



Planning,
Industry &
Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD 10384

Granted on: 18 June 2021

Signed: AW Sheet No: 52 of 88

SIRIUS SITE

2-60 CUMBERLAND ST, THE ROCKS

LANDSCAPE DOCUMENTATION

SSDA

DRAWING REGISTER

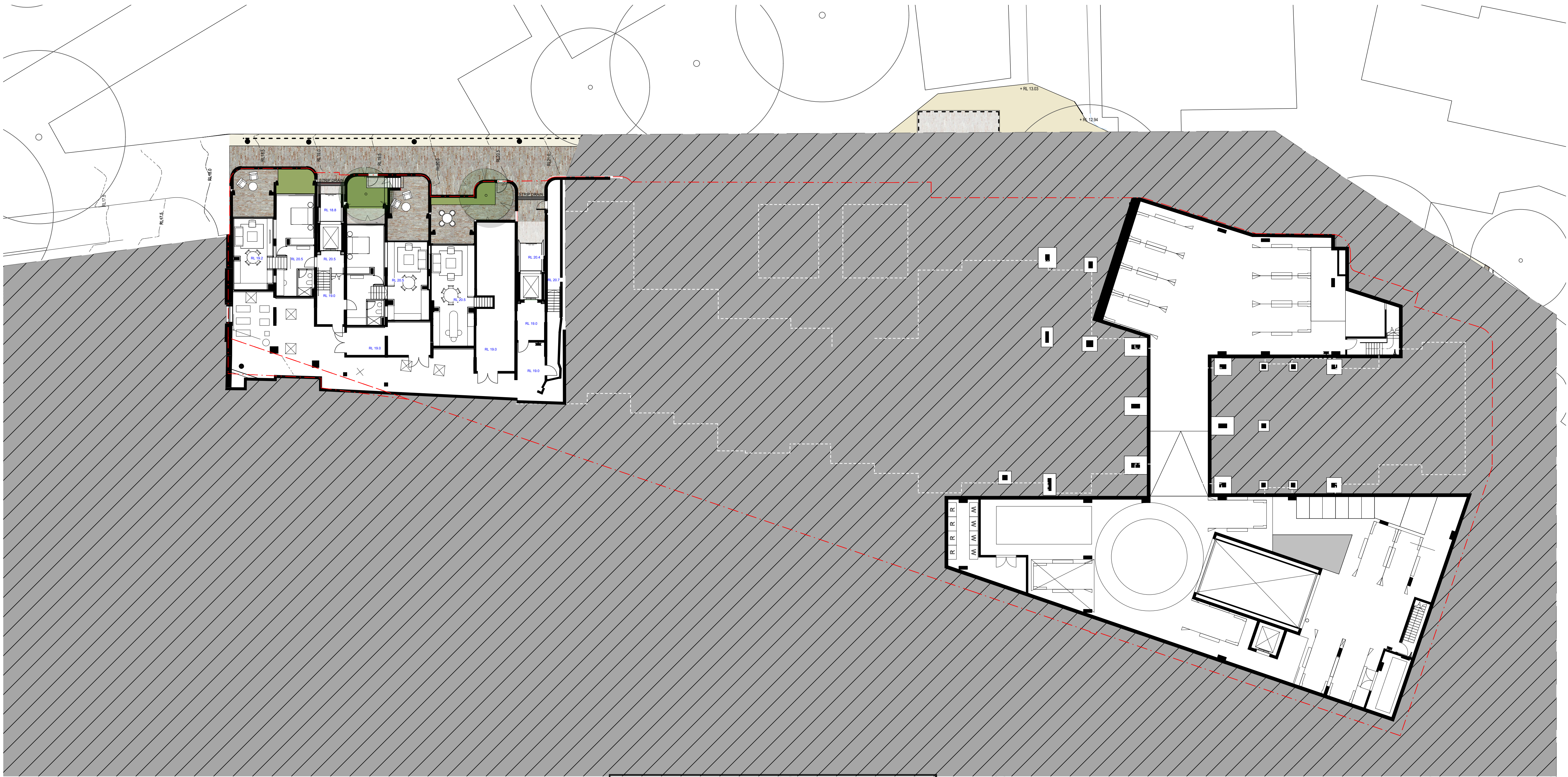
Dwg No.	Drawing Title	Size	Scale
L-DA-01	Cover Page	A1	N/A
L-DA-08	Landscape Plan - BASEMENT B4-B3	A1	N/A
L-DA-09	Landscape Plan - BASEMENT B2-B1	A1	1:100
L-DA-10	Landscape Plan - LEVEL 01-03	A1	1:100
L-DA-11	Landscape Plan - LEVEL 03-05	A1	1:100
L-DA-12	Consolidated Ground Floor / Public Domain Plan	A1	1:100
L-DA-13	Landscape Plan - LEVEL 05-07	A1	1:100
L-DA-14	Landscape Plan - LEVEL 07-09	A1	1:100
L-DA-15	Landscape Plan - LEVEL 09-11	A1	1:100
L-DA-16	Landscape Plan - LEVEL 11-13	A1	1:100
L-DA-17	Landscape Plan - LEVEL 13-15	A1	1:100
L-DA-18	Landscape Plan - LEVEL 15-17	A1	1:100
L-DA-19	Landscape Plan - LEVEL 18-19	A1	1:100
L-DA-20	Landscape Plan - LEVEL 20-21	A1	1:100
L-DA-21	Landscape Plan - LEVEL 24-25	A1	1:100
L-DA-22	Landscape Plan - LEVEL 27	A1	1:100
L-DA-23	Consolidated Roof Plan	A1	1:100
L-DA-24	Typical Private Roof Terrace	A1	1:100
L-DA-25	Typical non-Accessible Green Roof	A1	1:50
L-DA-26	Planting Palette - TREES	A1	1:50
L-DA-27	Planting Palette - GROUND FLOOR & COURTYARDS	A1	1:100
L-DA-28	Planting Palette - GREEN ROOFS	A1	1:100
L-DA-29	Boundary Wall / Fence Plan	A1	N/A
L-DA-30	Cumberland St Elevation	A1	N/A
L-DA-31	Site Canopy Coverage Plan	A1	1:200
L-DA-32	Roof Garden Access Methodology	A1	N/A
L-DA-33	Proposed Site Canopy Coverage Plan	A1	1:200
L-DA-34	Proposed Street Tree Plan	A1	1:200

GENERAL NOTES

- * FOR DEVELOPMENT APPLICATION ONLY
- * Do not scale from drawings
- * Larger scale drawings and written dimensions take preference
- * All dimensions in mm unless otherwise stated.
- * All tree dimensions and RLs in metres.
- * Verify all dimensions on site before the commencement of any works.
- * Contractors shall locate and protect all services prior to construction.
- * All work shall be carried out in accordance with ASA, BCA and Local Government Regulations.
- * Structural Details shall be subject to Engineer'
- * Drainage & Water Feature Details shall be subject to Hydraulic Engineer'
- * All work shall be carried out in a professional manner by Quali radesman according to Landscape Drawings and Engineer's
- *Protect all adjoining property building, walls and paving. Damaged elements are to be replaced.
- * No responsibility will be taken by 360 degrees. for any variations in design, construction method, n from the Project Engineer or Landscape Architect.
- *Service location on plans are indicative only . 360 accepts no responsibility for the accuracy of service location. it is the responsibility of the contractor to determine service locations prior to the commencement of work. Any damages remains the responsibility of the contractor.
- * This Drawing is copyright to 360 degrees.

LOCATION PLAN





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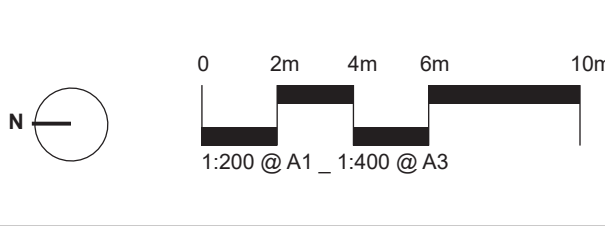
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ISS.	AMENDMENT	DATE	BY
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB
H	Revised SSDA (response to Council Comments)	28.04.21	GD
I	Revised SSDA (response to Council Comments)	05.05.21	GD
J	Revised SSDA (response to Council Comments)	19.05.21	GD



IMPORTANT NOTES
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All dimensions to be checked by the attention of the Landscape Architect.
Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated.
All dimensions and notes are to be checked by the attention of the Landscape Architect.
Verify all dimensions on site before the commencement of any works.
Constructors shall verify and provide all services prior to construction.
All work shall be carried out in accordance with AS/NZS 1546:2018 and Local Government Regulations.
Structural Details shall be subject to Engineer's approval.
Drainage & Water Pollution Details shall be subject to Hydrological Engineer's approval.
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Architect

CLIENT
Sirius
Developments
Pty Ltd

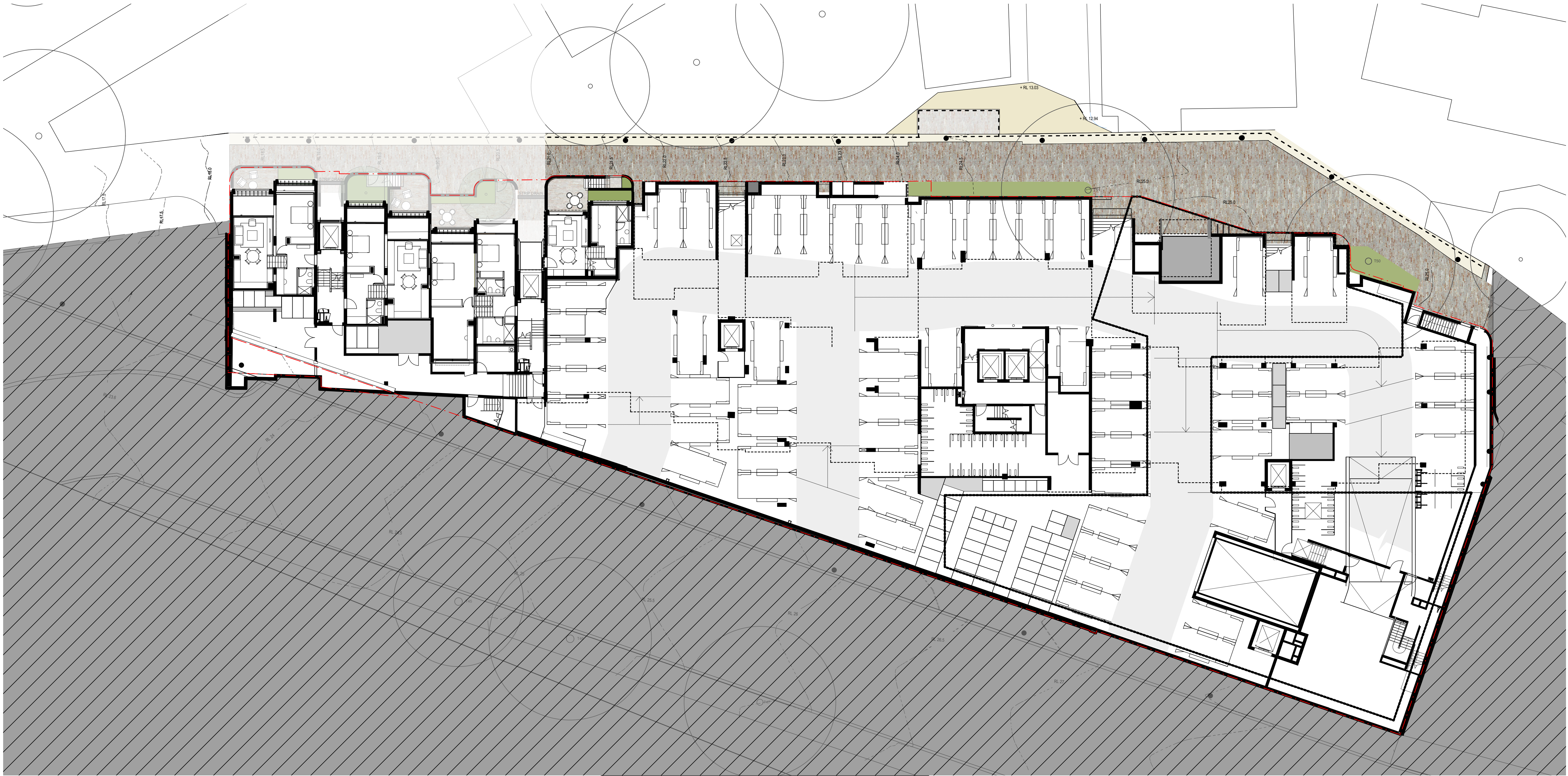
ARCHITECT
BVN

CHECKED
LB

DWG. TITLE
Landscape Plan - BASEMENT B4-B3
PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

360°
Level 3, 1 Marys Place
Sydney Hills NSW 20310
p +61 02 9333 3831
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L-DA-08





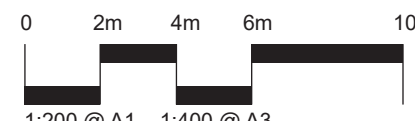
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<table><tr><th>ISS.</th><th>AMENDMENT</th><th>DATE</th><th>BY</th></tr><tr><td>D</td><td>DRAFT SSDA</td><td>24.09.20</td><td>LB</td></tr><tr><td>E</td><td>DRAFT SSDA</td><td>16.10.20</td><td>LB</td></tr><tr><td>F</td><td>SSDA</td><td>27.10.20</td><td>LB</td></tr><tr><td>G</td><td>Revised SSDA (response to DPIE RFIs)</td><td>04.03.21</td><td>LB</td></tr><tr><td>H</td><td>Revised SSDA (response to Council Comments)</td><td>05.05.21</td><td>GD</td></tr><tr><td>I</td><td>Revised SSDA (response to Council Comments)</td><td>19.05.21</td><td>GD</td></tr></table>				ISS.	AMENDMENT	DATE	BY	D	DRAFT SSDA	24.09.20	LB	E	DRAFT SSDA	16.10.20	LB	F	SSDA	27.10.20	LB	G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB	H	Revised SSDA (response to Council Comments)	05.05.21	GD	I	Revised SSDA (response to Council Comments)	19.05.21	GD	 1:200 @ A1 1:400 @ A3		IMPORTANT NOTES: Do not scale from drawings. All dimensions to be checked by the attention of the Landscape Architect. Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated. All dimensions are to face unless otherwise stated. Verify all dimensions on site before the commencement of any works. Constructors shall verify and provide all services prior to construction. All work shall be carried out in accordance with AS/NZS 1546:2018 and Local Government Regulations. Structural Details shall be subject to Engineer's approval. Changes to Water Feature Details shall be subject to Hydrologist's Engineer's approval. This Drawing is copyright to 360 Degrees. Architect	CLIENT Sirius Developments Pty Ltd ARCHITECT  BWN SCALE 1:200@A1	CHECKED LB ISSUE SSDA	DWG. TITLE Landscape Plan - BASEMENT B2-B1 PROJECT SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS	 Level 3, 1 Marys Place Sydney Hills NSW 25710 p +61 (0) 2 9533 3801 w www.360.net.au ABN: 90 146 901 382 L-DA-09
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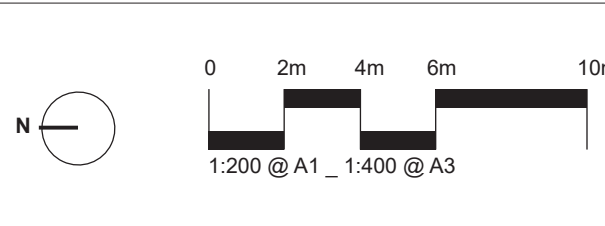
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Verify all dimensions on site before the commencement of any works.
Constructors shall ensure and protect all services prior to construction.
All work shall be carried out in accordance with AS/NZS 4810 and Local Government Regulations.
Structural Details shall be subject to Engineer.
Drainage & Water Features Details shall be subject to Hydrological Engineer.
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DWG. TITLE
Landscape Plan - LEVEL 03-05
PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

360°
Level 3, 1 Marys Place
Sydney Hills NSW 2110
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ABN: 60 146 801 382

L-DA-011



LEGEND

- 1 Public amenity upgrade - Elevated brick paved terrace to maximise views across Sydney Harbour
- 2 Steps up from footpath to public terrace
- 3 1:14 compliant ramp up from footpath to public terrace
- 4 Wall to ramp, potential signage opportunity
- 5 Parapet wall with palisade fence on top (to match existing)
- 6 Brick seat integrated with parapet wall and planted arbour over
- 7 2 x Feature shade trees to courtyard park
- 8 Private courtyards with landscaping for privacy
- 9 Articulated boundary security/privacy treatment - combination of brick wall and steel palisade fence
- 10 Basement fire stair
- 11 Private Lobby entry
- 12 New brick paving to Gloucester Walk - specification and format to be detailed and agreed with Property NSW
- 13 Retain existing edge treatment to Gloucester Walk, including;
- Stone edge, Palisade fence/balustrade, Lighting and Security cameras
- 14 Retain existing Plane Trees (T50 and T51). Refer to Arboricultural Report
- 15 Public Through Site Link from Cumberland St to Gloucester Walk. Potential to integrate artwork
- Refer artwork strategy prepared by UAP
- 16 Through site link lift adjacent steps
- 17 Phillip room external terrace with garden to edge parapet
- 18 Generous public forecourt with small format Bluestone paving treatment to match City of Sydney
- integrated public art to plaza forecourt (refer artwork strategy prepared by UAP)
- 19 Retail space (cafe) at ground level of Cumberland St Building with outdoor dining
- 20 Raised planter with seating edge to provide informal seating to cafe and soften the built form of Cumberland Building
- 21 Egress through to Lift Lobby 5
- 22 Communal garden retreat with social seating spaces (resident access only)
- 23 Fire egress path
- 24 Blue Stone paving to footpath
- 25 Extention of Bluestone paving within plaza forecourt
- 26 Smart Pole street lights to City of Sydney Specification - refer electrical/civil engineers documentation
- 27 Vehicle Driveway crossover to City of Sydney Specification - refer civil engineers documentation
- 28 12 x visitor bicycle parking (6 within forecourt fronting Cumberland St, and 6 adjacent the throughsite link on Gloucester Walk
- 29 Street Trees Planted to City of Sydney Street Tree Specification. Nyssa sylvatica (Black Tulepo) 200L

NOTE

- Details of paving treatment around the site shall be developed in consultation with PMNSW, with final details being submitted to PMNSW for approval prior to the issue of final LOC or CC. Particular attention shall be paid to the following:
- The use of smaller paving sizes (modules) from City of Sydney palate to better reflect the Rocks' fine grain character.
 - Details of specific materials to be used in all public domain areas.
 - Details of paving treatment proposed for all transition zones.



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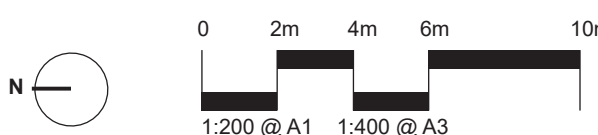
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Consultation shall be undertaken and proceed all services prior to construction.
All work shall be carried out in accordance with AS/NZS 1546 and Local Government Regulations.
Structural Details shall be subject to Engineer's
Drainage & Water Features Details shall be subject to Hydrological Engineer's
Treatment according to Landscape Drawings and
Architect

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Pty Ltd

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DWG. TITLE

PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

360
Level 3, 3 Marys Place
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L-DA-012



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NOTE
Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof

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1:200 @ A1 - 1:400 @ A3

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Revised Details shall be subject to Engineer's approval.
Drainage & Water Features Details shall be subject to Hydraulic Engineer's approval.
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Client:
Sirius
Developments
Pty Ltd

Architect:
BVN

Checked:
LB

Scale:
N/A

Drawn:
LB

Issue:
SSDA

DWG. TITLE:
Landscape Plan - LEVEL 05-07

PROJECT:
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

360°
Level 3, 3 Marys Place
Sydney Hills NSW 2110
P: +61 (0) 8333 3831
W: www.360.net.au
ABN: 50 146 501 352

L-DA-013



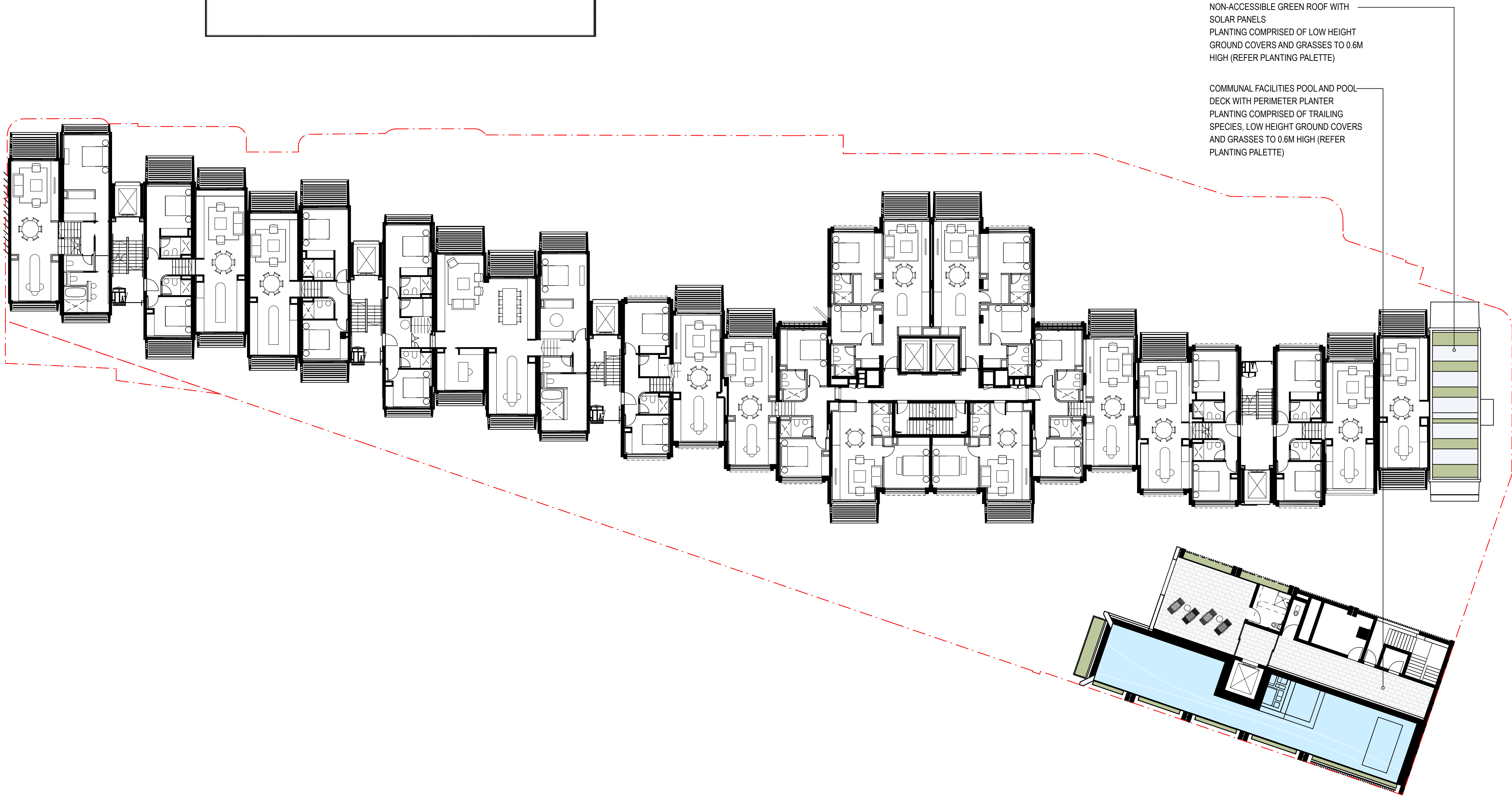
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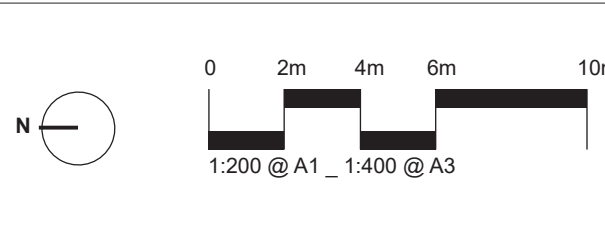
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NOTE
Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof

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ISSUE
SSDA

SCALE
N/A

DRAWN
LB

DWG. TITLE
Landscape Plan - LEVEL 07-09
PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

360
Level 3, 1 Marys Place
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P +61 (0) 8338 3831
W www.360.net.au
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L-DA-014



PRIVATE ROOF TERRACE WITH SPA, AND PERIMETER PLANTERS, COMPRISED OF TRAILING SPECIES, LOW HEIGHT GROUND COVERS AND GRASSES TO 1.0M HIGH, AND TREES TO 3.0M HIGH (REFER PLANTING PALETTE)

NON-ACCESSIBLE GREEN ROOF WITH SOLAR PANELS, COMPRISED OF LOW HEIGHT GROUND COVERS AND GRASSES TO 0.6M HIGH (REFER PLANTING PALETTE)

NON-ACCESSIBLE GREEN ROOF, COMPRISED OF LOW HEIGHT GROUND COVERS AND GRASSES TO 0.6M HIGH (REFER PLANTING PALETTE)

NOTE
Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof



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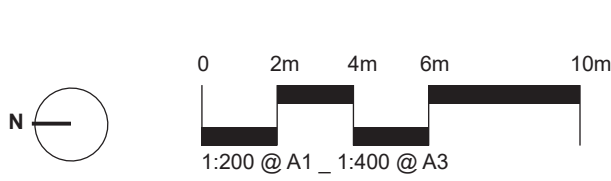
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All dimensions and fixings to be confirmed with the relevant authority.
Verify all dimensions on site before the commencement of any works.
Construction shall comply with all relevant standards and specifications.
All work shall be carried out in accordance with AS/NZS 1546 and Local Government Regulations.
Structural Details shall be subject to Engineer.
Drainage & Water Features Details shall be subject to Hydraulic Engineer.
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DWG. TITLE
Landscape Plan - LEVEL 09-11
PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

360°
Level 3, 1 Marys Place
Sydney Hills NSW 2151
P +61 (0) 2 9538 3801
W www.360.net.au
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L-DA-015



NOTE
Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof



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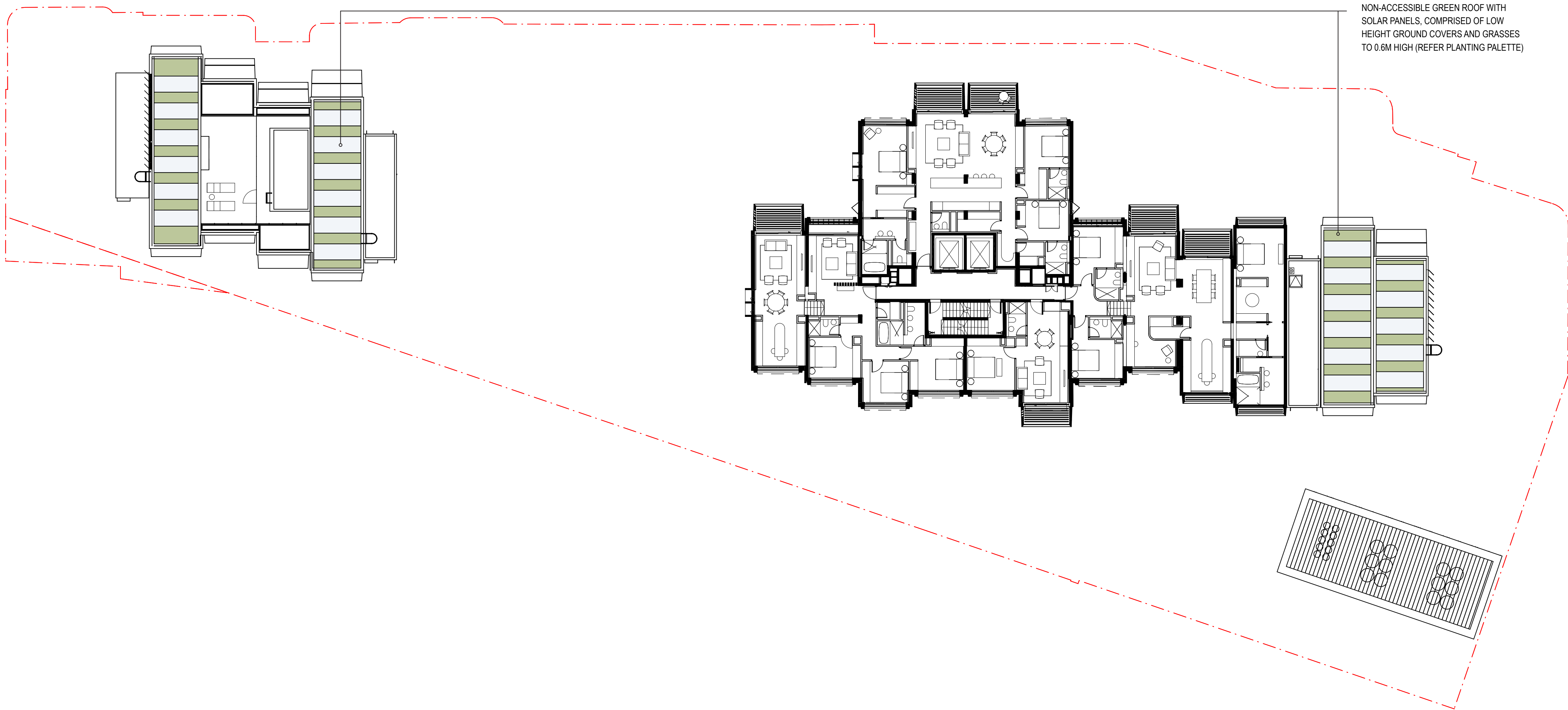
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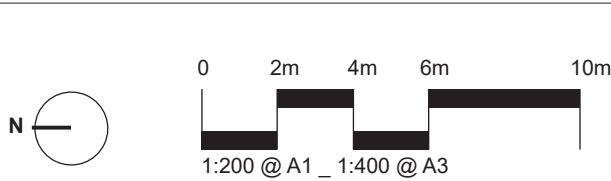
Signed: AW Sheet No: 62 of 88



NON-ACCESSIBLE GREEN ROOF WITH
SOLAR PANELS, COMPRISED OF LOW
HEIGHT GROUND COVERS AND GRASSES
TO 0.6M HIGH (REFER PLANTING PALETTE)

NOTE
Roof Garden maintenance via sequence of static line
connections and fixed ladders and manholes. Refer to
maintenance access diagram for method and sequence
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Verify all dimensions on site before the commencement of any works.
Coordinate all work and protect all services prior to construction.
All work shall be carried out in accordance with AS/NZS 1546 and Local Government Regulations.
Structural Details shall be subject to Engineer.
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DWG. TITLE
Landscape Plan - LEVEL 13-15
PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

360
Level 3, 1 Marys Place
Sydney Hills NSW 2110
P +61 (0) 2 9533 3831
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ABN: 50 146 501 352

L-DA-017



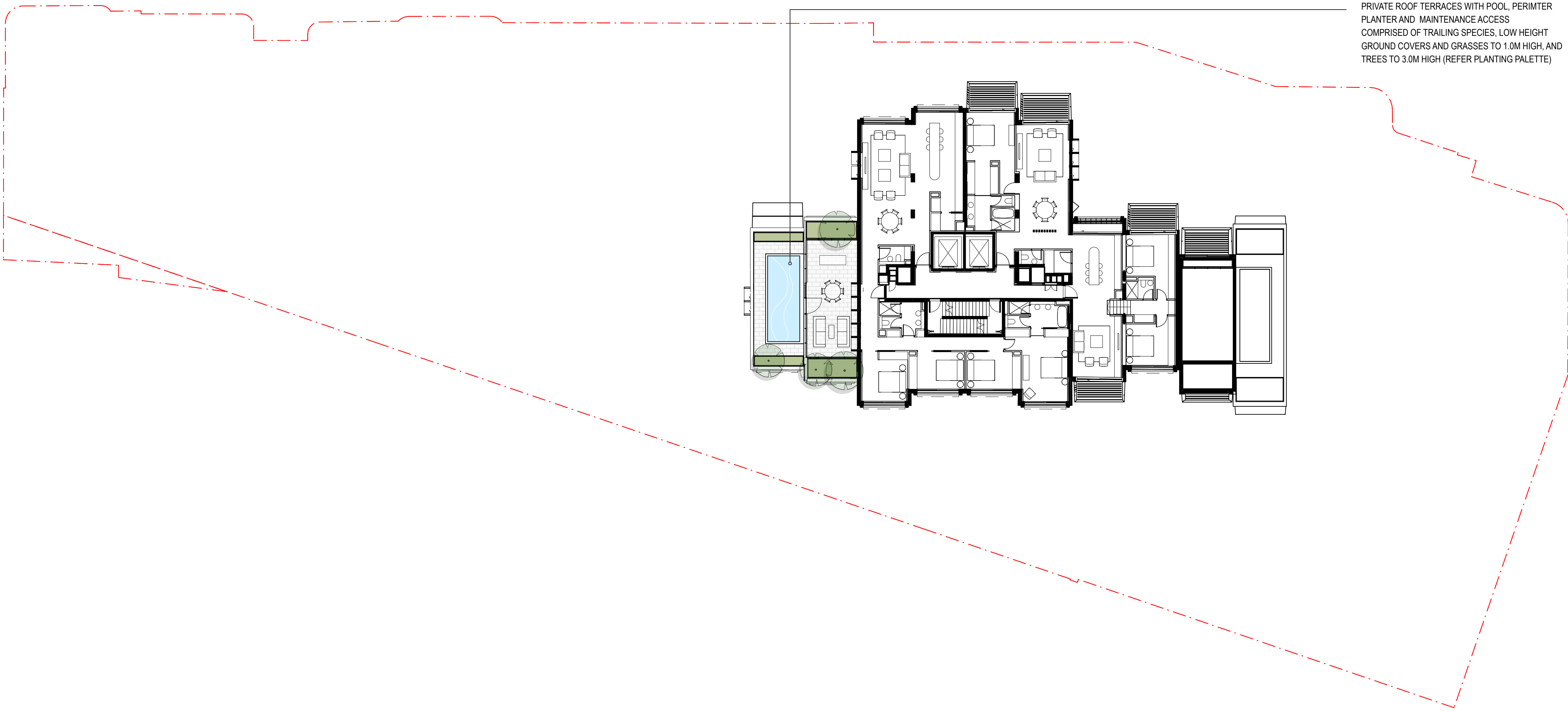
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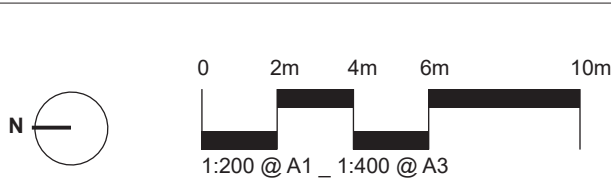
Signed: AW Sheet No: 63 of 88



PRIVATE ROOF TERRACES WITH POOL, PERIMTER
PLANTER AND MAINTENANCE ACCESS
COMPRISED OF TRAILING SPECIES, LOW HEIGHT
GROUND COVERS AND GRASSES TO 1.0M HIGH, AND
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Construction shall include and protect all services prior to construction.
Structural Details shall be subject to Engineer.
Drainage & Water Features Details shall be subject to Hydraulic Engineer.
This Drawing is copyright to 360 Degrees.

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Pty Ltd

ARCHITECT
BVN

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LB

DWG. TITLE
Landscape Plan - LEVEL 15-17
PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

360
Level 3, 1 Marys Place
Sydney Hills NSW 2110
P +61 (0) 2 9533 3831
W www.360.net.au
ABN: 60 146 801 382

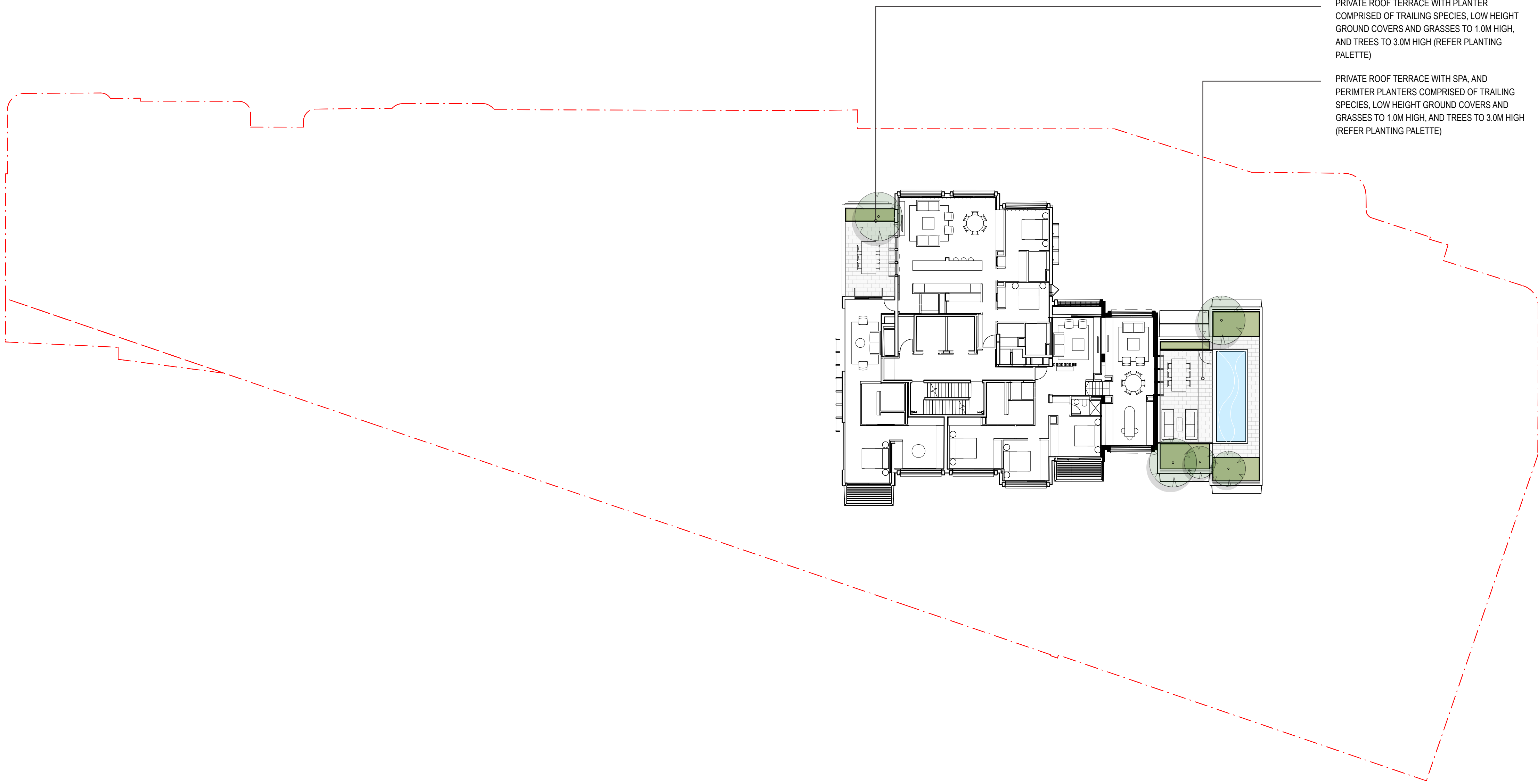
L-DA-018



Approved Application No: SSD 10384

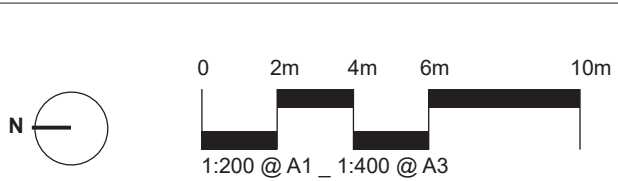
Granted on: 18 June 2021

Signed: AW Sheet No: 64 of 88



NOTE
Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof

ISS.	AMENDMENT	DATE	BY
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB
H	Revised SSDA (response to Council Comments)	05.05.21	GD
I	Revised SSDA (response to Council Comments)	19.05.21	GD



IMPORTANT NOTES:
Do not scale from drawings.
All dimensions to be checked by the attention of the Landscape Architect.
Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated.
All dimensions and fix to notes.
Verify all dimensions on site before the commencement of any works.
Constructors shall verify and provide all services prior to construction.
All work shall be carried out in accordance with AS/NZS 1546 and Local Government Regulations.
Structural Details shall be subject to Engineer.
Drainage & Water Features Details shall be subject to Hydraulic Engineer.
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LB

DWG. TITLE
Landscape Plan - LEVEL 18-19
PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

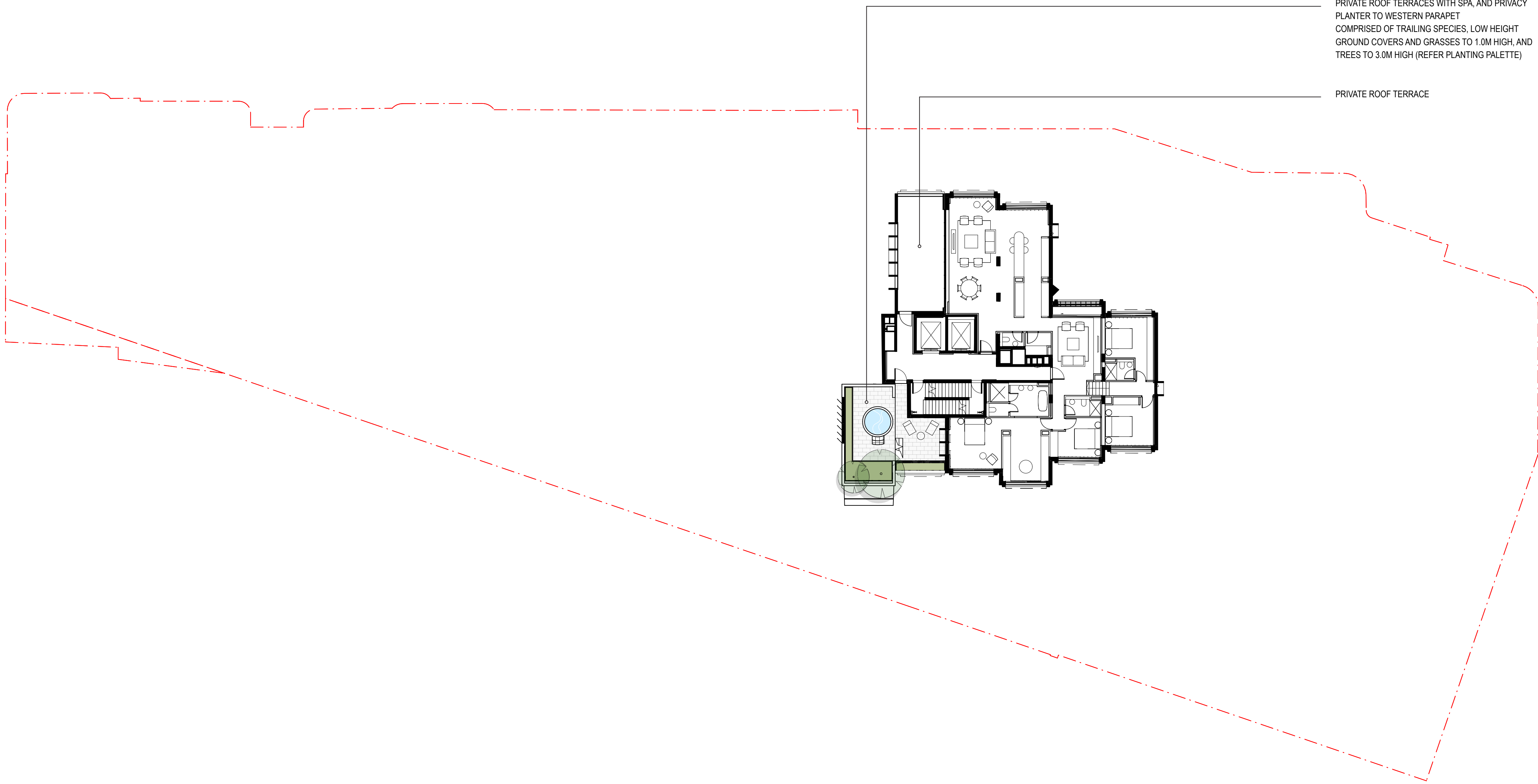
360
Level 3, 1 Marys Place
Sydney Hills NSW 21510
P +61 (0) 2 9538 3831
W www.360.net.au
ABN: 90 146 801 382



Approved Application No: SSD 10384

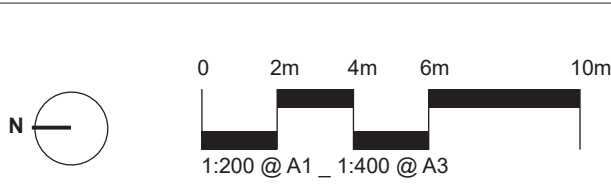
Granted on: 18 June 2021

Signed: AW Sheet No: 65 of 88



NOTE
Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof

ISS.	AMENDMENT	DATE	BY
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB
H	Revised SSDA (response to Council Comments)	05.05.21	GD
I	Revised SSDA (response to Council Comments)	19.05.21	GD



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Verify all dimensions on site before the commencement of any works.
Construction shall include and provide all services prior to construction.
Structural Details shall be subject to Engineer.
Drainage & Water Features Details shall be subject to Hydraulic Engineer.
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LB

DWG. TITLE
Landscape Plan - LEVEL 20-21
PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

360
Level 3, 1 Marys Place
Sydney Hills NSW 2110
P +61 (0) 2 9538 3800
W www.360.net.au
ABN: 50 146 501 352



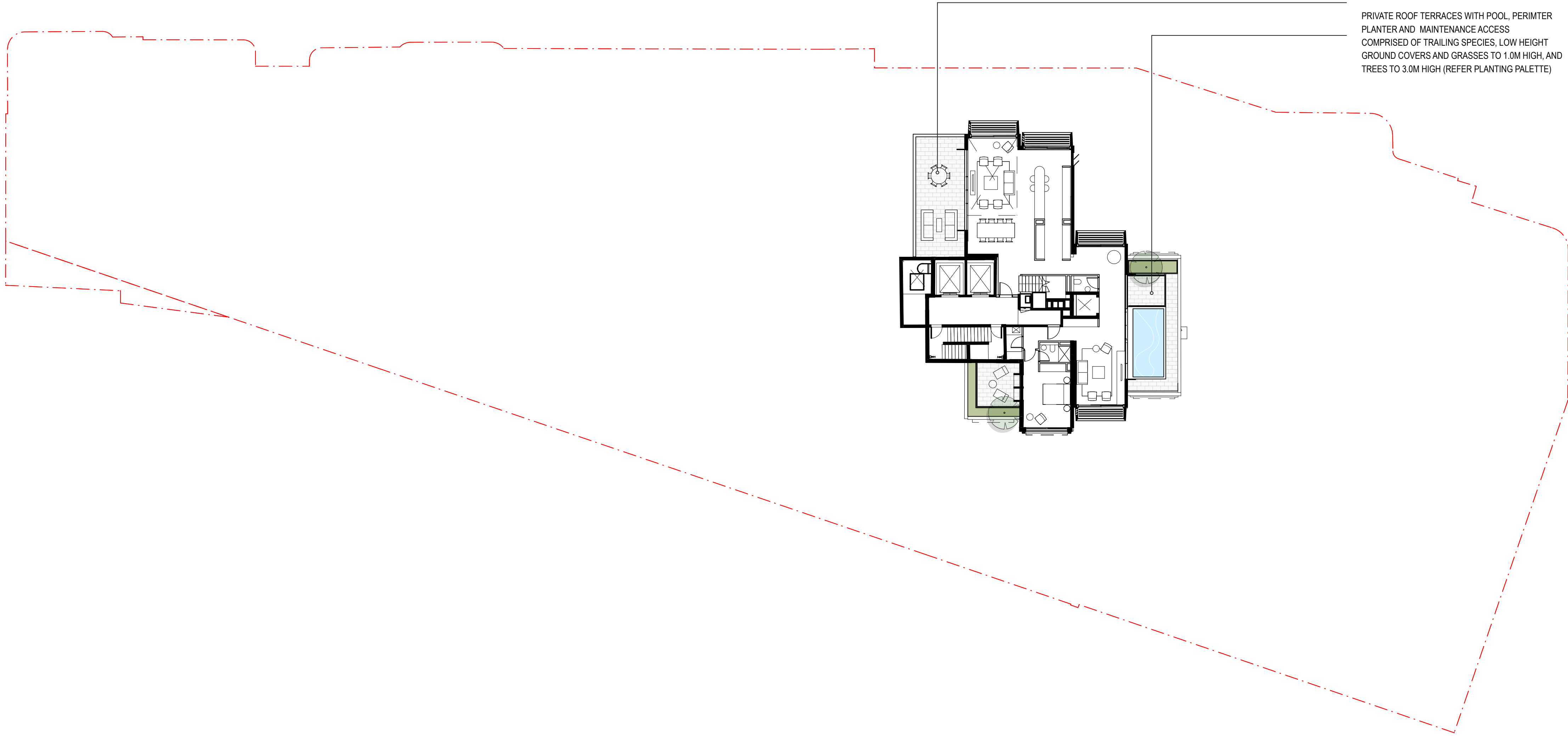
Approved Application No: SSD 10384

Granted on: 18 June 2021

Signed: AW Sheet No: 66 of 88

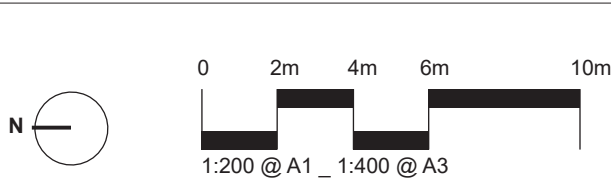
PRIVATE ROOF TERRACE WITH PLANTER
COMPRISED OF TRAILING SPECIES, LOW HEIGHT
GROUND COVERS AND GRASSES TO 1.0M HIGH, AND
TREES TO 3.0M HIGH (REFER PLANTING PALETTE)

PRIVATE ROOF TERRACES WITH POOL, PERIMETER
PLANTER AND MAINTENANCE ACCESS
COMPRISED OF TRAILING SPECIES, LOW HEIGHT
GROUND COVERS AND GRASSES TO 1.0M HIGH, AND
TREES TO 3.0M HIGH (REFER PLANTING PALETTE)



NOTE
Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof

ISS.	AMENDMENT	DATE	BY
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB
H	Revised SSDA (response to Council Comments)	05.05.21	GD
I	Revised SSDA (response to Council Comments)	19.05.21	GD



IMPORTANT NOTES:
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All dimensions to be checked by the attention of the Landscape Architect.
Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated.
All dimensions and fix to notes.
Verify all dimensions on site before the commencement of any works.
Construction shall include and provide all services prior to construction.
Structural Details shall be subject to Engineer.
Drainage & Water Features Details shall be subject to Hydraulic Engineer.
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LB

DWG. TITLE
Landscape Plan - LEVEL 24-25
PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

ISSUE
SSDA



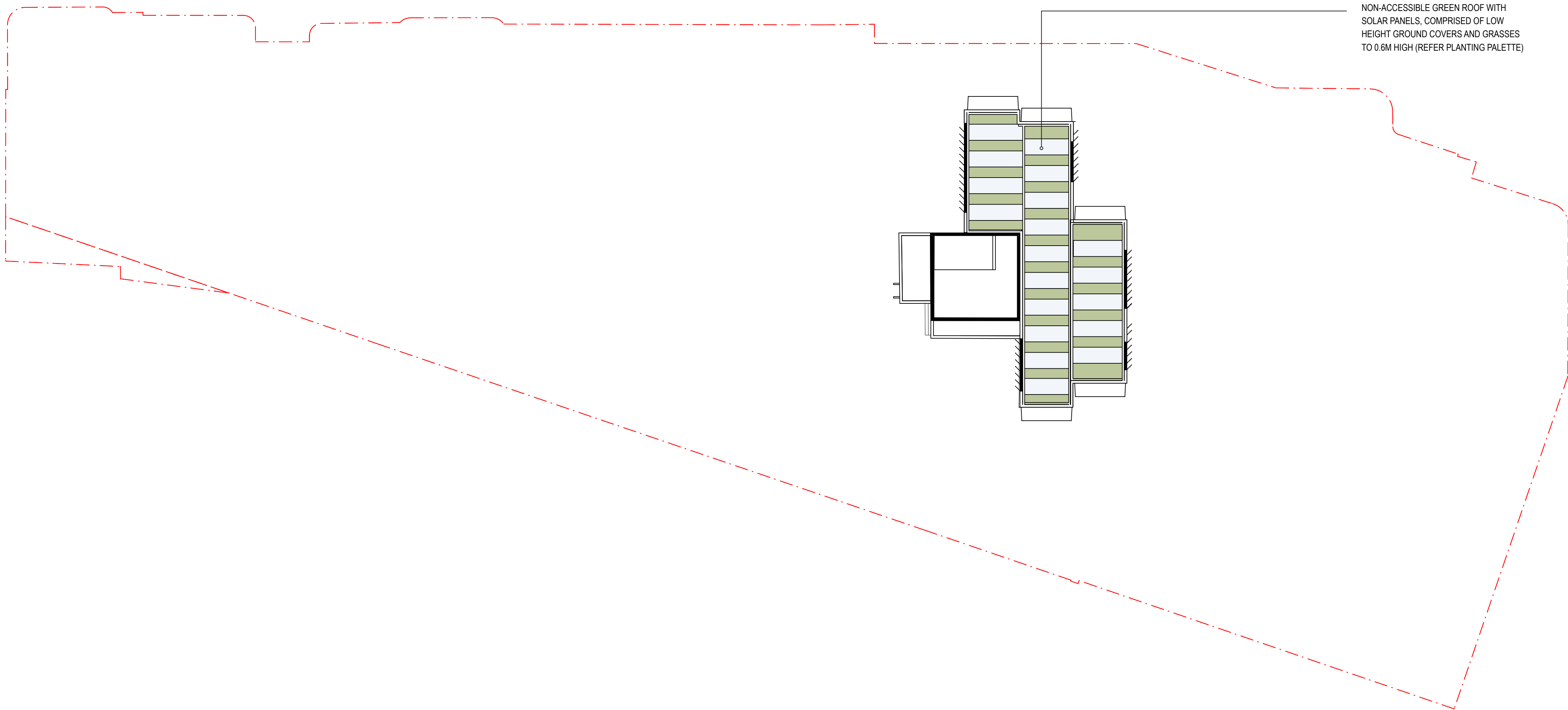
Planning,
Industry &
Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD 10384

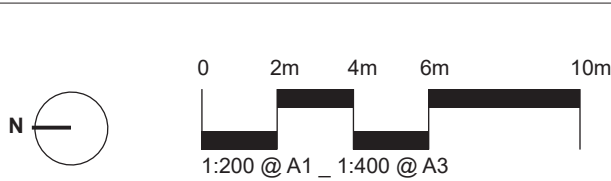
Granted on: 18 June 2021

Signed: AW Sheet No: 67 of 88



NOTE
Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof

ISS.	AMENDMENT	DATE	BY
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB
H	Revised SSDA (response to Council Comments)	05.05.21	GD
I	Revised SSDA (response to Council Comments)	19.05.21	GD



IMPORTANT NOTES:
Do not scale from drawings.
All dimensions to be checked by the attention of the Landscape Architect.
Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated.
All dimensions and fix to notes.
Verify all dimensions on site before the commencement of any works.
Construction shall include and protect all services prior to construction.
Structural Details shall be subject to Engineer.
Drainage & Water Features Details shall be subject to Hydraulic Engineer.
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BVN

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LB

DWG. TITLE
Landscape Plan - LEVEL 27
PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

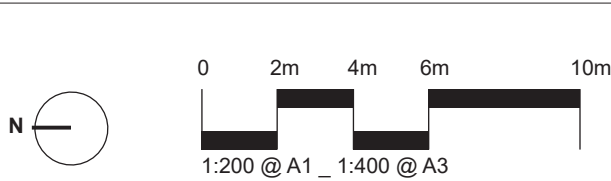
360
Level 3, 1 Marys Place
Sydney Hills NSW 2510
P +61 (0) 2 9533 3831
W www.360.net.au
ABN: 50 146 501 352

L-DA-022



NOTE
Roof Garden maintenance via sequence of static line connections and fixed ladders and manholes. Refer to maintenance access diagram for method and sequence of access to each roof

ISS.	AMENDMENT	DATE	BY
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB
H	Revised SSDA (response to Council Comments)	05.05.21	GD
I	Revised SSDA (response to Council Comments)	19.05.21	GD



IMPORTANT NOTES:
Do not scale from drawings.
All dimensions to be checked by the attention of the Landscape Architect.
Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated.
All dimensions and fix to notes.
Verify all dimensions on site before the commencement of any works.
Constructors shall verify and protect all services prior to construction.
All work shall be carried out in accordance with AS/NZS 1546 and Local Government Regulations.
Structural Details shall be subject to Engineer.
Drainage & Water Feature Details shall be subject to Hydrological Engineer.
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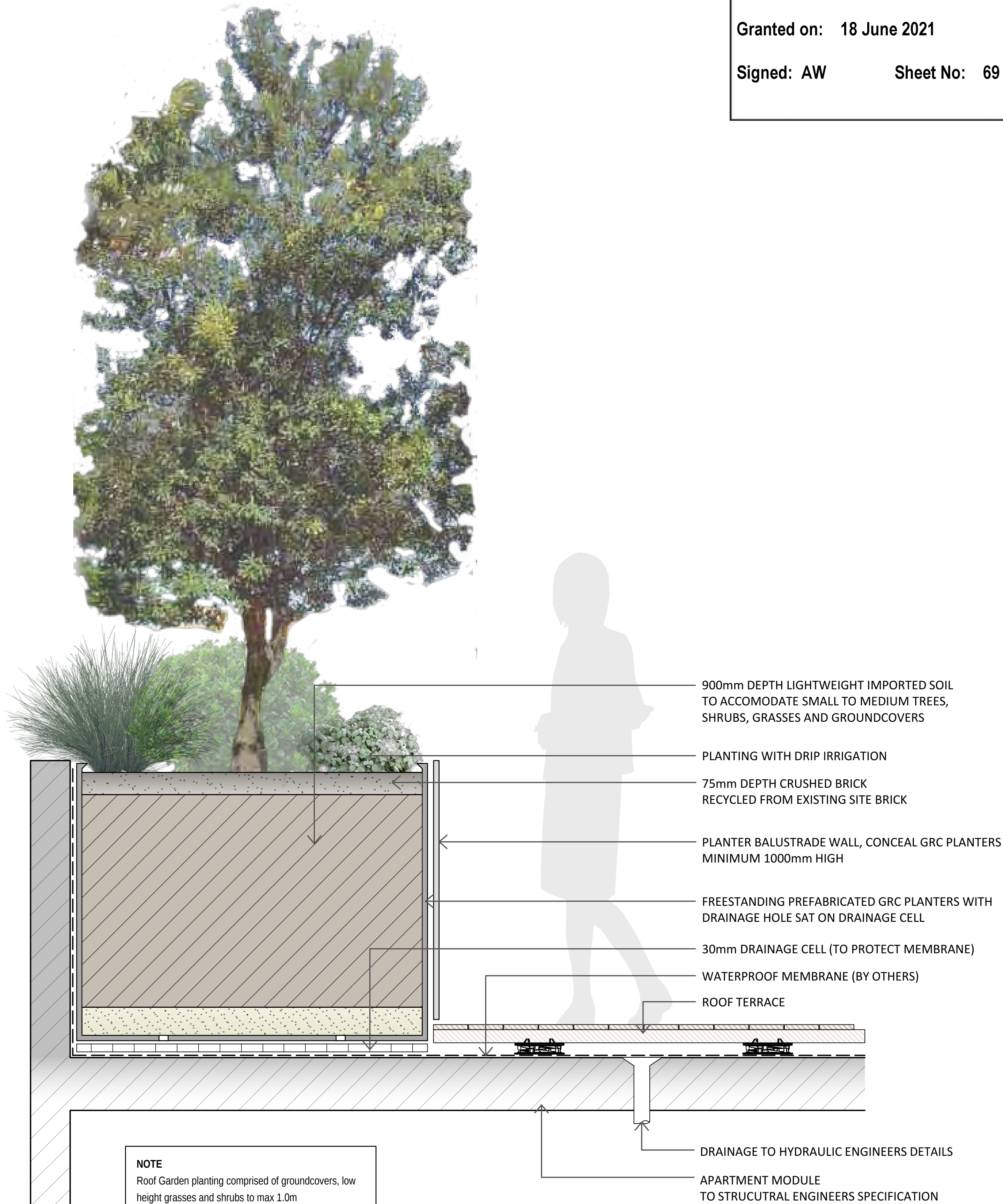
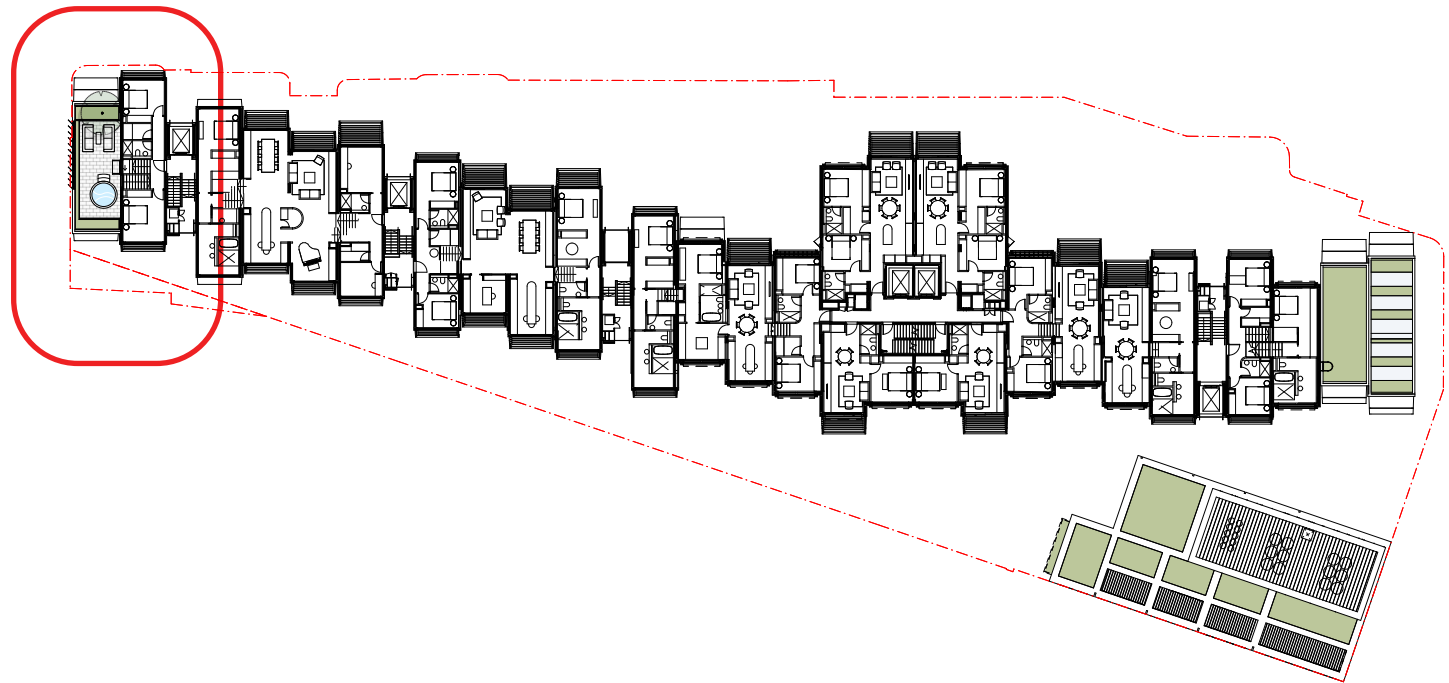
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Developments
Pty Ltd

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BVN

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LB

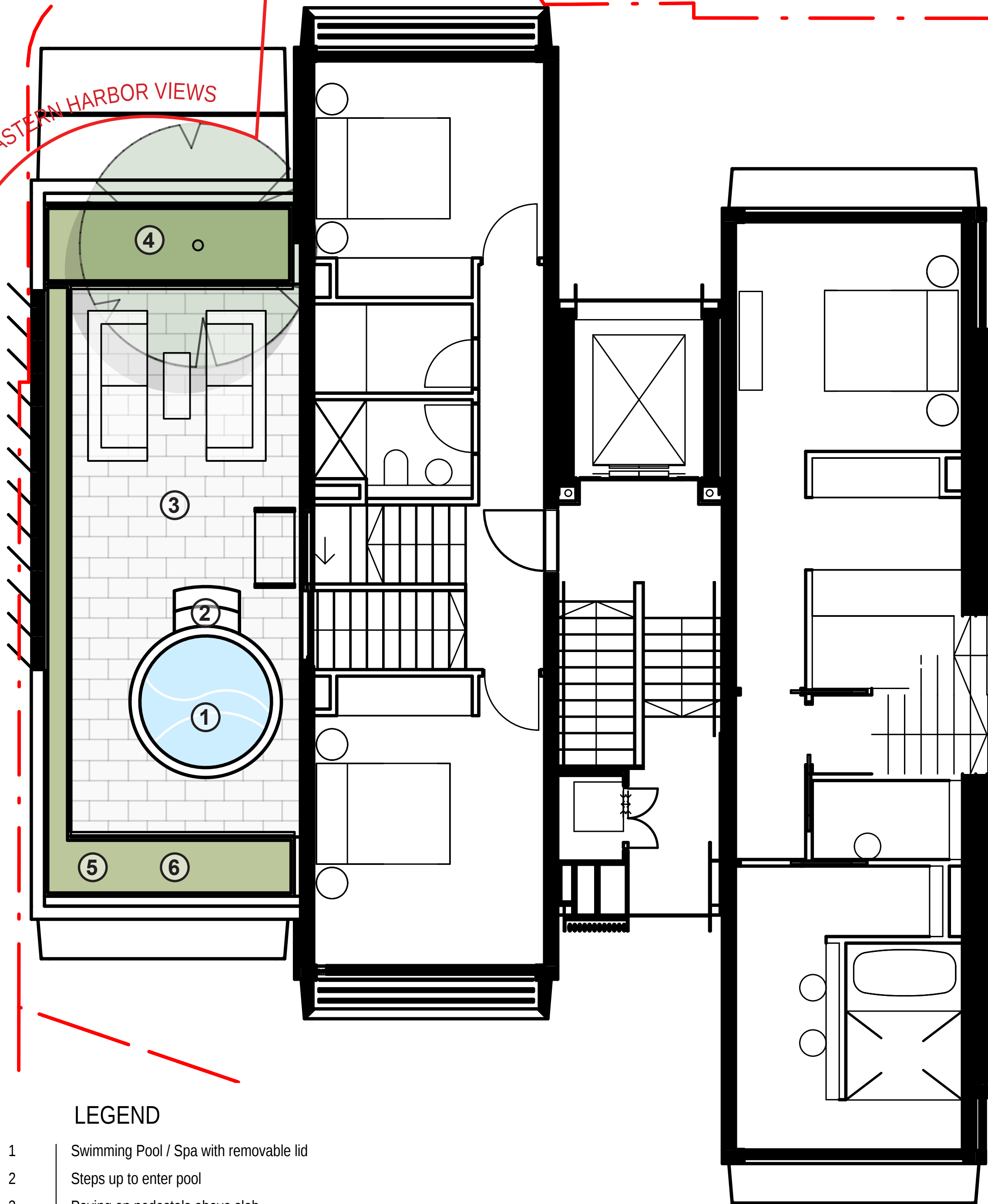
DWG. TITLE
CONSOLIDATED ROOF PLAN
PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

360°
Level 3, 1 Marys Place
Sydney Hills NSW 2110
P +61 (0) 83330 34501
W www.360.net.au
ABN: 50 146 501 352



NOTE
Roof Garden planting comprised of groundcovers, low height grasses and shrubs to max 1.0m
Trees to maximum 3.0m located according to wind report requirements, and positioned to maintain critical view corridors from the Harbour Bridge to the Opera House

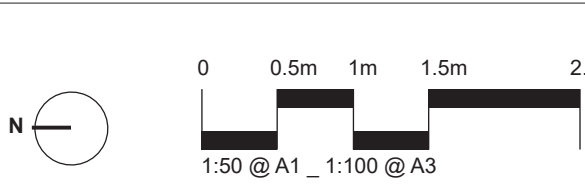
EASTERN HARBOR VIEWS



LEGEND

- Swimming Pool / Spa with removable lid
- Steps up to enter pool
- Paving on pedestals above slab
- Raised planter (1m soil profile) forms balustrade to parapet
- Landscape to western parapet to provide privacy, planting to to max 1.0m high , trees to max 3.0m high (trees positioned to satisfy wind report requirements while maintaining clear view corridor from Harbour Bridge to Opera House
- Garden level with pool coping (min 1200mm to satisfy compliance within pool)

ISS.	AMENDMENT	DATE	BY
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB
H	Revised SSDA (response to Council Comments)	28.04.21	GD
I	Revised SSDA (response to Council Comments)	05.05.21	GD
J	Revised SSDA (response to Council Comments)	19.05.21	GD



IMPORTANT NOTES:
Do not scale from drawings.
All dimensions to be designed to the attention of the Landscape Architect.
Larger scale drawings and written dimensions take preference. All dimensions in mm unless otherwise stated.
All dimensions and fixings to be confirmed with the Engineer.
Verify all dimensions on site before the commencement of any works.
Consultation shall be undertaken with the Engineer prior to construction.
All work shall be carried out in accordance with AS/NZS 1546 and Local Government Regulations.
Structural Details shall be subject to Engineer's approval.
Drainage to Water Treatment Details shall be subject to Hydraulic Engineer's approval.
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Architect

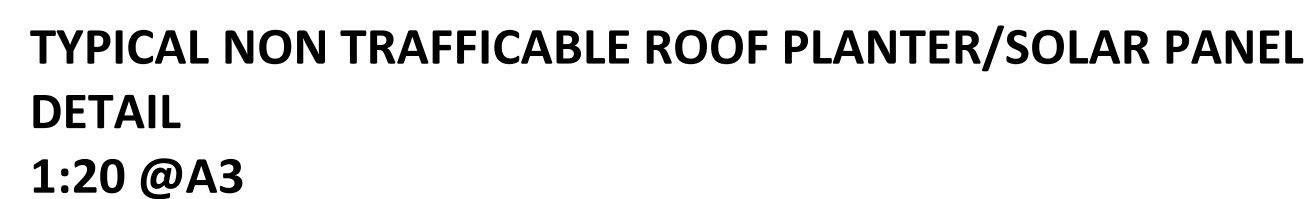
CLIENT
Sirius
Developments
Pty Ltd

ARCHITECT
BVN

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LB

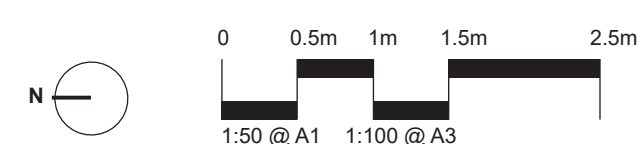
DWG. TITLE
TYPICAL PRIVATE ROOF TERRACE
PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

360°
Level 3, 3 Marys Place
Sydney Hills NSW 2110
P +61 2 9538 3831
W www.360.net.au
ABN: 90 146 901 382



- | | |
|---|--|
| 1 | PV Solar Panels (laid flat) |
| 2 | Garden in GRC planters with low height native grasses to max 0.6m high |
| 3 | Garden in GRC planters with trailing species (east and west ends) |

ISS.	AMENDMENT	DATE	BY
D	DRAFT SSDA	24.09.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB
H	Revised SSDA (response to Council Comments)	05.05.21	GD
I	Revised SSDA (response to Council Comments)	19.05.21	GD



IMPORTANT NOTES:

Do not scale from drawings.
All discrepancies to be brought to the attention of the Landscape Architect.
Larger scale drawings and written dimensions take preference. All dimensions in mm unless otherwise stated.
All dimensions and Rise in m.

Verify all dimensions on site before the commencement of any works.
Contractors shall locate and protect all services prior to construction.
All work shall be carried out in accordance with ASA, BCA and Local Government Regulations.
Structural Details shall be subject to Engineer's
Drainage & Water Feature Details shall be subject to Hydraulic Engineer's
Engineer's Tradesman according to Landscape Drawings and
Architect.

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LB

DWG. TITLE
TYPICAL NON-ACCESSIBLE GREEN ROOF

PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS



Banksia integrifolia (Coastal Bankia)

Location: Roof



Acacia longifolia (Sydney wattle)
Acacia pycnantha (Golden wattle)
Acacia decurrens (Black wattle)

Location: Roof



Acer 'Sango Kaku' (Coral Bark Japanese Maple)

Location: Private Courtyards



Lagerstroemia indica (Crepe Myrtle)

Location: Private Courtyards



Tristaniopsis laurina (Water Gum)

Location: Private Courtyards



Waterhousea floribunda (Weeping Lilly Pilly)

Location: Communal Area



Ulmus parvifolia (Chinese Elm)

Location: Communal Area,
Private Courtyard



Livistona australis (Cabbage Tree Palm)

Location: Communal Area



Nyssa sylvatica (Black Tulepo)

Location: Cumberland Street



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Granted on: 18 June 2021

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SCREENING / PRIVACY PLANTS



Acmena Sublime
(Sublime Lilly Pilly)



Rhapis excelsa
(Broadleaf Lady Palm)



Raphiolepis 'Oriental Pearl'
(Indian Hawthorn)



Alpinia caerulea
(Native Ginger)

GRASSES / GROUNDCOVERS / SMALL SHRUBS



Dianella caerulea*
(Blue Flax-Lily)



Neomarica gracilis
(Walking Iris)



Ophiopogon jaburan
(Jaburan lily)



Viola hederacea
(Native Viola)



Plectranthus argentatus
(Silver Plactranthus)



Alpinia nutans
(Dwarf Cardamom)



Grevillea sericea
(Pink Spider Flower)



Correa reflexa
(Native Fuchsia)



Doodia aspera
(Prickly Rasp Fern)



Blechnum 'Silver Lady'
(Hard Fern)

CLIMBERS AND SPILLOVER



Dichondra 'Silver Falls'
(Silver Falls)



Rosmarinus 'Irene'
(Trailing Rosemary)



Ficus pumila
(Creeping Fig)



Parthenocissus tricuspidata
(Japanese Ivy)



Pandorea pandorana
(Wonga Wonga Vine)



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Approved Application No: SSD 10384

Granted on: 18 June 2021

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ISS.	AMENDMENT	DATE	BY	01m02m03m04m05m 1:100 @ A1 _ 1:200 @ A3 01m02m03m04m05m 1:100 @ A1 _ 1:200 @ A3	IMPORTANT NOTES Do not scale from drawings All dimensions to be checked by the architect or the Landscape Architect Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated. All dimensions and fix to ground Verify all dimensions on site before the commencement of any works Constructors shall ensure and provide all services prior to construction Structural Details shall be subject to Engineer Drainage & Water Features Details shall be subject to Hydraulic Engineer Tradesman according to Landscape Drawings and Architect This Drawing is copyright to 360 degrees	CLIENT Sirius Developments Pty Ltd	ARCHITECT BVN	CHECKED LB	DWG. TITLE Planting Palette - GROUND FLOOR & COURTYARDS PROJECT SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS	360 Level 3, 3 Marys Place Surry Hills NSW 2010 p +61 (0) 2 9333 3801 w www.360.net.au ABN: 60 146 801 382 L-DA-027	
	D	DRAFT SSDA	24.09.20								LB
	E	DRAFT SSDA	16.10.20								LB
	F	SSDA	27.10.20								LB
	G	Revised SSDA (response to DPIE RFIs)	04.03.21								LB
	H	Revised SSDA (response to Council Comments)	05.05.21								GD
I	Revised SSDA (response to Council Comments)	19.05.21	GD	SCALE As Shown	DRAWN LB	ISSUE SSDA					



*Lomandra longifolia**
(Spiny head mat rush)



*Dianella caerulea**
(Blue Flax-Lily)



Austrostipa ramosissima +
(Stout Bamboo Grass)



Themeda australis +
(Kangaroo Grass)



*Imperata cylindrica**
(Cogongrass)



Hibbertia scandens
(Snake Vine)



Hardenbergia violacea
(False Sarsaparilla)



Crassula tetragona
(Mini Pine Tree)



Cotyledon orbiculata
(Pig's Ear)



Lampranthus deltoides
(Pink Ice Plant)

CODES
+ small bird habitat



Planning,
Industry &
Environment

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Approved Application No: SSD 10384

Granted on: 18 June 2021

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