

The Anglican Schools Corporation  
C/- Midson

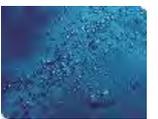


Preliminary Site Investigation:  
Proposed Senior School and Sports  
Centre  
800 Pittwater Road, Dee Why &  
224 Headland Road, North Curl Curl,  
NSW

ENVIRONMENTAL



WATER



WASTEWATER



GEOTECHNICAL



CIVIL



PROJECT  
MANAGEMENT



P1907215JR01V01  
October 2019

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All enquiries regarding this project are to be directed to the Project Manager.

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## General Abbreviations

ACM	Asbestos-containing material
AEC	Areas of environmental concern
ASC NEPM	National Environmental Protection (Assessment of Site Contamination) Measure (2013)
ASS	Acid sulfate soil
ASSMAC	Acid Sulfate Soils Management Advisory Committee
AST	Above ground storage tank
BGL	Below ground level
BTEXN	Benzene, toluene, ethylbenzene, xylene, naphthalene
COPC	Contaminants of potential concern
DA	Development application
DEC	Department of Environment and Conservation
DECC	Department of Environment and Climate Change
DP	Deposited Plan
DSI	Detailed Site Investigation
EIS	Environmental Impact Statement
EPA	NSW Environmental Protection Authority
HM	Heavy metals
MA	Martens & Associates
mAHD	Metres, Australian Height Datum
mbgl	Metres below ground level
NEPM	National Environment Protection Measure
OCP	Organochloride pesticides
OEH	NSW Office of Environment and Heritage
OPP	Organophosphorus pesticides
PACM	Potential asbestos containing material
PAH	Polycyclic aromatic hydrocarbons
PCB	Polychlorinated biphenyl
PSI	Preliminary Site Investigation
SEARs	<b>Secretary's Environmental Assessment Requirements</b>
SSD	State Significant Development
TRH	Total recoverable hydrocarbons
UPSS	Underground petroleum storage system
UST	Underground storage tank
VHC	Volatile halogenated compounds
VOC	Volatile organic compounds

# 1 Overview

## 1.1 Introduction

This report, prepared by Martens and Associates (MA), documents a Preliminary Site Investigation (PSI) to support the preparation of an environmental impact statement (EIS) for the proposed extension of St Luke's Grammar Senior School to 800 Pittwater Road, Dee Why and 224 Headland Road, North Curl Curl, NSW ('the site'), as shown in Figure 1, Attachment A. This report has been prepared to address site contamination requirements, part 13, in the secretary's environmental assessment requirements (SEARs) number 'SSD 10291'.

## 1.2 Proposed Development

St Luke's Grammar School proposes to expand its existing campus to incorporate 224 Headland Road as a sports centre and 800 Pittwater Road as a designated senior school for 600 senior school students.

The proposed development comprises alterations and additions to the existing buildings at 800 Pittwater Road and 224 Headland, functioning as part of a single educational establishment.

Proposed plans are provided in Attachment B.

## 1.3 Objectives

Investigation objectives include:

- o Identification of historical and current potentially contaminating site activities.
- o Evaluation of areas of environmental concern (AEC) and associated contaminants of potential concern (COPC) within the site.
- o Assess identified AEC and associated COPC.
- o Provide comment on the suitability of the site for the future development use, and where required, provide recommendations for additional investigations.

## 1.4 Project Scope

The scope of works includes:

- Walkover inspection to review current land use, potential contaminating activities and neighbouring land use.
- Site history review using aerial photographs and Council records.
- Review of NSW EPA notices under the Contaminated Land Management Act (1997).
- Preparation of a report in general accordance with the relevant sections of NSW OEH (2011), ASC NEPM (2013), EPA (2017) and SEPP 55.

## 2 Site Description

### 2.1 Site Details

Site information is summarised in Table 1, and site location and general surrounds shown in Figure 1, Attachment A.

Table 1: Site background information.

Item	Description / Detail
Site address	800 Pittwater Road, Dee Why, NSW 224 Headland Road, North Curl Curl, NSW.
Legal Identifier	Lot 6 DP 523299 SP 45082
Approximate area	1.5 ha (SIX Maps, 2019)
Local Government Area	Northern Beaches Council.
Current zoning and land use	800 Pittwater Road is zoned B5 (Business Development) and; 224 Headland Road is zoned IN1 (General Industrial).  The lots were commercial properties at the time of preparing this report.
Site description	800 Pittwater Road contained a commercial facility with concrete car parking surrounding the site. The majority of the building footprint is above a basement carpark excavated into sandstone bedrock.  224 Headland Road contained commercial and existing <b>St Luke's Grammar</b> facilities with hardstand car parking to the west and adjoining commercial development and <b>St Luke's Grammar School</b> to the east.
Surrounding land uses	The site is bounded by Pittwater Road to the northwest, Harbord Road to the southwest, Headland Road to the southeast, <b>St Luke's Grammar School</b> to the east and <b>Stony Range Regional Botanic Garden</b> to the north. Commercial and residential properties in all directions.
Topography	The site slope at 800 Pittwater Road is > 15 % and at 224 Headland Road is > 5 %.  Site elevation ranges between approximately 58 mAHD in the east and 34 mAHD in the west (STEPHEN R. CARR, 2019).
Expected geology	The <i>Sydney 1:100,000 Geological Sheet 9130</i> describes site geology as Hawkesbury Sandstone, containing medium to coarse- grained quartz sandstone with very minor shale and laminite lenses  The NSW Environment and Heritage eSPADE website identifies the site as having soils of GyMEA Landscape having soils of shallow to moderately deep yellow earths and earthy sands on crests and insides of benches; shallow siliceous sands on leaning edges of benches; localised gleyed podzolic soils and yellow podzolic soils on shale lenses; shallow to moderately deep siliceous sands and leached sands along drainage lines.
Surface hydrology	Drainage of the site is via overland flow to the council stormwater network on Harbord Road and Headland Road.

## 2.2 Hydrogeology

Review of Water NSW Real-time Water Database, indicated no groundwater bore on the site. Twelve groundwater bores within 1000 metres of the site summarised in Table 2.

Table 2: Available hydrogeological information.

Bore Identification	Record Date	Intended Use	Standing Water Level (mbgl)	Distance and direction from site
GW105850	2001	Monitoring	1.4	335 m northeast
GW105849	2001	Monitoring	1.4	352 m northeast
GW108144	2005	Recreation	-	697 m west
GW107655	2005	Recreation	3.0	771 m southeast
GW107814	2005	Household	-	911 m southeast
GW107782	2006	Household	1.2	913 m southeast
GW107867	2006	Household	2.1	919 m southeast
GW108029	2006	Household	2.0	928 m southeast
GW111038	2010	Recreation	2.0	934 m southeast
GW107362	2005	Household	2.0	940 m southeast
GW072222	1994	Recreation	1.0	940 m southeast
GW110933	2010	Household	1.9	991 m southeast

Should further information on permanent site groundwater conditions be required, an additional assessment would need to be carried out (i.e. installation of groundwater monitoring bores / ongoing groundwater monitoring).

## 3 Site Contamination Assessment

### 3.1 Council Historical Site Records

Eight historic development records were held by Council for the site. Details are shown in Table 3 and records provided in Attachment D.

Table 3: Available Council records.

Lot ID	Year	Record Number	Description
Lot 6 DP523299	1990	90/312	Commercial development comprising two separate office blocks, one 5/6 storeys high and the other three storeys high with basement car parking.
	1997	97/96	Erection of signage, excluding the pylon sign for Officeworks.
	1991	91/70	Internal alterations to an existing factory building to be used for self-storage units.
	1997	97/59	Use of Units 2 and 4 for bulky goods retail, including office furniture; business machines and computer equipment and office supplies.
	1997	97/327	Use of Units 1 and 3 as a gymnasium and ancillary facilities.
	1997	97/231	Extension of Unit 5 and construction of 70 additional car parking spaces within the basement carpark.
	1997	97/139	Erection of a pylon sign.
Lot A DP421422	2003	2003/62DA	Alterations and additions including a garage.

### 3.2 NSW EPA Records

Four sites within 1000 m of the site, were identified on the list of NSW contaminated sites notified to the EPA as required by the Contaminated Land Management Act (1997), are shown in Table 4.

Table 4: Sites notified as contaminated to the NSW EPA.

Suburb	Address	Site Name	Distance/ Orientation From Site
Brookvale	198 Harbord Road	Coles Express Service Station Brookvale	427 m southwest
Curl Curl	Corner Harbord and Abbott Roads	John Fisher Park / historical landfill	439 m south
Brookvale	756 Pittwater Road	Woolworths Petrol Brookvale	477 m southwest
Brookvale	740 - 742 Pittwater Road	Caltex Service Station Brookvale	612 m southwest

No EPA licence was listed within 500 m of the site.

Due to the topography of the site and surrounding areas, the above locations are not likely to have impacted the site.

### 3.3 External Potentially Contaminating Activities

Neighbouring service stations, mechanics and dry cleaners have the potential to contaminate groundwater at the site. A list of current potential contaminating activities within 500 m of the site is shown in Table 5.

Table 5: Current external potentially contaminating activities.

Business Activity	Address	Approximate Distance From Site Boundary	Direction From Site	Gradient From Site
Service stations	1 - 7 Mooramba Road, Dee Why	255 m	north	on-grade
	Coles Express, 5 Winbourne Road, Brookvale	468 m	southwest	down-grade
Historical landfill (John Fisher Park)	Around Greendale Creek and Curl Curl Lagoon	439 m	south	down-grade
Drycleaner (Lawrence Dry Cleaners)	Shop 20, Dee Why Grand Shopping Centre, 15 – 19 Pacific Parade, Dee Why, NSW 2099	429 m	northeast	down-grade

Due to the hydraulic gradient and distance from the site, the above locations are not likely to have impacted shallow site surface soils.

### 3.4 Aerial Photograph Review

Aerial photographs taken of the site during 1930, 1943, 1951, 1961, 1965, 1970, 1975, 1986, 1994, 2004, 2007, 2010, 2014 and 2019 were reviewed to investigate historic site land uses (Table 6). Copies of aerial photographs are provided in Attachment C.

Table 6: Aerial photograph observations from 1930 to 2019.

Year (Source)	Site Activity	Surrounding Land Use
1930 - 1943 (LIR)	Site was bushland with tracks.	Bushland in east and south. Residential properties from northwest to southwest.
1951 (LIR)	A building is visible at the current 800 Pittwater Road.  Earthworks on the north side. The remaining of the site was bushland.	Increased construction in all directions.
1961 (LIR)	Construction of a parking area on the north side of the building at 800 Pittwater Road.	Little to no change from previous.
1965 (LIR)	An extension to the northeast of the building on 800 Pittwater Road.	Earthworks to the east side. St Luke's Grammar School was constructed.
1970 (LIR)	A building is visible at the current 224 Headland Road. Construction and earth works on the east side of the building.	St Luke's Grammar School was expanded and a sports court constructed to the east of the school.  Earthworks to the south side.
1975 (LIR)	Little to no change from previous.	Constructed buildings to the south side.
1986 (LIR)	Little to no change from previous.	Expansion of St Luke's Grammar School.
1994 (LIR)	Little to no change from previous.	Little to no change from previous.
2004 (LIR)	Expansion to the east side of the building on 800 Pittwater Road.	Little to no change from previous.
2007 - 2014 (LIR)	Little to no change from previous.	Little to no change from previous.
2019 (LIR)	Earthworks on the north side.	Little to no change from previous.

### 3.5 Site Walkover Inspection

Observations during the site walkover inspection completed on 28 May, 2019 are as follows:

- o Site consisted of two properties (800 Pittwater Road and 224 Headland Road) which were mainly used for commercial purposes.
- o 800 Pittwater Road: commercial facility with concrete car parking areas surrounding the site. Basement car park excavated into sandstone bedrock underlies the majority of the building footprint.

- o 224 Headland Road: commercial and existing St Luke's Grammar facilities (clothing shop, small gym, sporting facilities etc) with bitumen hardstand carpark to the west, adjoining commercial buildings and St Luke's Grammar School to the east.
- o Majority of carparking area at 224 Headland Road is suspended up to 3 - 4m above ground level. The area under the suspended carpark, and open area north of the carpark, consisted of fill material and/or disturbed excavated soil and rock overburden likely from construction works for the building platform for the site and also 222 Headland Road.
- o Building at 224 Headland Road likely situated on fill material used to create level building platform and/or levelling of the site.
- o The site is bounded by Pittwater Road to the northwest, Headland Road to the southeast, Harbord Road to the southwest, St Luke's Grammar School to the east and Stony Range Regional Botanic Garden to the north. Commercial and residential properties in all directions.
- o Drainage of the site is via overland flow to the council stormwater network on Harbord Road and Headland Road.
- o No sign of contamination or activity of concern was sighted during the walkover.

### 3.6 Areas of Environmental Concern/Contaminants of Potential Concern

Our assessment of site AEC and COPC (Table 7) for the investigation area is made on the basis of available site history, aerial photograph interpretation and site walkover. Figure 2 provides locations of identified AECs and is provided in Attachment A.

Table 7: Areas of environmental concern and contaminants of potential concern.

AEC	Potential for Contamination	COPC
AEC A Buildings including 1m curtilage	Pesticides and heavy metals may have been used underneath buildings for pest control. Buildings construction may include PACM, zinc treated (galvanised) metals, and/or lead based paints. Possible contaminated works during previous commercial use might have introduced contaminants to the site.	HM, TRH, BTEXN, PAH, OCP/OPP and asbestos
AEC B Onsite fill	Fill material brought to the site (for earth works) from unknown origins may have introduced contaminants to the subject area.	HM, TRH, BTEXN, PAH, OCP/OPP and asbestos

Only the building at the 224 Headland Road is considered an area of concern. Although the external façade and footprint will remain

unchanged, internal works consisting of new walls, foundations and trenching for services will be required. The building is likely constructed on fill and therefore the building footprint is considered an AEC.

The building at 800 Pittwater Road is mainly situated above a basement car park excavated into sandstone bedrock. The majority of the ground floor is suspended above the basement and therefore this building isn't considered an AEC. However, where any additional excavation or changes to the on-grade ground floor level are proposed, these areas will require further contamination investigations and assessment of associated COPCs.

### 3.7 Preliminary Conceptual Site Model

A preliminary conceptual site model based on the COPC identified in this PSI, and the associated exposure pathways to potential receptors is shown in Table 8.

Table 8: Preliminary conceptual site model.

COPC	Pathway <sup>1</sup>	Receptor
HM	Transport of contaminants via air.	<u>Possible Human Receptors</u>
PAH / Phenols	Transport of contaminants by mechanical disturbance (e.g. earthworks).	Sensitive receptors. Current or future site users.
OCP / OPP	Bioaccumulation and biomagnification along food chains. Dermal contact with contaminants. Digestion of contaminants.	On- and off-site construction or maintenance workers. Current or future users of surrounding residences, reserves, and commercial or industrial premises.
TRH / BTEXN	As above with: Volatilisation to air.	<u>Possible Environmental Receptors</u> Flora and fauna that may inhabit or migrate through the site.
Asbestos	Transport of contaminants via air and inhalation of particles. Transport of contaminants by mechanical disturbance (e.g. earthworks). Transport of particles on plant, equipment and clothing	<u>Possible Human Receptors</u> Current or future site users. On- and off-site construction or maintenance workers. Current or future users of surrounding residences, reserves, and commercial or industrial premises.

#### Notes

<sup>1</sup>. Groundwater is currently not expected to be shallow due to the site elevation. Should groundwater be encountered, the conceptual site model is to be updated.

## 4 Conclusion and Recommendations

### 4.1 Conclusion

The review of the site history indicated that the site was bushland prior to 1951. The site was developed for commercial use between 1951 and 1970.

Potential contamination sources are summarised as:

- o Building construction and maintenance have the potential to have introduced contaminants in the form of asbestos (fibrous cement sheets as construction materials), pesticides (pest control) and heavy metals (HM) (paints, pest control, use of galvanised materials).
- o Previous commercial activities could have introduced contaminants including ACM, HM, hydrocarbons and pesticides.
- o Fill material brought to the site from unknown origins may have introduced contaminants including ACM, HM, hydrocarbons and pesticides.

Overall, the site is considered to generally have a risk of broad scale contamination within the AECs. To determine potential risk of harm to human health and environment under proposed development conditions, assessment of the identified AECs should be undertaken prior to any future development.

### 4.2 Recommendations

Prior to the proposed development, assessment of the AECs and COPC as noted in this PSI should be undertaken.

To address potential identified AECs and COPC, a Detailed Site Investigation (DSI) including intrusive soil sampling and analysis of COPC is recommended. In relation to the proposed development we consider it necessary to undertake a DSI investigation for any proposed works outside of the existing building footprints (i.e. area for elevator shaft as well as the extension of the basement carpark and building at 800 Pittwater Road) and under the building at 224 Headland Road.

The DSI is to be developed in accordance with NSW EPA (1995) *Sampling Design Guidelines* and a risk-based assessment. Assessment shall address each of the identified AEC and associated COPC identified in Table 7. Results of the site testing shall be assessed against

site acceptance criteria (SAC) developed with reference to ASC NEPM (2013).

Provided the above recommendations are adhered to, we consider that the site shall be able to be made suitable for the proposed development.

## 5 Limitations Statement

The PSI was undertaken in line with current industry standards.

It is important, however, to note that no land contamination study can be considered to be a complete and exhaustive characterisation of a site nor can it be guaranteed that any assessment shall identify and characterise all areas of potential contamination or all past potentially contaminating land-uses. Therefore, this report should not be read as a guarantee that no contamination shall be found on the site. Should material be exposed in future which appears to be contaminated or inconsistent with natural site soils, additional testing may be required to determine the implications for the site.

Martens & Associates Pty Ltd has undertaken this assessment for the purposes of the current development proposal. No reliance on this report should be made for any other investigation or proposal. Martens & Associates Pty Ltd accepts no responsibility and provides no guarantee regarding the characteristics of areas of the site not specifically studied in this investigation.

## References

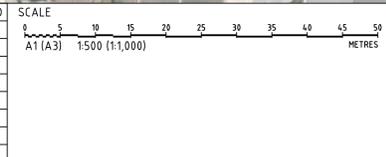
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## Attachment A – Figures



KEY	
SITE BOUNDARY	
LOT BOUNDARY	
INDICATIVE LOCATION OF THE MAIN PROPOSED EXTERNAL WORKS	

REV	DESCRIPTION	DATE	DRAWN	DESIGNED	CHECKED	APPRVD
A	INTERNAL	21/06/2019	LL	MM	BM	GT



GRID	DATUM	PROJECT MANAGER
MGA	mAHD	GT
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**THE ANGLICAN SCHOOL'S CORPORATION**

PROJECT NAME/PLANSSET TITLE  
**PRELIMINARY SITE INVESTIGATION**

800 PITTWATER ROAD, DEE WHY  
AND 224 HEADLAND ROAD, NORTH CURL CURL, NSW 2099

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& Associates Pty Ltd

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Environment  
Water  
Geotechnical  
Civil

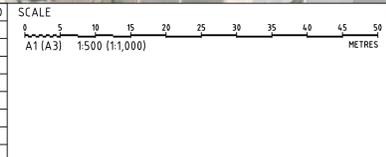
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DRAWING TITLE				
FIGURE 1: SITE BOUNDARY NEARMAP (2019)				
PROJECT NO.	PLANSSET NO.	RELEASE NO.	DRAWING NO.	REVISION
P1907215	PS01	R02	PS01-JZ01	A



KEY	
SITE BOUNDARY	
AEC A - BUILDINGS + 1m CURTLAGE	
AEC B - ONSITE FILL	

REV	DESCRIPTION	DATE	DRAWN	DESIGNED	CHECKED	APPRVD
A	INTERNAL	21/06/2019	LL	MM	BM	GT



GRID	DATUM	PROJECT MANAGER
MGA	mAHD	GT

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PROJECT NAME/PLANSSET TITLE  
**PRELIMINARY SITE INVESTIGATION**

800 PITTWATER ROAD, DEE WHY  
 AND 224 HEADLAND ROAD, NORTH CURL CURL, NSW 2099

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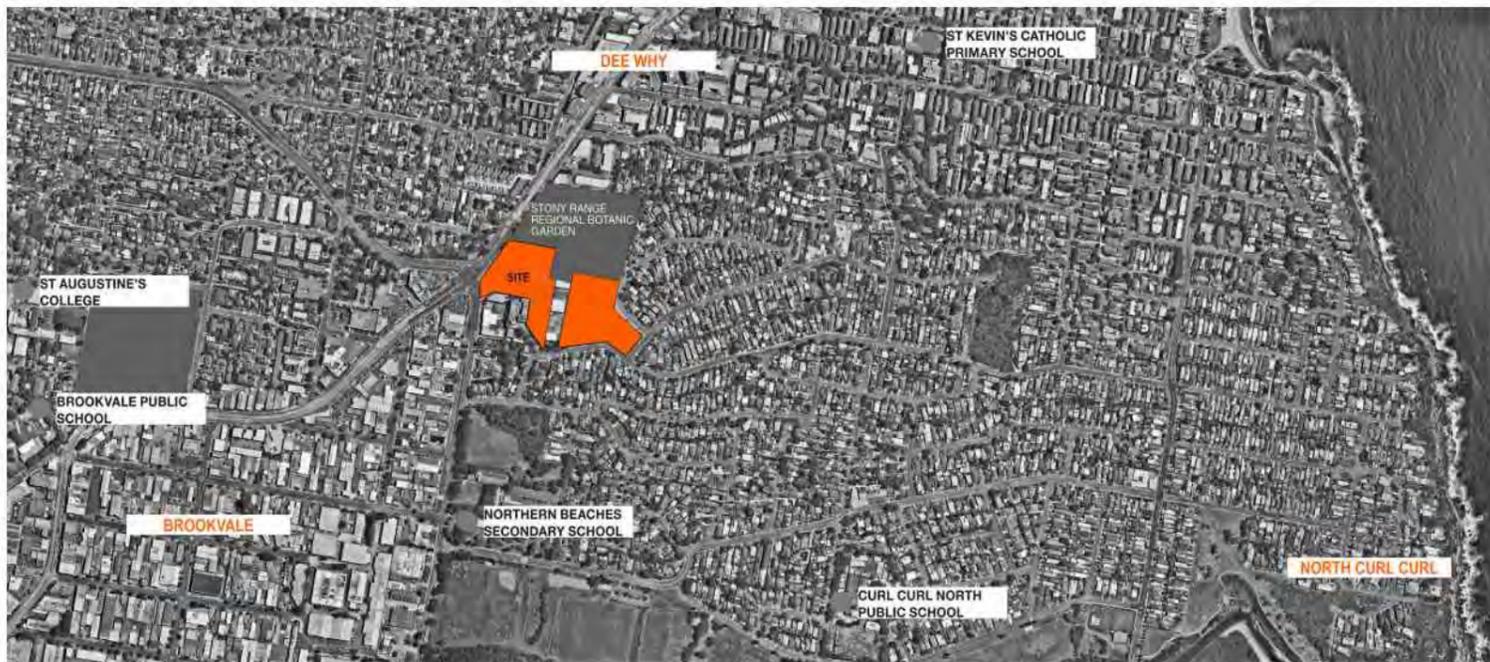
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DRAWING TITLE				
FIGURE 2: AEC MAP NEARMAP (2019)				
PROJECT NO.	PLANSSET NO.	RELEASE NO.	DRAWING NO.	REVISION
P1907215	PS01	R02	PS01-JZ02	A

## Attachment B – Proposed Development Plans

# ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS

## 224 HEADLAND RD AND 800 PITTWATER RD DEE WHY



DRAWING LIST		Scale @ A1
<b>A 000 GENERAL INFORMATION</b>		
A-000	COVER PAGE	1:1000
A-001	LEGEND	
A-002	SITE PLAN	1:500
A-003	STAGING OVERVIEW	1:500
A-004	SIGNAGE PLAN	1:500, 1:200
<b>A 010 EXISTING PLANS + ELEVATIONS - 224 HEADLAND RD</b>		
A-010	LEVEL 0 EXISTING PLAN_224	1:200
A-011	LEVEL 1 EXISTING PLAN_224	1:200
A-012	EXISTING ROOF PLAN_224	1:200
A-013	EXISTING ELEVATIONS_224	1:200
<b>A 020 EXISTING PLANS + ELEVATIONS - 800 PITTWATER RD</b>		
A-020	LEVEL 0 EXISTING PLAN_800	1:200
A-021	LEVEL 1 EXISTING PLAN_800	1:200
A-022	LEVEL 2 EXISTING PLAN_800	1:200
A-023	LEVEL 3 EXISTING PLAN_800	1:200
A-024	LEVEL 4 EXISTING PLAN_800	1:200
A-025	EXISTING ELEVATIONS_1_800	1:200
A-026	EXISTING ELEVATIONS_2_800	1:200
<b>A 030 DEMOLITION PLANS + ELEVATIONS - 800 PITTWATER RD</b>		
A-030	LEVEL 0 DEMOLITION PLAN_800	1:200
A-031	LEVEL 1 DEMOLITION PLAN_800	1:200
A-032	LEVEL 2 DEMOLITION PLAN_800	1:200
A-033	LEVEL 3 DEMOLITION PLAN_800	1:200
A-034	LEVEL 4 DEMOLITION PLAN_800	1:200
A-035	WEST + NORTH DEMOLITION ELEVATIONS_800	1:200
A-036	EAST + SOUTH DEMOLITION ELEVATIONS_800	1:200
<b>A 040 DEMOLITION PLANS + ELEVATIONS - 224 HEADLAND RD</b>		
A-040	LEVEL 0 DEMOLITION PLAN_224	1:200
A-041	LEVEL 1 DEMOLITION PLAN_224	1:200
A-042	ROOF DEMOLITION PLAN_224	1:200
A-043	DEMOLITION ELEVATIONS - 224 HEADLAND ROAD	1:200
<b>A 100 GENERAL ARRANGEMENT PLANS - 224 HEADLAND RD</b>		
A-100	LEVEL 0 PLAN_224	1:200
A-101	LEVEL 1 PLAN_224	1:200
A-102	ROOF PLAN_224	1:200
<b>A 110 GENERAL ARRANGEMENT PLANS - 800 PITTWATER RD</b>		
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A-111	LEVEL 1 PLAN - STAGE 2_800	1:200
A-112	LEVEL 2 PLAN - STAGE 2_800	1:200
A-113	LEVEL 3 PLAN - STAGE 2_800	1:200
A-114	LEVEL 4 PLAN - STAGE 2_800	1:200
A-115	LEVEL 5 PLAN - STAGE 2_800	1:200
A-116	LEVEL 0 PLAN - STAGE 3_800	1:200
A-117	LEVEL 1 PLAN - STAGE 3_800	1:200
A-118	LEVEL 2 PLAN - STAGE 3_800	1:200
A-119	LEVEL 3 PLAN - STAGE 3_800	1:200
A-120	LEVEL 4 PLAN - STAGE 3_800	1:200
A-121	LEVEL 5 PLAN - STAGE 3_800	1:200
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A-200	ELEVATIONS_224	1:200
<b>A 210 ELEVATIONS - 800 PITTWATER RD</b>		
A-210	ELEVATIONS WEST + NORTH_800	1:200
A-211	ELEVATIONS EAST + SOUTH_800	1:200
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A-300	SECTIONS_1_224	1:200
<b>A 310 SECTIONS - 800 PITTWATER RD</b>		
A-310	SECTIONS_1_800	1:200
A-311	SECTIONS_2_800	1:200
A-312	SECTIONS_3_800	1:200
A-313	TYPICAL WALL SECTIONS_800	1:50
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A-400	GFA +FSR CALCULATION_224	1:500
A-401	GFA +FSR CALCULATION_800	1:500
A-402	OPEN SPACE CALCULATION	1:500
A-403	ACCOMMODATION SCHEDULE_224	
A-404	ACCOMMODATION SCHEDULE - STAGE 2_800	
A-405	ACCOMMODATION SCHEDULE - STAGE 3_800	
A-406	CAR PARKING SCHEDULE	
<b>A 500 SHADOW DIAGRAMS</b>		
A-500	SHADOW DIAGRAMS - 21 JUNE	1:500
A-501	SHADOW DIAGRAMS - 21 JUNE	1:500
A-502	SHADOW DIAGRAMS - NEIGHBOURS	
<b>A 600 VISUALIZATION</b>		
A-600	MATERIALS SCHEDULE	
A-601	EXTERIOR PERSPECTIVE	
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<b>DRAWING NO:</b> A-000	<b>SCALE:</b> 1:1000
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## LEGEND

CODE	Description
BDY	Boundary
BIT	Bitumen
BKR	Bicycle racks
BM1	Balustrade, steel external
CFS	Concrete finish, steel trowel
CO	Concrete
CRA	Concrete Ramp
CRP	Render, cement, paint finish
CS	Stair, concrete
CW	Curtain Wall, glazed
FN2	Fence, vertical timber slats
FN3	Fence, steel verticals
FN4	Noise barrier wall
FN5	Metal mesh wall
FNG	Fence gate
GD1	Garage door, metal
GD2	Garage glass tilt door
GLO	Louvre, glass, operable
LCK	Lockers
MECH	Mechanical plant on steel platform
MF	Metal flashing
MLF	Louvre, metal, fixed
MR1	Metal roof, kliplock
MW2	Window, aluminium framed
PC	Pavers, concrete
PG	Pergola, timber
PLB	Planter box
PV	Photovoltaic cells
RD	Roller Door
SKY	Skylight
XBIT	Existing bitumen
XBM3	Existing balustrade, metal pipe
XCFS	Existing concrete finish, steel trowel
XCP2	Existing concrete, precast, paint finish
XCR	Existing concrete roof
XCRP	Existing render, cement, paint finish
XCTF	Existing ceramic tiles, floor
XDP	Existing down pipe
XFN1	Existing fence, reed screen
XMECH	Existing mechanical platform
XMLF	Existing louvre, metal, fixed
XMR1	Existing metal roof, kliplock
XMW2	Existing window, aluminium framed
XPLB	Existing planter box
XRD	Existing roller door
XSGR	Existing synthetic grass
XSTT	Existing stone tile
XWSE	Existing waterproofing system, external

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							DRAWING NO <b>A-001</b>	



SITE PLAN LEGEND	
	PEDESTRIAN ENTRY
	VEHICULAR ENTRY / EXIT
	HERITAGE ITEM
	SUBSTATION
	BUS STOP

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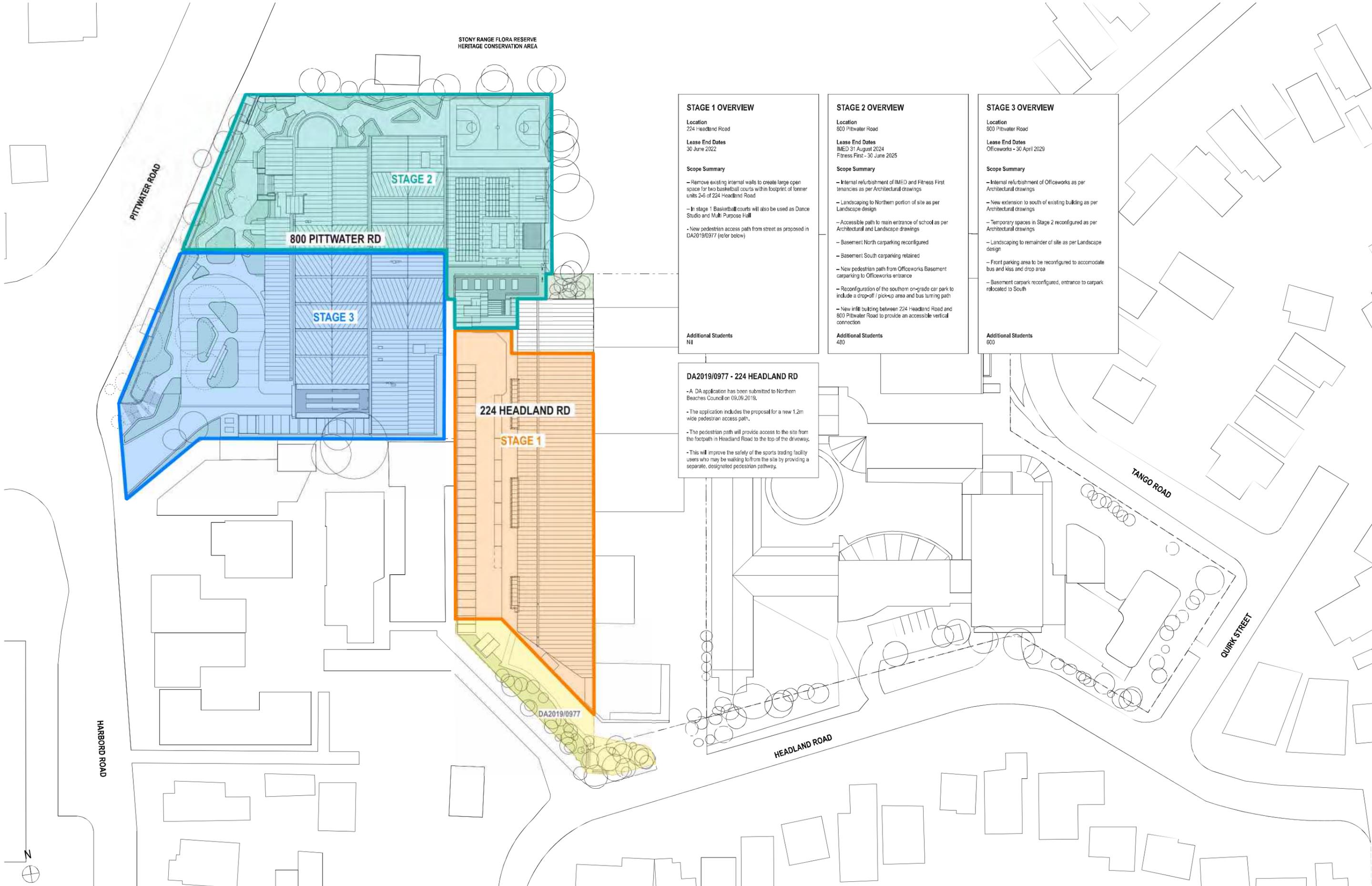
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**SITE PLAN**  
 SCALES AT A1  
 PHASE  
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**STAGE 1 OVERVIEW**

**Location**  
224 Headland Road

**Lease End Dates**  
30 June 2022

**Scope Summary**

- Remove existing internal walls to create large open space for two basketball courts within footprint of former units 2-6 of 224 Headland Road
- In stage 1 Basketball courts will also be used as Dance Studio and Multi Purpose Hall
- New pedestrian access path from street as proposed in DA2019/0977 (refer below)

**Additional Students**  
Nil

**STAGE 2 OVERVIEW**

**Location**  
800 Pittwater Road

**Lease End Dates**  
IMED 31 August 2024  
Fitness First - 30 June 2025

**Scope Summary**

- Internal refurbishment of IMED and Fitness First tenancies as per Architectural drawings
- Landscaping to Northern portion of site as per Landscape design
- Accessible path to main entrance of school as per Architectural and Landscape drawings
- Basement North carparking reconfigured
- Basement South carparking retained
- New pedestrian path from Officeworks Basement carparking to Officeworks entrance
- Reconfiguration of the southern on-grade car park to include a drop-off / pick-up area and bus turning path
- New infill building between 224 Headland Road and 800 Pittwater Road to provide an accessible vertical connection

**Additional Students**  
480

**STAGE 3 OVERVIEW**

**Location**  
800 Pittwater Road

**Lease End Dates**  
Officeworks - 30 April 2029

**Scope Summary**

- Internal refurbishment of Officeworks as per Architectural drawings
- New extension to south of existing building as per Architectural drawings
- Temporary spaces in Stage 2 reconfigured as per Architectural drawings
- Landscaping to remainder of site as per Landscape design
- Front parking area to be reconfigured to accommodate bus and kiss and drop area
- Basement carpark reconfigured, entrance to carpark relocated to South

**Additional Students**  
600

**DA2019/0977 - 224 HEADLAND RD**

- A DA application has been submitted to Northern Beaches Council on 09.09.2019.
- The application includes the proposal for a new 1.2m wide pedestrian access path.
- The pedestrian path will provide access to the site from the footpath in Headland Road to the top of the driveway.
- This will improve the safety of the sports trading facility users who may be walking to/from the site by providing a separate, designated pedestrian pathway.

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800 Pittwater Road + 224 Headland Road Dee Why NSW 2099 North Curl Curl NSW 2099		PROJECT NO : 18032		SCALES AT A1		DATE October 2019	
PHASE SSDA		DRAWING NO A-003		1:500		REV A	

4700  
230  
**ST LUKE'S GRAMMAR SCHOOL**

1 SIGNAGE TYPE 1

2670



SIGNAGE TYPE 1

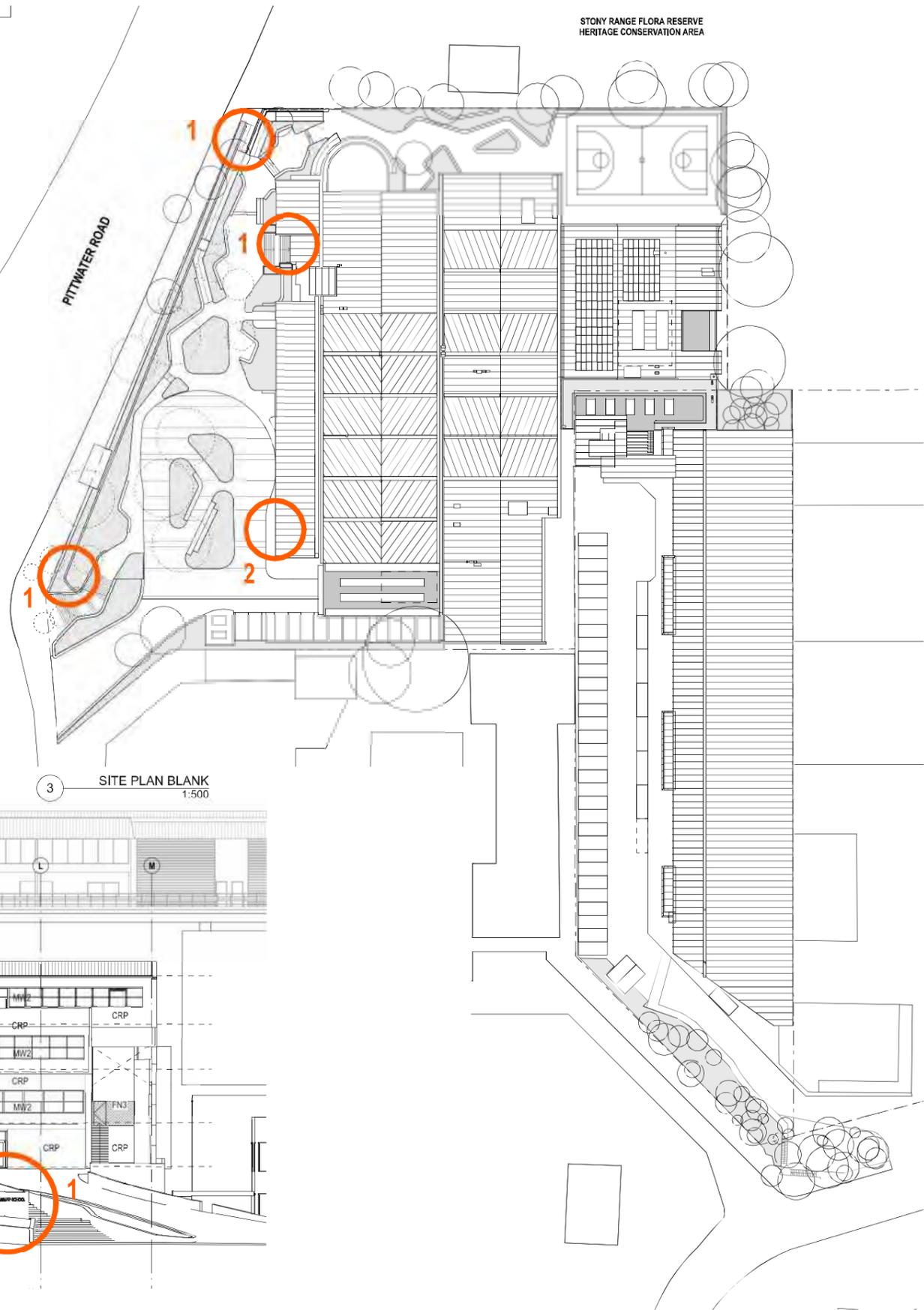
Individual metal letters, brass finish  
Mounted to wall behind

SIGNAGE TYPE 2

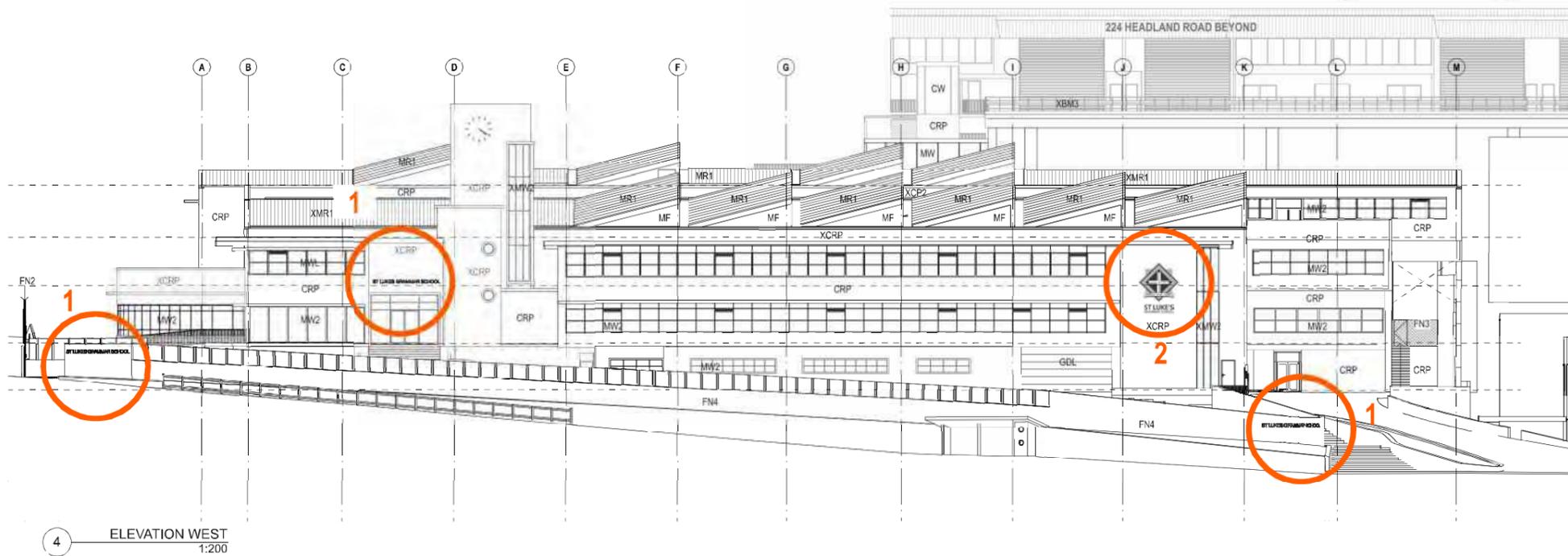
Profiled metal sign, brass finish  
Mounted to wall behind

2 SIGNAGE TYPE 2

3400



3 SITE PLAN BLANK  
1:500



4 ELEVATION WEST  
1:200

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29/OCT/2019	A	ISSUE FOR SSDA

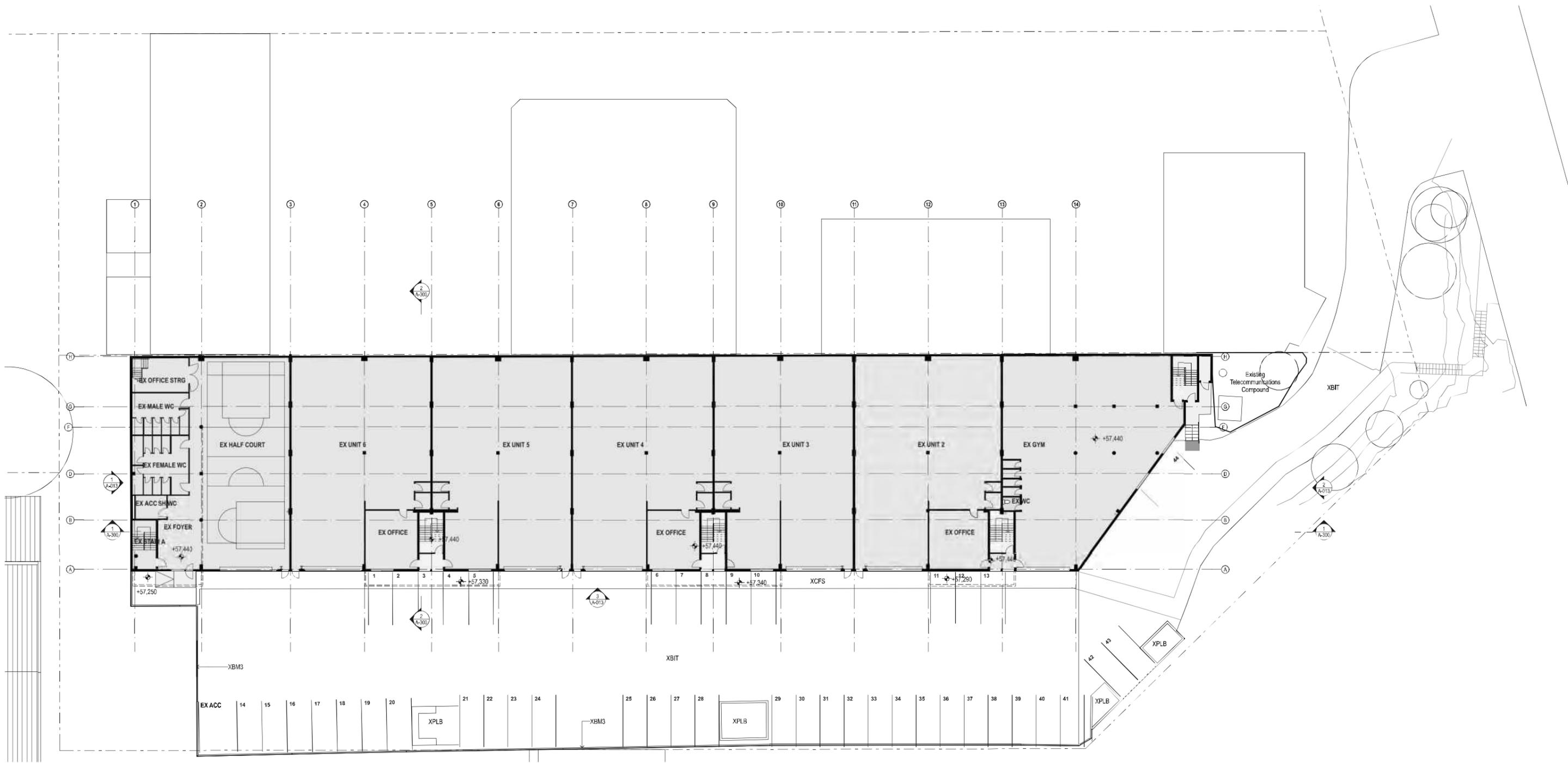
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800 Pittwater Road, 224 Headland Road, Dee Why NSW 2099, North Curl Curl NSW 2099  
PROJECT NO: 18032

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DRAWING TITLE  
**SIGNAGE PLAN**  
800 PITTWATER ROAD  
SCALES AT A1  
1:500, 1:200  
PHASE  
SSDA  
DRAWING NO  
**A-004**

DRAWN BY  
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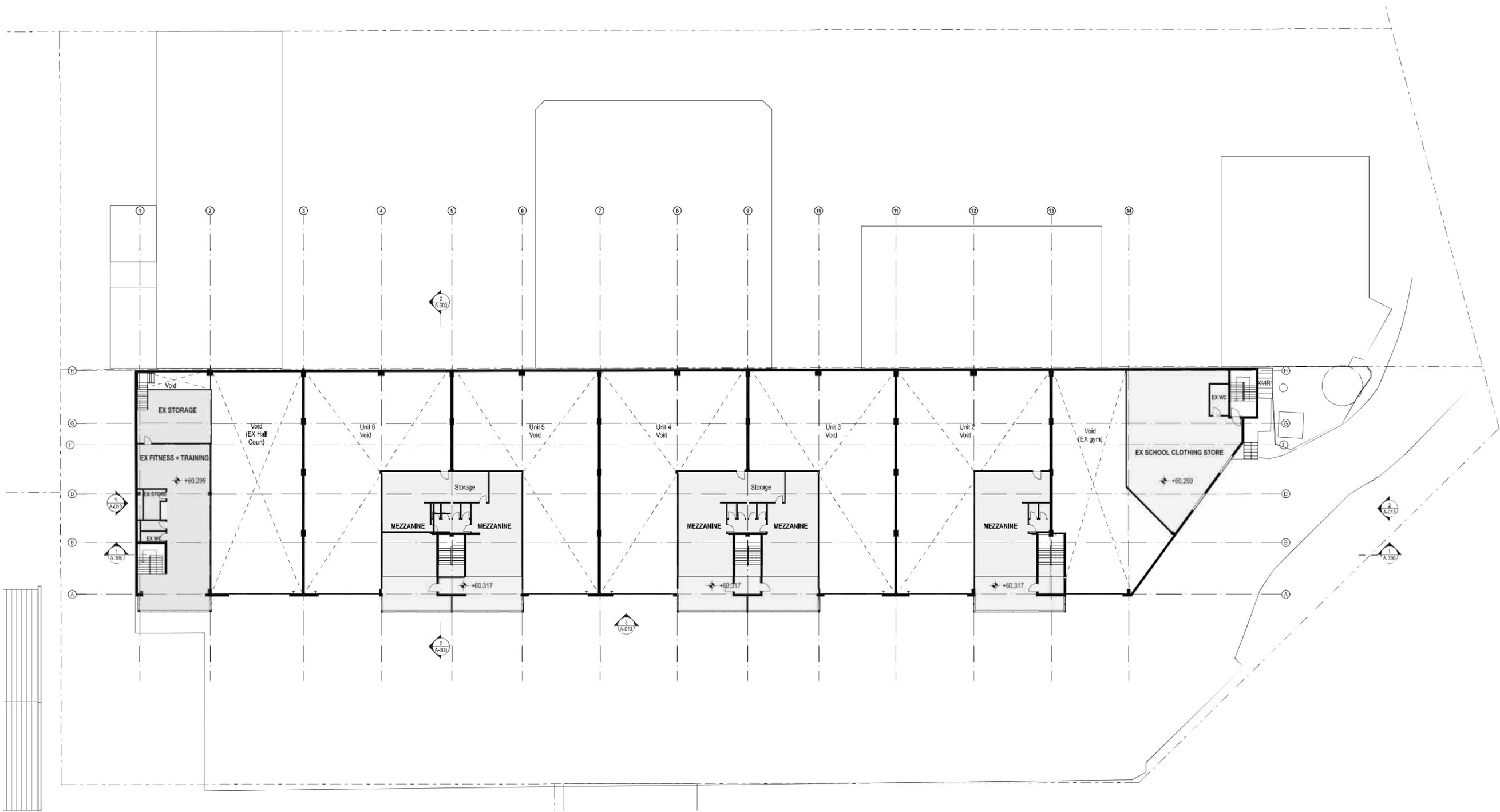
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 Mrs. Jane Hughes (Business Manager)  
 210 Headland Road  
 Dee Why NSW 2099

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<b>DRAWING TITLE</b> 224 HEADLAND ROAD LEVEL 0 EXISTING PLAN_224		<b>DRAWN BY</b> RM + CE + EG
<b>SCALES AT A1</b>		<b>CHECKED</b> PT
PHASE SSDA		<b>DATE</b> October 2019
<b>DRAWING NO</b> A-010	<b>REV</b> A	<b>SCALE</b> 1:200



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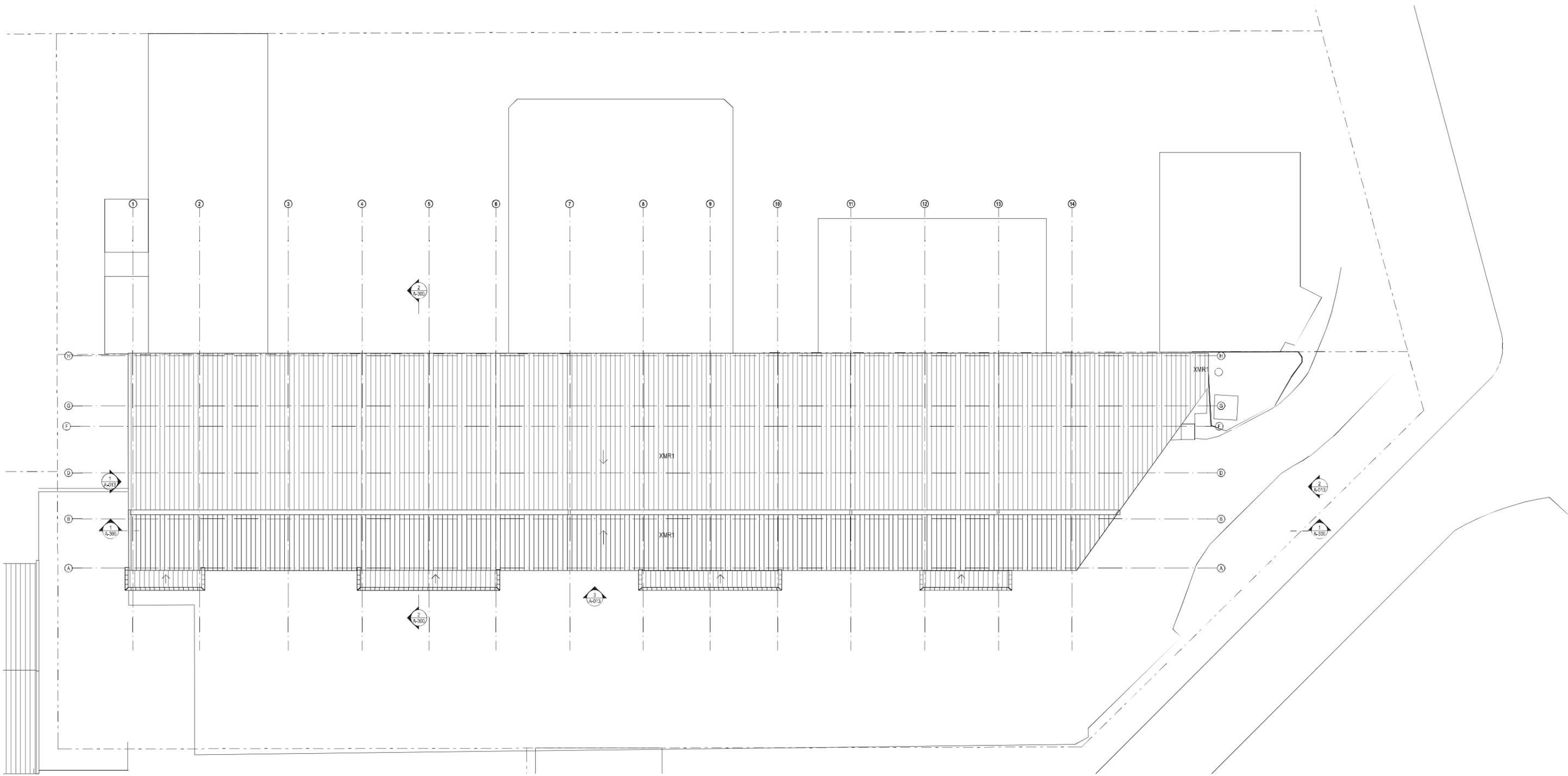
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 224 HEADLAND ROAD  
 LEVEL 1 EXISTING PLAN\_224  
 SCALES AT A1

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**PHASE**  
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 A-011



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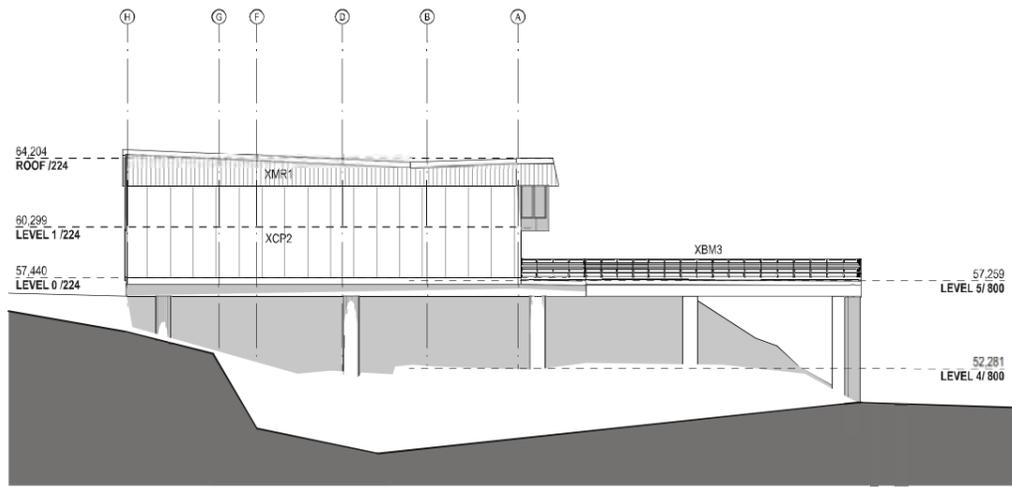
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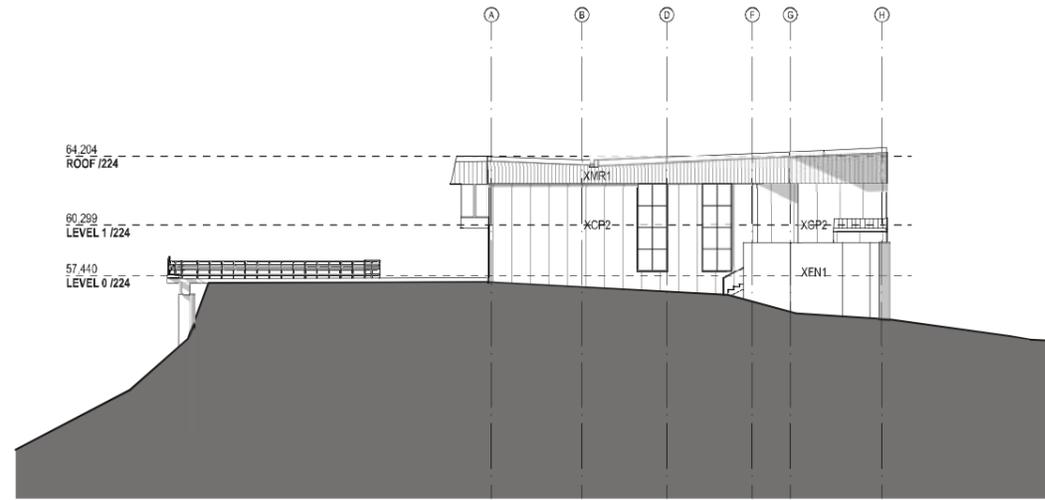
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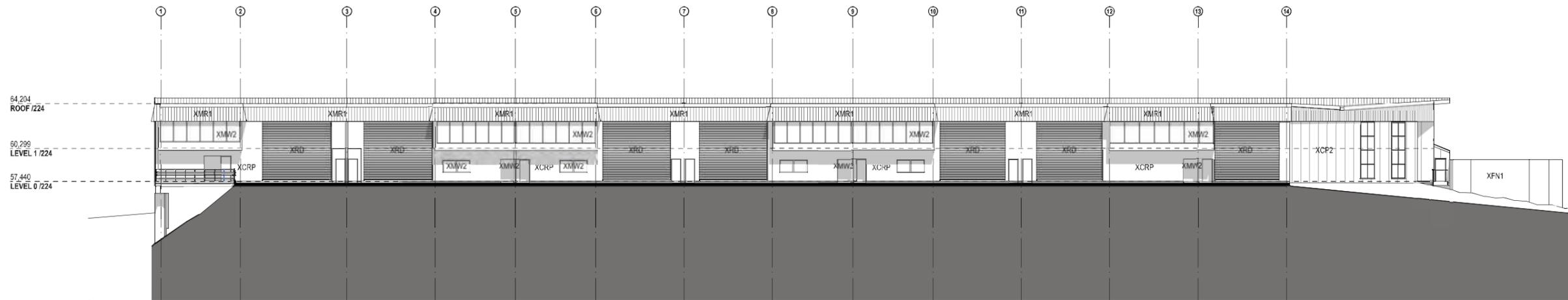
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224 HEADLAND ROAD EXISTING ROOF PLAN_224		RM + CE + EG	
SCALES AT A1		CHECKED	PT
PHASE SSDA		DATE	October 2019
DRAWING NO	A-012	REV	A



1 EXISTING NORTH ELEVATION  
1:200

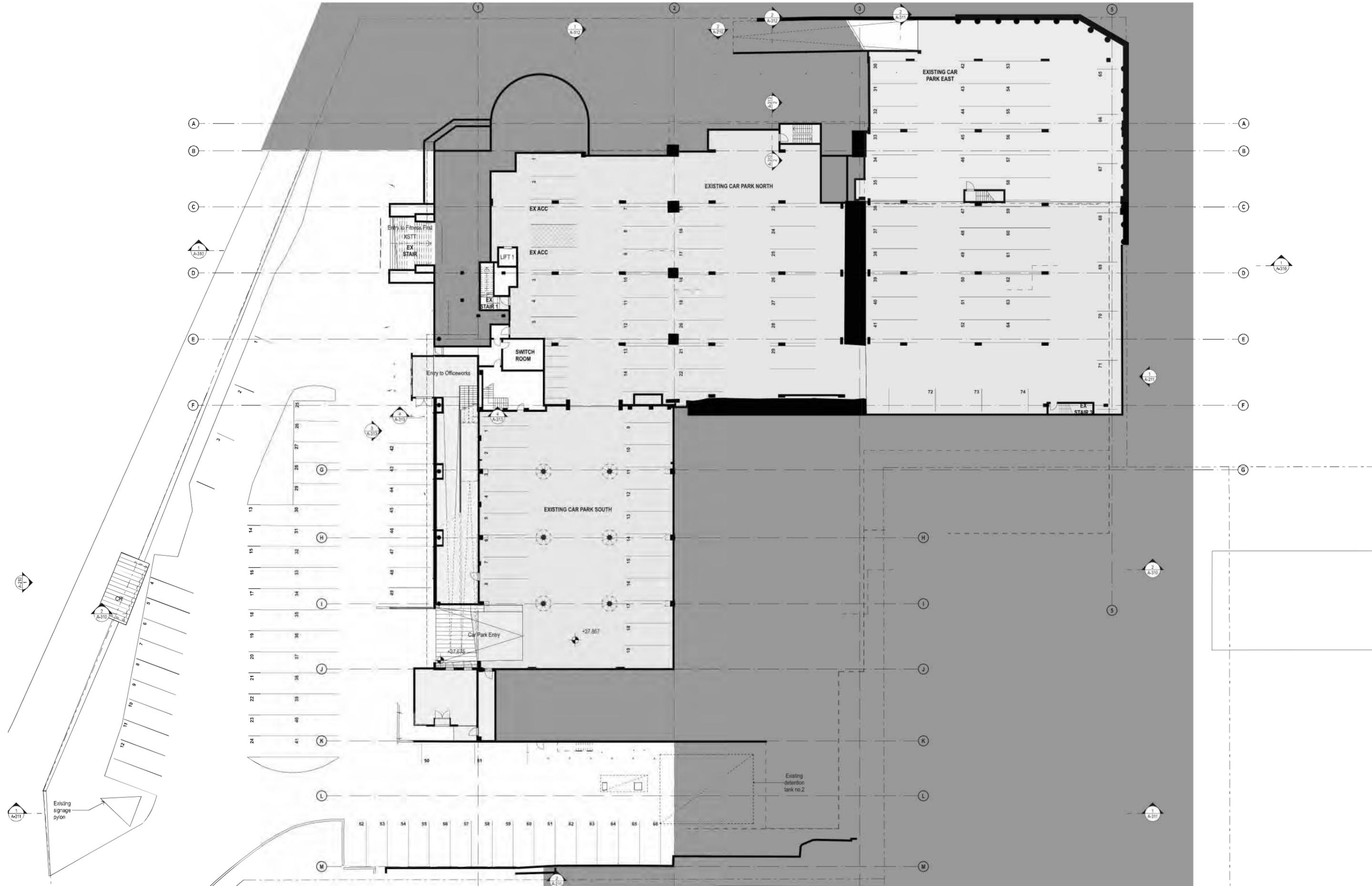


2 EXISTING SOUTH ELEVATION  
1:200



3 EXISTING WEST ELEVATION  
1:200

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DRAWING TITLE  
 800 PITTWATER ROAD  
**LEVEL 0 EXISTING PLAN\_800**

SCALES AT A1

PHASE  
 SDA

DRAWING NO  
**A-020**

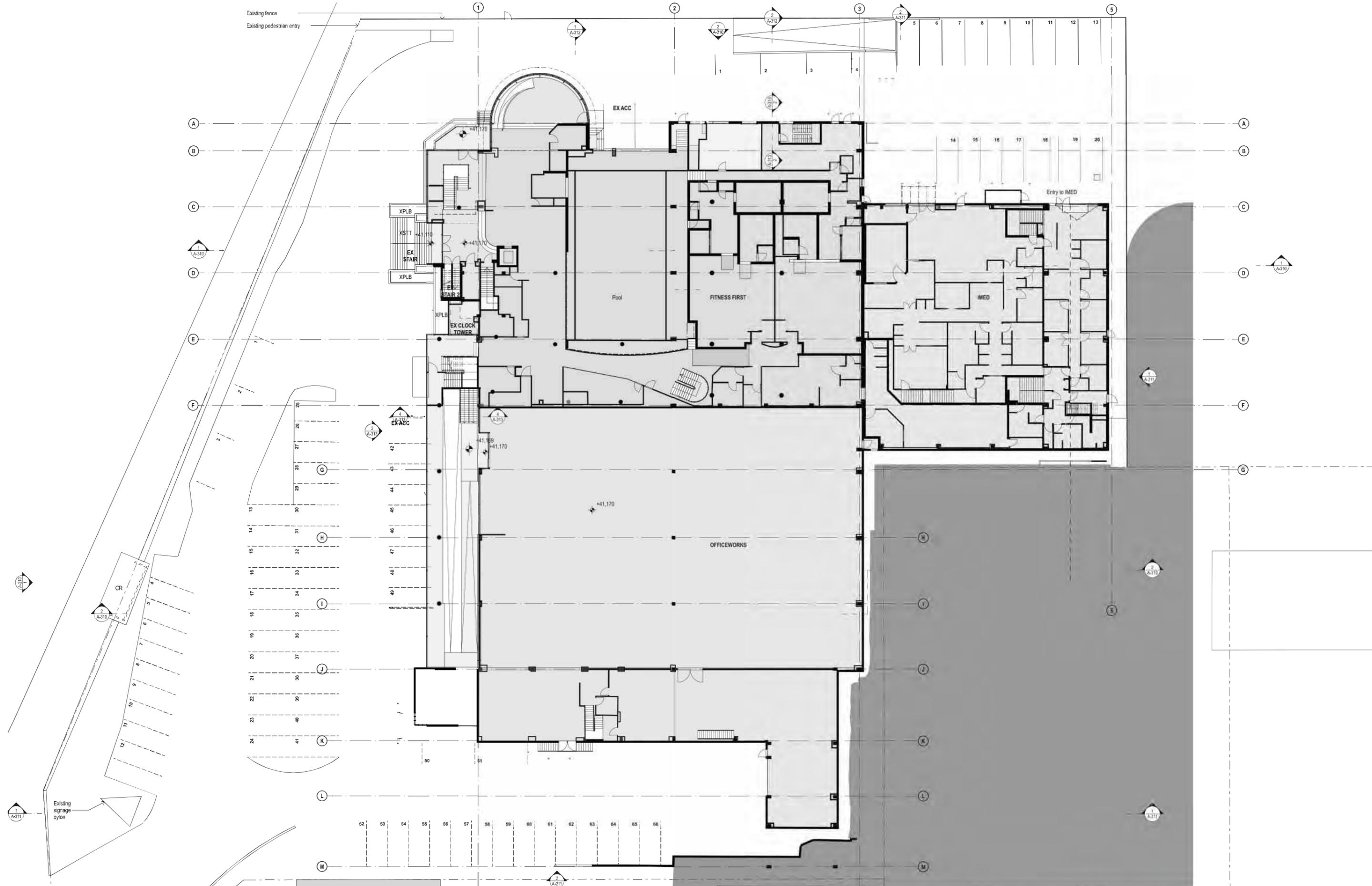
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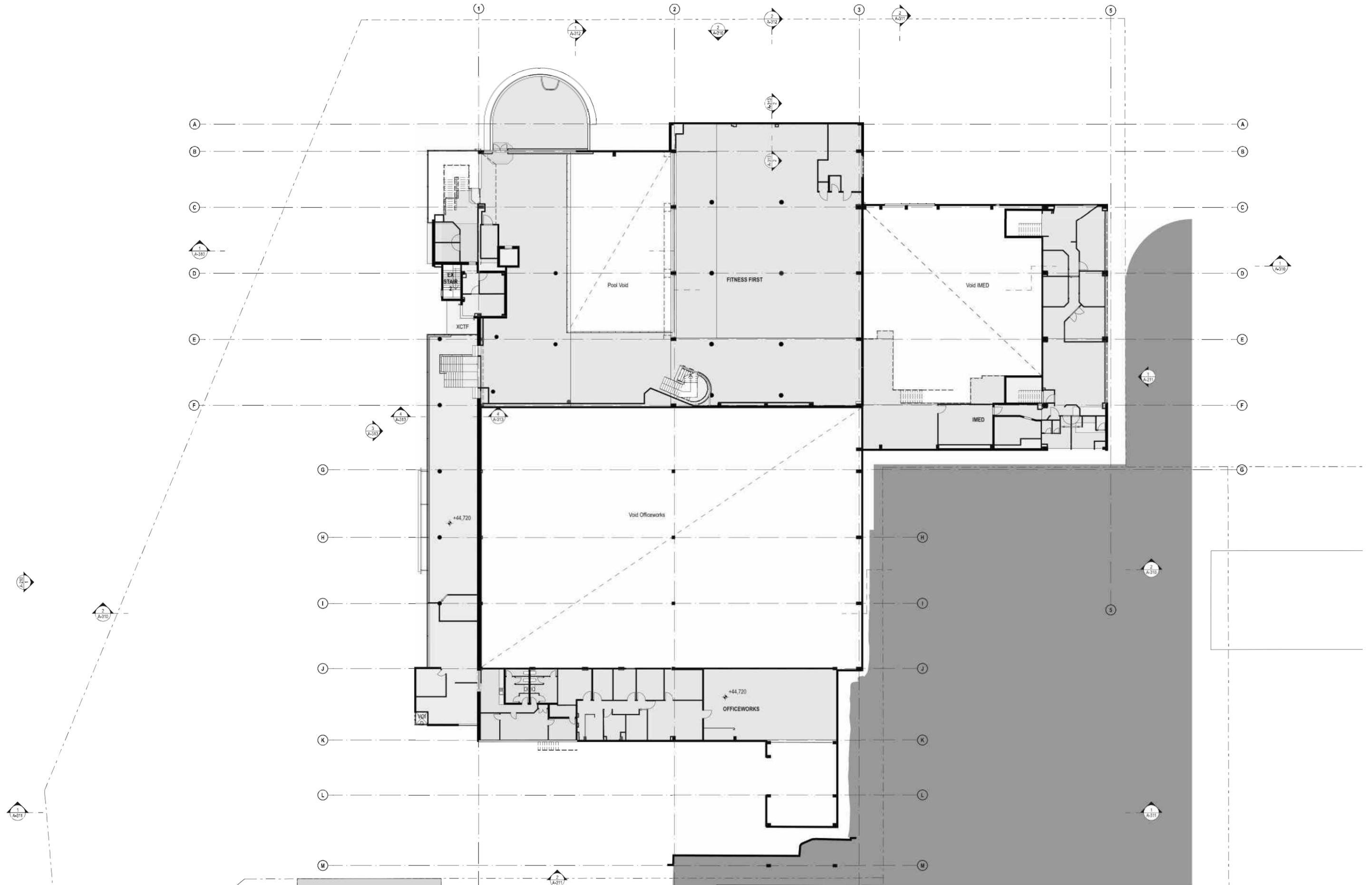
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 800 PITTWATER ROAD  
**LEVEL 1 EXISTING PLAN\_800**

**SCALES AT A1**

**PHASE:** SDA

**DRAWING NO:** A-021

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PROJECT NO : 18032		1:200	PT
		PHASE	DATE
		SSDA	October 2019
		DRAWING NO	REV
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PROJECT NO : 18032

ARCHITECT

**TONKIN ZULAIKHA GREER ARCHITECTS**  
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F: (02) 9215 4901  
EMAIL: info@tzig.com.au  
WEB: www.tzig.com.au

DRAWING TITLE

800 PITTWATER ROAD  
**LEVEL 2 EXISTING PLAN\_800**

SCALES AT A1

1:200

PHASE

SSDA

DRAWING NO

**A-022**

DRAWN BY

RM + CE + EG

CHECKED

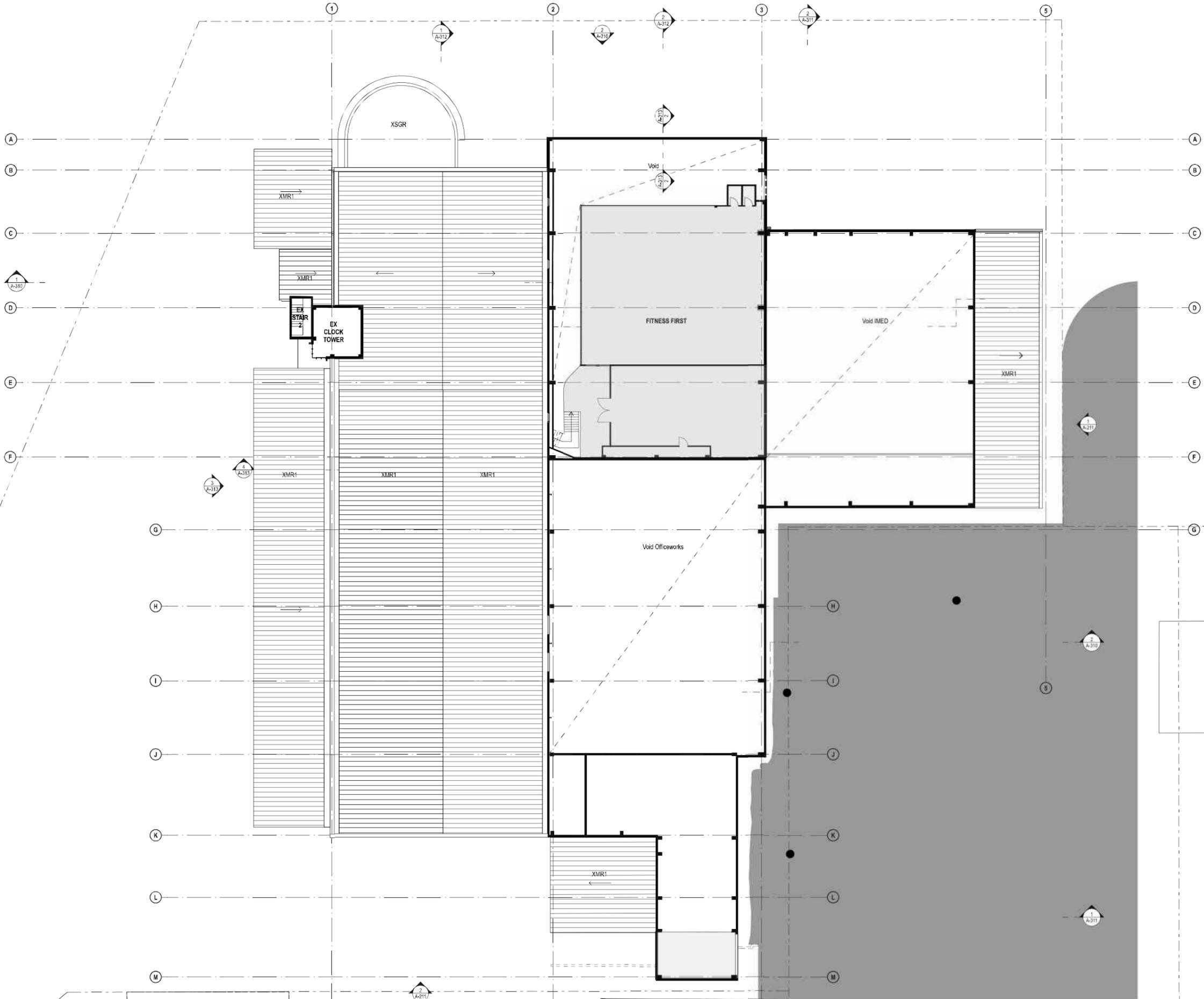
PT

DATE

October 2019

REV

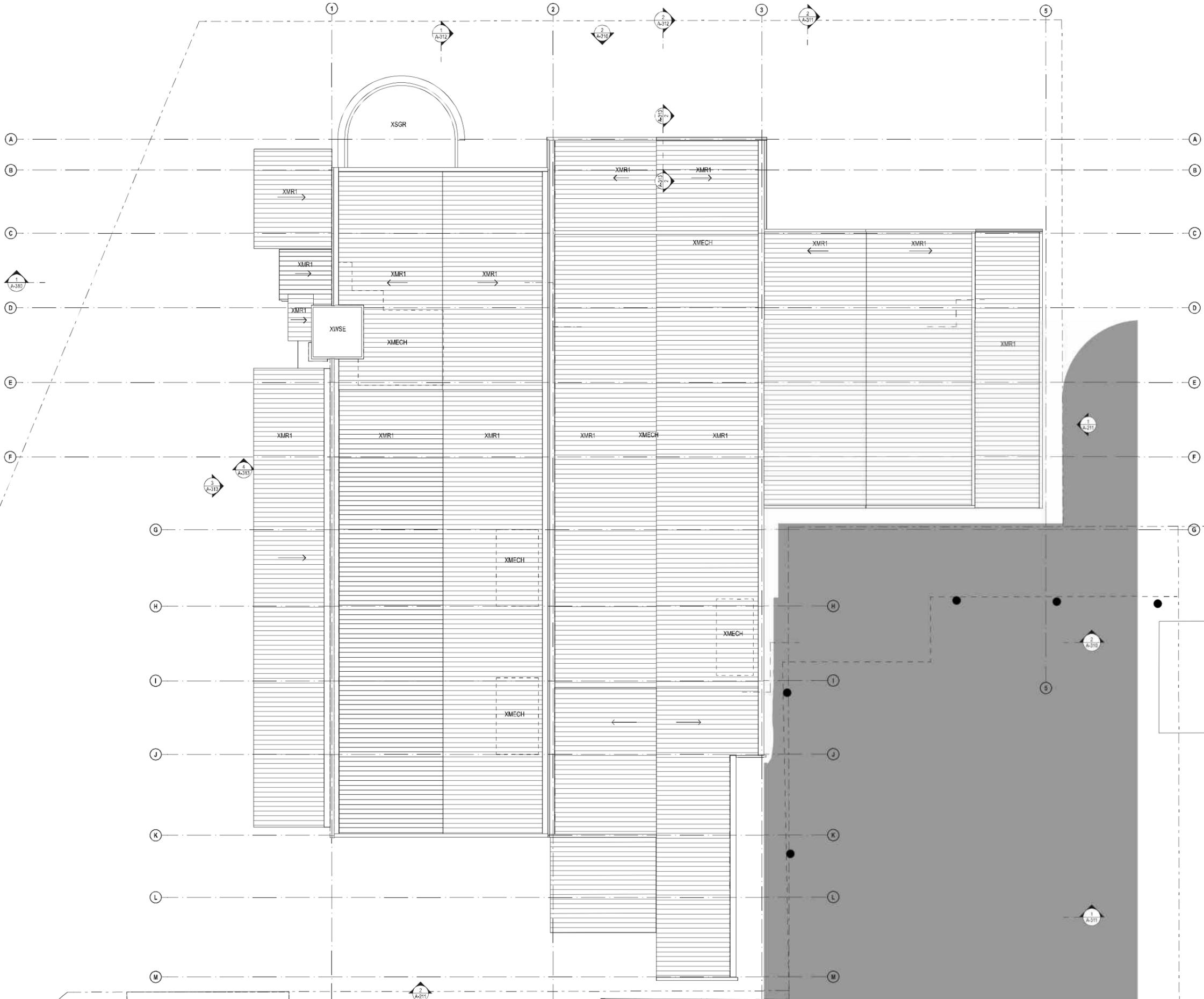
**A**



DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SDA

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PROJECT :	ARCHITECT	DRAWING TITLE	DRAWN BY
ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS	TONKIN ZULAIKHA GREER ARCHITECTS 117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tzg.com.au WEB: www.tzg.com.au	800 PITTWATER ROAD LEVEL 3 EXISTING PLAN_800	RM + CE + EG
800 Pittwater Road + 224 Headland Road Dee Why NSW 2099 North Curl Curl NSW 2099		SCALES AT A1	CHECKED
PROJECT NO : 18032		1:200	PT
		PHASE	DATE
		SSDA	October 2019
		DRAWING NO	REV
		A-023	A



DATE	REV	DESCRIPTION
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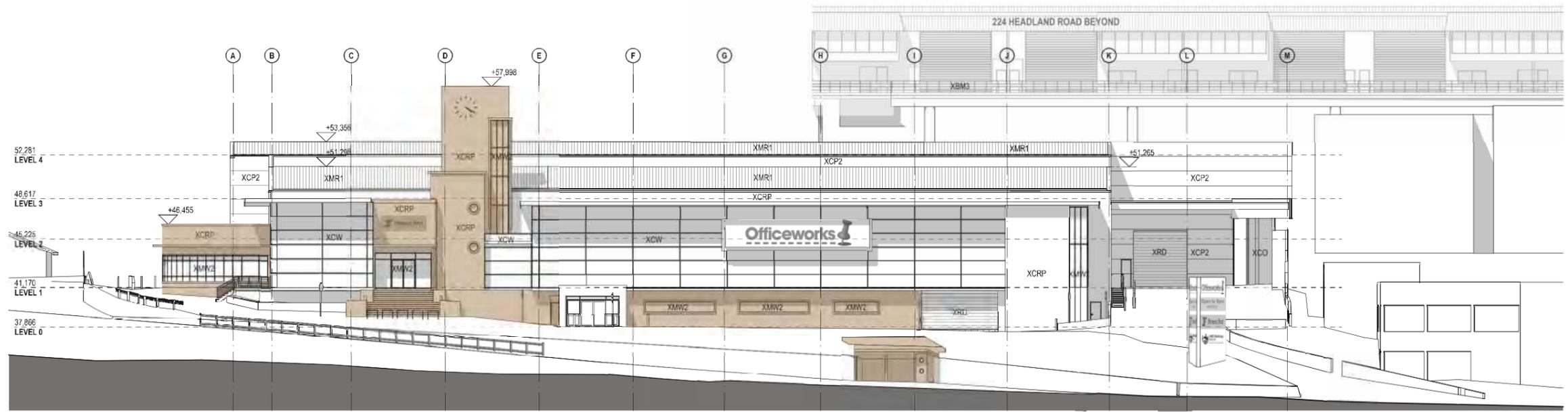
PROJECT:  
**ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS**  
 800 Pittwater Road + 224 Headland Road  
 Dee Why NSW 2099 North Curl Curl NSW 2099  
 PROJECT NO : 18032

ARCHITECT  
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 P: (02) 9215 4900  
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 EMAIL: info@tzg.com.au  
 WEB: www.tzg.com.au

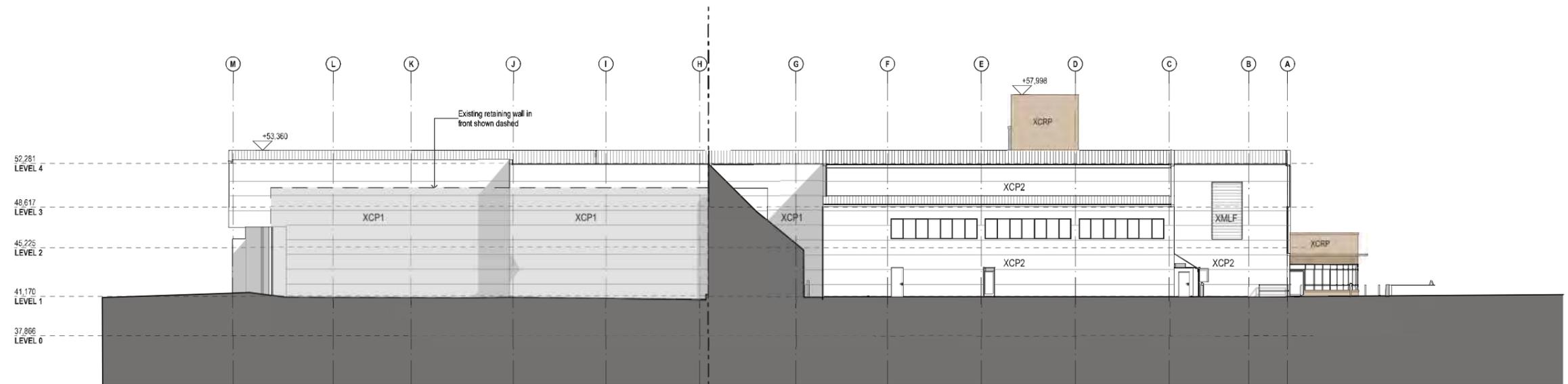
**DRAWING TITLE**  
 800 PITTWATER ROAD  
**LEVEL 4 EXISTING PLAN\_800**  
 SCALES AT A1

DRAWN BY	RM + CE + EG
CHECKED	PT
DATE	October 2019
REV	A

PHASE: SDA  
 DRAWING NO: **A-024**



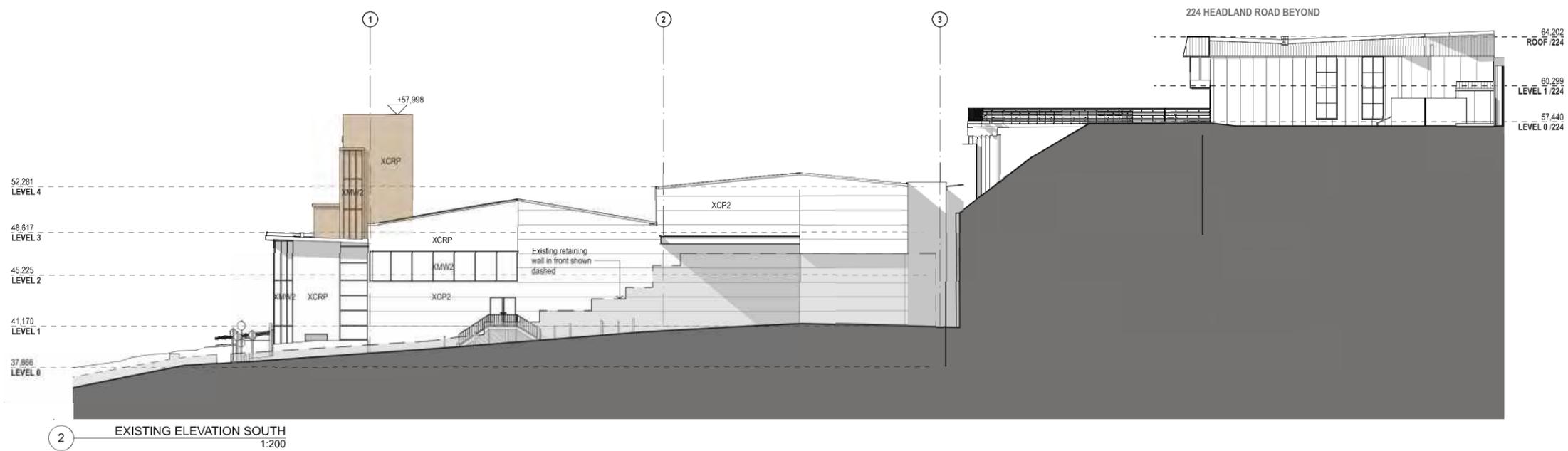
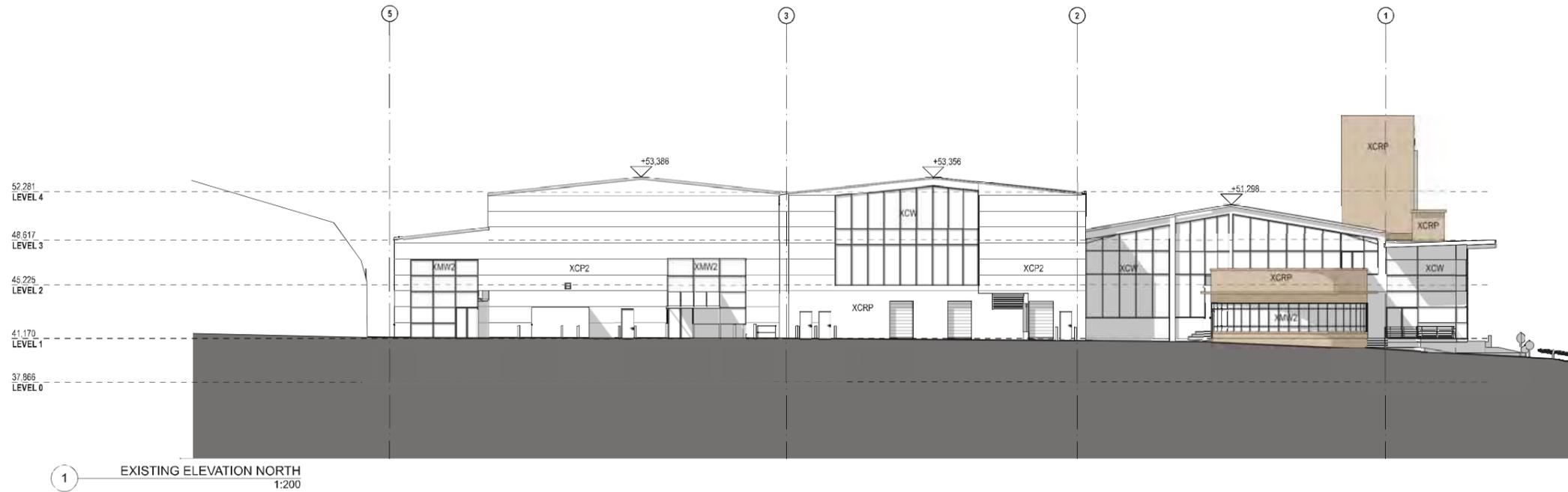
1 EXISTING ELEVATION WEST  
1:200



2 EXISTING ELEVATION EAST  
1:200

LEGEND	
<span style="display: inline-block; width: 10px; height: 10px; background-color: #d2b48c; border: 1px solid black;"></span>	Existing, significant heritage item

DATE 29/OCT/2019	REV A	DESCRIPTION: ISSUE FOR SSDA	NOTES: Do not scale off drawings. Use figured dimensions only. Report any discrepancies to the architect. These designs, plans, specifications and the copyright therein are the property of Tonkin Zulaikha Greer Architects Pty Ltd. and must not be reproduced or copied wholly or in part without written permission of Tonkin Zulaikha Greer Architects Pty Ltd.		PROJECT: <b>ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS</b> 800 Pittwater Road Dee Why NSW 2099	ARCHITECT <b>TONKIN ZULAIKHA GREER ARCHITECTS</b> 117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tզg.com.au WEB: www.tզg.com.au	DRAWING TITLE 800 PITTWATER ROAD <b>EXISTING ELEVATIONS 1_800</b> SCALES AT A1 PHASE SSDA	DRAWING NO <b>A-025</b>	DRAWN BY RM + CE + EG CHECKED PT DATE October 2019 REV A
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LEGEND	
	Existing, significant heritage item

DATE 29/OCT/2019	REV A	DESCRIPTION: ISSUE FOR SDA	NOTES: Do not scale off drawings. Use figured dimensions only. Report any discrepancies to the architect. These designs, plans, specifications and the copyright therein are the property of Tonkin Zulaikha Greer Architects Pty Ltd. and must not be reproduced or copied wholly or in part without written permission of Tonkin Zulaikha Greer Architects Pty Ltd.	PROJECT: <b>ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS</b> 800 Pittwater Road Dee Why NSW 2099	ARCHITECT <b>TONKIN ZULAIKHA GREER ARCHITECTS</b> 117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tզg.com.au WEB: www.tզg.com.au	DRAWING TITLE 800 PITTWATER ROAD <b>EXISTING ELEVATIONS 2_800</b> SCALES AT A1 PHASE SSDA	DRAWN BY RM + CE + EG CHECKED PT DATE October 2019 REV A
				PROJECT NO: 18032		DRAWING NO <b>A-026</b>	



DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SDA

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PROJECT:  
**ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS**  
 800 Pittwater Road, 224 Headland Road, Dee Why NSW 2099, North Curl Curl NSW 2099  
 PROJECT NO: 18032

ARCHITECT:  
**TONKIN ZULAIKHA GREER ARCHITECTS**  
 117 Reservoir Street, P: (02) 9215 4900, F: (02) 9215 4901, EMAIL: info@tzg.com.au, WEB: www.tzg.com.au

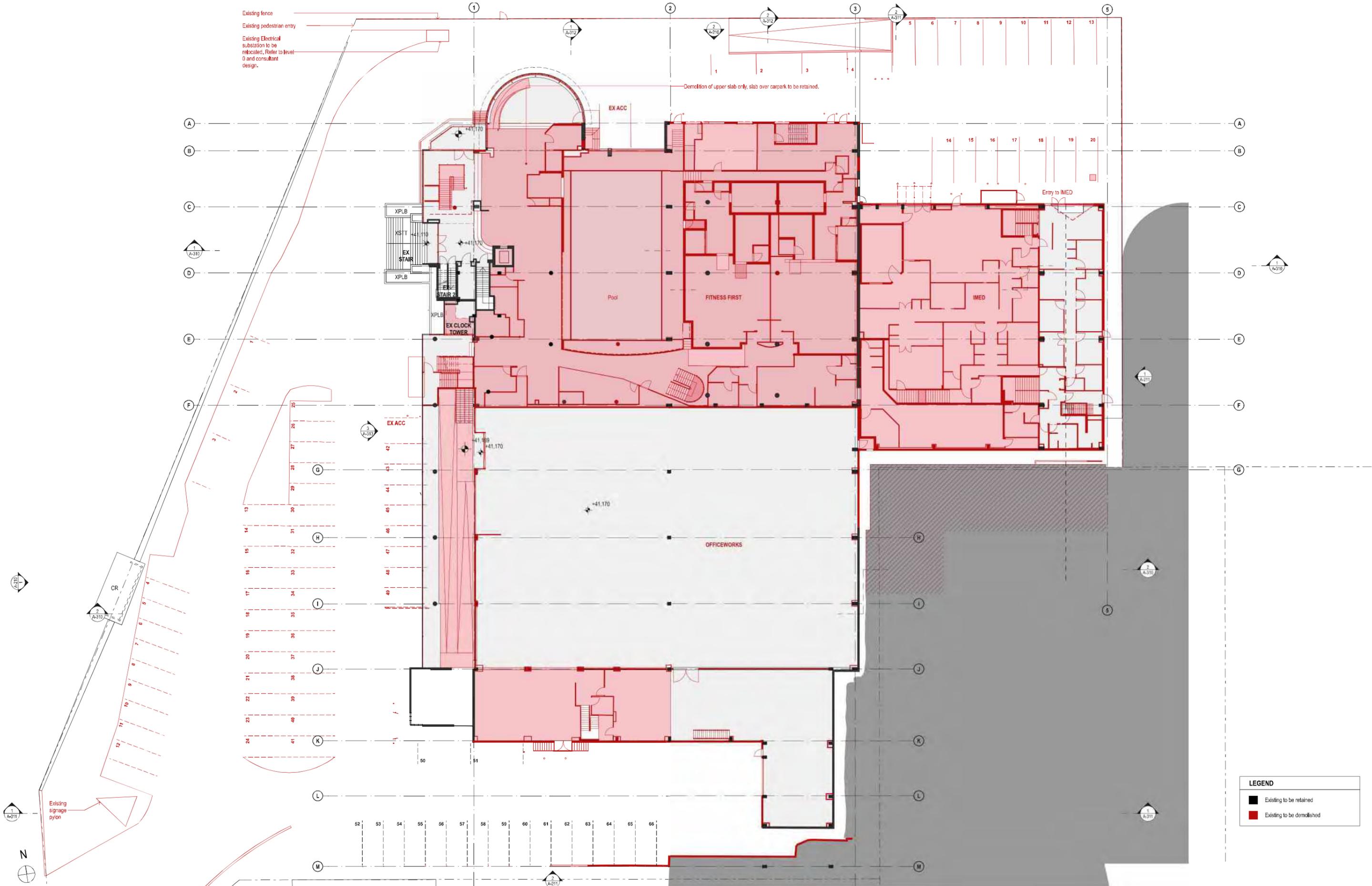
DRAWING TITLE:  
**LEVEL 0 DEMOLITION PLAN\_800**

SCALES AT A1

PHASE: SDA

DRAWING NO: **A-030**

DRAWN BY	CHECKED	DATE	REV
RM + CE + EG	PT	October 2019	A



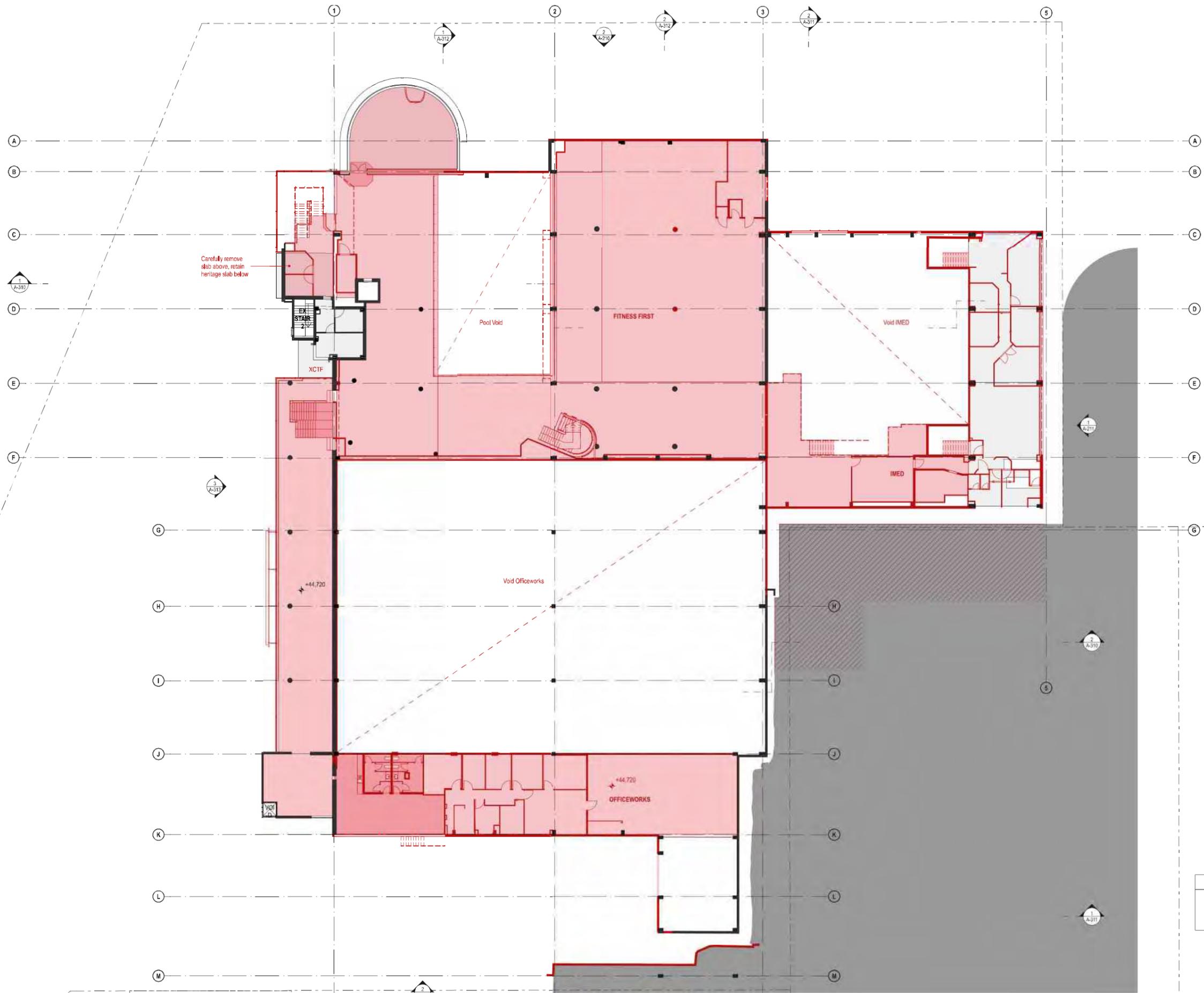
LEGEND	
<span style="display:inline-block; width:10px; height:10px; background-color:black; border:1px solid black;"></span>	Existing to be retained
<span style="display:inline-block; width:10px; height:10px; background-color:red; border:1px solid black;"></span>	Existing to be demolished

DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SSDA

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PROJECT:	ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS
ARCHITECT:	TONKIN ZULAIKHA GREER ARCHITECTS 117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tzg.com.au WEB: www.tzg.com.au
DRAWING TITLE:	800 PITTWATER ROAD LEVEL 1 DEMOLITION PLAN_800
SCALES AT A1:	1:200
PHASE:	SSDA
DRAWING NO:	A-031
PROJECT NO:	18032

DATE	29/OCT/2019	DRAWN BY	RM + CE + EG
REV	A	CHECKED	PT
DATE	October 2019	REV	A



LEGEND	
<span style="display:inline-block; width:10px; height:10px; border:1px solid black; background-color:black;"></span>	Existing to be retained
<span style="display:inline-block; width:10px; height:10px; border:1px solid black; background-color:red;"></span>	Existing to be demolished

DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SDA

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PROJECT :  
**ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS**  
 800 Pittwater Road + 224 Headland Road  
 Dee Why NSW 2099 North Curl Curl NSW 2099  
 PROJECT NO : 18032

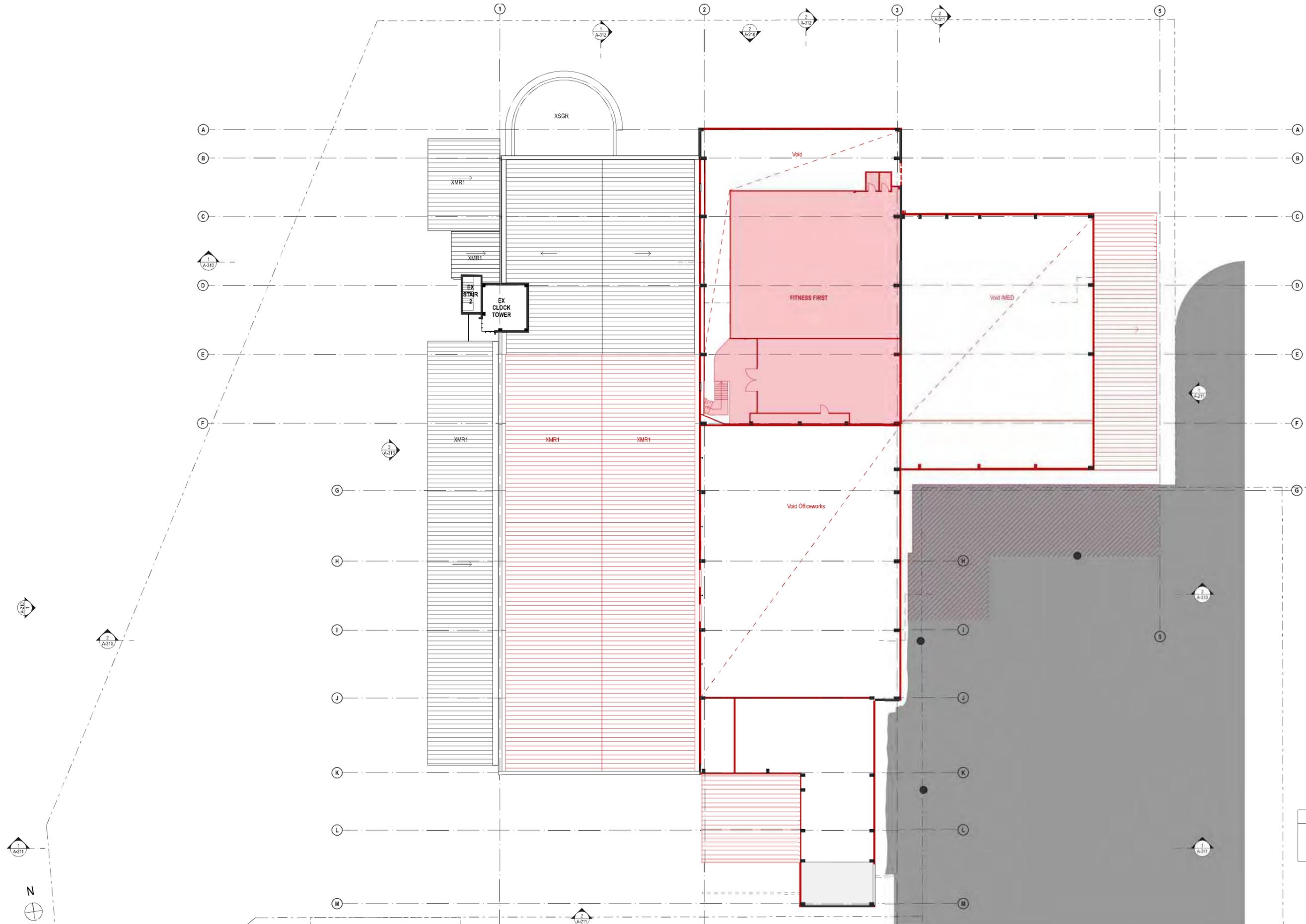
ARCHITECT  
**TONKIN ZULAIKHA GREER ARCHITECTS**  
 117 Reservoir Street  
 ABN: 4600272349  
 P: (02) 9215 4900  
 F: (02) 9215 4901  
 EMAIL: info@tztg.com.au  
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DRAWING TITLE  
 800 PITTWATER ROAD  
**LEVEL 2 DEMOLITION PLAN\_800**  
 SCALES AT A1  
 PHASE  
 SDA

DRAWN BY  
 RM + CE + EG  
 CHECKED  
 PT  
 DATE  
 October 2019  
 REV  
**A**

1:200

**A-032**

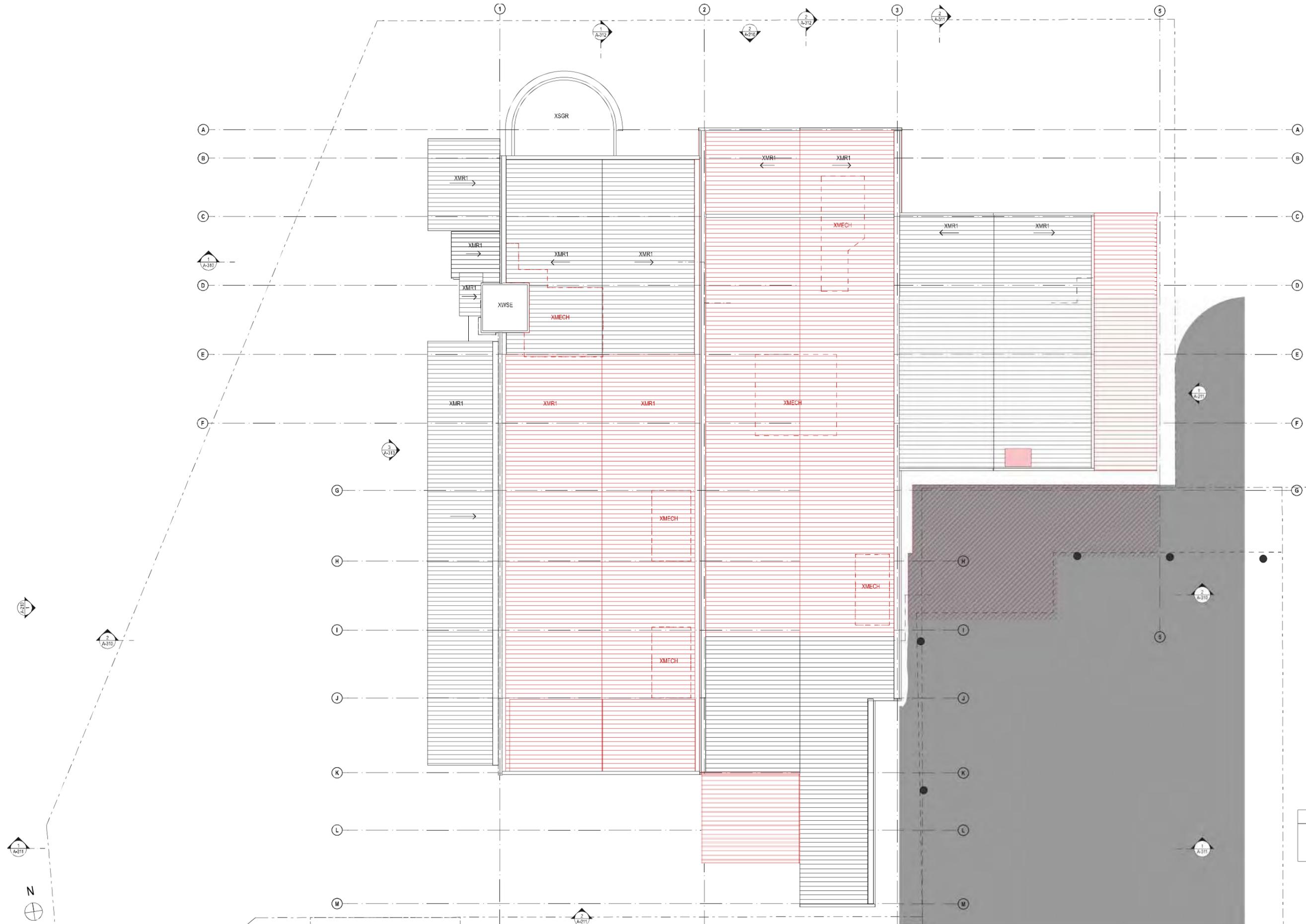


LEGEND	
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<span style="display:inline-block; width:10px; height:10px; background-color:red; border:1px solid black;"></span>	Existing to be demolished

DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SDA

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PROJECT: <b>ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS</b> <small>800 Pittwater Road + 224 Headland Road Dee Why NSW 2099 North Curl Curl NSW 2099</small> PROJECT NO : 18032		ARCHITECT <b>TONKIN ZULAIKHA GREER ARCHITECTS</b> <small>117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tզg.com.au WEB: www.tզg.com.au</small>		DRAWING TITLE <b>LEVEL 3 DEMOLITION PLAN_800</b> SCALES AT A1 PHASE SDA		DRAWN BY RM + CE + EG CHECKED PT DATE October 2019 REV <b>A</b>	
				1:200		DRAWING NO <b>A-033</b>	

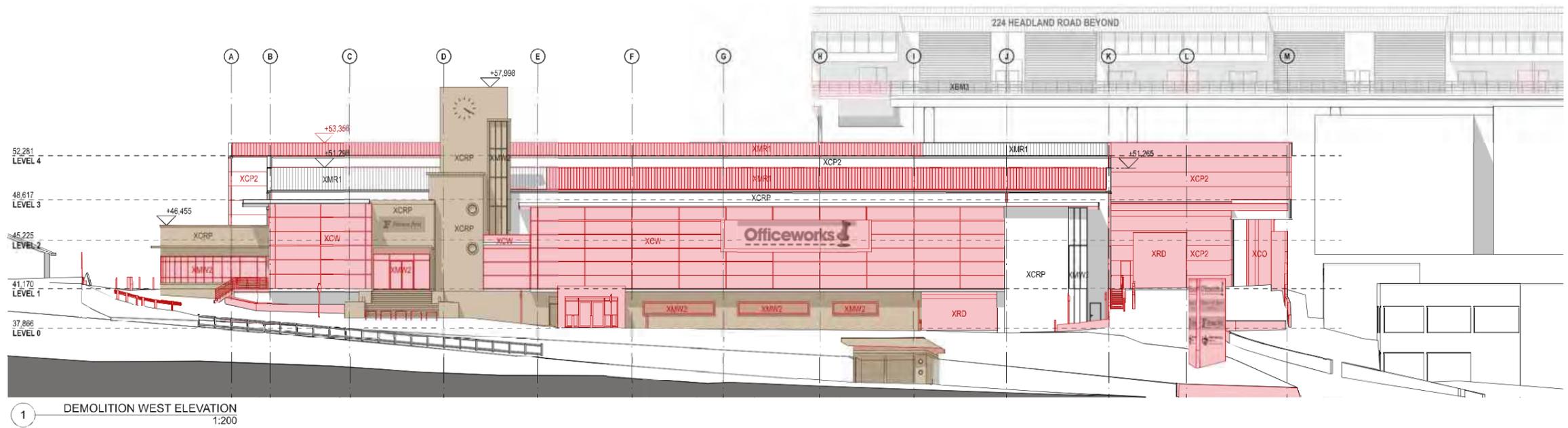


LEGEND	
■	Existing to be retained
■	Existing to be demolished

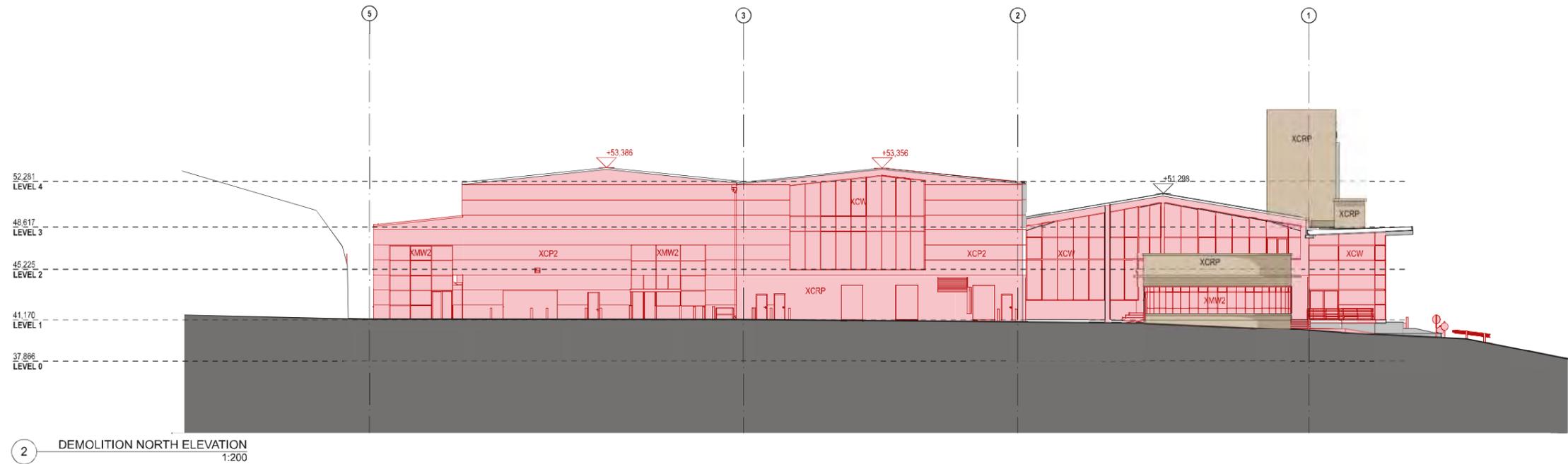
DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SDA

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<b>PROJECT :</b> ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS <small>800 Pittwater Road + 224 Headland Road Dee Why NSW 2099 North Curl Curl NSW 2099</small>		<b>ARCHITECT</b> TONKIN ZULAIKHA GREER ARCHITECTS <small>117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tզg.com.au WEB: www.tզg.com.au</small>		<b>DRAWING TITLE</b> 800 PITTWATER ROAD <b>LEVEL 4 DEMOLITION PLAN_800</b>		<b>DRAWN BY</b> RM + CE + EG	
<b>SDA</b>				<b>SCALE AT A1</b>		<b>DATE</b> October 2019	
<b>PHASE</b> SDA				<b>DRAWING NO</b> <b>A-034</b>		<b>REV</b> <b>A</b>	



1 DEMOLITION WEST ELEVATION  
1:200



2 DEMOLITION NORTH ELEVATION  
1:200

LEGEND	
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<span style="display:inline-block; width:10px; height:10px; background-color:red;"></span>	Existing to be demolished
<span style="display:inline-block; width:10px; height:10px; background-color:lightgrey;"></span>	Existing, significant heritage item

DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SDA

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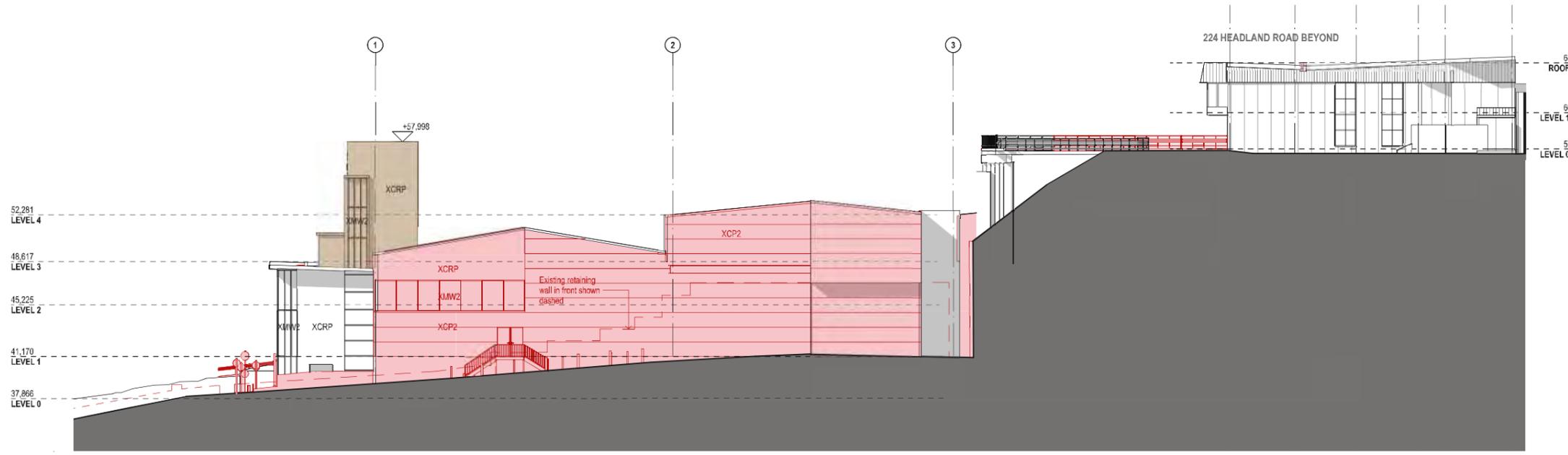
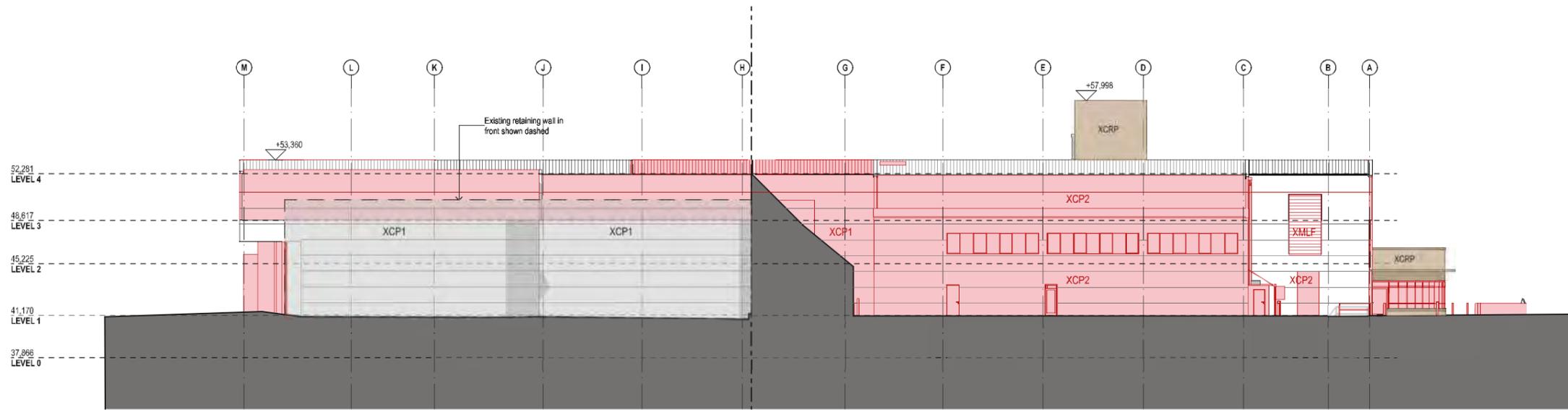
PROJECT:  
**ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS**  
800 Pitwater Road + 224 Headland Road  
Dee Why NSW 2099 North Curl NSW 2099  
PROJECT NO : 18032

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EMAIL: info@tզg.com.au  
WEB: www.tզg.com.au

DRAWING TITLE  
GENERAL  
**WEST + NORTH DEMOLITION ELEVATIONS\_800**  
TONKIN ZULAIKHA GREER ARCHITECTS  
SCALE AT A1

PHASE SSDA	DRAWING NO <b>A-035</b>	DATE October 2019	REV <b>A</b>
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DRAWN BY  
RM + CE + EG  
CHECKED  
PT  
DATE  
October 2019  
REV  
**A**



1 DEMOLITION SOUTH ELEVATION  
1:200

LEGEND	
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<span style="display:inline-block; width:10px; height:10px; background-color:red;"></span>	Existing to be demolished
<span style="display:inline-block; width:10px; height:10px; background-color:tan;"></span>	Existing, significant heritage item

DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SDA

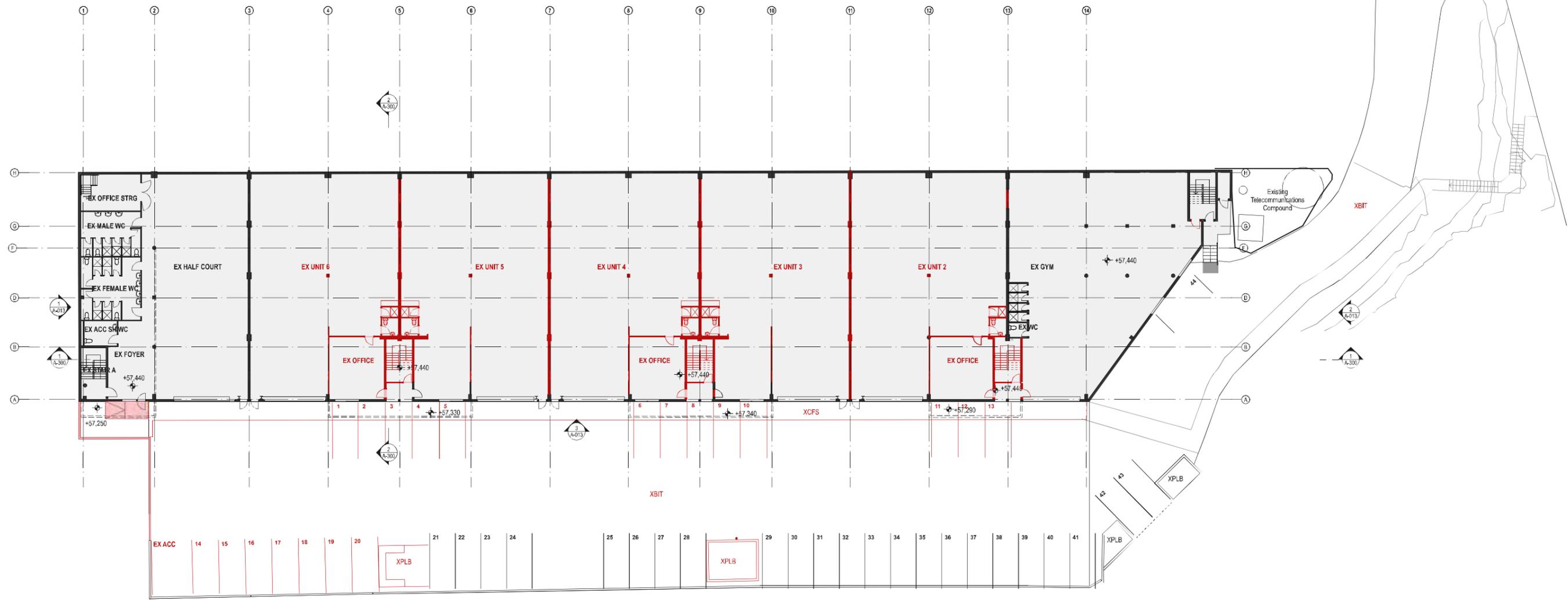
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**PROJECT :**  
ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS  
800 Pittwater Road + 224 Headland Road Dee Why NSW 2099 North Curl Curl NSW 2099  
PROJECT NO : 18032

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WEB: www.tzg.com.au

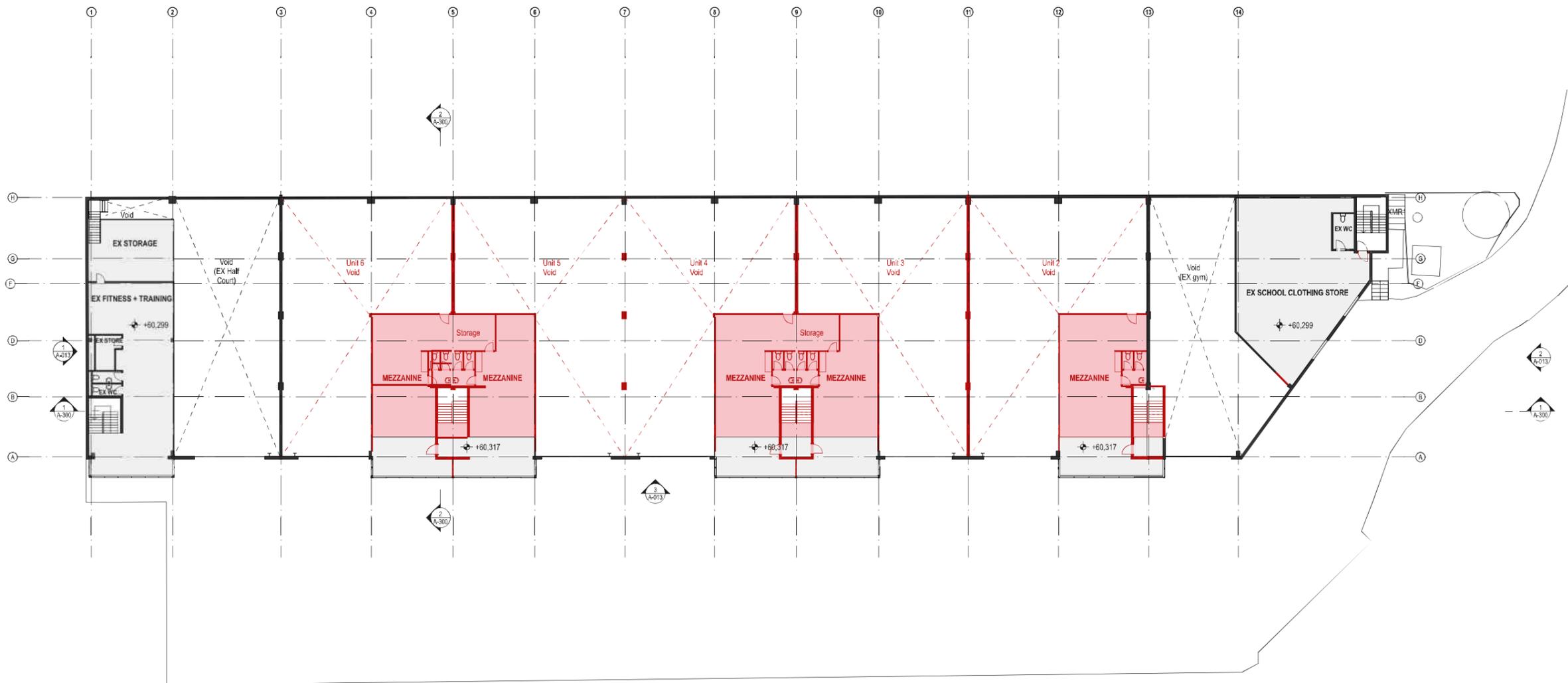
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GENERAL  
EAST + SOUTH DEMOLITION ELEVATIONS\_800  
TONKIN ZULAIKHA GREER ARCHITECTS  
SCALES AT A1  
1:200  
PHASE  
SSDA

**DRAWN BY**  
RM + CE + EG  
**CHECKED**  
PT  
**DATE**  
October 2019  
**REV**  
A  
**DRAWING NO**  
A-036



LEGEND	
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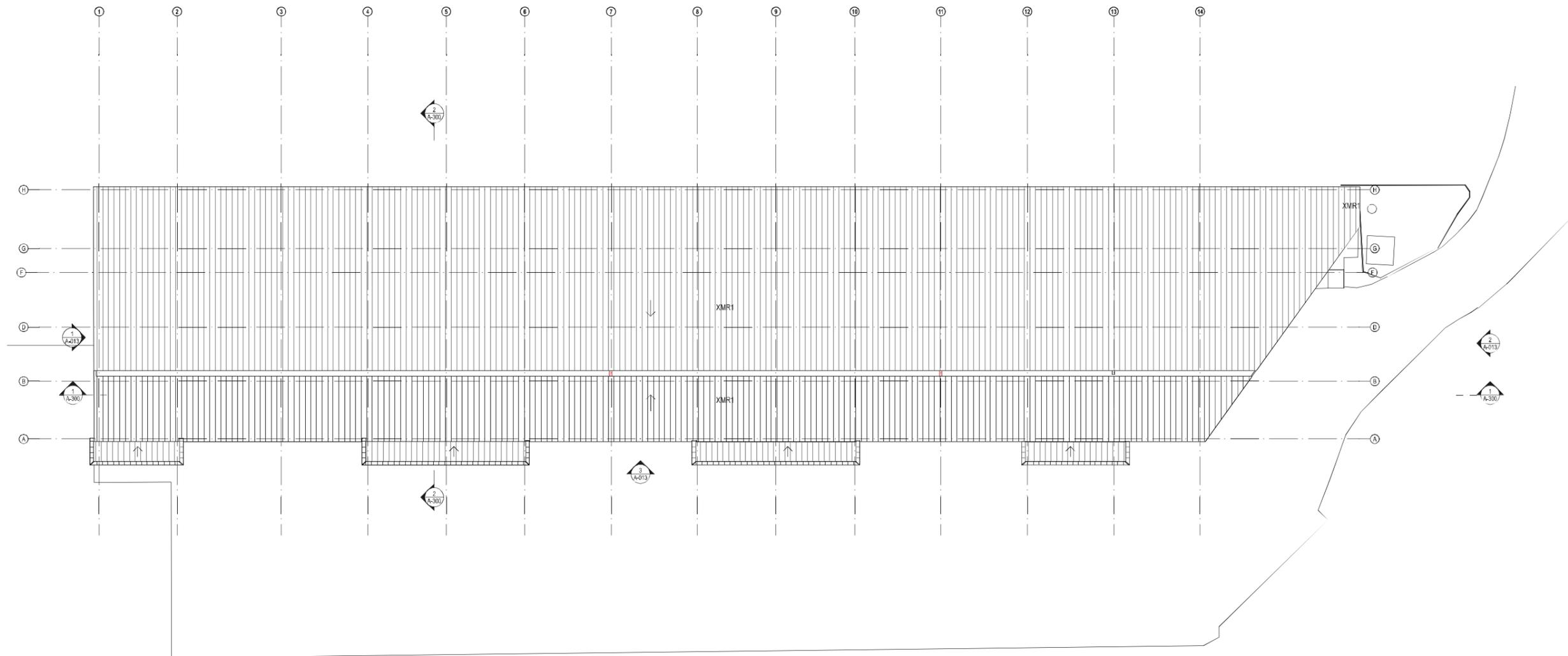
DATE 29/OCT/2019	REV A	DESCRIPTION: ISSUE FOR SDA	NOTES: Do not scale off drawings. Use figured dimensions only. Report any discrepancies to the architect. These designs, plans, specifications and the copyright therein are the property of Tonkin Zulaikha Greer Architects Pty Ltd. and must not be reproduced or copied wholly or in part without written permission of Tonkin Zulaikha Greer Architects Pty Ltd.	APPLICANT: ST LUKE'S GRAMMAR SCHOOL Mrs Jane Hughes (Business Manager) 210 Headland Road Dee Why NSW 2099	PROJECT: ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS 800 Pittwater Road + 224 Headland Road Dee Why NSW 2099 North Curl Curl NSW 2099 PROJECT NO : 18032	ARCHITECT TONKIN ZULAIKHA GREER ARCHITECTS 117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tjg.com.au WEB: www.tjg.com.au	DRAWING TITLE 224 HEADLAND ROAD LEVEL 0 DEMOLITION PLAN_224 SCALES AT A1 PHASE SSDA	DRAWN BY RM + CE + EG CHECKED PT DATE October 2019 REV A	
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LEGEND	
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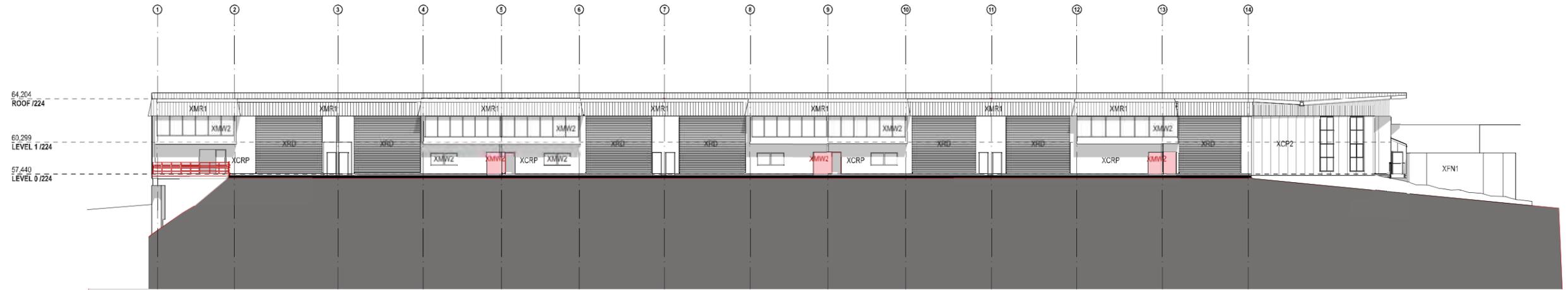
DATE 29/OCT/2019	REV A	DESCRIPTION: ISSUE FOR SSDA	NOTES: Do not scale off drawings. Use figured dimensions only. Report any discrepancies to the architect. These designs, plans, specifications and the copyright therein are the property of Tonkin Zulaikha Greer Architects Pty Ltd. and must not be reproduced or copied wholly or in part without written permission of Tonkin Zulaikha Greer Architects Pty Ltd.	APPLICANT: ST LUKE'S GRAMMAR SCHOOL Mrs Jane Hughes (Business Manager) 210 Headland Road Dee Why NSW 2099	PROJECT: ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS 800 Pittwater Road + 224 Headland Road Dee Why NSW 2099 North Curl Curl NSW 2099 PROJECT NO : 18032	ARCHITECT TONKIN ZULAIKHA GREER ARCHITECTS 117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tզg.com.au WEB: www.tզg.com.au	DRAWING TITLE 224 HEADLAND ROAD LEVEL 1 DEMOLITION PLAN_224 SCALES AT A1 PHASE SSDA	DRAWN BY RM + CE + EG CHECKED PT DATE October 2019 REV A
							DRAWING NO A-041	1:200



LEGEND	
■	Existing to be retained
■	Existing to be demolished



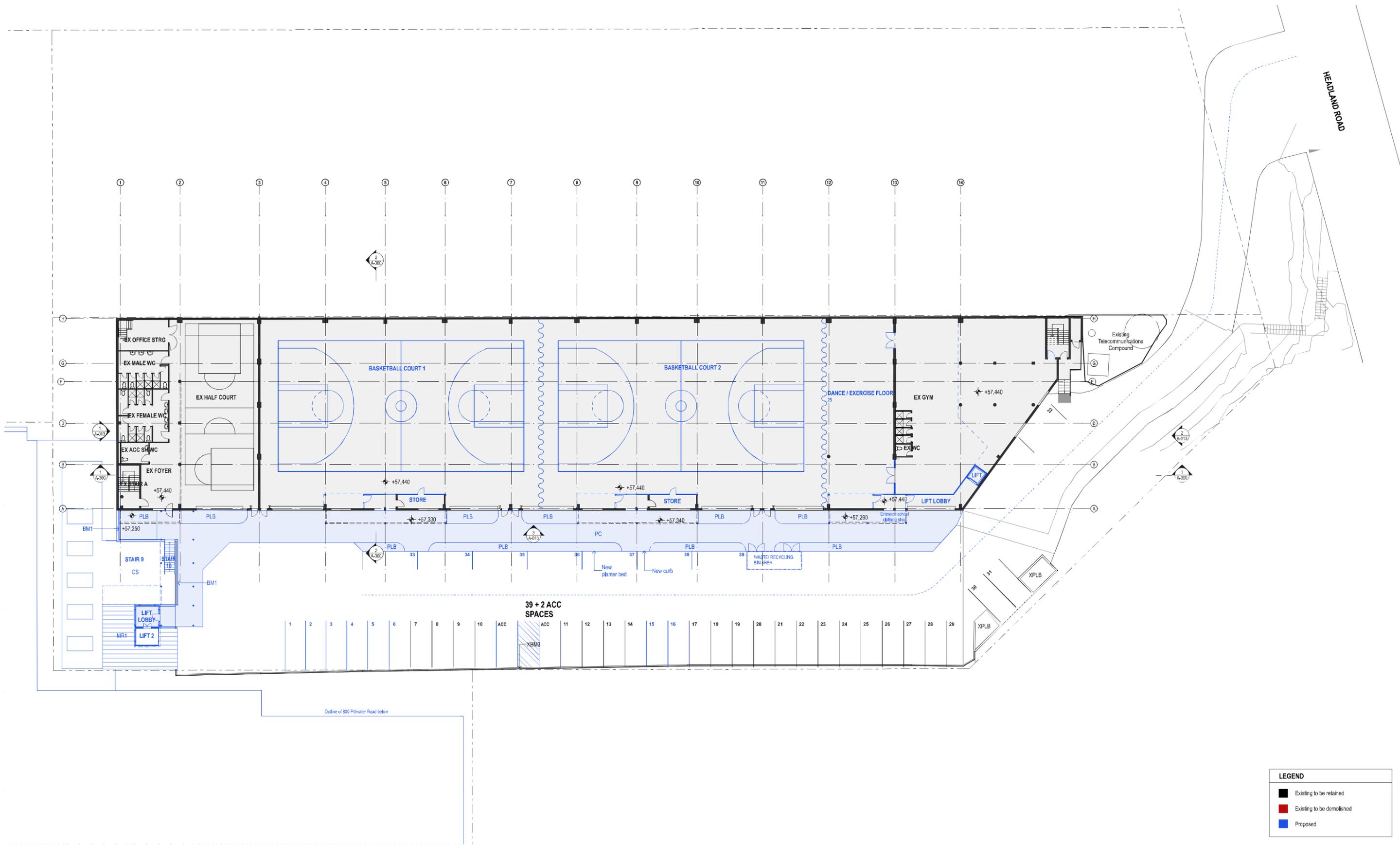
DATE 29/OCT/2019	REV A	DESCRIPTION: ISSUE FOR SDA	NOTES: Do not scale off drawings. Use figured dimensions only. Report any discrepancies to the architect. These designs, plans, specifications and the copyright therein are the property of Tonkin Zulaikha Greer Architects Pty Ltd. and must not be reproduced or copied wholly or in part without written permission of Tonkin Zulaikha Greer Architects Pty Ltd.	APPLICANT: ST LUKE'S GRAMMAR SCHOOL Mrs Jane Hughes (Business Manager) 210 Headland Road Dee Why NSW 2099	PROJECT: ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS 800 Pittwater Road + 224 Headland Road Dee Why NSW 2099 North Curl Curl NSW 2099 PROJECT NO : 18032	ARCHITECT TONKIN ZULAIKHA GREER ARCHITECTS 117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tզg.com.au WEB: www.tզg.com.au	DRAWING TITLE 224 HEADLAND ROAD ROOF DEMOLITION PLAN_224 SCALES AT A1 PHASE SSDA	DRAWN BY RM + CE + EG CHECKED PT DATE October 2019 REV A
							DRAWING NO A-042	1:200



1 E7 WEST ELEVATION - DEMOLITION  
1:200

LEGEND	
	Existing to be retained
	Existing to be demolished

DATE 29/OCT/2019	REV A	DESCRIPTION: ISSUE FOR SDA	NOTES: Do not scale off drawings. Use figured dimensions only. Report any discrepancies to the architect. These designs, plans, specifications and the copyright therein are the property of Tonkin Zulaikha Greer Architects Pty Ltd. and must not be reproduced or copied wholly or in part without written permission of Tonkin Zulaikha Greer Architects Pty Ltd.	APPLICANT: ST LUKE'S GRAMMAR SCHOOL Mrs Jane Hughes (Business Manager) 210 Headland Road Dee Why NSW 2099	PROJECT: ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS 800 Pittwater Road + 224 Headland Road Dee Why NSW 2099 North Curl Curl NSW 2099 PROJECT NO : 18032	ARCHITECT TONKIN ZULAIKHA GREER ARCHITECTS 117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tզg.com.au WEB: www.tզg.com.au	DRAWING TITLE 224 HEADLAND ROAD DEMOLITION ELEVATIONS - 224 HEADLAND ROAD SCALES AT A1 1:200	DRAWN BY RM + CE + EG CHECKED PT DATE October 2019 REV A	
				PHASE SSDA		DRAWING NO A-043			



LEGEND	
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<span style="display:inline-block; width:10px; height:10px; background-color:red;"></span>	Existing to be demolished
<span style="display:inline-block; width:10px; height:10px; background-color:blue;"></span>	Proposed



DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SDA

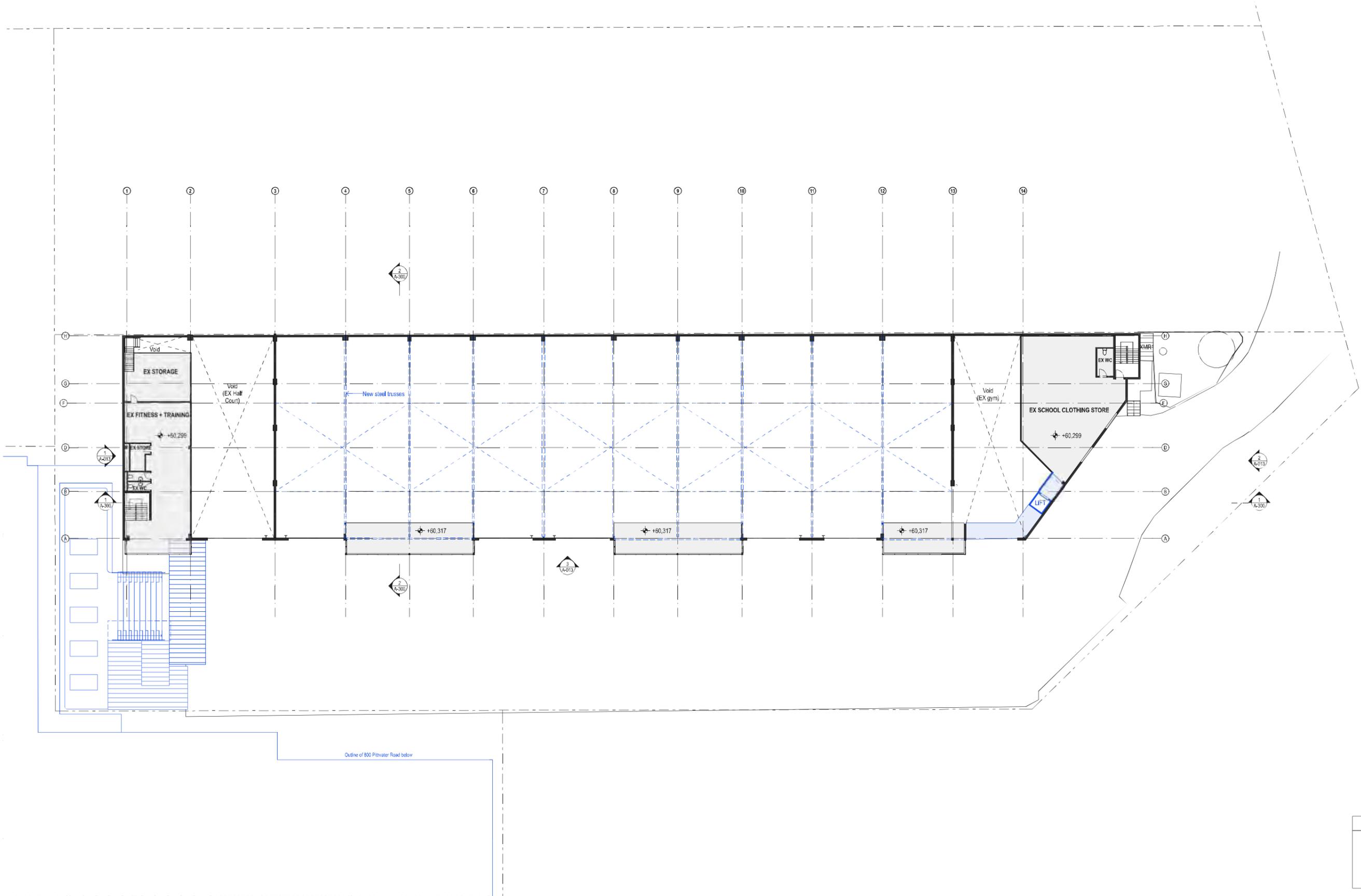
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**APPLICANT:**  
 ST LUKE'S GRAMMAR SCHOOL  
 Mrs Jane Hughes (Business Manager)  
 210 Headland Road  
 Dee Why NSW 2099

**PROJECT:**  
 ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS  
 800 Pittwater Road + 224 Headland Road  
 Dee Why NSW 2099 North Curl Curl NSW 2099  
 PROJECT NO : 18032

**ARCHITECT:**  
 TONKIN ZULAIKHA GREER ARCHITECTS  
 117 Reservoir Street  
 ABN: 4600272349  
 P: (02) 9215 4900  
 F: (02) 9215 4901  
 EMAIL: info@tզg.com.au  
 WEB: www.tզg.com.au

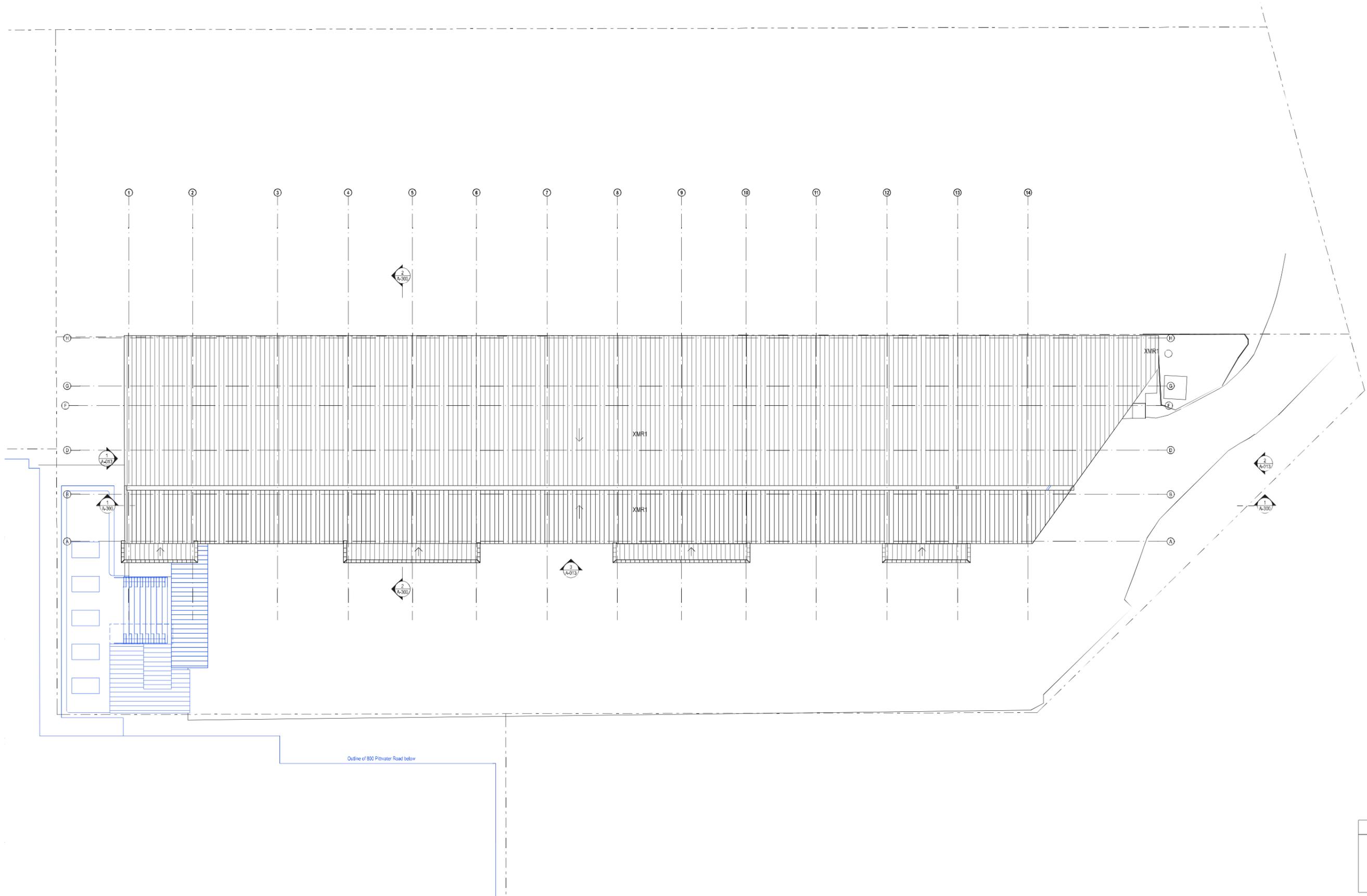
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224 HEADLAND ROAD LEVEL 0 PLAN_224		RM + CE + EG	
SCALES AT A1		CHECKED PT	
PHASE SDA		DATE October 2019	
DRAWING NO A-100		REV A	



LEGEND	
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<span style="display:inline-block; width:10px; height:10px; background-color:red; border:1px solid black;"></span>	Existing to be demolished
<span style="display:inline-block; width:10px; height:10px; background-color:blue; border:1px solid black;"></span>	Proposed



DATE 29/OCT/2019	REV A	DESCRIPTION: ISSUE FOR SSDA	NOTES: Do not scale off drawings. Use figured dimensions only. Report any discrepancies to the architect. These designs, plans, specifications and the copyright therein are the property of Tonkin Zulaikha Greer Architects Pty Ltd. and must not be reproduced or copied wholly or in part without written permission of Tonkin Zulaikha Greer Architects Pty Ltd.	APPLICANT: ST LUKE'S GRAMMAR SCHOOL Mrs Jane Hughes (Business Manager) 210 Headland Road Dee Why NSW 2099	PROJECT: ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS 800 Pittwater Road + 224 Headland Road Dee Why NSW 2099 North Curl Curl NSW 2099 PROJECT NO : 18032	ARCHITECT TONKIN ZULAIKHA GREER ARCHITECTS 117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tզg.com.au WEB: www.tզg.com.au	DRAWING TITLE 224 HEADLAND ROAD LEVEL 1 PLAN_224 SCALES AT A1 PHASE SSDA	DRAWN BY RM + CE + EG CHECKED PT DATE October 2019 REV A
							DRAWING NO A-101	



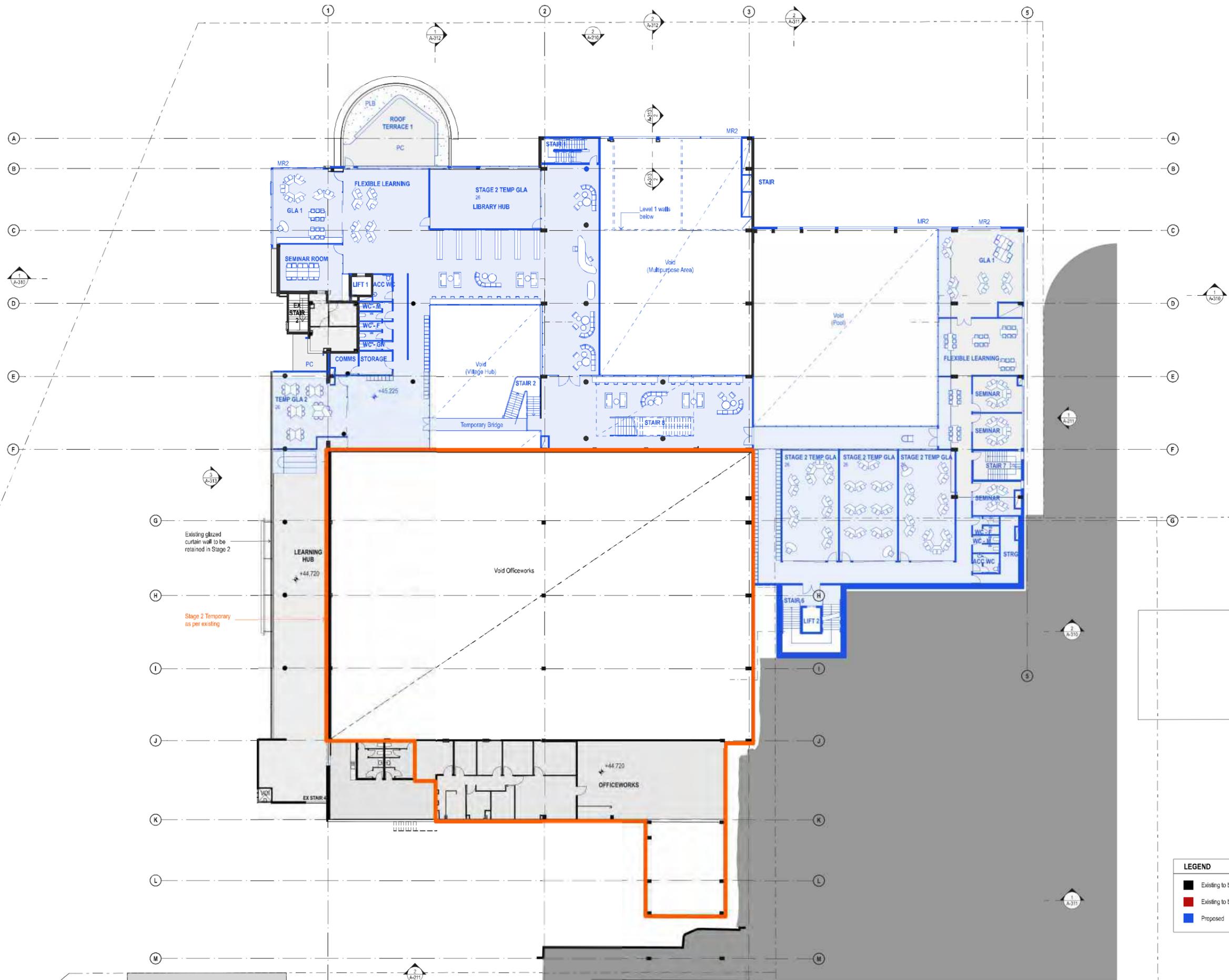
LEGEND	
<span style="display:inline-block; width:10px; height:10px; background-color:black;"></span>	Existing to be retained
<span style="display:inline-block; width:10px; height:10px; background-color:red;"></span>	Existing to be demolished
<span style="display:inline-block; width:10px; height:10px; background-color:blue;"></span>	Proposed



DATE 29/OCT/2019	REV A	DESCRIPTION: ISSUE FOR SDA	NOTES: Do not scale off drawings. Use figured dimensions only. Report any discrepancies to the architect. These designs, plans, specifications and the copyright therein are the property of Tonkin Zulaikha Greer Architects Pty Ltd. and must not be reproduced or copied wholly or in part without written permission of Tonkin Zulaikha Greer Architects Pty Ltd.	APPLICANT: ST LUKE'S GRAMMAR SCHOOL Mrs Jane Hughes (Business Manager) 210 Headland Road Dee Why NSW 2099	PROJECT: ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS 800 Pittwater Road + 224 Headland Road Dee Why NSW 2099 North Curl Curl NSW 2099 PROJECT NO : 18032	ARCHITECT TONKIN ZULAIKHA GREER ARCHITECTS 117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tզg.com.au WEB: www.tզg.com.au	DRAWING TITLE 224 HEADLAND ROAD ROOF PLAN_224 SCALES AT A1 PHASE SSDA	DRAWN BY RM + CE + EG CHECKED PT DATE October 2019 REV A
							DRAWING NO A-102	







DATE	REV	DESCRIPTION
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PROJECT:  
**ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS**  
 800 Pittwater Road + 224 Headland Road  
 Dee Why NSW 2099 North Curl Curl NSW 2099  
 PROJECT NO: 18032

ARCHITECT  
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 WEB: www.tzg.com.au

**DRAWING TITLE**  
 800 PITTWATER ROAD  
**LEVEL 2 PLAN - STAGE 2\_800**

SCALES AT A1

PHASE  
 SDA

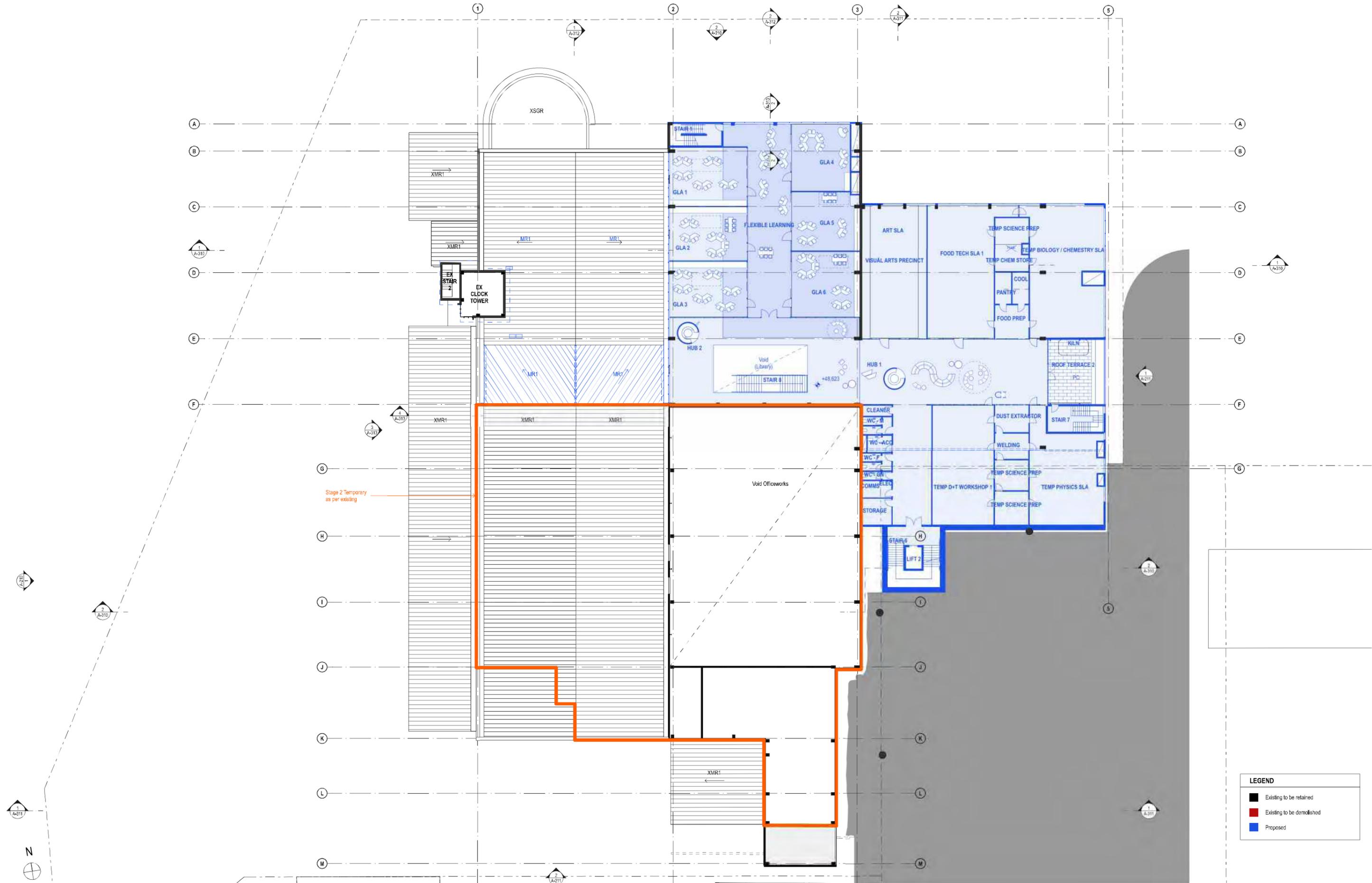
DRAWING NO  
**A-112**

DRAWN BY  
 RM + CE + EG

CHECKED  
 PT

DATE  
 October 2019

REV  
**A**



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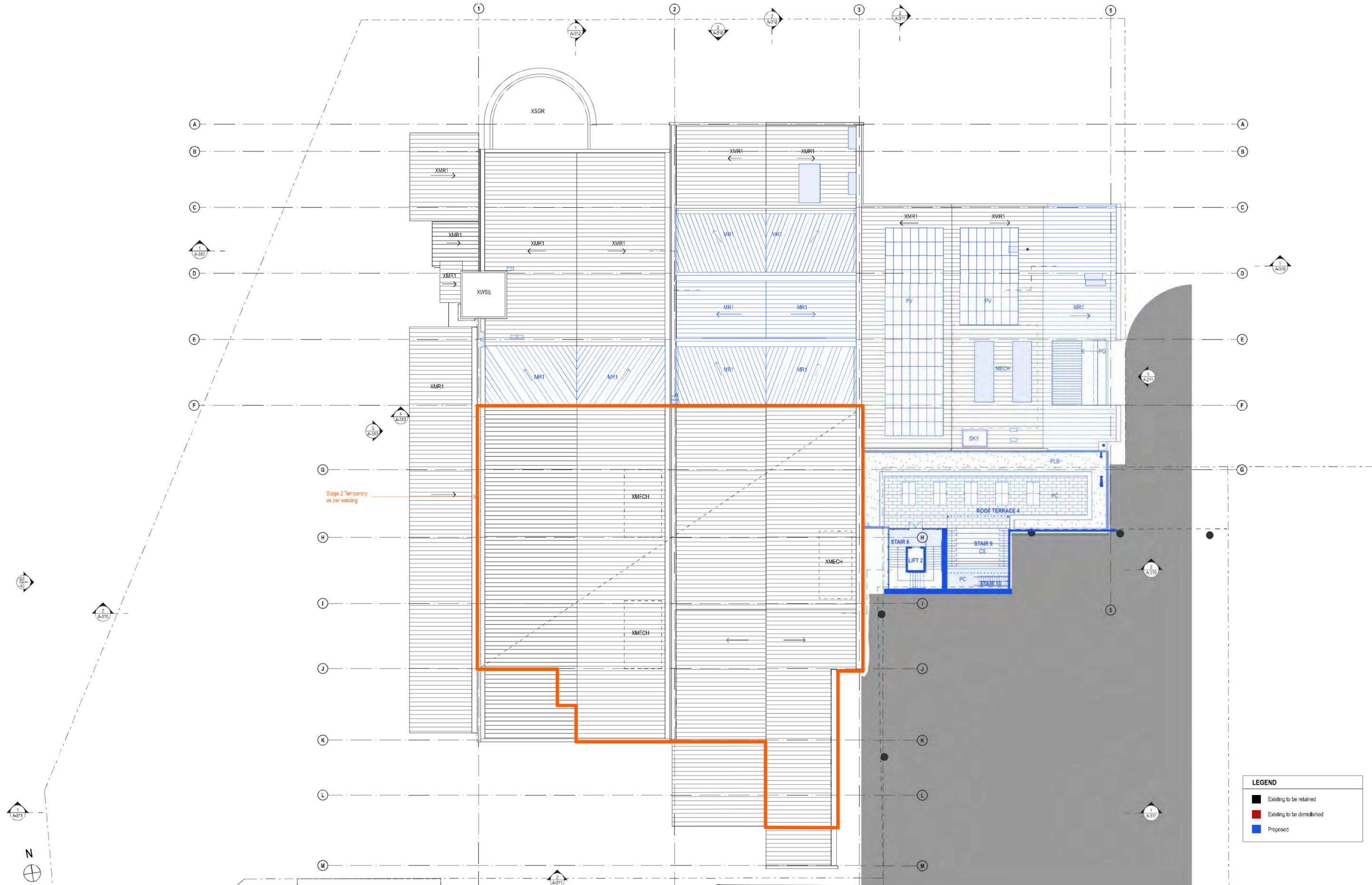
PROJECT: ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS  
 800 Pittwater Road, Dee Why NSW 2099  
 PROJECT NO: 18032

ARCHITECT: TONKIN ZULAIKHA GREER ARCHITECTS  
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 ABN: 4600272349  
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 F: (02) 9215 4901  
 EMAIL: info@tzg.com.au  
 WEB: www.tzg.com.au

DRAWING TITLE: 800 PITTWATER ROAD LEVEL 3 PLAN - STAGE 2\_800  
 SCALES AT A1  
 PHASE: SDA

DRAWING NO: A-113

DATE	1:200	October 2019
DRAWN BY	RM + CE + EG	CHECKED
PT	DATE	REV



LEGEND	
■	Existing to be retained
■	Existing to be demolished
■	Proposed

DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SDA

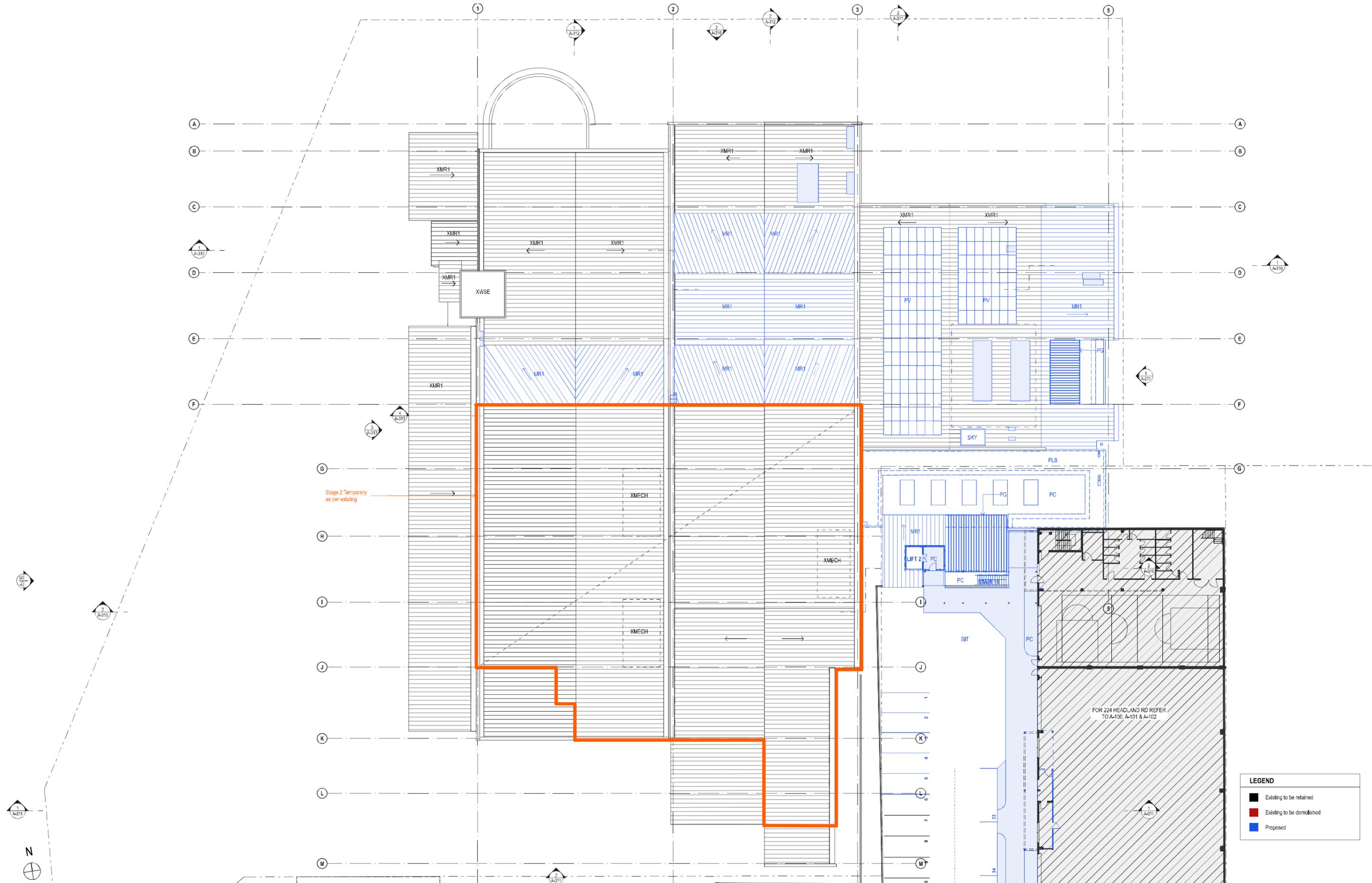
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PROJECT:  
**ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS**  
 800 Pittwater Road + 224 Headland Road  
 Dee Why NSW 2099 North Curl Curl NSW 2099  
 PROJECT NO : 18032

ARCHITECT  
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 WEB: www.tzg.com.au

DRAWING TITLE  
 800 PITTWATER ROAD  
**LEVEL 4 PLAN - STAGE 2\_800**  
 SCALES AT A1

DRAWN BY  
 RM + CE + EG  
 CHECKED  
 PT  
 DATE  
 October 2019  
 REV  
 A  
 PHASE  
 SDA  
 DRAWING NO  
**A-114**



DATE	REV	DESCRIPTION
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**ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS**  
 800 Pittwater Road + 224 Headland Road  
 Dee Why NSW 2099 North Curl Curl NSW 2099  
 PROJECT NO : 18032

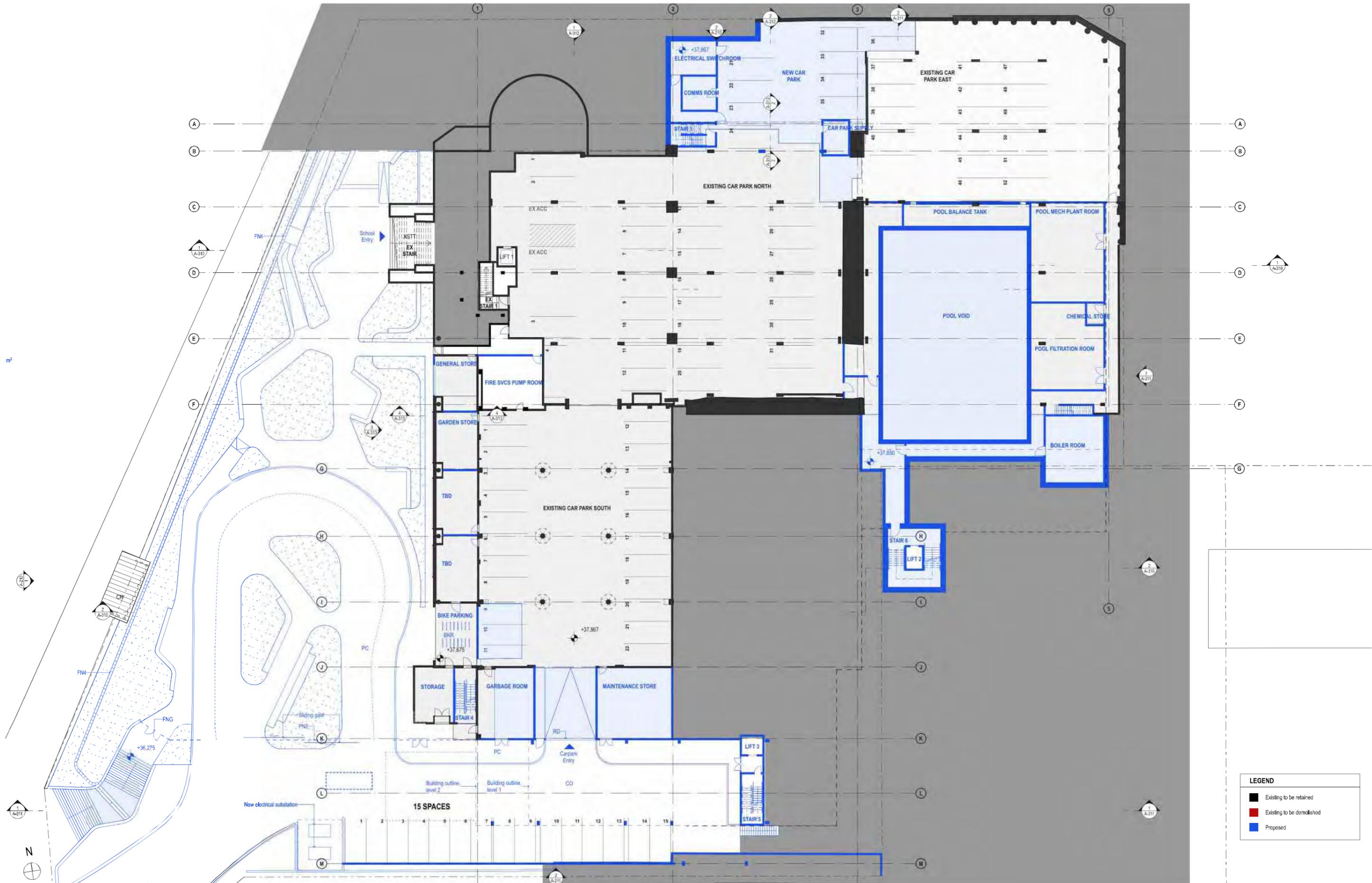
ARCHITECT  
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 F: (02) 9215 4901  
 EMAIL: info@tզg.com.au  
 WEB: www.tզg.com.au

DRAWING TITLE  
 800 PITTWATER ROAD  
**LEVEL 5 PLAN - STAGE 2\_800**  
 SCALES AT A1

DATE  
 1:200  
 October 2019

DRAWN BY  
 RM + CE + EG  
 CHECKED  
 PT  
 DATE  
 October 2019  
 REV  
 A

PHASE  
 SDA  
 DRAWING NO  
**A-115**



LEGEND	
<span style="display:inline-block; width:10px; height:10px; background-color:black;"></span>	Existing to be retained
<span style="display:inline-block; width:10px; height:10px; background-color:red;"></span>	Existing to be demolished
<span style="display:inline-block; width:10px; height:10px; background-color:blue;"></span>	Proposed

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 800 Pittwater Road, 224 Headland Road, Dee Why NSW 2099, North Curl Curl NSW 2099  
 PROJECT NO : 18032

ARCHITECT  
**TONKIN ZULAIKHA GREER ARCHITECTS**  
 117 Reservoir Street, ABN: 4600272349, P: (02) 9215 4900, F: (02) 9215 4901, EMAIL: info@tzg.com.au, WEB: www.tzg.com.au

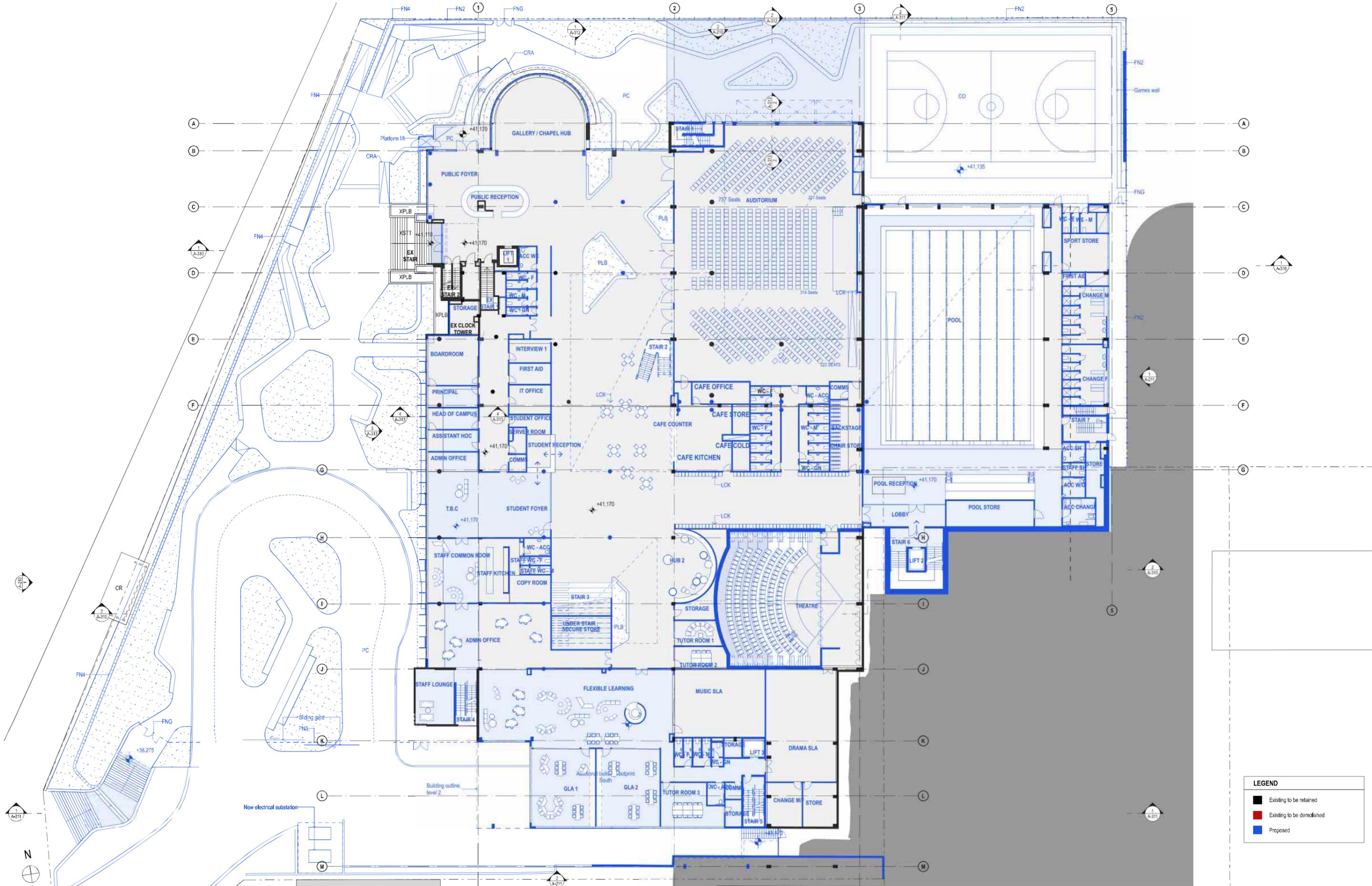
DRAWING TITLE  
 800 PITTWATER ROAD  
**LEVEL 0 PLAN - STAGE 3\_800**

SCALES AT A1

PHASE  
 SSDA

DRAWING NO  
**A-116**

DRAWN BY	CHECKED	DATE	REV
RM + CE + EG	PT	October 2019	A



**LEGEND**

- Existing to be retained
- Existing to be demolished
- Proposed

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29/OCT/2019	A	ISSUE FOR SSDA

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 PROJECT NO.: 18032

ARCHITECT:  
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 117 Reservoir Street, ABN: 4600272349, P: (02) 9215 4900, F: (02) 9215 4901, EMAIL: info@tzg.com.au, WEB: www.tzg.com.au

**DRAWING TITLE**  
 800 PITTWATER ROAD  
**LEVEL 1 PLAN - STAGE 3\_800**

SCALES AT A1

PHASE  
 SSDA

DRAWN BY  
 RM + CE + EG

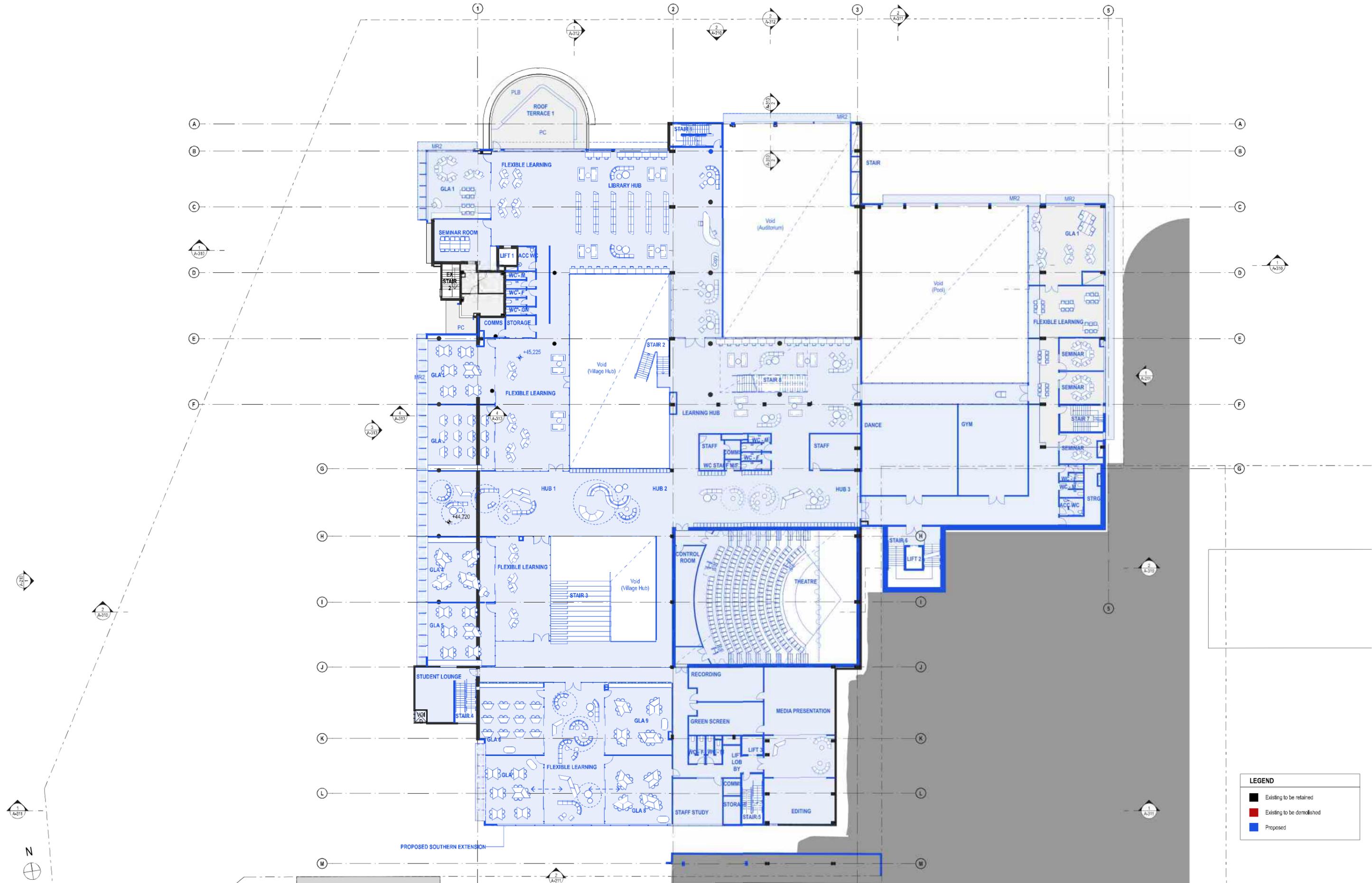
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 PT

DATE  
 October 2019

REV  
 A

1:200

DRAWING NO  
**A-117**



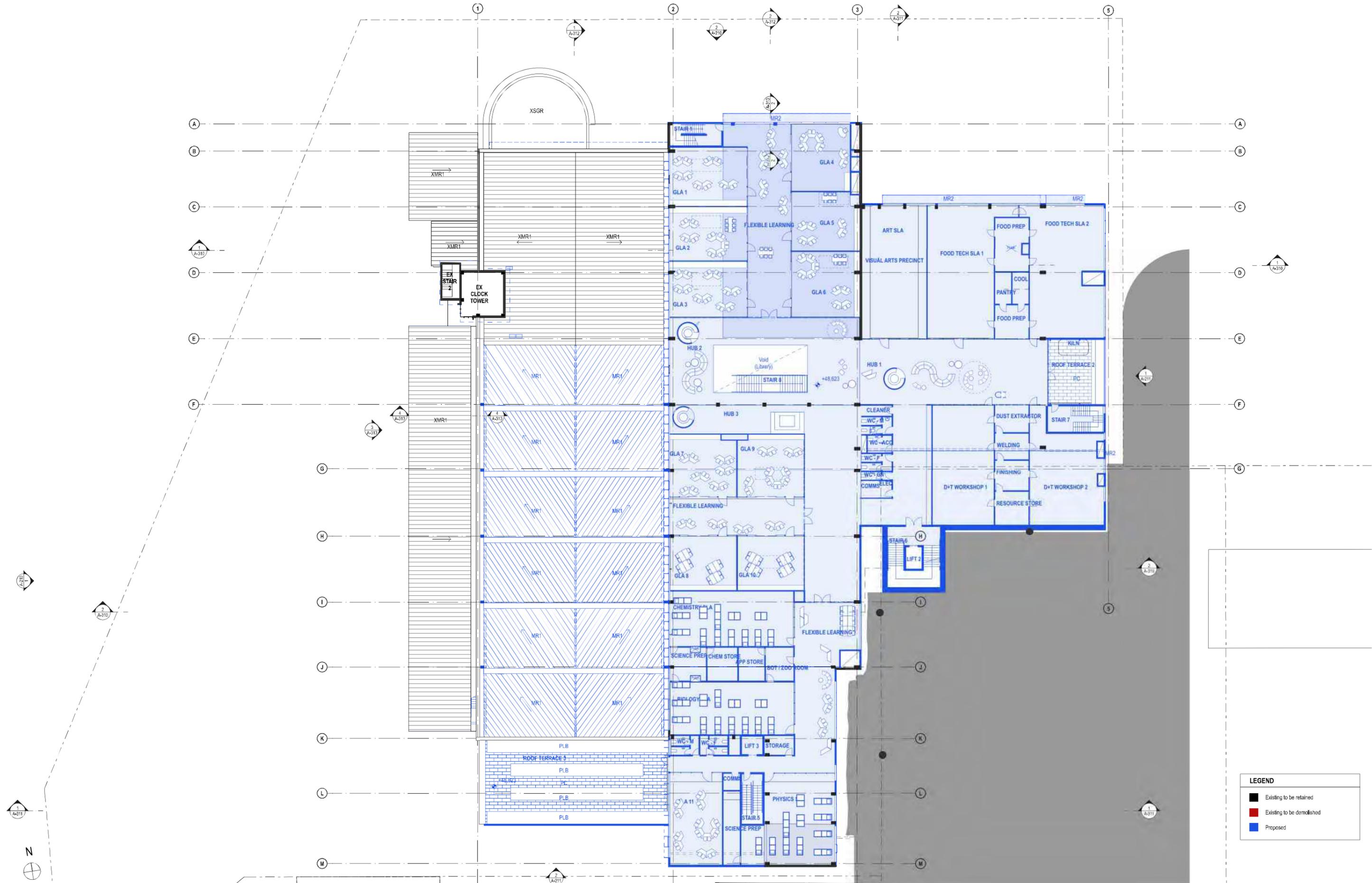
**LEGEND**

- Existing to be retained
- Existing to be demolished
- Proposed

DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SSDA

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<b>PROJECT:</b> ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS <small>800 Pittwater Road + 224 Headland Road          Dee Why NSW 2099 North Curl Curl NSW 2098</small>		<b>ARCHITECT:</b> TONKIN ZULAIKHA GREER ARCHITECTS <small>117 Reservoir Street          ABN: 4600272349          P: (02) 9215 4900          F: (02) 9215 4901          EMAIL: info@tzg.com.au          WEB: www.tzg.com.au</small>		<b>DRAWING TITLE:</b> 800 PITTWATER ROAD LEVEL 2 PLAN - STAGE 3_800		<b>DRAWN BY:</b> RM + CE + EG	
<b>PHASE:</b> SSDA		<b>DRAWING NO:</b> A-118		<b>SCALE:</b> 1:200		<b>DATE:</b> October 2019	
<b>REVISION:</b> A		<b>PROJECT NO.:</b> 16032		<b>REV:</b> A		<b>CHECKED:</b> PT	

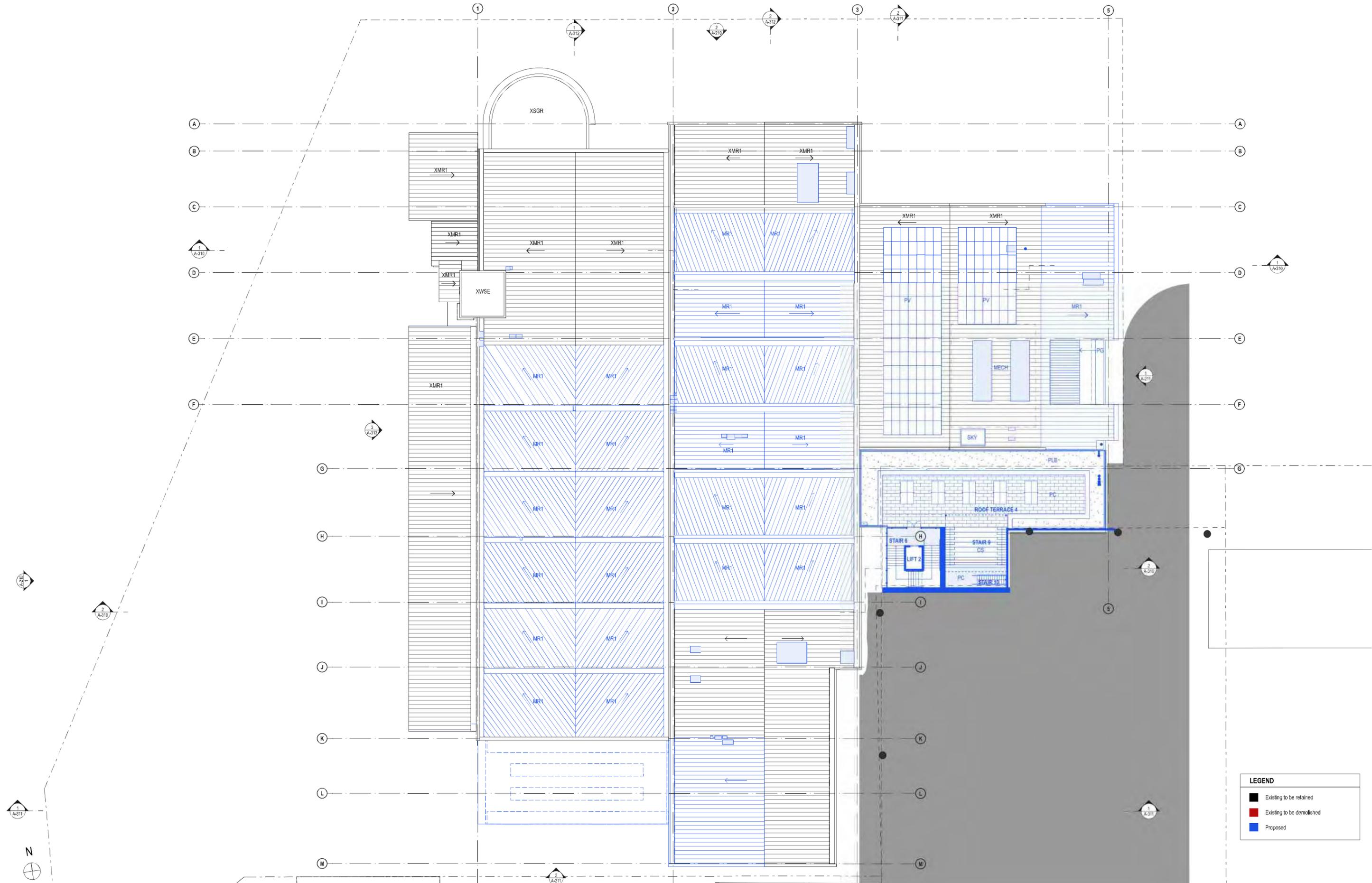


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ARCHITECT:	TONKIN ZULAIKHA GREER ARCHITECTS 117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tզg.com.au WEB: www.tզg.com.au
DRAWING TITLE:	800 PITTWATER ROAD LEVEL 3 PLAN - STAGE 3_800
SCALES AT A1:	1:200
PHASE:	SSDA
DRAWING NO:	A-119
PROJECT NO:	18032

DATE	29/OCT/2019	DRAWN BY	RM + CE + EG
REV	A	CHECKED	PT
DATE	October 2019	DATE	October 2019
REV	A	REV	A



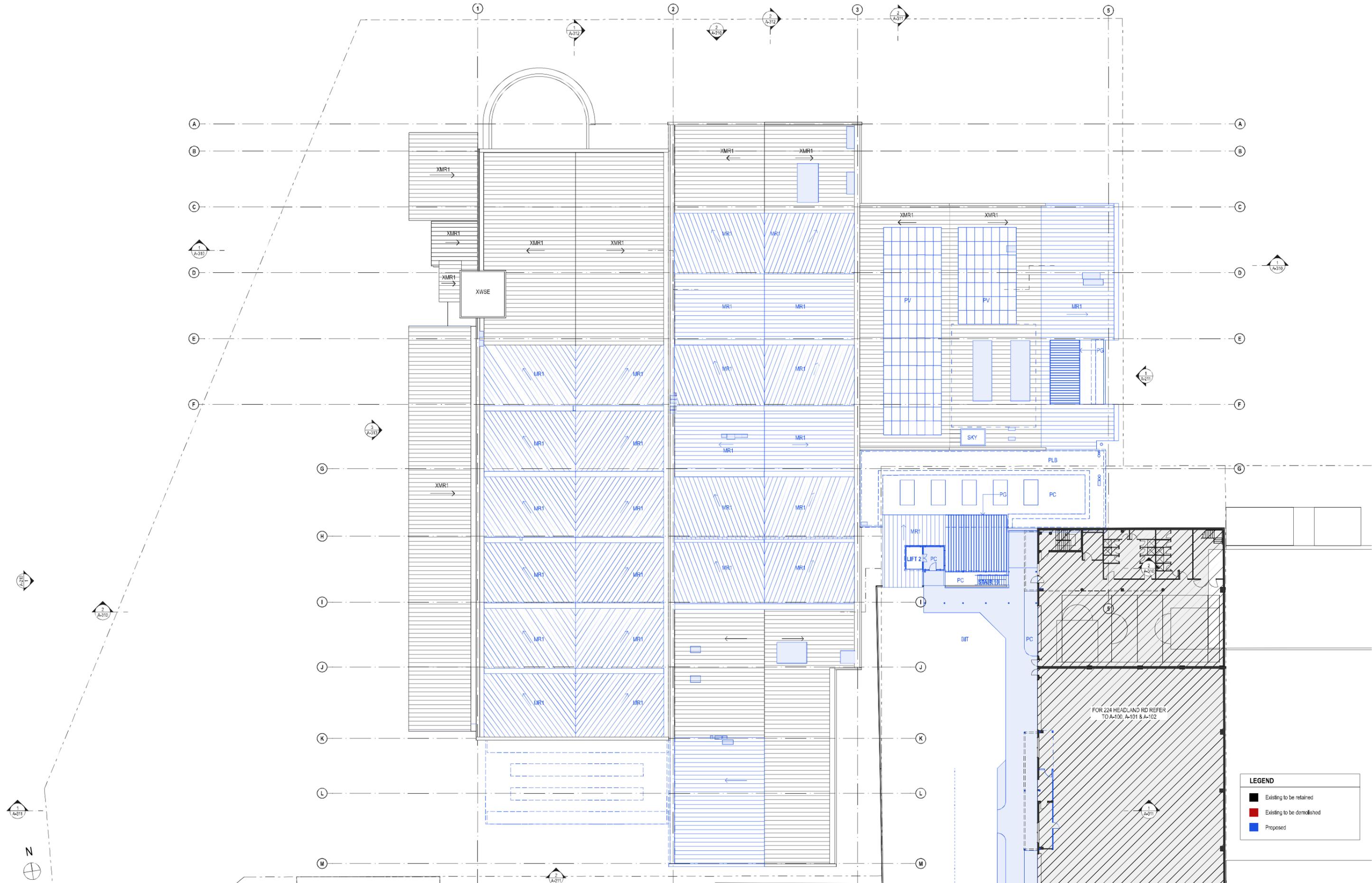
**LEGEND**

- Existing to be retained
- Existing to be demolished
- Proposed

DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SDA

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<b>PROJECT :</b> ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS <small>800 Pittwater Road    224 Headland Road          Dee Why NSW 2099    North Curl Curl NSW 2099</small>		<b>ARCHITECT</b> TONKIN ZULAIKHA GREER ARCHITECTS <small>117 Reservoir Street          P: (02) 9215 4900          F: (02) 9215 4901          EMAIL: info@tzg.com.au          WEB: www.tzg.com.au</small>		<b>DRAWING TITLE</b> 800 PITTWATER ROAD <b>LEVEL 4 PLAN - STAGE 3_800</b>		<b>DRAWN BY</b> RM + CE + EG	
<b>PHASE</b> SDA		<b>DRAWING NO</b> <b>A-120</b>		<b>DATE</b> October 2019		<b>CHECKED</b> PT	
<b>SCALES AT A1</b>		<b>1:200</b>		<b>REV</b> A		<b>DATE</b> October 2019	



**LEGEND**

	Existing to be retained
	Existing to be demolished
	Proposed

DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SSDA

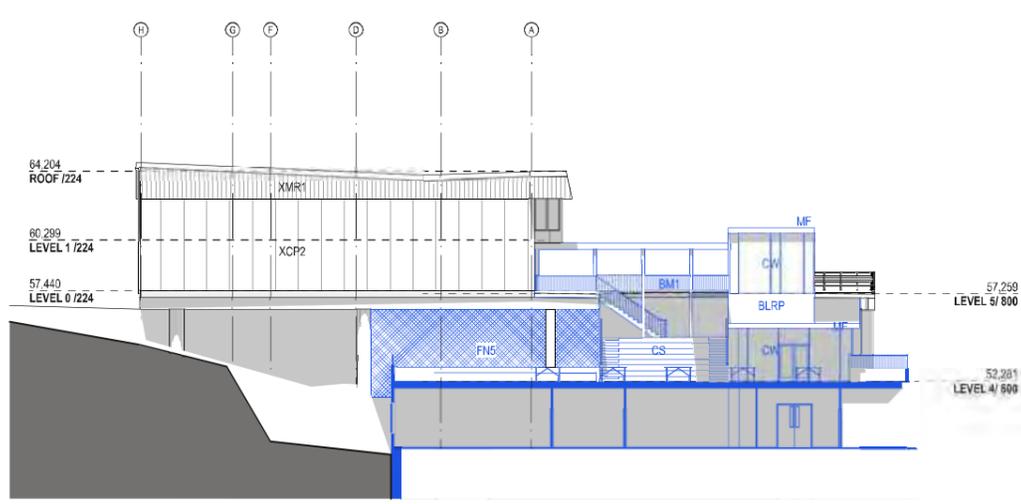
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PROJECT:  
**ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS**  
 800 Pittwater Road + 224 Headland Road  
 Dee Why NSW 2099 North Curl Curl NSW 2099  
 PROJECT NO : 18032

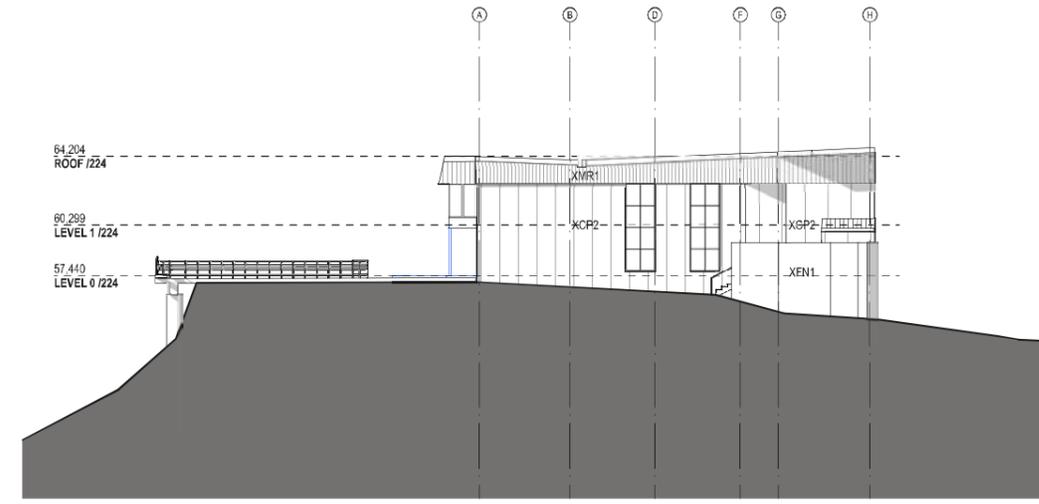
ARCHITECT  
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**DRAWING TITLE**  
 800 PITTWATER ROAD  
**LEVEL 5 PLAN - STAGE 3\_800**  
 SCALES AT A1

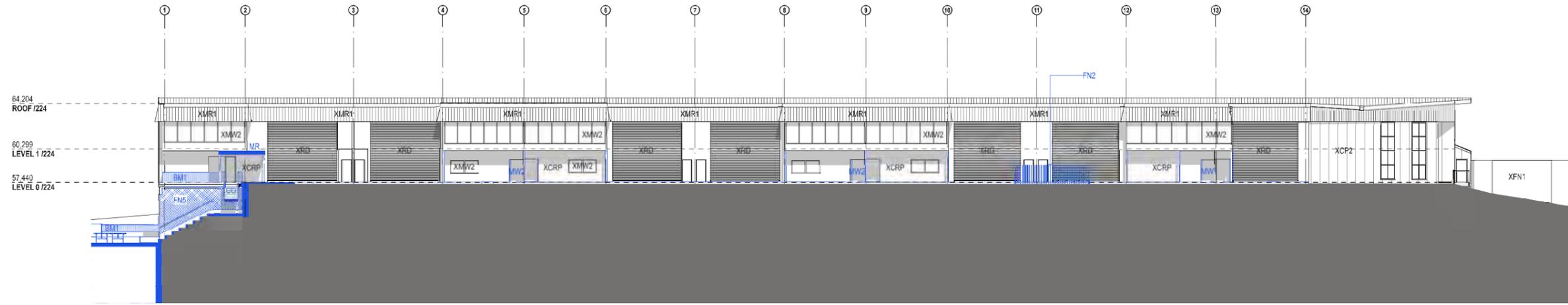
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 PT  
 DATE  
 October 2019  
 REV  
 A  
 PHASE  
 SSDA  
 DRAWING NO  
**A-121**



1 NORTH ELEVATION  
1:200



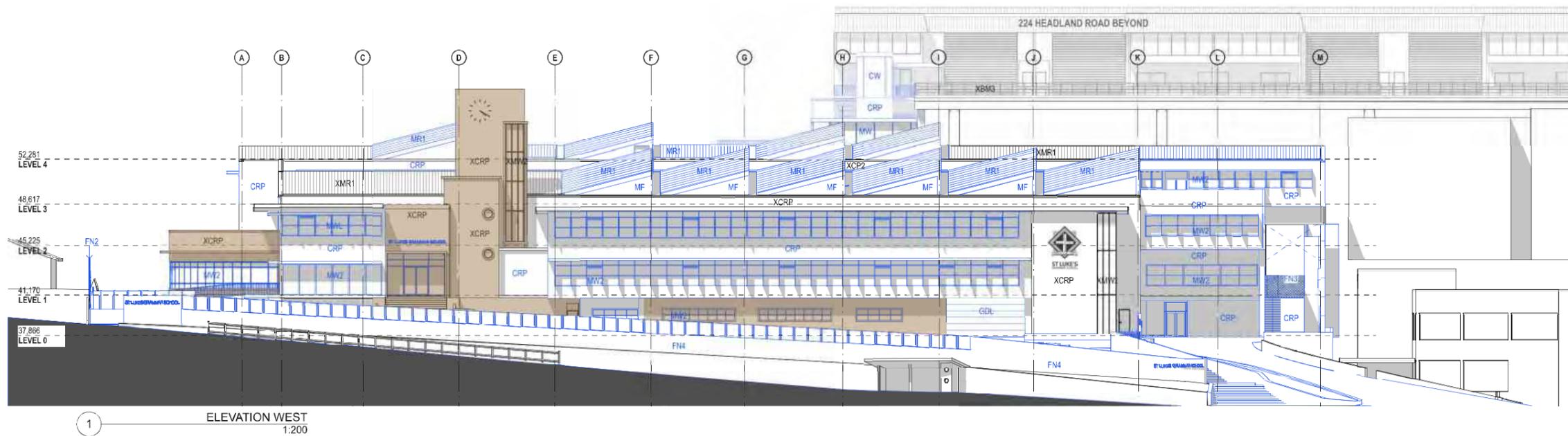
2 SOUTH ELEVATION  
1:200



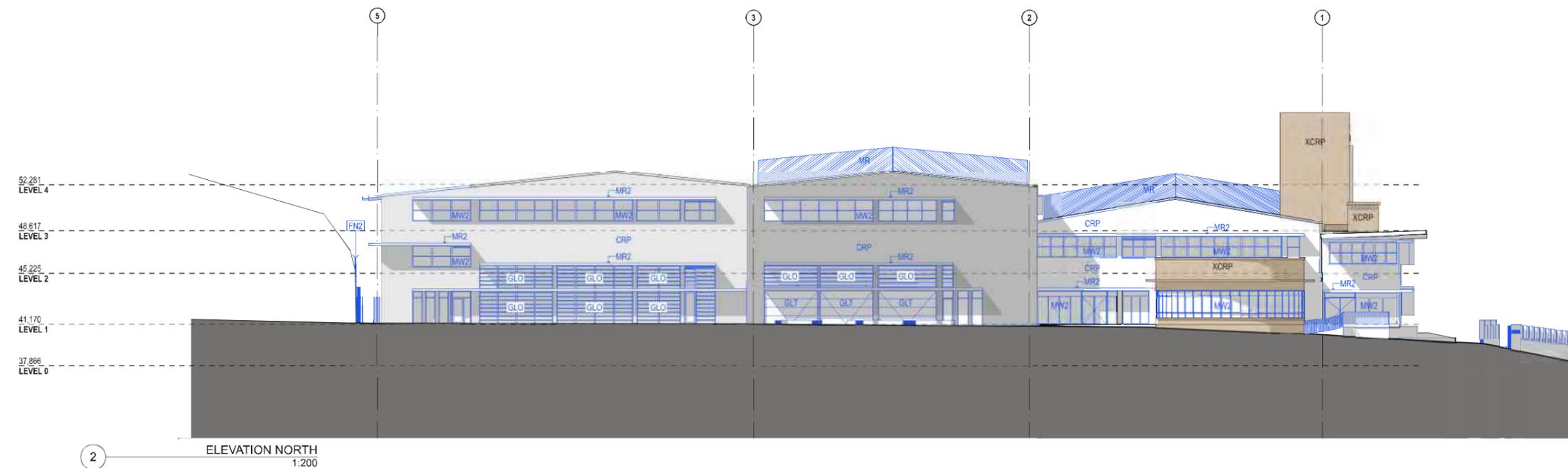
3 WEST ELEVATION  
1:200

LEGEND	
<span style="display:inline-block; width:10px; height:10px; background-color:black;"></span>	Existing to be retained
<span style="display:inline-block; width:10px; height:10px; background-color:red;"></span>	Existing to be demolished
<span style="display:inline-block; width:10px; height:10px; background-color:blue;"></span>	Proposed
<span style="display:inline-block; width:10px; height:10px; background-color:grey;"></span>	Existing, significant heritage item

DATE 29/OCT/2019	REV A	DESCRIPTION: ISSUE FOR SDA	NOTES: Do not scale off drawings. Use figured dimensions only. Report any discrepancies to the architect. These designs, plans, specifications and the copyright therein are the property of Tonkin Zulaikha Greer Architects Pty Ltd. and must not be reproduced or copied wholly or in part without written permission of Tonkin Zulaikha Greer Architects Pty Ltd.	APPLICANT: ST LUKE'S GRAMMAR SCHOOL Mrs Jane Hughes (Business Manager) 210 Headland Road Dee Why NSW 2099	PROJECT: ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS 800 Pittwater Road + 224 Headland Road Dee Why NSW 2099 North Curl Curl NSW 2099 PROJECT NO : 18032	ARCHITECT TONKIN ZULAIKHA GREER ARCHITECTS 117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tzg.com.au WEB: www.tzg.com.au	DRAWING TITLE 224 HEADLAND ROAD ELEVATIONS_224 SCALES AT A1 PHASE SSDA	DRAWING NO A-200	DRAWN BY RM + CE + EG CHECKED PT DATE October 2019 REV A
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1 ELEVATION WEST  
1:200



2 ELEVATION NORTH  
1:200

LEGEND	
<span style="display:inline-block; width:10px; height:10px; background-color:black;"></span>	Existing to be retained
<span style="display:inline-block; width:10px; height:10px; background-color:red;"></span>	Existing to be demolished
<span style="display:inline-block; width:10px; height:10px; background-color:blue;"></span>	Proposed
<span style="display:inline-block; width:10px; height:10px; background-color:grey;"></span>	Existing, significant heritage item

DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SDA

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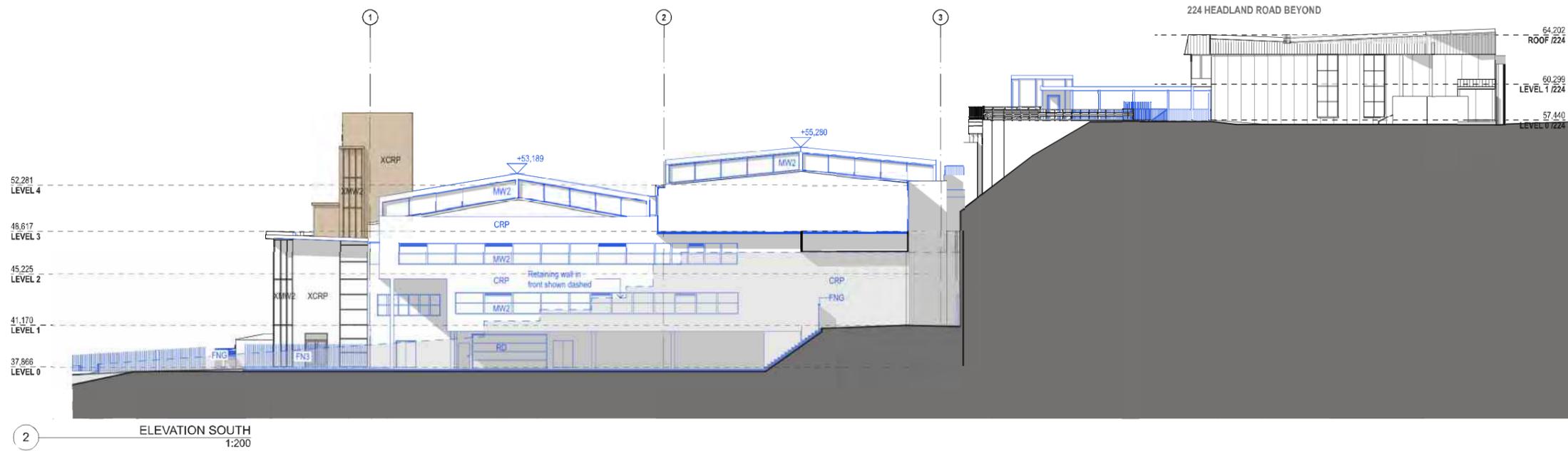
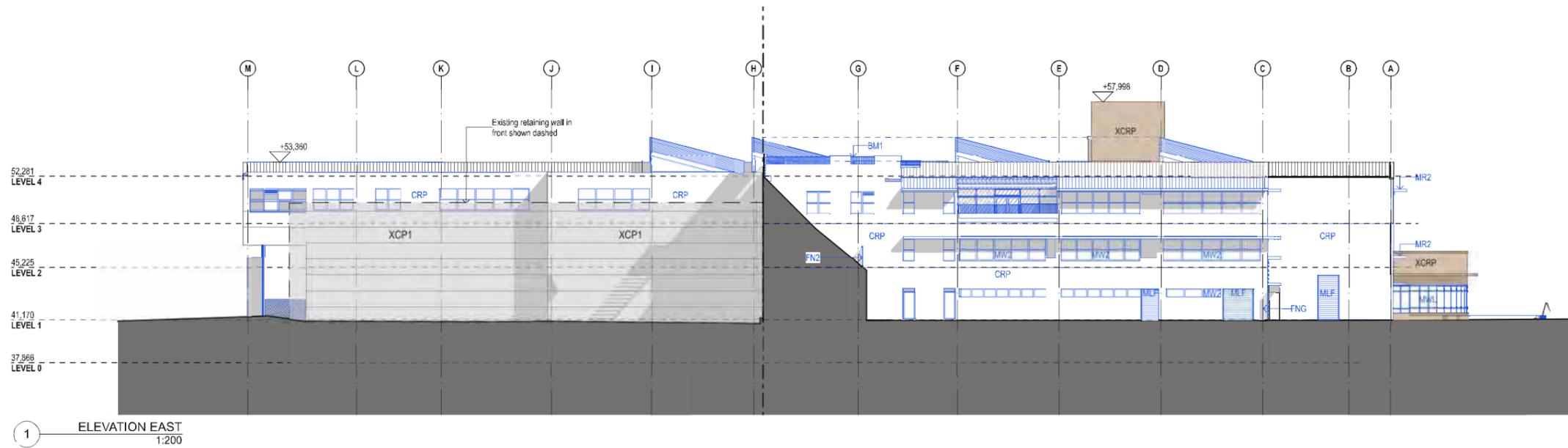
**PROJECT :**  
**ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS**  
800 Pittwater Road + 224 Headland Road  
Dee Why NSW 2099 North Curl Curl NSW 2099  
PROJECT NO : 18032

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**DRAWING TITLE**  
800 PITTWATER ROAD  
**ELEVATIONS WEST + NORTH\_800**  
**SCALES AT A1**  
PHASE SDA

**DRAWN BY**  
RM + CE + EG  
**CHECKED**  
PT  
**DATE**  
October 2019  
**REV**  
A

**SCALE** 1:200  
**DRAWING NO** A-210



LEGEND	
<span style="display:inline-block; width:10px; height:10px; background-color:black;"></span>	Existing to be retained
<span style="display:inline-block; width:10px; height:10px; background-color:red;"></span>	Existing to be demolished
<span style="display:inline-block; width:10px; height:10px; background-color:blue;"></span>	Proposed
<span style="display:inline-block; width:10px; height:10px; background-color:grey;"></span>	Existing, significant heritage item

DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SDA

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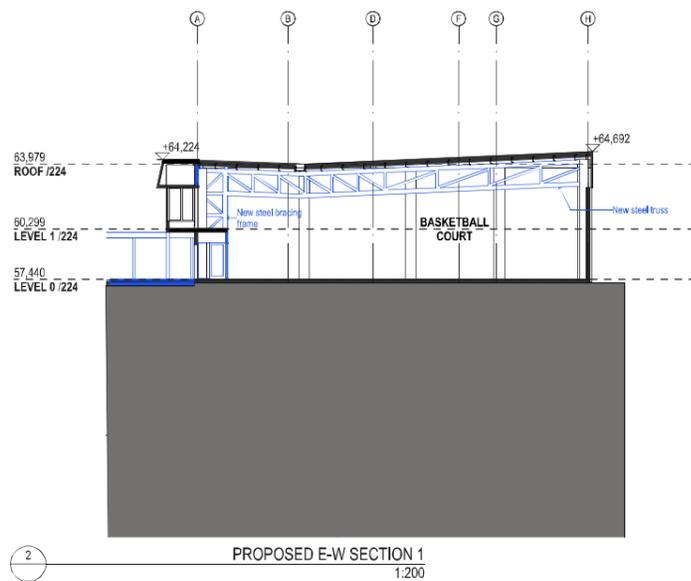
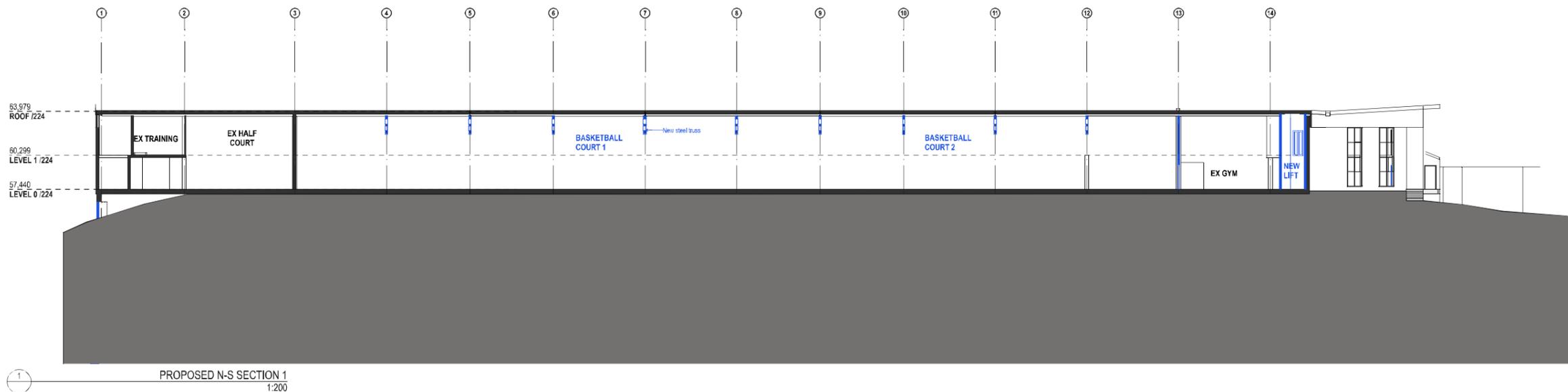
PROJECT:  
**ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS**  
800 Pittwater Road, 224 Headland Road, Dee Why NSW 2099, North Curl Curl NSW 2099  
PROJECT NO: 18032

ARCHITECT  
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EMAIL: info@tզg.com.au  
WEB: www.tզg.com.au

DRAWING TITLE  
800 PITTWATER ROAD  
**ELEVATIONS EAST + SOUTH\_800**  
SCALES AT A1  
PHASE  
SSDA

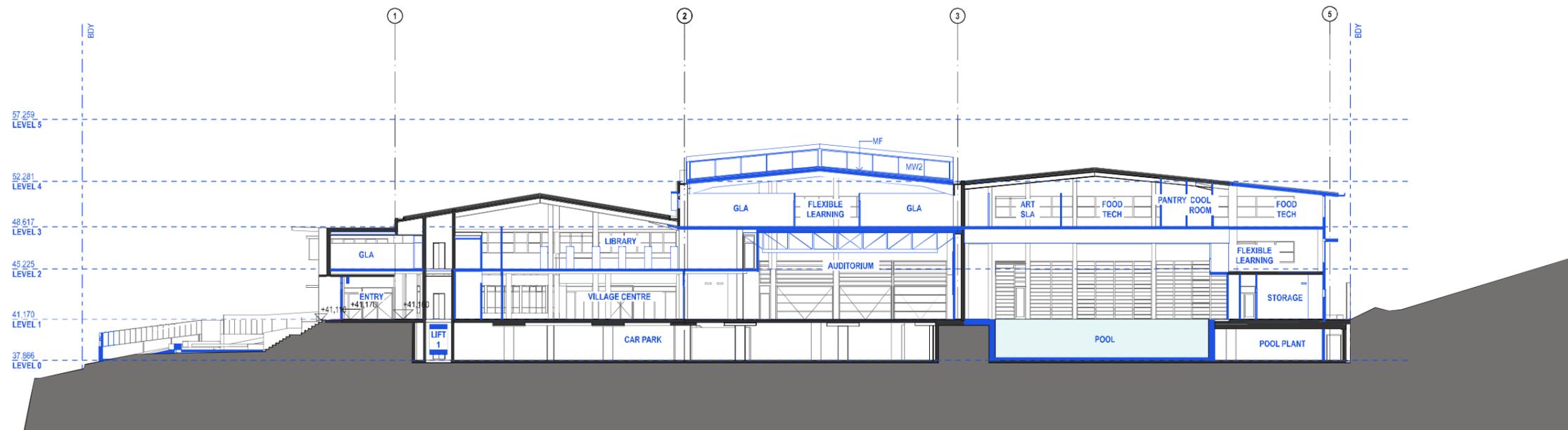
DRAWING NO  
**A-211**

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DATE  
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**A**

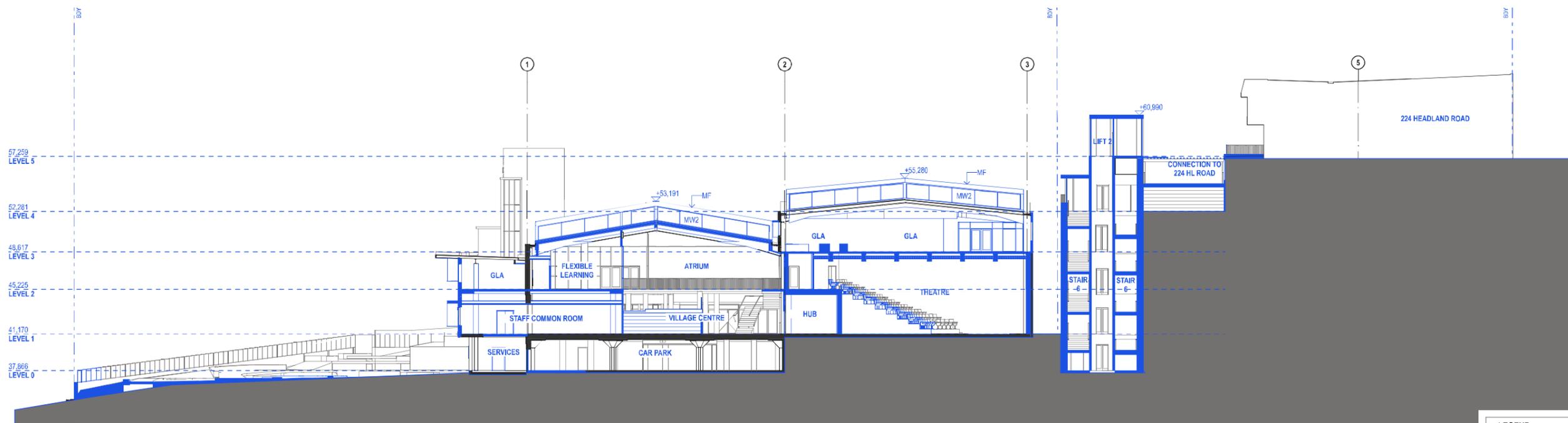


LEGEND	
<span style="display:inline-block; width:10px; height:10px; background-color:black;"></span>	Existing to be retained
<span style="display:inline-block; width:10px; height:10px; background-color:red;"></span>	Existing to be demolished
<span style="display:inline-block; width:10px; height:10px; background-color:blue;"></span>	Proposed

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							DRAWING NO A-300	



PROPOSED E-W SECTION 1  
1:200



PROPOSED E-W SECTION 2  
1:200

LEGEND	
<span style="display:inline-block; width:10px; height:10px; background-color:black;"></span>	Existing to be retained
<span style="display:inline-block; width:10px; height:10px; background-color:red;"></span>	Existing to be demolished
<span style="display:inline-block; width:10px; height:10px; background-color:blue;"></span>	Proposed

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PROJECT:  
**ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS**  
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PROJECT NO: 18032

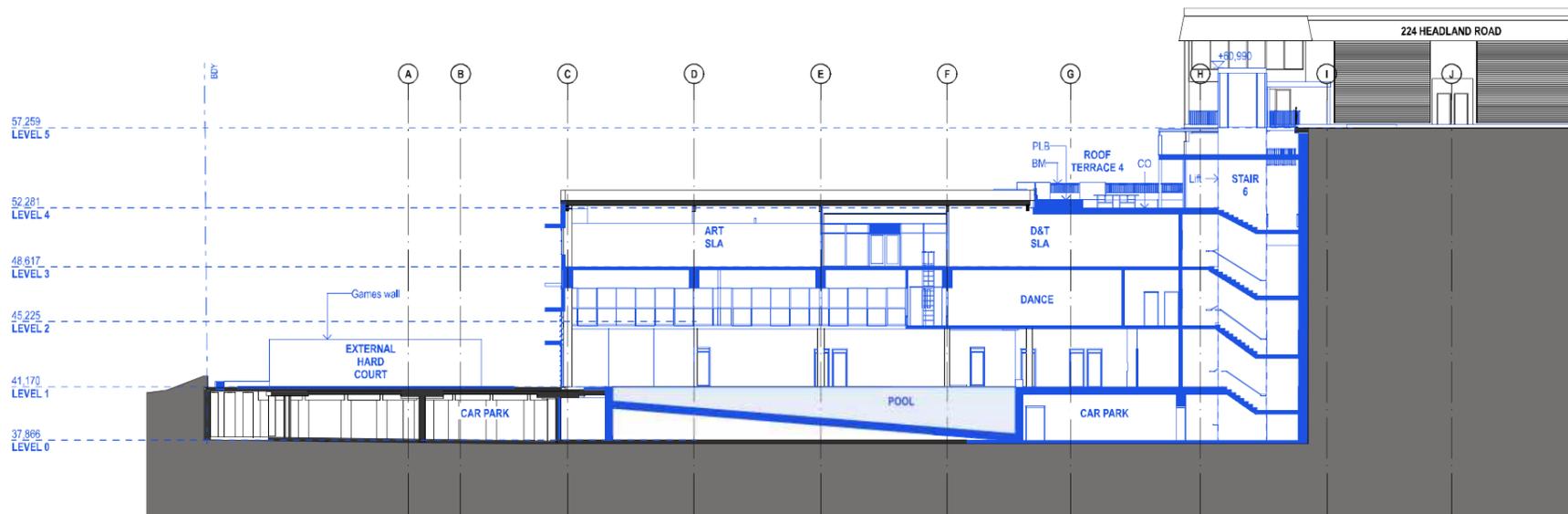
ARCHITECT  
**TONKIN ZULAIKHA GREER ARCHITECTS**  
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DRAWING TITLE  
800 PITTWATER ROAD  
**SECTIONS 1\_800**  
SCALES AT A1  
PHASE  
SSDA

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PT  
DATE  
October 2019  
REV  
A  
1:200  
DRAWING NO  
**A-310**



1 PROPOSED E-W SECTION 3  
1:200



2 PROPOSED N-S SECTION 3  
1:200

LEGEND	
<span style="display:inline-block; width:10px; height:10px; background-color:black;"></span>	Existing to be retained
<span style="display:inline-block; width:10px; height:10px; background-color:red;"></span>	Existing to be demolished
<span style="display:inline-block; width:10px; height:10px; background-color:blue;"></span>	Proposed

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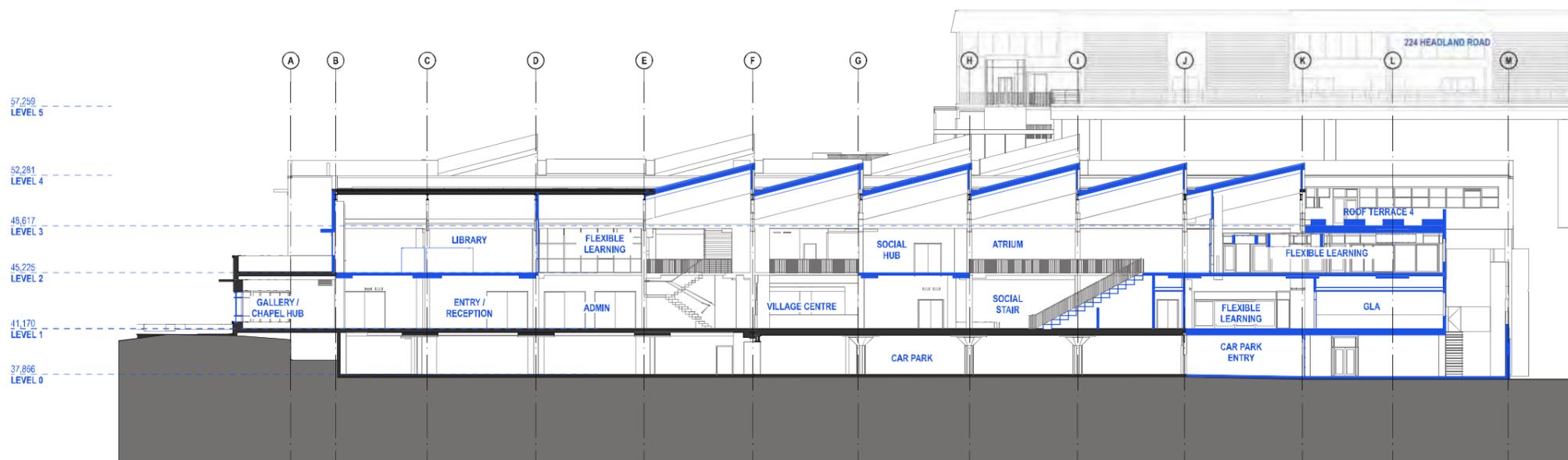
PROJECT:  
**ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS**  
800 Pittwater Road, Dee Why NSW 2099  
PROJECT NO: 18032

ARCHITECT  
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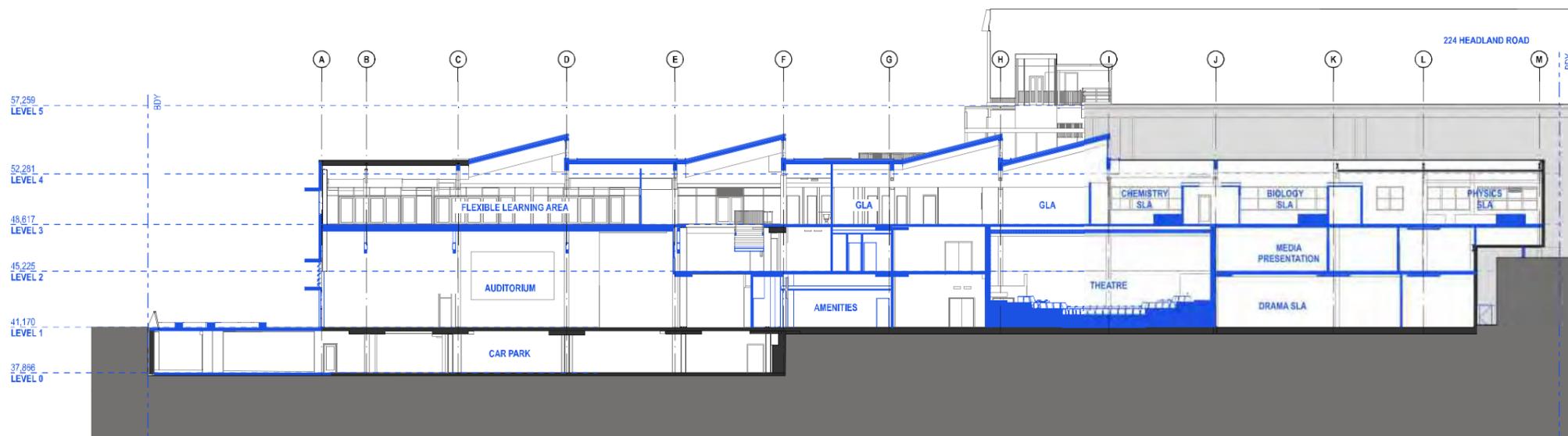
DRAWING TITLE  
800 PITTWATER ROAD  
**SECTIONS 2\_800**  
SCALES AT A1  
PHASE  
SSDA

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PT  
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REV  
A

DRAWING NO  
**A-311**



1 PROPOSED N-S SECTION 1  
1:200



2 PROPOSED N-S SECTION 2  
1:200

LEGEND	
<span style="display:inline-block; width:10px; height:10px; background-color:black;"></span>	Existing to be retained
<span style="display:inline-block; width:10px; height:10px; background-color:red;"></span>	Existing to be demolished
<span style="display:inline-block; width:10px; height:10px; background-color:blue;"></span>	Proposed

DATE	REV	DESCRIPTION
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PROJECT:  
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PROJECT NO: 18032

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DRAWING TITLE  
800 PITTWATER ROAD  
**SECTIONS 3\_800**  
SCALES AT A1  
PHASE  
SSDA

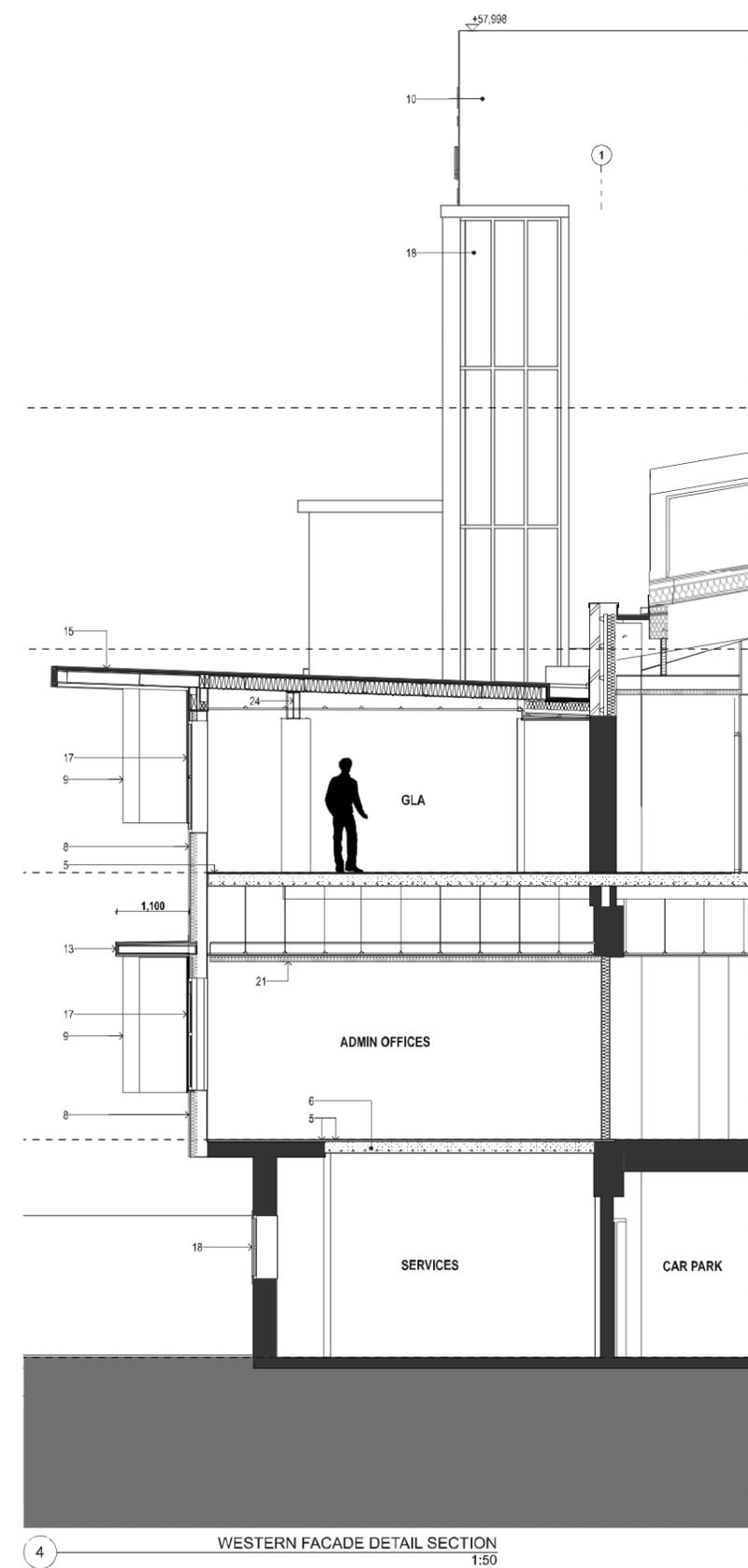
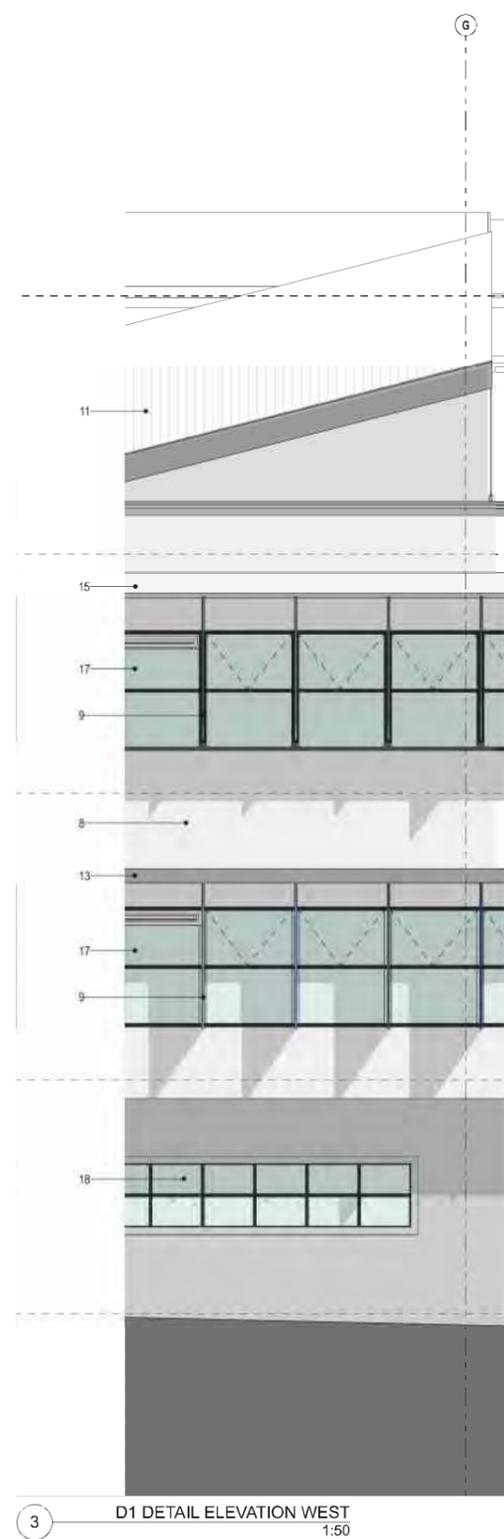
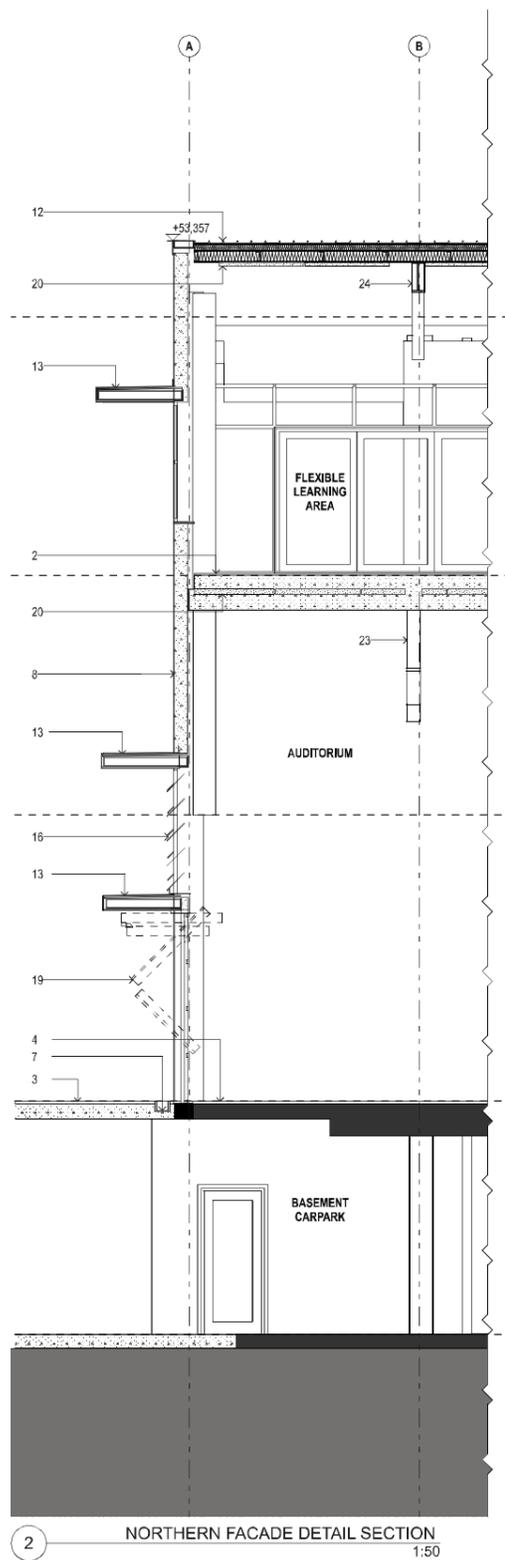
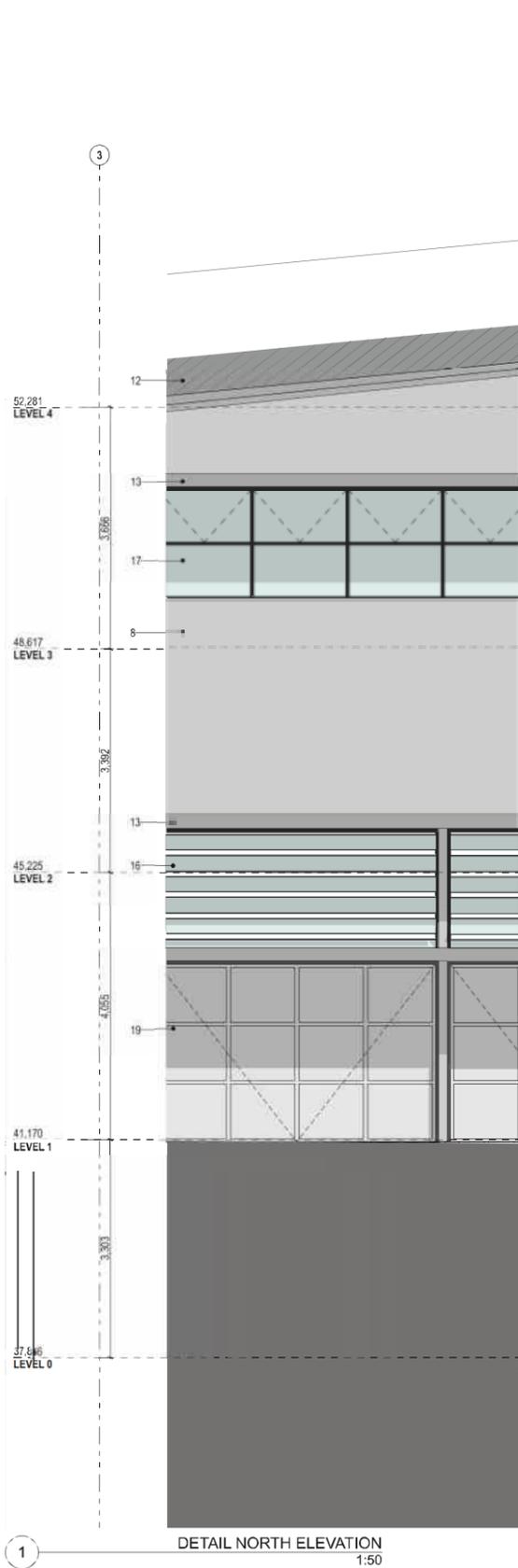
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PT  
DATE  
October 2019  
REV  
A

1:200

REV

A-312

A



- LEGEND**
- 1 New slab
  - 2 Resilient floor with acoustic underlay on new slab
  - 3 External paving on new slab
  - 4 Sprung floor on existing slab
  - 5 Carpet tile on slab
  - 6 Infill slab
  - 7 Threshold flush sump drain
  - 8 Reinforced panel facade system with cement render finish fixed to new lightweight framing
  - 9 Pre-finished compressed fibre cement panel fixed to new lightweight framing
  - 10 Existing masonry wall with cement render, paint finish
  - 11 Klip-lock metal roof sheeting
  - 12 Klip-lock metal roof sheeting on new layer of purlins to accommodate new valley gutters at roof skylight pop out structures
  - 13 Framed lightweight awning with metal cladding
  - 14 Existing parapet
  - 15 Existing metal roof
  - 16 Aluminium framed double glazed operable louvers
  - 17 Double glazed Aluminium framed windows
  - 18 Double glazed Aluminium framed windows to existing heritage window opening
  - 19 Aluminium framed double glazed tilt up doors
  - 20 Acoustic panel lining to underside of roof
  - 21 Suspended insulated acoustic plasterboard ceiling, paint finish
  - 22 Existing steel column with new concrete encasing
  - 23 Long span truss
  - 24 Existing steel beam with fire rated cladding
  - 25 Vertical shading fin

DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SDA

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 ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS  
 800 Pittwater Road, Dee Why NSW 2099  
 PROJECT NO : 18032

**ARCHITECT**  
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**DRAWING TITLE**  
 800 PITTWATER ROAD  
 TYPICAL WALL SECTIONS\_800

**SCALES AT A1**  
 1:50

**PHASE**  
 SDA

**DRAWING NO**  
 A-313

DRAWN BY	CHECKED	DATE	REV
RM + CE + EG	PT	October 2019	A

GFA AREA SCHEDULE - 224HL LEVEL 0			
Home Story Name	Zone Name	Measured Area	Net Volume
LEVEL 0 / 224			
	A1	119.00	321.31
	A2	2,002.62	12,015.72
	A3	139.32	376.17
	A4	24.01	64.83
	A5	23.93	64.60
		<b>2,308.88 m<sup>2</sup></b>	<b>12,842.63 m<sup>3</sup></b>

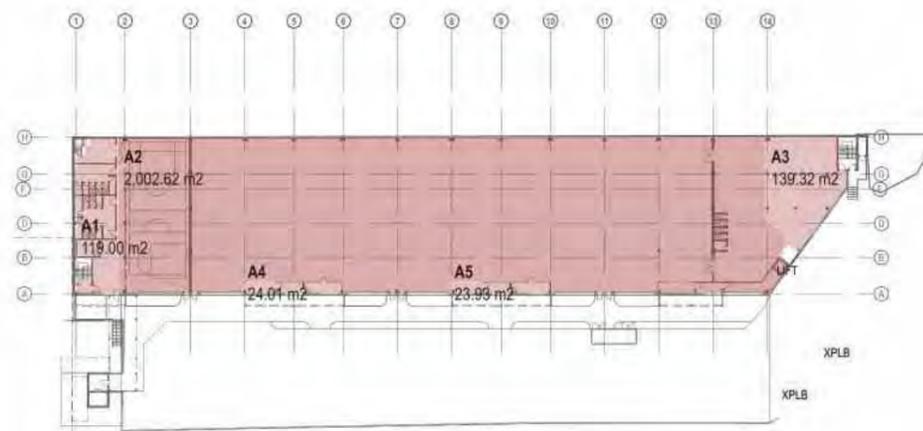
1 GFA AREA SCHEDULE - 224 HEADLAND ROAD LEVEL 0

GFA AREA SCHEDULE - 224HL LEVEL 1			
Home Story Name	Zone Name	Measured Area	Net Volume
LEVEL 1 / 224			
	A6	140.70	379.58
	A7	139.82	377.51
		<b>280.52 m<sup>2</sup></b>	<b>757.39 m<sup>3</sup></b>

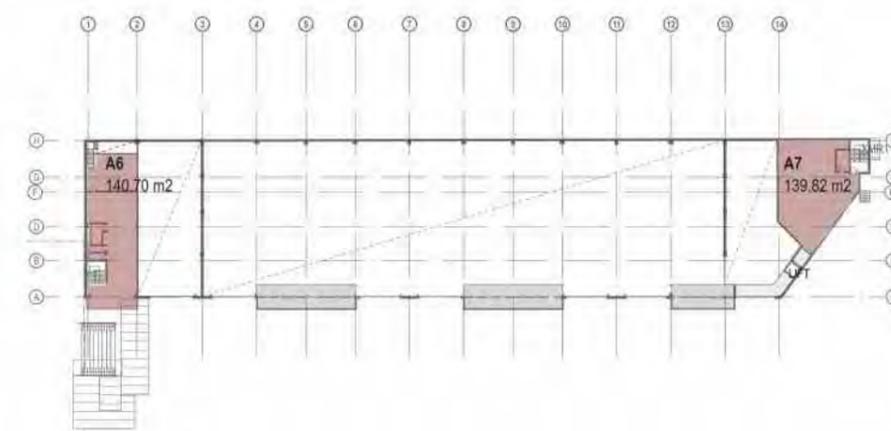
2 GFA AREA SCHEDULE - 224 HEADLAND ROAD LEVEL 1

**FSR CALCULATION**  
224 HEADLAND ROAD

Site Area 5,234.88m<sup>2</sup>  
Total GFA 2,589.40m<sup>2</sup>  
FSR 1 : 0.49

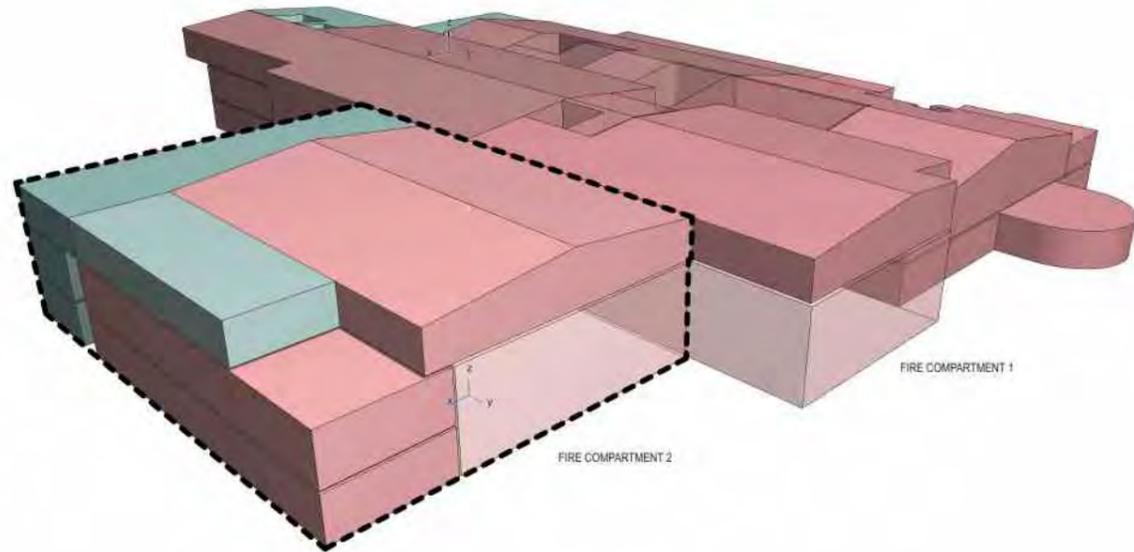


3 LEVEL 0 - GFA AREAS  
1:500



4 LEVEL 1 - GFA AREAS  
1:500

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							DRAWING NO A-400	



2 3D VIEW 1

800 PITTWATER ROAD - PROPOSED GFA AREA SCHEDULE			
Home Story Name	Zone Name	Measured Area	Net Volume
<b>LEVEL 1</b>			
	B01 /1	262.38	878.99
	B02 /1	266.46	892.64
	FF /1	1,027.22	3,441.21
	FF /2	404.50	2,933.68
	FF /3	177.63	1,799.56
	OW /1	95.31	965.61
	OW /2	1,541.50	5,163.99
	OW /3	107.31	1,087.18
	OW /4	282.89	2,051.75
	IMED /1	475.27	3,446.95
	IMED /2	336.41	1,126.98
		<b>4,976.86 m²</b>	<b>23,786.54 m³</b>
<b>LEVEL 2</b>			
	B01 /1	395.06	1,462.79
	B02 /1	318.59	1,179.65
	FF /1	77.52	287.02
	FF /2	483.62	3,385.36
	FF /3	191.01	707.26
	FF /4	367.35	1,360.17
	FF /5	66.06	660.60
	FF /6	52.07	192.80
	OW /1	581.19	4,068.31
	OW /2	657.08	2,432.97
	IMED /1	262.04	970.24
		<b>3,451.60 m²</b>	<b>16,707.17 m³</b>
<b>LEVEL 3</b>			
	B01 /1	274.40	802.23
	B02 /1	149.16	517.68
	B03 /1	103.37	302.21
	FF /1	672.69	2,378.49
	OW /1	995.79	3,563.59
	IMED /1	653.81	3,922.88
		<b>2,849.22 m²</b>	<b>11,487.08 m³</b>
		<b>11,277.70 m²</b>	<b>51,982.79 m³</b>

GFA AREA SCHEDULE 800PW - COMPARTMENT 1			
Home Story Name	Zone Name	Measured Area	Net Volume
<b>LEVEL 1</b>			
	B02 /1	266.46	892.64
	FF /1	1,027.22	3,441.21
	FF /2	404.50	2,933.68
	FF /3	177.63	1,799.56
	OW /1	95.31	965.61
	OW /2	1,541.50	5,163.99
	OW /3	107.31	1,087.18
	OW /4	282.89	2,051.75
		<b>3,902.82 m²</b>	<b>18,335.62 m³</b>
<b>LEVEL 2</b>			
	B02 /1	318.59	1,179.65
	FF /1	77.52	287.02
	FF /2	483.62	3,385.36
	FF /3	191.01	707.26
	FF /4	367.35	1,360.17
	FF /5	66.06	660.60
	FF /6	52.07	192.80
	OW /1	581.19	4,068.31
	OW /2	657.08	2,432.97
		<b>2,794.50 m²</b>	<b>14,274.14 m³</b>
<b>LEVEL 3</b>			
	B02 /1	149.16	517.68
	FF /1	672.69	2,378.49
	OW /1	995.79	3,563.59
		<b>1,817.64 m²</b>	<b>6,459.76 m³</b>
		<b>8,514.96 m²</b>	<b>39,069.52 m³</b>

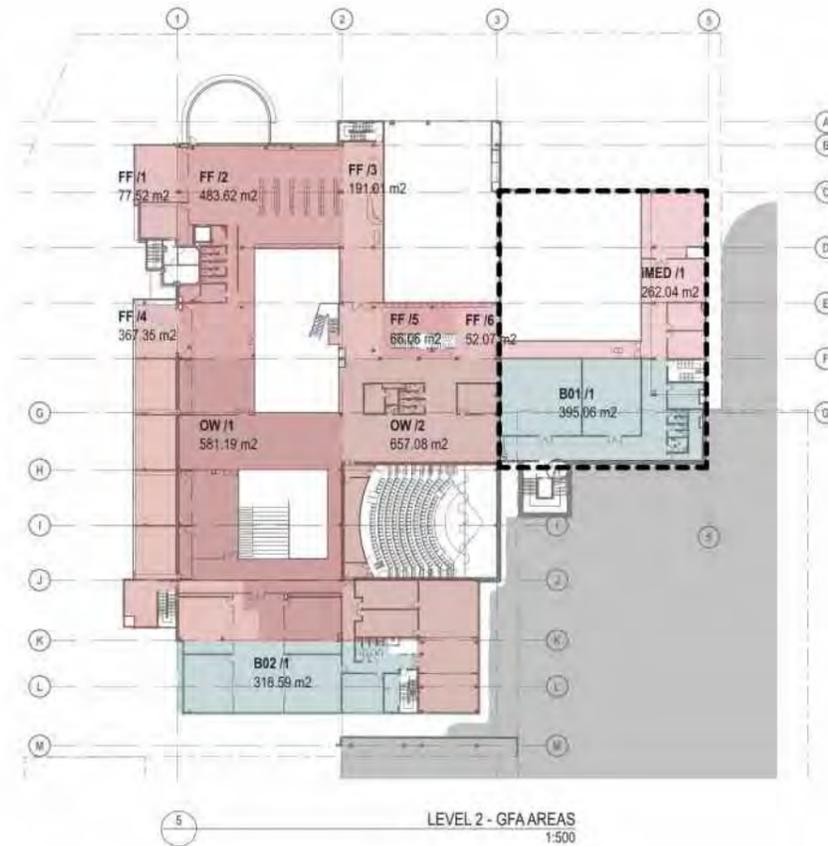
14 GFA AREA SCHEDULE 800PW - COMPARTMENT 1

GFA AREA SCHEDULE 800PW - COMPARTMENT 2			
Home Story Name	Zone Name	Measured Area	Net Volume
<b>LEVEL 1</b>			
	B01 /1	262.38	878.99
	IMED /1	475.27	3,446.95
	IMED /2	336.41	1,126.98
		<b>1,074.06 m²</b>	<b>5,452.92 m³</b>
<b>LEVEL 2</b>			
	B01 /1	395.06	1,462.79
	IMED /1	262.04	970.24
		<b>657.10 m²</b>	<b>2,433.03 m³</b>
<b>LEVEL 3</b>			
	B01 /1	274.40	802.23
	B03 /1	103.37	302.21
	IMED /1	653.81	3,922.88
		<b>1,031.58 m²</b>	<b>5,027.32 m³</b>
		<b>2,762.74 m²</b>	<b>12,913.27 m³</b>

15 GFA AREA SCHEDULE 800PW - COMPARTMENT 2

FSR CALCULATION	
800 PITTWATER ROAD	
Site Area	10,239.83m2
Total GFA	11,277.70m2
FSR	1 : 1.1

3 GFA AREA SCHEDULE 800PW - TOTAL

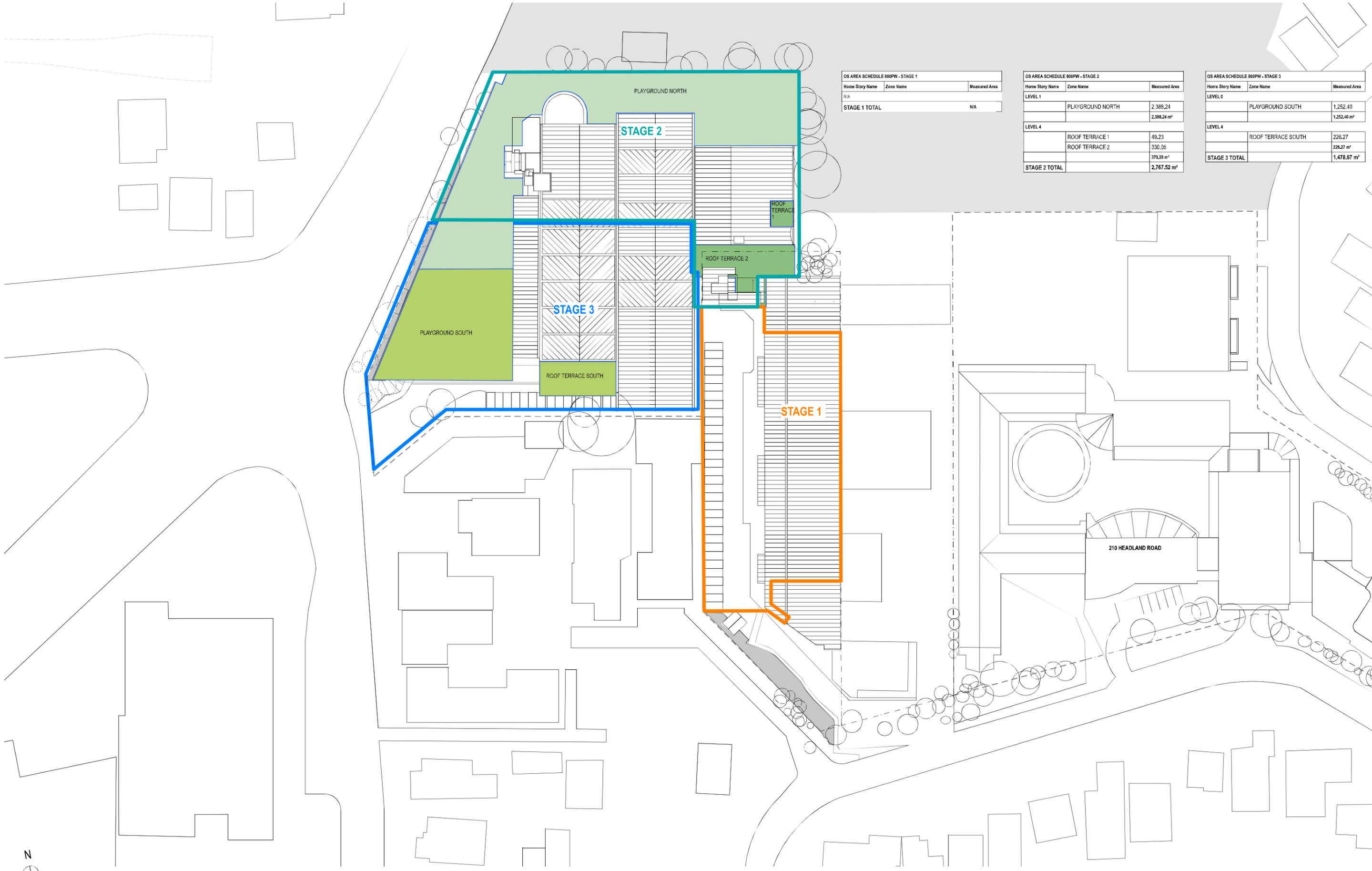


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PROJECT:	ARCHITECT	DRAWING TITLE	DRAWN BY
ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS	TONKIN ZULAIKHA GREER ARCHITECTS 117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tզg.com.au WEB: www.tզg.com.au	800 PITTWATER ROAD GFA +FSR CALCULATION_800	RM + CE + EG
800 Pittwater Road Dee Why NSW 2099 PROJECT NO : 18032	224 Headland Road North Curl Curl NSW 2099	SCALES AT A1	CHECKED
		1:500	PT
		PHASE	DATE
		SSDA	October 2019
		DRAWING NO	REV
		A-401	A

DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SSDA



OS AREA SCHEDULE 800PW - STAGE 1		
Home Story Name	Zone Name	Measured Area
N/A		
<b>STAGE 1 TOTAL</b>		<b>N/A</b>

OS AREA SCHEDULE 800PW - STAGE 2		
Home Story Name	Zone Name	Measured Area
LEVEL 1	PLAYGROUND NORTH	2,388.24
		2,388.24 m <sup>2</sup>
LEVEL 4	ROOF TERRACE 1	49.23
	ROOF TERRACE 2	330.05
		379.28 m <sup>2</sup>
<b>STAGE 2 TOTAL</b>		<b>2,767.52 m<sup>2</sup></b>

OS AREA SCHEDULE 800PW - STAGE 3		
Home Story Name	Zone Name	Measured Area
LEVEL 0	PLAYGROUND SOUTH	1,252.40
		1,252.40 m <sup>2</sup>
LEVEL 4	ROOF TERRACE SOUTH	226.27
		226.27 m <sup>2</sup>
<b>STAGE 3 TOTAL</b>		<b>1,478.67 m<sup>2</sup></b>



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ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS		TONKIN ZULAIKHA GREER ARCHITECTS 117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tzg.com.au WEB: www.tzg.com.au		GENERAL OPEN SPACE CALCULATION		RM + CE + EG	
800 Pittwater Road + 224 Headland Road Dee Why NSW 2099 North Curl Curl NSW 2099		PROJECT NO: 18032		TONKIN ZULAIKHA GREER ARCHITECTS		CHECKED	
				PT		DATE	
				1:500		October 2019	
				REV		A	
				A-402			

PHASE	DRAWING NO	REV	A
SSDA	A-402		

## 224 HEADLAND ROAD ACCOMODATION SCHEDULE

ACCOMODATION SCHEDULE - 224		
STORY	ZONE NAME	AREA
<b>LEVEL 0 /224</b>		
		4.95
	AIR LOCK	8.53
	AIR LOCK	8.81
	EX ACC SHWC	7.67
	EX FEMALE WC	35.78
	EX FOYER	22.64
	EX GYM	318.85
	EX HALF COURT	228.56
	EX MALE WC	25.24
	EX OFFICE STRG	20.34
	EX STAIR A	12.14
	EX WC	2.45
	MULTI PURPOSE HALL / BASKETBALL	1,401.56
	STORE	8.68
	STORE	8.82
<b>LEVEL 0 TOTAL</b>		<b>2,115.12 m<sup>2</sup></b>
<b>LEVEL 1 /224</b>		
		29.08
		46.08
		46.39
	EX FITNESS + TRAINING	93.30
	EX SCHOOL CLOTHING STORE	136.22
	EX STORAGE	36.35
	EX STORE	5.46
	EX WC	5.46
	EX WC	5.76
<b>LEVEL 1 TOTAL</b>		<b>484.11 m<sup>2</sup></b>
<b>TOTAL AREA</b>		<b>2,519.23 m<sup>2</sup></b>

DATE 29/OCT/2019	REV A	DESCRIPTION: ISSUE FOR SDA	NOTES: Do not scale off drawings. Use figured dimensions only. Report any discrepancies to the architect. These designs, plans, specifications and the copyright therein are the property of Tonkin Zulaikha Greer Architects Pty Ltd. and must not be reproduced or copied wholly or in part without written permission of Tonkin Zulaikha Greer Architects Pty Ltd.	APPLICANT: ST LUKE'S GRAMMAR SCHOOL Mrs Jane Hughes (Business Manager) 210 Headland Road Dee Why NSW 2099	PROJECT : ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS 800 Pittwater Road + 224 Headland Road Dee Why NSW 2099 North Curl Curl NSW 2099 PROJECT NO : 18032	ARCHITECT TONKIN ZULAIKHA GREER ARCHITECTS 117 Reservoir Street ABN: 46002722349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tzg.com.au WEB: www.tzg.com.au	DRAWING TITLE 224 HEADLAND ROAD ACCOMMODATION SCHEDULE 224 SCALES AT A1	DRAWN BY RM + CE + EG CHECKED PT DATE October 2019	
							PHASE SSDA	DRAWING NO A-403	REV A

# 800 PITTWATER ROAD

## STAGE 2 ACCOMMODATION SCHEDULE

ACCOMMODATION SCHEDULE - STAGE 2_800					
STORY	ZONE NAME	AREA	GLA	SLA	SEMINAR
<b>LEVEL 0, SERVICE</b>					
	BOILER ROOM	55.98	0	0	0
	CAR PARK SUPPLY	12.01	0	0	0
	CHEMICAL STORE	5.00	0	0	0
	COMMS ROOM	16.00	0	0	0
	ELECTRICAL SWITCHROOM	21.60	0	0	0
	FIRE SVCS PUMP ROOM	45.95	0	0	0
	POOL BALANCE TANK	38.72	0	0	0
	POOL FILTRATION ROOM	89.75	0	0	0
	POOL MECH PLANT ROOM	101.76	0	0	0
		<b>386.77 m²</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>LEVEL 0 TOTAL</b>					
<b>LEVEL 1, ADMIN + STAFF</b>					
	ASSISTANT HOC	11.80	0	0	0
	PUBLIC FOYER	91.59	0	0	0
	PUBLIC RECEPTION	27.66	0	0	0
	STUDENT RECEPTION	9.59	0	0	0
	TEMP ADMIN	120.22	0	0	0
	TEMP ADMIN OFFICE	106.21	0	0	0
	TEMP BOARDROOM	23.74	0	0	0
	TEMP COPY ROOM	12.17	0	0	0
	TEMP FIRST AID	10.21	0	0	0
	TEMP HEAD PF CAMPUS	14.81	0	0	0
	TEMP IT OFFICE	19.61	0	0	0
	TEMP PRINCIPAL	19.22	0	0	0
	TEMP STAFF COMMON ROOM	81.20	0	0	0
	TEMP STAFF KITCHEN	12.87	0	0	0
<b>LEVEL 1, AMENITIES STAFF</b>					
	ACC SH	6.10	0	0	0
	STAFF SH	4.25	0	0	0
	WC - ACC	5.42	0	0	0
	WC - F	2.31	0	0	0
	WC - M	2.31	0	0	0
<b>LEVEL 1, AMENITIES STUDENTS</b>					
	ACC CHANGE	12.32	0	0	0
	ACC W/C	6.24	0	0	0
	CHANGE F	38.18	0	0	0
	CHANGE M	36.45	0	0	0
	TEMP ACC	5.72	0	0	0
	TEMP WC - F	7.03	0	0	0
	TEMP WC - GN	3.30	0	0	0
	TEMP WC - M	7.02	0	0	0
	WC - F	4.69	0	0	0
	WC - M	4.50	0	0	0
<b>LEVEL 1, CAFE</b>					
	CAFE COUNTER	4.53	0	0	0
	TEMP CAFE KITCHEN	22.67	0	0	0
<b>LEVEL 1, HUMANITIES</b>					
	STAGE 2 TEMP GLA	62.30	1	0	0
	STAGE 2 TEMP GLA	68.94	1	0	0
	TEMP MULTI PURPOSE AREA	348.34	0	0	0
	TEMP SEMINAR	49.06	1	0	0
<b>LEVEL 1, SERVICE</b>					
	COMMS	4.00	0	0	0
	SPORT STORE	24.01	0	0	0
	STORE	15.48	0	0	0
	WASTE COMPOUND SCHOOL	16.66	0	0	0
<b>LEVEL 1, WELLNESS</b>					
	FIRST AID	4.02	0	0	0
	POOL	430.00	0	0	0
	POOL AREA	803.74	0	0	0
	POOL RECEPTION	7.77	0	0	0
	POOL STORE	34.22	0	0	0
	<b>LEVEL 1 TOTAL</b>	<b>2,604.48 m²</b>	<b>3</b>	<b>0</b>	<b>0</b>
<b>LEVEL 2, AMENITIES STAFF</b>					
	ACC WC	5.85	0	0	0
<b>LEVEL 2, AMENITIES STUDENTS</b>					

ACCOMMODATION SCHEDULE - STAGE 2_800					
STORY	ZONE NAME	AREA	GLA	SLA	SEMINAR
	ACC WC	5.85	0	0	0
	WC - F	5.88	0	0	0
	WC - F	7.03	0	0	0
	WC - GN	3.30	0	0	0
	WC - M	5.20	0	0	0
	WC - M	7.03	0	0	0
<b>LEVEL 2, COMMON SPACES</b>					
	LEARNING HUB	261.98	0	0	0
	LIBRARY HUB	501.49	0	0	0
<b>LEVEL 2, HUMANITIES</b>					
	FLEXIBLE LEARNING	38.82	0	0	0
	GLA 1	58.72	1	0	0
	SEMINAR ROOM	33.79	0	0	1
	STAGE 2 TEMP GLA	71.90	1	0	0
	STAGE 2 TEMP GLA	71.90	1	0	0
	STAGE 2 TEMP GLA	73.66	1	0	0
	STAGE 2 TEMP GLA	75.71	1	0	0
	TEMP GLA 2	60.95	1	0	0
<b>LEVEL 2, SERVICE</b>					
	COMMS	4.00	0	0	0
	COMMS	4.01	0	0	0
	STORAGE	9.10	0	0	0
	STRG	16.30	0	0	0
<b>LEVEL 2, WELLNESS</b>					
	FLEXIBLE LEARNING	83.17	0	0	0
	GLA 1	81.25	1	0	0
	SEMINAR	17.11	0	0	1
	SEMINAR	20.22	0	0	1
	SEMINAR	20.77	0	0	1
		<b>1,544.79 m²</b>	<b>7</b>	<b>0</b>	<b>4</b>
<b>LEVEL 3, AMENITIES STUDENTS</b>					
	WC - ACC	6.01	0	0	0
	WC - F	7.56	0	0	0
	WC - GN	3.63	0	0	0
	WC - M	7.56	0	0	0
<b>LEVEL 3, COMMON SPACES</b>					
	HUB 1	75.49	0	0	0
	HUB 2	43.47	0	0	0
<b>LEVEL 3, DESIGN + TECHNOLOGY</b>					
	COOL	7.29	0	0	0
	DUST EXTRACTOR	12.93	0	0	0
	FOOD PREP	16.04	0	0	0
	FOOD TECH SLA 1	129.97	0	1	0
	MATERIALS RACKS	8.60	0	0	0
	PANTRY	7.29	0	0	0
	TEMP D+T WORKSHOP 1	105.21	0	1	0
	WELDING	12.50	0	0	0
<b>LEVEL 3, GREEN AREA</b>					
	ROOF TERRACE 2	50.42	0	0	0
<b>LEVEL 3, SCIENCE + MATHS</b>					
	TEMP BIOLOGY / CHEMISTRY SLA	136.99	0	1	0
	TEMP CHEM STORE	13.00	0	0	0
	TEMP PHYSICS SLA	100.42	0	1	0
	TEMP SCIENCE PREP	12.82	0	0	0
	TEMP SCIENCE PREP	14.50	0	0	0
	TEMP SCIENCE PREP	16.04	0	0	0
<b>LEVEL 3, SERVICE</b>					
	CLEANER	4.46	0	0	0
	COMMS	4.00	0	0	0
	ELEC	0.75	0	0	0
	STORAGE	11.50	0	0	0
<b>LEVEL 3, VISUAL ARTS</b>					
	ART SLA	90.66	0	1	0
	ART STORE	8.92	0	0	0
	ART STORE	8.92	0	0	0

ACCOMMODATION SCHEDULE - STAGE 2_800					
STORY	ZONE NAME	AREA	GLA	SLA	SEMINAR
	FLEXIBLE LEARNING	121.05	0	0	0
	GLA 1	66.71	1	0	0
	GLA 2	60.01	1	0	0
	GLA 3	61.34	1	0	0
	GLA 4	58.35	1	0	0
	GLA 5	57.34	1	0	0
	GLA 6	62.28	1	0	0
	PROJECT STORE	3.17	0	0	0
	PROJECT STORE	3.17	0	0	0
	WET AREA	3.62	0	0	0
	WET AREA	3.62	0	0	0
	<b>LEVEL 3 TOTAL</b>	<b>1,416.43 m²</b>	<b>6</b>	<b>5</b>	<b>0</b>
<b>LEVEL 4, GREEN AREA</b>					
	ROOF TERRACE 4	307.97	0	0	0
	<b>LEVEL 4 TOTAL</b>	<b>307.97 m²</b>	<b>0</b>	<b>0</b>	<b>0</b>
	<b>STAGE 2 TOTAL</b>	<b>6,260.44 m²</b>	<b>16</b>	<b>5</b>	<b>4</b>

DATE	REV	DESCRIPTION:	NOTES:
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PROJECT :	ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS
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DRAWING TITLE	800 PITTWATER ROAD ACCOMMODATION SCHEDULE - STAGE 2_800 SCALES AT A1
DRAWN BY	RM + CE + EG
CHECKED	PT
DATE	October 2019
PHASE	SSDA
DRAWING NO	<b>A-404</b>
REV	<b>A</b>

PROJECT :	800 Pittwater Road Dee Why NSW 2099
ARCHITECT	TONKIN ZULAIKHA GREER ARCHITECTS 117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tզg.com.au WEB: www.tզg.com.au
DRAWING TITLE	800 PITTWATER ROAD ACCOMMODATION SCHEDULE - STAGE 2_800 SCALES AT A1
DRAWN BY	RM + CE + EG
CHECKED	PT
DATE	October 2019
PHASE	SSDA
DRAWING NO	<b>A-404</b>
REV	<b>A</b>

**800 PITTWATER ROAD**  
**STAGE 3 ACCOMODATION SCHEDULE**

ACCOMMODATION SCHEDULE - STAGE 3_800					
STORY	ZONE NAME	AREA	GLA	SLA	SEMINAR
<b>LEVEL 0, CAR PARK</b>					
	BIKE PARKING	36.58	0	0	0
<b>LEVEL 0, EXISTING</b>					
	EXISTING CAR PARK NORTH	2,585.81	0	0	0
	EXISTING CAR PARK SOUTH	680.02	0	0	0
<b>LEVEL 0, SERVICE</b>					
	BOILER ROOM	55.98	0	0	0
	CAR PARK SUPPLY	12.01	0	0	0
	CHEMICAL STORE	5.00	0	0	0
	COMMS ROOM	16.00	0	0	0
	ELECTRICAL SWITCHROOM	21.60	0	0	0
	FIRE SVCS PUMP ROOM	45.95	0	0	0
	GARBAGE ROOM	55.36	0	0	0
	GARDEN STORE	32.64	0	0	0
	GENERAL STORE	30.99	0	0	0
	MAINTENANCE STORE	74.35	0	0	0
	POOL BALANCE TANK	38.72	0	0	0
	POOL FILTRATION ROOM	89.75	0	0	0
	POOL MECH PLANT ROOM	101.76	0	0	0
	STORAGE	28.34	0	0	0
	TBD	36.08	0	0	0
	TBD	38.61	0	0	0
<b>LEVEL 0 TOTAL</b>		<b>3,985.55 m²</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>LEVEL 1, ADMIN + STAFF</b>					
	ADMIN OFFICE	13.62	0	0	0
	ADMIN OFFICE	179.01	0	0	0
	ASSISTANT HOC	15.00	0	0	0
	BOARDROOM	35.00	0	0	0
	COPY ROOM	15.89	0	0	0
	FIRST AID	11.97	0	0	0
	HEAD OF CAMPUS	15.00	0	0	0
	INTERVIEW 1	11.16	0	0	0
	IT OFFICE	17.00	0	0	0
	PRINCIPAL	15.00	0	0	0
	PUBLIC FOYER	91.59	0	0	0
	PUBLIC RECEPTION	27.66	0	0	0
	SERVER ROOM	6.10	0	0	0
	STAFF COMMON ROOM	79.58	0	0	0
	STAFF KITCHEN	3.20	0	0	0
	STAFF LOUNGE	30.23	0	0	0
	STUDENT FOYER	47.12	0	0	0
	STUDENT OFFICE	9.51	0	0	0
	STUDENT RECEPTION	15.00	0	0	0
	T.B.C	66.19	0	0	0
<b>LEVEL 1, AMENITIES STAFF</b>					
	ACC SH	6.10	0	0	0
	ACC WC	5.73	0	0	0
	STAFF SH	4.25	0	0	0
	STAFF WC - F	3.43	0	0	0
	STAFF WC - M	3.44	0	0	0
	WC - ACC	5.42	0	0	0
	WC - ACC	6.34	0	0	0
	WC - F	7.03	0	0	0
	WC - GN	3.30	0	0	0
	WC - M	7.02	0	0	0
<b>LEVEL 1, AMENITIES STUDENTS</b>					
	ACC CHANGE	12.32	0	0	0
	ACC WC	6.24	0	0	0
	CHANGE F	38.18	0	0	0
	CHANGE M	36.45	0	0	0
	WC - ACC	5.30	0	0	0
	WC - F	4.69	0	0	0
	WC - F	6.83	0	0	0
	WC - F	7.65	0	0	0
	WC - F	27.95	0	0	0
	WC - GN	3.43	0	0	0
	WC - GN	3.71	0	0	0
	WC - M	4.50	0	0	0
	WC - M	6.82	0	0	0

ACCOMMODATION SCHEDULE - STAGE 3_800					
STORY	ZONE NAME	AREA	GLA	SLA	SEMINAR
	WC - M	24.07	0	0	0
<b>LEVEL 1, AUDITORIUM</b>					
	AUDITORIUM	651.20	0	0	0
	BACKSTAGE	16.72	0	0	0
<b>LEVEL 1, CAFE</b>					
	CAFE COLD	7.07	0	0	0
	CAFE COUNTER	19.28	0	0	0
	CAFE KITCHEN	58.63	0	0	0
	CAFE OFFICE	17.55	0	0	0
	CAFE STORE	7.06	0	0	0
<b>LEVEL 1, COMMON SPACES</b>					
	GALLERY / CHAPEL HUB	81.21	0	0	0
	HUB 2	32.10	0	0	0
<b>LEVEL 1, PERFORMING ARTS</b>					
	CHANGE MIF	22.43	0	0	0
	DRAMA SLA	111.15	0	1	0
	FLEXIBLE LEARNING	147.83	0	0	0
	GLA 1	70.06	1	0	0
	GLA 2	69.80	1	0	0
	MUSIC SLA	86.45	0	1	0
	STORE	21.03	0	0	0
	THEATRE	262.84	0	0	0
	TUTOR ROOM 1	15.41	0	0	1
	TUTOR ROOM 2	15.62	0	0	1
	TUTOR ROOM 3	38.47	0	0	1
<b>LEVEL 1, SERVICE</b>					
	CHAIR STORE	18.07	0	0	0
	COMMS	4.00	0	0	0
	COMMS	4.00	0	0	0
	COMMS	5.10	0	0	0
	SECURE STORE	28.08	0	0	0
	SPORT STORE	24.01	0	0	0
	STORAGE	4.62	0	0	0
	STORAGE	6.10	0	0	0
	STORAGE	13.41	0	0	0
	STORAGE	21.78	0	0	0
	STORE	15.48	0	0	0
<b>LEVEL 1, WELLNESS</b>					
	FIRST AID	4.02	0	0	0
	POOL	430.00	0	0	0
	POOL AREA	803.74	0	0	0
	POOL RECEPTION	7.77	0	0	0
	POOL STORE	34.22	0	0	0
<b>LEVEL 1 TOTAL</b>		<b>4,122.34 m²</b>	<b>2</b>	<b>2</b>	<b>3</b>
<b>LEVEL 2, AMENITIES STAFF</b>					
	ACC WC	5.85	0	0	0
	WC STAFF MIF	2.17	0	0	0
<b>LEVEL 2, AMENITIES STUDENTS</b>					
	ACC WC	5.85	0	0	0
	WC - F	5.88	0	0	0
	WC - F	6.31	0	0	0
	WC - F	7.03	0	0	0
	WC - F	7.31	0	0	0
	WC - GN	3.30	0	0	0
	WC - M	5.20	0	0	0
	WC - M	6.07	0	0	0
	WC - M	6.30	0	0	0
	WC - M	7.03	0	0	0
<b>LEVEL 2, COMMON SPACES</b>					
	HUB 1	53.85	0	0	0
	HUB 2	41.40	0	0	0
	HUB 3	41.74	0	0	0
	LEARNING HUB	94.56	0	0	0
	LIBRARY HUB	501.49	0	0	0
<b>LEVEL 2, HUMANITIES</b>					
	FLEXIBLE LEARNING	38.62	0	0	0
	FLEXIBLE LEARNING	81.36	0	0	0
	FLEXIBLE LEARNING	115.33	0	0	0
	FLEXIBLE LEARNING	119.79	0	0	0

ACCOMMODATION SCHEDULE - STAGE 3_800					
STORY	ZONE NAME	AREA	GLA	SLA	SEMINAR
	GLA 1	58.72	1	0	0
	GLA 2	62.13	1	0	0
	GLA 3	62.48	1	0	0
	GLA 4	61.85	1	0	0
	GLA 5	59.69	1	0	0
	GLA 6	60.85	1	0	0
	GLA 7	63.41	1	0	0
	GLA 8	66.43	1	0	0
	GLA 9	64.51	1	0	0
	SEMINAR ROOM	33.79	0	0	1
	STUDENT LOUNGE	30.23	0	0	0
<b>LEVEL 2, MEDIA CENTRE</b>					
	EDITING	45.87	0	0	0
	GREEN SCREEN	32.83	0	0	0
	MEDIA PRESENTATION	110.62	0	0	0
	RECORDING	34.46	0	0	0
<b>LEVEL 2, PERFORMING ARTS</b>					
	THEATRE	87.41	0	0	0
<b>LEVEL 2, SERVICE</b>					
	COMMS	4.00	0	0	0
	COMMS	4.00	0	0	0
	COMMS	4.01	0	0	0
	STORAGE	6.57	0	0	0
	STORAGE	9.10	0	0	0
	STRG	16.30	0	0	0
<b>LEVEL 2, SUPPORT</b>					
	STAFF	11.96	0	0	0
	STAFF	25.49	0	0	0
	STAFF STUDY	31.97	0	0	0
<b>LEVEL 2, WELLNESS</b>					
	DANCE	125.78	0	0	0
	FLEXIBLE LEARNING	83.17	0	0	0
	GLA 1	81.25	1	0	0
	GYM	90.60	0	0	0
	SEMINAR	17.11	0	0	1
	SEMINAR	20.22	0	0	1
	SEMINAR	20.77	0	0	1
<b>LEVEL 2 TOTAL</b>		<b>2,643.02 m²</b>	<b>10</b>	<b>0</b>	<b>4</b>
<b>LEVEL 3, AMENITIES STUDENTS</b>					
	WC - ACC	6.01	0	0	0
	WC - F	7.55	0	0	0
	WC - F	7.56	0	0	0
	WC - GN	3.63	0	0	0
	WC - M	7.55	0	0	0
	WC - M	7.56	0	0	0
<b>LEVEL 3, COMMON SPACES</b>					
	HUB 1	75.49	0	0	0
	HUB 2	43.47	0	0	0
	HUB 3	51.56	0	0	0
<b>LEVEL 3, DESIGN + TECHNOLOGY</b>					
	COOL	7.29	0	0	0
	D+T WORKSHOP 1	105.21	0	1	0
	D+T WORKSHOP 2	100.42	0	1	0
	DUST EXTRACTOR	12.93	0	0	0
	FINISHING	14.50	0	0	0
	FOOD PREP	16.04	0	0	0
	FOOD PREP	25.59	0	0	0
	FOOD TECH SLA 1	129.97	0	1	0
	FOOD TECH SLA 2	138.10	0	1	0
	MATERIALS RACKS	8.60	0	0	0
	PANTRY	7.29	0	0	0
	RESOURCE STORE	16.04	0	0	0
	WELDING	12.50	0	0	0
<b>LEVEL 3, GREEN AREA</b>					
	ROOF TERRACE 2	50.42	0	0	0
	ROOF TERRACE 3	225.52	0	0	0
<b>LEVEL 3, SCIENCE + MATHS</b>					
	APP STORE	12.50	0	0	0
	BIOLOGY SLA	92.23	0	1	0

ACCOMMODATION SCHEDULE - STAGE 3_800					
STORY	ZONE NAME	AREA	GLA	SLA	SEMINAR
	BOT / ZOO ROOM	13.39	0	0	0
	CHEM STORE	14.50	0	0	0
	CHEMISTRY SLA	99.13	0	1	0
	FLEXIBLE LEARNING	69.78	0	0	0
	FLEXIBLE LEARNING	106.08	0	0	0
	GLA 10	51.07	1	0	0
	GLA 11	62.47	1	0	0
	GLA 7	60.22	1	0	0
	GLA 8	51.11	1	0	0
	GLA 9	60.22	1	0	0
	PHYSICS SLA	96.76	0	1	0
	SCIENCE PREP	15.58	0	0	0
	SCIENCE PREP	17.49	0	0	0
<b>LEVEL 3, SERVICE</b>					
	CLEANER	4.46	0	0	0
	COMMS	4.00	0	0	0
	COMMS	4.00	0	0	0
	ELEC	0.75	0	0	0
	STORAGE	8.15	0	0	0
<b>LEVEL 3, VISUAL ARTS</b>					
	ART SLA	90.68	0	1	0
	ART STORE	8.92	0	0	0
	ART STORE	8.92	0	0	0
	FLEXIBLE LEARNING	121.05	0	0	0
	GLA 1	65.71	1	0	0
	GLA 2	60.01	1	0	0
	GLA 3	61.34	1	0	

# CARPARKING SCHEDULE

## 800 PITTWATER ROAD

EXISTING		
		Quantity
<b>LEVEL 0</b>		
	800 PITTWATER RD EXTERNAL	65
	800 PITTWATER RD EXTERNAL ACCESSIBLE	1
	BASEMENT CARPARKING NORTH	73
	BASEMENT CARPARKING NORTH ACCESSIBLE	2
	BASEMENT CARPARKING SOUTH	19
<b>LEVEL 1</b>		
	800 PITTWATER RD EXTERNAL	20
	800 PITTWATER RD EXTERNAL ACCESSIBLE	1
<b>TOTAL</b>		<b>182</b>

STAGE 1		
		Quantity
<b>LEVEL 0</b>		
	800 PITTWATER RD EXTERNAL	66
	800 PITTWATER RD EXTERNAL ACCESSIBLE	1
	BASEMENT CARPARKING NORTH	73
	BASEMENT CARPARKING NORTH ACCESSIBLE	2
	BASEMENT CARPARKING SOUTH	19
<b>LEVEL 1</b>		
	800 PITTWATER RD EXTERNAL	20
	800 PITTWATER RD EXTERNAL ACCESSIBLE	1
<b>TOTAL</b>		<b>182</b>

STAGE 2		
		Quantity
<b>LEVEL 0</b>		
	800 PITTWATER RD DROPOFF	7
	800 PITTWATER RD EXTERNAL	50
	800 PITTWATER RD EXTERNAL ACCESSIBLE	1
	BASEMENT CARPARKING NORTH	52
	BASEMENT CARPARKING NORTH ACCESSIBLE	2
	BASEMENT CARPARKING SOUTH	19
<b>TOTAL</b>		<b>131</b>

STAGE 3		
		Quantity
<b>LEVEL 0</b>		
	800 PITTWATER RD EXTERNAL	15
	BASEMENT CARPARKING NORTH	52
	BASEMENT CARPARKING NORTH ACCESSIBLE	2
	BASEMENT CARPARKING SOUTH	22
<b>TOTAL</b>		<b>91</b>

## 224 HEADLAND ROAD

EXISTING		
		Quantity
<b>LEVEL 0 /224</b>		
	224 HEADLAND RD EXTERNAL	44
	224 HEADLAND RD EXTERNAL ACCESSIBLE	1
<b>TOTAL</b>		<b>45</b>

STAGE 1		
		Quantity
<b>LEVEL 0 /224</b>		
	224 HEADLAND RD EXTERNAL	39
	224 HEADLAND RD EXTERNAL ACCESSIBLE	2
<b>TOTAL</b>		<b>41</b>

STAGE 2		
		Quantity
<b>LEVEL 0 /224</b>		
	224 HEADLAND RD EXTERNAL	39
	224 HEADLAND RD EXTERNAL ACCESSIBLE	2
<b>TOTAL</b>		<b>41</b>

STAGE 3		
		Quantity
<b>LEVEL 0 /224</b>		
	224 HEADLAND RD EXTERNAL	39
	224 HEADLAND RD EXTERNAL ACCESSIBLE	2
<b>TOTAL</b>		<b>41</b>

EXISTING TOTAL OVERALL 227

STAGE 1 TOTAL OVERALL 223

STAGE 2 TOTAL OVERALL 172

STAGE 3 TOTAL OVERALL 132

DATE 29/OCT/2019	REV A	DESCRIPTION: ISSUE FOR SSDA	<b>NOTES:</b> Do not scale off drawings. Use figured dimensions only. Report any discrepancies to the architect. These designs, plans, specifications and the copyright therein are the property of Tonkin Zulaikha Greer Architects Pty Ltd, and must not be reproduced or copied wholly or in part without written permission of Tonkin Zulaikha Greer Architects Pty Ltd.	PROJECT : <b>ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS</b> 800 Pittwater Road + 224 Headland Road Dee Why NSW 2099 North Curl Curl NSW 2099 PROJECT NO : 18032	ARCHITECT <b>TONKIN ZULAIKHA GREER ARCHITECTS</b> 117 Reservoir Street ABN: 46002722349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tզg.com.au WEB: www.tզg.com.au	DRAWING TITLE GENERAL <b>CAR PARKING SCHEDULE</b> SCALES AT A1 PHASE SSDA	DRAWN BY RM + CE + EG CHECKED PT DATE October 2019	DRAWING NO <b>A-406</b> REV <b>A</b>



21 JUNE 11AM



21 JUNE 12PM

**KEY**  
 EXISTING ■  
 PROPOSED ■

DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SSDA

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<b>PROJECT :</b> ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS 800 Pittwater Road + 224 Hoedland Road Dee Why NSW 2099 North Curl Curl NSW 2099 PROJECT NO : 18032		<b>ARCHITECT</b> TONKIN ZULAIKHA GREER ARCHITECTS 117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tzg.com.au WEB: www.tzg.com.au		<b>DRAWING TITLE</b> GENERAL SHADOW DIAGRAMS - 21 JUNE SCALES AT A1 PHASE SSDA		<b>DRAWN BY</b> RM + CE + EG <b>CHECKED</b> PT <b>DATE</b> October 2019 <b>REV</b> A	
				<b>1:500</b>		<b>DRAWING NO</b> <b>A-500</b>	



21 JUNE 1PM



21 JUNE 12PM

**KEY**  
 EXISTING ■  
 PROPOSED ■

DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SSDA

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**PROJECT:**  
 ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS  
 800 Pittwater Road + 224 Hoedland Road  
 Dee Why NSW 2099 North Curl Curl NSW 2099  
 PROJECT NO : 18032

**ARCHITECT**  
 TONKIN ZULAIKHA GREER ARCHITECTS  
 117 Reservoir Street  
 ABN: 4600272349  
 P: (02) 9215 4900  
 F: (02) 9215 4901  
 EMAIL: info@tzg.com.au  
 WEB: www.tzg.com.au



**DRAWING TITLE**  
 GENERAL  
 SHADOW DIAGRAMS - 21 JUNE  
**SCALES AT A1**  
 PHASE  
 SSDA

**DRAWN BY**  
 RM + CE + EG  
**CHECKED**  
 PT  
**DATE**  
 October 2019  
**REV**  
 A

1:500

**DRAWING NO**  
 A-501



# MATERIALS STRATEGY

Exterior Wall Colours



Vitra Panel facade shading



Colour Accents



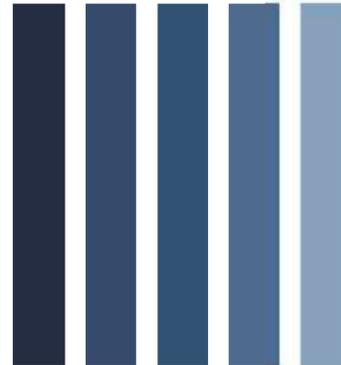
Noise Barrier Wall



Polished concrete flooring



Roof Sheetting



Concrete Paving



Timber Fence



DATE	REV	DESCRIPTION
29/OCT/2019	A	ISSUE FOR SSDA

**NOTES:**  
Do not scale off drawings. Use figured dimensions only. Report any discrepancies to the architect. These designs, plans, specifications and the copyright therein are the property of Tonkin Zulaikha Greer Architects Pty Ltd, and must not be reproduced or copied wholly or in part without written permission of Tonkin Zulaikha Greer Architects Pty Ltd.

PROJECT :  
**ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS**  
800 Pittwater Road + 224 Hoedland Road  
Dee Why NSW 2099 North Curl Curl NSW 2099  
PROJECT NO : 18032

ARCHITECT  
**TONKIN ZULAIKHA GREER ARCHITECTS**  
117 Reservoir Street  
ABN: 4600272349  
P: (02) 9215 4900  
F: (02) 9215 4901  
EMAIL: info@tzig.com.au  
WEB: www.tzig.com.au

DRAWING TITLE		DRAWN BY	
GENERAL		RM + CE + EG	
<b>MATERIALS SCHEDULE</b>		CHECKED	
PT		DATE	
October 2019		REV	
PHASE	DRAWING NO	A-600	A
SSDA			



DATE 29/OCT/2019	REV A	DESCRIPTION: ISSUE FOR SDA	NOTES: Do not scale off drawings. Use figured dimensions only. Report any discrepancies to the architect. These designs, plans, specifications and the copyright therein are the property of Tonkin Zulaikha Greer Architects Pty Ltd, and must not be reproduced or copied wholly or in part without written permission of Tonkin Zulaikha Greer Architects Pty Ltd.		PROJECT : <b>ST. LUKE'S GRAMMAR SCHOOL - NEW SENIOR SCHOOL CAMPUS</b> 800 Pitwater Road + 224 Hoedland Road Dee Why NSW 2099 North Curl Curl NSW 2099 PROJECT NO : 18032	ARCHITECT <b>TONKIN ZULAIKHA GREER ARCHITECTS</b> 117 Reservoir Street ABN: 4600272349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL: info@tzg.com.au WEB: www.tzg.com.au		DRAWING TITLE GENERAL <b>EXTERIOR PERSPECTIVE</b>	DRAWN BY RM + CE + EG
								SCALES AT A1	CHECKED PT
								PHASE SSDA	DATE October 2019
								DRAWING NO <b>A-601</b>	REV <b>A</b>



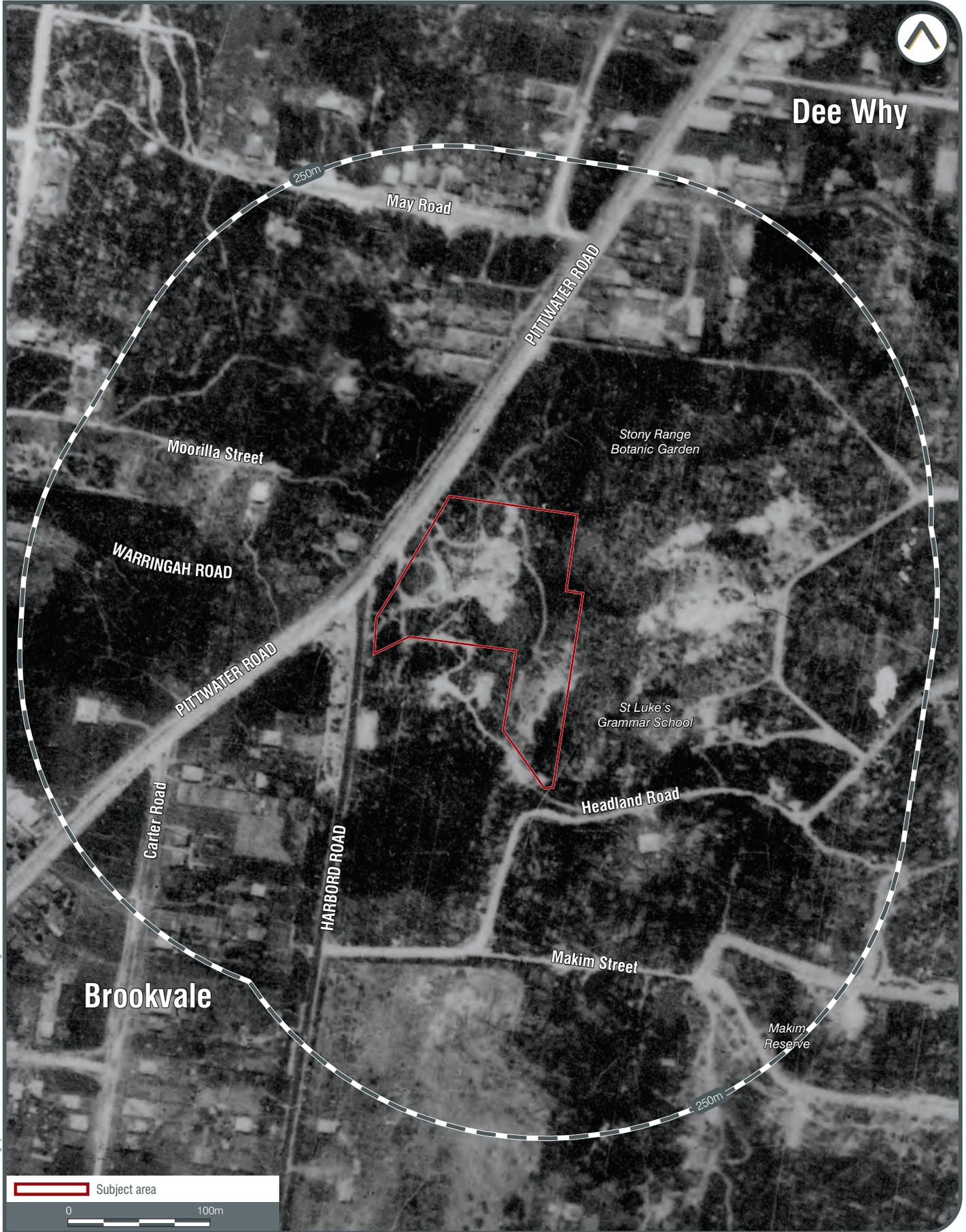
## Attachment C – Aerial Imagery



## ATTACHMENT B

### Historical Imagery





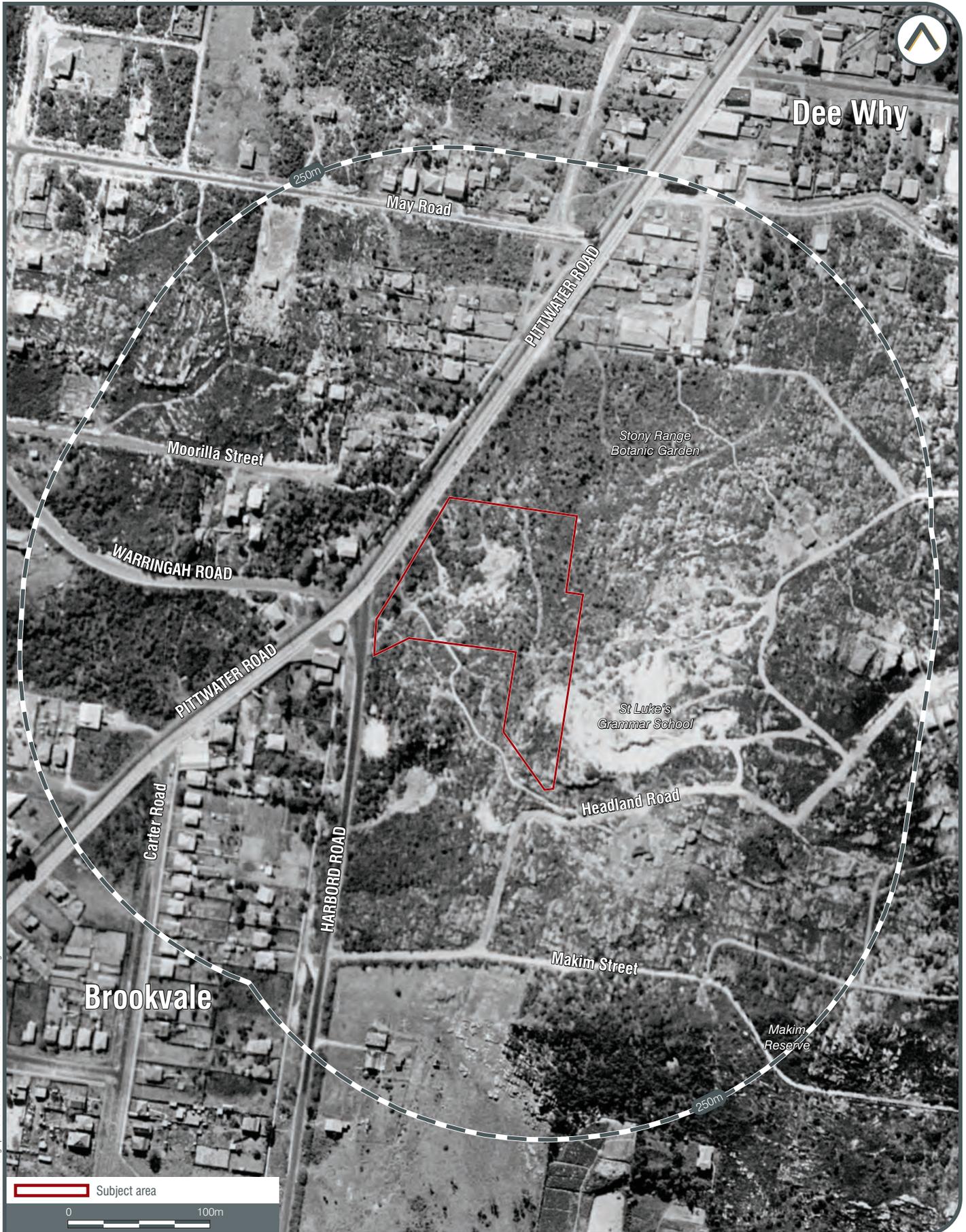
LIR-00692, Aerial Photograph, 1930, 03, 06, 2019, Data source: Please refer to "Digital Data Sources" in the Product Guide

### HISTORIC AERIAL PHOTOGRAPH - 1930



### MAP 11





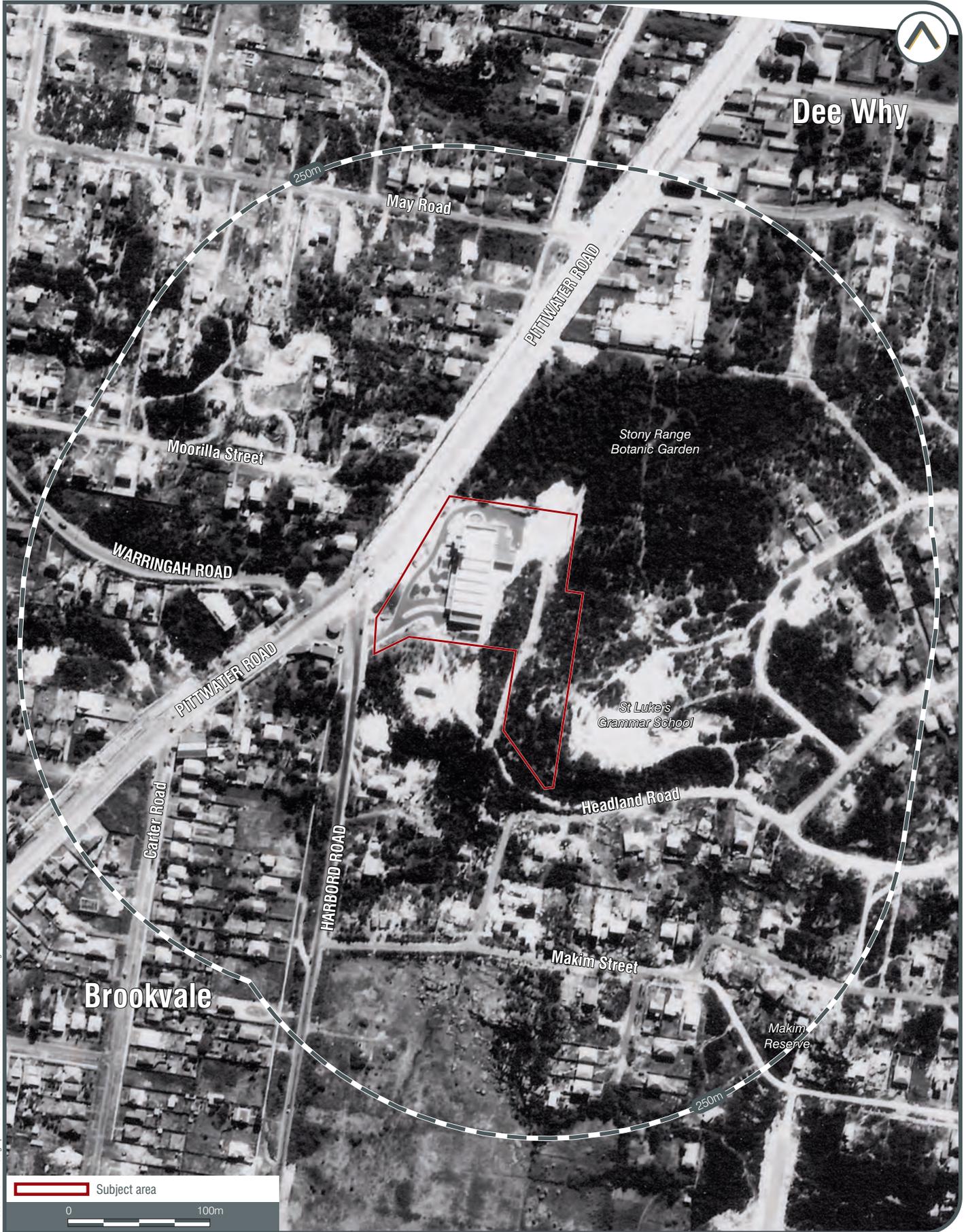
LIR-00692, Aerial Photograph, 1943, 03, 06, 2019, Data source: Please refer to "Digital Data Sources" in the Product Guide

## HISTORIC AERIAL PHOTOGRAPH - 1943



## MAP 12



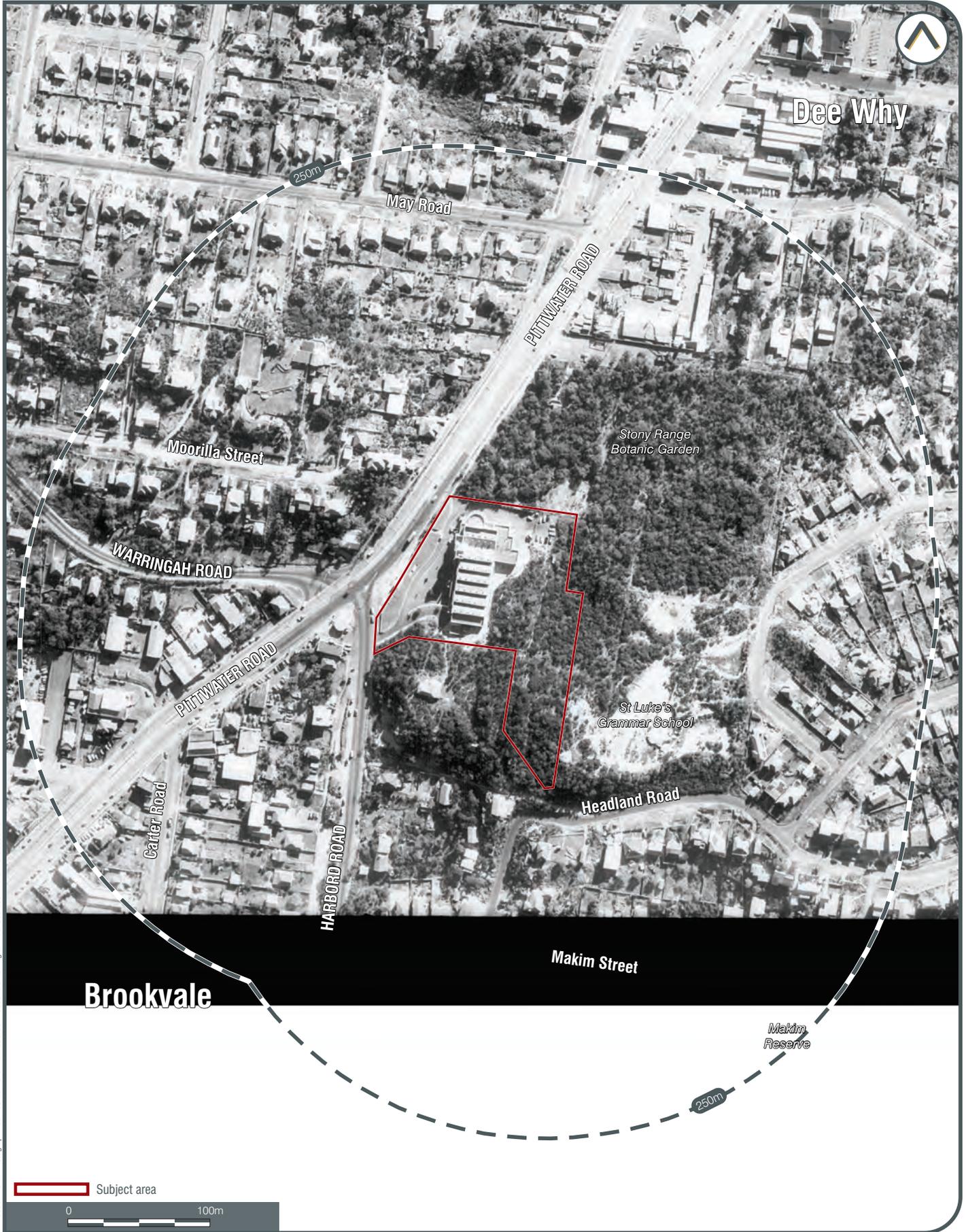


### HISTORIC AERIAL PHOTOGRAPH - 1951



### MAP 13





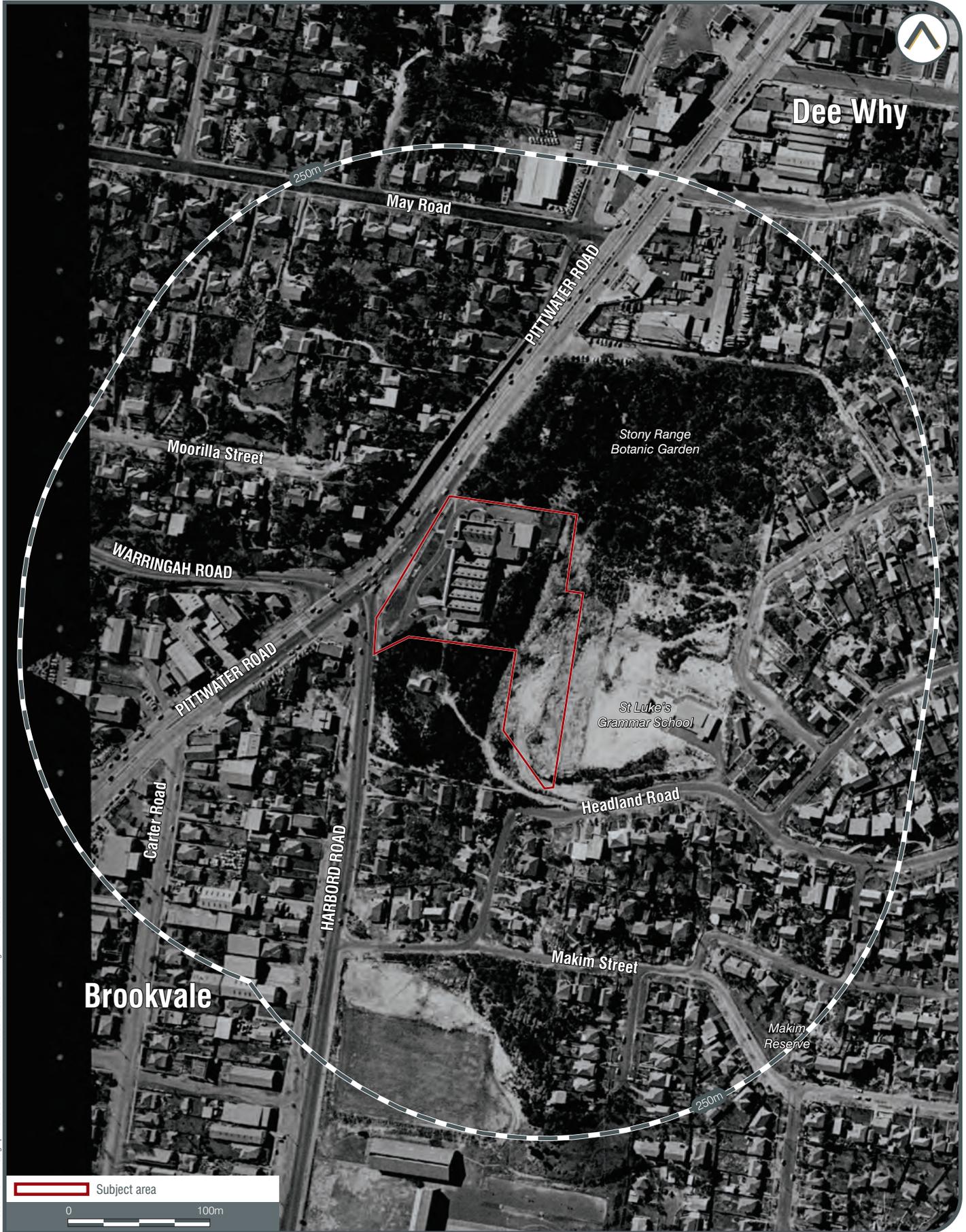
LIR-00692, Aerial Photograph, 1961, 03/06/2019, Data source: Please refer to "Digital Data Sources" in the Product Guide.

## HISTORIC AERIAL PHOTOGRAPH - 1961



## MAP 14





LIR-00692, Aerial Photograph, 1965 03 06 2019, Data sources: Please refer to "Digital Data Sources" in the Product Guide

### HISTORIC AERIAL PHOTOGRAPH - 1965



### MAP 15





LIR-00692 Aerial Photograph 1970 03 06 2019. Data source: "Digital Data Sources" in the Product Guide

## HISTORIC AERIAL PHOTOGRAPH - 1970



## MAP 16





LIR-00692, Aerial Photograph, 1975 03 06 2019, Data source: Please refer to "Digital Data Sources" in the Product Guide

## HISTORIC AERIAL PHOTOGRAPH - 1975



## MAP 17





LIR-00692, Aerial Photograph, 1986.03.06 2019. Data source: Please refer to "Digital Data Sources" in the Product Guide

## HISTORIC AERIAL PHOTOGRAPH - 1986



## MAP 18





LIR-00692, Aerial Photograph, 1994, 03, 06, 2019, Data source: Please refer to "Digital Data Sources" in the Product Guide

### HISTORIC AERIAL PHOTOGRAPH - 1994



### MAP 19





LIR-00692, Aerial Photograph, 2004, 03, 06, 2019, Data source: Please refer to "Digital Data Sources" in the Product Guide

## HISTORIC AERIAL PHOTOGRAPH - 2004



## MAP 20





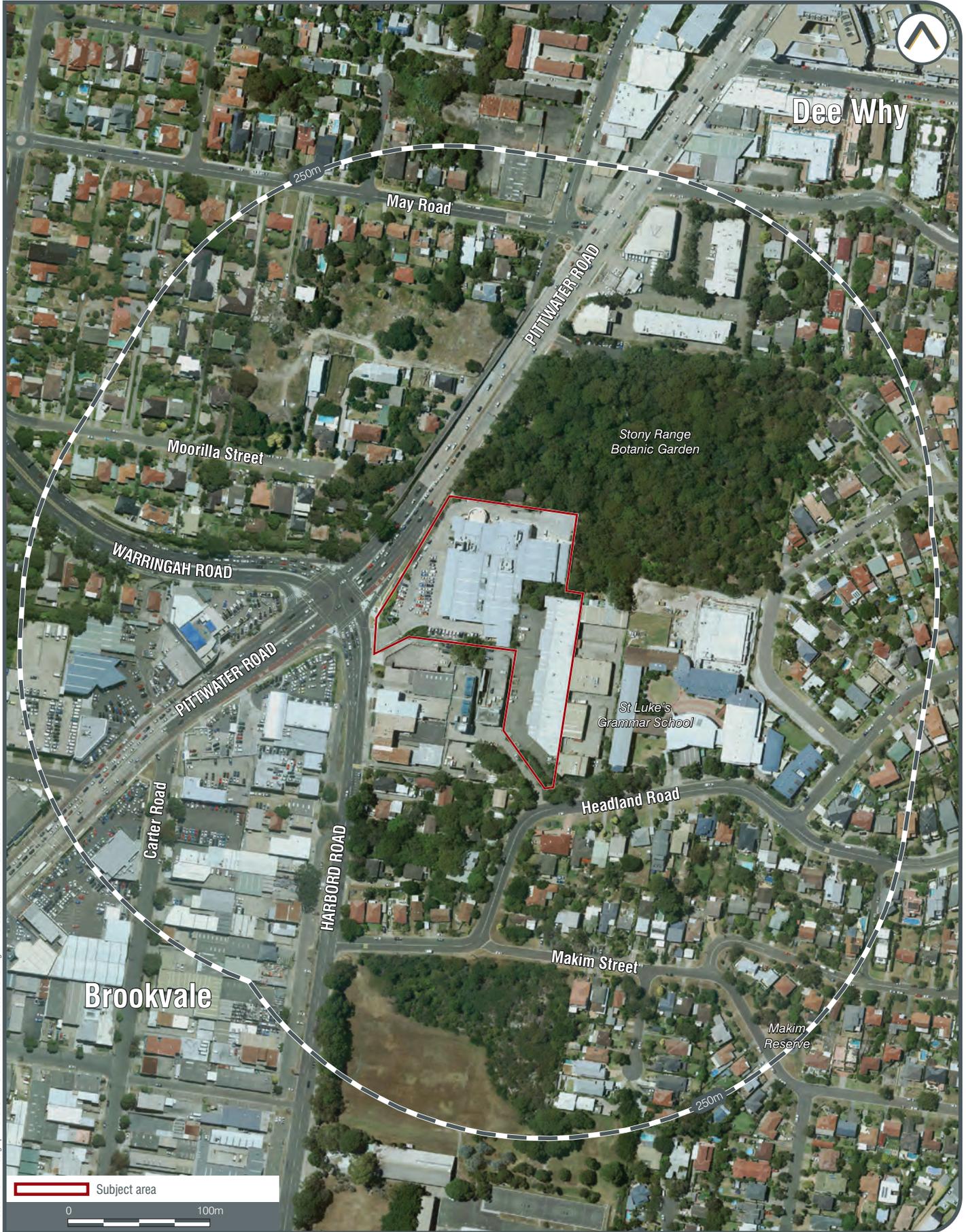
LIR-00692, Aerial Photograph, 2007, 03, 06, 2019. Data sources: Please refer to "Digital Data Sources" in the Product Guide.

## HISTORIC AERIAL PHOTOGRAPH - 2007



## MAP 21





LIR-00692, Aerial Photograph, 2010.03.06 2019. Data source: Please refer to "Digital Data Sources" in the Product Guide

## HISTORIC AERIAL PHOTOGRAPH - 2010



## MAP 22





LIR-00692, Aerial Photograph 2014.03.06 2019. Data source: Please refer to "Digital Data Sources" in the Product Guide

## HISTORIC AERIAL PHOTOGRAPH - 2014



## MAP 23





LIR-00692, Aerial Photograph 2019.03.06 2019. Data sources: Please refer to "Digital Data Sources" in the Product Guide

## HISTORIC AERIAL PHOTOGRAPH - 2019



## MAP 24



## Attachment D – Council Records



**Warringah  
Council**

**Notice of Determination of Development Application**

**Development Application No:** 2003/62DA

**Development Application Details:**  
**Applicant Name:** T Humel  
**Applicant Address:** 23 Bellevue Parade  
 NORTH CURL CURL 2099

**Land to be developed (Address):** Lot A, DP 421422  
 No. 244 Headland Road North Curl Curl  
 2099

**Proposed Development:** Alterations and additions including a garage

**Determination:**  
**Made on (Date):** 19 June 2003 *See note 1*  
**Determination:** **Consent 2003/62DA** granted subject to  
 conditions described below

**Consent to operate from (Date):** 19 June 2003  
**Consent to lapse on (Date):** 19 June 2008

**Details of Conditions** *See note 2*  
**(including Section 94 conditions):**

*The conditions which have been applied to the consent aim to ensure that the Environmental Impacts of Development are minimised and the Health and Safety of the community is maintained in accordance with the relevant standards and the Building Code of Australia.*

**NOTE:**

*If the works are to be certified by a private certifying authority, then it is the certifiers responsibility to ensure all outstanding fees and bonds have been paid to Council prior to the issue of the Construction Certificate or as otherwise specified by Consent conditions.*

**GENERAL CONDITIONS**

1. Development being generally in accordance with plans numbered DA1, Rev B, dated 10/1/03, submitted 14 February 2003 as modified by any conditions of this consent/approval. (C1)
2. At least 2 days prior to work commencing on-site Council must be informed, by the submission of Form 7 of the Environmental Planning and Assessment Regulation 1998 of the name and details of the Principal Certifying Authority and the date construction work is proposed to commence. (C168)
3. Compliance with Building Code of Australia
  - a. All building work must be carried out in accordance with the provisions of the Building Code of Australia.
  - b. This clause does not apply to the extent to which an exemption is in force under Clause 80H or 80I, subject to the terms of any condition or requirement referred to in Clause 80H (6) or 80I (4). (C375)

4. Payment of the Long Service Leave Levy is required prior to the release of the Construction Certificate. This payment can be made at Council or to the Long Services Payments Corporation. This payment is not required where the value of the works is less than \$25,000. (C3)
5. Residential Building Work
  - a. Building work that involves residential building work (within the meaning of the Home Building Act 1989) must not be carried out unless the principal certifying authority for the development to which the work relates:
    - (i) in the case of work to be done by a licensee under that Act:
      - A. has been informed in writing of the licensee's name and contractor licence number, and
      - B. is satisfied that the licensee has complied with the requirements of Part 6 of that Act, OR
    - (ii) in the case of work to be done by any other person:
      - A. has been informed in writing of the person's name and owner-builder permit number, or
      - B. has been given a declaration, signed by the owner of the land, that states that the reasonable market cost of the labour and materials involved in the work is less than the amount prescribed for the definition of owner-builder work in section 29 of that Act, and is given appropriate information and declarations under paragraphs (i) and (ii) whenever arrangements for the doing of the work are changed in such a manner as to render out of date any information or declaration previously given under either of those paragraphs.

NOTE. The amount referred to in paragraph (ii) B is prescribed by regulations under the Home Building Act 1989. As at the date on which this Regulation was Gazetted, that amount was \$3,000. As those regulations are amended from time to time, so that amount may vary.

  - b. A certificate purporting to be issued by an approved insurer under Part 6 of the Home Building Act 1989 that states that a person is the holder of an insurance policy issued for the purposes of that Part is, for the purposes of this clause, sufficient evidence that the person has complied with the requirements of that Part. (C377)
6. Excavations and Backfilling
  - a. All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards.
  - b. All excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property. (C378)
7. Retaining Walls and Drainage.

If the soil conditions require it:

  - a. retaining walls associated with the erection or demolition of a building or other approved methods of preventing movement of the soil must be provided, and
  - b. adequate provision must be made for drainage. (C379)
8. Support for Neighbouring Buildings
  - a. If an excavation associated with the erection or demolition of a building extends below the level of the base of the footings of a building on an adjoining allotment of land, the person causing the excavation to be made:

- (i) must preserve and protect the building from damage, and
  - (ii) if necessary, must underpin and support the building in an approved manner, and
  - (iii) must, at least 7 days before excavating below the level of the base of the footings of a building on an adjoining allotment of land, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars of the excavation to the owner of the building being erected or demolished.
- b. The owner of the adjoining allotment of land is not liable for any part of the cost of work carried out for the purposes of this clause, whether carried out on the allotment of land being excavated or on the adjoining allotment of land.
- c. In this clause, allotment of land includes a public road and any other public place. (C380)

9. Compliance Certificates are required at the following stages of construction:-
- a. Building Envelope - completion of the envelope skeleton prior to fixing of internal linings (where applicable).
  - b. Final - prior to occupation/use, the satisfactory completion of the building works with respect to:-
    - (i) Compliance Certificates as nominated
    - (ii) Compliance Certificates (components) as nominated (C396)
10. The fee(s) required for a Council Compliance Certificate is \$220.00 and it is to be paid prior to Council issuing the Construction Certificate. NOTE: Each Compliance Certificate fee is \$110. Where external accredited certifiers issue construction certificates and compliance certificates the above fee is not required. (C397)
11. The following component certificates are required to be submitted to Council where Council is the nominated principal certifying authority prior to occupation/use of the building, to ensure compliance with the Building Code of Australia and relevant Australia Standards:(C399)
- c. Structural Engineer / Accredited Certifiers certificate covering the supervision of all structural work and adequacy of the building.
  - n. Registered pest contractors certificate which states termite control measures have been installed in accordance with AS 3660.1-1995 "Termite Management : New Building Work".
12. Termite control measures being installed in accordance with AS 3660.1-2000 "Termite Management: New Building Work." (C263)
13. A durable notice is to be permanently fixed to the building in a prominent location, such as the meter box or the like, indicating: The method of termite protection; date of installation; life expectancy of chemical barrier (if used); and installer's or manufacturer's recommendations for the scope and frequency of future inspections for termite activity. (C264)
14. Stormwater being piped to a dispersal trench disposal system . (C304)
15. Hours of construction being restricted to 7am to 5pm Monday to Friday, Saturday 7am to 1pm if audible at residential premises, excluding public holidays. No audible construction work to take place outside these hours. (C326)

16. All works on the site shall be undertaken to prevent erosion and transport of soil and sediment off the site and onto adjoining properties. Measures shall be taken in accordance with the requirements of Warringah Council's Specification for Erosion and Sediment Control. (C41)
17. Footpath and roadway being kept free of obstruction by building materials and plant. All concrete trucks, pumps and/or agitators being kept wholly within the building site. No concrete or slurry being discharged onto Council's street surfaces, nature strips, drains/gutters, reserves parks etc. (C321)
18. A Construction Certificate is required to be approved by either Council or an Accredited Certifier, prior to the commencement of any works on the site. (C165)
19. The external finish to the roof shall have a medium to dark range in order to minimise solar reflections to neighbouring properties. The metal roof shall not be of light colours such as off white, cream, silver or light grey colours. (C305)
20. The building not being adapted for multiple dwelling occupancy. (C291)
21. The wet bar is not to be fitted out for use as a kitchen.
22. Additional carparking is to be located on the existing concrete driveway forward of the garage.
23. Compliance with notation in red on face of plans. (C318)

#### **Building Code of Australia - Classification**

The building is Class 1a & 10a for the purposes of the Building Code of Australia.

#### **Right to Review by the Council**

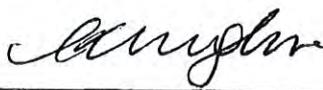
You may request the Council to review the determination of the application under Section 82A of the Environmental Planning & Assessment Act 1979. Any request to review the application must be within 12 months after the date of determination shown on this notice. A fee of 50% of the original Development Application will apply.

#### **Right of Appeal**

If you are dissatisfied with this decision Section 97\* of the Environmental Planning & Assessment Act 1979 gives you the right to appeal to the Land and Environment Court within 12 months after the date on which you receive this notice.

\* Section 97 of the Environmental Planning and Assessment Act 1979 does not apply to the determination of a development application for State significant development or local designated development that has been the subject of a Commission of Inquiry.

**Signed** on behalf of the consent authority

Signature 

Name Keith Wright

Date 19 June 2003



**Warringah  
Council**

72928.DOC

File No: PF 3883/800

TP  
7/11/53

**Consent No: 97/231**

**Environmental Planning & Assessment Act, 1979**

**Notice To Applicant of Determination**

**Of A Development Application**

**Applicant's Name and Address:**

ERM Mitchell McCotter  
PO Box 943  
CROWS NEST NSW 2065

Being the applicant in respect of Development Application No. 1997/161.

Pursuant to Section 92 of the Act, notice is hereby given of the determination by Warringah Council, as the Consent Authority, of the Development Application No. 1997/161 relating to the land described as follows:-

**Lot 6, DP 523299, No. 800 Pittwater Road, Dee Why.**

For the following development:-

**Extension to Unit 5 and construction of 70 additional carparking spaces within the basement carpark.**

**Endorsement Date 28 AUG 1997** (Consent to operate from this date)

The Development Application has been determined by granting consent subject to the following conditions:-

1. Development being generally in accordance with drawings numbered AR101/D, AR240/E, AR250/C, AR260/E, AR280/B and AR310/D, dated 11 April 1997, submitted 17 June 1997 as modified by any conditions of this consent/approval. (A1)
2. The provision of a total of 109 paved carparking spaces to be used solely for carparking purposes. (B1)
3. The payment of the following developer contributions prior to release of building approval.  
\$523.60 to S94 Plan Part I - Roads and Traffic Management (AC 28023)



**Warringah  
Council**

TP  
70/2

72130.DOC

File No: PF3883/800

**Consent No: 97/139**

**Environmental Planning & Assessment Act, 1979**

**Notice To Applicant of Determination**

**Of A Development Application**

**Applicant's Name and Address:**

ERM Mitchell McCotter  
PO Box 943  
Crows Nest 2065

Being the applicant in respect of Development Application No. 97/013

Pursuant to Section 92 of the Act, notice is hereby given of the determination by Warringah Council, as the Consent Authority, of the Development Application No. 97/013 relating to the land described as follows:-

**Lot 6, DP 523299, No. 800 Pittwater Road, Dee Why.**

For the following development:-

**Erection of a pylon sign.**

**Endorsement Date - 8 MAY 1997** (Consent to operate from this date)

The Development Application has been determined by granting consent subject to the following conditions:-

1. Development being generally in accordance with plans numbered SK09, dated 24/3/97, submitted 26/3/97 and plans numbered SN02, dated 7/3/97, submitted 21/3/97 as modified by any conditions of this consent/approval. (A1)
2. The illumination of signage shall be restricted to the hours of 7.00am to 9.30pm.
3. All materials to comply with Part C1.10 of the Building Code of Australia.

D Emery

**Manager, Local Approvals Service Unit**

per:

Date

*[Signature]*  
8/5/97



**Warringah  
Council**

72079.DOC

File No: PF3883/800

TP  
70/12

**Consent No: 97/96**

**Environmental Planning & Assessment Act, 1979**

**Notice To Applicant of Determination**

**Of A Development Application**

**Applicant's Name and Address:**

ERM Mitchell McCotter  
PO Box 943  
Crows Nest 2065

Being the applicant in respect of Development Application No. 97/013

Pursuant to Section 92 of the Act, notice is hereby given of the determination by Warringah Council, as the Consent Authority, of the Development Application No. 97/013 relating to the land described as follows:-

**Lot 6, DP 523299, No 800 Pittwater Road, Dee Why**

For the following development:-

**Erection of signage, excluding the pylon sign**

**Endorsement Date - 4 APR 1997** (Consent to operate from this date)

The Development Application has been determined by granting consent subject to the following conditions:-

1. Development being generally in accordance with plans numbered SN02, dated 7/3/97, submitted 12/3/97 as modified by any conditions of this consent/approval. (A1)
2. The illumination of signage shall be restricted to the hours of 7.00am to 9.30pm.
3. The word "Officeworks", in the Identification Sign on the western facade, to only be illuminated. In this regard the proposed red dashes shall not be illuminated.



**Warringah  
Council**

TP  
60332

61912.DOC

File No: PF3883/800

**Consent No: 97/59**

**Environmental Planning & Assessment Act, 1979**

**Notice To Applicant of Determination**

**Of A Development Application**

**Applicant's Name and Address:**

ERM Mitchell McCotter  
PO Box 943  
CROWS NEST NSW 2065

Being the applicant in respect of Development Application No. 96/362

Pursuant to Section 92 of the Act, notice is hereby given of the determination by Warringah Council, as the Consent Authority, of the Development Application No. 96/362 relating to the land described as follows:-

**Lot 6, DP 523299, No. 800 Pittwater Road, Dee Why.**

For the following development:-

**Use of Units 2 and 4 for bulky goods retail, including office furniture; business machines and computer equipment and office supplies.**

**Endorsement Date** 28 FEB 1997 (Consent to operate from this date)

The Development Application has been determined by granting consent subject to the following conditions:-

1. Development being generally in accordance with plans number 92131/403 and 92131/405, dated August 1993, submitted 6/2/97; plan number 92131/401 dated February 1994, submitted 6/2/97; plan number 92131/400 dated August 1993, submitted 14/1/97.
2. The payment of the following contributions pursuant to Section 94 of the Environmental Planning and Assessment Act 1979, as amended prior to the release of building approval.



THE COUNCIL OF THE  
SHIRE OF WARRINGAH

File No: PF3883/800 RM.MB/3196D  
Enquiries:

Telephone: (02) 982 0333

TP  
1D0012

CONSENT NO: 91/70

ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979

NOTICE TO APPLICANT OF DETERMINATION

OF A DEVELOPMENT APPLICATION

Applicant's Name and Address: Dumbar International Corporation Pty  
Ltd, Level 3, 6 Walker Street, North Sydney

Being the applicant in respect of Development Application  
No. 1991/12.

Pursuant to section 92 of the Act, notice is hereby given of the  
determination by the Council of the Shire of Warringah, as the  
consent authority, of the Development Application No. 1991/12  
relating to the land described as follows:-

Lot 6, DP 523299, No. 800 Pittwater Road, Dee Why

For the following development:-

Internal alterations to an existing factory building to be used for  
self storage units

The Development Application has been determined by granting of  
consent subject to the following conditions:-

1. Development being generally in accordance with plans numbered  
W01/2, dated December 1990, submitted 21st January 1991 as  
modified by any conditions of this Consent.
2. No signs to be displayed without a separate approval given  
under Warringah Local Environmental Plan 1985 or Ordinance 55  
of the Local Government Act where necessary.
3. The colour, texture and substance of all external components  
of the building and hard surfaced areas being to Council's  
satisfaction, details to be included at Building Application  
stage.

All correspondence to be addressed  
The General Manager,  
Civic Centre, Pittwater Road, Dee Why, 2099  
DX 9118 Dee Why Fax: (02) 971 4522



THE COUNCIL OF THE  
SHIRE OF WARRINGAH

File No: PF3883/800 KS.MM/3041D  
Enquiries:

Town Planning  
COPY

Telephone: (02) 982 0333

CONSENT NO: 90/394

ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979

NOTICE TO APPLICANT OF DETERMINATION

OF A DEVELOPMENT APPLICATION

Applicant's Name and Address: The Parlby Ventry Property Group,  
3rd Floor, 6 West Street, North Sydney, NSW, 2060

Being the applicant in respect of Development Application  
No. 1990/312.

Pursuant to section 92 of the Act, notice is hereby given of the  
determination by the Council of the Shire of Warringah, as the  
consent authority, of the Development Application No. 1990/312  
relating to the land described as follows:-

Lot 6, DP 523299, No 800 Pittwater Road, Dee Why

For the following development:-

Commercial development comprising two separate office blocks, one  
5/6 storeys high and the other three storeys high with basement  
carparking.

The Development Application has been determined by granting of  
consent subject to the following conditions:-

1. Development being generally in accordance with plans numbered  
001-012, dated 9th October 1990, submitted 10th October 1990  
and plan numbered 013, dated 9th October 1990, submitted  
25.10.1990.
2. No signs to be displayed without a separate approval given  
under Warringah Local Environmental Plan 1985 or Ordinance 55  
of the Local Government Act where necessary.
3. The colour, texture and substance of all external components  
of the building and hard surfaced areas being to Council's  
satisfaction, details to be included at Building Application  
stage.
4. A Sample Board being submitted with the Building Application.  
Such sample board to include samples of external building  
materials, to the satisfaction of Council.
5. External glazing to have a reflectivity index of not greater  
than 25%.

All correspondence to be addressed  
The General Manager,  
Civic Centre, Pittwater Road, Dee Why, 2099  
DX 9118 Dee Why Fax: (02) 971 4522



**Warringah  
Council**

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File No: PF3883/800

TP  
70326

**Consent No: 97/327**

**Environmental Planning & Assessment Act, 1979**

**Notice To Applicant of Determination**

**Of A Development Application**

**Applicant's Name and Address:**

Gibbon Hamor & Associates  
35 Regent Street  
CHIPPENDALE NSW 2008

Being the applicant in respect of Development Application No. 1997/343

Pursuant to Section 92 of the Act, notice is hereby given of the determination by Warringah Council, as the Consent Authority, of the Development Application No. 1997/343 relating to the land described as follows:-

**Lot 6, DP 523299, No. 800 Pittwater Road, Dee Why.**

For the following development:-

**Use of Units 1 and 3 as a gymnasium and ancillary facilities.**

**Endorsement Date** 15 DEC 1997 (Consent to operate from this date)

The Development Application has been determined by granting consent subject to the following conditions:-

1. Development being generally in accordance with plans numbered A01C, A02C, A03C, A04C, A05C, A06C, A07C and A08C, dated October 1997, submitted 31st October 1997 as modified by any conditions of this consent/approval. (A1)
2. The use not commencing until such time as the requirements of this consent have been carried out to Council's reasonable satisfaction. (A2)
3. No signs to be displayed without a separate approval where required under Council's Local Environmental Plan. (A3)