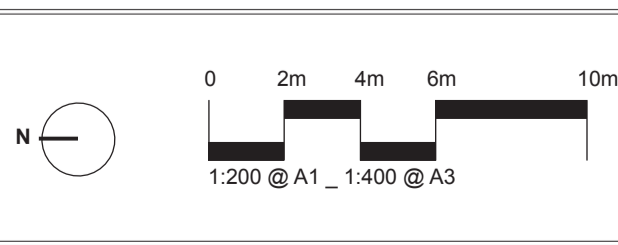




ISS.	AMENDMENT	DATE	BY
D	DRAFT SSDA	24.05.20	LB
E	DRAFT SSDA	16.10.20	LB
F	SSDA	27.10.20	LB
G	Revised SSDA (response to DPIE RFIs)	04.03.21	LB
H	Revised SSDA (response to Council Comments)	05.05.21	GD
I	Revised SSDA (response to Council Comments)	19.05.21	GD



IMPORTANT NOTES:
 Do not scale from drawings.
 All dimensions to be checked by the architect or the Landscape Architect.
 Larger scale drawings and within dimensions take preference. All dimensions in mm unless otherwise stated.
 All dimensions and RLs in metres.
 Use metric units only.
 All work shall be carried out in accordance with DA, DAU and Local Government Regulations.
 Construction and material details shall be provided prior to construction.
 Verify all dimensions on site before the commencement of any work.
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ARCHITECT

 BVA

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 LB

DWG. TITLE
Landscape Plan - LEVEL 03-05
 PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

360
 Level 1, 1 Marys Place
 Bunnings Hill NSW 1510
 t +61 2 9550 2801
 w www.360.net.au
 AEN: 90 148 901 382

L-DA-011



LEGEND

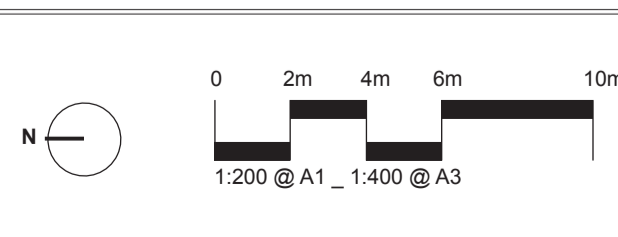
- 1 Public amenity upgrade - Elevated brick paved terrace to maximise views across Sydney Harbour
- 2 Steps up from footpath to public terrace
- 3 1:14 compliant ramp up from footpath to public terrace
- 4 Wall to ramp, potential signage opportunity
- 5 Parapet wall with palisade fence on top (to match existing)
- 6 Brick seat integrated with parapet wall and planted arbour over
- 7 2 x Feature shade trees to courtyard park
- 8 Private courtyards with landscaping for privacy
- 9 Articulated boundary security/privacy treatment - combination of brick wall and steel palisade fence
- 10 Basement fire stair
- 11 Private Lobby entry
- 12 New brick paving to Gloucester Walk - specification and format to be detailed and agreed with Property NSW
- 13 Retain existing edge treatment to Gloucester Walk, including:
- Stone edge, Palisade fence/balustrade, Lighting and Security cameras
- 14 Retain existing Plane Trees (T50 and T51). Refer to Arboricultural Report
- 15 Public Through Site Link from Cumberland St to Gloucester Walk. Potential to integrate artwork
- Refer artwork strategy prepared by UAP
- 16 Through site link lift adjacent steps
- 17 Phillip room external terrace with garden to edge parapet
- 18 Generous public forecourt with small format Bluestone paving treatment to match City of Sydney
- integrated public art to plaza forecourt (refer artwork strategy prepared by UAP)
- 19 Retail space (cafe) at ground level of Cumberland St Building with outdoor dining
- 20 Raised planter with seating edge to provide informal seating to cafe and soften the built form of Cumberland Building
- 21 Egress through to Lift Lobby 5
- 22 Communal garden retreat with social seating spaces (resident access only)
- 23 Fire egress path
- 24 Blue Stone paving to footpath
- 25 Extention of Bluestone paving within plaza forecourt
- 26 Smart Pole street lights to City of Sydney Specification - refer electrical/civil engineers documentation
- 27 Vehicle Driveway crossover to City of Sydney Specification - refer civil engineers documentation
- 28 12 x visitor bicycle parking (6 within forecourt fronting Cumberland St, and 6 adjacent the throughsite link on Gloucester Walk
- 29 Street Trees Planted to City of Sydney Street Tree Specification. *Nyssa sylvatica* (Black Tulepo) 200L

NOTE

Details of paving treatment around the site shall be developed in consultation with PMNSW, with final details being submitted to PMNSW for approval prior to the issue of final LOC or CC. Particular attention shall be paid to the following:

- The use of smaller paving sizes (modules) from City of Sydney palette to better reflect the Rocks' fine grain character.
- Details of specific materials to be used in all public domain areas.
- Details of paving treatment proposed for all transition zones.

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Use metric units only.
Verify all dimensions on site before the commencement of any works.
Construction and material specifications shall be as per the specifications in the drawings.
Detailed Details shall be subject to Engineer's Specifications.
Engineer's Specifications shall be subject to the relevant Government Regulations.
An work shall be carried out in a professional manner by a qualified tradesperson according to Landscaping Drawings and Engineer's Specifications.
The responsibility for the design shall remain with the Designer. The Designer shall be responsible for the design, construction, installation, maintenance, and general supervision without interference from the Project Engineer or Landscape Architect.
This Drawing is a copyright of BDN Engineers.

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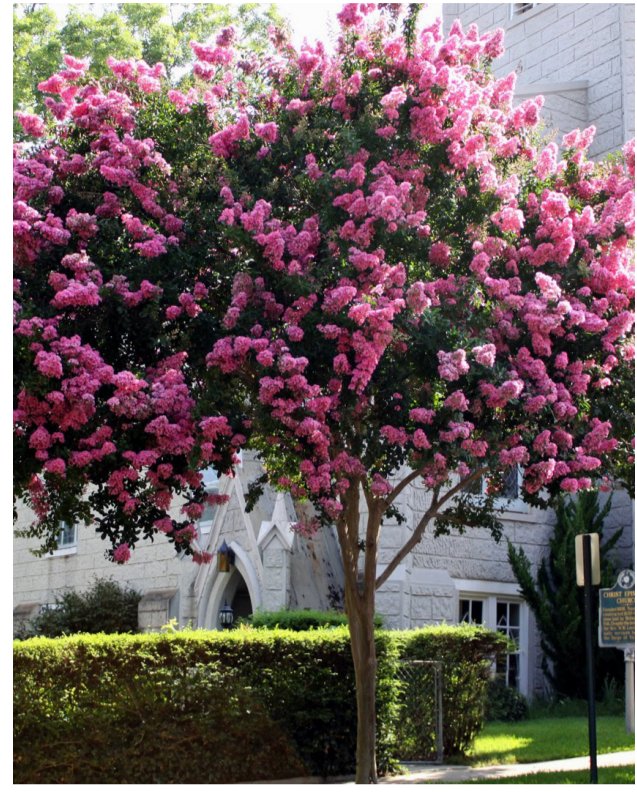
DRAWN
LB

SCALE
1:50

ISSUE
SSDA

DWG. TITLE
Consolidated Groundfloor / Public Domain Plan
PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

TREES



Banksia integrifolia (Coastal Banksia)

Acacia longifolia (Sydney wattle)
Acacia pycnantha (Golden wattle)
Acacia decurrens (Black wattle)

Acer 'Sango Kaku' (Coral Bark Japanese Maple)

Lagerstroemia indica (Crepe Myrtle)

Tristaniopsis laurina (Water Gum)

Waterhousea floribunda (Weeping Lilly Pilly)

Ulmus parvifolia (Chinese Elm)

Location: Roof

Location: Roof

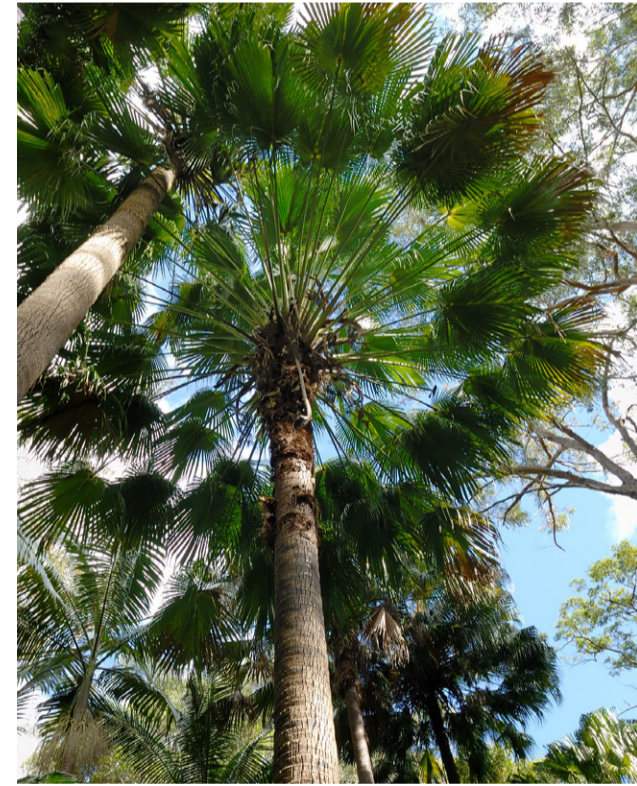
Location: Private Courtyards

Location: Private Courtyards

Location: Private Courtyards

Location: Communal Area

Location: Communal Area,
Private Courtyard



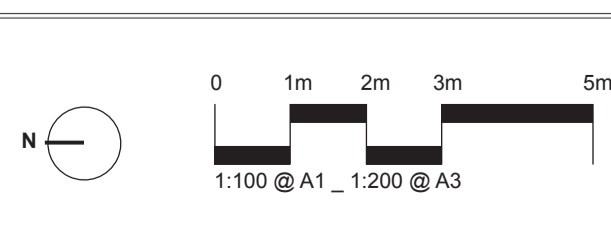
Livistona australis (Cabbage Tree Palm)

Nyssa sylvatica (Black Tupelo)

Location: Communal Area

Location: Cumberland Street

ISS.	AMENDMENT	DATE	BY
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J	Revised SSDA (response to Council Comments)	19.05.21	GD



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The Client acknowledges that it is the responsibility of the Client to ensure that all necessary permits and approvals are obtained for the construction of any works.
Construction shall be carried out in accordance with the approved Engineering Specifications.
Without Oath and without being sworn to by a Professional Engineer or Surveyor.
An acknowledgment of the Client's responsibility for the design, construction, operation, maintenance and general appearance of the works shall be provided to the Client by the Project Engineer of Landscape Architects.
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DWG. TITLE
Planting Palette - TREES

PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

SCALE
As Shown

DRAWN
LB

ISSUE
SSDA



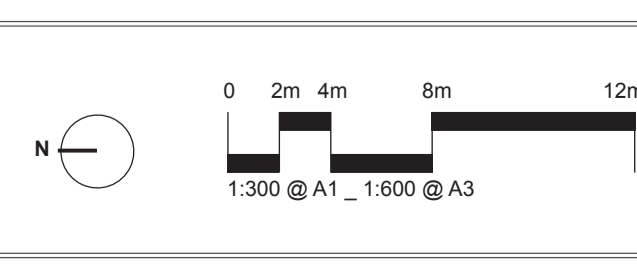
Trees Canopies (within site)	Area (m2)
T1	7.07
T5-9	73.02
T10	28.27
T11	12.57
T12,13	25.86
T14-15	16.41
T16	5.27
T17	19.63
T18	12.51
T19	19.63
T20-24	60.20
T25	12.57
T26	19.63
T27-28	17.67
T29	12.57
T30	12.57
T31-32	37.67
T33	10.09
T34-35	16.98
T36	20.76
T37-41	72.20
TOTAL	513.15

EXISTING SITE CANOPY COVERAGE

Site Area = 3,664m²
 Existing Canopy Coverage = 513.15m²
 Site Percentage of Canopy Cover = 14.01%

Refer L-DA-033 for Proposed Site Canopy Coverage

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B	Revised SSDA (response to Council Comments)	28.04.21	GD
C	Revised SSDA (response to Council Comments)	05.05.21	GD
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IMPORTANT NOTES:
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 All dimensions are to the centerline of the building footprint.
 All dimensions are in millimeters unless otherwise stated.
 All dimensions are to the centerline of the building footprint.
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 All dimensions are to the centerline of the building footprint.

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ARCHITECT
BVM

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LB

SCALE
1:50

DRAWN
LB

ISSUE
SSDA

DWG. TITLE
SITE CANOPY COVERAGE PLAN

PROJECT
SIRIUS SITE, 2-60 CUMBERLAND ST, THE ROCKS

