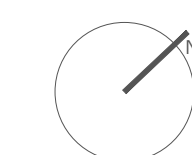




Rev:	Revision note:	Date:	Dwn by:
E	FOR DA APPROVAL	14.02.20	LZ
F	FOR DA APPROVAL	20.02.20	
G	AMENDMENTS FOR DA APPROVAL	22.06.20	PG/LZ
H	AMENDMENTS FOR DA APPROVAL	17.07.20	PG/LZ
I	AMENDMENTS FOR DA APPROVAL	06.08.20	PG/LZ
J	AMENDMENTS FOR DA APPROVAL	07.08.20	PG/LZ
K	AMENDMENTS FOR DA APPROVAL	21.08.20	LZ
L	AMENDMENTS FOR DA APPROVAL	14.09.20	PG
M	AMENDMENTS FOR DA APPROVAL	19.10.20	JG/LZ
N	AMENDMENTS FOR DA APPROVAL	11.02.21	LZ
O	AMENDMENTS FOR DA APPROVAL	27.05.21	PG/LZ



Project Title:
John Whiteway Drive JWD Development Gosford
Project Address:
89 John Whiteway Drive, Gosford
Drawing Title:
ADDENDUM - SECTION KEY PLAN

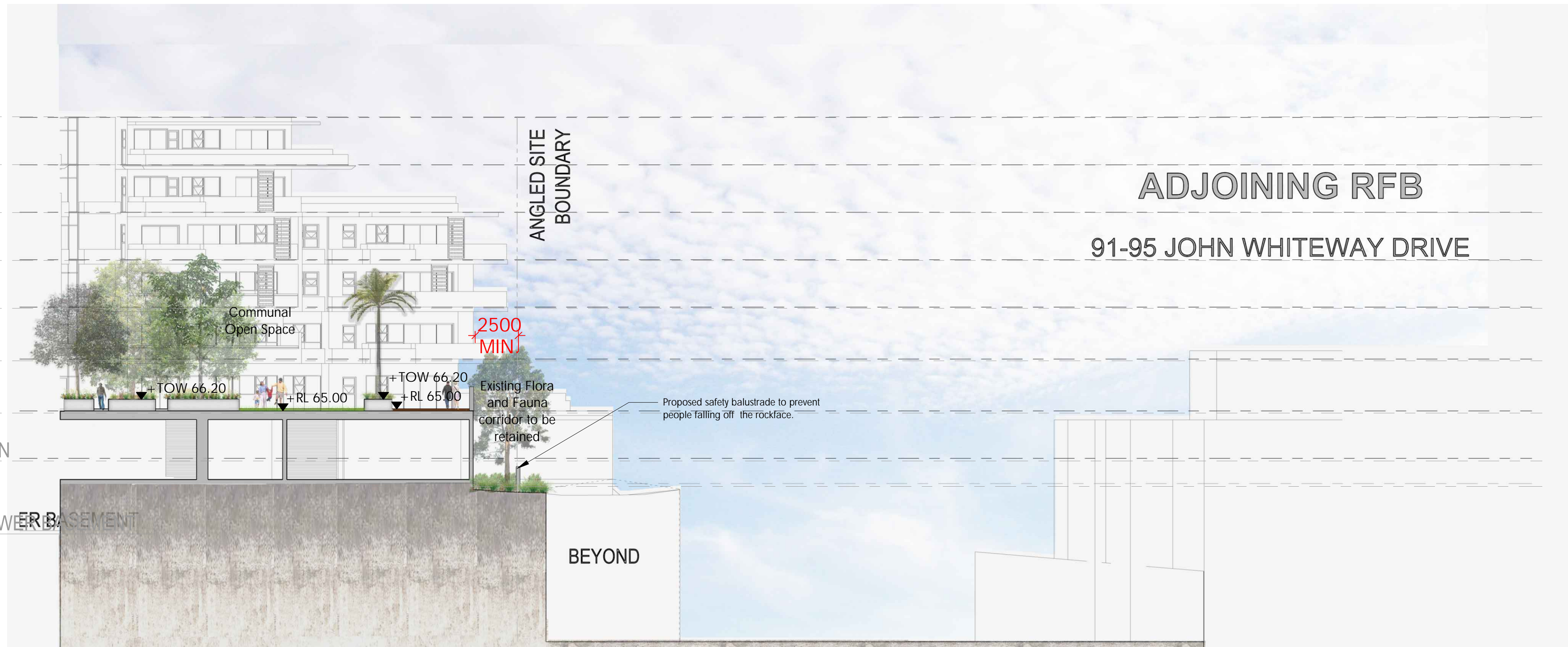
Location of all services is to be carried out by all contractors prior to commencement of works. Phone Dial-Before-You-Dig Pin: 1100. Refer plans by Architect, Engineers & Surveyors for other working drawings. Information on Distinctive plans is for reference & co-ordination only. This drawings are to be read in conjunction with prepared specifications & details. It is the responsibility of the contractor to notify Distinctive of any contradiction within the plans & receive appropriate direction prior to construction works. Final layout is to be determined on site and at the direction of the site supervisor. Plans are copyright to Distinctive Gardens & Interiors Pty Ltd.

Scale @ A1/A3: AS SHOWN

Drawing Date:	Drawn/Checked	Drawing Status:
27.05.21	JG/LZ/PG/GW/MS/DB	DA

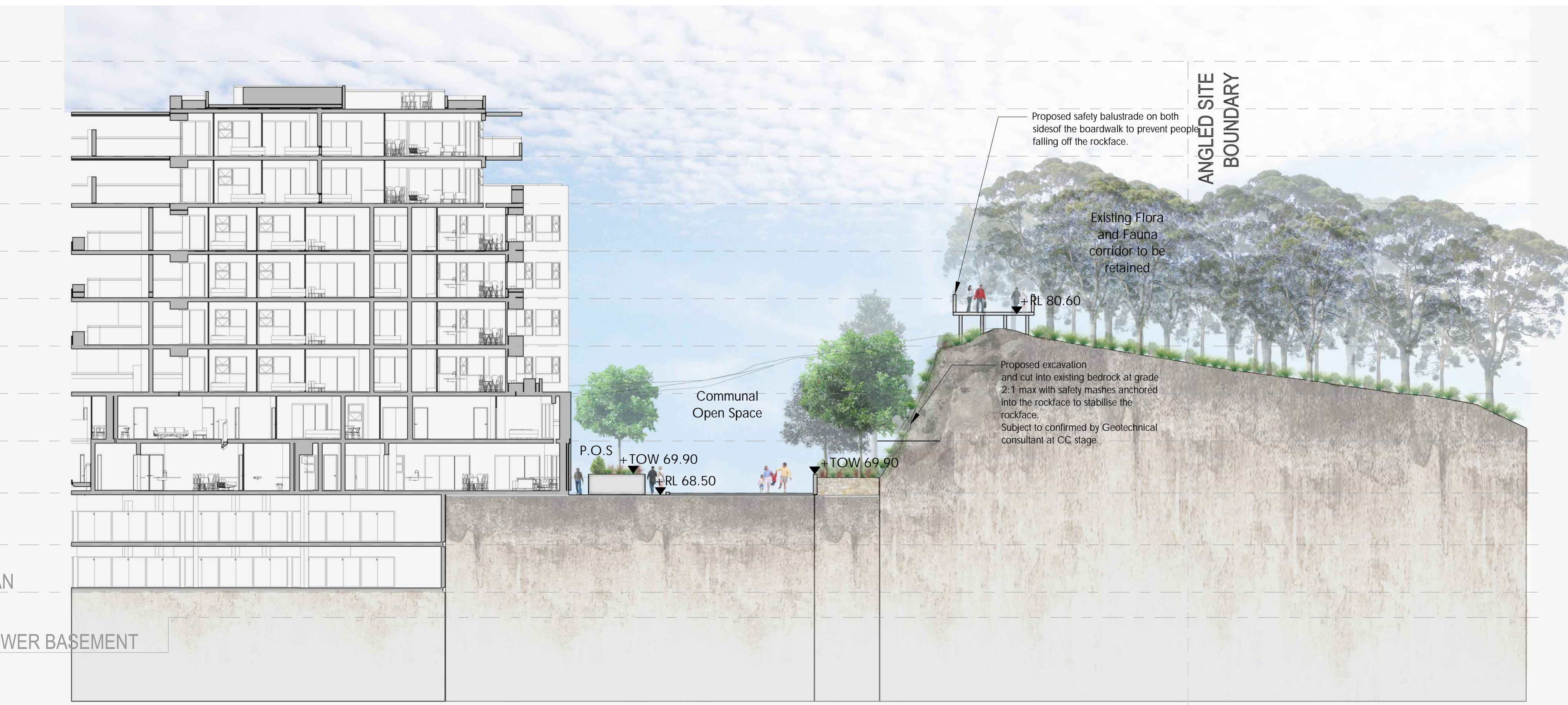
Project Number:	Drawing Number:	Issue:
10-19	10-19.80	0

- LEVEL 6
RL 84.80
- LEVEL 5
RL 81.60
- LEVEL 4
RL 78.40
- LEVEL 3
RL 75.20
- LEVEL 2
RL 72.00
- LEVEL 1
RL 68.50
- GFL
RL 65.00
- BASEMENT PLAN
RL 61.80
- RL 60.10 - LOWER BASEMENT



SECTION GG
SCALE 1:400 @A3

- LEVEL 10
RL 97.60
- LEVEL 9
RL 94.40
- LEVEL 8
RL 91.20
- LEVEL 7
RL 88.00
- LEVEL 6
RL 84.80
- LEVEL 5
RL 81.60
- LEVEL 4
RL 78.40
- LEVEL 3
RL 75.20
- LEVEL 2
RL 72.00
- LEVEL 1
RL 68.50
- GFL
RL 65.00
- BASEMENT PLAN
RL 61.80
- RL 60.10 - LOWER BASEMENT



SECTION HH
SCALE 1:400 @A3


NSW GOVERNMENT | **Planning, Industry & Environment**
Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: SSD 10321
Granted on: 14 October 2021
Signed: AW **Sheet No: 184 of 190**

Rev:	Revision note:	Date:	Dwn by:
E	FOR DA APPROVAL	14.02.20	LZ
F	FOR DA APPROVAL	20.02.20	LZ
G	AMENDMENTS FOR DA APPROVAL	22.06.20	PG/LZ
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J	AMENDMENTS FOR DA APPROVAL	07.08.20	PG/LZ
K	AMENDMENTS FOR DA APPROVAL	21.08.20	LZ
L	AMENDMENTS FOR DA APPROVAL	14.09.20	PG
M	AMENDMENTS FOR DA APPROVAL	19.10.20	JG/LZ
N	AMENDMENTS FOR DA APPROVAL	11.02.21	LZ
O	AMENDMENTS FOR DA APPROVAL	27.05.21	PG/LZ





SECTION II
SCALE 1:400 @A3



**Planning,
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Approved Application No: SSD 10321
Granted on: 14 October 2021
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Indicative imagery for potential design outcome of the rockface stabilisation.

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J	AMENDMENTS FOR DA APPROVAL	07.08.20	PG/LZ
K	AMENDMENTS FOR DA APPROVAL	21.08.20	LZ
L	AMENDMENTS FOR DA APPROVAL	14.09.20	PG
M	AMENDMENTS FOR DA APPROVAL	19.10.20	JG/LZ
N	AMENDMENTS FOR DA APPROVAL	11.02.21	LZ
O	AMENDMENTS FOR DA APPROVAL	27.05.21	PG/LZ





- LEVEL 11
- RL 100.80
- LEVEL 10
- RL 97.60
- LEVEL 9
- RL 94.40
- LEVEL 8
- RL 91.20
- LEVEL 7
- RL 88.00
- LEVEL 6
- RL 84.80
- LEVEL 5
- RL 81.60
- LEVEL 4
- RL 78.40
- LEVEL 3
- RL 75.20
- LEVEL 2
- RL 72.00
- LEVEL 1
- RL 68.50
- GFL
- RL 65.00
- BASEMENT PLAN
- RL 61.80
- RL 60.10 - LOWER BASEMENT




SECTION JJ
SCALE 1:400 @A3

LEGEND

- EXTENT OF SITE
- TREES TO BE REMOVED: DBH >45cm
- TREES TO BE REMOVED: 15cm <DBH <45cm
- TREES TO BE REMOVED: DBH <15cm
- NON-BUILDABLE ZONE

PLEASE NOTE:
The site tree removal plan is produced based on the Vegetation Management Plan.
Refer to Vegetation Management Plan and Arboricultural Impact Assessment for the further details of "Tree Proposed for Removal"



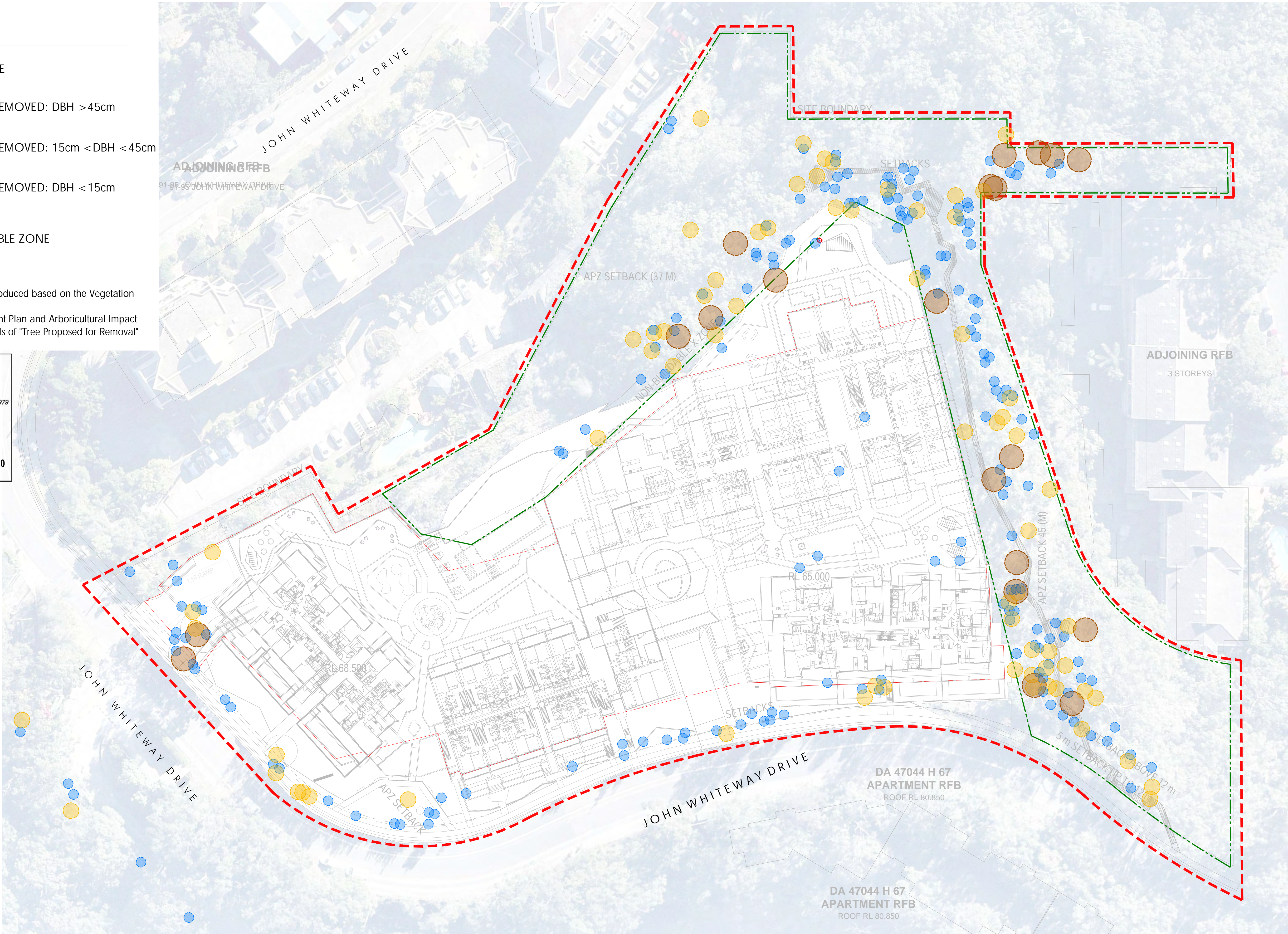
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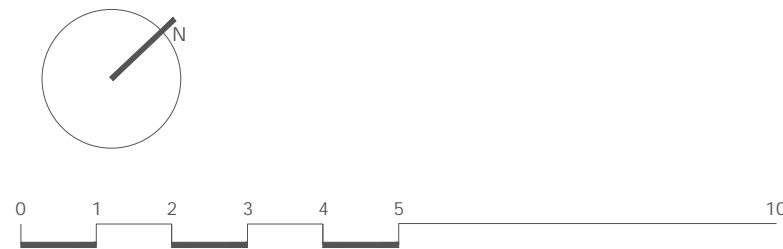
Approved Application No: SSD 10321

Granted on: 14 October 2021

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Rev:	Revision note:	Date:	Dwn by:
E	FOR DA APPROVAL	14.02.20	LZ
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M	AMENDMENTS FOR DA APPROVAL	19.10.20	JG/LZ
N	AMENDMENTS FOR DA APPROVAL	11.02.21	LZ
O	AMENDMENTS FOR DA APPROVAL	27.05.21	PG/LZ



This document has been validated by Mark Santangelo
Registered Landscape Architect (AILA), BArch, Dip Hort

Verified by Dean Boone
DIRECTOR

Project Title:
John Whiteway Drive JWD Development Gosford

Project Address:
89 John Whiteway Drive, Gosford

Drawing Title:
ADDENDUM - SITE TREE REMOVAL DIAGRAM

Location of all services is to be carried out by all contractors prior to commencement of works. Please Dial-Before-You-Dig Ph: 1100.
Refer plans by Architects, Engineers & Surveyors for other working drawings. Information on Distinctive plans is for reference & coordination only. This drawings are to be read in conjunction with proposed specifications & details. It is the responsibility of the contractor to notify Distinctive of any contradiction within the plans & receive appropriate direction prior to construction works. Final layout is to be determined on site and at the direction of the site supervisor. Plans are copyright to Distinctive Gardens & Interiors Pty Ltd.

Scale @ A1/A3:
1:400/ 1:800

Client:
JWD Developments Pty Ltd

Drawing Date:
27.05.21

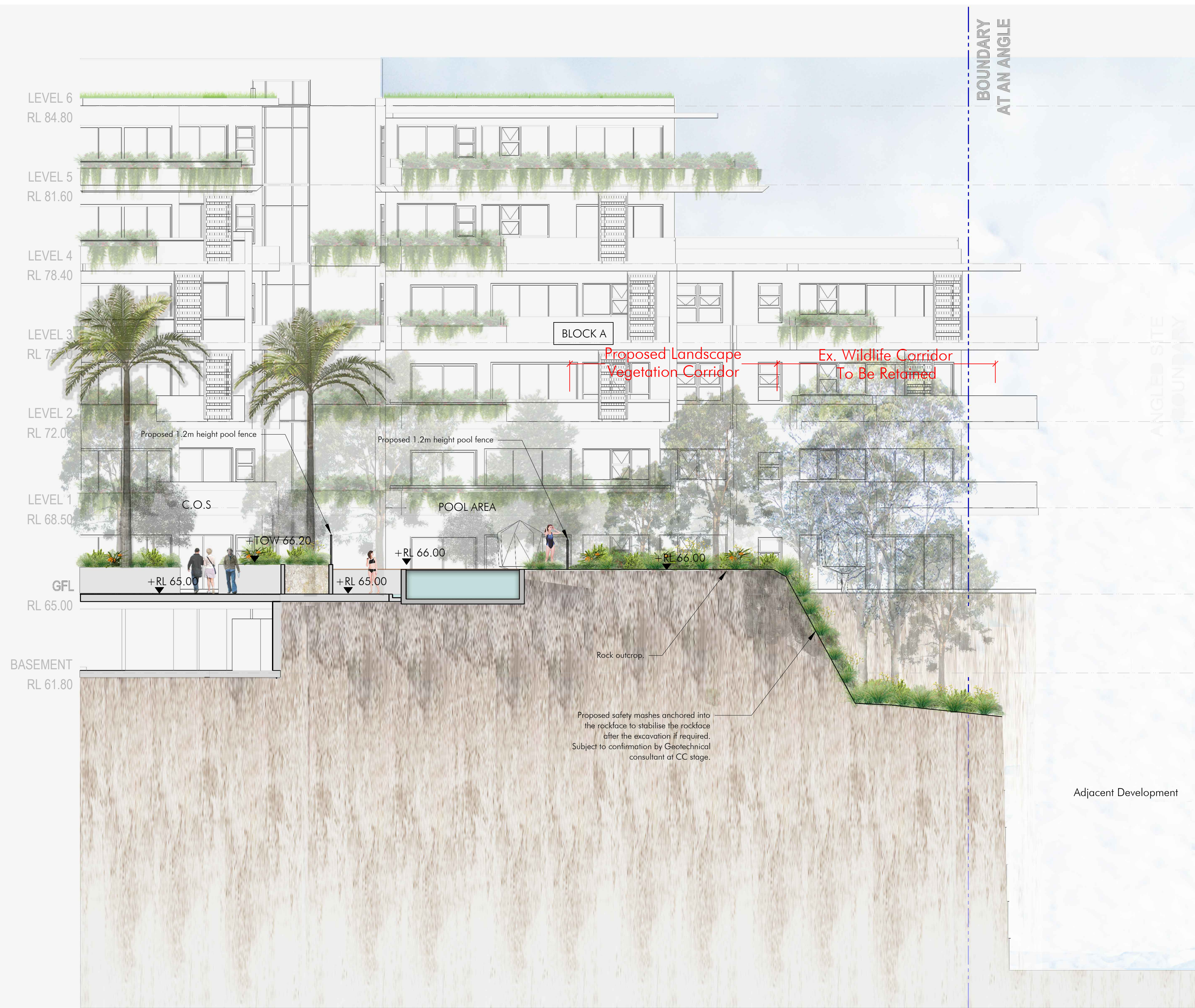
Drawn/Checked
JG/LZ/PG/GW/MS/DB

Drawing Status:
DA

Project Number:
10-19

Drawing Number:
10-19.84

Issue:
O



SECTION KK
SCALE 1:200 @A3

NSW GOVERNMENT
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Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: SSD 10321
Granted on: 14 October 2021
Signed: AW **Sheet No: 188 of 190**

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G	AMENDMENTS FOR DA APPROVAL	22.06.20	PG/LZ
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L	AMENDMENTS FOR DA APPROVAL	14.09.20	PG
M	AMENDMENTS FOR DA APPROVAL	19.10.20	JG/LZ
N	AMENDMENTS FOR DA APPROVAL	11.02.21	LZ
O	AMENDMENTS FOR DA APPROVAL	27.05.21	PG/LZ
P	AMENDMENTS FOR DA APPROVAL	10.08.21	LZ





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Approved Application No: SSD 10321

Granted on: 14 October 2021

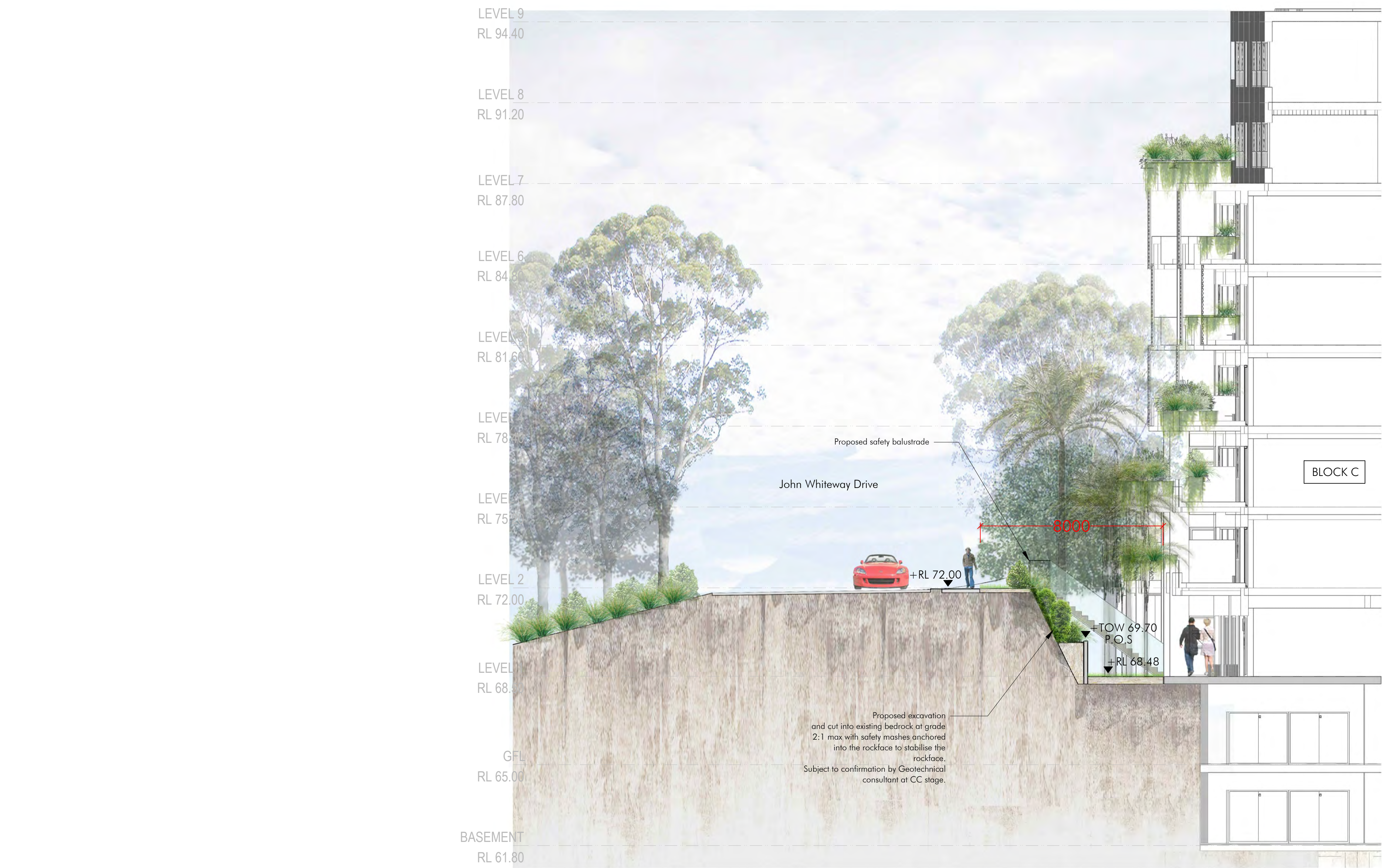
Signed: AW Sheet No: 189 of 190



SECTION LL
SCALE 1:200 @A3

Rev:	Revision note:	Date:	Dwn by:
F	FOR DA APPROVAL	20.02.20	LZ
G	AMENDMENTS FOR DA APPROVAL	22.06.20	PG/LZ
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J	AMENDMENTS FOR DA APPROVAL	07.08.20	PG/LZ
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M	AMENDMENTS FOR DA APPROVAL	19.10.20	JG/LZ
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O	AMENDMENTS FOR DA APPROVAL	27.05.21	PG/LZ
P	AMENDMENTS FOR DA APPROVAL	10.08.21	LZ





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Approved Application No: SSD 10321

Granted on: 14 October 2021

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Sheet No: 190 of 190

SECTION MM
SCALE 1:200 @A3

Rev:	Revision note:	Date:	Dwn by:
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H	AMENDMENTS FOR DA APPROVAL	17.07.20	PG/LZ
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L	AMENDMENTS FOR DA APPROVAL	14.09.20	PG
M	AMENDMENTS FOR DA APPROVAL	19.10.20	JG/LZ
N	AMENDMENTS FOR DA APPROVAL	11.02.21	LZ
O	AMENDMENTS FOR DA APPROVAL	27.05.21	PG/LZ
P	AMENDMENTS FOR DA APPROVAL	10.08.21	LZ



Project Title:
John Whiteway Drive JWD Development Gosford
Project Address:
89 John Whiteway Drive, Gosford
Drawing Title:
ADDENDUM - LANDSCAPE SECTIONS 06

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Scale @ A1/A3: AS SHOWN
Client: JWD Developments Pty Ltd

Drawing Date: 10.08.21
Drawn/Checked: JG/LZ/PG/GW/MS/DB
Drawing Status: DA

Project Number: 10-19
Drawing Number: 10-19.87
Issue: P