

SECTION CC SCALE 1:300 @A3

distinctive Living Design	Rev:	Revision note:	Date: Dwn k	<u>y:</u>
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Landscape & Interior Architecture - Design - Consultancy	F	FOR DA APPROVAL	20.02.20 LZ	
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Camden NSW 2570	I	AMENDMENTS FOR DA APPROVAL	06.08.20 PG/LZ	
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$\Gamma + 61 \ 2 \ 4655 \ 1881$	К	AMENDMENTS FOR DA APPROVAL	21.08.20 LZ	
admin@distinctive.net.au	L	AMENDMENTS FOR DA APPROVAL	14.09.20 PG	
	М	AMENDMENTS FOR DA APPROVAL	19.10.20 JG/LZ	0 1 2 3 4 5
www.distinctive.net.au	Ν	AMENDMENTS FOR DA APPROVAL	11.02.21 LZ	
Distinctive Gardens & Interior T/A distinctive Living Design	0	AMENDMENTS FOR DA APPROVAL	27.05.21 PG/LZ	

NICW Inc	nning, lustry & vironment					
Issued under the Envi	ronmental Planning and	Assess	ment A	ct 1979		
Approved Applic	Approved Application No: SSD 10321					
Granted on: 14 October 2021						
Signed: AW	Sheet No:	169	of	190		



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Project Title: John Whiteway Drive JWD Development Gosford Project Address: 89 John Whiteway Drive, Gosford

Drawing Title: LANDSCAPE SECTIONS 02

Location of all services is to be carried out by all contractors prior to commencement of works. Phone Dial-Before-You-Dig Ph: 1100. Refer plans by Architect, Engineers & Surveyors for other working drawings. Information on Distinctive plans is for reference & co-ordination only. This drawings are to be read in conjunction with prepared specifications & details. It is the responsibility of the contractor to notify Distinctive of any contradiction within the plans & receive appropriate direction prior to construction works.Final layout is to be determined on site and at the direction of the site supervisor. Plans are copyright to Distinctive Gardens & Interiors Pty Ltd.

Scale @ A1/A3: AS SHOWN	Client: JWD Developments Pty Lt	d
Drawing Date: 27.05.21	Drawn/Checked JG/LZ/PG/GW/MS/DB	Drawing Status: DA
Project Number:	Drawing Number:	lssue:
10-19	10 -19.54	0







# SECTION EE SCALE 1:200 @A3

distinctive Living DesignLandscape & Interior Architecture - Design - Consultancy114 Argyle Street,Camden NSW 2570T + 61 2 4655 1881admin@distinctive.net.auwww.distinctive.net.auWww.distinctive.net.auDistinctive Gardens & Interior T/A distinctive Living Design

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This document has been validated by Mark Santangelo Registered Landscape Architect (AILA), BLArch, Dip Hort Markangt Verified by Dean Boone DIRECTOR DRACTOR

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Project Title: John Whiteway Drive JWD Development Gosford Project Address: 89 John Whiteway Drive, Gosford

Drawing Title: LANDSCAPE SECTIONS 03

Location of all services is to be carried out by all contractors prior to commencement of works. Phone Dial-Before-You-Dig Ph: 1100. Refer plans by Architect, Engineers & Surveyors for other working drawings. Information on Distinctive plans is for reference & co-ordination only. This drawings are to be read in conjunction with prepared specifications & details. It is the responsibility of the contractor to notify Distinctive of any contradiction within the plans & receive appropriate direction prior to construction works.Final layout is to be determined on site and at the direction of the site supervisor. Plans are copyright to Distinctive Gardens & Interiors Pty Ltd.

# BLOCK A

Scale @ A1/A3: AS SHOWN	Client: JWD Developments Pty Lt	d
Drawing Date: 27.05.21	Drawn/Checked JG/LZ/PG/GW/MS/DB	Drawing Status: DA
Project Number:	Drawing Number:	lssue:
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RL 88.00						
LEVEL 6						
<b>RL 84.80</b>						
CLEVEL 5		Concernent & Description				
RL 81.60						
CLEVEL 4						
RL 78.40						
LEVEL 3						
RL 75.20						
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SECTION FF S C A L E 1:400 @A3

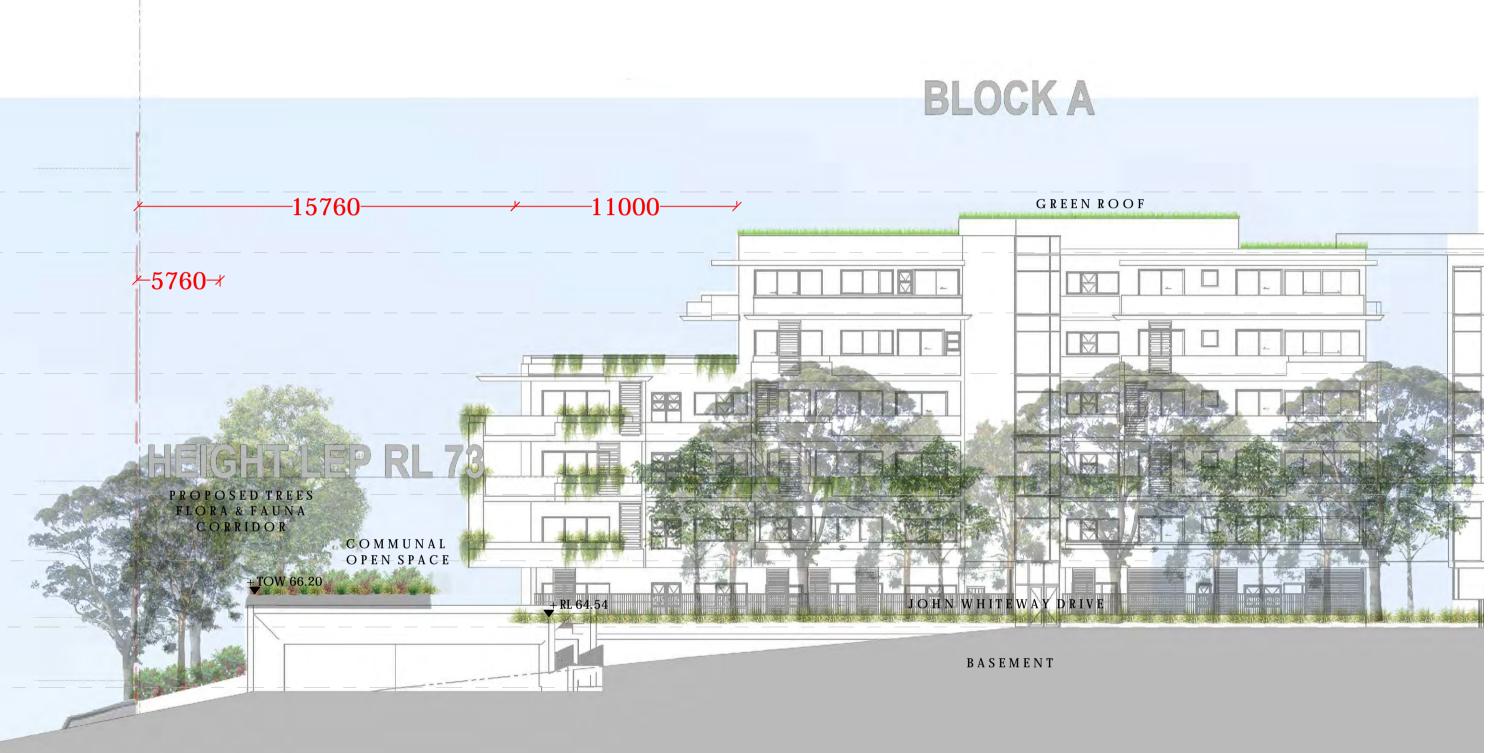
distinctive Living Design	Rev: Revisio	on note:	Date:	Dwn by:	1
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admin@distinctive.net.au	L AMENDM	IENTS FOR DA APPROVAL	14.09.20	PG	
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	Granted on: 14 October 2021					
Signed: AW	Sheet No:	171	of	190		





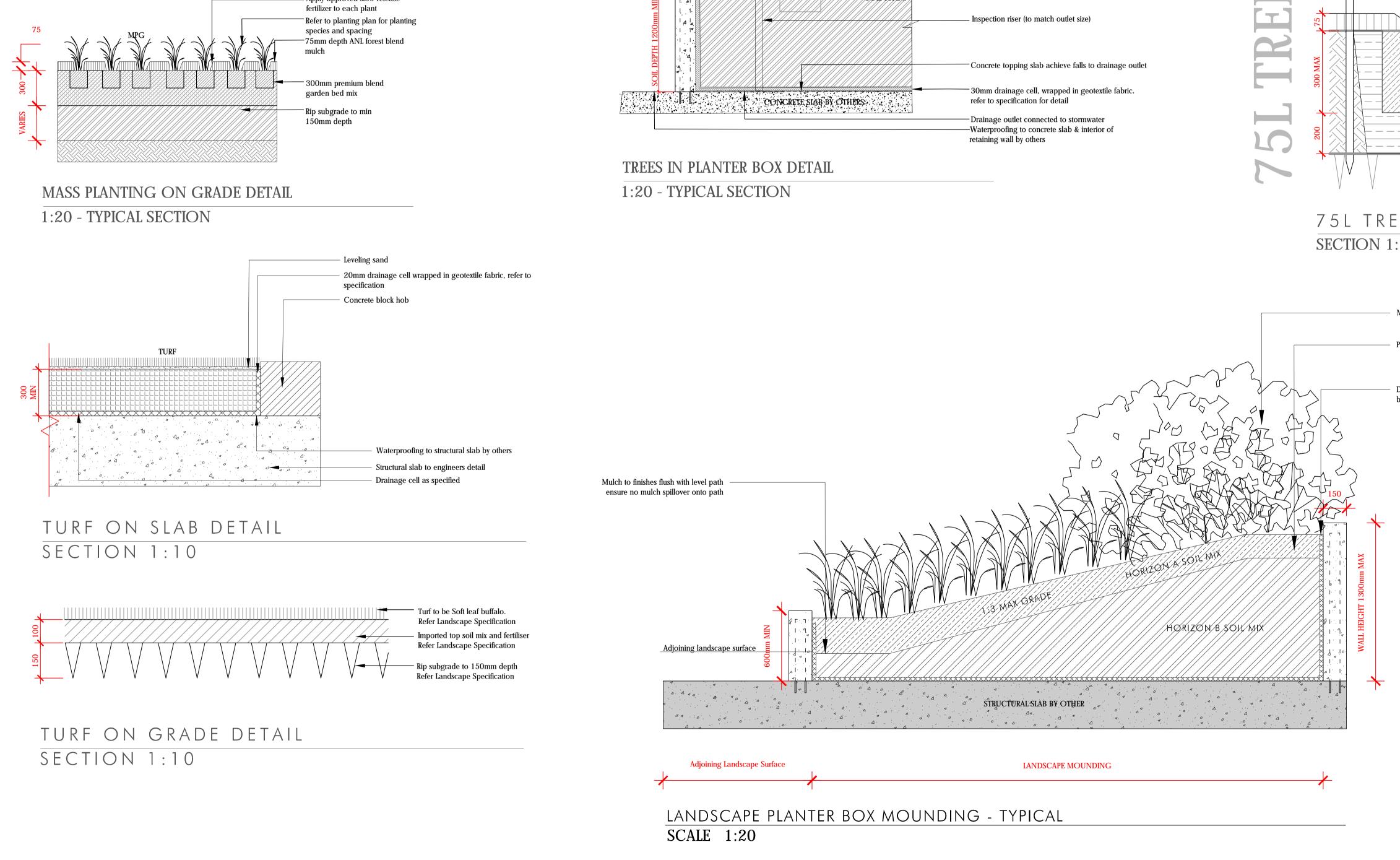
Project Title: John Whiteway Drive JWD Development Gosford Project Address: **89 John Whiteway Drive, Gosford** Drawing Title:

LANDSCAPE SECTIONS 04

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Scale @ A1/A3: 1:200/ 1:400	Client: JWD Developments Pty Lte	d
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Project Number:	Drawing Number:	lssue:
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MASS PLANTING ON SLAB DETAIL

1:20 - TYPICAL SECTION

- Apply approved slow release fertilizer to each plant – Refer to planting plan for planting species and spacing – 75mm depth ANL forest blend mulch

300mm premium blend garden bed mix - MIN 200mm horizon B soil planting mix —Geotextile —Waterproofing to slab by others

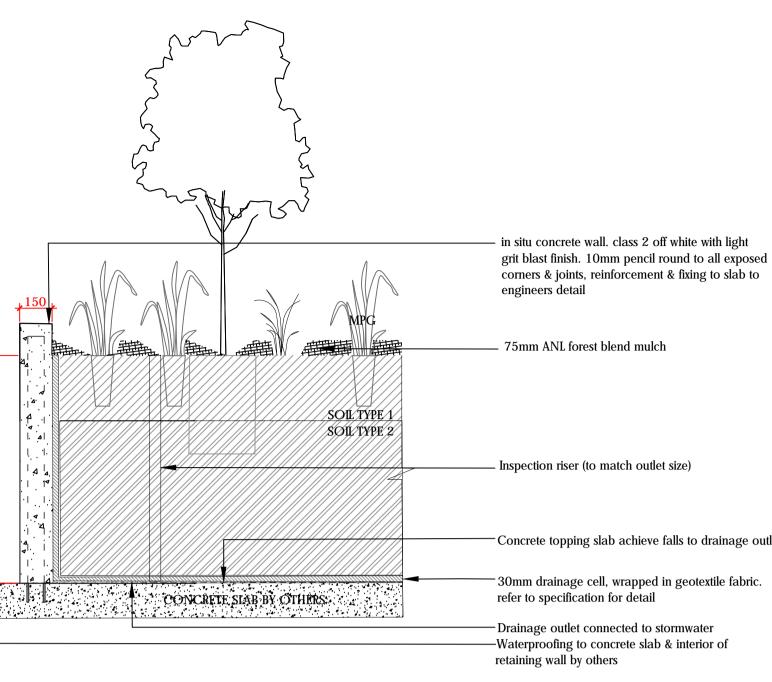
<sup>-</sup> 30mm drainage cell <sup>-</sup> basement slab. ensure falls to drainage points. refer to engineer's detail

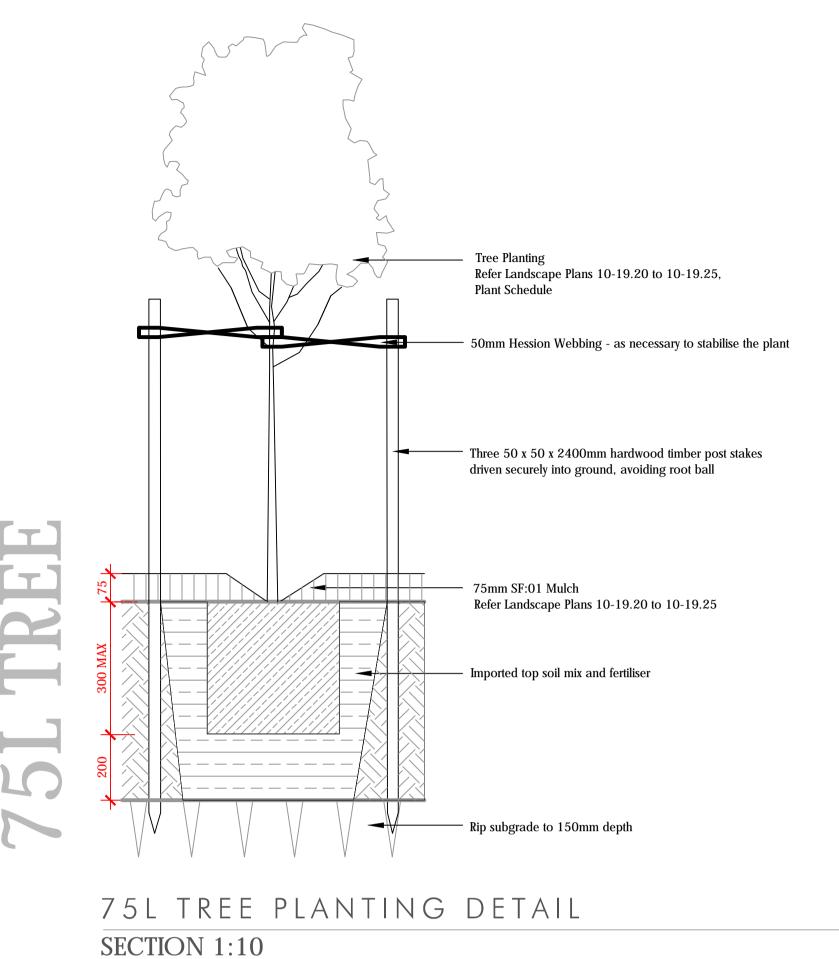
- Apply approved slow release

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### Project Title: John Whiteway Drive JWD Development Gosford Project Address:

89 John Whiteway Drive, Gosford

### Drawing Title: LANDSCAPE DETAILS 01

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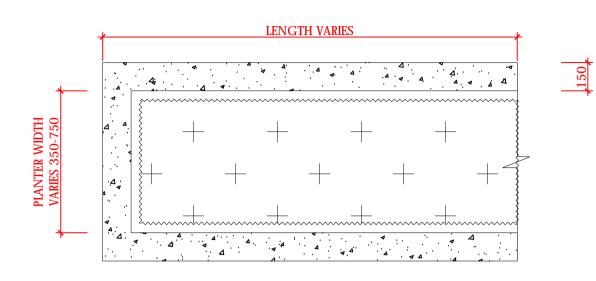
Mass planting - refer to planting schedule for species

Premium blend garden mix soil to planting 300mm depth

Drainage cell wrapped in geotextile fabric to the base of planter beds

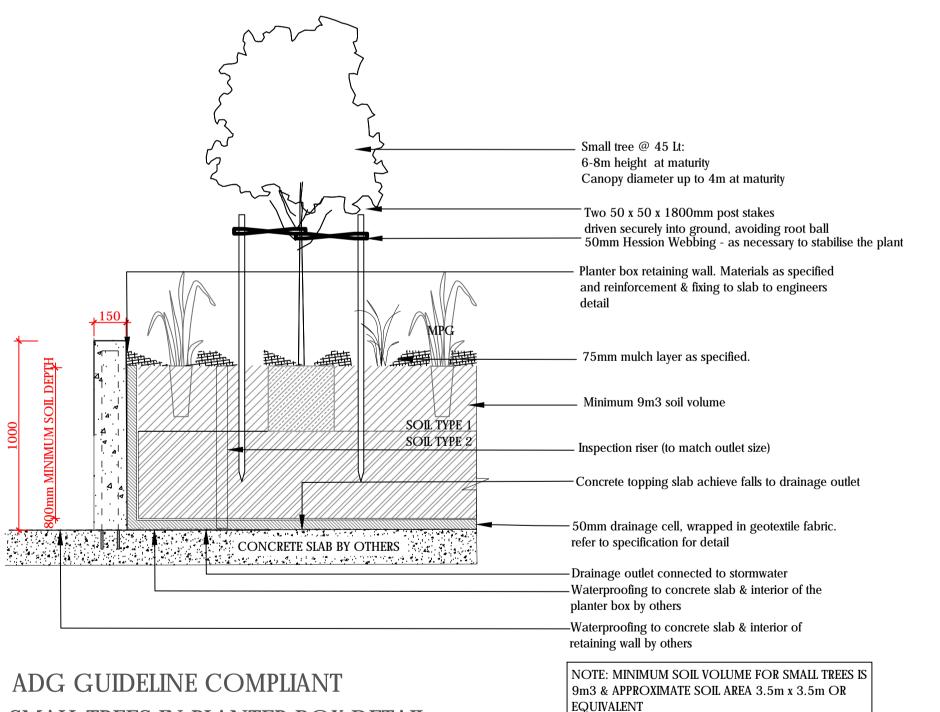
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Issued under the En	vironmental Planning and	Assessi	ment A	ct 1979
Approved Appl	ication No: SSD	10321		
Granted on:	4 October 2021			
Signed: AW	Sheet No:	172	of	190

Scale @ A1/A3: AS SHOWN	Client: JWD Developments Pty Lto	d	
Drawing Date: 27.05.21	Drawn/Checked JG/LZ/PG/GW/MS/DB	Drawing Status: DA	
Project Number:	Drawing Number:	lssue:	
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# ADG GUIDELINE COMPLIANT PLANTER BOX WITH SHRUBS AND GROUNDCOVERS ON THE BUILDING 1:20 - TYPICAL PLAN





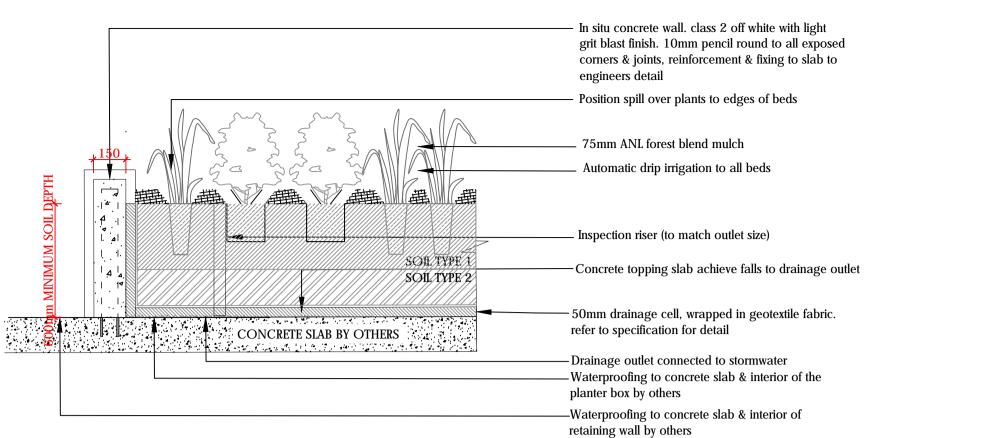
SMALL TREES IN PLANTER BOX DETAIL

1:20 - TYPICAL SECTION

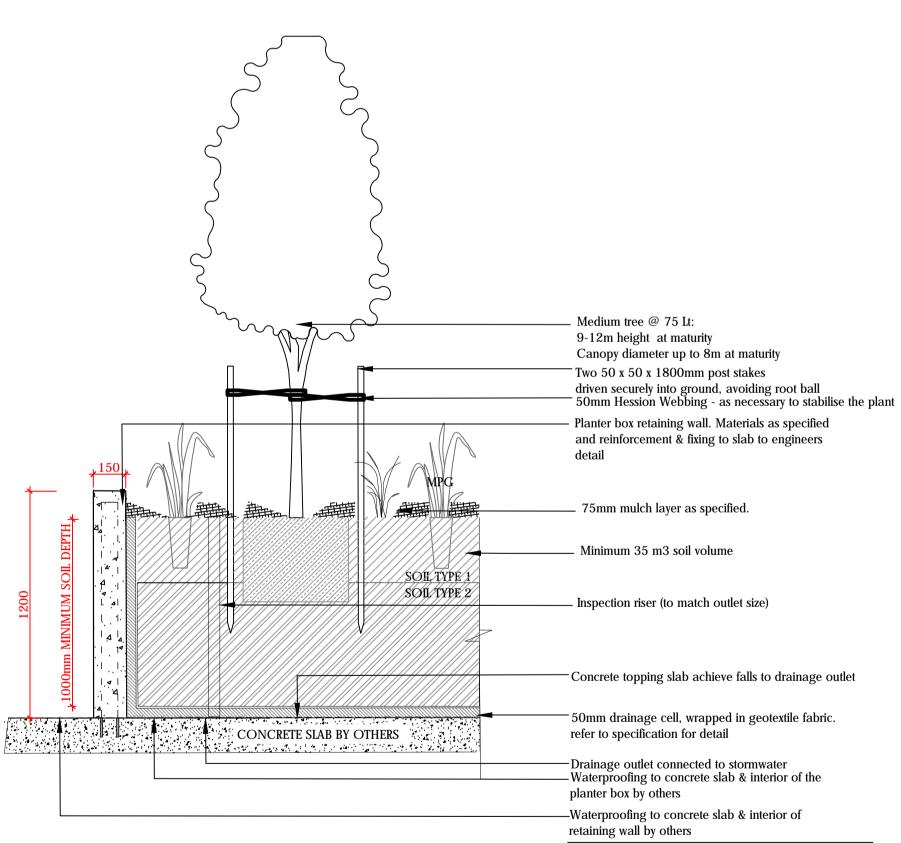
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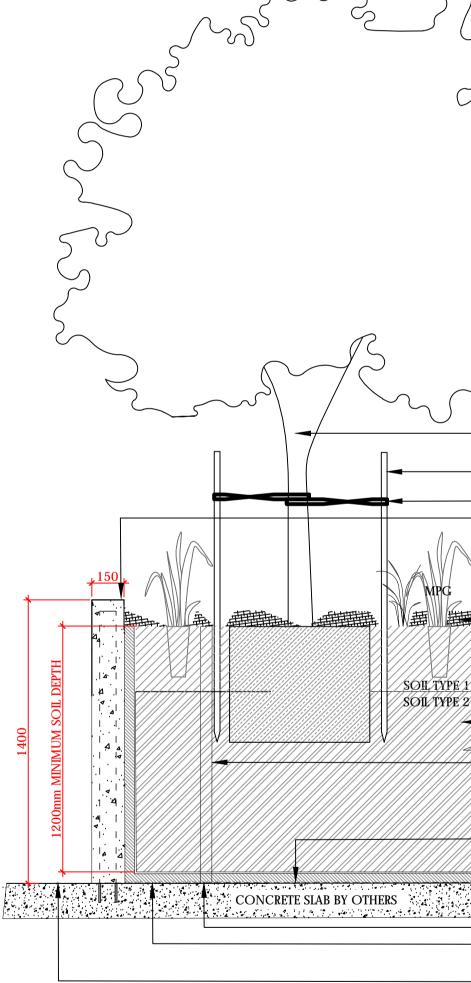
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# ADG GUIDELINE COMPLIANT PLANTER BOX WITH SHRUBS AND GROUNDCOVERS ON THE BUILDING 1:20 - TYPICAL SECTION



ADG GUIDELINE COMPLIANT MEDIUM TREES IN PLANTER BOX DETAIL 1:20 - TYPICAL SECTION



# ADG GUIDELINE COMPLIANT LARGE TREES IN PLANTER BOX DETAIL 1:20 - TYPICAL SECTION

# Project Title:

NOTE: MINIMUM SOIL VOLUME FOR MEDIUM TREES

IS 35m3 & APPROXIMATE SOIL AREA 6m x 6m OR

EQUIVALENT

This document has been validated by Mark Santangelo Registered Landscape Architect (AILA), BLArch, Dip Hort

Mandamet

Verified by Dean Boone

DIRECTOR

Deen Bow

John Whiteway Drive JWD Development Gosford Project Address:

### LANDSCAPE DETAILS 03

Location of all services is to be carried out by all contractors prior to commencement of works. Phone Dial-Before-You-Dig Ph: 1100. Refer plans by Architect, Engineers & Surveyors for other working drawings. Information on Distinctive plans is for reference & co-ordination only. This drawings are to be read in conjunction with prepared specifications & details. It is the responsibility of the contractor to notify Distinctive of any contradiction within the plans & receive appropriate direction prior to construction works. Final layout is to be determined on site and at the direction of the site supervisor. Plans are copyright to Distinctive Gardens & Interiors Pty Ltd.

89 John Whiteway Drive, Gosford Drawing Title:



# $\smile$ Large tree @ 100 Lt: 13-18m height at maturity Canopy diameter up to 16m at maturity Two 50 x 50 x 1800mm hardwood timber post stakes driven securely into ground, avoiding root ball 50mm Hession Webbing - as necessary to stabilise the plant - Planter box retaining wall. Materials as specified and reinforcement & fixing to slab to engineers detail MPG 75mm mulch layer as specified. SON TYPE 1 SOIL TYPE 2 Minimum 150 m3 soil volume -Inspection riser (to match outlet size) Concrete topping slab achieve falls to drainage outlet <sup>-</sup>50mm drainage cell, wrapped in geotextile fabric. refer to specification for detail and the second and the second s Drainage outlet connected to stormwater -Waterproofing to concrete slab & interior of the planter box by others –Waterproofing to concrete slab & interior of retaining wall by others

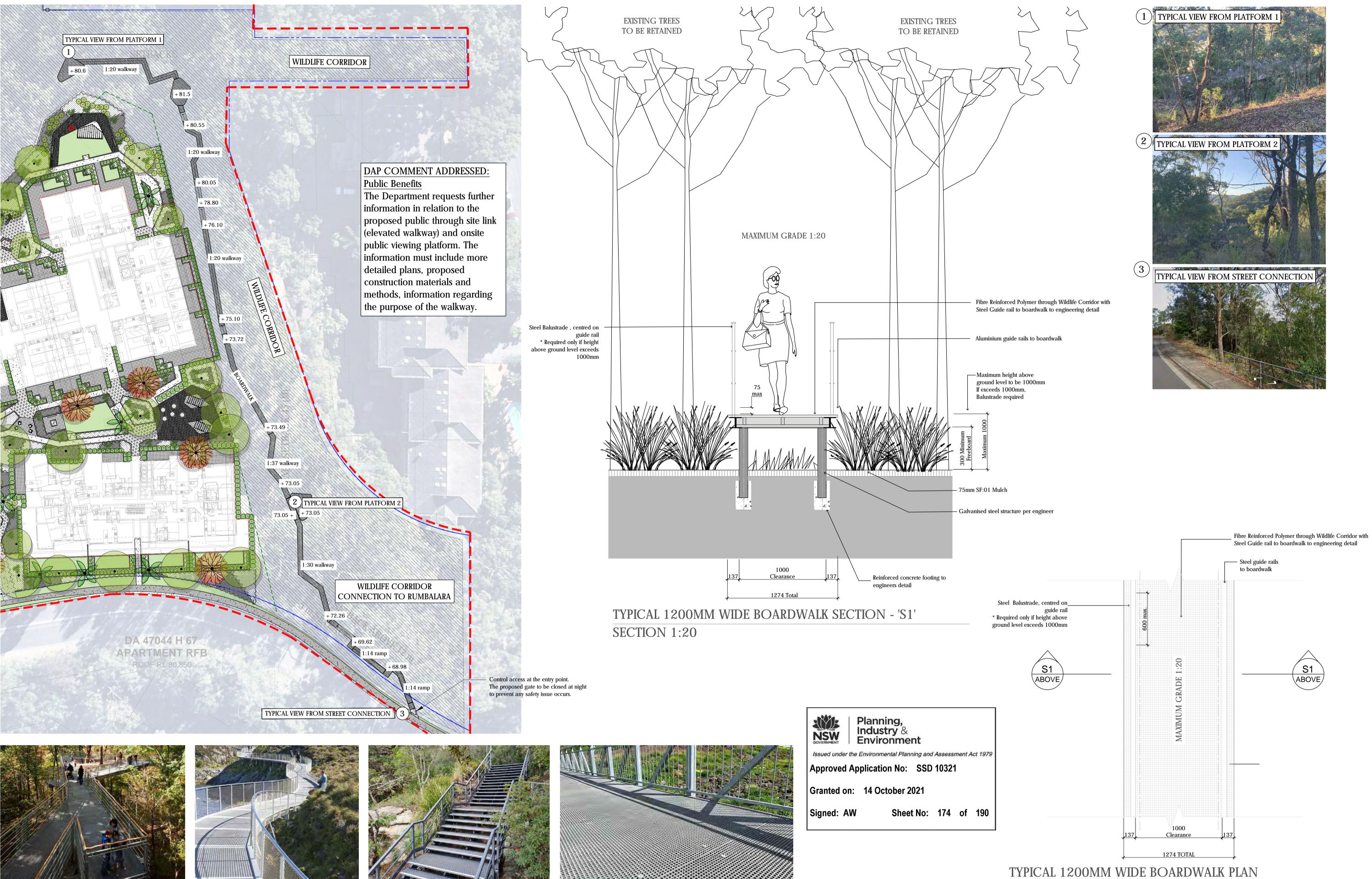
NOTE: MINIMUM SOIL VOLUME FOR LARGE TREES

IS 150m3 & APPROXIMATE SOIL AREA 10m x 10m OR

distinctive

EQUIVALENT

Scale @ A1/A3: AS SHOWN	Client: JWD Developments Pty Lt	d
Drawing Date: 27.05.21	Drawn/Checked JG/LZ/PG/GW/MS/DB	Drawing Status: DA
Project Number:	Drawing Number:	lssue:
10-19	10 -19.61	О





VIEWING PLATFORM AREAS

# distinctive Living Design

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FIBRE REINFORCED POLYMER BOARDWALK

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Ν	AMENDMENTS FOR DA APPROVAL	11.02.21	LZ
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FIBRE REINFORCED POLYMER STEPS



This document has been validated by Mark Santangelo Registered Landscape Architect (AILA), BLArch, Dip Hort

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Verified by Dean Boone

DIRECTOR Dean Bow

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Issued under the Envir	ronmental Planning and Assessment Act 1975
Approved Applic	ation No: SSD 10321
Granted on: 14	October 2021

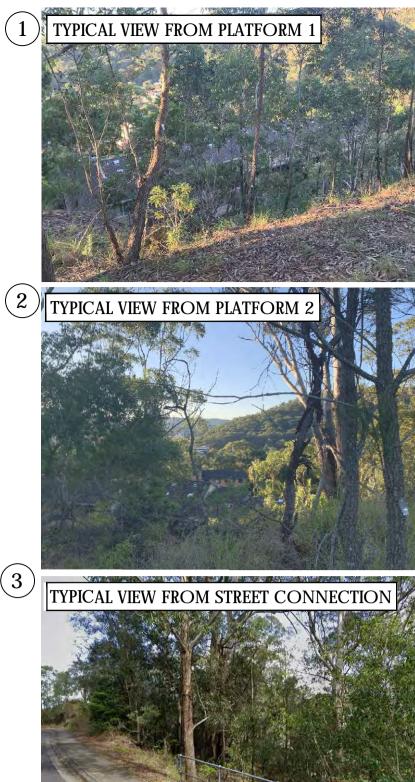
PLAN 1:20

Project Title: John Whiteway Drive JWD Development Gosford Project Address: 89 John Whiteway Drive, Gosford

### Drawing Title: **BOARDWALK DETAILS 01**

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-IND-Planning, Industry & NSW Environment Issued under the Environmental Planning and Assessment Act 1979 Approved Application No: SSD 10321 Granted on: 14 October 2021 Sheet No: 175 of 190 Signed: AW

# Play | Access | Shade



# Elevated Boardwalk System



# High durability. Low impact.

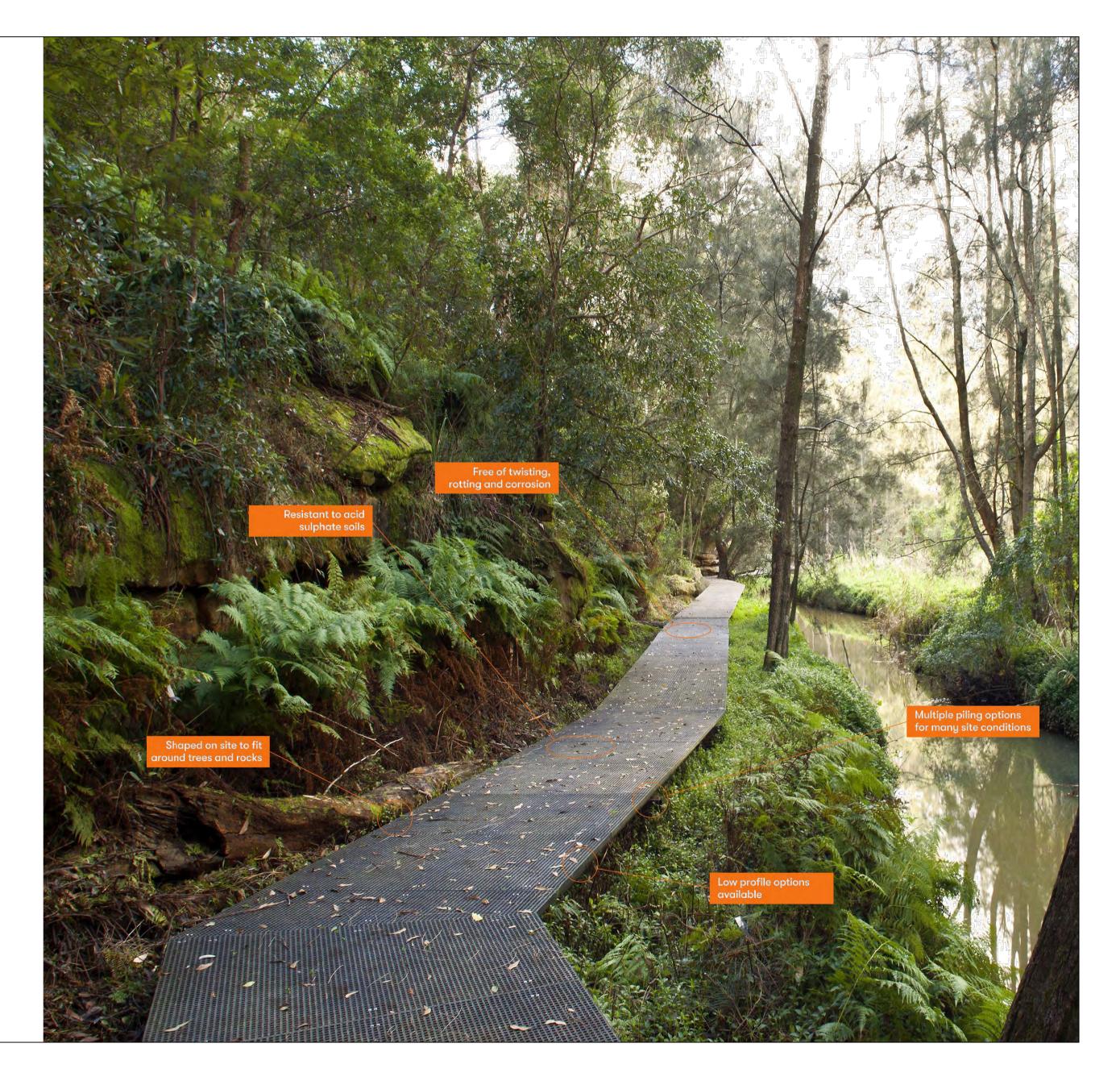
Mars<sup>™</sup> is our most popular elevated boardwalk system. Versatile, lightweight and durable, it's ideal for use in areas that are environmentally sensitive, hard to access or remote. It's also highly cost-effective and can be configured to almost any application.

# Durable & lightweight

- Low ongoing maintenance
- Australian Standards compliant
- Fast installation, minimal excavation
- Flexible configurations

Highly economical





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AMENDMENTS FOR DA APPROVAL	27.05.21 PG/LZ
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# Design

Multiple piling options for wetlands to high level rock, from hand excavation/piling to driven / screw piles.

The Mars<sup>™</sup> boardwalk system complies with Australian Standard slip ratings dependant on deck type chosen, either R and/or P ratings).

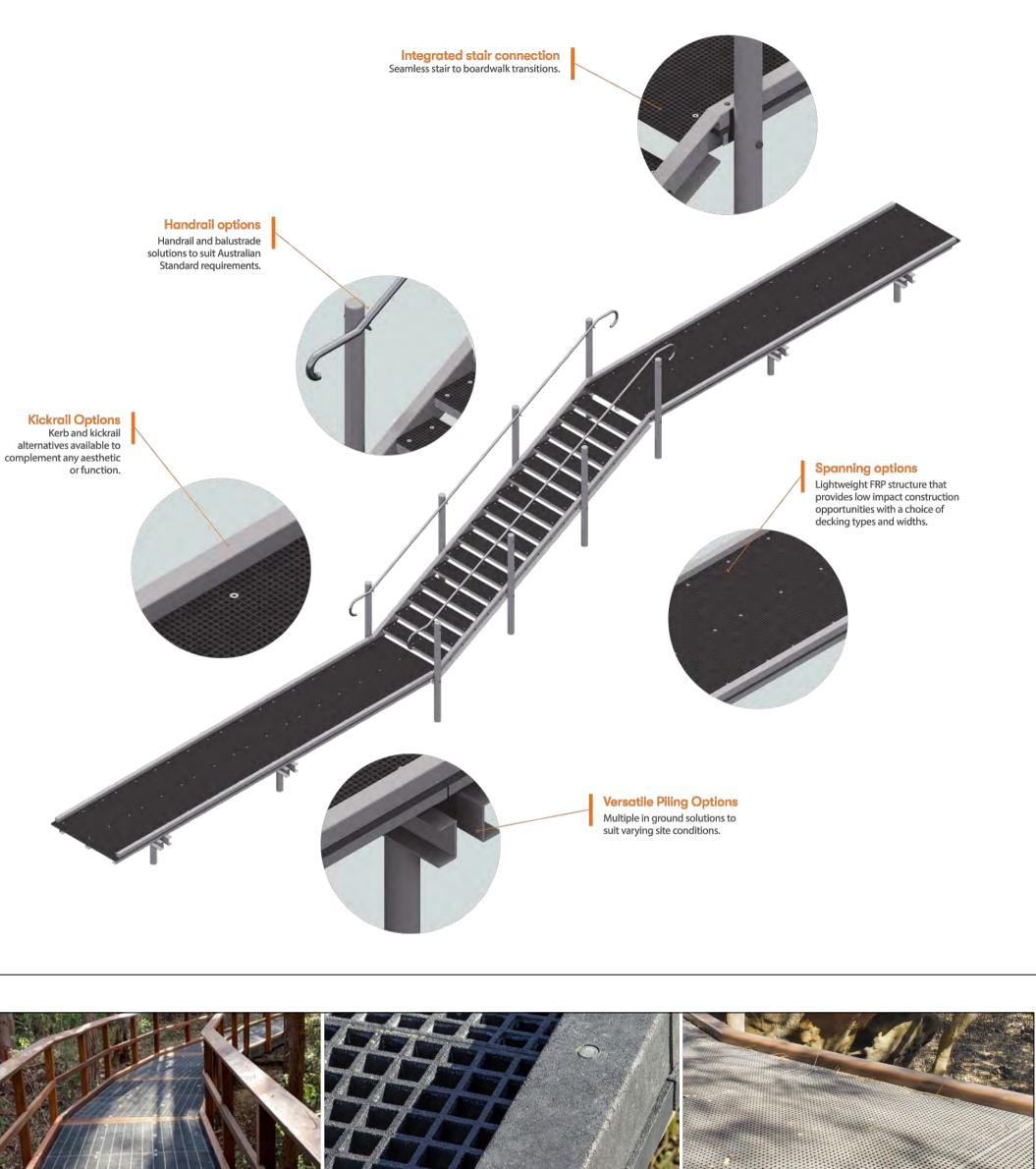
Lightweight materials and modular construction.

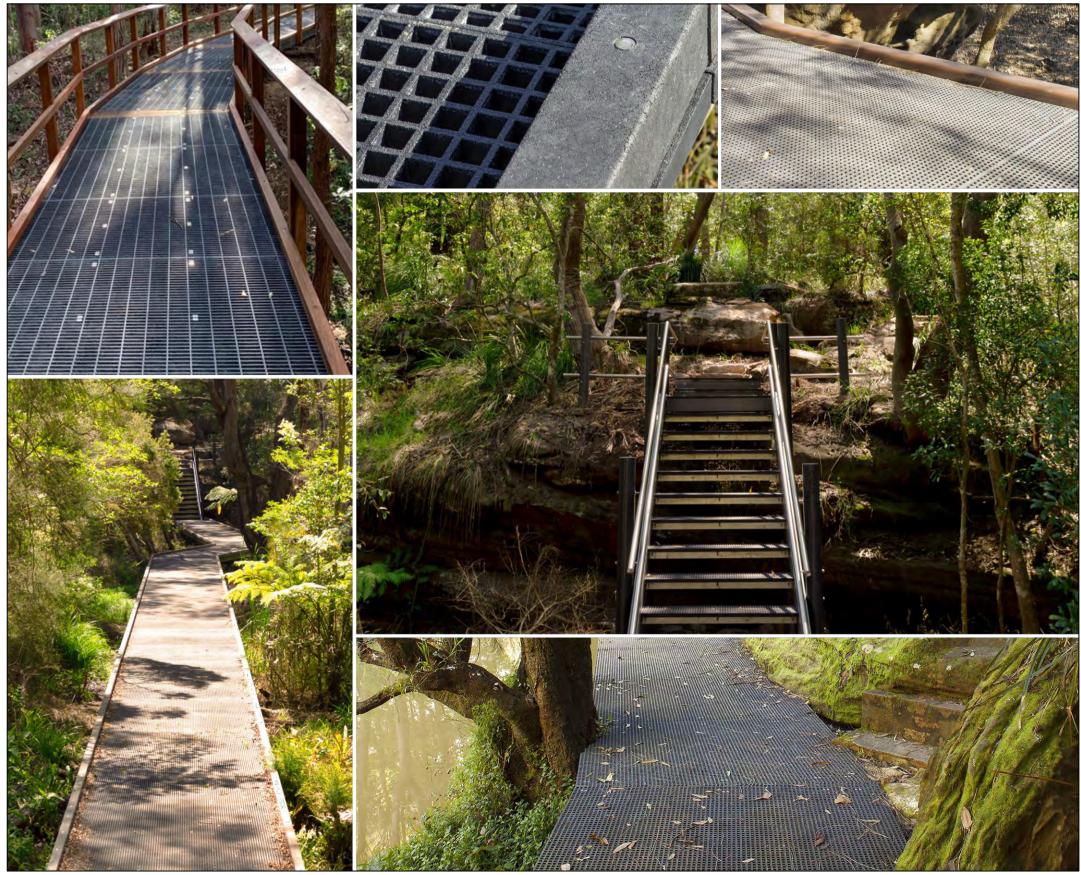
Typical piling span 3 - 3.5m.

Typical 2 - 3kPa loading with option to extend to 4 - 5Kpa.

Typical width 1.2 - 1.8m with option to extend to 3.5m.

Choose options that align to different fall heights, classes of track class and balustrade as notated in AS2156.





Project Title: John Whiteway Drive JWD Development Gosford Project Address: 89 John Whiteway Drive, Gosford

BOARDWALK DETAILS 02

Drawing Title:

This document has been validated by Mark Santangelo Registered Landscape Architect (AILA), BLArch, Dip Hort

Mandamet

Verified by Dean Boone

DIRECTOR

Dean Bow

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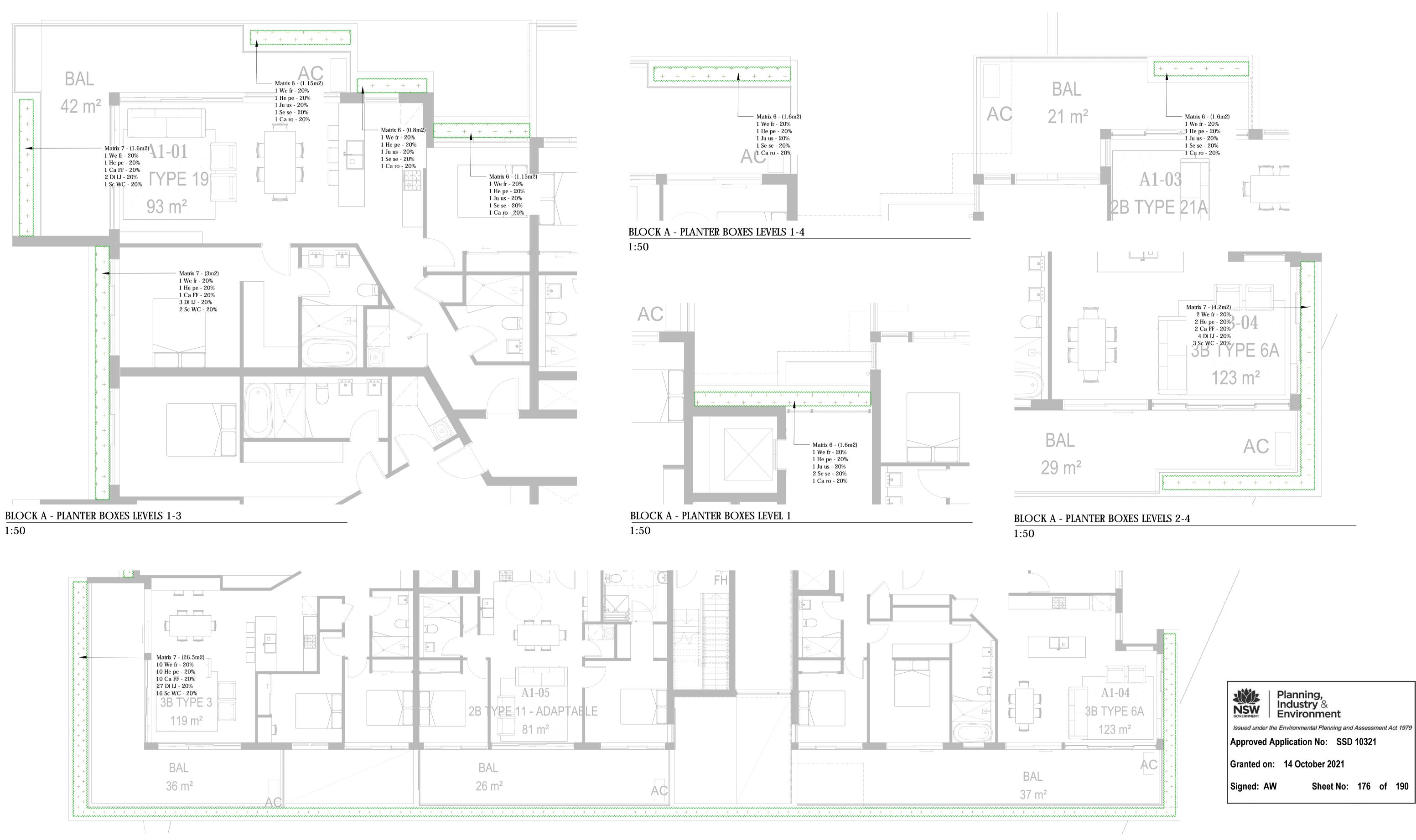
# **REFERENCE: FLEETWOOD- MARS PRODUCT BROCHURE**

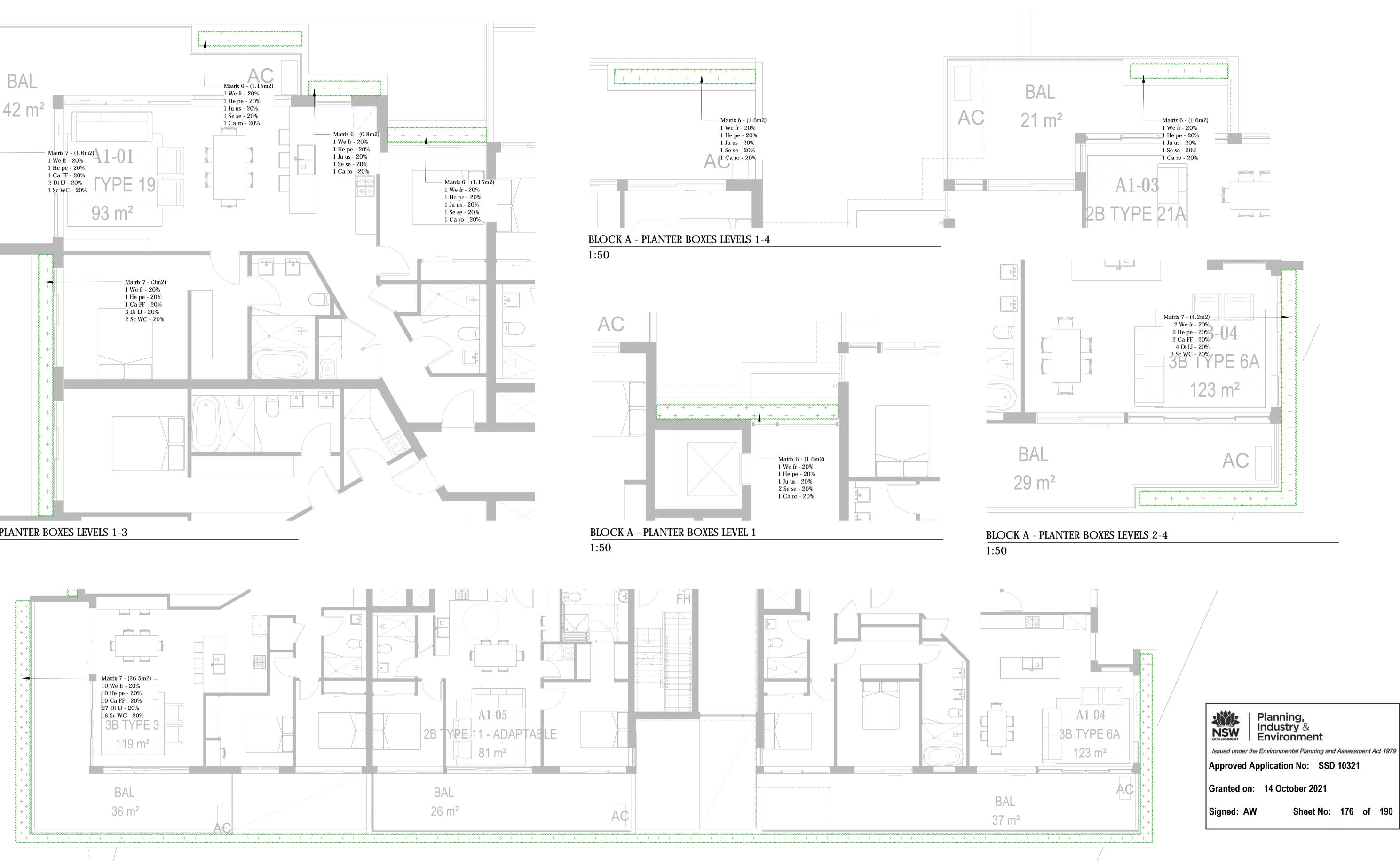
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Scale @ A1/A3: <b>AS SHOWN</b>	Client: JWD Developments Pty Lt	d
Drawing Date: 27.05.21	Drawn/Checked JG/LZ/PG/GW/MS/DB	Drawing Status: DA
Project Number:	Drawing Number:	lssue:

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# BLOCK A - PLANTER BOXES LEVEL 1 1:50

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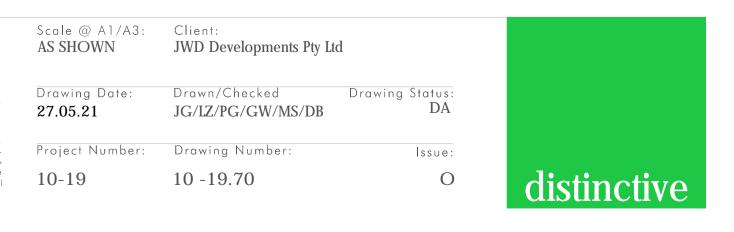
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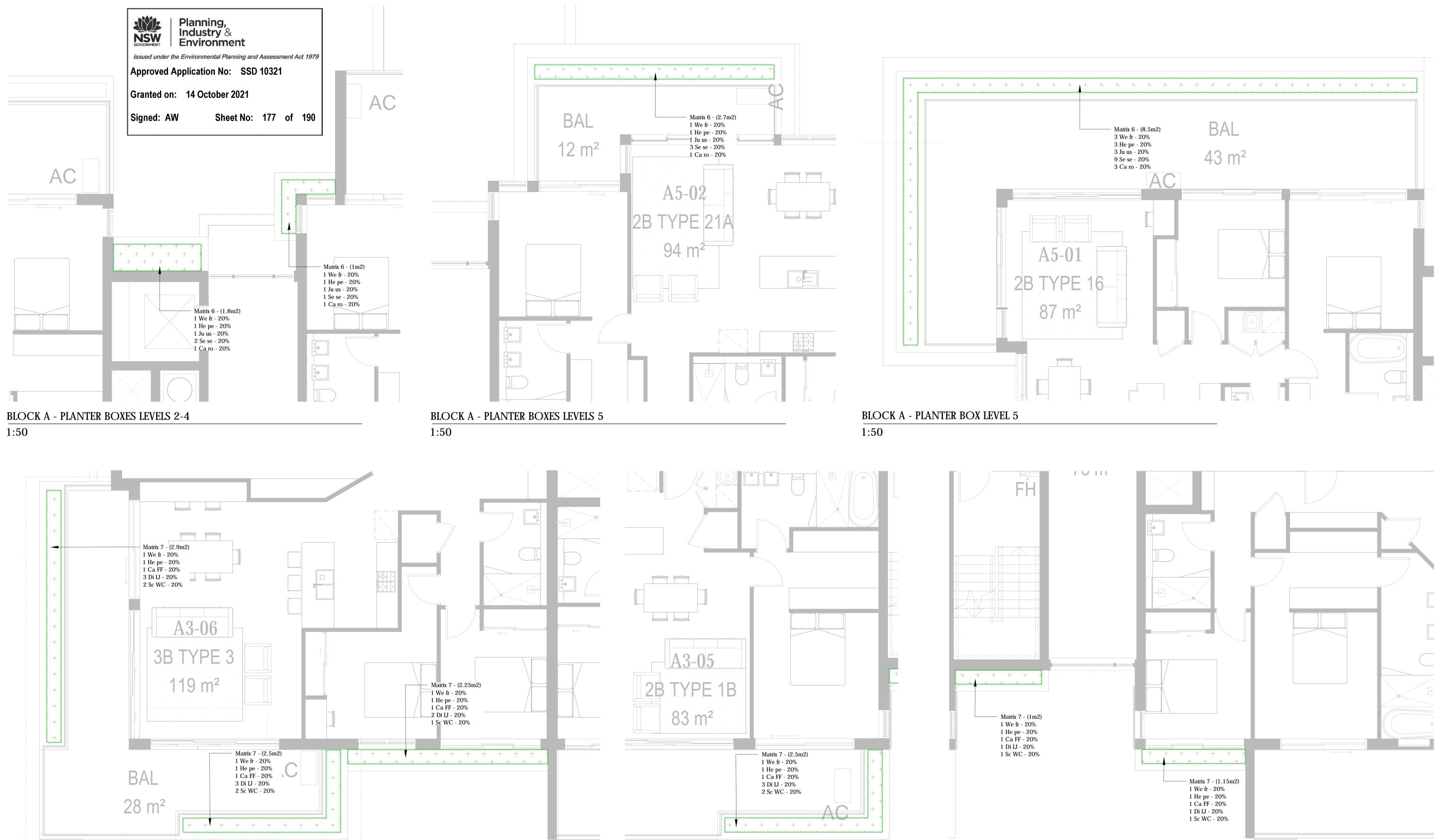


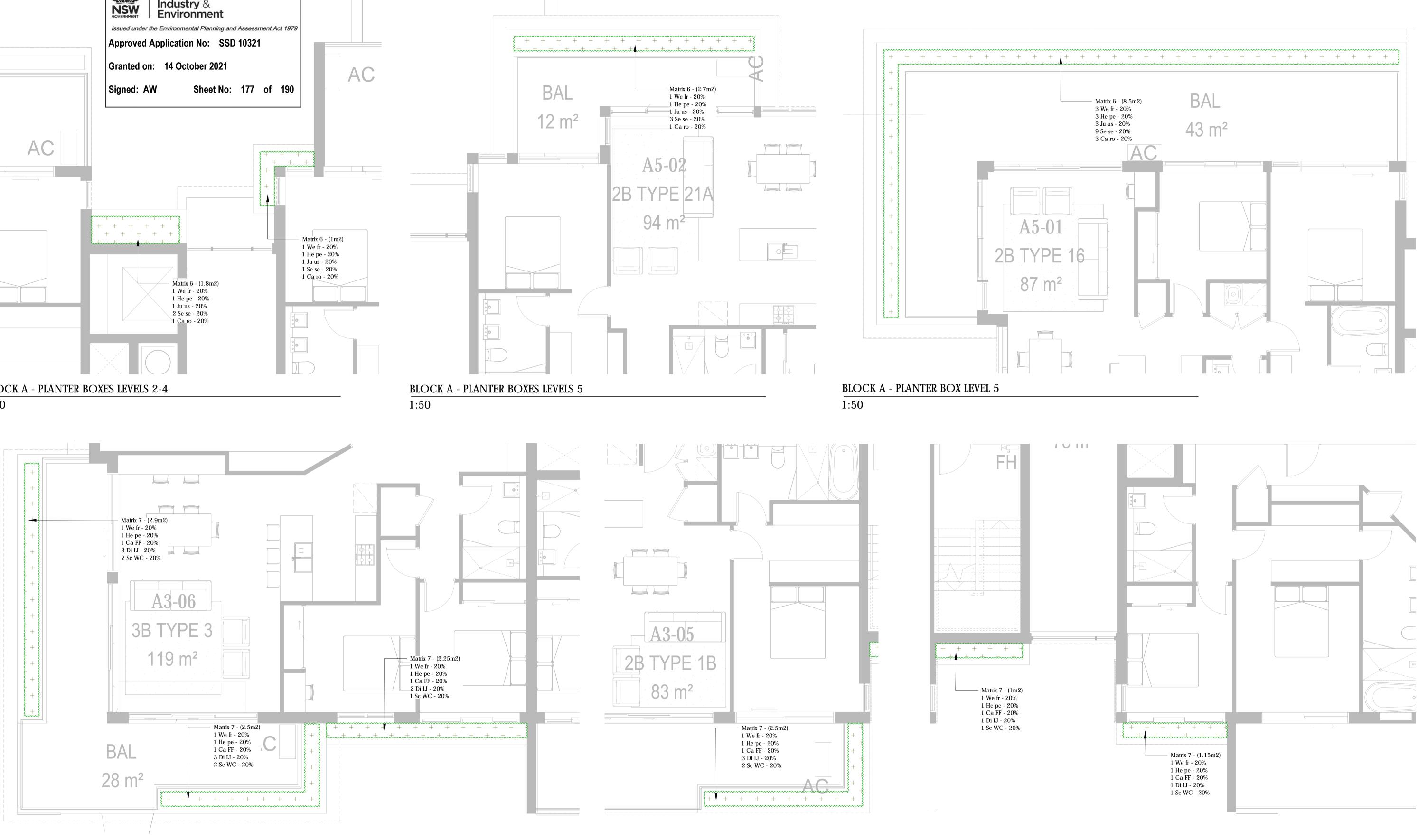


Project Title: John Whiteway Drive JWD Development Gosford Project Address: 89 John Whiteway Drive, Gosford Drawing Title: ADG COMPLIANT PLANTERS 01

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# BLOCK A - PLANTER BOXES LEVELS 2-3

# 1:50

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Н	AMENDMENTS FOR DA APPROVAL	17.07.20	PG/LZ
Ι	AMENDMENTS FOR DA APPROVAL	06.08.20	PG/LZ
J	AMENDMENTS FOR DA APPROVAL	07.08.20	PG/LZ
К	AMENDMENTS FOR DA APPROVAL	21.08.20	LZ
L	AMENDMENTS FOR DA APPROVAL	14.09.20	PG
Μ	AMENDMENTS FOR DA APPROVAL	19.10.20	JG/LZ
Ν	AMENDMENTS FOR DA APPROVAL	11.02.21	LZ
0	AMENDMENTS FOR DA APPROVAL	27.05.21	PG/LZ



# BLOCK A - PLANTER BOXES LEVELS 2-4 1:50



**BLOCK A - PLANTER BOXES LEVELS 2-5** 1:50

Project Title:

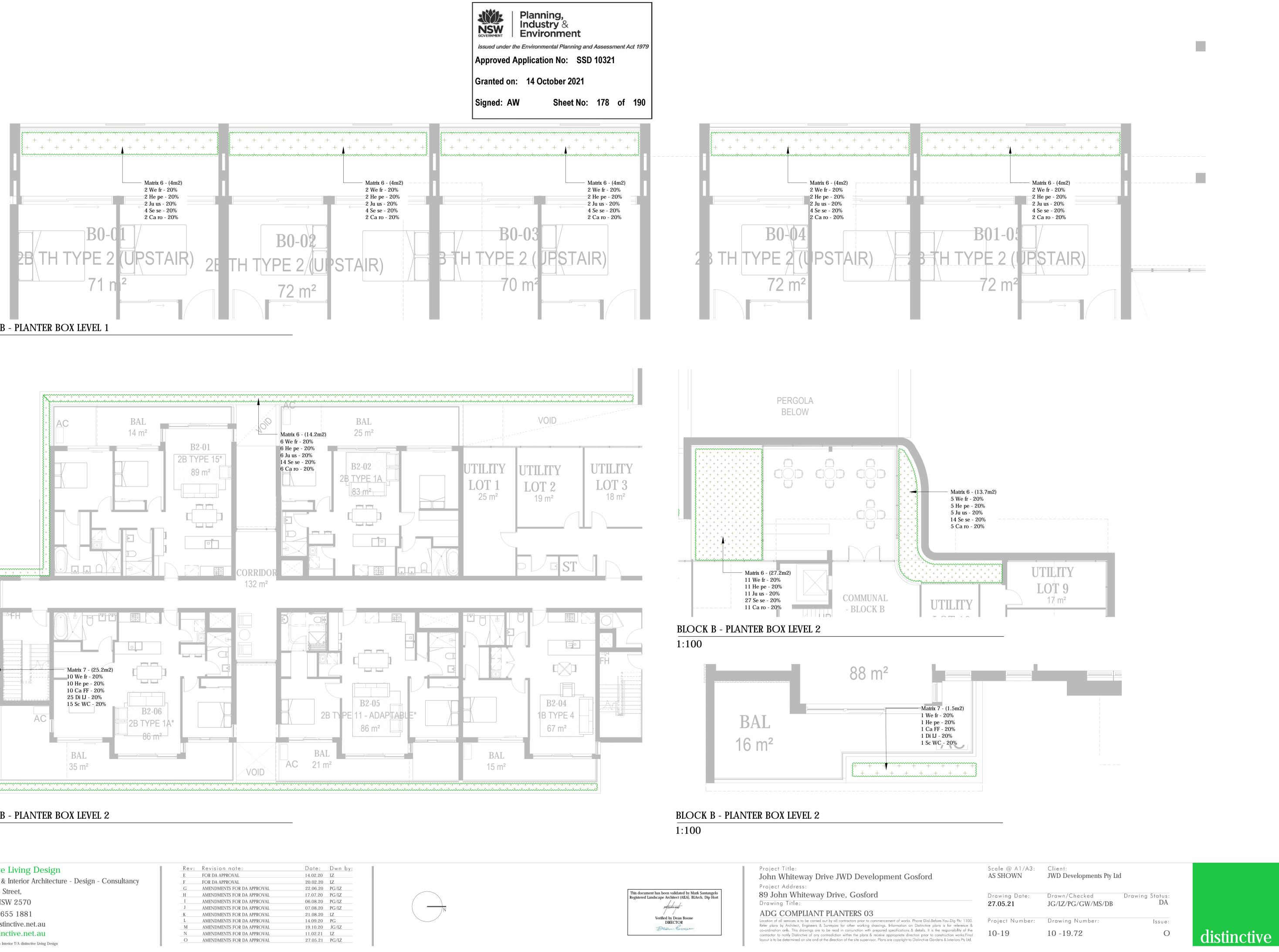
John Whiteway Drive JWD Development Gosford Project Address: 89 John Whiteway Drive, Gosford Drawing Title:

ADG COMPLIANT PLANTERS 02

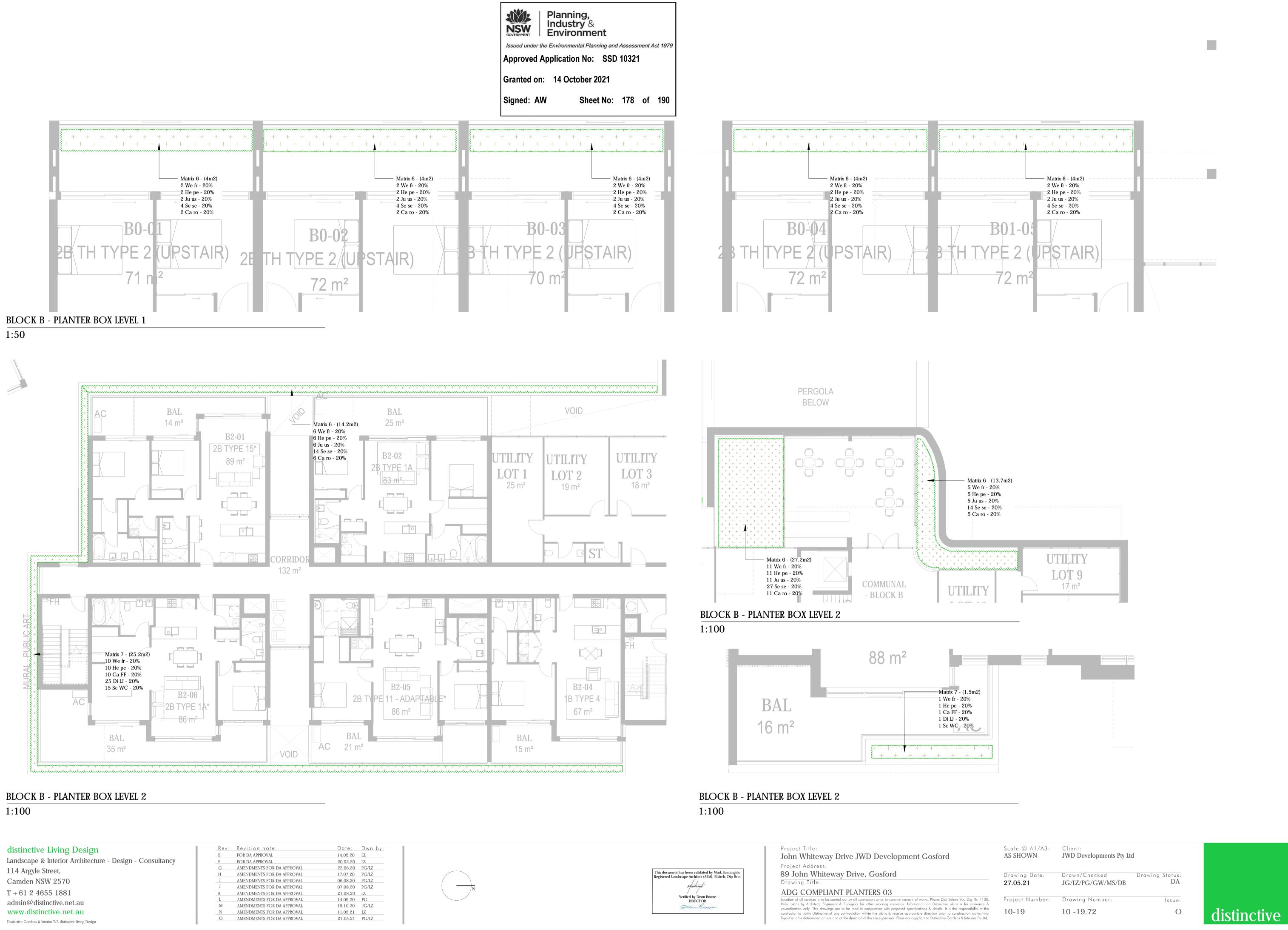
Location of all services is to be carried out by all contractors prior to commencement of works. Phone Dial-Before-You-Dig Ph: 1100. Refer plans by Architect, Engineers & Surveyors for other working drawings. Information on Distinctive plans is for reference & co-ordination only. This drawings are to be read in conjunction with prepared specifications & details. It is the responsibility of the contractor to notify Distinctive of any contradiction within the plans & receive appropriate direction prior to construction works.Final layout is to be determined on site and at the direction of the site supervisor. Plans are copyright to Distinctive Gardens & Interiors Pty Ltd.

Scale @ A1/A3: AS SHOWN	Client: JWD Developments Pty Lt	d
Drawing Date: 27.05.21	Drawn/Checked JG/LZ/PG/GW/MS/DB	Drawing Status: DA
Project Number:	Drawing Number:	lssue:
10-19	10 - 19.71	0



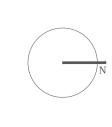




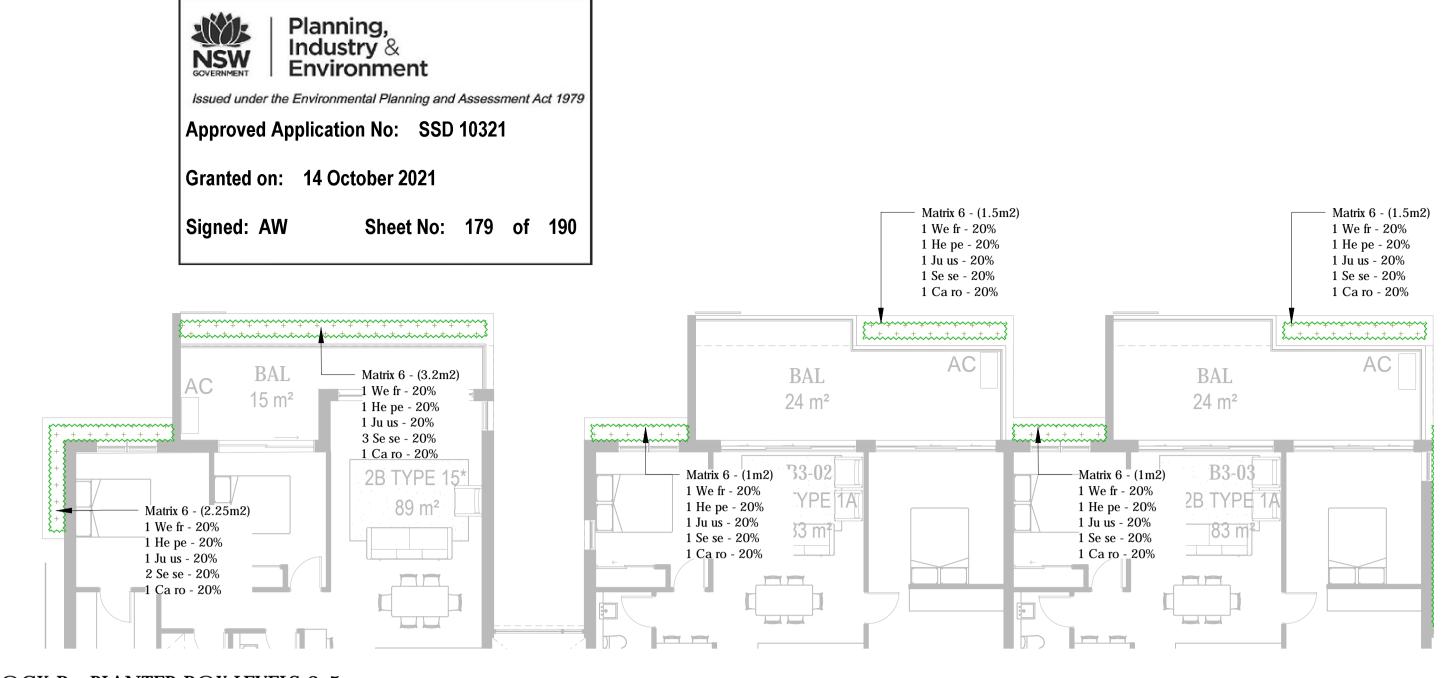


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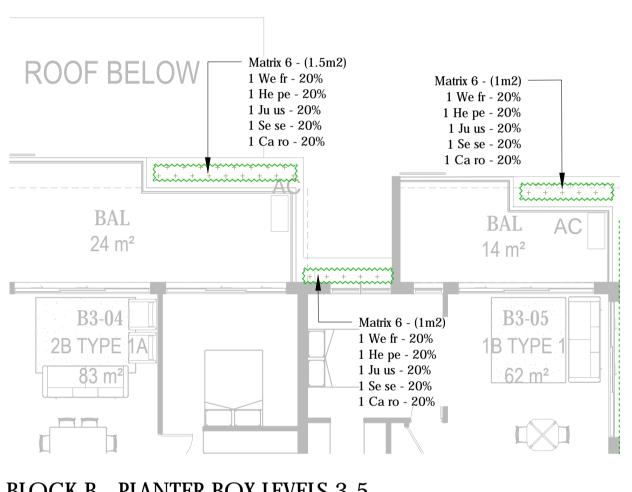
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L	AMENDMENTS FOR DA APPROVAL	14.09.20	PG
М	AMENDMENTS FOR DA APPROVAL	19.10.20	JG/LZ
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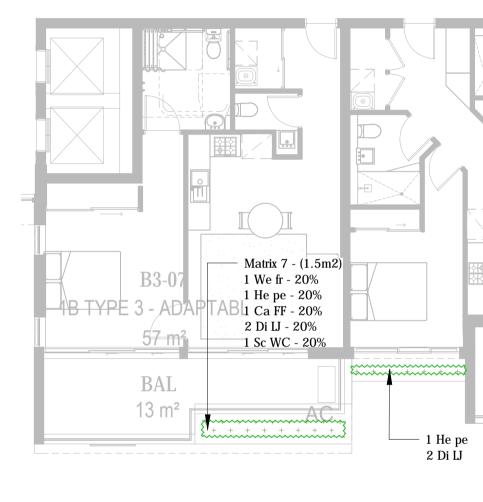


Scale @ A1/A3: AS SHOWN	Client: JWD Developments Pty Ltd
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Project Number:	Drawing Number:



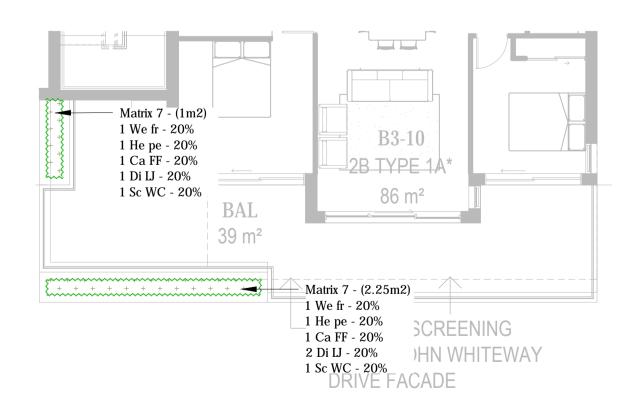


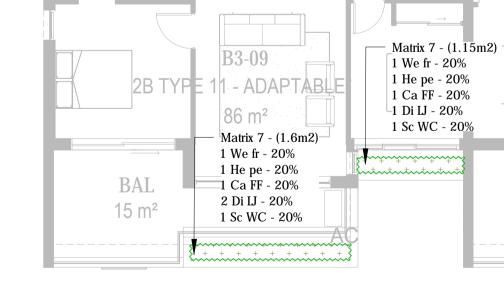




BLOCK B - PLANTER BOX LEVELS 3-5 1:100







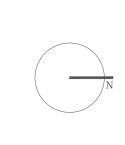
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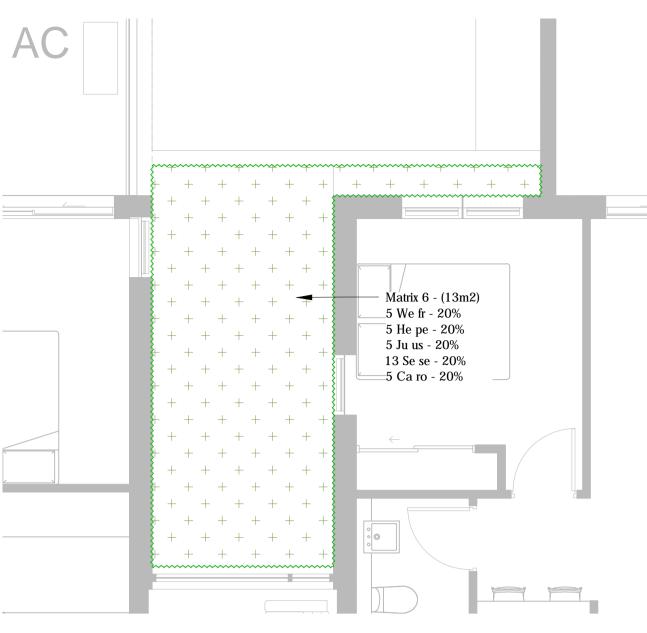
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Rev:	Revision note:	Date:	Dwn by:
Е	FOR DA APPROVAL	14.02.20	LZ
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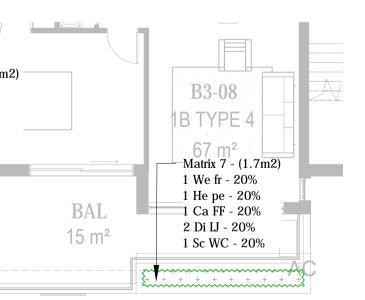






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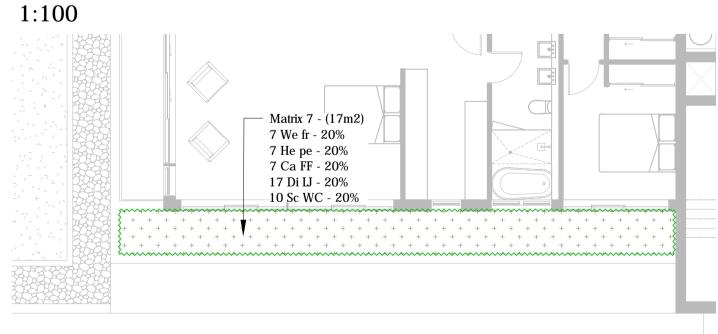


-

BAL

31 m²

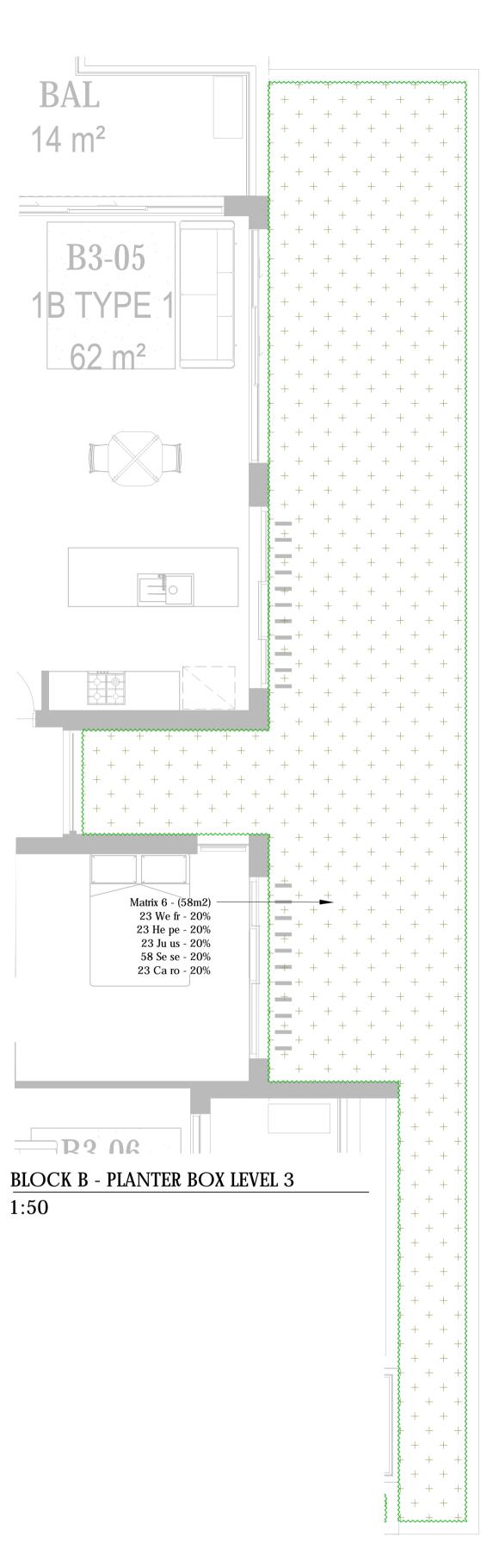




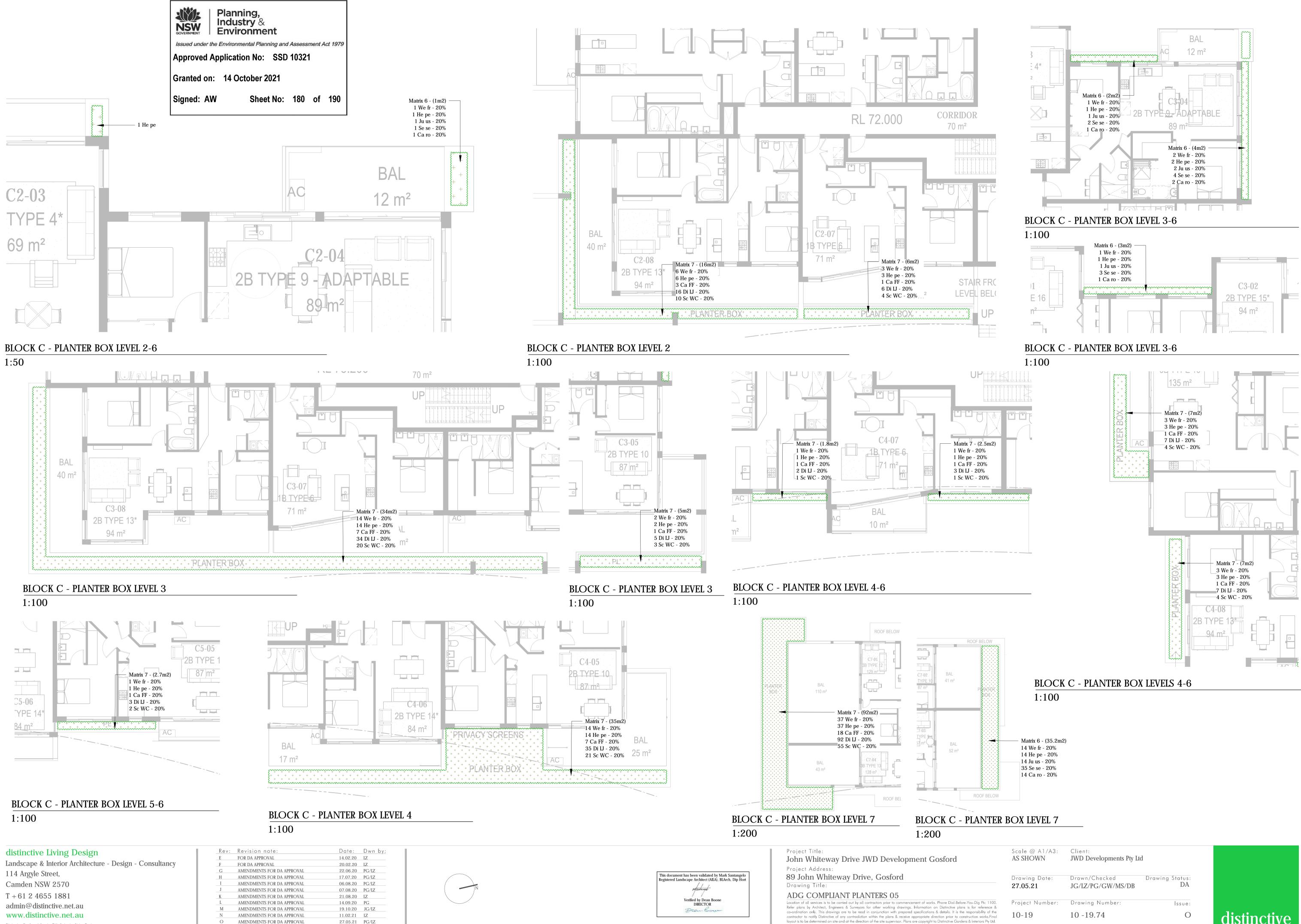
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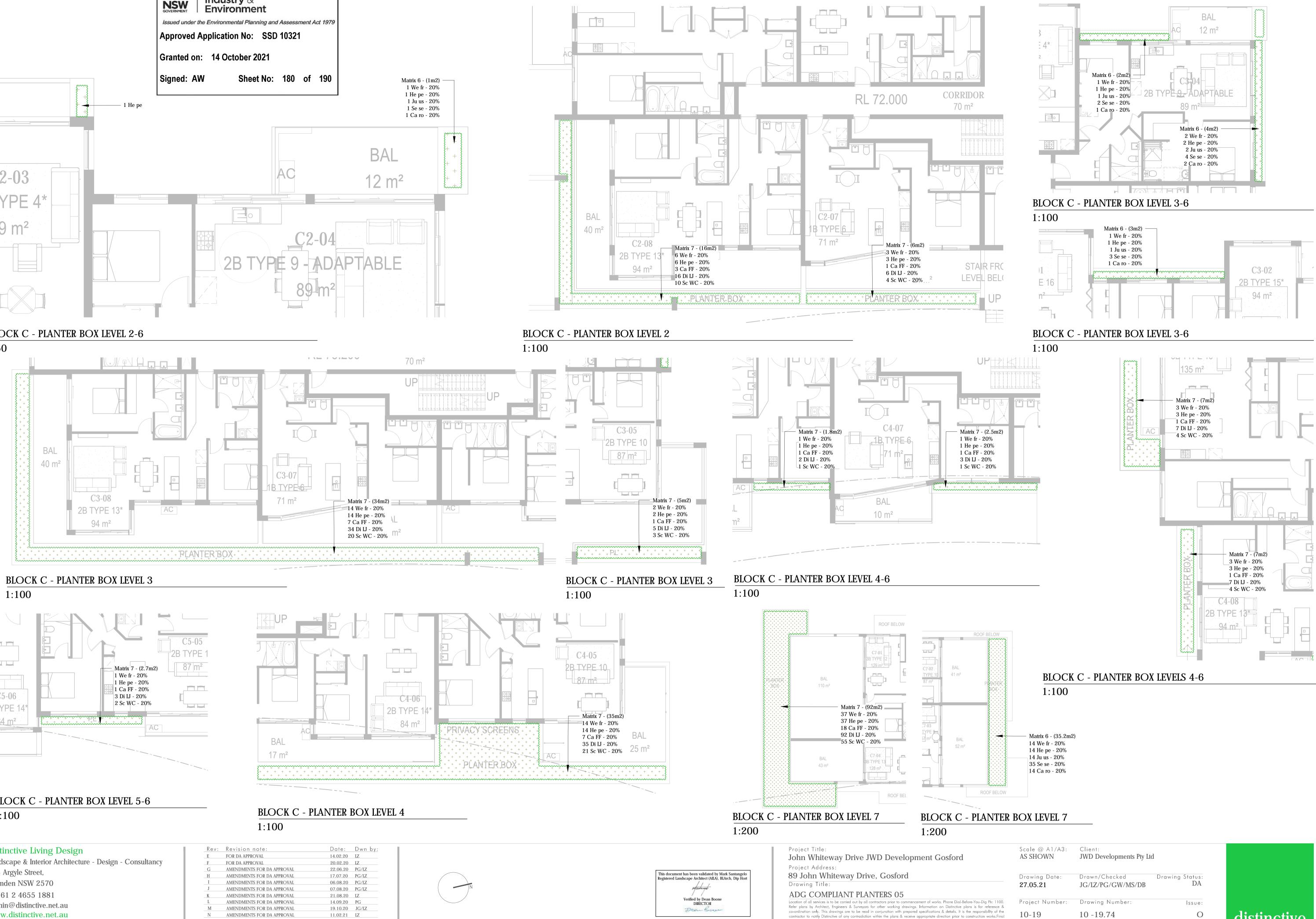


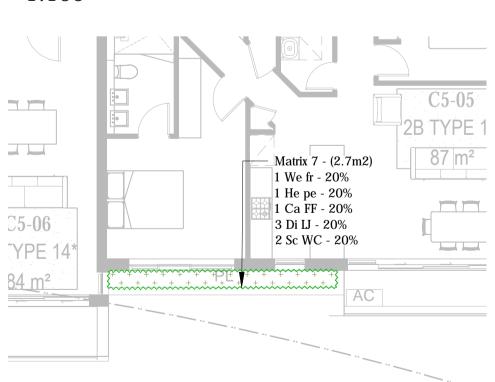
Project Title: John Whiteway Drive JWD Development Gosford Project Address: 89 John Whiteway Drive, Gosford Drawing Title: ADG COMPLIANT PLANTERS 04 Location of all services is to be carried out by all contractors prior to commencement of works. Phone Dial-Before-You-Dig Ph: 1100. Refer plans by Architect, Engineers & Surveyors for other working drawings. Information on Distinctive plans is for reference & co-ordination only. This drawings are to be read in conjunction with prepared specifications & details. It is the responsibility of the contractor to notify Distinctive of any contradiction within the plans & receive appropriate direction prior to construction works. Final layout is to be determined on site and at the direction of the site supervisor. Plans are copyright to Distinctive Gardens & Interiors Pty Ltd.



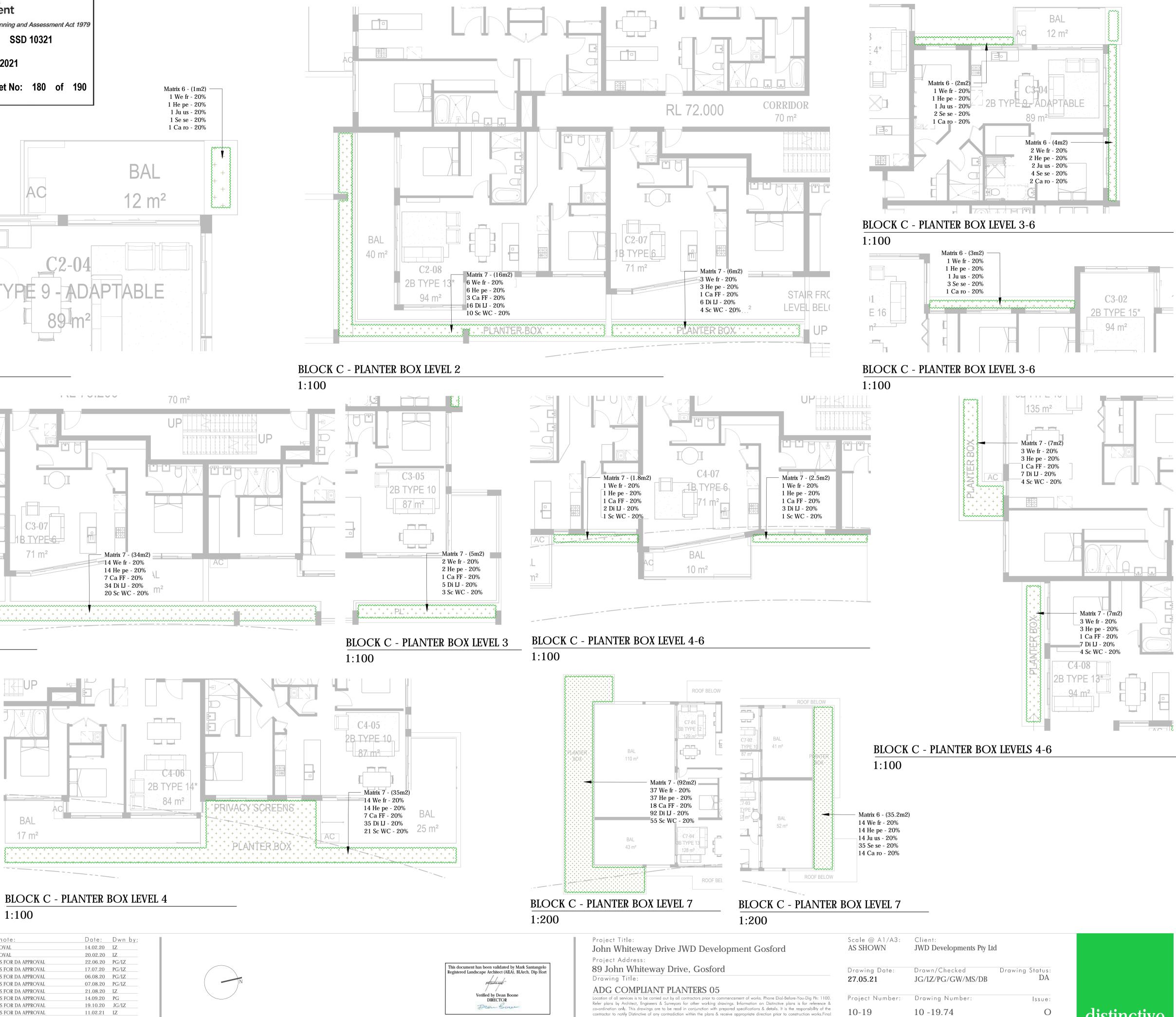
Scale @ A1/A3: AS SHOWN	Client: JWD Developments Pty Lt	d	
Drawing Date: 27.05.21	Drawn/Checked JG/LZ/PG/GW/MS/DB	Drawing Status: DA	
Project Number:	Drawing Number:	lssue:	
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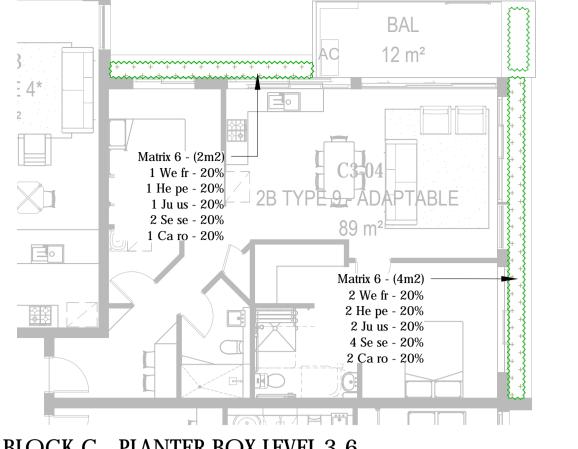


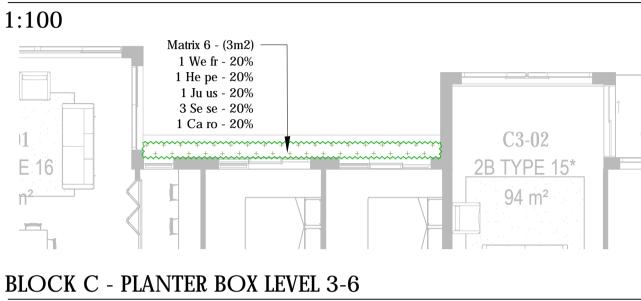
Distinctive Gardens & Interior T/A distinctive Living Design



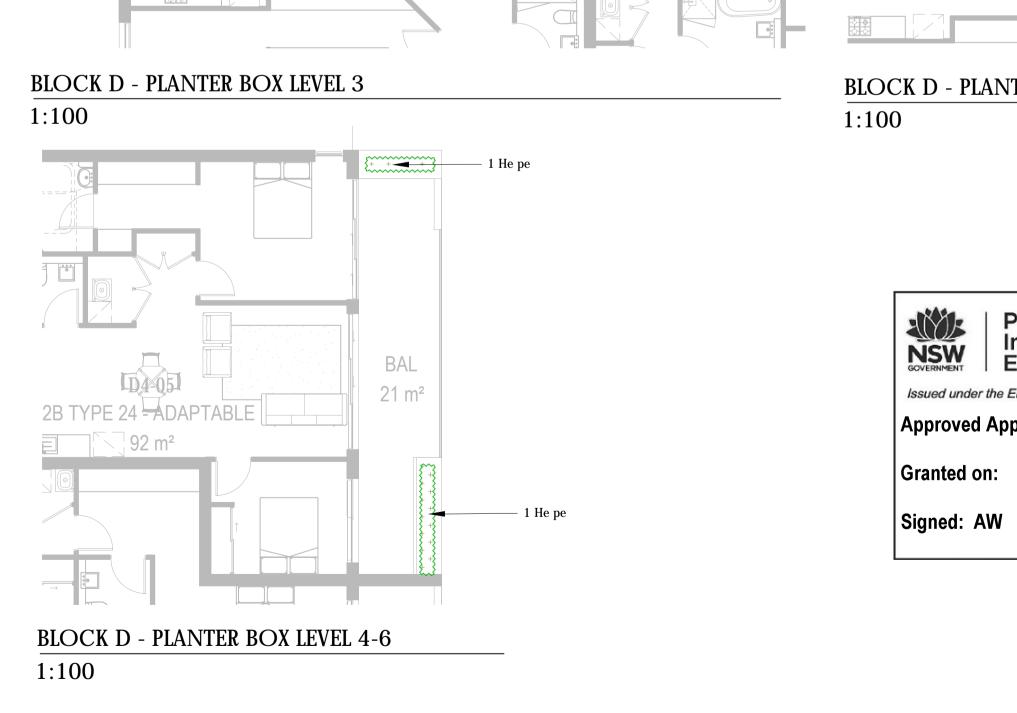
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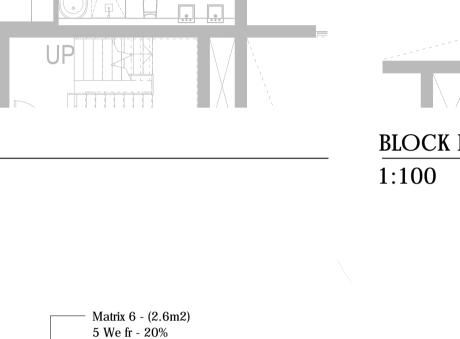


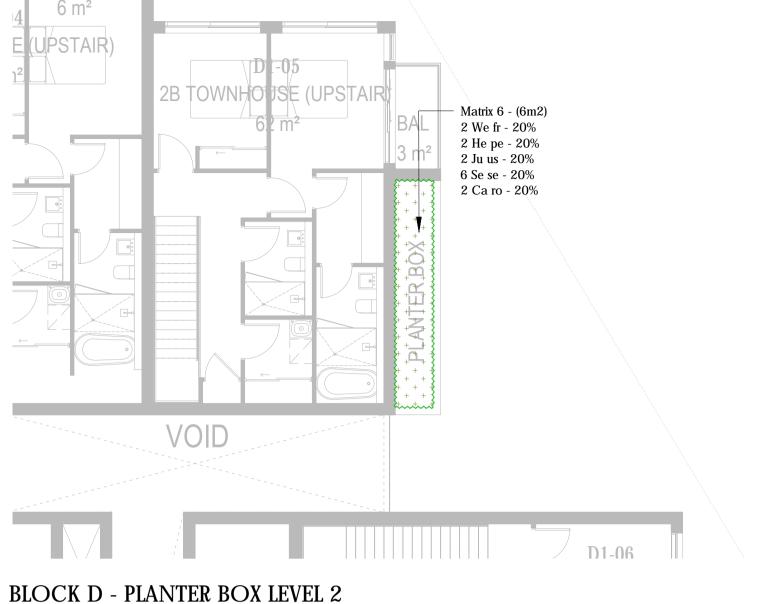


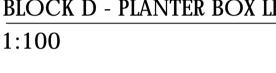
Scale @ A1/A3: AS SHOWN	Client: JWD Developments Pty Ltd		
Drawing Date: 27.05.21	Drawn/Checked JG/LZ/PG/GW/MS/DB	Drawing	Sto
Project Number:	Drawing Number:		s



### 5 He pe - 20% 5 Ju us - 20% D3-02 12 Se se - 20% **3B TYPE 11** 5 Ca ro - 20% 129 m<sup>2</sup> BAL 17 m² BAL 31 m²







BLOCK D - PLANTER BOX LEVEL 2 1:100

Matrix 6 - (4m2) 2 We fr - 20% 2 He pe - 20% 2 Ju us - 20% 4 Se se - 20% 2 Ca ro - 20% BAL 23 m<sup>2</sup> D2-17 2B TYPE 5 90 m<sup>2</sup> 

# 3B TYPE 11 130 m<sup>2</sup> BLOCK D - PLANTER BOX LEVEL 4-6

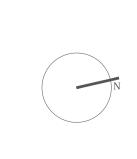
D4-02

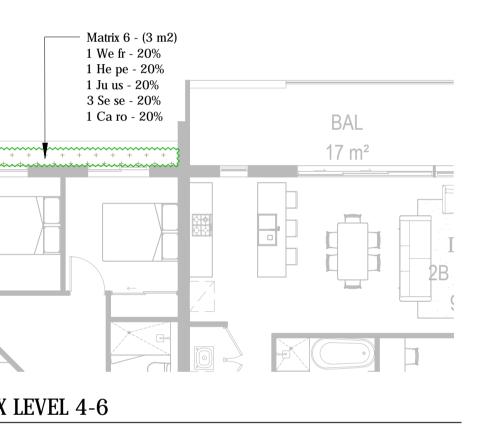
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	e Environmental Pla pplication No:
Granted on:	••
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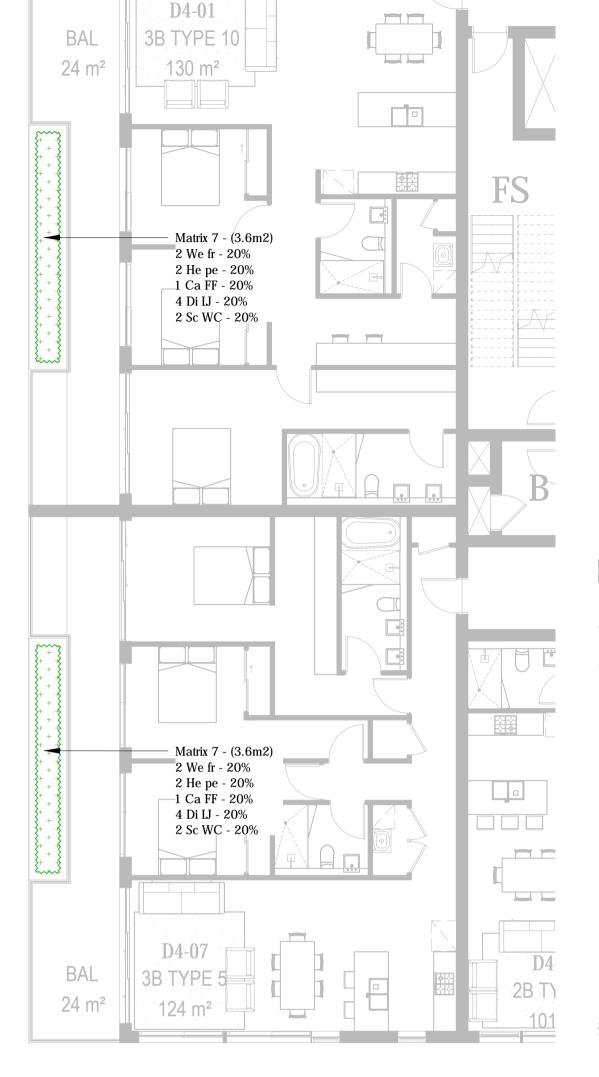
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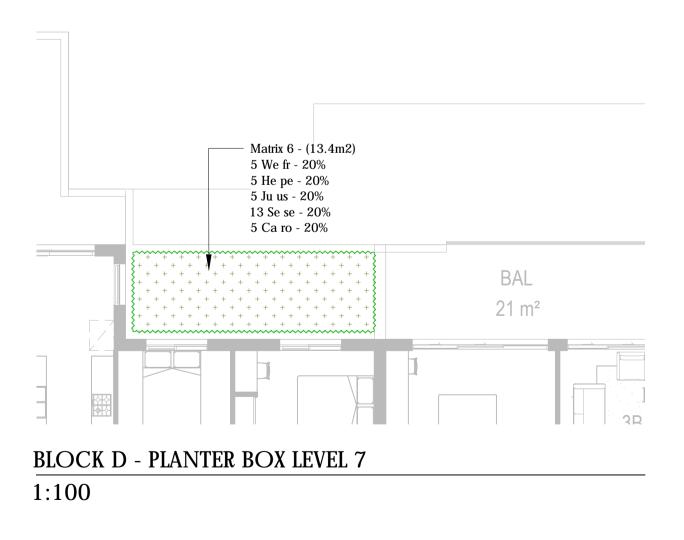
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Е	FOR DA APPROVAL	14.02.20	LZ
F	FOR DA APPROVAL	20.02.20	LZ
G	AMENDMENTS FOR DA APPROVAL	22.06.20	PG/LZ
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L	AMENDMENTS FOR DA APPROVAL	14.09.20	PG
М	AMENDMENTS FOR DA APPROVAL	19.10.20	JG/LZ
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Ο	AMENDMENTS FOR DA APPROVAL	27.05.21	PG/LZ

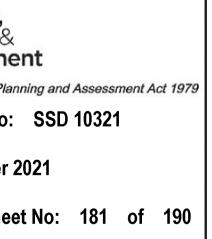






# BLOCK D - PLANTER BOX LEVEL 4-6 1:100

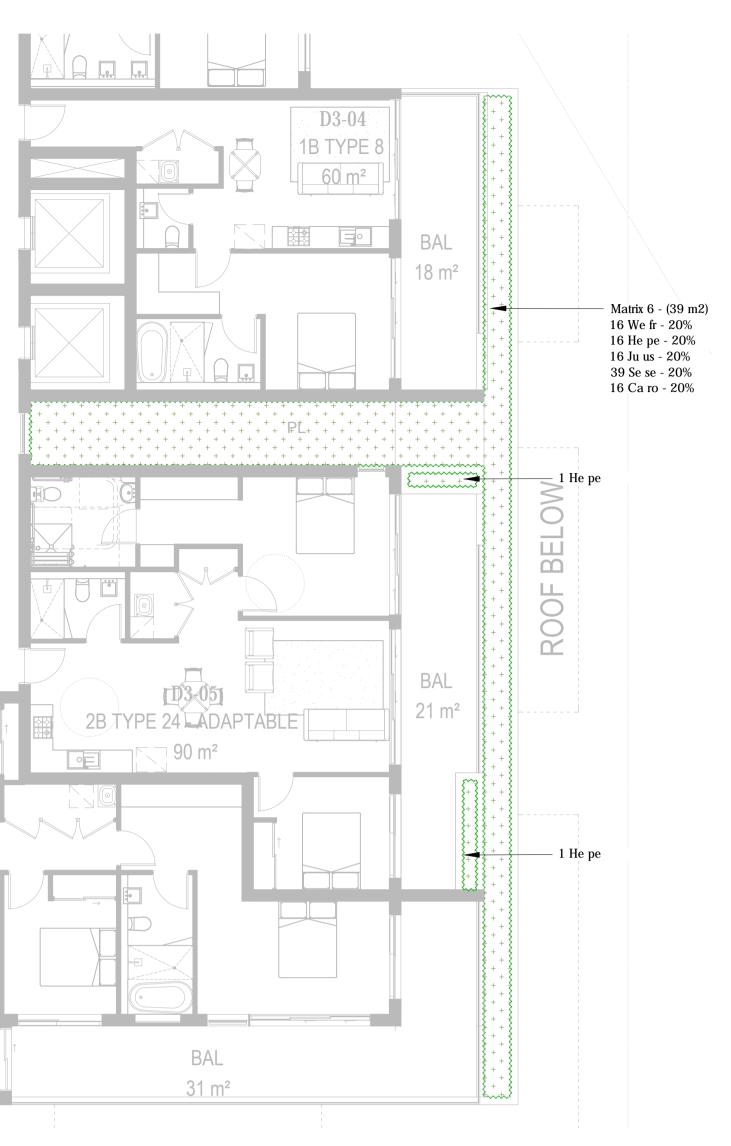




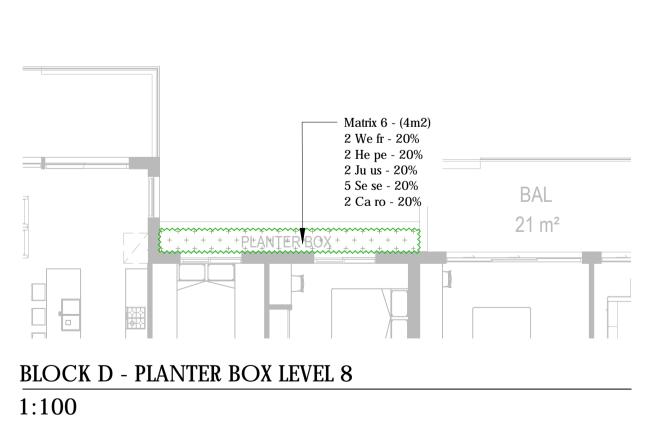


Project Title: John Whiteway Drive JWD Development Gosford Project Address: 89 John Whiteway Drive, Gosford Drawing Title: ADG COMPLIANT PLANTERS 06 Location of all services is to be carried out by all contractors prior to commencement of works. Phone Dial-Before-You-Dig Ph: 1100. Refer plans by Architect, Engineers & Surveyors for other working drawings. Information on Distinctive plans is for reference &

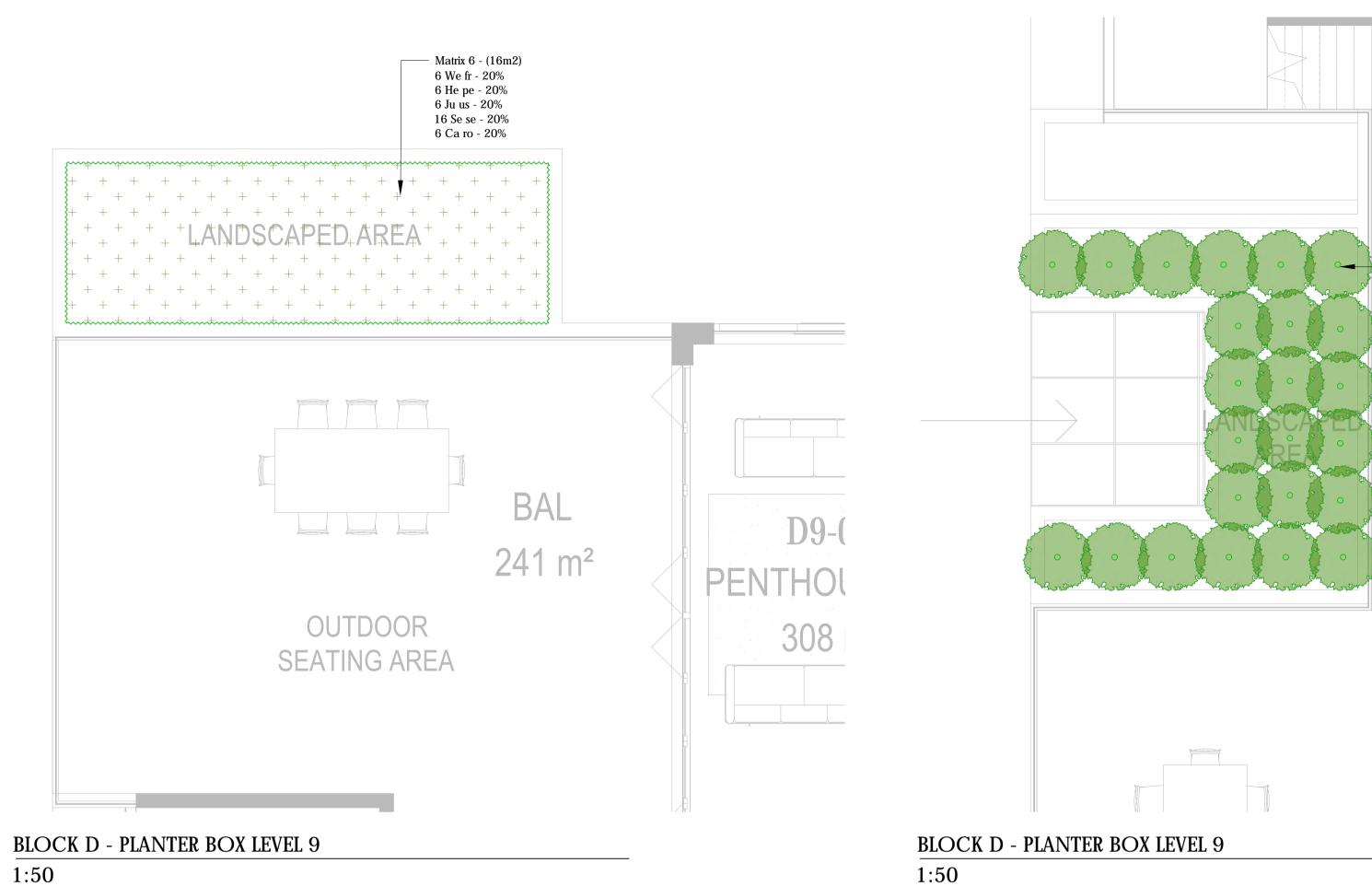
co-ordination only. This drawings are to be read in conjunction with prepared specifications & details. It is the responsibility of the contractor to notify Distinctive of any contradiction within the plans & receive appropriate direction prior to construction works.Final layout is to be determined on site and at the direction of the site supervisor. Plans are copyright to Distinctive Gardens & Interiors Pty Ltd.



# BLOCK D - PLANTER BOX LEVEL 3 1:100



Scale @ A1/A3: AS SHOWN	Client: JWD Developments Pty Lt	d
Drawing Date: 27.05.21	Drawn/Checked JG/LZ/PG/GW/MS/DB	Drawing Status: DA
Project Number:	Drawing Number:	lssue:
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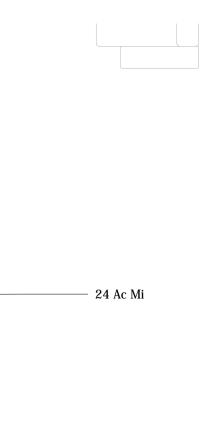


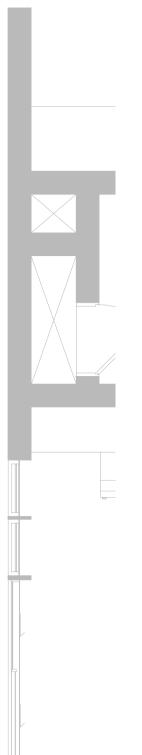
distinctive Living Design

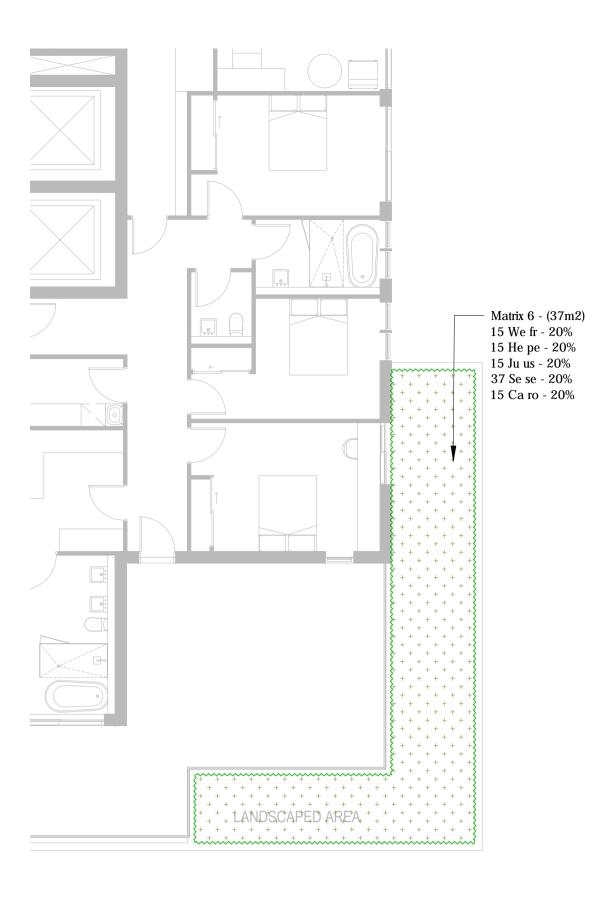
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L	AMENDMENTS FOR DA APPROVAL	14.09.20	PG
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Ν	AMENDMENTS FOR DA APPROVAL	11.02.21	LZ
Ο	AMENDMENTS FOR DA APPROVAL	27.05.21	PG/LZ









BLOCK D - PLANTER BOX LEVEL 9 1:100





Project Title: John Whiteway Drive JWD Development Gosford Project Address: 89 John Whiteway Drive, Gosford Drawing Title: ADG COMPLIANT PLANTERS 07

Location of all services is to be carried out by all contractors prior to commencement of works. Phone Dial-Before-You-Dig Ph: 1100. Refer plans by Architect, Engineers & Surveyors for other working drawings. Information on Distinctive plans is for reference & co-ordination only. This drawings are to be read in conjunction with prepared specifications & details. It is the responsibility of the contractor to notify Distinctive of any contradiction within the plans & receive appropriate direction prior to construction works.Final layout is to be determined on site and at the direction of the site supervisor. Plans are copyright to Distinctive Gardens & Interiors Pty Ltd.

Scale @ A1/A3: Client: AS SHOWN

JWD Developments Pty Ltd

Drawing Date: 27.05.21

10-19

JG/LZ/PG/GW/MS/DB Project Number: Drawing Number: 10 - 19.76

Drawn/Checked

Drawing Status: DA

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