue of final LOC or CC. Particular attention shall be paid to the following:

- The use of smaller paving sizes (modules) from City of Sydney palette to better reflect the Rocks' fine grain character.
- Details of specific materials to be used in all public domain areas.
- Details of paving treatment proposed for all transition zones.

ISS.	AMENDMENT	DATE	BY
J	SSDA Modification - Tree Removal & Replacement	04.08.21	GD
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O	SSDA Modification - Public Domain Tree Removal & Replacement	25.11.21	GD

IMPORTANT NOTES:
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Scale: 1:200 @ A1, 1:400 @ A3

CLIENT: Sirius Developments Pty Ltd
ARCHITECT: BWN
CHECKED: LB
ISSUE: SSDA

DWG. TITLE: Consolidated Groundfloor / Public Domain Plan
PROJECT: SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

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Burrumbidgee NSW 2570
P +61 81 8328 2821
W www.360.net.au
ABN 60 148 901 382

L-DA-012



Banksia integrifolia (Coastal Banksia)

Acacia longifolia (Sydney wattle)
Acacia pycnantha (Golden wattle)
Acacia decurrens (Black wattle)

Acer 'Sango Kaku' (Coral Bark Japanese Maple)

Lagerstroemia indica (Crepe Myrtle)

Tristaniaopsis laurina (Water Gum)

Waterhousea floribunda (Weeping Lilly Pilly)

Ulmus parvifolia (Chinese Elm)

Location: Roof

Location: Roof

Location: Private Courtyards

Location: Private Courtyards

Location: Private Courtyards

Location: Communal Area

Location: Communal Area,
Private Courtyard




Livistona australis (Cabbage Tree Palm)

Nyssa sylvatica (Black Tulepo)

Location: Communal Area

Location: Cumberland Street
& Gloucester Walk



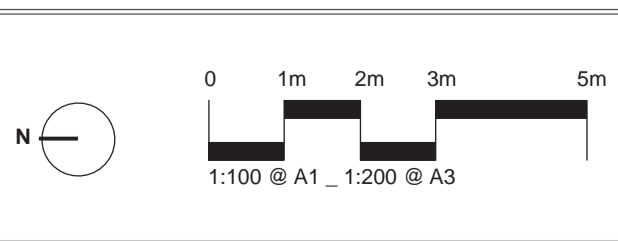
Department of Planning and Environment

Issued under the Environmental Planning and Assessment Act 1979
Approved Section 4.55 (1A) Modification Application

No: SSD 10384 MOD 1 Granted on 28 March 2022

Signed: AW Sheet No: 8 of 12

ISS.	AMENDMENT	DATE	BY
J	Revised SSDA (response to Council Comments)	19.05.21	GD
K	SSDA Modification - Tree Removal & Replacement	04.08.21	GD
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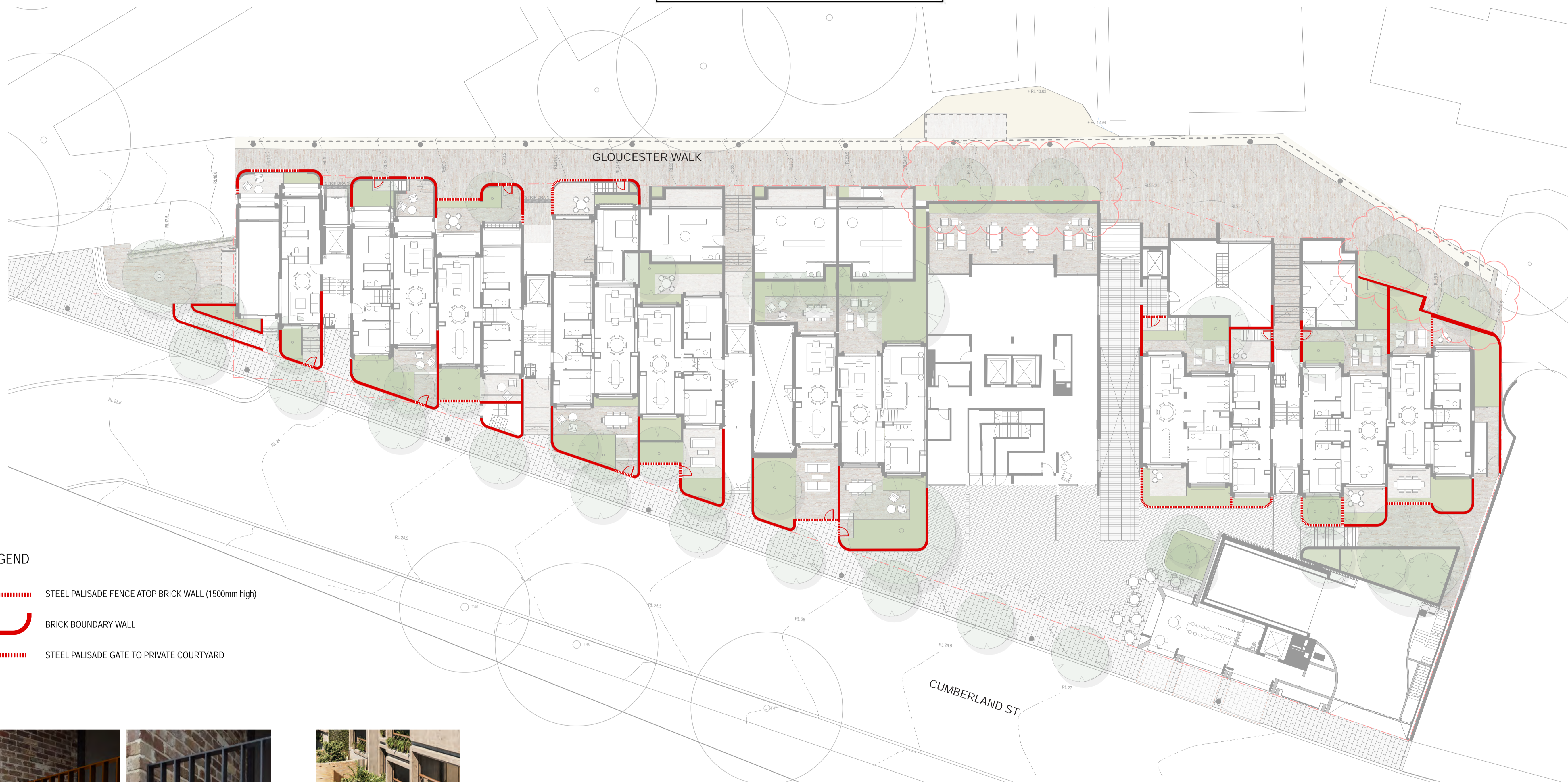


IMPORTANT NOTES:
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CLIENT Sirius Developments Pty Ltd	ARCHITECT BVN	CHECKED LB
SCALE As Shown	DRAWN LB	ISSUE SSDA

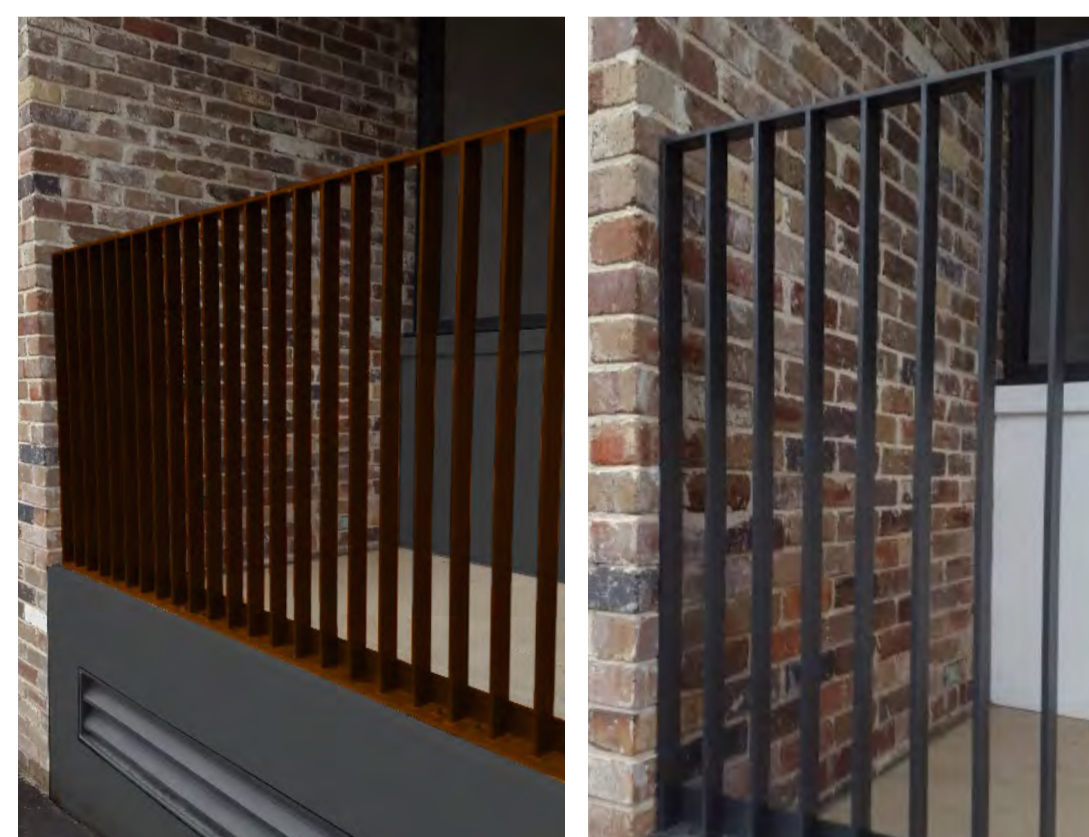
DWG. TITLE
Planting Palette - TREES

PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS



LEGEND

-  STEEL PALISADE FENCE ATOP BRICK WALL (1500mm high)
-  BRICK BOUNDARY WALL
-  STEEL PALISADE GATE TO PRIVATE COURTYARD



STEEL PALISADE FENCE



BRICK BOUNDARY WALL

IMPORTANT NOTES:
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Larger scale drawings and written dimensions take preference. All dimensions in mm unless otherwise stated.
All dimensions and B/L & levels.
Use metric measurements only.
Verify all dimensions on site before the commencement of any works.
Construction shall be in accordance with the approved plans.
Without Ovals shall be subject to Engineer's Specifications.
Engineer's Specifications shall be subject to Engineer's Specifications.
All work shall be carried out in a professional manner by Qualified Tradesmen according to Landscape Drawings and Engineer's Specifications.
The responsibility for any errors or omissions in design, construction methods, materials specified, and general construction shall be assumed by the Project Engineer or Landscape Architect.
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ARCHITECT
BUN

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LB

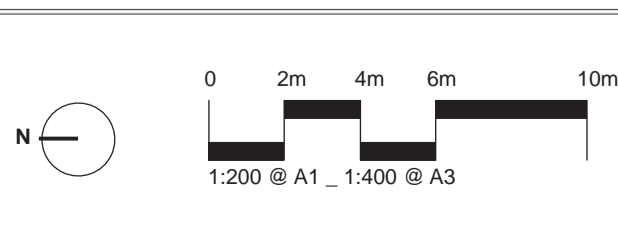
DWG. TITLE
BOUNDARY WALL/FENCE PLAN

PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

360
Level 1, 1 Marys Place
Burrumbidgee NSW 2570
P +61 81 8322 2821
W www.360.net.au
ABN 60 148 901 382

L-DA-029

ISS.	AMENDMENT	DATE	BY
I	Revised SSDA (response to Council Comments)	19.05.21	GD
J	SSDA Modification - Tree Removal & Replacement	04.08.21	GD
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Area	
Total Site (m2)	3664.00
Existing Canopy Coverage (m2)	513.15
Existing Canopy Coverage (% of site)	14.01%
Proposed Tree Canopy (m2)	551.93
Proposed Tree Canopy (% of site)	15.06%

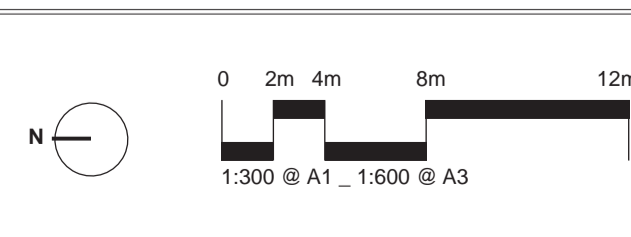
PROPOSED GROUND FLOOR CANOPY COVERAGE

The minimum 15% canopy cover requirement under the Sydney DCP 2012 is **achieved**

The development provides a complying Site Canopy Cover

NOTE: All trees to be 200L and in conformance with NatSpec

ISS.	AMENDMENT	DATE	BY
D	SSDA Modification - Tree Removal & Replacement	04.08.21	GD
E	SSDA Modification - Tree Removal & Replacement	06.08.21	GD
F	SSDA Modification - Tree Removal & Replacement	19.08.21	GD
G	SSDA Modification - Public Domain Tree Removal & Replacement	06.09.21	GD
H	SSDA Modification - Public Domain Tree Removal & Replacement	29.10.21	GD
I	SSDA Modification - Public Domain Tree Removal & Replacement	25.11.21	GD



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All tree dimensions and RLs in metres.
The spatial arrangement of trees is for information only.
Verify all dimensions on site before the commencement of any works.
Consultation and approval of all works must be obtained from the relevant authorities.
All work shall be carried out in accordance with DCP, DCP and Local Government Regulations.
Residual Canopy shall be retained in accordance with Engineer's Specifications.
All work shall be carried out in a professional manner by Qualified Technicians according to Landscape Drawings and Engineer's Specifications.
The responsibility for the design of all works shall remain with the Project Engineer or Landscape Architect.
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Sirius
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ARCHITECT
BUN

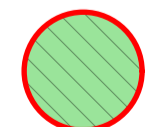
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LB

SCALE
1:50

DRAWN
LB

ISSUE
SSDA

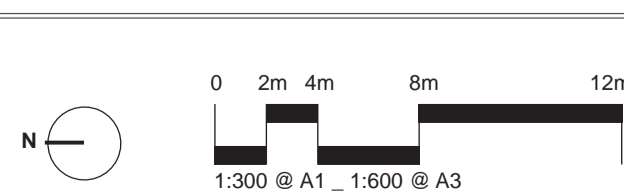
DWG. TITLE
PROPOSED SITE CANOPY COVERAGE PLAN
PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS



Nyssa sylvatica (Black Tupelo)

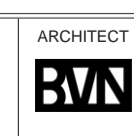
Trees to be 200L in accordance with NatSpec and planted to City of Sydney Street Tree Masterplan Specifications

ISS.	AMENDMENT	DATE	BY
D	SSDA Modification - Tree Removal & Replacement	04.08.21	GD
E	SSDA Modification - Tree Removal & Replacement	06.08.21	GD
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The scale dimensions are for information only.
Verify all dimensions on site before the commencement of any works.
Construction and material specifications are to be confirmed with the relevant authorities.
Without Details shall be subject to Engineer's Specifications.
Engineer's Specifications shall be subject to Council's Specifications.
All work shall be carried out in accordance with the relevant standards and specifications.
The responsibility for the design and construction of the works shall remain with the Client.
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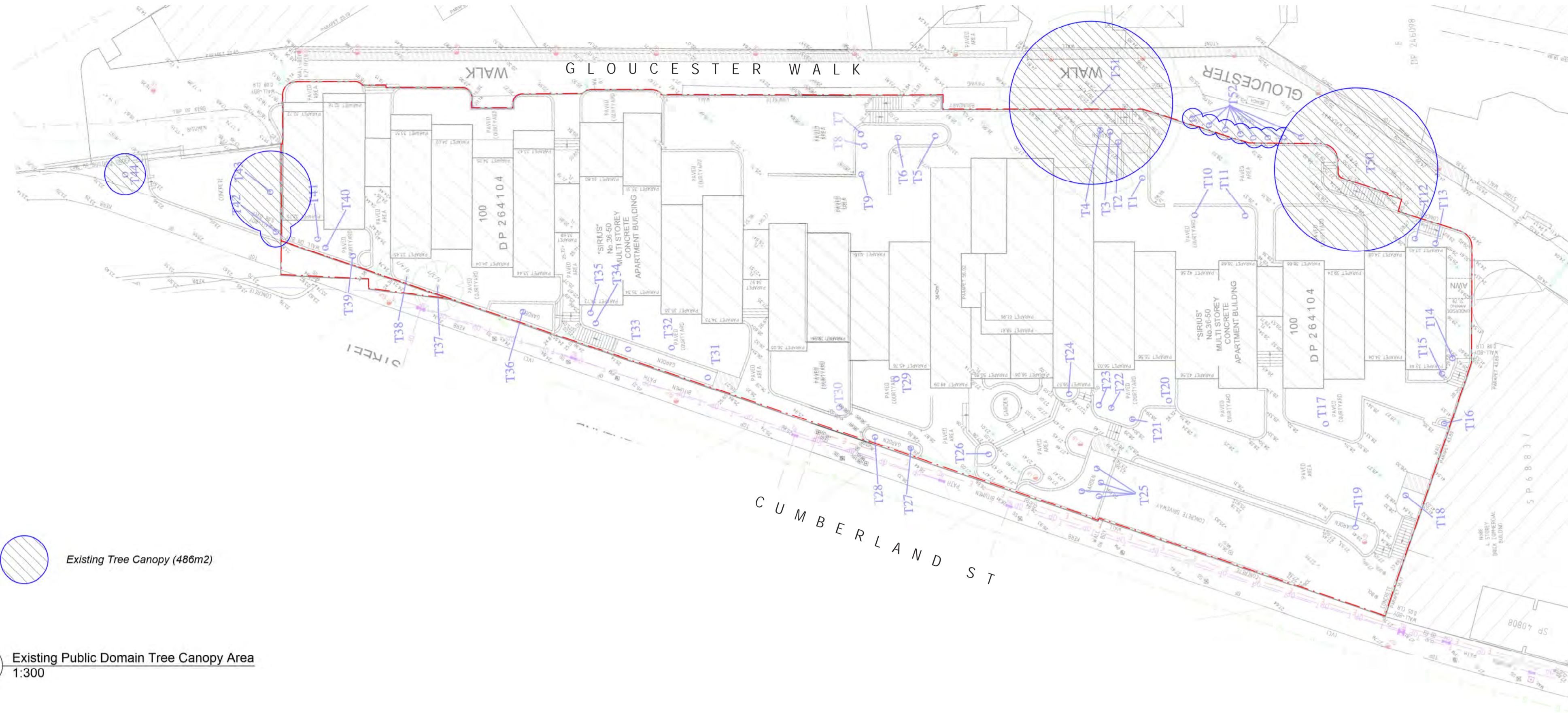
CHECKED
LB

DWG. TITLE
PROPOSED STREET TREE PLAN
PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

SCALE
1:50

DRAWN
LB

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SSDA



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 Approved Section 4.55 (1A) Modification Application

No: SSD 10384 MOD 1 Granted on 28 March 2022

Signed: AW Sheet No: 12 of 12



SUMMARY	
Existing Public Domain Tree Canopy Area	486m ²
Proposed Public Domain Tree Canopy Area	746m ²
Total Canopy Increase	260m²

2 Proposed Public Domain Tree Canopy Area
 1:300