

Cleary Bros (Bombo) Pty Ltd

ABN: 28 000 157 808



CLEARY BROS

Albion Park Quarry Extraction Area Stage 7 Extension

Historic Heritage Assessment

Prepared by

Biosis Pty Ltd



August 2021

**Specialist Consultant Studies Compendium
Part 6**

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ABN: 28 000 157 808

Albion Park Quarry Extraction Area Stage 7 Extension

Historic Heritage Assessment

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August 2021

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Glossary

ARD	Archaeological Research Design
c.	Circa
CBD	Central Business District
CHL	Commonwealth Heritage List
CMP	Conservation Management Plan
DA	Development Application
DEE	Department of Environment and Energy
DP	Deposited Plan
EP&A Act	<i>Environmental Planning and Assessment Act 1979</i>
EPBC Act	<i>Environment Protection and Biodiversity Conservation Act 1999</i>
Heritage Act	<i>Heritage Act 1977</i>
HMP	Heritage Management Plan
Heritage NSW	Heritage NSW, Department of Premier and Cabinet (DPC)
LEP	Local Environmental Plan
LGA	Local Government Area
m	Metre
mm	Millimetre
NHL	National Heritage List
NSW	New South Wales
SoHI	Statement of Heritage Impact
SDCP	Shellharbour Development Control Plan
SHR	State Heritage Register
SHI	State Heritage Inventory
Study area	The area of impact for the proposed works

Summary

Biosis Pty Ltd (Biosis) was commissioned by Cleary Bros (Bombo) Pty Ltd to undertake a Statement of Heritage Impact (SoHI) for the proposed extension of the Albion Park Quarry, New South Wales (NSW) (the study area). The study area is located approximately 4 kilometres west of Shellharbour and approximately 20 kilometres south-southwest of the Wollongong central business district (CBD).

Cleary Bros propose to extend the existing hard rock extraction area within the Albion Park Quarry by applying for a new development consent under Part 4 Division 4.7 of the *Environmental Planning and Assessment Act 1979* (EP&A Act). The project is classified as a State Significant Development (SSD).

The current extraction area was approved on 21 February 2006 by the Land and Environment Court (Development Consent 10639/2005) and has been modified in 2009, 2015 and 2017. The proposed extension area will be located beyond the current extraction areas of Stages 5 and 6 into an area identified as Stage 7 (the study area). The western section of the study area is listed as an item of local heritage significance under the Shellharbour Local Environmental Plan (LEP) 2013. The historical research undertaken for this assessment has identified that, in addition to items of built and natural heritage identified in the listing, including the Belmont main house, garage, stone walls, fig and coral trees, the study area may contain archaeological material relating to the development of the Belmont Estate dating to at least the late 19th century.

One area within the study area has been assessed as holding high archaeological potential, and four areas as having moderate archaeological potential. The area of high potential focuses on the Belmont main house and the immediate vicinity; while the areas of moderate potential consist of the location of the former bails and dairy, and two extant dry stone walls. All of these areas are considered to hold local heritage significance. The remainder of the study area is considered to hold low archaeological potential and is considered not to hold heritage significance. It should be noted that the garage, engine pump and dam are located within the boundary of the approved extraction area of the current extraction (Land and Environment Court Approval No. 10639 of 2005).

The proposed works would involve the demolition of the main house, the garage and all associated sub-surface footings. This will have a direct impact on the heritage significance of the item through the destruction of the c.1900 Victorian Edwardian cusp era weatherboard house. The dilapidation survey report (**Appendix 1**

Dilapidation Survey Report) did not provide an assessment of the structural integrity or condition of the building or its elements; therefore, Biosis recommended that a building condition assessment be carried out to further inform the SoHI and to determine whether the impacts to the item are acceptable.

KF Williams and Associates Pty Ltd undertook a structural integrity report for the Belmont main house (see **Appendix 3** Structural integrity report).¹ Based on the visual investigation and site measurements of the existing structures, it is apparent that the structural elements of Belmont are in substantial disrepair and do not meet the requirements of current and applicable building codes or Australian Standards. The report concluded that it is impractical and unfeasible to undergo rectification works to upgrade the existing structure to acceptable levels. The resulting construction would likely further damage the structure and by completion of works, very little of the original structure and materials would remain. Therefore, the demolition of these items are permissible from a heritage perspective.

¹ KF Williams and Associates Pty Ltd 2018

The following recommendations should be incorporated as conditions of a new development consent should the Project be approved. They are guided by the ICOMOS *Burra Charter* with the aim of doing as much as necessary to care for the place and make it useable and as little as possible to retain its cultural significance.²

Recommendation 1 Archival recording of Belmont

A digital photographic archival recording of Belmont should be undertaken. The archival recording should comply with the NSW Heritage Council guidelines *How to Prepare Archival Records of Heritage Items* and *Photographic Recording of Heritage Items Using Film or Digital Capture 2006*.

The archival recording of Belmont was completed in July 2020.

Recommendation 2 Archaeological investigation required

The analysis for this report has determined that Belmont house has high potential for the survival of archaeological resources of local significance. In NSW, archaeological sites of State or local significance are considered "relics", which are protected by the *Heritage Act 1977* (Heritage Act). Given the potential for local significant archaeological remains to be present within the study area, it is recommended that further archaeological investigation is undertaken.

It is likely that archaeological works will consist of monitoring during demolition works (i.e. removal of floor surfaces, foundations etc.) and any additional ground disturbance works within the study area until archaeological remains or a sterile layer is encountered. Deeper archaeological excavation may be required depending on the nature of remains encountered. The archaeological investigations must:

- Follow the intent of the Heritage Act.
- Be conducted by a suitably qualified heritage consultant who meets the NSW Heritage Council's Excavation Director criteria.
- Be supported by an archaeological assessment (this assessment) and an Archaeological Research Design (ARD) (**Appendix 4** Archaeological research design).

Recommendation 3 Salvage and reconstruction of dry stone walls C and D

Dry stone walls C and D should be salvaged and reconstructed by an experienced and accredited dry stone waller following regional styles prior to works commencing within the study area. This should be done in accordance with an updated Heritage Management Plan (HMP).

Recommendation 4 Update the Heritage Management Plan

The current *Albion Park Quarry Heritage Management Plan* (Cleary Bros (Bombo) Pty Ltd 2017) should be updated to include the archaeological investigations, archival recording of Belmont and the salvage and reconstruction of dry stone walls C and D. The purpose of the HMP would be to address the history, historical themes and significance of the study area, utilising the previous HMP and this SoHI for heritage items and the archaeological resource within the study area. It should contain overarching guidelines for the management of the heritage of the study area.

² Australia ICOMOS 2013

1 Introduction

1.1 Project background

Biosis was commissioned by Cleary Bros (Bombo) Pty Ltd (the Applicant/Cleary Bros) to undertake a Statement of Heritage Impact (SoHI) for the proposed extension of the Albion Park Quarry, NSW (the study area). The study area is located approximately 4 kilometres west of Shellharbour and approximately 20 kilometres south-southwest of the Wollongong CBD.

Cleary Bros propose to extend the current hard rock extraction area within the Albion Park Quarry by applying for a new development consent under Part 4, Division 4.7 of the EP&A Act. The project is classified as a State Significant Development (SSD). The current extraction area was approved on 21 February 2006 by the Land and Environment Court (Development Consent 10639/2005) and has been modified in 2009, 2015 and 2017. The proposed extension area is located beyond the current extraction areas of Stages 5 and 6 into an area identified as Stage 7. The Stage 7 area contains Belmont, a property comprising a house, the surrounding grounds and associated structures. Belmont is listed as being of local significance on Schedule 5 of the Shellharbour LEP 2013.

1.2 Location of the study area

The study area is located within parts of Lot 1 DP858245 and Lot 7 DP3709, and is located within the suburb of Croom, Shellharbour Local Government Area (LGA), Parish of Terragong, County of Camden (**Figure 1**). It encompasses approximately 20 hectares of private land (**Figure 2**).

1.3 Scope of assessment

This report was prepared in accordance with current heritage guidelines including *Assessing Heritage Significance*, *Assessing Significance for Historical Archaeological Sites and "Relics"* and the *Burra Charter*.³ This report provides a heritage assessment to identify if any heritage items or relics exist within or in the vicinity of the study area. The heritage significance of these heritage items has been investigated and assessed in order to determine the most appropriate management strategy given Cleary Bros proposes to remove a number of the heritage items during the proposed extraction activities within Stage 7.

The following is a summary of the major objectives of the assessment:

- Identify and assess the heritage values associated with the study area. The assessment aims to achieve this objective through providing a brief summary of the principle historical influences that have contributed to creating the present – day built environment of the study area using resources already available and some limited new research
- Assess the impact of the proposed works on the cultural heritage significance of the study area
- Identifying sites and features within the study area which are already recognised for their heritage value through statutory and non – statutory heritage listings
- Recommend measures to avoid or mitigate any negative impacts on the heritage significance of the study area.

³ NSW Heritage Office 2001; NSW Heritage Branch, Department of Planning 2009; Australia ICOMOS 2013

1.4 Limitations

This report is based on historical research and field inspections. It is possible that further historical research or the emergence of new historical sources may support different interpretations of the evidence in this report.

The historical research undertaken for this report is based on primary documents including Crown and deposited plans, Certificates of Title and historical parish maps. This information was supplemented by existing assessments and reports. Together, this information was utilised to present a history of the study area. The archaeological survey was constrained by the presence of built fabric and modified ground surface areas in some locations, limiting the observations of ground surface and identification of potential archaeological resources. Although this report was undertaken to best archaeological practice and its conclusions are based on professional opinion, it does not warrant that there is no possibility that additional archaeological material will be located in subsequent works on the site. This is because limitations in historical documentation and archaeological methods make it difficult to accurately predict what is under the ground.

The significance assessment made in this report is a combination of both facts and interpretation of those facts in accordance with a standard set of assessment criteria. It is possible that another professional may interpret the historical facts and physical evidence in a different way.

1.5 Secretary's Environmental Assessment Requirements

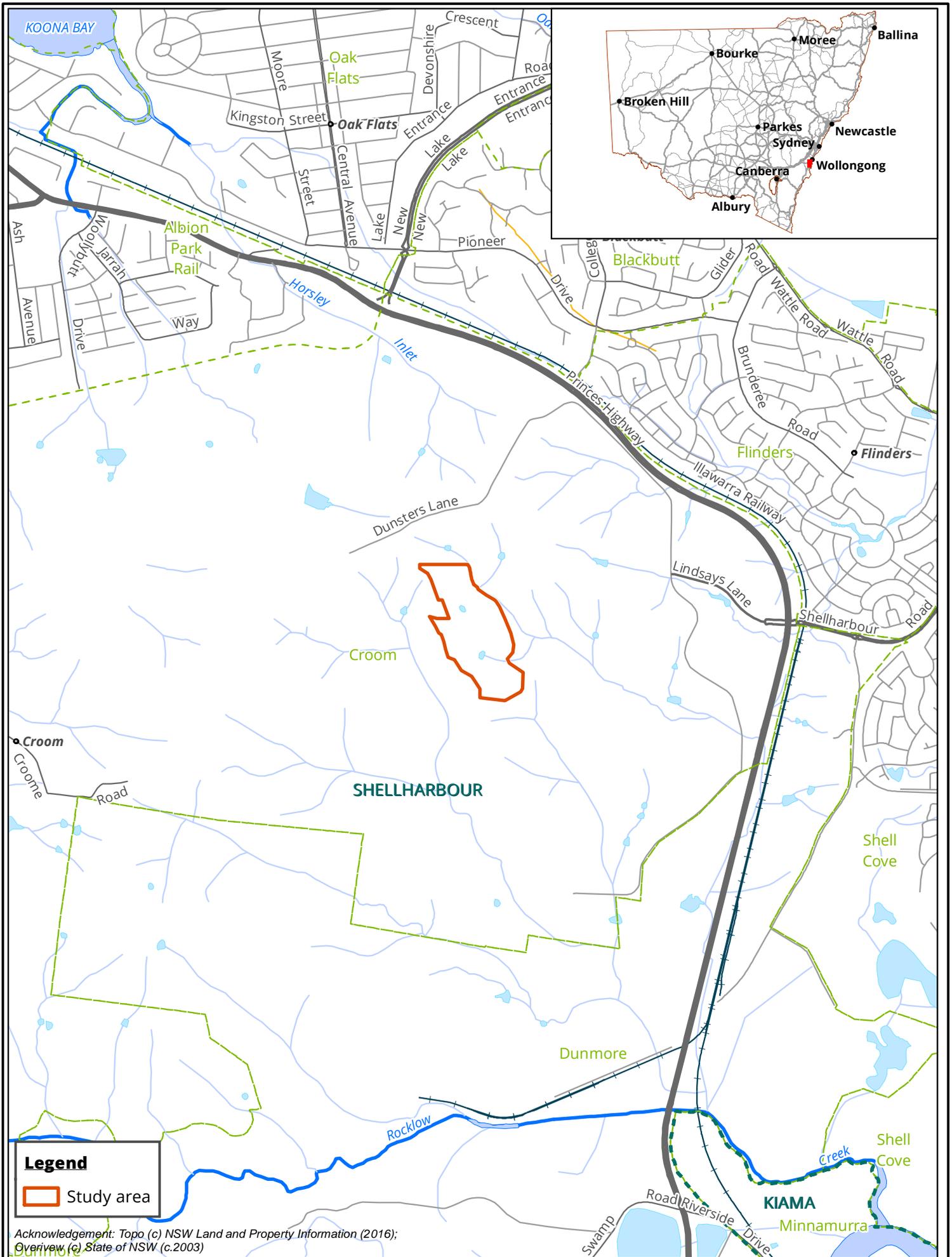
The following tables outline the coverage of the Secretary's Environmental Assessment Requirements (SEARs) and other government agencies for consideration in the Environmental Impact Statement (EIS) and which section they are addressed in this report.

Table 1 Coverage of SEARs in the EIS

Summarised requirements	Section(s)
HISTORIC HERITAGE	
Identification of historic heritage in the vicinity of the development and an assessment of the likelihood and significance of impacts on heritage items.	Section 2 Section 6 Section 7

Table 2 Coverage of issues identified by other government agencies in the EIS

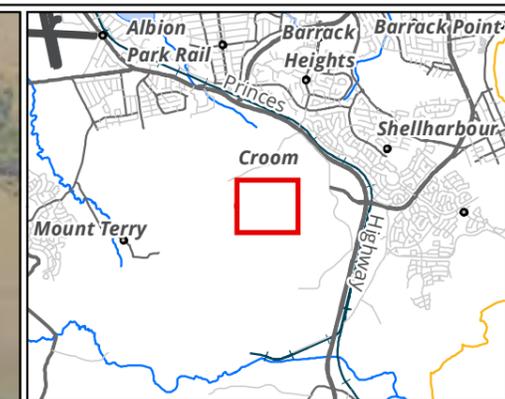
Agency	Summary requirements	Section(s)
HISTORIC HERITAGE		
Shellharbour City Council	Outline the proposed mitigation and management measures.	Section 8 Appendix 4
	Include a statement of heritage impact for all heritage items/conservation areas to be impacted (including significance assessment). This should include detailed mapping of all heritage items and how they are affected by the proposal.	Section 7
	Include details of any proposed mitigation and management measures (architectural and landscape).	Section 8 Appendix 4



Legend
 Study area

Acknowledgement: Topo (c) NSW Land and Property Information (2016);
 Overview (c) State of NSW (c.2003)

Figure 1 Location of the study area



Legend
 Study area
 Lot

Figure 2 Study area detail



Scale: 1:3,000 @ A3
 Coordinate System: GDA 1994 MGA Zone 56



Matter: 30305,
 Date: 24 February 2021,
 Checked by: AB, Drawn by: SSK, Last edited by: lharley
 Location: P:\30300s\30305\Mapping\30305_ACHA_F2_StudyArea.mxd

2 Statutory framework

In NSW cultural heritage is managed in a three-tiered system: national, state and local. Certain sites and items may require management under all three systems or only under one or two. The following discussion aims to outline the various levels of protection and approvals required to make changes to cultural heritage in the state.

2.1 Environment Protection and Biodiversity Conservation Act 1999

The *Environment Protection and Biodiversity Act 1999* (EPBC Act) is the national Act protecting the natural and cultural environment. The EPBC Act is administered by the Department of Agriculture, Water and the Environment (DoAWE). The EPBC Act establishes two heritage lists for the management of the natural and cultural environment:

- The National Heritage List (NHL) contains items listed on the NHL which have been assessed to be of outstanding significance and define "critical moments in our development as a nation".⁴
- The Commonwealth Heritage List (CHL) contains items listed on the CHL which are natural and cultural heritage places that are on Commonwealth land, in Commonwealth waters or are owned or managed by the Commonwealth. A place or item on the CHL has been assessed as possessing "significant" heritage value.⁵

A search of the NHL and CHL did not yield any results associated with the study area.

2.2 NSW Heritage Act 1977

Heritage in NSW is principally protected by the *Heritage Act 1977* (as amended) which was passed for the purpose of conserving items of environmental heritage of NSW. Environmental heritage is broadly defined under Section 4 of the *Heritage Act 1977* as consisting of the following items: 'those places, buildings, works, relics, moveable objects, and precincts, of State or Local heritage significance'. The Act is administered by the Heritage Council, under delegation by the Heritage Division, Heritage NSW. The *Heritage Act 1977* is designed to protect both known heritage items (such as standing structures) and items that may not be immediately obvious (such as potential archaeological remains or 'relics'). Different parts of the *Heritage Act 1977* deal with different situations and types of heritage and the Act provides a number of mechanisms by which items and places of heritage significance may be protected.

2.2.1 State Heritage Register

Protection of items of State significance is by nomination and listing on the State Heritage Register (SHR) created under Part 3A of the *NSW Heritage Act*. The Register came into effect on 2 April 1999. The Register was established under the *Heritage Amendment Act 1998*. It replaces the earlier system of Permanent Conservation Orders as a means for protecting items with State significance.

⁴ "About National Heritage" <http://www.environment.gov.au/heritage/about/national/index.html>

⁵ "Commonwealth Heritage List Criteria"

<http://www.environment.gov.au/heritage/about/commonwealth/criteria.html>

A permit under Section 60 of the Heritage Act (NSW) is required for works on a site listed on the SHR, except for that work which complies with the conditions for exemptions to the requirement for obtaining a permit. Details of which minor works are exempted from the requirements to submit a Section 60 Application can be found in the Guideline "Standard Exemptions for Works requiring Heritage Council Approval". These exemptions came into force on 5 September 2008 and replace all previous exemptions.

There are no items or conservation areas listed on the SHR within or in the vicinity of the study area.

2.2.2 Archaeological relics

Section 139 of the *Heritage Act 1977* protects archaeological 'relics' from being 'exposed, moved, damaged or destroyed' by the disturbance or excavation of land. This protection extends to the situation where a person has 'reasonable cause to suspect' that archaeological remains may be affected by the disturbance or excavation of the land. This section applies to all land in NSW that is not included on the SHR.

Amendments to the *Heritage Act 1977* made in 2009 changed the definition of an archaeological 'relic' under the Act. A 'relic' is defined by the Heritage Act as:

'Any deposit, object or material evidence:

- (a) Which relates to the settlement of the area that comprises New South Wales, not being Aboriginal settlement, and*
- (b) Which is of State or Local significance'.*

It should be noted that not all remains that would be considered archaeological are relics under the NSW *Heritage Act 1977*. Advice given in the Archaeological Significance Assessment Guidelines is that a 'relic' would be viewed as a chattel and it is stated that,

*'In practice, an important historical archaeological site will be likely to contain a range of different elements as vestiges and remnants of the past. Such sites will include 'relics' of significance in the form of deposits, artefacts, objects and usually also other material evidence from demolished buildings, works or former structures which provide evidence of prior occupations but may not be "relics".'*⁶

If a relic, including shipwrecks in NSW waters (that is rivers, harbours, lakes and enclosed bays) is located, the discoverer is required to notify the NSW Heritage Council.

Section 139 of the *Heritage Act 1977* requires any person who knows or has reasonable cause to suspect that their proposed works will expose or disturb a 'relic' to first obtain an Excavation Permit from the Heritage Council of NSW (pursuant to Section 140 of the Act), unless there is an applicable exception (pursuant to Section 139(4)). Excavation permits are issued by the Heritage Council of NSW in accordance with sections 60 or 140 of the *Heritage Act 1977*. It is an offence to disturb or excavate land to discover, expose or move a relic without obtaining a permit. Excavation permits are usually issued subject to a range of conditions. These conditions will relate to matters such as reporting requirements and artefact cataloguing, storage and curation.

Exceptions under Section 139(4) to the standard Section 140 process exist for applications that meet the appropriate criterion. An application is still required to be made. The Section 139(4) permit is an exception from the requirement to obtain a Section 140 permit and reflects the nature of the impact and the significance of the relics or potential relics being impacted upon.

⁶ NSW Heritage Branch, Department of Planning 2009, pp. 7

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If an exception has been granted and, during the course of the development, substantial intact archaeological relics of state or local significance, not identified in the archaeological assessment or statement required by this exception, are unexpectedly discovered during excavation, work must cease in the affected area and the Heritage Office must be notified in writing in accordance with section 146 of the *Heritage Act 1977*. Depending on the nature of the discovery, additional assessment and, possibly, an excavation permit may be required prior to the recommencement of excavation in the affected area.

2.2.3 Section 170 Heritage and Conservation Registers

Section 170 of the *Heritage Act* requires that culturally significant items or places managed or owned by Government agencies are listed on departmental Heritage and Conservation Register. Information on these registers has been prepared in accordance with Heritage Division guidelines.

Statutory obligations for archaeological sites that are listed on a Section 170 Register include notification to the Heritage Council in addition to relic's provision obligations.

There are no items within or adjacent to the study area that are entered on a State government instrumentality Section 170 Register.

2.3 Environmental Planning and Assessment Act 1979**2.3.1 Shellharbour Local Environmental Plan 2013**

The Shellharbour LEP 2013 contains schedules of heritage items that are managed by the controls in the instrument. Heritage items in the vicinity of the study area are identified in **Figure 3**.

The western section of the study area is listed as an item of local significance on the Shellharbour LEP 2013 Schedule 5:

- "Belmont", stone walls, figs and coral tree avenue (Item No. I209), 207 Dunsters Lane, Croom NSW, Lot 1, DP 858245. Item of local heritage significance, containing parts of the study area.

The study area is also situated within the vicinity of heritage items/conservation area of local significance:

- The Hill Farm Complex (Item No. I022), 195 Dunsters Lane, Croom NSW, Lot 1, DP 253007, Lot 4, DP 3709, Part Lot 5, DP 3709 and Lot 1, DP 432289. Item of local heritage significance, immediately north of the study area.
- "Kyawana", (Item No. I281), 265 Dunsters Lane, Croom NSW, Lot 2, DP 858245. Item of local heritage significance, immediately west of the study area.
- "St Ives" and fig trees, (Item No. I025), 2 James Road, Croom NSW, Lot 50, DP 1013688. Item of local heritage significance, approximately 627 metres east of the study area.
- Bravella site fig trees, (Item No. I177), 144 James Road, Croom NSW, Lot 2, DP 607560. Item of local heritage significance, adjacent to the study area.
- "Kurrawong", trees, stone walls and silo, (Item No. I024), 126 James Road, Croom NSW, Lot 100, DP 717430. Item of local heritage significance, adjacent to the study area.
- Croom School site, ruins, gardens and trees, (Item No. I070), Croome Road termination, Croom NSW, Crown Land per.occ 1987/2, Lot 1, DP 23618. Item of local heritage significance, 722 metres south-south-west of the study area.

- Rosemont complex, trees and setting (Item No. I026), 35 James Road, Croom NSW, Lot 71, DP 837462. Item of local heritage significance, 1.3 kilometres east of the study area.
- Memorial, Norfolk Island pine trees (Item No. I179), Dunsters Lane and James Road, Croom, Lots 50, 52 and 54, DP 1013688; Lot 301, DP 1092270; Lot 1, DP 430361; Lot 100, DP 717430; Lot 71, DP 837462; Lot 2, DP 844131. Item of local heritage significance, 1.1 kilometres east of the study area.

2.3.2 Shellharbour Development Control Plan 2013

The Shellharbour Development Control Plan 2013 (SDCP) outlines built form controls to guide development. The SDCP supplements the provisions of the Shellharbour LEP. The heritage controls within the SDCP aim to facilitate the conservation of heritage items, assist applicants and Council in assessing proposed development of or near heritage items and in heritage conservation areas. Before granting development consent, Council may require a SoHI or a conservation management plan (CMP) to be prepared. State Heritage Inventory (SHI) sheets should form the basis of any statement of heritage impact or heritage conservation plan. Conditions specifically for rural landscape areas, which includes the suburb of Croom, aim to protect the heritage curtilage around heritage items, maintain scenic quality and manage visual impacts and protect significant views to and from the heritage item. They ensure that new structures are designed and located so they do not adversely impact the heritage significance of an item or its setting, design and locate new housing in the vicinity of heritage items to limit visual impacts on items. These conditions are also intended to conserve significant buildings, structures, and trees as visual landmarks, the significant fabric and finishes of heritage items, reinforce traditional plantings in grounds of heritage items and allow interpretation of important heritage values.

2.4 Summary of heritage listings

A summary of heritage listings within and in the vicinity of the study area is presented in **Table 3** and **Figure 3**.

2.5 Approvals and permits required

As described above, Section 139 of the *Heritage Act 1977* requires any person who knows or has reasonable cause to suspect that their proposed works will expose or disturb a 'relic' to first obtain an Excavation Permit from the Heritage Council of NSW (pursuant to Section 140 of the Act), unless there is an applicable exception (pursuant to Section 139(4)). Excavation permits are issued by the Heritage Council of NSW in accordance with sections 60 or 140 of the *Heritage Act 1977*.

The recommendations of this SoHI are likely to be incorporated as conditions of the new development consent should the Project be approved.

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Table 3 Summary of heritage listings within and adjacent to the study area

Site number	Site name	Address / Property description	Listings		Significance
			Individual item	As a Conservation Area	
I209	"Belmont", stone walls, figs and coral tree avenue	207 Dunsters Lane, Croom NSW, Lot 1, DP 858245	Shellharbour LEP 2013	-	Local
I022	The Hill Farm Complex	195 Dunsters Lane, Croom NSW, Lot 1, DP 253007, Lot 4, DP 3709, Part Lot 5, DP 3709 and Lot 1, DP 432289	Shellharbour LEP 2013	-	Local
I281	"Kyawana"	265 Dunsters Lane, Croom NSW, Lot 2, DP 858245	Shellharbour LEP 2013	-	Local
I025	"St Ives" and fig trees	2 James Road, Croom NSW, Lot 50, DP 1013688	Shellharbour LEP 2013	-	Local
I177	Bravella site fig trees	144 James Road, Croom NSW, Lot 2, DP 607560	Shellharbour LEP 2013	-	Local
I024	"Kurrawong", trees, stone walls and silo	126 James Road, Croom NSW, Lot 100, DP 717430	Shellharbour LEP 2013	-	Local
I026	Rosemont complex, trees and setting	35 James Road, Croom Lot 71, DP 837462	Shellharbour LEP 2013	-	Local
I179	Memorial, Norfolk Island pine trees	James Road, Croom Lots 50, 52 and 54, DP 1013688; Lot 301, DP 1092270; Lot 1, DP 430361; Lot 100, DP 717430; Lot 71, DP 837462; Lot 2, DP 844131	Shellharbour LEP 2013	-	Local



3 Historical context

Historical research has been undertaken to identify the land use history of the study area, to isolate key phases in its history and to identify the location of any built heritage or archaeological resources which may be associated with the study area. The historical research places the history of the study area into the broader context of Croom, Shellharbour, and the Illawarra.

3.1 Topography and resources

The study area is situated within a landscape of steep slopes, with Belmont and associated outbuildings located on a broad hill crest. Several non-perennial watercourses drain from the three valley lines into a single non-perennial stream which follows the main valley route to the south-eastern portion of the study area. Two man-made dams are also present.

3.2 Aboriginal past

The study area was originally inhabited by the Tharawal (also Dharawal, Darawal, Carawal, Turawal, Thurawal) linguistic group. The named groups (often referred to as 'clans', 'bands' or 'tribes') belonging to the Tharawal/Dharawal language group included the following: Gweagal, Norongerraga, Illawarra, Threawal, Tagary, Wandandega, Wodi Wodi and Ory-ang-ora. In his overview of Australian Aboriginal tribal boundaries, Tindale places the Illawarra area within the territory of the Wodi Wodi tribe (or 'named group').⁷ Tindale describes the Wodi Wodi named group as occupying the area north of the Shoalhaven River to Wollongong.⁸

Ethnographic evidence considered by Sefton indicates population mobility on the Woronora Plateau with frequent contact between the neighbouring Gandangarra, Cobrakall (Liverpool and Cabramatta) and Wodi Wodi (Illawarra).⁹ The traditional Wodi Wodi land extended from around Stanwell Park to the Shoalhaven River and as far inland as Picton, Moss Vale and Marulan. Many of the town and place names of the Illawarra are derived from the Dharawal language.

Historical accounts for the Illawarra region that specifically reference the Aboriginal inhabitants are scarce. Some early ethnographic accounts suggest that at the time of European occupation, a highly mobile, largely dispersed Aboriginal population occupied the region.¹⁰ It is thought that there were slightly higher populations near Lake Illawarra given the resource base associated with and accessible at the Lake. Based on the varied environmental zones along the south coast it is unlikely that consistent, large scale movement from east to west was prevalent. However, Navin Officer noted that a common theme within the ethno-historic data is the regional movement of people from the coast to the plateau lands, for seasonal, ceremonial commitments or the receipt of Government rations.¹¹ It is likely that a formalised network of pathways and mountain pathways connecting east to west across the Illawarra escarpment and ranges existed.

The arrival of European colonists wrought swift and catastrophic change to the Aboriginal people of the Illawarra region. Europeans began appearing in the region before the end of the eighteenth century, and by

⁷ Tindale 1940, 194–201

⁸ Tindale 1940, 194–195

⁹ Sefton 1980, 22–29

¹⁰ Sullivan 1982; Organ 1990

¹¹ Navin Officer 2000, 35

the first decades of the nineteenth century a forestry industry had begun. Other industries began to become more prevalent in the region, including pastoralism and dairying, bringing more and more non-Aboriginal people into the area resulting in restricted access to the traditional hunting grounds of the Tharawal and Wodi Wodi. Conflict, disease and dispossession took a terrible toll on the Wodi Wodi and Tharawal peoples. In 1820, approximately 3000 Aboriginal people were living in the Illawarra, but by 1899 their numbers had declined to only 33 people of non-mixed descent.¹² Today, many Wodi Wodi and Tharawal people continue to live in the Illawarra.

3.3 Shellharbour – historical development

3.3.1 Early colonial period before settlement

In 1816, Surveyor-General John Oxley was sent to the Illawarra region to make a general survey of the area and to connect it to the known parts of the colony, as well as identify specific lands for prospective grantees.¹³ The first five grants in the area were made in 1821 to absentee landlords, who ran cattle on their lands with a few stockmen present.¹⁴ The first five grants of land made in the Illawarra region were:

- Richard Brooks, Exmouth, 1300 acres.
- George Johnston, Macquarie Gift, 1500 acres.
- Andrew Allen, Waterloo, 700 acres.
- Robert Jenkins, Berkeley, 1000 acres.
- David Allen, Illawarra Farm, 2200 acres.

The Illawarra region was attractive not only for its rich pasture, but also for its Red Cedar, which was exploited by the early timber cutters. Between the cattlemen and the cedar cutters, passage into the Illawarra region was found.¹⁵ Grants continued to be made in the Illawarra region, comprising essentially free grants with easy terms, until August 1831, when land could only be purchased at auction.¹⁶ Following the gazetting of the *Crown Lands Alienation Act* (1861) any un-alienated land was taken up as Conditional Purchase holdings.¹⁷

From 1817 to 1831 a total of 22 free land grants were issued by Governor Macquarie in the area presently within the Shellharbour Municipality. Control of these grants was largely dictated by four families: the Wentworths, Johnsons, Terry/Hughes and Osbournes.¹⁸

3.3.2 Early settlement (1821 to 1907)

The study area is situated within a 1,850 acre portion of land granted to D'Arcy Wentworth on the 9 January, 1821. Wentworth was a medical practitioner from County Armagh, Ireland, who arrived in the Colonies on 28 June 1791 as a convict, but soon after was moved to Norfolk Island for his medical skills, becoming superintendent of convicts on the island. Wentworth returned in February 1796 and was appointed as an assistant surgeon of the colony in April, and continued to work in medicine in Sydney, Parramatta and Norfolk

¹² Organ 1990

¹³ Osbourne 2000, p. 1

¹⁴ 1816 'GOVERNMENT PUBLIC NOTICE.', The Sydney Gazette and New South Wales Advertiser (NSW : 1803 - 1842), 16 November, p. 1. , viewed 12 Feb 2017, <http://nla.gov.au/nla.news-article2176898>

¹⁵ Lindsay 1994, p. 4

¹⁶ *ibid* p.32

¹⁷ *ibid* p.41

¹⁸ Kaul 1995, 5; Derbyshire et al. 1984, 31

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Island until he was made principal surgeon of the Civil Medical Department in 1809. Wentworth, along with Alexander Riley and Graham Blaxcell, was contracted to build a hospital for Governor Lachlan Macquarie in 1810, in exchange for permission to import 295,496 litres of rum (spirits); the hospital is known as the Rum Hospital, on Macquarie Street, Sydney.¹⁹

D'Arcy Wentworth went on to acquire 13,050 acres in the Illawarra, which became the Peterborough Estate, of which the study area formed a part. Upon his death in 1827, D'Arcy Wentworth's lands was partitioned into five portions and distributed among his children Martha (Reddall), Sophia (Towns), Catherine (Bassett/Darley), Mary Ann (Addison/Hollings) and Robert.²⁰ The division of the Peterborough Estate into five portions can be seen in **Plate 1**. The study area is located within the land depicted as Portion D which was inherited by Catherine, who married Benjamin Darley in 1847, and later William Bassett in 1867.²¹ The study area was part of a lease to the Dunster family from around 1859. The Dunster family became a prominent dairying family in the Shellharbour district over time.²²

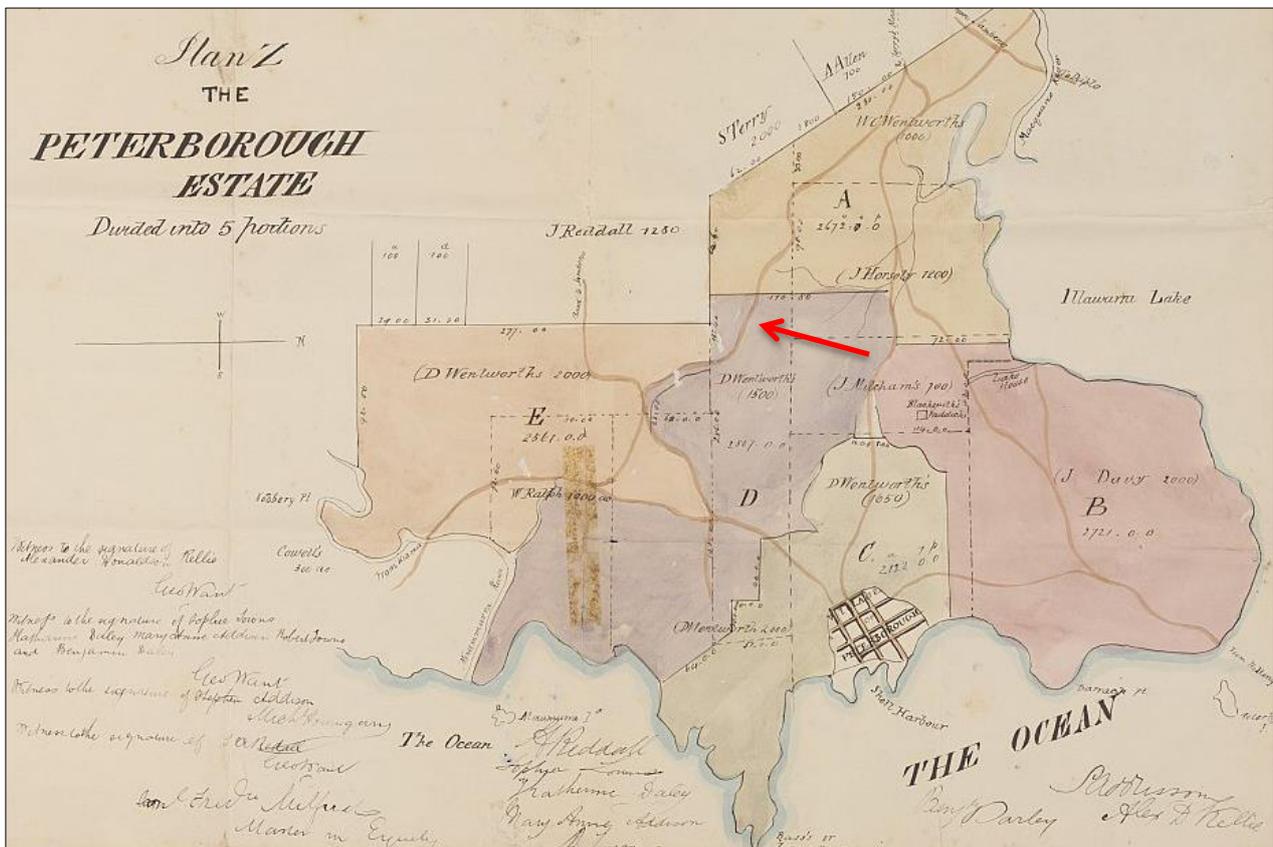


Plate 1 c.1847 map of the Peterborough Estate divided into 5 portions, Portion D containing the study area is denoted by red arrow (Source: National Library of Australia, MAP RM 4417)

¹⁹ Auchmuty 1967; NSW Land Registry Services, Primary Application 11372

²⁰ Gillis 2009, 5; Auchmuty 1967

²¹ Bayley 1959, 28; Dawson 2008

²² Shellharbour City Museum n.d.; 1944 "Mr. Walter Dunster" *Kiama Independent, and Shoalhaven Advertiser* (NSW : 1863 - 1947), 23 September, p. 2, <http://nla.gov.au/nla.news-article102098570>, viewed 7 March 2018

Catherine Wentworth Basset Darley's land became known as the Bassett-Darley Estate, a series of land holdings in Manley Vale, Freshwater, Mona Vale, Palm Beach, Liverpool, Appin and the Illawarra, which were eventually sold from 1877. Emily Sophia Savage became the executor of the estate of Benjamin Wentworth Darley, who died in June 1892. The leases that were already in place continued under Savage's ownership; William Charles Dunster and Walter Dunster had both commenced separate seven-year leases from George Osbourne, a trustee of the Basset-Darley Estate, in January 1897. However, soon after the estate lands were subdivided along the lines of the dairy farm leases and sold off. William Charles Dunster acquired Lots 4 and 5 in June 1901, while Walter Dunster, farmer, purchased Lot 6 in March 1902, which contains a section of the study area. A 1900 subdivision auction advertisement provides an indication of the division of the tenant farms and structures present at the turn of the century (**Plate 2**). The Dunster farm buildings are present within Lot 5, while there are no structures recorded within Lot 6 or Lot 7. Walter Dunster became the lessee for three existing seven-year leases over Lot 6 and Lot 7, made to William Henry Prior and Gustavas Prior, to William Charles Dunster, and to himself, all of which had commenced in January 1897. These leases were cancelled in March 1907.²³

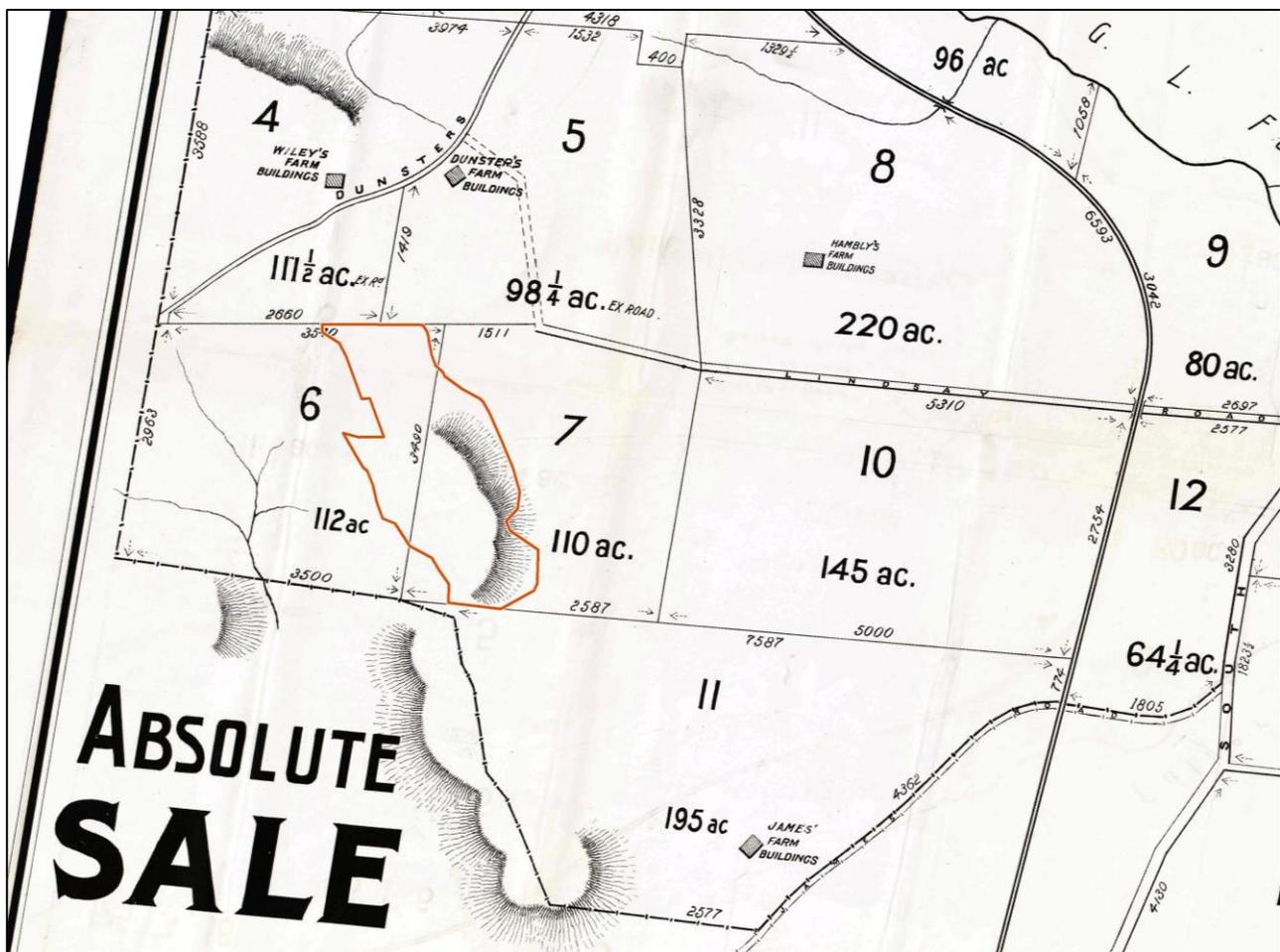


Plate 2 An auction advertisement dating to 1900 of the Illawarra Bassett-Darley Estate lands, with the study area highlighted (Source: National Library of Australia)

²³ Dawson 2008; NSW Land Registry Services, Primary Application 11372; NSW Land Registry Services, Certificate of Title Volume 1339 Folio 88; NSW Land Registry Services, Certificate of Title Volume 1402 Folio 195

Cleary Bros (Bombo) Pty Ltd*Albion Park Quarry Extraction Area Stage 7 Extension***3.3.3 Development of the Belmont Estate (1906 to present)**

In March 1906, Samuel Hercules McDonald, a farmer from Albion Park, acquired Lot 6 from Walter Dunster.²⁴ Samuel McDonald became a prominent community member, being elected to the Shellharbour Municipal Council in 1928, 1934 and 1948, and was one of the original signatories on the petition to establish the Shellharbour Municipal Council. McDonald also campaigned for the area containing the Belmont Estate to be called Indigo Range; this name appears on several late-19th and early 20th-century maps.²⁵

It is believed the main house [1] at Belmont was built around this time, being a weatherboard dwelling constructed in a Victorian and Edwardian style with a hipped corrugated iron roof with gables, a bullnose verandah, decorative valance and finial chimneys (**Photo 1**). There are also a series of stone walls [2], which are believed to date to c.1912.²⁶ It is believed the main house [1] was built in two stages, represented by a symmetrical northern section (Victorian) and the asymmetrical southern end (Edwardian).²⁷ A 1929 entry in the Shellharbour Building Register 1923-1951 may belong the McDonalds of Belmont. It records a 'Milkroom etc.' valued at £40 under S. N. McDonald within the Oak Flats Estate; it is possible that this may be a record for future owner Samuel Richards McDonald of Belmont which was incorrectly assigned to the Oak Flats Estate, as they were situated in close proximity to one another. However, the accuracy of this assumption this cannot be confirmed.²⁸ Samuel Hercules McDonald leased Lot 6 to John McDonald and Richard McDonald, farmers from Albion Park, in February 1930, which expired in October 1937. In the same year, the property was transferred to Mary Jane McDonald, wife of Samuel Hercules McDonald.²⁹

²⁴ NSW Land Registry Services, Certificate of Title Volume 1402 Folio 195

²⁵ 1928 "Advertising" *Kiama Reporter and Illawarra Journal* (NSW : 1899 - 1947), 5 December, p. 3, <http://nla.gov.au/nla.news-article103268334>, viewed 7 May 2018; 1934 "Advertising" *Illawarra Mercury* (Wollongong, NSW : 1856 - 1950), 7 December, p. 10, <http://nla.gov.au/nla.news-article132433414>, viewed 7 May 2018; 1948 "Local Government Act, 1919. – Proclamation." *Government Gazette of the State of New South Wales* (Sydney, NSW : 1901 - 2001), 23 June, (No. 69 (Supplement)), p. 1503, <http://nla.gov.au/nla.news-article224780029>, viewed 7 May 2018; Shellharbour Heritage Inventory Sheet for Belmont, Dry Stone Walls, Figs and Coral Tree Ave

²⁶ Hynd 2004, 52

²⁷ Shellharbour Heritage Inventory Sheet for Belmont, Dry Stone Walls, Figs and Coral Tree Ave

²⁸ Shellharbour Building Register 1923-1951, courtesy of Shellharbour Museum

²⁹ NSW Land Registry Services, Certificate of Title Volume 1402 Folio 195



Photo 1 A photograph of the main house [1], Belmont, taken in 1964 (Source: Shellharbour Library)

Life at Belmont at this time is described by Gertrude Russell (née McDonald) as part of an oral history of her life. The dairy cows were milked by hand, and prior to electricity arriving at the outlying farms, they used kerosene lamps. Gertrude's father would take the milk from the Belmont dairy and other neighbouring farms to the Illawarra Dairy Co-operative at Albion Park using an old army truck. The farm also produced crops including corn, cut and spread out by hand to feed the dairy cows.³⁰ During the 1930s and 1940s, there was a downturn in the Illawarra dairy industry, with an estimated 2,000 dairy cows sent out of the Shellharbour district by August 1940.³¹

Further entries in the Shellharbour Building Register 1923-1951 may also belong to Belmont. The 1947 record notes a storage shed worth £50 as belonging to S.R. McDonald on 'farm land' in 1947, and the 1949 record notes a 'Farm build. Silage pit' worth £80 for S. R. McDonald on Fuller's Estate. Similar to the 1929 entry, the majority of nearby Oak Flats Estate and Fuller's Estate was owned by the Fuller family, so the wider area was sometimes referred to generally as Fuller's Estate. Unfortunately it is not possible to confirm whether the second entry was indeed recorded from the Belmont Estate. There is one entry which specifically names

³⁰ Shellharbour Memories - Book Two: Memories of Shellharbour, Albion Park and Warilla, courtesy of Shellharbour Museum

³¹ 1940 "Dairy Farmers." *Illawarra Mercury* (Wollongong, NSW : 1856 - 1950), 16 August, p. 9, <http://nla.gov.au/nla.news-article132568484>, viewed 7 May 2018

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Belmont as the property: a 'Farm build. Silage pit' [3] [4] worth £80 was recorded on 22 April 1949 for J.W.B. McDonald at 'Albion Park, 'Belmont'.³²

In December 1948, John Henry Bill McDonald and Samuel Richard McDonald became the owners of the property.³³ Aerial photographs from the same year show the level of development and site use at this time (**Photo 2**). The main house [1], stone walls [2] and several other buildings [5] [6] [7] are visible. It is not possible to confirm which of these may be the farm building [3] or silage pit [4].

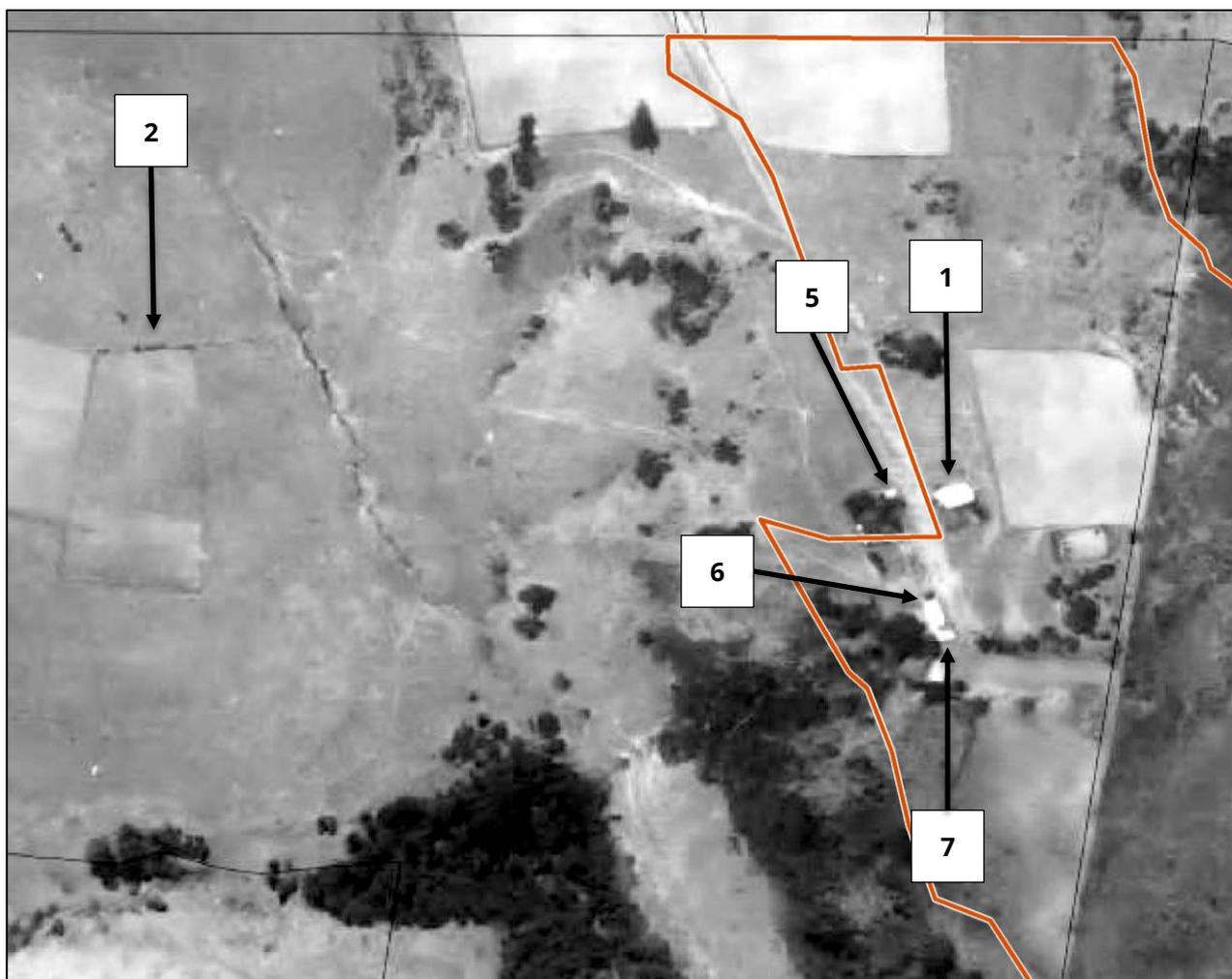


Photo 2 A 1948 aerial photograph of the study area, showing the main house [1], stone walls [2], and three other structures [5] [6] [7] (Source: Shellharbour Council)

In April 1956, Lot 6 was acquired by the government from John Henry Bell McDonald and Samuel Richard McDonald.³⁴ As part of this, a Crown plan was prepared which records not only structures and fencelines, but also the vegetation, geology, topography and the agricultural use different parts of the study area had been subjected to at this date (**Plate 3**). The main house [1], and stone walls [2] are visible, while the three structures identified in the 1948 aerial are confirmed as a garage [5], bails dairy [6] and feeding stalls [7]. The

³² Shellharbour Building Register 1923-1951, courtesy of Shellharbour Museum

³³ NSW Land Registry Services, Certificate of Title Volume 1402 Folio 195

³⁴ NSW Land Registry Services, Certificate of Title Volume 1402 Folio 195

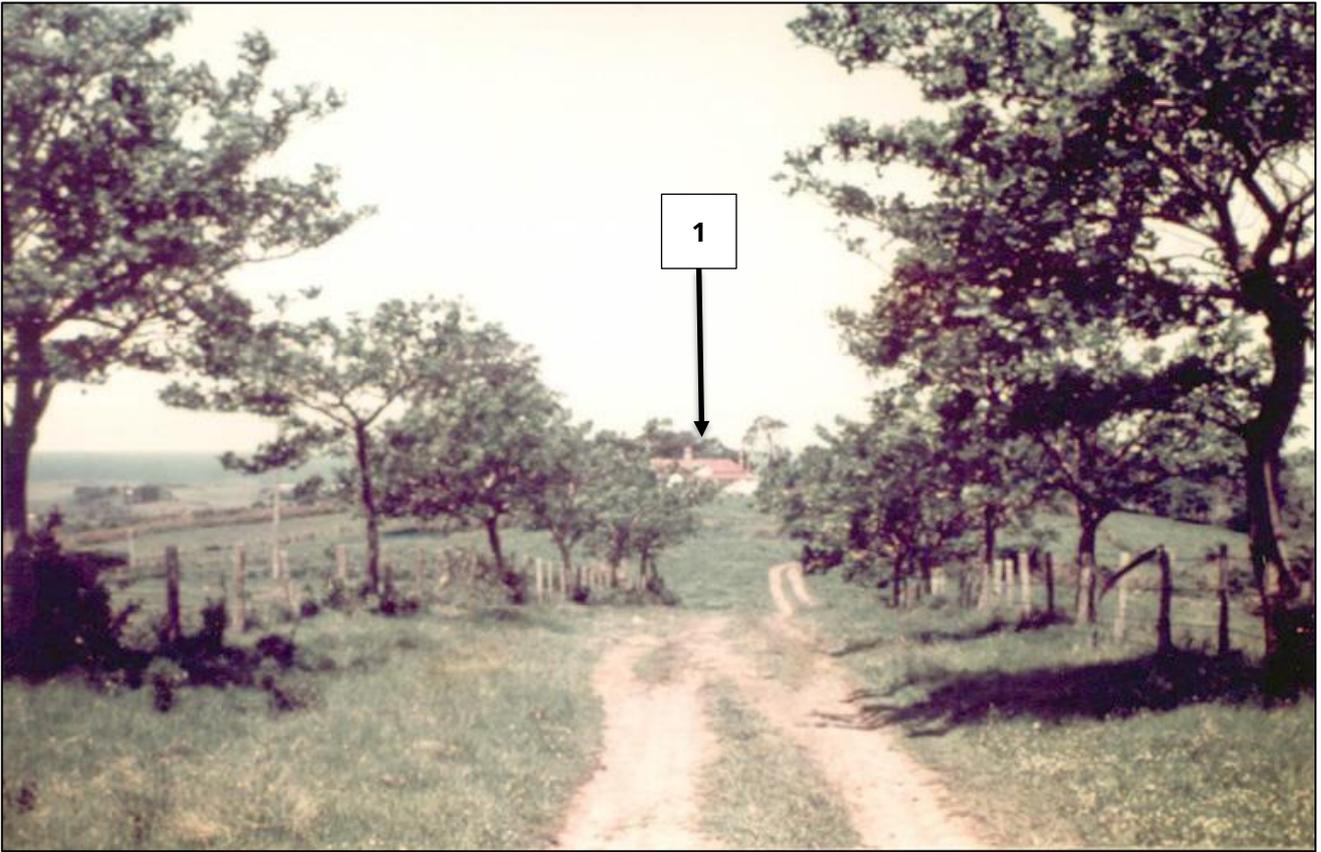


Photo 3 The driveway to the main house [1], lined with coral trees, 1964 (Source: Shellharbour Library)



Photo 4 View of the main house [1] and garage [5] from near the driveway, showing vehicles near the structures, 1964 (Source: Shellharbour Library)

In 1985, Doris Lucy Cody acquired the property from the Crown. A further subdivision took place between this purchase and 1996, but it has not been possible to obtain the plan for this change. The most recent subdivision took place in 1996, which established the property's current configuration. The subdivision plan notes the presence of further stone walls [12] [13] on the eastern boundary of the study area (**Plate 4**).³⁶

³⁶ NSW Land Registry Services, Certificate of Title Volume 15394 Folio 23; NSW Land Registry Services, DP 751290; NSW Land Registry Services, DP 858245

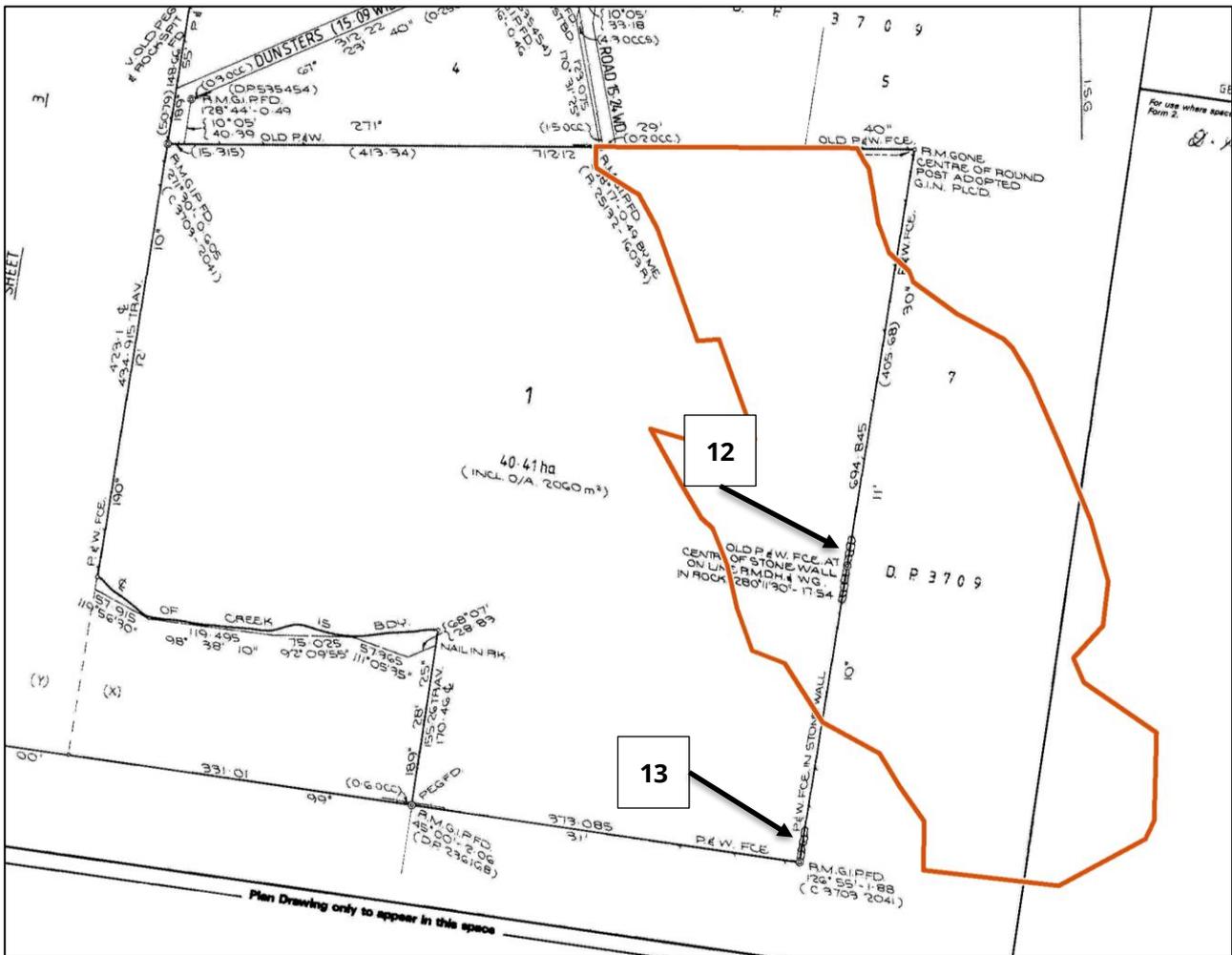


Plate 4 A 1996 subdivision plan of the study area, showing the presence of further stone walls [12] [13] (Source: NSW Land Registry Services, DP 858245)

Quarrying company Cleary Bros acquired the Belmont Estate from the McDonald family in 1991. Lorna Brown, the daughter of Samuel Hercules McDonald, continued to live on the property until c.2003, when she moved to a nursing home. The buildings and property remained in good condition throughout her occupancy, as did moveable historical farming items. Vegetable gardens were also maintained until this time.³⁷

³⁷ Shellharbour Heritage Inventory Sheet for Belmont, Dry Stone Walls, Figs and Coral Tree Ave



Photo 5 The Belmont main house [1], in 2004 (Source: Shellharbour Heritage Inventory Sheet for Belmont, Dry Stone Walls, Figs and Coral Tree Ave)

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Photo 6 The dairy and bails [6] within the Belmont Estate in 2004 (Source: Shellharbour Heritage Inventory Sheet for Belmont, Dry Stone Walls, Figs and Coral Tree Ave)



Photo 7 View of the Belmont Estate in 2004 (Source: Shellharbour Heritage Inventory Sheet for Bellmont, Dry Stone Walls, Figs and Coral Tree Ave)

Recent aerial photographs show the extent of the area excavated for quarrying. The c.1912 stone walls [2] were located in this area, and were removed and reconstructed at the entrance to the property in approximately 2008 as part of the quarry's development.

3.4 Chronology of the study area

Based upon the historical research presented it is possible to summarise the chronology of the study area. This is presented in **Table 4**.

Table 4 Chronological development of the study area

No.	Building	Date
1	Belmont main house	c.1900
2	Stone walls A and B	c.1912
3	Farm building	Pre-1949
4	Silo pit	Pre-1949
5	Garage	pre-1947

No.	Building	Date
6	Bails and dairy	Pre-1948
7	Feeding stalls	Pre-1948
8	Engine room	Pre-1956
9	Dam	Pre-1956
10	Water piping	Pre-1956
11	Paddock fencelines	Pre-1956
12	Stone walls C	Pre-1996
13	Stone walls (outside of the study area)	Pre-1996
14	Stone walls D	Pre-1996

3.5 Research themes

Contextual analysis is undertaken to place the history of a particular site within relevant historical contexts in order to gauge how typical or unique the history of a particular site actually is. This is usually ascertained by gaining an understanding of the history of a site in relation to the broad historical themes characterising Australia at the time. Such themes have been established by the Australian Heritage Commission and the NSW Heritage Office and are outlined in synoptic form in New South Wales Historical Themes.³⁸

There are 38 State Historical Themes, which have been developed for NSW, as well as nine National Historical Themes. These broader themes are usually referred to when developing sub-themes for a local area to ensure they complement the overall thematic framework for the broader region.

A review of the contextual history in conjunction with the local historical thematic history has identified three historical theme which relates to the occupational history of the study area.³⁹ This is summarised in **Table 5**.

Table 5 Identified historical themes for the study area

Australian Theme	NSW Theme	Local Theme
Developing local, regional and national economies	Agriculture	From Forest To Farm
Building settlements, towns and cities	Land tenure	From Forest To Farm
	Accommodation	No associated local theme
Developing Australia's cultural life	Domestic life	No associated local theme

³⁸ NSW Heritage Council 2001

³⁹ Humphreys 2005

4 Physical inspection

A physical inspection of the study area was undertaken on 4 May 2018, attended by Samantha Keats (Archaeologist, Biosis), and on 13 August 2020 by Ashley Bridge (Archaeologist, Biosis). The principal aims of the inspection were to identify heritage values associated with the study area; this included any heritage items ('Heritage items' can be buildings, structures, places, relics or other works of historical, aesthetic, social, technical/research or natural heritage significance. 'Places' include conservation areas, sites, precincts, gardens, landscapes and areas of archaeological potential).

4.1 Landscape character assessment

The purpose of this section is to provide an analysis and description of the study area as part of a cultural landscape. The cultural landscape concept emphasises the landscape-scale of history and the connectivity between people, places and heritage items. It recognises the present landscape is the product of long-term and complex relationships between people and the environment. For the purposes of this report, cultural landscapes are defined as: '... those areas which clearly represent or reflect the patterns of settlement or use of the landscape over a long time, as well as the evolution of cultural values, norms and attitudes toward the land.'⁴⁰

4.1.1 An overview of cultural landscapes

In order to fully understand the heritage significance of the study area, it is necessary to consider the character of the landscape within which it is situated. The heritage value of a landscape may be related to its aesthetic, archaeological, historical, scientific, social, or architectural values, each or all of these values can exist at any one time. The identification of these values is important in discussing the study area and its constituent elements heritage significance.

Three general landscape categories have been developed and applied by heritage organisations to assist in understanding different types of landscapes:⁴¹

- **Designed landscapes:** Those that are created intentionally such as gardens, parks, garden suburbs, city landscapes, ornamental lakes, water storages and campuses
- **Evolved landscapes:** Those that display an evolved land use in their form and features. They may be 'relict' such as former mining or rural landscapes. They may be 'continuing' such as modern active farms, vineyards, plantations or mines
- **Associative cultural landscapes:** Those are landscape features that represent religious, artistic, sacred or other cultural associations to individuals or communities.

4.1.2 Belmont Estate as a cultural landscape

The study area can be considered a designed landscape which has been cleared and adapted largely for the purpose of dairying activities and domestic occupation. The study area is a relict evolved landscape, having developed as a rural dairy property since the Dunster family leased the land from the Wentworth's Peterborough Estate from around 1859 into the mid-to-late 20th century.

⁴⁰ Context P/L et al. 2002

⁴¹ United Nations Educational, Scientific and Cultural Organisation 2012

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The study area was likely cleared around or before the time of the Dunster's lease. This relict evolved landscape has been heavily modified for dairying and agriculture, with internal and external boundaries formed by a variety of timber, stone and wire fencelines, and by modified and natural vegetation **Photo 8**. Within this landscape is a complex of domestic, farming-related structures and occupational areas (**Photo 9**, **Photo 10** and **Photo 11**), an island of structures amongst pastoral lands, situated on a prominent ridgeline with views to coastal residential areas and the sea (**Photo 12**). To the west of the study area is a large quarry site (**Photo 13**).



Photo 8 View of vegetation, informal farm structures and fencing near the Belmont main house [1] and building complex



Photo 9 Eastern-facing facade of the Belmont main house [1], facing west



Photo 10 View of the northern facade of Belmont main house [1], facing south

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Photo 11 View of the garage [5] in its current state, facing west



Photo 12 View from the building complex on the rideline, facing east



Photo 13 Former pastoral land, now featuring a quarry

4.2 Built fabric assessment

The study area contains several extant structures in the area of proposed works which can be summarised as the remnants of the late 19th century and 20th century Belmont Estate, namely:

- Belmont main house [1].
- Garage/storage shed [5].
- Landscape features such as informal outbuildings, fences, dry stone walls and gates.

4.2.1 Belmont main house

Belmont main house [1] is largely constructed of timber and weatherboard paneling, and also features corrugated iron roofing, two brick chimneys with associated fireplaces and hearths, brick footings and more recent extensions constructed of brick, timber and fibro sheeting (**Photo 14**, **Photo 15** and **Photo 16**). Concrete water tanks are also situated adjacent to the house, with a drain pipe collecting rainwater from the roof. Belmont main house remained occupied until 2003, and is said to have remained in good condition at the time of the vacation of the occupant. In addition to the inspection undertaken by Biosis, a dilapidation survey (see **Appendix 1** Dilapidation Survey Report) was undertaken by Design 5 Architects in April 2018⁴² and a structural integrity report by KF Williams and Associates Pty Ltd in November 2018 (see **Appendix 3**

Structural integrity report).⁴³ While little information regarding the condition of Belmont main house was provided in the dilapidation report, the structural report stated that the structural elements of Belmont are in substantial disrepair and do not meet the requirements of current and applicable building codes or Australian Standards.

Photographs from both surveys indicate that visually the building is in relatively fair condition, with some areas in poorer condition, such as the south-western patio area. However, several areas were noted for areas of visual damage, including:

- Damaged timber weatherboard cladding and brick base wall on the south-eastern corner and east-southern wall of the building (**Photo 17**).
- A spliced verandah post on the norther-eastern corner of the verandah (**Photo 18**).
- Cracks in plasterboard in the eastern corner of space SG.2.
- Damage to ceiling timber lining boards in space SG.1 (hallway).
- Damaged or broken door in the northern elevation of SG.8.

⁴² Design 5 Architects Pty Ltd 2018

⁴³ KF Williams and Associates Pty Ltd 2018



Photo 14 Kitchen space, Belmont main house

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Photo 15 Closed-in porch, Belmont main house



Photo 16 South-western patio area, Belmont main house



Photo 17 Damaged timber weatherboard in north-eastern part of Belmont main house

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Photo 18 Spliced verandah post on northern verandah area, Belmont main house

4.2.2 Garage/storage shed

The garage/storage shed [5] consists of timber posts and beams, with corrugated iron and plastic sheeting used for the roof, and some metal flashings (**Photo 11**). The garage is located north-west of Belmont main house [1] on the opposite side of the driveway track. It is possible the floor surface is compacted dirt, but this cannot be confirmed due to low visibility. It appears to be in a derelict state, and is used as an informal storage space for materials and rubbish.

4.2.3 Landscape features

A number of fences and gates of various ages were present, and were constructed of timber posts, metal wire and frames (**Photo 19**), as well as more modern welded mesh fencing. These items were generally in a fair condition. Several informal outbuildings were also visible, and appear to consist of timber frames and metal and plastic corrugated sheeting (**Photo 8**). These items appear to be in poor condition. A modern electricity pole was also present north of Belmont main house adjacent to the driveway. There are also a number of Moreton Bay fig trees within the vicinity of Belmont house. The two largest ones are in poor condition and appear to be in various stages of dying. The coral tree avenue has previously been removed as part of the Stage 1 – 6 quarrying activities.



Photo 19 Example of post and wire fencing present within the study area

4.2.4 Dry stone walls

Under development consents 466-11-2003 and 467-11-2003, dry stone walls A and B were reconstructed at the entrance to the Cleary Bros Belmont property, allowing the structures to retain their original associations with the area and placing them in public view (**Photo 20**). The salvage and reconstruction of the structures was undertaken by an experienced and accredited dry stone waller following regional styles in accordance with the *Albion Park Quarry Heritage Management Plan* (Cleary Bros (Bombo) Pty Ltd 2017).



Photo 20 Reconstructed dry stone walls at the entrance to Belmont (Source: Albion Park Quarry Heritage Management Plan)

Dry stone wall C [12] is located within the study area (**Plate 5**) and during the physical inspection of the study area, a further dry stone wall (D) [14] was located (Photo **21** and **Figure 4**). Both dry stone walls are in a deteriorating condition with vegetation invasion present and evidence of slumping and bellying.

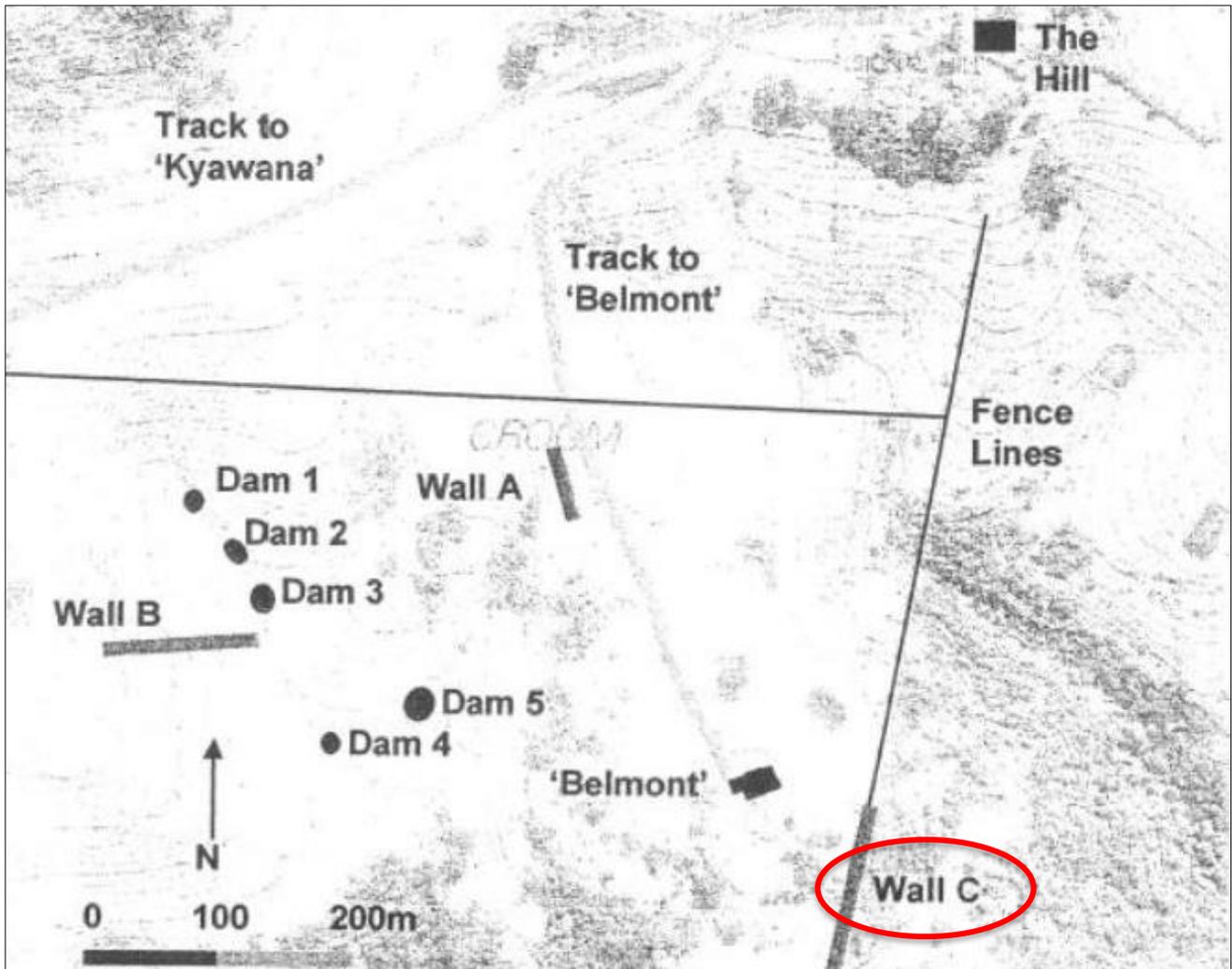


Plate 5 Location of dry stone wall C within the study area (Source: Albion Park Quarry Heritage Management Plan)



Photo 21 Dry stone wall D [14] located during the physical inspection

4.3 Archaeological assessment

The potential archaeological resource relates to the predicted level of preservation of archaeological resources within the study area. Archaeological potential is influenced by the geographical and topographical location, the level of development, subsequent impacts, levels of onsite fill and the factors influencing preservation such as soil type. An assessment of archaeological potential has been derived from the historical analysis undertaken during the preparation of this report.

4.3.1 Archaeological resource

This section discusses the archaeological resource within the study area. The purpose of the analysis is to outline what archaeological deposits or structures are likely to be present within the study area and how these relate to the history of land use associated with the study area.

The historical context presented in this report indicates that the study area is likely to contain deposits and features related to the agricultural and domestic occupation of the Belmont Estate. In particular, several of the dairy-related structures, including the dairy and bails [6] and feeding stalls [7] that are no longer present. As such, archaeological material could potentially be located within and around these locations. This may include building footings, structural remains, building materials, compacted floor surfaces, secondary deposits (rubbish pits, cesspits, cisterns, privies), yard surfaces, fencing post holes, remains of timber posts and fencing wire, masonry and ceramic building materials. These kinds of materials may also be present in the vicinity of and sub-surface areas of the extant main house [1] and garage [5]. Underfloor occupation deposits are also likely to be present at the main house [1].

The potential for there to be archaeological remains below ground in association with the dry stone walls is moderate as dry stone walls are typically constructed on or slightly below the ground surface, approximately 450mm.

4.3.2 Integrity of sub-surface deposits

Sub-surface deposits can be disturbed or damaged by later development or taphonomic processes. Due to the lack of development within the complex of structures, any sub-surface archaeological remains are likely to be in good condition. The installation of services within and in the vicinity of the main house [1] may have disturbed underfloor occupation deposits and truncated any deposits, stone foundations or building footings.

4.3.3 Research potential

Archaeological research potential refers to the ability of archaeological evidence to provide information about a site that could not be derived from any other source and which contributes to the archaeological significance of that site. Archaeological research potential differs from archaeological potential in that the presence of an archaeological resource (i.e. archaeological potential) does not mean that it can provide any additional information that increases our understanding of a site or the past (i.e. archaeological research potential).

The research potential of a site is also affected by the integrity of the archaeological resource within a study area. If a site is disturbed, then vital contextual information that links material evidence to a stratigraphic sequence may be missing and it may be impossible to relate material evidence to activities on a site. This is generally held to reduce the ability of an archaeological site to answer research questions.

Assessment of the research potential of a site also relates to the level of existing documentation of a site and of the nature of the research done so far (the research framework), to produce a 'knowledge' pool to which research into archaeological remains can add.

Developing local, regional and national economies - Agriculture - From Forest to Farm

The study area is part of a long-established dairying landscape which has developed since 1859 when it was first leased by the Dunster family. Should archaeological remains be present, they could contribute to research questions relating to agricultural and dairying practices, and the working lives of 19th and 20th century dairy farmers in Croom and the wider Shellharbour district, particularly practices around animal care and management, milk extraction and processing on a small rural dairy farm. This information could then be compared with other similar sites in the district, wider region and state to consider how this site differs from others on a local and regional level.

Developing Australia's cultural life - Domestic life

The study area was home to the McDonald family for most of the 20th century. Should archaeological remains be present within sub-surface areas and in the vicinity of the main house [1], these could contribute to research questions relating to early 20th century domestic life on a small rural dairy, such as domestic practices and consumer trends, within Croom and the wider Shellharbour area. This information could then be compared with other similar sites to consider how this site differs from others on a local and regional basis.

Building settlements, towns and cities - Land tenure - From Forest to Farm

The study area is part of a long-established dairying landscape which has developed since 1859 when it was first leased by the Dunster family. Several stone walls [2] [12] [13] are present within the study area. The earliest evidence of the stone walls dates one wall [2] to c.1912, while the earlier wall is unlikely to be extant. Should the other walls [12] [14] date to an earlier period, they could contribute to research questions relating to land tenure and the agricultural use of the landscape during the 19th century. This information could then

be compared to later evidence of land configuration to consider how the use of the landscape has changed from the 19th to 20th centuries.

Remaining parts of study area

In terms of research potential for the remaining parts of the study area, the history suggests that any archaeological material present is most likely to be associated with original property boundaries and evidence of early farming practices dating from the early 19th century. Such material has been well documented elsewhere, and is unlikely to contribute to any further knowledge about the study area.

4.3.4 Summary of archaeological potential

Through an analysis of the above factors a number of assumptions have been made relating to the archaeological potential of the study area, these are presented in **Table 6** and **Figure 4**.

The assessment of archaeological potential has been divided into three categories:

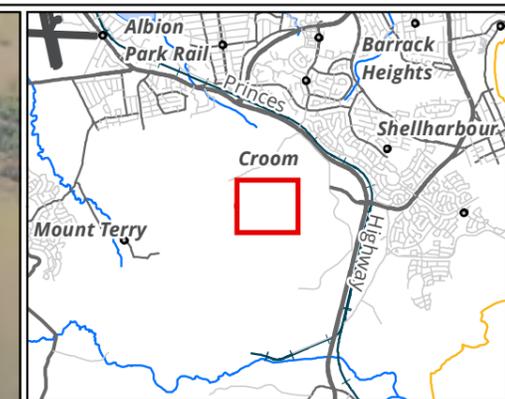
- **High archaeological potential** – based upon the historical context and documentary evidence presented within this report there is a high degree of certainty that archaeologically significant remains relating to this period, theme or event will occur within the study area.
- **Moderate archaeological potential** – based upon the historical context and documentary evidence presented within this assessment it is probable that archaeological significant remains relating to this period, theme or event could be present within the study area.
- **Low archaeological potential** – based upon the historical context and documentary evidence presented within this assessment it is unlikely that archaeological significant remains relating to this period, theme or event will occur within the study area.

Table 6 Assessment of archaeological potential

Designation	Description	Probable feature(s)	Possible construction date	Archaeological potential
1	Belmont main house	Building footings or foundations, cut and fill deposits, secondary deposits (rubbish pits, cesspits, cisterns, privies), underfloor occupation deposits, yard surfaces, fencing post holes, remains of timber posts and fencing wire.	c.1900	High
2	Stone walls A and B	Wall foundations, associated cut and fill deposits.	c.1912	Nil – removed and reconstructed
3	Farm building	Building footings or foundations, fencing or structural postholes and associated remnant timber posts, cut and fill deposits, compacted floor surfaces, artefact scatters.	Pre-1949	Low – location unknown
4	Silo pit	Timber and metal structural remains, cut and fill deposits, postholes, organic	Pre-1949	Low – location unknown

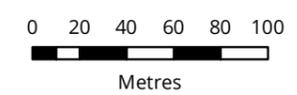
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Designation	Description	Probable feature(s)	Possible construction date	Archaeological potential
		materials, artefact scatters.		
5	Garage	Building footings or foundations, fencing or structural postholes and associated remnant timber posts, cut and fill deposits, compacted floor surfaces, artefact scatters.	Pre-1947	Low
6	Bails and dairy	Building footings or foundations, fencing or structural postholes and associated remnant timber posts, cuts and fill deposits, compacted floor surfaces, artefact scatters, rubbish pits, yard surfaces, fencing post holes, remains of timber posts and fencing wire.	Pre-1948	Moderate
7	Feeding stalls	Building footings or foundations, fencing or structural postholes and associated remnant timber posts, cut and fill deposits, compacted floor surfaces, artefact scatters, rubbish pits, yard surfaces, fencing post holes, remains of timber posts and fencing wire.	Pre-1948	Low
8	Engine room	Building footings or foundations, fencing or structural postholes and associated remnant timber posts, cut and fill deposits, compacted floor surfaces, artefact scatters, rubbish pits, yard surfaces, fencing post holes, remains of timber posts and fencing wire.	Pre-1956	Low
9	Dam	Cut and fill deposits.	Pre-1956	Nil
10	Water piping	Drainage cut and fill deposits, remnant metal piping.	Pre-1956	Low
11	Paddock fencelines	Fencing post holes, remains of timber posts and fencing wire.	Pre-1956	Low
12	Stone wall C	Wall foundations, associated cuts and fill deposits.	Pre-1996	Moderate
13	Stone walls (outside of the study area)	Wall foundations, associated cuts and fill deposits.	Pre-1996	Moderate
14	Stone wall D	Wall foundations, associated cuts and fill deposits.	Pre-1996	Moderate



- Legend**
- Study area
 - Dry stone wall - relocated
- Archaeological potential**
- High
 - Moderate
 - Low

Figure 4 Assessment of archaeological potential



Scale: 1:3,000 @ A3
 Coordinate System: GDA 1994 MGA Zone 56



Matter: 30305,
 Date: 24 February 2021,
 Checked by: SJK, Drawn by: AEDM, Last edited by: Iharley
 Location: P:\30300s\30305\Mapping\30305_SOHI_F4_ArchPotential.mxd

5 Comparative analysis

A comparative analysis of similar heritage sites or places in the Croom and Dunmore region has been undertaken in order to assist in establishing the significance of Belmont Estate.

5.1 Homesteads in Croom and Dunmore

5.1.1 The Hill Farm Complex, 195 Dunsters Lane, Croom (c.1865 – present)

The Hill Farm Complex is listed under the Shellharbour LEP 2013 as an item of local significance (Item no. I022) and has remained in the Dunster family since 1865. Joseph Dunster arrived in the colony of NSW in 1838 and married Jane Elizabeth Stratford in 1856. Initially the couple moved to 'River Farm' at Albion Park and took over the Tullimbar general store until Joseph purchased 90 acres in 1865 and moved into a cottage known as 'Dunsters Hill' or 'The Hill'. The property also became known as 'Signal Hill', as settlers communicating by flags, signalled when a ship was about to berth at the harbour. Farmers in outlying districts then knew to take their produce to the port.⁴⁴

The complex consists of various working farm out buildings and fences, all built in several stages and now surrounded by dense plantings, including landmark *Ficus* and several other old trees. The cedar board and batten cottage with attic has two periods of additions. The original cedar slab house comprised of two rooms with a simple front three bay verandah supported on bush timber posts. Doors are four panelled, 12-pane to ground floor and four-pane to the attic, which is reached by a Georgian type stair having simple square balusters. The c.1865 addition includes a north wing of Gothic timber design with decorative fretwork barge boards, horizontal boarding and a large verandah to the north and east. The homestead is a good example of a vernacular regional cottage type with picturesque early additions that form a pleasant land mark in the area. It is set high on the hill with magnificent 180 degree views out to Wollongong, Shellharbour and across the Dunmore Valley Cultural Landscape.

⁴⁴ SHR listing for The Hill Farm Complex, <https://www.heritage.nsw.gov.au/search-for-heritage/search-for-nsw-heritage/> viewed 15 September 2020.



Photo 22 Circa 1910 photograph of the homestead within the Hill Farm Complex (Source: Shellharbour City Library)

The significance of The Hill Farm Complex has been identified as:

“The Hill” complex, Dunster’s Lane, Croom is of exceptional local significance. Amongst the complex buildings, structures, major trees and landscape elements, is the homestead dating pre 1865. The complex and homestead (built internally and externally of local cedar) date from the original D’Arcy Wentworth land grant; the Peterborough Estate. The original home includes rare period additions c1865 and 1900.

The complex is a major regional landmark with expansive views in and out, and dominant within the cultural landscape. Several significant and landmark trees exist, some providing increasingly scarce fauna habitat. The Hill farm complex includes remains of World War Two observation posts. The property has been in the same family ownership since 1865 and is a key site in the evolution of the Illawarra Shorthorn Cattle breed.

5.1.2 'St Ives' and fig trees, 2 James Road, Croom (c.1900 – present)

'St Ives' and fig trees is listed under the Shellharbour LEP 2013 as an item of local significance (Item no. I025). The construction of 'St Ives' coincides with the beginning of dairying in the Dunmore area, and the subdivision of the Bassett-Darley estate into smaller farms.⁴⁵ David Lindsay and his family settled at 'St Ives' farm prior to occupancy by the notable Thomas family. David Lindsay appears as the first lessee c.1876, who commenced with 120 acres before adding a further 199 acres in 1879. Lindsay was a member of Shellharbour Public School Board, a noted cattle breeder at the Albion Park Show in 1888, and chairman of Shellharbour Butter Export Company formed in 1869.

In 1896, Henry (also known as Harry) and Mary Thomas leased the then 271 acre farm from Harry's father, John Thomas, after moving from their 'Clover Hill' farm at Macquarie Pass. Harry Thomas was a grandson of

⁴⁵ SHR listing for 'St Ives' and fig trees, <https://www.heritage.nsw.gov.au/search-for-heritage/search-for-nsw-heritage/> viewed 15 September 2020.

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early settlers William and Sarah Thomas of Marshall Mount. Family associations exist with nearby 'Rosemont', 'Bravella', 'Kurrawong' farms as well as 'Aronda' in Shellharbour Village, and 'Clover Hill' at Macquarie Pass.

St Ives farm is located on the old Princes Highway with the weatherboard house sitting on the hill crest between two creeks with views out towards the ocean. The homestead is a good example of a Federation period home with its steep, prominent gable roof, asymmetric façade, masonry chimneys and wide wrap around verandah. Like Belmont, it takes advantage of its hill top location and commanding views. The home paddock is to the west, while the eastern paddock contains a very large and mature Moreton Bay Fig that commands major prominence in long distance views and vistas. There are also mature specimen trees and an entry avenue of trees coming up from the creek.



Photo 23 St Ives homestead (Source: Shellharbour City Library)

The significance of 'St Ives' and fig trees has been identified as:

'St Ives is a good example of a rural, weatherboard, Federation era farm house. It is located on a hill top, within the wider Dunmore valley cultural landscape. There are major views in and out. Its high pitched roof and verandah are surrounded by mature trees. The home has a tree lined entry and major specimens of Moreton Bay figs. The trees retain classic form, habitat and contribute to the cultural landscape. They remain as physical evidence of the dairy industry.

One spectacular isolated mature tree with natural habitat, is located on the ridge nearby, commanding views in from the surrounding landscape. It is a major feature within the cultural landscape, spectacularly located on the ridge crest, and is seen by surrounding development and transport routes. It readily relays its historical associations with the dairy landscape. The open setting and context of the tree add to its significance. This tree is associated with Benjamin Lindsay, Chairman of the NSW Lands Board. Local historic associations with local pioneer families and with the development of the local dairy industry.

'St Ives' belongs to the James Road farm group associated with the nearby and linked James family properties ('Rosemont', 'Bravella' site, 'Kurrawong', 'Aronda' at Shellharbour Village and 'Clover Hill' near Macquarie Pass). Near the northern boundary lining the creek are scattered Cabbage Tree palms that have both historic and landscape aesthetic values.

5.1.3 'Kurrawong', trees, stone walls and silo, 126 James Road, Croom (c.1900 – present)

'Kurrawong', trees, stone walls and silo is listed under the Shellharbour LEP 2013 as an item of local significance (Item no. I024) and has strong associations with the James family of Dunmore.⁴⁶ William James arrived in Australia from 'St Ives', Cornwall, England in the 1850's and built the 'Penrose' homestead for the Evans family near Dapto. He based his own home 'Bravella' (next door to 'Kurrawong') on this design. In 1919 William's son, John James built 'Kurrawong' on the hill next to the family farm, and another son, Thomas James built 'Rosemont' on a hill nearby. John James married Sarah Dunster, daughter of Joseph and Jane Dunster of 'The Hill', being within view lines of 'Kurrawong'. John James contributed to dairying in the Dunmore valley and was one of the founders of the Australian Milking (Illawarra) Shorthorn Society.

Similar to St Ives, the asymmetrical Federation weatherboard cottage features a main roof hipped with gambrels, gabled projection, corrugated iron roofing, tall brick chimney and a detached bull nose return verandah with timber posts. The homestead also features valance and drip moulds, gable features panels, finial and geometric bargeboards, paired double-hung windows along the front and a gable with metal skillion awning and timber lattice. Running full length of the north and east-west boundary, are dry stone walls in a reasonable condition, while two mature, tall and spreading fig trees are major landmarks, as well as being typical era plantings on or near hill crests. 'Kurrawong' has prominent views across the Dunmore valley cultural landscape from its hilltop location.



Photo 24 Kurrawong homestead (Source: Shellharbour City Library)

The significance of 'Kurrawong', trees, stone walls and silo has been identified as:

'Kurrawong' is a Federation farmhouse built high on a hill ridge overlooking the old Princes Highway at Dunmore. In addition to its setting, the property includes significant trees and dry stone walls. 'Kurrawong'

⁴⁶ SHR listing for 'Kurrawong', trees, stone walls and silo, <https://www.heritage.nsw.gov.au/search-for-heritage/search-for-nsw-heritage/> viewed 15 September 2020.

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belongs to the James Road farm group and has historic associations with nearby James family properties ('Rosemont', 'Bravella' site, 'St Ives', 'Aronda' in Shellharbour Village and 'Clover Hill' near Macquarie Pass).

'Kurrawong' was built for John James, The founder of the Australian Milking (Illawarra) Shorthorn Society. The property was deliberately sited having a clear view line to 'The Hill' (Dunster family) and nearby James family properties. Stone walls are representative of the north Kiama/Dunmore construction type. Figs are representative of Illawarra farm plantings and provide an increasingly scarce habitat for regional fauna.

5.1.4 Swansea Farmhouse, 152 Croome Road, Croom (c.1923 – present)

Swansea Farmhouse is listed under the Shellharbour LEP 2013 as an item of local significance (Item no. 1198). In 1876, the Norris family bought the property on which 'Swansea' was later built.⁴⁷ The Norris' built their home 'Mount Wentworth' south of where 'Swansea' stands today, which is marked by a line of Umbrella Pines along Croome Road where the entrance once stood. David Timbs acquired the 66 acres of Lot 4 and, in 1923, the Youll family acquired the land from Timbs and built 'Swansea' where they lived until 1965. The Youll family were contributors to the Albion Park Agricultural Horticultural and Industrial Society and Richard Youll served on its committee for a lengthy period, and was secretary for two years. Richard's sons John and Donald were prominent in Junior Farmers activities, and after Donald's death at age 27 in 1955, the Junior Farmers Pavilion at the Albion Park Showground was named in his honour. 'Swansea' was purchased by Council when the Croome Road Sporting Complex was built, and used by its care taker.

The homestead consists of an Edwardian styled double fronted rural farm cottage featuring weatherboard cladding, hip roof, rear side wing, and a detached wrap-around, bull nose verandah. The verandah is clad in corrugated iron, has minimal eaves, timber verandah posts, corner brackets, gable finials and timber framed windows. The small covered boundary entry echoes the gable. The fig tree and silo on Croome Road are remnants of the 'Swansea' dairy buildings.



Photo 25 Swansea Farmhouse (Source: Shellharbour City Library)

⁴⁷ SHR listing for Swansea Farmhouse, <https://www.heritage.nsw.gov.au/search-for-heritage/search-for-nsw-heritage/> viewed 15 September 2020.

The significance of Swansea Farmhouse has been identified as:

'Swansea' has strong local historic associations with the important local dairy industry and with the Youll family who were prominent dairy farmers in Albion Park, and important contributors to the Albion Park Agricultural Society. The Junior Farmers Pavilion at the Albion Park Showground was named in honour of Donald Youll. Swansea is a good example of a weatherboard cottage in the Federation style with some modifications and setting changes, although the overall spatial relationship retains a rural setting.

5.2 Summary

The comparative analysis indicates that late 19th century homesteads in the Croom and Dunmore region have been assessed as significant for a range of historical, aesthetic, rarity and associative values. The Croom area has numerous properties, which contain tenant or owner farms and/or former dairy buildings that have been assessed as holding local heritage significance. These items normally contain similar elements such as dry stone walls, Moreton Bay Figs and dairy outbuildings, all of which are present within the study area and associated with Belmont. A review of the heritage values associated with the Croom and Dunmore area indicates that the cultural landscape value of the area is of particular significance. Many of the properties within the area are former tenant farms and represent the process of occupation associated with tenant farming and the operation of large rural estates. This occupation has resulted in the dairying landscape present within the Croom and Dunmore area.

6 Significance assessment

An assessment of heritage significance encompasses a range of heritage criteria and values. The heritage values of a site or place are broadly defined as the 'aesthetic, historic, scientific or social values for past, present or future generations'⁴⁸. This means a place can have different levels of heritage value and significance to different groups of people.

The archaeological significance of a site is commonly assessed in terms of historical and scientific values, particularly by what a site can tell us about past lifestyles and people. There is an accepted procedure for determining the level of significance of an archaeological site.

A detailed set of criteria for assessing the State's cultural heritage was published by the (then) NSW Heritage Office. These criteria are divided into two categories: nature of significance, and comparative significance.

Heritage assessment criteria in NSW fall broadly within the four significance values outlined in the Burra Charter. The Burra Charter has been adopted by State and Commonwealth heritage agencies as the recognised document for guiding best practice for heritage practitioners in Australia. The four significance values are:

- Historical significance (evolution and association)
- Aesthetic significance (scenic/architectural qualities and creative accomplishment)
- Scientific significance (archaeological, industrial, educational, research potential and scientific significance values)
- Social significance (contemporary community esteem).

The NSW Heritage Office issued a more detailed set of assessment criteria to provide consistency with heritage agencies in other States and to avoid ambiguity and misinterpretation. These criteria are based on the Burra Charter. The following SHR criteria were gazetted following amendments to the Heritage Act that came into effect in April 1999:

- Criterion (a) - an item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area)
- Criterion (b) - an item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area)
- Criterion (c) - an item is important in demonstrating the aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area)
- Criterion (d) - an item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons
- Criterion (e) - an item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area)

⁴⁸ NSW Heritage Office, 2001

- Criterion (f) - an item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area)
- Criterion (g) - an item is important in demonstrating the principal characteristics of a class of NSW's cultural or natural places; or cultural or natural environments; or a class of the local area's cultural or natural places; or cultural or natural environments.

6.1 Levels of heritage significance

Items, places, buildings, works, relics, movable objects or precincts can be of either local or State heritage significance, or have both local and State heritage significance. Places can have different values to different people or groups.

Local heritage items

Local heritage items are those of significance to the local government area. In other words, they contribute to the individuality and streetscape, townscape, landscape or natural character of an area and are irreplaceable parts of its environmental heritage. They may have greater value to members of the local community, who regularly engage with these places and/or consider them to be an important part of their day-to-day life and their identity. Collectively, such items reflect the socio-economic and natural history of a local area. Items of local heritage significance form an integral part of the State's environmental heritage.

State heritage items

State heritage items, places, buildings, works, relics, movable objects or precincts of State heritage significance include those items of special interest in the State context. They form an irreplaceable part of the environmental heritage of NSW and must have some connection or association with the State in its widest sense.

The study area contains Belmont, Stone Walls, Figs and Coral Tree Avenue, which is listed as an item of local heritage significance (Shellharbour LEP 2013). The following evaluation attempts to identify the cultural significance of the study area. This significance is based on the assumption that the site contains intact or partially intact archaeological deposits.

6.2 Statements of significance

This assessment has not revealed any historical or archaeological information which alters the significance of the Belmont, Stone Walls, Figs and Coral Tree Avenue item. Consequently, it is not necessary to re-assess their significance. However, the statement of significance for this item is presented below in **Table 7** as it appears on the Shellharbour Heritage Inventory.

Table 8 presents an evaluation and subsequent statements of significance for other items identified within the study area considered to hold some level of archaeological potential **Table 6**.

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Table 7 Statements of significance for listed heritage items within the study area

Site number	Site name	Address / Property description	Listings	Significance	Statement of significance
I209	"Belmont", stone walls [12] [13], figs and coral tree avenue	207 Dunsters Lane, Croom NSW, Lot 1, DP 858245	Shellharbour LEP 2013	Local	<p>The Victorian Edwardian cusp era weatherboard farm house and adjoining yard complex of Belmont demonstrate how farm homesteads were deliberately sited to have sight lines to Shellharbour port, Kiama, other hilltop homesteads and within the wider cultural landscape. The house, its entry avenue of Coral trees, dry stone walls, and isolated fig have local historic, aesthetic, technical and social values.</p> <p>Belmont, Stone Walls, Figs and Coral Tree Avenue is considered to be significant at a local level.</p>

Table 8 Evaluation and statements of significance for archaeological items within the study area

Site name	Significance assessment criteria							Level of significance	Statement of significance
	A	B	C	D	E	F	G		
Garage [5]								Nil	<p>The potential archaeological materials associated with the garage [5], including building footings or foundations, fencing or structural postholes and associated remnant timber posts, are not considered an important component of or will yield information that will contribute to an understanding of the cultural history of NSW, Croom or the Shellharbour district, nor do they hold associations with the life or works of a person(s) of importance in NSW or the Shellharbour district's cultural history. The potential archaeological materials are unlikely to demonstrate aesthetic characteristics or a high degree of creative or technical achievement in NSW or the Shellharbour district, and they do not hold a strong or special association with a community or cultural group in NSW or the Shellharbour district for social, cultural or spiritual reasons. The potential archaeological materials are not considered to possess uncommon, rare or endangered aspects of NSW or the Shellharbour district's cultural history, nor do they demonstrate the principal characteristics of a class of NSW or the Shellharbour district's cultural places or environments.</p> <p>The potential archaeological materials associated with the garage [5] do not hold heritage significance.</p>

Cleary Bros (Bombo) Pty Ltd

Albion Park Quarry Extraction Area Stage 7 Extension

Site name	Significance assessment criteria							Level of significance	Statement of significance
	A	B	C	D	E	F	G		
Bails and dairy [6]					X			Local	<p>The study area is part of a long-established dairying landscape which has developed since 1859 when it was first leased by the Dunster family. While no longer extant, there is potential for archaeological remains associated with the bails and dairy [6] to be present, and may include building footings or foundations, fencing or structural postholes and associated remnant timber posts as well as cuts and fill deposits, compacted floor surfaces, artefact scatters, rubbish pits, yard surfaces which could contain relics.</p> <p>The potential archaeological remains associated with the former bails and dairy could contribute to research questions relating to agricultural and dairying practices, and the working lives of 19th and 20th century dairy farmers in Croom and the wider Shellharbour district, particularly practices around animal care and management, milk extraction and processing on a small rural dairy farm. This information could then be compared with other similar sites in the district, wider region and state to consider how this site differs from others on a local and regional level.</p> <p>Should potential archaeological remains associated with the former bails and dairy [6] be present, they would be considered to hold heritage significance at a local level.</p>

Site name	Significance assessment criteria							Level of significance	Statement of significance
	A	B	C	D	E	F	G		
Feeding stalls [7]								Nil	<p>The potential archaeological materials associated with the feeding stalls [7], including building footings or foundations, fencing or structural postholes and associated remnant timber posts, are not considered an important component of or will yield information that will contribute to an understanding of the cultural history of NSW, Croom or the Shellharbour district, nor do they hold associations with the life or works of a person(s) of importance in NSW or the Shellharbour district's cultural history. The potential archaeological materials are unlikely to demonstrate aesthetic characteristics or a high degree of creative or technical achievement in NSW or the Shellharbour district, and they do not hold a strong or special association with a community or cultural group in NSW or the Shellharbour district for social, cultural or spiritual reasons. The potential archaeological materials are not considered to possess uncommon, rare or endangered aspects of NSW or the Shellharbour district's cultural history, nor do they demonstrate the principal characteristics of a class of NSW or the Shellharbour district's cultural places or environments.</p> <p>The potential archaeological materials associated with the feeding stalls [7] do not hold heritage significance.</p>

Cleary Bros (Bombo) Pty Ltd

Albion Park Quarry Extraction Area Stage 7 Extension

Site name	Significance assessment criteria							Level of significance	Statement of significance
	A	B	C	D	E	F	G		
Engine room [8]								Nil	<p>The potential archaeological materials associated with the engine room [8], including building footings or foundations, fencing or structural postholes and associated remnant timber posts, are not considered an important component of or will yield information that will contribute to an understanding of the cultural history of NSW, Croom or the Shellharbour district, nor do they hold associations with the life or works of a person(s) of importance in NSW or the Shellharbour district's cultural history. The potential archaeological materials are unlikely to demonstrate aesthetic characteristics or a high degree of creative or technical achievement in NSW or the Shellharbour district, and they do not hold a strong or special association with a community or cultural group in NSW or the Shellharbour district for social, cultural or spiritual reasons. The potential archaeological materials are not considered to possess uncommon, rare or endangered aspects of NSW or the Shellharbour district's cultural history, nor do they demonstrate the principal characteristics of a class of NSW or the Shellharbour district's cultural places or environments.</p> <p>The potential archaeological materials associated with the engine room [8] do not hold heritage significance.</p>

Site name	Significance assessment criteria							Level of significance	Statement of significance
	A	B	C	D	E	F	G		
Water piping [10]								Nil	<p>The potential archaeological materials associated with the water piping [10], including drainage cut and fill deposits, and remnant metal piping, are not considered an important component of or will yield information that will contribute to an understanding of the cultural history of NSW, Croom or the Shellharbour district, nor do they hold associations with the life or works of a person(s) of importance in NSW or the Shellharbour district's cultural history. The potential archaeological materials are unlikely to demonstrate aesthetic characteristics or a high degree of creative or technical achievement in NSW or the Shellharbour district, and they do not hold a strong or special association with a community or cultural group in NSW or the Shellharbour district for social, cultural or spiritual reasons. The potential archaeological materials are not considered to possess uncommon, rare or endangered aspects of NSW or the Shellharbour district's cultural history, nor do they demonstrate the principal characteristics of a class of NSW or the Shellharbour district's cultural places or environments.</p> <p>The potential archaeological materials associated with the water piping [10] do not hold heritage significance.</p>

Cleary Bros (Bombo) Pty Ltd

Albion Park Quarry Extraction Area Stage 7 Extension

Site name	Significance assessment criteria							Level of significance	Statement of significance
	A	B	C	D	E	F	G		
Paddock fencelines [11]								Nil	<p>The potential archaeological materials associated with the paddock fencelines [11], Fencing post holes, remains of timber posts and fencing wire, are not considered an important component of or will yield information that will contribute to an understanding of the cultural history of NSW, Croom or the Shellharbour district, nor do they hold associations with the life or works of a person(s) of importance in NSW or the Shellharbour district's cultural history. The potential archaeological materials are unlikely to demonstrate aesthetic characteristics or a high degree of creative or technical achievement in NSW or the Shellharbour district, and they do not hold a strong or special association with a community or cultural group in NSW or the Shellharbour district for social, cultural or spiritual reasons. The potential archaeological materials are not considered to possess uncommon, rare or endangered aspects of NSW or the Shellharbour district's cultural history, nor do they demonstrate the principal characteristics of a class of NSW or the Shellharbour district's cultural places or environments.</p> <p>The potential archaeological materials associated with the water paddock fencelines [11] do not hold heritage significance.</p>

7 Statement of heritage impact

This SoHI has been prepared to address impacts resulting from the proposed demolition of the Belmont main house and its associated structures. The study area contains the remains of a late 19th century to 20th century dairy farm known as Belmont. In particular, the extant main house [1] is an example of a Victorian-Edwardian cusp era weatherboard farmhouse, and its prominent location signifies a tradition of siting homesteads so as to have line of sight to other nearby locations and the wider cultural landscape. The house and remnant stone walls [12] [14] are also considered to be locally rare in the Shellharbour LGA.

There are several areas of high and moderate archaeological potential within the study area. The main house [1] and its immediate vicinity is considered to hold high archaeological potential. These areas may contain building footings or foundations, cut and fill deposits, secondary deposits (rubbish pits, cesspits, cisterns, privies), underfloor occupation deposits, yard surfaces, fencing post holes, and remains of timber posts and fencing wire. Should archaeological resources be present, they would be valuable in responding to research questions relating to the domestic and working lives of late 19th and early 20th century dairy farmer families and dairy farming practices in the Shellharbour region. Those areas considered to hold moderate archaeological potential include the location of the former bails and dairy building [6] and stone walls [12] [14]. Archaeological material may be in the form of building footings or foundations, fencing or structural postholes and associated remnant timber posts, cut and fill deposits, compacted floor surfaces, artefact scatters, rubbish pits, yard surfaces, wall foundations and associated cut and fill deposits. Should archaeological material be present in these locations, they may contribute to knowledge of dairy farming methods and practices within the Shellharbour region. The remainder of the study area is considered to have low archaeological potential.

It should be noted however, that the garage, engine pump and dam are located within the boundary of the approved extraction area of the current extraction (Land and Environment Court Approval No. 10639 of 2005).

The SoHI identifies the level of impact arising from the proposed development and discusses mitigation measures which must be taken to avoid or reduce those impacts. This section of the report has been prepared in accordance with the Heritage Manual guideline *Statements of Heritage Impact*.⁴⁹

7.1 Proposal details

Cleary Bros propose to extend the existing hard rock extraction area within the Albion Park Quarry by applying for a new development consent under Part 4, Division 7 of the EP&A Act. The existing quarry was approved on 21 February 2006 by the Land and Environment Court (Development Consent 10639/2005) and has been modified in 2009, 2015 and 2017. The proposed extension area will be located beyond the current extraction areas of Stages 5 and 6 into an area identified as Stage 7. The Stage 7 area contains Belmont, a property comprising a house [1], the surrounding grounds and associated structures. The proposed works would involve the demolition of the Belmont main house and all other adjacent structures.

⁴⁹ Heritage Office and Department of Urban Affairs & Planning 1996

7.2 Assessing impact to heritage item(s)

7.2.1 Discussion of heritage impact(s)

The discussion of impacts to heritage can be centred upon a series of questions which must be answered as part of a SoHI which frame the nature of impact to a heritage item. The Heritage Manual guideline *Statements of Heritage Impact* includes a series of questions in relation to indicate the criterion which must be answered.⁵⁰ These are:

- *Have all options for retention and adaptive re-use been explored?*
- *Can all of the significant elements of the heritage item be kept and any new development be located elsewhere on the site?*
- *Is demolition essential at this time or can it be postponed in case future circumstances make its retention and conservation more feasible?*
- *Has the advice of a heritage consultant been sought? Have the consultant's recommendations been implemented? If not, why not?*
- *How is the impact of the new development on the heritage significance of the item or area to be minimised?*
- *Why is the new development required to be adjacent to a heritage item?*
- *How does the new development affect views to, and from, the heritage item? What has been done to minimise negative effects?*
- *Is the development sited on any known, or potentially significant archaeological deposits? If so, have alternative sites been considered? Why were they rejected?*
- *Will the public, and users of the item, still be able to view and appreciate its significance?*

The proposed works will have a direct impact on the main house [1] and any potential archaeological resources within or in the vicinity of the house. The proposed works involve the demolition of the main house [1], which is a significant component of the site's local heritage significance. In assessing the proposed works, the questions outlined in the Heritage Manual have also been considered to determine if the impacts to the heritage item are acceptable, and to ensure that measures have been taken to mitigate these impacts.

The proposed works would have a direct impact on the main house through its complete demolition. Adaptive reuse of the house, for example as a rental tenancy or site office, has been explored as an option; however, the restoration of the building has been assessed as not economically viable by KF Williams and Associates Pty Ltd due to the current condition of the house as discussed further below. The hard rock extraction quarry cannot be relocated due to the presence of sub-surface mineral resources within the study area. While the current development does not impede views to or from the item, the original setting has been altered significantly in the western portion of the study area. The proposed works would significantly detract from the significance of the heritage item.

KF Williams and Associates Pty Ltd undertook a structural integrity report for Belmont (see **Appendix 3**

Structural integrity report).⁵¹ Based on the visual investigation and site measurements of the existing structures, it is apparent that the structural elements of Belmont are in substantial disrepair and do not meet the requirements of current and applicable building codes or Australian Standards. The report concluded that

⁵⁰ *ibid*

⁵¹ KF Williams and Associates Pty Ltd 2018

it is impractical and unfeasible to undergo rectification works to upgrade the existing structure to acceptable levels. The resulting construction would likely further damage the structure and by completion of works, very little of the original structure and materials would remain. Therefore, the demolition of these items are permissible from a heritage perspective.

Furthermore, the proposed works will also have a visual impact on surrounding heritage listed items, specifically the Hill Farm Complex (Item No. I022). The location of the Stage 7 extension area would be partially visible from this heritage item and careful consideration of the proposed extraction area design is required to minimise visual impacts. Studies will need to be undertaken to identify design features and mitigation measures required to limit visual impacts through the life of the Stage 7 extension area.

7.2.2 Shellharbour DCP 2013

The Shellharbour DCP 2013 provides advice relating to the treatment of heritage items which are relevant to the proposed works. These are:

- *Heritage items, their significant fabric, curtilage and settings are to be retained.*
- *Dilapidated sheds and outbuildings ancillary to a heritage building, that are significant but are not being used due to their dilapidated condition, must be archived using the guidelines in Part 5, if they are to be removed.*
- *Dry stone walls must be conserved.*
- *New development is not to obstruct views to the dry stone walls, they must remain visible elements in the landscape.*

The proposed works contradict the DCP from Shellharbour Council that heritage items, their significant fabric, curtilage and settings are to be retained. An Archival Report has been undertaken for the dilapidated garage, consistent with the DCP.

7.2.3 Quantifying heritage impact(s)

Based upon the discussion of Impacts to heritage items, impact to these items can be quantified under three main categories: direct impacts, indirect impacts and no impact. These kinds of impacts are dependent on the proposed impacts, nature of the heritage item and its associated curtilage.

Direct impacts

Direct impacts are where the completion of the proposed development will result in a physical loss or alteration to a heritage item which will impact the heritage value or significance of the place. Direct impacts can be divided into whole or partial impacts. Whole impacts essentially will result in the removal of a heritage item as a result of the development where as partial impacts normally constitute impacts to a curtilage or partial removal of heritage values. For the purposes of this assessment, direct impacts to heritage items have been placed into the following categories:

- Physical impact - whole: where the development will have a whole impact on a heritage item resulting in the complete physical loss of significance attributed to the item
- Physical impact - partial: where the project will have a partial impact on an item which could result in the loss or reduction in heritage significance. The degree of impact through partial impacts is dependent on the nature and setting of a heritage item. These impacts are minor impacts to a small proportion of a curtilage of an item or works occurring within the curtilage of a heritage item which may impact on its setting (i.e. gardens and plantings).

Indirect impacts

Indirect impacts to a heritage item relate to alterations to the environment or setting of a heritage item which will result in a loss of heritage value. This may include permanent or temporary visual, noise or vibration impacts caused during construction and after the completion of the development. Indirect impacts diminish the significance of an item through altering its relationship to its surroundings; this in turn impacts its ability to be appreciated for its historical, functional or aesthetic values.

Cumulative impacts

Cumulative impacts relate to minimal or gradual impacts from a single or multiple developments upon heritage values. A cumulative impact would constitute a minimal impact being caused by the proposed development which over time may result in the partial or total loss of heritage value to the study area or associated heritage item. Cumulative impacts may need to be managed carefully over the prolonged period of time.

No impact

This is where the project does not constitute a measurable direct or indirect impact to the heritage item.

7.3 Assessment of impacts

A discussion, assessment and mitigation of impacts to heritage items located within or adjacent to the study area is presented in **Table 9**.

Table 9 Assessment of impacts to heritage items either within or adjacent to the study area

Heritage Item	Significance	Discussion	Assessment	Mitigation measures
“Belmont” [1], stone walls [12] [13], figs and coral tree avenue	Local	<p>The proposed works will involve the demolition of the main house [1] and the associated garage [5], and the stone walls C [12] and D [14]. This will have a direct impact on the heritage significance of the item through the destruction of the c.1900 Victorian Edwardian cusp era weatherboard house, which is a rare example in the Shellharbour area and a large contributor to the heritage significance of the item. Based on the structural integrity report, the structural elements of Belmont are in substantial disrepair and do not meet the requirements of current and applicable building codes or Australian Standards. It is impractical and unfeasible to undergo rectification works to upgrade the existing structure to acceptable levels. The resulting construction would likely further damage the structure and by completion of works, very little of the original structure and materials would remain.</p> <p>The potential for there to be archaeological remains below ground associated with the stone walls is moderate as dry stone walls are typically constructed on or slightly below the ground surface, approximately 450 millimetres. Two dry stone walls (C and D) exist within the study area and will be directly impacted by the proposed works.</p>	Direct physical impact - whole	<ul style="list-style-type: none"> • Recommendation 1 • Recommendation 2 • Recommendation 3
Bails and dairy [6]	Local	<p>The proposed works will involve the disturbance or removal of the area of moderate archaeological potential associated with the bails and dairy, both of which are wholly located within the study area, which will remove any intact archaeological deposits within the vicinity.</p>	Direct physical impact - whole	<ul style="list-style-type: none"> • Recommendation 2

7.4 Statement of heritage impact

Cleary Bros propose to extend the existing hard rock extraction area within the Albion Park Quarry. The proposed extension area will be located beyond the current extraction areas of Stages 5 and 6 into an area identified as Stage 7. The Stage 7 area contains Belmont, a property comprising a house [1], the surrounding grounds and associated structures. The proposed works consist of the demolition of the Belmont main house and all other adjacent structures.

The main house [1] is a Victorian Edwardian cusp era weatherboard farm house dating to c.1900, and is a significant component of the locally listed heritage item, "Belmont", stone walls, figs and coral tree avenue. It has been assessed that there is high archaeological potential associated with the main house [1], and moderate archaeological potential associated with the former location of the bails and dairy [6] and two extant stone walls [12] [14]. Should archaeological remains be present, these could contribute to the research questions relating to agricultural and dairying practices, and the domestic and working lives of 19th and 20th century dairy farmers in Croom and the wider Shellharbour district, particularly consumer trends and practices around animal care and management, milk extraction and processing on a small rural dairy farm. This information could then be compared with other similar sites in the district, wider region and state to consider how this site differs from others on a local and regional level. These remains would be considered to hold local heritage significance.

It is also likely that archaeological material may be present in the locations of the extant garage [5], former feeding stalls [7], engine room [8], water pipe [10], and paddock fencelines [11]; however, these have been assessed as not holding heritage significance. However, should any occupational deposits, such as rubbish pits, compacted floor surfaces or yard surfaces, associated with these locations contain relics, these may be considered significant at a local or State level, depending on the assessment of the remains.

The proposed works will also have a visual impact on surrounding heritage listed items, specifically the Hill Farm Complex (Item No. I022). The location of the Stage 7 extension area may be visible from this heritage item and careful consideration of the proposed extraction area is required to minimise visual impacts. Studies will need to be undertaken to identify design features and mitigation measures required to limit visual impacts through the life of the Stage 7 quarry.

The proposal works will have a direct impact on the heritage significance of Belmont through the destruction of its c.1900 Victorian-Edwardian cusp era weatherboard house [1], which is a rare example in the Shellharbour area and a large contributor to the heritage significance of the item. Based on the structural integrity report, the structural elements of Belmont are in substantial disrepair and do not meet the requirements of current and applicable building codes or Australian Standards. It is impractical and unfeasible to undergo rectification works to upgrade the existing structure to acceptable levels. The resulting construction would likely further damage the structure and by completion of works, very little of the original structure and materials would remain. Therefore, the demolition of these items are permissible from a heritage perspective provided the recommendations are enacted.

8 Recommendations

The following recommendations should be incorporated as conditions of a new development consent should the Project be approved. They are guided by the ICOMOS *Burra Charter* with the aim of doing as much as necessary to care for the place and make it useable and as little as possible to retain its cultural significance.⁵²

Recommendation 1 Archival recording of Belmont

A digital photographic archival recording of Belmont should be undertaken. The archival recording should comply with the NSW Heritage Council guidelines *How to Prepare Archival Records of Heritage Items* and *Photographic Recording of Heritage Items Using Film or Digital Capture 2006*.

The archival recording of Belmont was completed in July 2020.

Recommendation 2 Archaeological investigation required

The analysis for this report has determined that Belmont house has high potential for the survival of archaeological resources of local significance. In NSW, archaeological sites of State or local significance are considered "relics", which are protected by the Heritage Act. Given the potential for local significant archaeological remains to be present within the study area, it is recommended that further archaeological investigation is undertaken.

It is likely that archaeological works will consist of monitoring during demolition works (i.e. removal of floor surfaces, foundations etc.) and any additional ground disturbance works within the study area until archaeological remains or a sterile layer is encountered. Deeper archaeological excavation may be required depending on the nature of remains encountered. The archaeological investigations must:

- Follow the intent of the Heritage Act.
- Be conducted by a suitably qualified heritage consultant who meets the NSW Heritage Council's Excavation Director criteria.
- Be supported by an archaeological assessment (this assessment) and an ARD (**Appendix 4** Archaeological research design).

Recommendation 3 Salvage and reconstruction of dry stone walls C and D

Dry stone walls C and D should be salvaged and reconstructed by an experienced and accredited dry stone waller following regional styles prior to works commencing within the study area. This should be done in accordance with an updated HMP.

Recommendation 4 Update the Heritage Management Plan

The current *Albion Park Quarry Heritage Management Plan* (Cleary Bros (Bombo) Pty Ltd 2017) should be updated to include the archaeological investigations, archival recording of Belmont and the salvage and reconstruction of dry stone walls C and D. The purpose of the HMP would be to address the history, historical themes and significance of the study area, utilising the previous HMP and this SoHI for heritage items and the archaeological resource within the study area. It should contain overarching guidelines for the management of the heritage of the study area.

⁵² Australia ICOMOS 2013

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Appendices

Appendix 1 Dilapidation Survey Report

BELMONT HOMESTEAD, CROOM

DILAPIDATION SURVEY



Prepared for
Mark Hammond

By

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Nominated Architect – Alan Croker, Registration No. 4693

APRIL 2018

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Nominated Architect – Alan Croker, Registration No. 4693

BELMONT HOMESTEAD, CROOM

DILAPIDATION SURVEY

APRIL 2018

1 INTRODUCTION

1.1 Requirement for Dilapidation Survey

Design 5 – Architects have been engaged by Mark Hammond of Cleary Bros (Bombo) Pty Ltd, to provide the dilapidation survey of the place. The building is listed as a heritage item on the Shellharbour Council Local Environment Plan 2013.

In preparing this survey, research was undertaken on the site to record and document the condition of the above property.

1.2 The Project Scope Includes

Inspect and record the condition of the following buildings

- Belmont Residence
- Adjacent Outbuilding

1.3 Author identification

This report was prepared by Pejman Mahabadi and reviewed by Matthew Byrnes of Design 5 - Architects.

▪2 DILAPIDATION REPORT

- **Purpose:** To identify potentially significant existing defects in the building prior to quarrying works being carried out at a location nearby. Generally for the purpose of identifying any subsequent damage caused by such works.
 - **Scope:** A visual site inspection was carried out from floor / ground level. Defects that were visually accessible to inspect were recorded.
 - **Limitations:** Defects in hidden or inaccessible spaces were not recorded. Furniture, art works, wall coverings, floor coverings, fixtures, fittings and finishes were not moved during the inspection. Inspection does not imply a structural adequacy check has been carried out.
 - **Liability:** Design 5 - Architects carried out as thorough an inspection and recording process as circumstances allow. Design 5 - Architects will not be liable for any defects arising or be party to any dispute arising as a result of use of the dilapidation report.
 - **Verification:** A copy of the report will be supplied to the building owner for distribution to the contractor responsible for quarrying works nearby. Where there is any disagreement with the content of the report such disagreements are to be reported to Design 5 - Architects in writing as soon as possible and before construction works continue. The contractor must also satisfy himself that the report is accurate and contains no omissions.
 - **Recording:** Where feasible, defects were photographed with a digital camera in colour. If defects cannot be successfully photographed, a written description will be provided.
 - **Delivery:** Unless otherwise agreed three colour copies of the final report(s) will be issued to the developer to distribute to the owner and to the local authority (if required) and to retain on file. Distribution is the responsibility of the contractor.
- Use of Report:** The report is for internal use only. The report contains images of private spaces and for this reason, it should not be distributed without prior consent from the respective property owner(s).

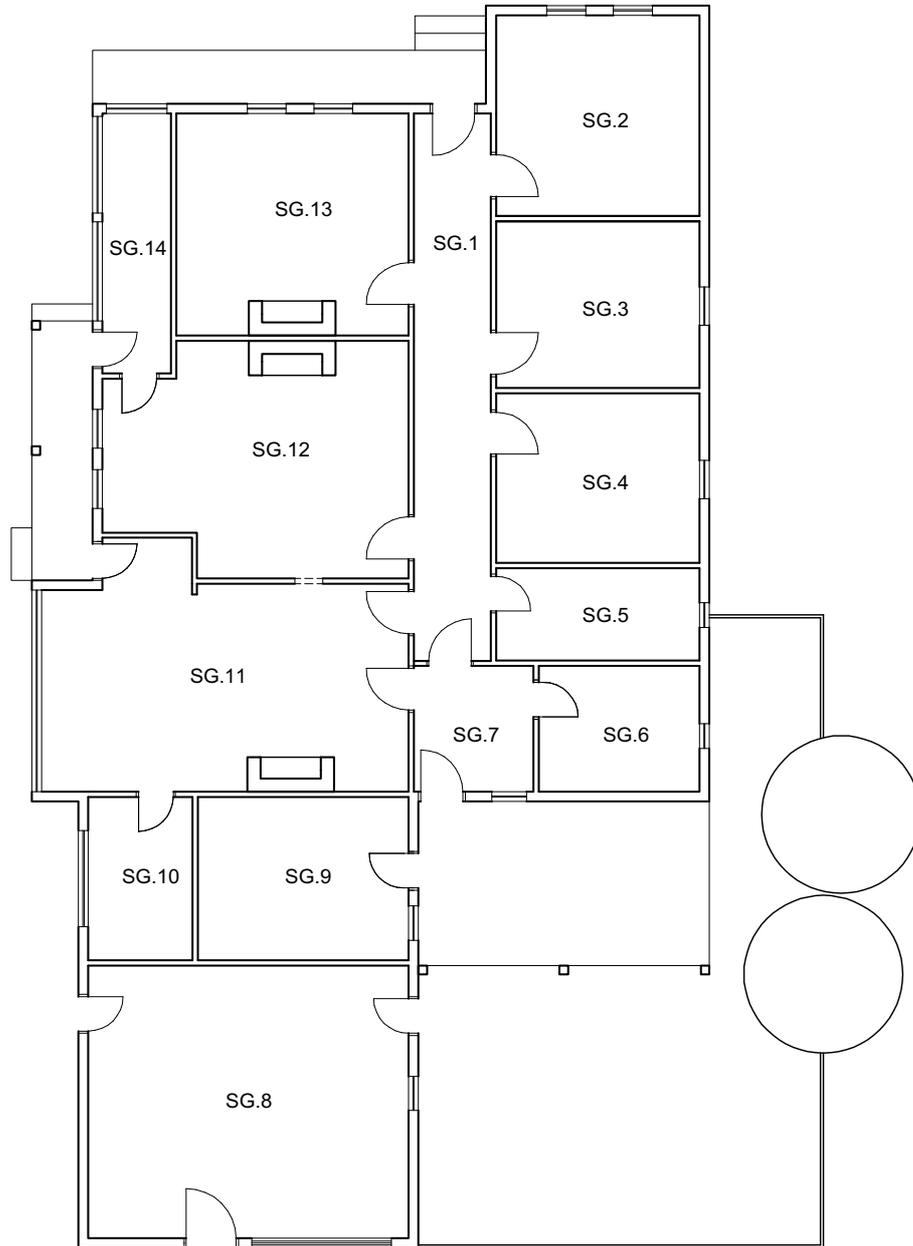
3 OBSERVATIONS AND COMMENTS

Belmont - Homestead	
Plate No.	Comments/Descriptions
01	North elevation of homestead.
02	West elevation of homestead.
03	South elevation of homestead.
04	East elevation of homestead.
05	North elevation of homestead.
06	South-eastern corner of homestead
07	Window in south elevation of SG.3 (Exterior)
08	Brick chimney of SG.11
09	South-eastern corner of homestead showing damaged timber weatherboard cladding and brick base wall.
10	East-southern wall of homestead showing damaged timber weatherboard cladding and brick base wall.
11	South-eastern corner of homestead showing damaged, and timber weatherboards.
12	Eastern elevation showing pair of double hung windows.
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Plate 01



Plate 02



Plate 03



Plate 04



Plate 05



Plate 06



Plate 07



Plate 08



Plate 09



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Plate 11



Plate 12



Plate 13



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Plate 22



Plate 23



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Plate 61



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Plate 64



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Plate 66



Plate 67



Plate 68



Plate 69



Plate 70



Plate 71



Plate 72



Plate 73



Plate 74



Plate 75



Plate 76



Plate 77

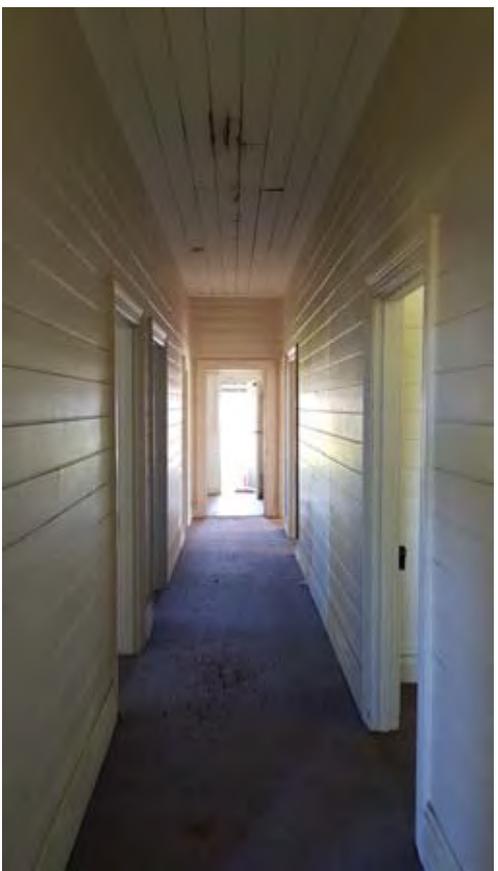


Plate 78



Plate 79



Plate 80



Plate 81



Plate 82



Plate 83



Plate 84



Plate 85



Plate 86



Plate 87



Plate 88

Appendix 2 Albion Park Quarry Heritage Management Plan



Albion Park Quarry

Heritage Management Plan

22 November 2017

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1 INTRODUCTION

This Heritage Management Plan (HMP) forms part of the management documents associated with the Albion Park Quarry operated by Cleary Bros (Bombo) Pty Ltd. The purpose of the document is to manage the impacts to Aboriginal and non-Aboriginal heritage under the approvals received as part of the quarry operations. This HMP has been prepared to address the requirements of Development Consent and all applicable legislation relating to the project.

1.1 Project Background

Cleary Bros has extracted and processed hard rock from its quarries in the Albion Park area since the middle of last century. In May 2005, the Minister for Infrastructure and Planning granted development consent (No. 466-11-2003) for Cleary Bros to extend quarrying into a new area, about 400 metres southeast of the previously operating quarry (“the Original Consent”). The Minister also granted consent for a haul road linking the quarry extension with the existing quarry. The Minister was the consent authority at the time as the proposal was considered “State Significant Development” under provisions (since repealed) of the Environmental Planning & Assessment Act 1979 (“the EP&A Act”).

The Original Consent was the subject of an objector appeal to the NSW Land & Environment Court (LEC) (Proceedings No. 10639 of 2005). In February 2006, the Court approved the quarry extension subject to conditions (“Development Consent”). In November 2008, a modification application (under s.96AA of the EP&A Act 1979) was submitted to the Department of Infrastructure, Planning & Natural Resources (DIPNR) (as it then was) seeking an increase in the approved material production limit from 400,000 tonnes to 800,000 tonnes per annum. On 30 June 2009, the modification was approved for an increase to 600,000 tonnes per annum (10639 of 2005 MOD 1 - Red) was granted which deleted Condition No. 8 of the LEC Consent and replaced it with a modified condition.

In December 2012, a modification application (under s.75W of the EP&A Act 1979) was submitted to the Department of Planning and Infrastructure (DPI) (as it then was), seeking an increase in the approved material production limit from 600,000 tonnes to 900,000 tonnes per annum. On 25 June 2015 the Amended Consent (10639 of 2005 MOD 2 - Green) was granted for this purpose.

The quarry works relative to the Amended Consent have now been operational for the past 8 years. The quarry has operated in a manner consistent with the Amended Consent and in accordance with the approved Albion Park QEMP. The proposal described in this EA regarding Stages 5 and 6 is a continuation of existing quarry operations already reflected in the Amended Consent and seeks, in effect, to activate Condition 6 albeit by way of modification rather than the grant of further development consent. On 7 June 2017, the modification was approved (10639 of 2005 – MOD 3 – Blue).

Modification 3 includes additional conditions related to heritage management, including the requirement to obtain a permit under the *Heritage Management Act 1977* prior to the disturbance of any relic, and a permit under the *National Parks and Wildlife Act 1974* prior to disturbance of any Aboriginal objects or archaeological remains. However, Section 89J of the *Environmental Planning and Assessment Act 1979* (EP&A Act) negates the need of State Significant Developments such as the Albion Park Quarry from securing these permits under other NSW legislation. Therefore, in the event that any previously unidentified relics or Aboriginal artefacts or remains are identified in the course of quarrying activities, Cleary Bros will not be required to obtain those

permits excluded under the EP&A Act. Further discussion around the management of previously unidentified heritage is described in Section 7

1.2 Study area

The Albion Park Quarry is located at Lot 1 DP 858245 and Lot 23 DP 1039967, Dunsters Lane, Croom. The study area is located within the Shellharbour Local Government Area (LGA), Parish of Terragong, County of Camden.

1.3 Heritage Values

The study area has been subject to three surveys for Aboriginal archaeology (Paton 1998; Dallas 2001). These did not identify any Aboriginal objects, however Patton noted a number of areas of sensitivity. These areas were later identified by Dallas as being heavily disturbed or as possessing limited potential for archaeological remains. HLA Envirosciences (2003) undertook an assessment of the study area that identified non-Aboriginal heritage values included the “Kyawana” ruin, “Belmont” house and a series of dry stone walls. The study area is located adjacent to a known heritage item, Fig Tree Hill.

1.4 Purpose and objectives

The purpose of this HMP is to describe how Aboriginal and non-Aboriginal heritage will be protected and managed by Cleary Bros during the project. The key objective of the HMP is to ensure that impacts to Aboriginal and non-Aboriginal heritage are minimised and within the scope permitted by the project approvals. Specific objectives include:

- Ensuring appropriate controls and procedures are implemented during construction activities to avoid or minimise potential adverse impacts to Aboriginal and non-Aboriginal heritage associated with the project.
- Ensuring appropriate measures are implemented to address the relevant Development Consent conditions outlined in Section 2.
- Ensuring appropriate measures are implemented to comply with all relevant legislation and other requirements as described in Section 2 of this HMP.

The project has been subject to multiple approvals and a large proportion of the works associated with the Development Consent have been completed. This includes:

- Section 1, Section 4 and Section 5 which contain archival recordings of the ‘Kyawana’ and ‘Belmont’ properties, the dry stone walls and other heritage elements.
- Section 6 contains plans for the salvage and on-site reconstruction of the drystone walls effected by the project.
- Section 7 contains a plan for the conservation and maintenance of the dry stone wall on the eastern boundary of the allotment.
- Section 8 a plan for dilapidation surveys of the ‘Belmont’ property.

1.5 Consultation with stakeholders

In accordance with the Development Consent this HMP has been prepared in consultation with OEH and the Shellharbour City Council. The OEH and Council were provided with a draft of the Heritage Management Plan during its most recent update in 2017. Council advised they had no issues with the proposed management plan

(correspondence dated 18/10/2017), while OEH provided feedback from two internal agencies (dated 18/10/2017 and 10/11/2017), which have been addressed in this current version of the management plan.

1.6 Authorship

The HMP has been subject to a number of revisions. The original HMP was completed in March 2006 as part of the Original Consent by Navin Officer Heritage Consultants, who drafted and completed the works outlined in Section 1 to Section 8. The conditions of the Development Consent for the project were altered as part of MOD 3, as a result a revision of the HMP was required. Biosis Pty Ltd was engaged to undertake these works and has revised Section 1 and drafted Sections 1 and 2. Additional changes have since been made by Cleary Bros in various sections of the plan to address feedback provided by the DPE and OEH.

2 ENVIRONMENTAL REQUIREMENTS

The following section outlines the environmental requirements of the project including relevant legislation and guidelines that have been used to assist in the formulation of this HMP.

2.1 Relevant legislation and guidelines

Legislation relevant to heritage management includes:

- EP&A Act
- *National Parks and Wildlife Act 1974* (NPW Act)
- *Heritage Act 1977* (Heritage Act)
- *Environment Protection Biodiversity Conservation Act 1999* (EPBC Act) (Commonwealth)
- *Aboriginal and Torres Strait Islander Heritage Protection Act 1984* (Commonwealth).

The main guidelines, specifications and policy documents relevant to this HMP include:

- *Aboriginal cultural heritage consultation requirements for proponents 2010* (DECCW, 2010)
- *Altering Heritage Assets* (Heritage Office and DUAP 1996)
- *Assessing Significance for Archaeological Heritage Sites and Relics* (NSW Heritage Branch Department of Planning)
- *Archaeological Assessment Guidelines* (NSW Heritage Office and NSW Department of Urban Affairs and Planning 1996)
- *How to Prepare Archival Recording of Heritage Items* (Heritage Office, 1998)
- *Photographic Recording of Heritage Items Using Film or Digital Capture* (Heritage Office 2006)
- *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance* (2013)
- *The code of practice for the investigation of Aboriginal objects in New South Wales 2010* (DECCW, 2010).

2.2 Ministers conditions of approval

The conditions of the Development Consent relevant to this HMP including where these are addressed in this HMP are outlined below. The conditions retain green and blue additions associated with the MOD 2 – Green and MOD 3 – Blue.

DC	Condition requirements	HMP reference
51	Within 3 months of the date of this consent, and prior to the disturbance of any relic, the Applicant must prepare a Heritage Management Plan for the development, in consultation with the OEH and Council, and to the satisfaction of the Secretary . The plan must be prepared by a suitably qualified heritage consultant and must include:	Consultation in relation to the HMP is summarised in Section 1.5.
51(a)	a program for baseline dilapidation surveys of residences and other existing buildings on The Fig Tree Hill Land and the 'Belmont' property (subject to reasonable access being granted by the respective landowners). Surveys must be undertaken at least prior to the commencement of each quarrying stage;	Section 8
51(b)	archival recording of 'Kyawana' and 'Belmont' properties, the dry stone walls and other heritage elements affected by the development;	Sections 3 and 4
51(c)	a plan for the salvage and on-site reconstruction of the dry stone walls affected by the proposal, in accordance with a conservation and interpretation strategy;	Section 6
51(d)	a plan for the conservation and maintenance of the dry stone wall on the eastern boundary of the allotment;	Section 7
51(e)	a plan for providing Council the opportunity to salvage any relic proposed to be destroyed by the development, including 'Kyawana';	Section 7
51(f)	measures to manage previously unidentified heritage objects or the discovery of any human remains on site;	Section 7
51(g)	a procedure for obtaining permits under the <i>Heritage Act 1977</i> prior to disturbance of any relic, and permits under the <i>National Parks and Wildlife Act 1974</i> prior to disturbance of any Aboriginal objects or archaeological remains; and	Section 7
51(h)	procedures to ensure ongoing consultation with Aboriginal stakeholders in the conservation and management of any Aboriginal cultural heritage values identified on site.	Section 10
51	Prior to the commencement of quarrying activities in either Stages 5 or 6, the Heritage Management Plan must be revised, in consultation with OEH and to the satisfaction of the Secretary.	Section 1.5
51	The Applicant must implement the approved plan as approved from time to time by the Secretary.	-
52	The dilapidation surveys required under Condition 51 must be conducted by a suitably qualified, experienced and independent person, whose appointment has been approved by the Secretary . The owners of the Fig Tree Hill Land are to supply the applicant with three suggested nominees within 3 months from the grant of this consent. The applicant will submit one engineer from the list to be put forward by the applicant for approval by the Secretary .	Section 8

3 'KYAWANA' – ARCHIVAL RECORDING

3.1 Statement of Why the Record Was Made

The archival recording of 'Kyawana' was done as a part of the Heritage Management Plan required under Development Consents 466-11-2003 and 467-11-2003 and undertaken in accordance with NSW Heritage Office 1998 guidelines 'How to Prepare Archival Records of Heritage Items' (NSW Heritage Office 1998).

3.2 Outline of the History of the Item

Kyawana was originally a part of the Peterborough Estate owned by D'Arcy Wentworth who was granted 1,500 acres in 1821 by Governor Macquarie. Following Wentworth's death in 1827 the estate was divided and his son, Robert, inherited Kyawana. Robert later sold the land and it was eventually owned by George Lawrence Fuller in 1879.

Fuller had extensive land holdings to the south at Dunmore and around Bass Point. He had 9,000 acres, most of which was leased to tenant farmers. Fuller was also involved in quarrying from 1880. Initially, he allowed quarrying on this land for a royalty but later opened up his own quarry at Dunmore.

In 1921 Fuller registered a subdivision plan DP10646 that was surveyed in December 1920 and registered on 29 March 1921. Unusually for subdivision plans, that plan shows fences buildings and dams. The plan acts as a record of the land subdivision at the time. The plan has 38 separate lots. The bulk of the lots are small 20 acre lots west of the railway at Albion Park Rail. The rest of the land appears to have been farms, three lots of between 200 and 265 acres between the railway line and Lake Illawarra. To the south there were lots 1 to 7 with an additional lot, 1A, but missing Lot 4. The size of the lots is shown below.

Lot No	Acreage
1	139 ac
1A	50 ac
2	217 ac
3	110 ac
5	184 ac
6	189 ac
7	255 ac

Lot 1A appears to have been destined to be a quarry, as it takes in the exposed cliffs and the slopes facing north. A road and a rail easement were proposed to be created, which strongly indicates that a

quarry was planned for this area. However, when quarries were established in that area they were located in the gullies on either side of this portion.

Kyawana farm is not depicted on the plan of subdivision. It is located on Lot 1 with an acreage of 139 acres located on the main ridge line of the Wentworth Hills, which curves through the land. Thus the lot has a large area of gently sloping land. The absence of buildings suggests that Kyawana farm was erected after the sale of this land. However, a building is depicted on the 1932 Kiama 1:63360 map, which suggests that the house was built by that time (HLA-Envirosciences 2003:7-8).

Kyawana is now overgrown with vegetation and has fallen into disrepair, being described as derelict. The building is of timber construction with weatherboard cladding and a corrugated iron roof. Sleep outs are in compressed cement sheeting, Surrounding outbuildings have been partly demolished, except for the dairy.

3.3 Statement of Heritage Significance

As noted in the Non-indigenous Heritage Assessment in the Proposed Quarry Extension Albion Park Environmental impact Statement 'Kyawana' is considered to be of moderate local significance (Perram & Partners 2003:5.43).

Although 'Kyawana' has association with D'Arcy Wentworth, it was established at least half a century later than the nearby heritage listed farm, 'The Hill', which was established in the 1860s, and does not contain evidence of early dairying activity in the area (Perram & Partners 2003:5.43). The heritage significance of 'Kyawana' relates to its geographical location and its historical associations rather than the significance of the house itself.

3.4 Inventory of Archival Documents

DP 10646 (Registered 29 March 1921).

Kiama 1:63360 map 1932.

3.5 Photographic Record

See Appendix A.

3.6 Location Plan

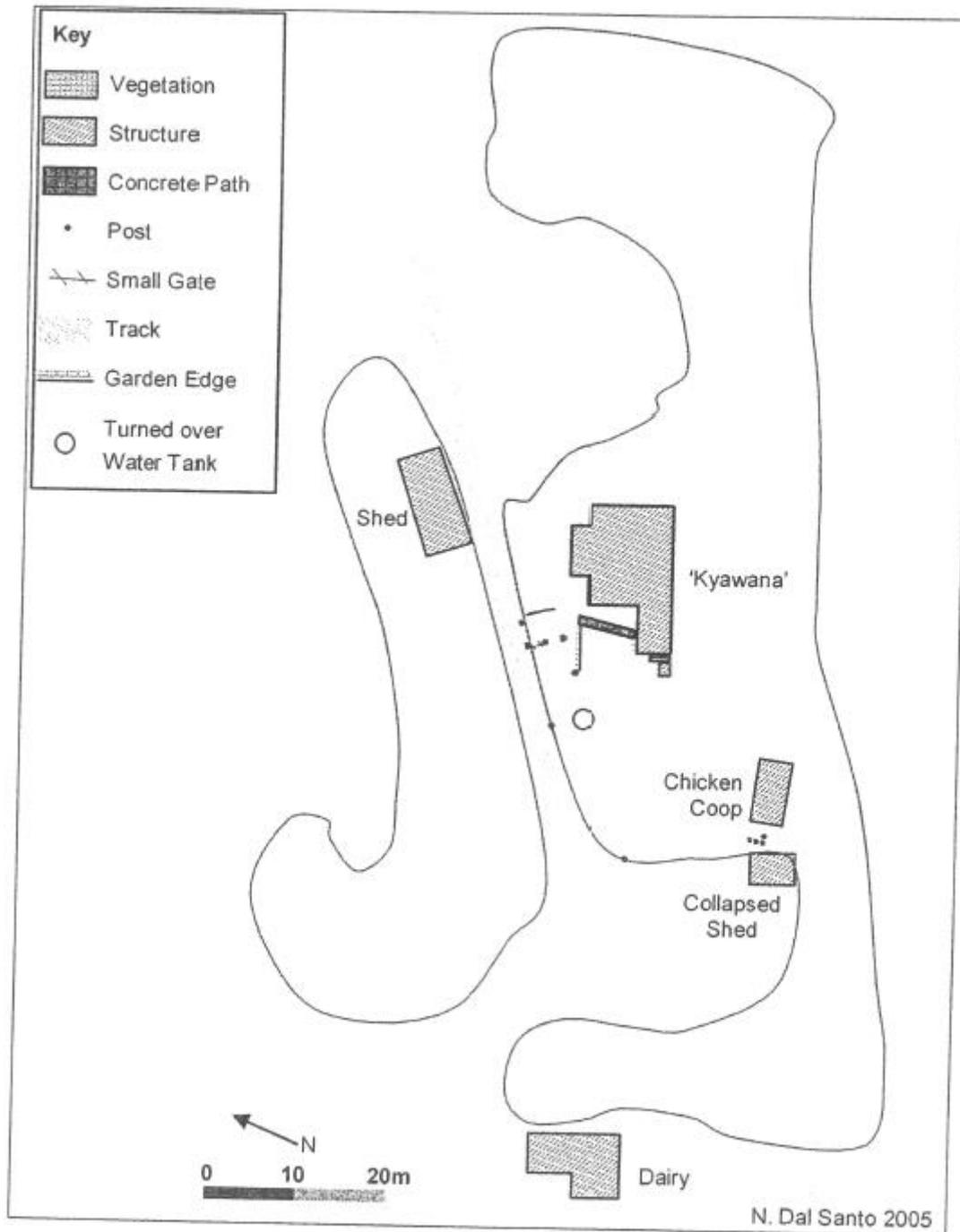


Figure 1 – Location Plan 'Kyawana'.

3.7 Base Plan

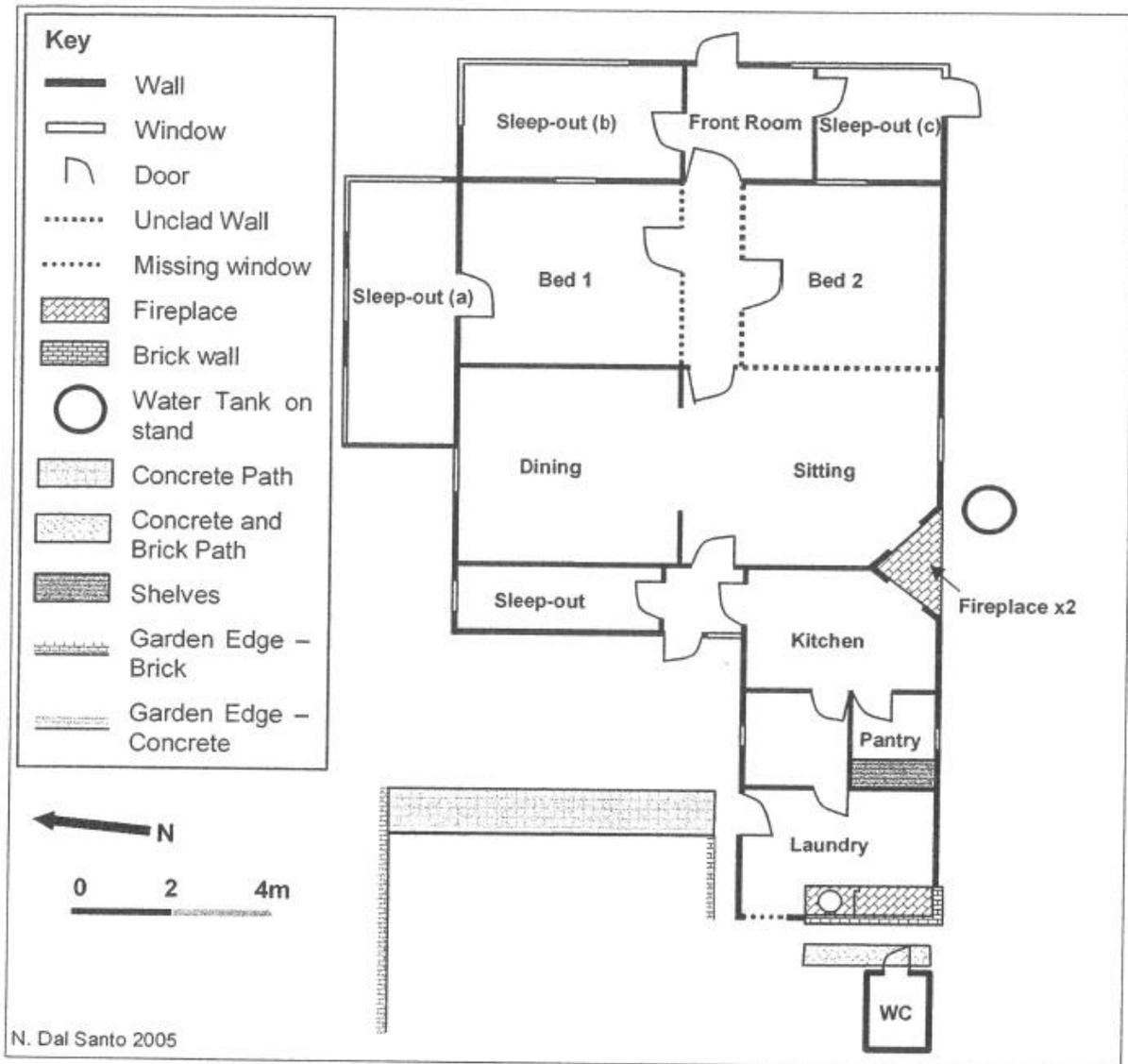


Figure 2 – Base Plan 'Kyawana'

3.8 Archaeological Potential of 'Kyawana'

The potential for there to be archaeological remains below the ground at 'Kyawana' is minimal as the house has been constructed on brick pillars and there is no historic evidence that there was any earlier structure in the vicinity of the current building, as outlined in the history of the item above. On this basis it is considered that there is no requirement for a s139(4) exception or a s140 excavation permit for the destruction of the site. No direct disturbance to 'Kyawana' or the immediate surrounds are proposed as part of the project. The 'Kyawana' site has been assessed as unlikely to retain an

archaeological resource requiring specific archaeological management through the Heritage Management Plan.

4 'BELMONT' – ARCHIVAL RECORDING

4.1 Statement of Why Record Was Made

Although not to be impacted by the development the archival recording of 'Belmont' was done as a part of the Heritage Management Plan required under Development Consents 466-11-2003 and 467-11-2003 and undertaken in accordance with NSW Heritage Office 1998 guidelines 'How to Prepare Archival Records of Heritage Items' (NSW Heritage Office 1998).

4.2 Outline of the History of the item

'Belmont' was a part of the Darley Estate, which was inherited by Catherine Darley after D'Arcy Wentworth's death in 1827. The Dunster family were tenants of the land from around 1859 until it was subdivided in 1900. The subdivision followed the existing pattern of tenancies. Walter Dunster purchased Lot 6, 112 acres on which Belmont stands. Lot 6 was again sold to Samuel Hercules McDonald of Albion Park in December 1912. McDonald retained ownership of the land leasing it to his sons from 1930 to 1937 who inherited it in December 1948.

A formal road reserve leading off Dunsters Lane to Belmont was surveyed and resumed in May 1959. 'Belmont' may not have been established until McDonald took over the property. 'Belmont' would therefore date from about 1912 (HLA-Envirosciences 2003:6-7). The eight edition of the Parish of Terragong, County of Camden, Land District of Kiama (Cancelled 26/5/(19)61) Parish map shows portion 74 forfeited from the Estate and Gazetted on the 30/3/(19)64. This portion is named 'Bellmont' and is in the location where the property is today.

A building is shown at Belmont on the Kiama 1:63360 map that dates from 1932 so it seems likely that the farmhouse was established by that date (HLA-Envirosciences 2003:6-7).

Belmont now consists of the house and gardens and remnant out buildings. The main house is of weatherboard construction with corrugated iron roof. It is roughly rectangular in plan with projecting bays facing the main entrance and to the east, The verandas on each side of the main entrance have been filled in (using modern materials) but the veranda facing east is open giving extensive views to the east. At the rear of the buildings several skillion-roofed extensions are used to house service areas including a garage and a roofed open area at the back door. An extensive fenced garden area is to the south, which appears to contain fruit trees and vegetables. The front entrance is marked by a white picket fence and oleander trees effectively screening the house to the northwest.

4.3 Statement of Heritage Significance

As noted in the Non-Indigenous Heritage Assessment in the Proposed Quarry Extension Albion Park Environmental impact Statement 'Belmont' is considered to be of moderate local significance (Perram & Partners 2003:5.43).

Although 'Belmont' has association with D'Arcy Wentworth and the Dunster family, it was established at least half a century later (probably around 1912) than the nearby heritage listed farm, 'The Hill', which was established in the 1860s, and does not contain evidence of early dairying activity in the area (Perram & Partners 2003:5.43). No direct disturbance to the 'Belmont' homestead is proposed

as part of the project. The 'Belmont' has been assessed as unlikely to retain an archaeological resource requiring specific archaeological management through the Heritage Management Plan.

4.4 Inventory of Archival Documents

Subdivision plan DP 3709 surveyed in 1900.

Kiama 1:63360 map 1932.

Parish of Terragong, County of Camden, Land District of Kiama, Eight Edition Parish Map (image no. 10378601).

4.5 Photographic Record

See Appendix A.

4.6 Location Plan

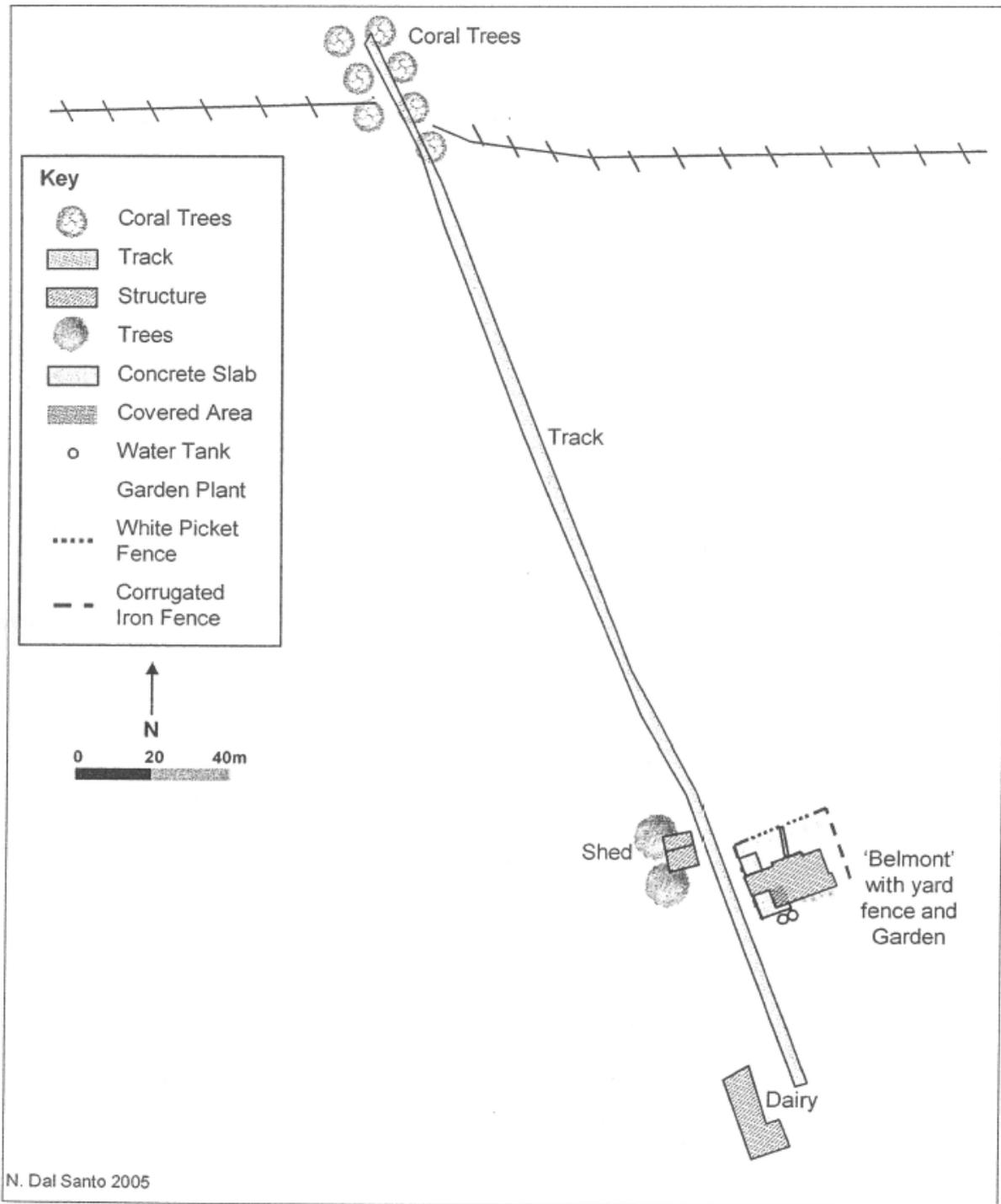


Figure 3 – Location Plan 'Belmont'

4.7 Base Plan

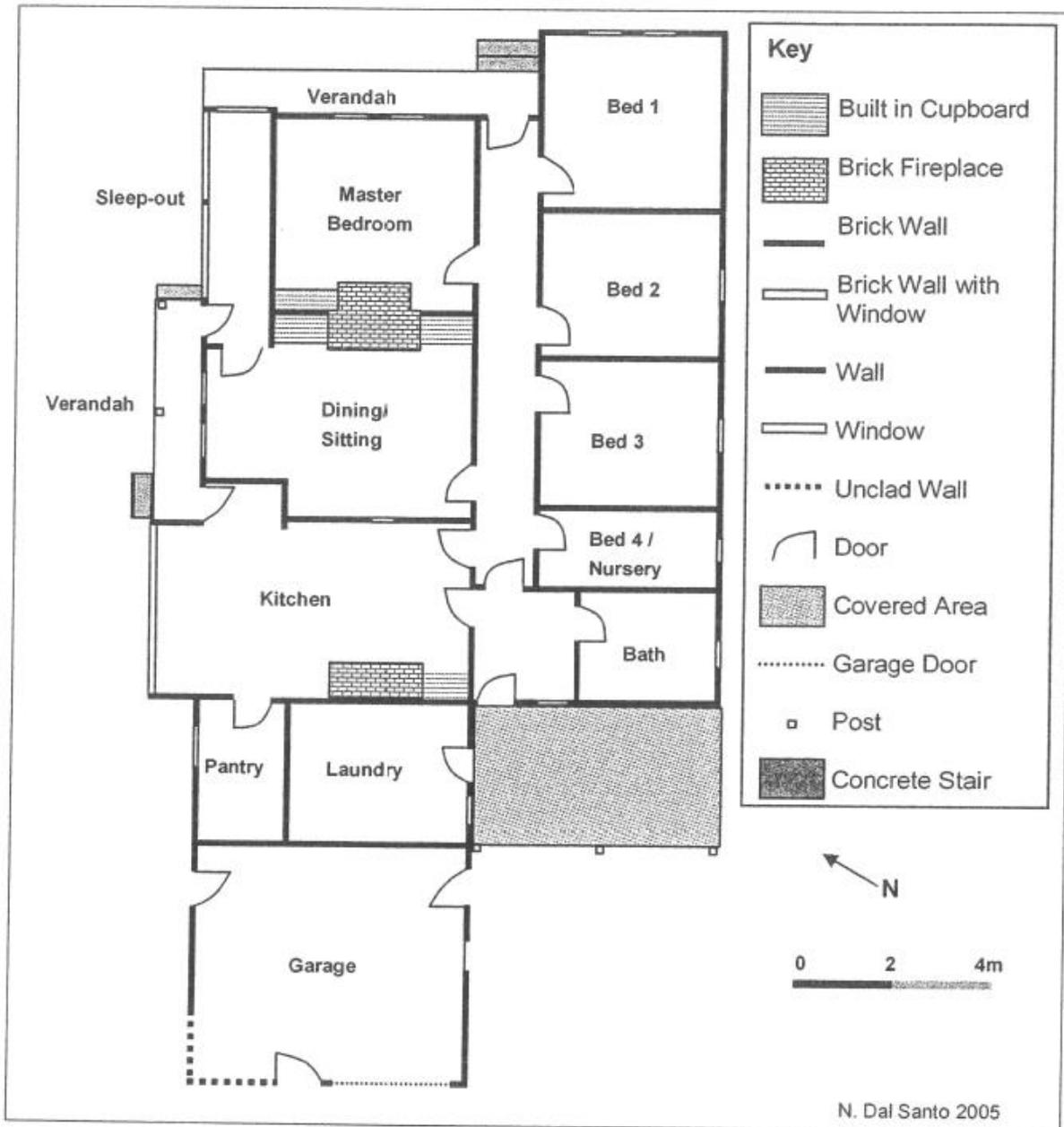


Figure 4 – Base Plan 'Belmont'.

5 DRY STONE WALLS & OTHER HERITAGE ELEMENTS – ARCHIVAL RECORDING

5.1 Statement of Why the Record Was Made

The archival recording of the dry stone walls and other heritage elements was done as a part of the Heritage Management Plan required under Development Consents 466-11-2003 and 467-11-2003 and undertaken in accordance with NSW Heritage Office 1998 guidelines 'How to Prepare Archival Records of Heritage Items' (NSW Heritage Office 1998).

5.2 Outline of the History of the Item

The main evidence within the footprint of the quarry takes the form of fences and dams. Most the fences are standard wire fences but there are three dry stone walls. These are described as:

- A) Small length (25m) over a rock outcrop with wire fence incorporated.
- B) A 109m section on a steep hillslope.
- C) A long section of 136m built along a ridge line with shallow soil.

It should be noted that Wall C runs along the lot boundary on the eastern side of the study area and will not be impacted on by the proposed quarry.

Dams 1 and 2 are very ephemeral and appear more to be piles of rocks that working dam walls. Dams 3, 4 and 5 all contained water during the field inspection.

The interpretation is that the dry stone fences were erected when there were rock outcrops either exposed or just under the ground surface and it was physically impossible to put fence posts in. Certainly they do not enclose anything themselves and only make sense as part of an associated post and wire fence.

Land in the area was granted to D'Arcy Wentworth in 1817 and was subsequently cleared and brought under cultivation or grazing. Dairying began in the Illawarra region in the early nineteenth century and continues in the area today. The dry stone walls, of which there are three and other elements including dams and fence lines are the result of nineteenth century farming activities in the Wentworth Hills area. None of these elements can be precisely dated.

5.3 Statement of Heritage Significance

The stone walls and other heritage elements including fence lines and dams are considered to be of moderate local significance. These features have association with D'Arcy Wentworth, the local dairying industry and nineteenth century farming activities. The dry stone walls have been assessed as unlikely to retain an archaeological resource requiring specific archaeological management through the Heritage Management Plan. Nevertheless, Sections 6 and 7 outline management strategies that will be employed to maintain and conserve the existing character of these structures, as required by the Development Consent.

5.4 Inventory of Archival Documents

There are no archival documents associated with these features.

5.5 Photographic Record

See Appendix A.

5.6 Location Plan

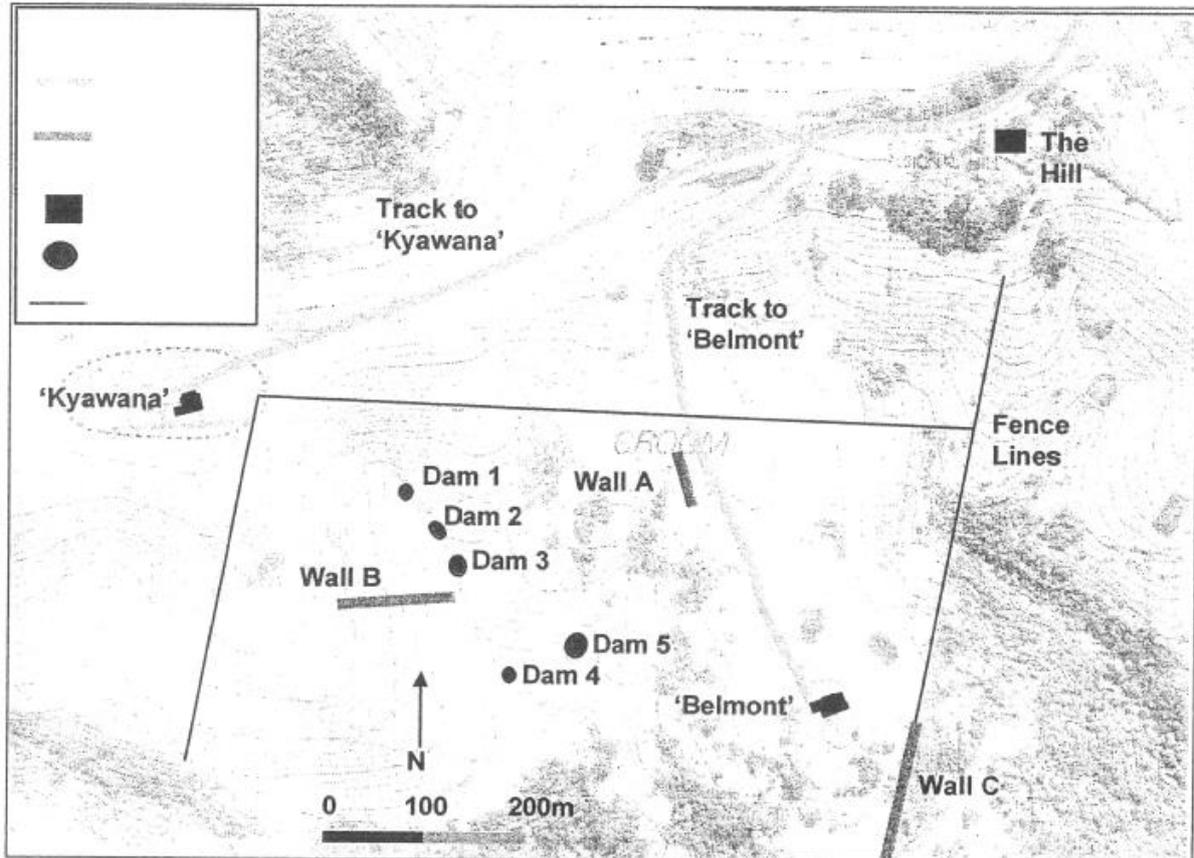


Figure 5 – Location Plan of dry stone walls and other heritage elements (base plan from HLA-Envirosciences 2003).

6 SALVAGE AND ONSITE RECONSTRUCTION OF DRY STONE WALLS A AND B

Dry stone walls A and B are within the development area proposed under development consents 466-11-2003 and 467-11-2003 and as such will be destroyed by the development. The salvage and reconstruction of these relics has involved the complete dismantling of the structures, moving them to a location out of the development area and their reconstruction.

The potential for there to be archaeological remains below ground is very small as dry stone walls are typically constructed on or slightly below the ground surface, approximately 450mm (McAfee 1997:71). This is evident especially at wall A as parts of the wall are built on bedrock. On this basis it is considered that there is no requirement for a s139(4) exception or a s140 excavation permit for the destruction of the site.

The salvage and reconstruction of the structures has been undertaken by an experienced and accredited dry stone waller following regional styles.

Dry stone walls A and B have been reconstructed at the entrance to the Cleary Bros 'Belmont' property, allowing the structures to retain their original associations with the area and placing them in public view (see Figure 6). Two photographs of the reconstructed walls are included below.



Figure 6 – Reconstructed dry stone wall adjacent to the Belmont entrance in 2010.



Figure 7 – Reconstructed dry stone wall adjacent to the Belmont entrance in 2010.

7 CONSERVATION AND MAINTENANCE OF DRY STONE WALL C

Dry Stone Wall C is not within the quarry footprint and as such will not be disturbed by the development. There are three options for the conservation and maintenance of Dry Stone Wall C, located on the eastern boundary of the allotment (see Figure 5), as follows:

1. Leaving the wall in its current state.
2. Clearing vegetation from the wall.
3. Complete reconstruction.

Although Option 1 is the least intrusive, it may leave the structure in danger of becoming derelict. Duggan (1997) stated in his assessment of all of the dry stone walls in the development area that they have been neglected and as a result would all need major repairs to restore them to being functional and lasting structures.

Option 3, the complete reconstruction (that is, its complete dismantling and reconstruction in its present location), would ensure that it survives into the future, however is the most intrusive and may remove part of its existing character and heritage value. If this option is selected then dismantling and reconstruction would be undertaken by an experienced dry stone waller. Where no additional material is used in the reconstruction of the wall then consent is not required from the NSW Heritage Office.

Option 2 has been selected as the preferred option as it would minimise any disturbance to the dry stone wall while aligning with the Development Consent requirement to conserve and maintain the structure. It is intended that vegetation control will be focused on reducing further growth, as complete removal in parts may cause the destruction of parts of the wall. Furthermore, the current land use in the vicinity of this structure will reduce any anthropocentric impacts on the integrity of the dry stone wall.

8 BASELINE DILAPIDATION SURVEY FOR RESIDENCES ON FIG TREE HILL LAND AND THE 'BELMONT' PROPERTY

Under the conditions of the Development Consent, Cleary Bros are required to commission a dilapidation survey of the residences and other existing buildings on The Fig Tree Hill Land and the 'Belmont' property. The dilapidation survey must be conducted by a suitably qualified, experienced and independent person, whose appointment has been approved by the Secretary. The owner of the Fig Tree Hill land are to supply three suggested nominees within 3 months from the grant of consent. One person from that list is to be put forwarded for approval by the Secretary.

Prior to and during the initial stages of quarry development, multiple attempts were made over the space of four years to progress these surveys on residences of the Fig Tree Hill Land. This included letters from Cleary Bros consultants, Cleary Bros preferred surveyor, as well as various phone and face to face discussions between Cleary Bros personnel and the Fig Tree Hill owners requesting that they provide the nominations as described in the Consent. Cleary Bros understands that the Fig Tree Hill owners may have had other priorities at that time and as such were not able to provide the requested nominations. Due to the difficulties encountered with sourcing nominations from a third party whom are not bound by the conditions of the Development Consent, further attempts have not been progressed again until recently.

During the application for Modification 3, to permit extraction from Stages 5 and 6 of the quarry, the landowners of Fig Tree Hill land requested the survey of buildings other than just the residences, which were the subject of the original conditions of Consent. Modification 3 was approved with conditions updated to align with the requests of the Fig Tree Hill landowners. Cleary Bros has subsequently written to Fig Tree Hill requesting three nominees to undertake the dilapidation survey, with direction provided as to where suitable nominees may be sourced. Informal follow up discussions have reminded the owners that Cleary Bros is waiting on a response to be able to progress these surveys. While no response has been received to date, Cleary Bros will undertake the following actions prior to commencing quarrying in Stages 5 and 6 with the aim of undertaking the dilapidation surveys:

- Follow up phone call or face to face communication with Fig Tree Hill representative reminding of request for three nominees to undertake dilapidation survey, and requesting a response;
- Where still no response is received, follow up letter to Fig Tree Hill requesting the landowners accept the Cleary Bros nomination of a single appropriately qualified engineer or company to undertake the dilapidation survey;
- Where still no response is received, follow up phone call or face to face communication with Fig Tree Hill representative reminding of request to accept the Cleary Bros nomination, or alternatively provide three suitable nominees.

Where a response is received from the owners of Fig Tree Hill Land, Cleary Bros will endeavour to undertake the dilapidation surveys as soon as reasonably practicable, which will be taken to represent the dilapidation survey at the commencement of Stages 5 & 6. Where no response is received, no dilapidation survey of the Fig Tree Hill Land buildings will be possible.

9 ENVIRONMENTAL MITIGATION MEASURES

The following mitigation measures have been formulated to satisfy conditions 51(f) to 51(g) of the Development Consent.

9.1 Strategy 1: Heritage inductions and tool box talks

All contractors and Cleary Bros staff working on site will undergo site induction training relating to Aboriginal and non-Aboriginal heritage management issues. The induction training will address elements related to heritage management including:

- Requirements of this HMP and relevant legislation.
- Roles and responsibilities for heritage management.
- Location of identified heritage sites.
- Proposed heritage management and protection measures.
- Procedure to follow in the event of an unexpected heritage item find during quarrying activities.
- Procedure to follow in the event of discovery of human remains during quarrying activities.
- Penalties and non-compliance with this HMP.

Training records for all project personnel will be kept and maintained in a register detailing names, dates, content and type of training undertaken. This HMP should be kept on site at all times and be readily accessible.

The requirements of the HMP and the unexpected finds protocols should be incorporated into tool box talks, where works are commencing in the vicinity of heritage items or sites, the mapping presented in this report should be reviewed and management measures assessed to ensure no impacts outside of the Development Consent are likely to take place.

9.2 Strategy 2: Procedure to follow in the event of unexpected Aboriginal finds

The conditions of the Development Consent require measures to manage previously unidentified heritage objects. Where objects are identified, an assessment will need to be made as to the significance of the object.

The NPW Act defines an Aboriginal object as:

"...any deposit, object or material evidence (not being a handicraft made for sale) relating to the Aboriginal habitation of the area that comprises New South Wales, being habitation before or concurrent with (or both) the occupation of that area by persons of non-Aboriginal extraction, and includes Aboriginal remains..."

The following process should be followed with respect to unexpected finds:

- Should any Aboriginal objects be encountered during works, works must cease in the vicinity and the find should not be moved until assessed by a qualified archaeologist.
- The archaeologist will investigate and assess the Aboriginal object to determine the nature, extent and significance of the find. This will enable recommendations to be provided on how

work can proceed and whether any further investigation is required. The archaeologist should supply written advice to Cleary Bros within 48 hours stating:

- Determination of whether the find is an Aboriginal object.
 - Advice on how the project is to proceed and whether the establishment of any no-go areas is necessary.
 - Recommendation on further works that may be required and timeframe for completion of these works.
- Any Aboriginal objects will be registered on the Aboriginal Heritage Information Management System (AHIMS). Details of the newly identified site will be recorded on the Aboriginal Heritage Information Management System (AHIMS) within five working days of the inspection. Any relevant reporting forwarded to OEH for their records.
 - Where impacts can be avoided, a no-go area will be created around the find based upon the advice of the archaeologist.
 - Where impacts to an Aboriginal object are required, exclusions under the EP&A Act relating to State Significant Developments negate the requirement for Cleary Bros to obtain an Aboriginal Heritage Impact Permit (AHIP) under the NPW Act.
 - The archaeologist's written advice will be supplied to Aboriginal stakeholders, OEH and the Secretary for their review. This will include a statement concerning the find, management measures implemented and notification of any further works arising. Any comments made by the Aboriginal stakeholders, OEH or the Secretary will be incorporated into the written advice prior to finalisation and works proceeding.
 - Should any Aboriginal objects be identified this will trigger a review of this HMP in accordance with Section 10.
 - Work will be able to recommence once further investigations have been completed.

9.3 Strategy 3: Procedure of follow in the event of unexpected non-Aboriginal finds

The conditions of the Development Consent require measures to manage previously unidentified heritage objects. Where additional items are identified, an assessment will need to be made as to the significance of the item. Non-Aboriginal heritage items may include Archaeological 'relics' or other non-Aboriginal items (i.e. works, structures, buildings or movable objects). The Heritage Act defines a relic as:

"...any deposit, artefact, object or material evidence that relates to the settlement of the area that comprises NSW, not being Aboriginal settlement; and is of State or local heritage significance..."

Unexpected relics would include any item of potential heritage significance not identified in the EIS or supplementary Environmental Assessments that may be encountered on site during quarrying activities. This may include any physical object that relates to the 19th century non-Aboriginal settlement of the site.

The following process should be followed with respect to unexpected items:

- Should any suspected non-Aboriginal items be encountered during works associated with this proposal, works will cease in the vicinity and the find should not be moved until assessed by a qualified archaeologist.
- The archaeologist will investigate and assess the non- Aboriginal item to determine the nature, extent and significance of the find. This will enable recommendations to be provided on how work can proceed and whether any further work is required. The archaeologist should supply written advice to Cleary Bros within 48 hours stating:
 - Determination of whether the find is a non-Aboriginal item.
 - Advice on how the project is to proceed and whether the establishment of any no-go areas is necessary.
 - Recommendation on further works that may be required and timeframe for completion of these works.
- Where the archaeologist identifies the item as a relic of heritage significance, Cleary Bros will notify and provide the archaeologists written advice to the Heritage Council of the find prior to any further disturbance and within 7 days.
- Where impacts can be avoided, a no-go area will be created around the find based upon the advice of the archaeologist.
- Where the item is determined to be a relic and will be impacted, exclusions under the EP&A Act relating to State Significant Developments negate the requirement for Cleary Bros to obtain a permit under the Heritage Act. Nevertheless, an assessment will be undertaken in accordance with the NSW Heritage Manual (1996) and its subsequent updates and associated documents.
- The assessment will be provided to the Heritage Council of NSW and the Secretary for review. This will include a statement concerning the find, management measures implemented and notification of any further works arising. Any comments made by the Heritage Council or Secretary will be incorporated into the written advice prior to finalisation and works proceeding.
- In the event that any relic is proposed to be destroyed, Council will be notified and provided with the opportunity to salvage the relic.
- Should any non-Aboriginal item be identified this will trigger a review of this HMP in accordance with Section 10.
- Work will be able to recommence once further investigations have been completed.
- Where impacts to the site are able to be avoided or mitigated, monitoring of the condition of the site may need to take place.

9.4 Strategy 4: Procedure to follow in the event of the discovery of human remains

If any suspected human remains are discovered during operations, all activity in the area must cease. The following process must be undertaken:

- Immediately cease all work at that location and not further move or disturb the remains.
- Notify the NSW Police, the Secretary and OEH's Environmental Line on 131 555 as soon as practicable and provide details of the remains and their location.

- Establish an appropriate no-go area. This will need to be established in consultation with NSW Police, OEH and if necessary a qualified archaeologist.
- Works will not be able to recommence within the location of the find until confirmation from NSW Police and OEH is obtained. If the remains are confirmed as not being human then works may recommence. In the event that remains are human then Cleary Bros will consult with NSW Police, OEH and the Aboriginal stakeholders to establish a plan of management.
- Works in the vicinity of the find will only be able to commence once the plan of management has been established and approval has been obtained from all relevant parties.
- Should any human remains be identified this will trigger a review of this HMP in accordance with Section 10.

10 REVIEW AND IMPROVEMENT

10.1 Continuous improvement

Opportunities for the improvement of this HMP may be identified through the ongoing evaluation of environmental management performance against environmental policies, objectives and targets. The purpose of this is to:

- Identify opportunities for the improvement of environmental management and performance.
- Determine the cause or causes of non-conformances and deficiencies.
- Development and implementation of a plan of corrective and preventative actions to address any non-conformances and deficiencies in this HMP.
- Corroborate the efficiency of the corrective and preventative actions.
- Document any changes in procedures resulting from process improvement.
- Revise the objectives and targets of this HMP accordingly.

10.2 HMP update and amendment

The processes described in Section 7 of this HMP may result in the need to update or revise this plan. This will occur if there are unexpected finds, incidents to heritage items, or as needed. A copy of the updated HMP and changes will be distributed to all stakeholders required by the Development Consent.

In the event that Aboriginal objects or ancestral remains are identified and impacts are anticipated, Aboriginal community consultation will be required as described in Section 7. The approvals for Albion Park Quarry have not required formal consultation with Aboriginal stakeholders. Consultation would only be required where significant changes to the management of Aboriginal objects are proposed as part of the HMP update.

11 REFERENCES

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APPENDIX A – PHOTOGRAPHIC RECORD

Catalogue of Black and White Photographic Record

Film	Location	Base Plan	Photo No.	Description
A (5863)	Kyawana	1	1	Through door of sleep-out (c). Room was not accessible at the time of recording. Note: fibro board clad walls.
		1	2	Through door if sleep-out (b). Room was not accessible at the time of recording. Note: fibro board clad walls; horizontally sliding windows.
		1	3	Hallway looking towards sleep-out (b) and (c) and front room. Note: floor boards; unclad walls of bed 1 and 2; pendant light; horizontal timber cladding.
		1	4	Bed 1. Note: single hung double pane window, missing floor and wall cladding; horizontal timber cladding.
		1	5	Sleep-out (a). Room not accessible at time of recording. Note: corner horizontally sliding windows; fibro board clad walls.
		1	6	Unclad walls of Bed 2. Note: decorative picture; horizontal timber cladding.
		1	7	Dining. Note: single hung double pane window, decorative picture rail; missing cladding and floor boards; damaged wall paper; horizontal timber cladding.
		1	8	View into dining from sitting. Note: archway that may once have been a door; decorative picture rail; missing wall cladding; horizontal timber cladding.
		1	9	Sitting. Note: rendered brick corner wall and fireplace; missing window, pendant light; decorative picture rail; fibro board clad walls.
		1	10	Front room. Note; horizontal and vertical timber cladding; horizontally sliding windows.
		1	11	Sleep-out (d). Room was not accessible at the time of recording. Note: fibro board clad walls; horizontal timber cladding on ceiling.
		1	12	Kitchen. Note: fibro board clad walls; missing window, missing kitchen sink.
		1	13	Kitchen. Note: rendered brick stove fireplace and wall; fibro board clad walls; missing ceiling.
		1	14	Pantry. Room was not accessible at the time of recording. Note: built in cupboards; fibro board clad walls; missing ceiling.

Film	Location	Base Plan	Photo No.	Description
		1	15	Room between kitchen and laundry. Note: fibro board clad walls; decorative door lintel.
		1	16	Room between kitchen and laundry. Note: jalousie window, fibro board clad walls; ceiling light; change in cladding of ceiling.
		1	17	Laundry. Note: rendered brick copper; fibro board clad walls; missing ceiling.
		1	18	Laundry. Note: rendered brick fireplace and copper; missing ceiling; fibro board clad walls.
		1	19	Laundry. Note: fibro board and horizontal timber clad walls; missing cladding and ceiling; pantry can be seen through broken fibro board.
		1	20	Laundry through broken window. Note: graffiti; fibro board clad walls; missing ceiling.
		1	21 & 22	WC. Note: toilet; horizontal timber cladding; concrete floor.
		1	23 & 24	View towards corner of house and WC (facing west). Most of the outside of the house was not accessible at the time of recording due to vines covering the whole of the outside of the house. Note: brick wall; possible fence post and garden bed; weatherboard clad WC.
		1	25	View towards southern side of house (facing north). Brick wall visible through vines covering house.
		1	26	View of southern side of house (facing east). Note: brick wall; vines.
		1	27	View of WC (facing south). Note: weatherboard cladding; concrete path; covering vines.
		1	28	View of western side of house and WC (facing south). Note: weatherboard cladding on house and WC; concrete path; fallen down window on ground.
		1	29	View of western side of house (facing east). Note: half brick wall; weatherboard cladding; missing window.
		1	30	View of northern side of house, sleep-out (d) (facing south). Note: vertical timber clad wall; missing window.
		1	31	View of northern side of house, sleep-out (a) and side wall (facing east). Note: weatherboard and fibro board cladding with some sections missing.
		1	32	View of northern side of house (facing south). Note: brick pillar foundations; weatherboard cladding.

Film	Location	Base Plan	Photo No.	Description
		1	33 & 34	View of northern side of house (facing south). Note: vine cover; weatherboard cladding; side door to laundry.
		1	35 & 36	View of northern side of house (facing east). Note: weatherboard cladding with some missing slats.
B (5864)	Kyawana	2	1	View from shed up track to house (facing west).
		2	2	Shed. The whole of outside of the shed was not accessible at the time of recording. Note: sliding mechanism of door.
		2	3	Shed. Inside of eastern corner. Note: corrugated iron cladding; timber construction.
		2	4	Shed. inside of western corner. Note: corrugated iron cladding; timber construction.
		2	5	Small gate covered by vines.
		2	6	View down track from house (facing east).
		2	7	Brick found near dairy showing makers mark.
		2	8	View from dairy towards house (facing east).
		2	9	Dairy, south-east corner. The dairy will not be destroyed.
		2	10	Dairy, southern side.
		2	11	Dairy, western side.
		2	12	Dairy western side. Note: concrete slab.
		2	13	Dairy, north-west corner.
		2	14	Dairy, northern side.
		2	15	Collapsed shed and house (covered by vines) (facing east).
		2	16	Collapsed shed.
		2	17 & 18	View from chicken coop to the back of the collapsed shed.
		2	19	Northern side of chicken coop. Whole of chicken coop was not accessible at the time of recording.
		2	20 & 21	Chicken coop and post (facing west)
		2	22	Turned over water tank (facing west)

Film	Location	Base Plan	Photo No.	Description
		2	23 & 24	View from post of concrete path/slab towards house (facing south).
		1	25	Dining. Detail of decorative picture rail; horizontal timber cladding; decorative curtain rod holders.
		1	26	Kitchen. Detail of missing ceiling.
		1	27	Laundry. Detail of switches later covered by fibro board.
		1	28	Laundry. Detail of join of horizontal timber cladding and fibro board clad walls.
		1	29	Kitchen. Detail of twin doors into pantry and through to laundry.
		1	30	Sitting. Detail brick fireplace.
		1	31	Sitting. Detail internal structure of horizontal timber cladding.
		1	32	Dining. Detail of pendant light, the same light is also in dining room.
		1	33	Bed 2. Detail of pendant light, the same light is in bed 1.
		1	34	Hallway. Detail of internal joinery of door.
		1	35	Front room. Detail of light fitting on wall.
		1	36	Front room. Note: fibro board clad walls and ceiling; small amount of window is visible from sleep-out (c) piano on floor.
C (5867)	Belmont	4	1	View from fence to shed (facing west).
		4	2	View form Belmont to Kyawana (facing west)
	Wall A	5	3	View from end of wall A to Belmont (facing south)
		5	4	View from wall A to Kyawana (facing west)
		5	5	Wall A (facing west). Note: southern end of wall built on bedrock.
		5	6	Wall A
		5	7	Wall A and wider landscape.
	Landscape	5	8	View up Belmont track to coral trees (facing north).
		5	9, 10, 11	View along track of coral trees and Belmont (facing south)
		5	12	View from Dunsters Lane to Belmont.
		5	13	View from Dunsters Lane to Kyawana.

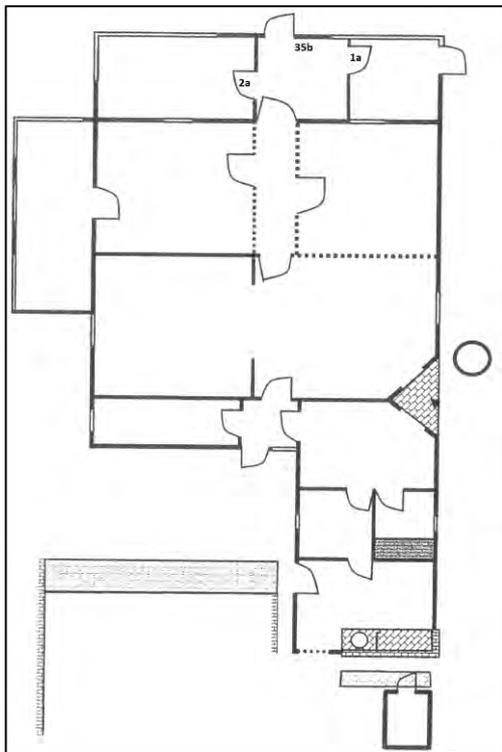
Film	Location	Base Plan	Photo No.	Description
	Dams and Wall B	5	14	Dam 1 (facing east)
		5	15, 16, 17	Dam 2 (facing east)
		5	18	View from Wall B to Kyawana (facing north-west)
		5	19	View of dams 1 and 2 from Wall B.
		5	20	View from Wall B to Belmont (facing south-east)
		5	21	Dam 3 (facing east)
		5	22	Dam 4 (facing south-east)
		5	23	Dams 4 and 5 (facing south-east)
		5	24	Wall B to Dam 3 (facing north)
		5	25	Wall B detail of mid section (facing north)
		5	26	Wall B detail of vegetation invasion (facing south)
		5	27, 28	Wall B (facing south-east)
		5	29, 30	Wall B, view of western end of wall (facing east)
		5	31	Wall B, vegetation covered section (facing west)
		5	32	Wall B (facing east)
	Landscape	5	33	Dams 2 to 5 and Wall B (facing south)
		5	34	View of Belmont from Kyawana (facing south-east)
		5	35	View of Wall B from Kyawana (facing south-east)
		5	36	View of Kyawana from the end of track (facing west)
D (5868)	Belmont	4	1 & 2	Eastern side, detail of foundations.
		3	3	Verandah and internal detail of bullnose.
		3	4	Northern side (facing east)
		5	5 & 6	View from Belmont to Wall B and Kyawana (facing west)
		4	7 & 8	View from fence up track (facing north)

Film	Location	Base Plan	Photo No.	Description
		5	9	View to Wall C (facing east)
	Wall C	5	10	Detail
		5	11	Wall C to Belmont (facing north-west)
		5	12	Detail showing vegetation cover.
		5	13	Detail
		5	14	View east.
	Belmont	3	15 & 16	Laundry. View from back of room towards door. Note: single hung double pane window, four panelled door.
		3	17	Laundry. View from door into room. Note: fibro board clad walls and ceiling; concrete floor; ceiling light.
		3	18	Garage. Note: unclad walls; roller door; corrugated iron clad walls.
		3	19	Garage. Note: fibro board clad walls; roller door; fluorescent troffer light.
		3	20	Hallway and entrance to kitchen. Note: four panelled door; horizontal timber cladding.
		3	21	Bed 4/Nursery. Note: horizontal timber cladding; gaps in corner for shelves; four panelled door; lino floor.
		3	22	Bed 4/Nursery. Note; single hung double pane window, horizontal timber cladding; pendant light; curtain light and curtains.
		3	23	Bed 3. Note: four panelled door; pendant light; horizontal timber cladding; lino floor.
		3	24	Bed 3. Note: four panelled door; pendant light; horizontal timber cladding; lino floor; single hung double pane window.
		3	25	Bed 4. Note: four panelled door; pendant light; horizontal timber cladding; lino floor.
		3	26	Bed 4. Note; four panelled door; pendant light; horizontal timber cladding; lino floor; single hung double pane window.
		3	27	Detail of projected window above front door.
		3	28	Front door. Note horizontal timber cladding of walls and ceiling; four panelled door; lino floor.
		3	29	Master Bedroom detail of pendant light.
		3	30	Bed 1. Note: plastered walls; carpet flooring; plaster ceiling moulding.

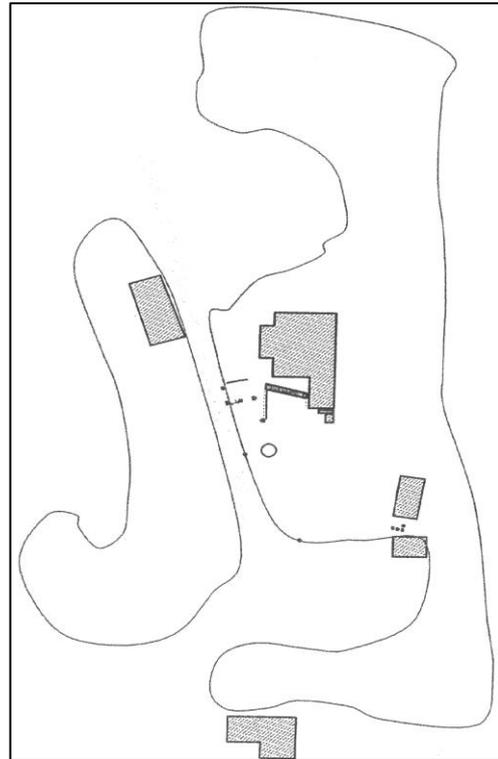
Film	Location	Base Plan	Photo No.	Description
		3	31	Bed 1 detail of pendant light.
		3	32	Bed 1 detail of plaster moulding.
		3	33	Bed 1. Note two single hung double pane windows.
		3	34	Dining/Sitting detail of built in cupboard.
		3	35	Dining/Sitting detail of brick fireplace and rendered brick wall.
		3	36	Dining/Sitting detail of built in bookcase and cupboard.
E (5869)	Belmont	3	1	Master bedroom detail of single hung double pane window internal pulley
		3	2	Master bedroom. Note: four panelled door; horizontal timber cladding; carpet flooring.
		3	3	Master bedroom detail pendant light.
		3	4	Master bedroom. Note: two single hung double pane windows.
		3	5	Master Bedroom detail of built in cupboard.
		3	6	Master bedroom detail of fireplace.
		3	7 & 8	Master Bedroom. Note: decorative brick and painted wood fireplace; rendered brick wall; built in cupboard; horizontal timber cladding; carpet flooring; four panelled door.
		3	9	Sleep-out. Note: tiled floor; aluminium horizontal sliding windows; weatherboard of original external wall.
		3	10	View from Dining/Sitting into sleep-out.
		3	11	Dining/Sitting detail pendant light.
		3	12	Dining/Sitting. Note: two single hung double pane windows; horizontal timber cladding.
		3	13	Dining/Sitting. Note: servery window, horizontal timber cladding; four panelled door; picture rail; carpet flooring.
		3	14	Dining/Sitting. Note: built in cupboards; brick fireplace; carpet flooring; glass panelled door to sleep-out.
		3	15	Hallway. Note: horizontal timber cladding; lino floor; ceiling light.
		3	16	Bath. This room has been recently renovated. Note: tiled floor and walls; modern shower fittings and vanity; single hung double pane window.

Film	Location	Base Plan	Photo No.	Description
		3	17	Room between kitchen and bath. Note: batten door; horizontal timber cladding; coat rack; lino floor.
		3	18	Kitchen. Note: stove and built in cupboard; brick surrounding stove; lino floor, horizontal timber cladding.
		3	19	Kitchen. Note: lino floor; difference in ceiling height; modern stove and fridge; sink and cupboards; low brick wall; horizontally sliding windows; fluorescent troffer lights.
		3	20	Pantry. Note: built in cupboards; lino floor; fluorescent troffer lights; fibro board clad walls and ceiling.
		3	21	Kitchen. Note: lino floor, difference in ceiling height; modern stove and fridge; sink and cupboards; low brick wall; horizontally sliding windows; fluorescent troffer lights.
		4	22	Northern side of house (facing south).
		4	23	Northern side (facing east).
		4	24	Northern side (facing south-west).
		4	25	Eastern side (facing north-west).
		4	26	Eastern side view of outside of Bed 1.
		4	27	Eastern side from outside fence (facing north-west).
		4	28 & 29	Southern side of house (facing north-west).
		4	30	South-eastern corner of house (facing north-east). Entrance to laundry and room between kitchen and bath.
		4	31	Western side of house (facing north-east).
		4	32	Western side of house (facing east).
		4	33	View of western side of house from shed (facing east).
		4	34	South-eastern corner of shed (facing north-west).
		4	35	North-eastern corner of shed (facing south-west).
		4	36	Eastern side of shed (facing west).

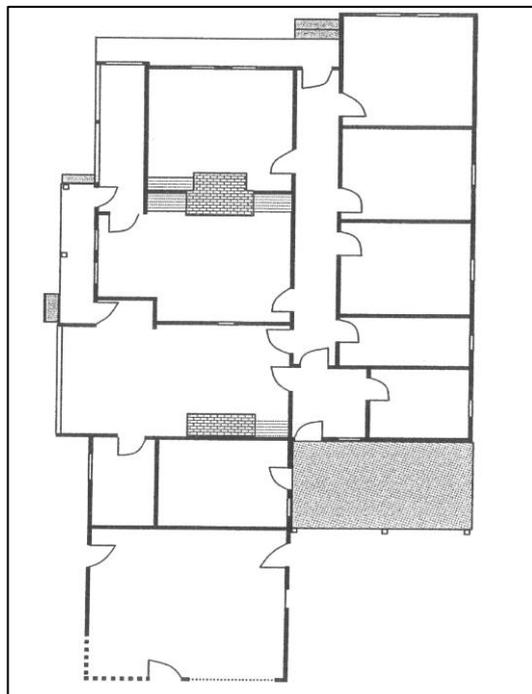
Plans



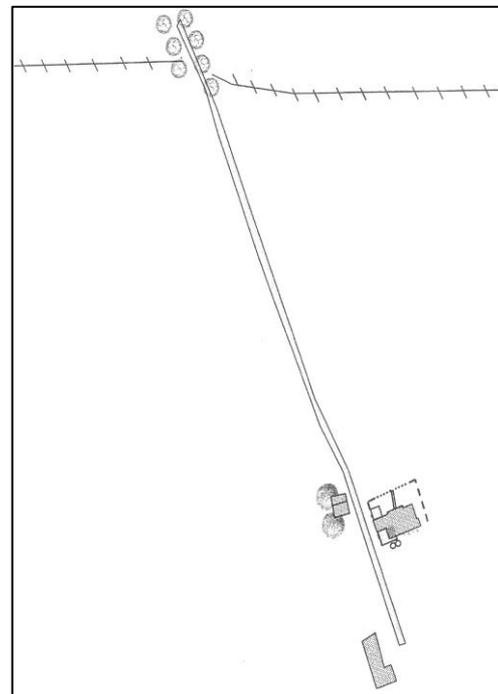
Base Plan 1



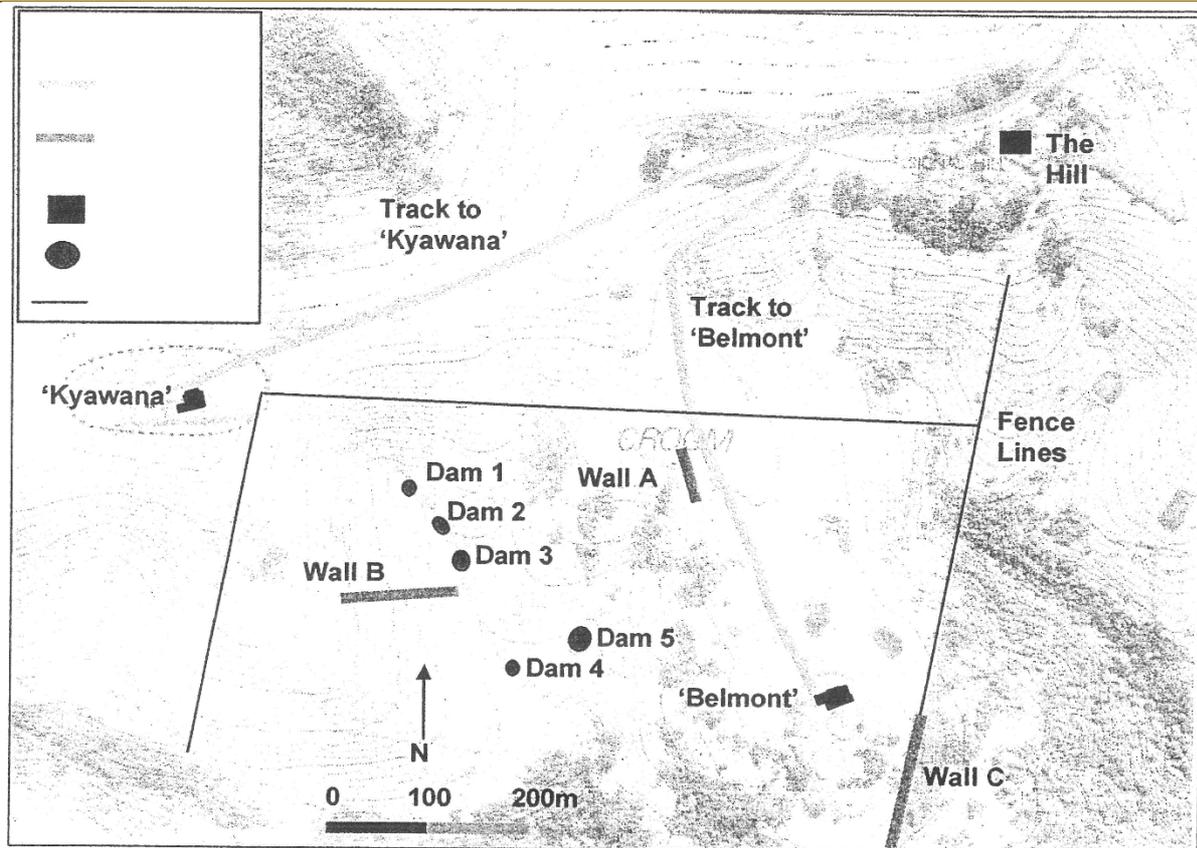
Base Plan 2



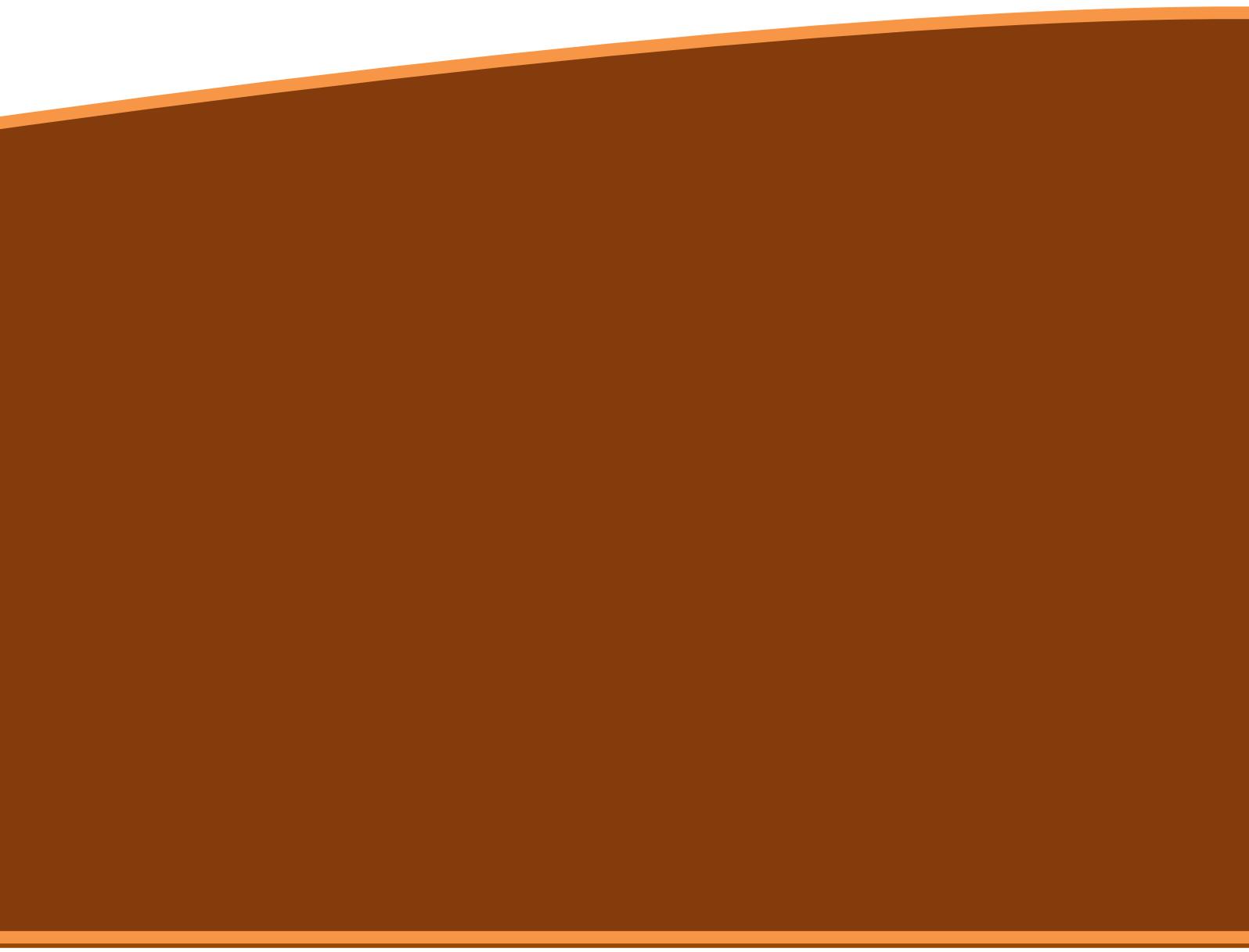
Base Plan 3



Base Plan 4



Base Plan 5



Appendix 3 Structural integrity report

PROJECT MANAGEMENT

SURVEYING

CIVIL

STRUCTURAL

SEWER & WATER

Structural Integrity Report

for
Belmont House

at
**207 Dunsters Lane
Croom NSW 2527**

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APPENDIX A - BUILDING INSPECTION PHOTOS

DRAFT

1 INTRODUCTION

KFW have been engaged by Cleary Bros P/L to investigate and report on the structural integrity of the existing structures at 207 Dunsters Lane, Croom NSW known as the Belmont homestead.

The purpose of this report is to detail the assessment of the existing structure as measured against the current Australian Standards and provide commentary on the suitability of the structure for future use.

This report is to be read in conjunction with other site investigations and reports including the Statement of Heritage Impact by Biosis (Report no. 27145, dated 10 August 2018).

2 SITE DESCRIPTION

The Belmont homestead is located approximately 4km inland of the Shellharbour coast and is directly east of the existing rock extraction quarry owned and operated by Cleary Bros.

The homestead consists of a main residential structure and a separate minor structure of late 19th century construction. Neither the buildings or site are currently in use beyond grazing for livestock.

All existing structures are in a severe state of dilapidation and is detailed in **Section 4**.



Figure 1.1 – Site Locality, Belmont Homestead (Nearmap, 2018)

3 HISTORY

With reference to the Biosis report the Belmont homestead area is listed as an area of local heritage significance but is not listed or mentioned in the national register. Further details to the heritage and history of the main building and outlying features are detailed in the report by Biosis.

4 SITE INVESTIGATION

A visual inspection of the site by KFW personnel was conducted on the 30 October 2018 and included the measurement of existing timber walls, concrete slabs, structural foundations and steelwork.

Photos taken during the site investigation, and referenced in this section, are attached in **Appendix A**.

A summary of the condition of the structural elements is as follows:

Concrete Slab, Veranda (Eastern Side)

- Substantial damage through existing concrete. Slab fractured completely through from top surface to underside.
- Concrete appears to be completely unreinforced as observed through large cracks.
- Loss of support due to rotation of footings and lacking in fixture to footings.

Footings

- Consist of mortared rocks and occasional bricks arranged to support the perimeter walls of the house and slab.
- No reinforcement or formal concrete footing structure was observed beneath the mortared rocks. Footings are assumed to be composed entirely of the rock formations.
- Mortared joints are full of voids and lacking in bonding to adjacent blocks.
- Bulging and translation of footings have resulted in movement of the floors and building.
- No visual to subfloor supports, assumed a minimum of block piers similar in design to the perimeter footings.
- Timber sections have been used as supplementary to the brickwork footings.

Timber Structure

- Significant dilapidation to all timber cladding and observable framing.
- Timber posts to awning damaged beyond repair and deflecting at the base.
- Internal timber floors have places of noticeable deflection, presumably due to failure of timber support structure to subfloor.
- Perimeter and internal walls misaligned due to structure having shifted on its foundations.
- Roof support structures observed to have noticeable midspan sag, most noticeable in kitchen area.

Steelwork

- Highly rusted and weathered but no notable structural damage or defects.

Site investigation was limited to what was immediately observable without destructive interference with the existing structure. As such, no internal framing was inspected beyond what was viewed through destroyed cladding.

Observations towards the deflections and sagging of the structure have assumed the internal timber to be compromised but a more thorough investigation involving the stripping of cladding, plaster and veneers to inspect the timber frame would be required to make a more accurate assessment.

5 ASSESSMENT & RECTIFICATION RECOMMENDATIONS

Assessment Criteria:

The assessment criteria as shown below have been applied to determine the adequacy of the existing structures.

- Dead and Live Loads (also known as Permanent and Imposed Actions) in accordance with AS/NZS 1170.1 – 2002
- Steel Connections – in accordance with AS 1252 – 1996 & AS 4100 – 1998
- Residential slabs and footings – in accordance with AS 2870 - 2011
- Concrete Structures - in accordance with AS 3600 – 2018.
- Structural Steel Part 1 - in accordance with AS 3679.1 – 2010.
- Masonry Code - in accordance with AS 3700 – 2018.
- Steel Structures - in accordance with AS 4100 – 1998.

The structures footings and foundations are deemed significantly inadequate as measured against the current building codes and design standards listed above.

Further investigation would be required to provide a more detailed assessment of the internal timber framework, but preliminary assessment indicates that the existing timber structure is in poor condition with notable deficiencies to supports. These deficiencies pose a potentially significant safety hazard to any occupants.

The existing concrete veranda slab and support cannot be assessed against the codes for concrete construction as it has failed wholly and can no longer be considered serviceable.

Rectification Works

To bring the existing structure in agreement with the required building codes and Australian Standards the following works would be required:

- Removal and replacement of all foundations including:
 - Remove block footings and piers,
 - Remove timber footing sections,
 - Construction of appropriate strip and pad footings as per AS2870,
 - Reconnection of existing structure to footings where possible.
- Replacement of subfloor supports and joists.
- Replacement of internal timber wall framing compromised due to weathering and building movement.
- Investigate and replace timber bracing and roof tie downs to current building standards.
- Replacement of timber roof supports compromised due to weathering and building movement.
- Repair and recoating of the steelwork being retained.

Due to the extents of the required works it is considered practically unrealistic and economically unfeasible to achieve this outcome without further compromising the structural integrity of the structure as very little of the building is sound enough to withstand the shift in loading resulting from construction.

6 CONCLUSIONS

Based on visual investigation and site measurements of the existing structure it is apparent that the existing structural elements of the Belmont homestead are in substantial disrepair and do not meet the requirements of current and applicable building codes or Australian Standards.

It is also considered to be wholly impractical and unfeasible to undergo rectification works to upgrade the existing structure to acceptable levels. The resulting construction would likely further damage the structure and by completion of works, very little of the original structure and materials would remain.

7 REPORT LIMITATIONS

This report has been prepared for the Belmont House on behalf of Cleary Bros. P/L for the specific application of assessing the structural integrity of the existing structure for potential future reuse. KFW has endeavoured to comply with general accepted structural engineering practice common to the local area.

One should not apply any of this report's conclusions or recommendations, if the nature of the intended use of the facilities differ or change. If unforeseen changes occur or are envisaged, KFW must be advised to review these changes to assess their impact on this report and its applicability.

Note that KFW is not responsible for any claims, damages or liability associated with any other parties' interpretation of this report or the reuse of this report data without the express written authorisation from KFW.

Yours faithfully,
K F WILLIAMS & ASSOCIATES PTY LTD

Appendix 4 Archaeological research design

This research design describes the methodology to be used for the archaeological monitoring and, if required, subsequent expansion and monitoring tasks.

Monitoring timeframes

Areas of high and medium archaeological potential within the study area are to be subject to a program of monitoring as part of the on-site demolition works associated with Belmont house and initial bulk excavation of the site. Should intact archaeological remains be identified, the excavation and recording techniques detailed in the section below will be undertaken. Should substantial archaeological remains be located, the excavations will cease once the nature of the structural and depositional archaeological remains has been established.

Premises of investigation

There are three premises that underlie the strategy outlined in this section for a program of excavations:

- The monitoring program is designed to locate specific archaeological sites that have been identified. The objective of the work is to determine the extent to which archaeological remains are still present within the study area and how these will be impacted upon by the proposed development.
- If intact archaeological features or deposits are revealed within any monitoring area then sufficient work will be undertaken to determine as far as possible their likely context or association and date.
- Once the nature, extent and significance of archaeological remains within the study area have been established, the viability and necessity of salvaging of archaeological remains can be considered. Should archaeological remains be encountered which require salvage, this will be undertaken in accordance with the methodology presented in this research design.

Research questions

The purpose of the research design is to clearly articulate the anticipated outcomes from the program of work, what questions we are asking of the program and how the work would be undertaken to address these questions. Several questions are proposed as the operating framework. These are:

- Are archaeological remains associated with Belmont present within the study area? If so, what is their nature, extent, condition and likely significance?
- Can distinct underfloor deposits be identified within the footprint of Belmont house?
- To what extent does the study area contain archaeological remains relating to the bails and dairy? Are sufficient archaeological profiles present so as to establish dates or specific associations for archaeological evidence revealed to it?
- If remains have survived of the bails and dairy, do they indicate how these buildings were constructed? What materials and techniques were used? How does this compare with other dairies identified in NSW dating to a similar period?
- Are there any in-situ archaeological deposits associated with the bails and dairy which may provide information on its use during the early 20th century?

- Are sufficient archaeological profiles present so as to establish dates of the bails and dairy or specific associations to Belmont house for archaeological evidence revealed in them?
- If present, what can depositional remains from the study area tell us about the social and economic conditions experienced by tenant farming and the operation of rural estates?

Methodology

Archaeological Monitoring

The archaeological monitoring will consist of monitoring demolition works within the study area with the aim of identifying and revealing intact archaeological remains which may be present. The archaeological monitoring will consist of two areas as follows:

- Monitoring Area 1 is located in the area assessed as high potential within the vicinity of Belmont House. Monitoring will consist of the removal by machine excavator of Belmont house up to the floorboards. Once the floorboards have been revealed, a machine excavator will remove these carefully so the ground surface below is not disturbed.
- Monitoring Area 2 is located in the vicinity of the bails and dairy. Monitoring will consist of the removal of material until a sterile layer or archaeological remains are encountered.

The excavation director(s) will work closely with the demolition contractor to establish effective protocols for the protection of archaeological remains. The depth and extent of monitoring works will be dependent on the nature of soil conditions within the study area and as such the precise depth and extent of excavations is not known. Monitoring will take place until a sterile layer or archaeological remains are encountered.

Expansion of excavation areas

Based upon the results of the monitoring it might be determined necessary to expand the excavation areas to encompass a larger portion of the study area. For example, it may be necessary to widen the excavation areas to allow these archaeological features to be fully investigated and recorded. In the event that expansion of the excavation areas is warranted, this will be undertaken to reveal the extent of all archaeological remains subject to investigation.

Excavation will be undertaken through a combination of machine excavation and conventional manual archaeological techniques. Should intact archaeological structures or deposits be exposed then machine excavation will cease and the archaeological material will be investigated by the conventional manual techniques under the direction of the nominated excavation director.

Areas of low archaeological potential

Monitoring is not proposed for areas of low archaeological potential. However, it is possible that there are phases of occupation that may not be readily identifiable in the documentary record and/or discrepancies in the extent of disturbances, which may result in intact archaeological remains being present. An unexpected finds protocol should be implemented in this instance.

Excavation and Recording Techniques

Excavation would be undertaken using standard archaeological techniques, with the aim of removing each stratigraphic layer (or context) in the order in which it was deposited. All monitoring will be undertaken in accordance with the following methodology:

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- Should identifiable modern fills be encountered within the trenches these deposits would be machine excavated until occupational or natural depositional horizons were encountered. All machine excavators would use a straight-edged mud bucket to scrape back the deposits which cap archaeologically significant structural and depositional remains and this work would be supervised and directed by the Primary Excavation Director at all times.
- All excavation would be conducted in stratigraphic sequence; the reduction of all occupational/natural deposits would be by stratigraphic unit. This would be undertaken using either machine or hand excavation.
- Excavation would be undertaken until natural deposits are encountered or a suitable depth is reached which would allow activity to proceed or where it is determined that further excavation would not yield beneficial diagnostic information.
- Where individual rooms contain subfloor deposits, they will be excavated by hand and sieved. The rooms will be assigned separate context numbers and all finds will be allocated an X-Y-Z coordinate to identify their location and possible associations.
- Should any historical archaeological structures, features or artefacts be identified, excavation would cease and these would be investigated to establish their nature, extent and significance. Should archaeological remains be encountered which are thought to be potentially of local or state significance these remains would be recorded.
- All hand excavated material will be sieved with a 3mm sieve.
- Artefacts would be collected and bagged with reference to their stratigraphic location.
- The following recording system is based upon that described in the first Port Arthur Manual and would employ the following recording mechanisms:⁵³
 - The location would be recorded by the Site Planner with a DGPS. Surveying techniques to establish the location of archaeological deposits and features would be undertaken.
 - A survey control for the site would be established, including main and subsidiary datums, a grid system tied to the Map Grid of Australia and the development grid, as well as the cadastre. Further datums for vertical control would be established to allow all trenches to be surveyed in to a nearby point. These would be tied back to Australian Height Datum.
 - Stratigraphy and archaeological features would be recorded through the preparation of plans and sections. Structural elements such as brick walls and timber posts would be recorded *in situ* to observe phases in construction. It may be necessary to sample archaeological deposits to understand their significance and research potential but this would only be undertaken where necessary.
 - Rubble fill would only be recorded where it provides specific information regarding masonry and construction (i.e. wall finishes, material etc.).
 - A comprehensive digital photographic record would be prepared (following the Photographic recording of Heritage Items using Film or Digital capture).⁵⁴

⁵³ Davies et al. 1987

⁵⁴ NSW Heritage Office 2001

- The stratigraphic relationships between contexts would be described through the compilation of a Harris Matrix for each test trench.⁵⁵
- Analysis of fabric and detailed recording of the remains on context sheets would be conducted in accordance to best practice standards.

Protocol for finds and conservation

Any artefacts recovered from the excavation would be recorded as inclusions in specific contexts. The artefacts would be retrieved from the site, stored in labeled context boxes and analysed within three months of the completion of the excavation. The latter would include cleaning, cataloguing and photography where appropriate. The artefact catalogue and an analysis would be included in the excavation report. The artefacts would be lodged with an appropriate repository depending on the significance and conservation requirements of the artefacts encountered.

During field work

A simple digital archaeological database will be used as the cataloguing and inventory software for artefacts.

Primary artefact processing (sort into fabric / wash, brush or other cleaning / raw counts / labelled bagging / data entry) is to be undertaken as part of the field program. This will necessitate an artefact processing 'lab' being set up in the field. As far as possible, artefact cleaning and cataloguing will occur on site during the excavation. The cataloguing will be a simple catalogue of material by type and context.

The collection as a whole would then be evaluated in connection with the results of the excavation to develop a plan for further artefact analysis. This will allow the artefact analysis to focus on artefacts from relevant stratigraphic contexts.

Post-excavation analysis

Specific artefact processing routines are to be developed for all artefact types. As an example, glass will be primarily sorted by colour into black cylindrical / black case / olive – green tint / clear / etc. The next stage of sorting will be minimum number of individual (MNI) counts for defined aggregates of stratigraphic units. Specialist analyses will then be undertaken on classes of material [(fabric type or artefact function)], with all data being added to the database.

Authoritative and experienced analysts will be sought to undertake typological and descriptive work if available, or to peer review the analysis. Provision will also be made for students and researchers to catalogue parts of the collection under supervision.

Assemblages from each element will be described in terms of their quantity, representation of different fabric and forms and other broad descriptive characteristics. More importantly, the assemblages will be interpreted according to possible functional evidence of how people lived and interacted with each other. This form of analysis is qualitative rather than quantitative, relying upon interpreting how artefacts are used in their social context.

Collection management policy

⁵⁵ Harris 1979

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Artefact material recovered would be analysed and the results incorporated into the excavation report to address the specified research questions. Different retention methods and processing depending on their information potential may be applied. This would be determined by the Primary Excavation Director.

If required, a materials conservator would be engaged to assist in preparing artefact processing and storage protocols and for advice on recovery of delicate remains.

Hazardous materials would be photographed and discarded appropriately at a waste facility licensed to accept the type of material in accordance with Health, Safety, Environment and Community guidelines.

Building materials would be recorded photographically and catalogued and a small sample of items kept for further analysis and the remaining items discarded.

Once the scope of the artefact collection is established, a further discard policy may be developed in consultation with Heritage NSW to identify which materials are to be discarded, retained only as samples, retained for long-term storage and retained for possible display. Following confirmation of the policy, the collection may be culled and the remainder prepared for long-term storage.

The Applicant would negotiate with relevant heritage groups (e.g. local historical society) to establish the preferred recipient of the permanent artefact collection regarding storage, conservation, curation and display of the collection.

Report production

Biosis would produce a report which complies with the requirements of Heritage NSW. Dependent on the findings of the excavation, the final archaeological report would include:

- The compiled results of areas investigated and contexts or units encountered.
- A stratigraphic matrix and discussion of the site's phasing.
- GIS and CAD mapping where appropriate to illustrate the findings.
- A detailed description of the excavation results including discussion on phasing and possible land use.
- An artefact catalogue compiled on a commercially available computer database designed to reflect the research questions.
- A functional analysis of artefacts uncovered with reference to their provenance and pertinence to research questions.
- A synthesis of results to allow for comparison to other sites.
- Additional historical research to aid understanding of the archaeological evidence.
- A detailed interpretation of the results and addressing of the research questions.
- Illustration of significant artefacts in drawn or photographic form, and a photographic archive of excavation in progress.

Copies of the excavation report would be lodged at appropriate research libraries and with Heritage NSW

Excavation personnel

Biosis' proposed excavation team would be led by Fiona Leslie (Principal Heritage Consultant, Mountains Heritage) as Primary Excavation Director and Maggie Butcher (Consultant Archaeologist, Biosis) as Secondary Excavation Director. Biosis' heritage team would assist in the excavation as required.