

Case number 227428

November 20, 2025

WSABP Management Pty Ltd

c/ - QALCHEK PTY LTD

Notice of anticipated requirements

SECTION 73 SUBDIVIDER COMPLIANCE CERTIFICATE

(Sydney Water ACT 1994, Part 6 Division 9) PENDING DEVELOPMENT CONSENT

Developer:	WSABP Management Pty Ltd
Your WSC's reference:	PM 35749
Development:	Lot 5 DP1240511 2420-2430 THE NORTHERN RD, Luddenham
Development Description:	Construction and operation of the Western Sydney Airport Business Park comprising earthworks, retaining walls, estate wide infrastructure, development of nine buildings for agribusiness uses, landscaping and riparian corridor works. Stage 1 - Create 1 Industrial Lot and 1 Residue Lot Stage 1 - Create 1 Industrial Lot and 1 Residue Lot
Council:	
Your application date:	September 26, 2025

Dear Applicant

We've assessed your application for the anticipated requirements of a Section 73 Compliance Certificate (the Certificate) pending development consent for the subdivision shown above. Detailed information on your anticipated requirements are outlined below.

You have until **November 20, 2026** to accept our requirements, have your deeds executed, design endorsed and have a construction commencement notice (CCN) submitted. The don't you'll have to reapply and pay another application fee and you'll receive another notice. The notice may change, and you may have new requirements.

The Water Servicing Coordinator (WSC) will be your point of contact with us. They can answer questions you might have on our developer process and charges.

This is not a final notice and we're not liable for any actions you take as a result of this Notice. You don't have the authority to start construction of works.

Once you receive final development consent you should submit a copy to us. Provided that there have been no significant changes to the development, we'll send you a confirmation email.

If the development application has been subject to significant change then this anticipated requirement application will be terminated, and you'll have to submit a formal Section 73 application.

What you must do to get a Section 73 Certificate?

This is a summary of our requirements. These requirements are explained in detail on the following pages.

You must do the following things:

1. Engage a WSC before you sign the enclosed Agreement.
2. Sign both originals of the enclosed Agreement and give them to your WSC. You must do all the things we ask you in the Agreement.
3. After you have signed the Agreement, you'll need to build water, recycled water, sewer and storm water works at your costs.
4. See section 4 for Ancillary matters
5. Pay a total of \$352,625.32 in charges.

Please note:

- You have to pay these charges directly to us and you must have an invoice. Your WSC can arrange the invoice.
 - This amount is subject to change. Refer to Infrastructure Section in this Notice for details.
 - Recycled and Storm water charges have not been included in this "Anticipated Notice of requirements" but will apply to this development
6. Have your building plans approved because what you are building may be over or near our pipes and we need to check your property building plans. Your WSC can tell you more about this and help with the approval.
 7. Submit details that will satisfy our requirements for discharging stormwater into our Trunk Drainage System.
 8. Complete any special requirements from Section 8. – Submit Final Development Consent

Other things you need to do:

At the end of this Notice, we explain the other things that you need to do. They're not a requirement to be met before the Certificate can issued but could be a requirement in the future because of the impact your subdivision can have on our assets. You must read them before you go any further.

Detailed requirements

1. Water Servicing Coordinator (WSC)

You must engage your current or another authorised WSC to manage the design and construct of works that you'll need to provide at your costs to service your subdivision.

You'll find a list of WSC's at [Listed providers](#) on our website.

Your WSC will be your point of contact with us. They'll answer most questions about our process and any developer charges you may have to pay. They can give you a quote or information about costs for services, works including our costs.

Public Liability Insurance

Prior to commencing any work in connection with the Development, you must take out, or ensure that the persons carrying out or purporting to carry out work in any way connected with the Development take out, a public liability insurance policy (**Policy**) which:

- (a) is in joint names of you, any contractor or subcontractor of any tier and any other person or entity engaged to perform any work in connection with the Development.
- (b) covers you for any liability to Sydney Water and any other third parties in any way connected with works connected in any way with the Development.
- (c) has a limit of liability for each and every occurrence of not less than \$10million.
- (d) is affected with a reputable insurer.
- (e) is maintained until the expiry of any works connected in any way with the Development.
- (f) does not contain an exclusion clause concerning damage to underground services.

You must provide Sydney Water with a copy of the Policy upon Sydney Water's request.

2. Developer Works Deed

After you engage a WSC, you must engage other Developer Infrastructure Providers (Providers) to carry out, where needed, the design and construction of the works. They must all have the appropriate capability. Your WSC can assist you.

You and your Providers will need to enter into an agreement with us. To do this you need to sign and lodge **both originals** of the enclosed Developer Works Deed (Deed) with your nominated WSC. You will then need to work with your WSC to have the other Providers sign the Deed.

If your WSC or Providers are different for any of the asset types, then you will need to sign separate Deeds.

Before signing the Deed, each party must also read and understand the conditions of the agreement that are set out in the Developer Works Deed – Schedule 1: Standard Terms document. That document as well as information about it are available at [Developer deeds and standard terms \(sydneywater.com.au\)](https://www.sydneywater.com.au) where you can find more about Developer deeds & standard terms.

The Deed and the Standard Terms set out for this development all parties' roles and responsibilities as well as other information.

You must do all the things that we ask you to do in the Deed. This is because lots in your subdivision do not have water, recycled water, sewer and storm water services and you must construct and pay for the following works extensions under this Deed to provide these services.

3. Drinking water, recycled water, Sewer and Stormwater Works

Where you need to construct works where the complexity of the works aligns with our [Design Pre-Submission Consultation Service](https://www.sydneywater.com.au/content/dam/sydneywater/documents/wsc-documents/design-pre-submissio...), we would welcome meeting with you to discuss your design before the submission. Please discuss the design requirements with your WSC to understand if this would benefit your project. Refer to the defined criteria and process in the link: <https://www.sydneywater.com.au/content/dam/sydneywater/documents/wsc-documents/design-pre-submissio...>

3.1 Drinking water

Each lot in your subdivision must have a frontage to a water main that is the right size and can be used for connection.

We've assessed your application and found that:

The development is currently located within the Cecil Park Pressure Supply Zone (Pressure Reduced Zone 4).

The proposed development can be served through appropriately sized extensions from the existing main in Adams Road. Note that a 300mm ID main (for example 355mm PE) would be required along Adams Road through to the Northern Road.

There may be marginal pressures at the higher ground levels within the development (ie above approximately 90-95m). However, Sydney Water continues to deliver upgrades in the system including new mains and a proposed booster station with anticipated delivery (subject to construction timeframes and funding approvals) by the end of 2028, which would improve water pressure in this area and allow higher areas within the development to be served with adequate pressure.

Note: Additional water mains are required to provide frontage to new lots and would need to be sized as per the WSAA code.

- You must construct a drinking water main extension to serve Lot 1000 It must comply with the standards for Dual Water Reticulation Systems talked about in section 3.2.1 below.
- A service connection and property service must be provided for Lot 1000 off the drinking water main when it is constructed. They must comply with the standards for Dual Water Reticulation Systems talked about in section 3.2.1 below.
- Lot 1001 is shown as a residue lot/s in the Development Consent. Therefore, we'll only make a requirement for that lot/these lots when an approval within the meaning of Section 78 of the *Sydney Water 1994* is obtained and an application for a Section 73 Certificate is made.

3.2 Recycled water

Your subdivision must have a frontage to a recycled water main that is the right size and can be used for connection.

Sydney Water has assessed your application and found that:

The proposed development is located within the Agribusiness Precinct, one of the Aerotropolis Initial Precincts. RW services will be available for this development via a proposed RW scheme supplied from Upper South Creek AWRC. The scheme is expected to be in operation from 2031.

Sydney Water is currently finalising the preferred configuration of the Recycled Water (RW) scheme, including sizing the trunk mains and facilities, based on available growth data and demand assumptions. The assets, sizes, locations and alignments required for the development will be confirmed once the preferred option is finalised and the structure plan and RW demand of the development is understood. Each lot will be required to have a recycled water main at the frontage, appropriately sized for connection to the recycled water main.

This application refers to an industrial development type and the RW average demand provided by the developer is 4.65kL/d. Based on this forecast RW average demand; the RW network will have capacity to supply the development.

In addition to the above, the Aerotropolis Initial Precincts recycled water reticulation network will initially be supplied by the adjacent potable water reticulation network. This arrangement will remain until supply of treated stormwater and/or recycled wastewater from AWRC is established. Once the stormwater and recycled water supply is established, the connections between the potable water and recycled water networks will need to be decommissioned. The developer must clearly show the locations of any cross connections (if required) between the potable water network and recycled water network on the design plans which need to be reviewed by Sydney Water. The developer must also provide to Sydney Water the finished surface levels.

The indicative proposed recycled water mains for the Initial Precincts around the development lot are shown in Figure 3.

Figure 3: Indicative Proposed Recycled Water Trunk Mains

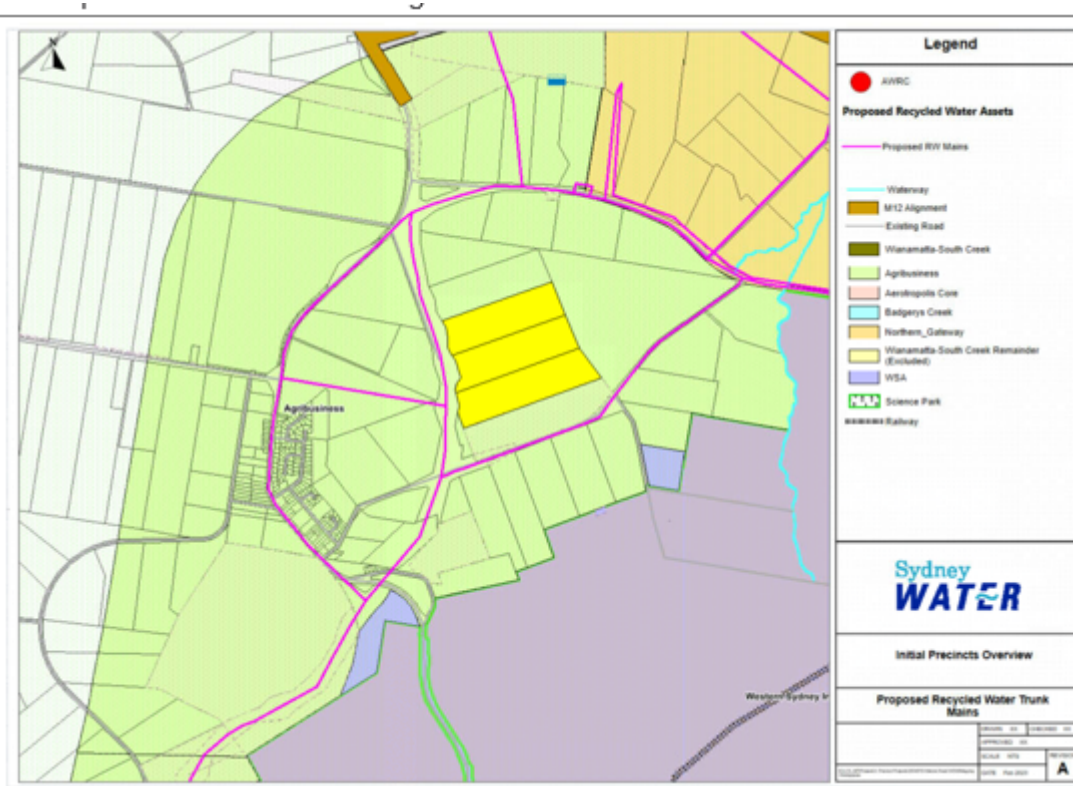
Note: Interim service

The RW scheme for the Aerotropolis Initial Precincts is expected to be completed by 2031. The interim services will be using the DW network, when available. There is currently no DW services available at this location. Also, the interim servicing will be limited to non-potable demand for indoor use only. The irrigation demand has to be supplemented using the onsite stormwater harvesting and reusing until the RW scheme is commissioned in 2031. The following requirements have to be met prior to obtaining RW connection approval:

- Smart meter installation,
- Confirmation of the indoor and irrigation demands from the developer.

Once the stormwater and recycled water supply is established, the connections between the potable water and recycled water networks will need to be decommissioned. The developer must clearly show the locations of any cross connections between the potable water network and recycled water network on the design plans which need to be reviewed by Sydney Water. The developer must also provide to Sydney Water the finished surface levels.

Note: Precinct trunk RW mains and reticulation mains are required to be sized as per the WSAA code.



- You must construct a recycled water main extension to serve Lot 1000. It must comply with the standards for Dual Water Reticulation Systems talked about in section 3.2.1 below.

Lot 1001 is/are shown as a residue lot/s in the Development Consent. Therefore, we'll only make a requirement for that lot/these lots when an approval within the meaning of Section 78 of the *Sydney Water 1994* is obtained and an application for a Section 73 Certificate is made.

3.2.1 Our standards for dual reticulation

Your subdivision is in an area where both drinking and recycled water systems are available. The drinking and recycled water works required above must comply with the standards for Dual Water Reticulation Systems that are set down in the Water Supply Code of Australia (Sydney Water Edition) (the Code).

These standards require that service connections and property services be provided for both drinking and recycled water for each lot in the subdivision. The installation of these services must either be carried out or supervised by a licensed plumber. It must meet the:

- (a) Administrative requirements of the New South Wales Code of Practice for Plumbing and Drainage; and
- (b) Technical requirements of the Dual Water Drawings Set within the Code.

3.3 Sewer

Each lot in your subdivision must have a sewer main that is the right size and can be used for connection. That sewer must also have a connection point within each lot's boundaries.

We've assessed your application and found that:

The development is located to the east of the Northern Road, which naturally drains to proposed Cosgrove Creek catchment. Cosgrove Creek catchment will be serviced via Upper South Creek (USC) wastewater networks which will transfer flows to the proposed AWRC (**refer Figure 3**). The AWRC is planned to be operational by mid-2026.

The proposed development will be serviced by a new pumping station SP1246 via proposed Cosgrove Creek Carrier. SP1246 will transfer flow to the AWRC.

Trunk mains and pump stations within Cosgrove Creek catchment are currently in concept design and assets are scheduled to be delivered by 2026/27, subject to funding approval and future delivery contractor schedule.

The developer needs to deliver the reticulation mains to connect to Cosgrove Creek Carrier and reticulation mains are required to be sized to service the natural catchment as per the WSAA code.

All works must comply with WSAA codes.

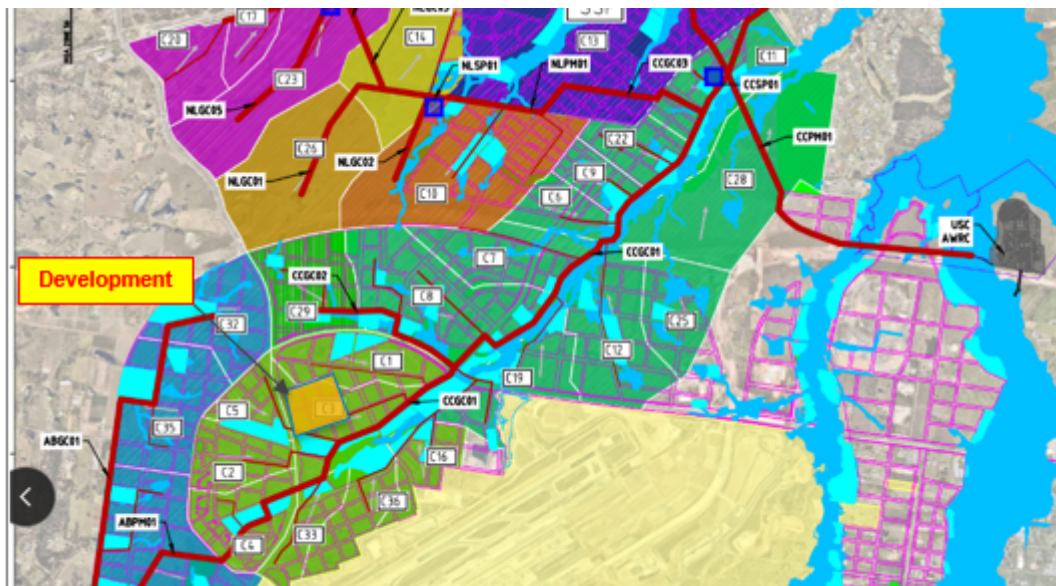


Figure 3: Proposed Cosgrove carrier and pumping station.



Figure 4 – Proposed sewer reticulation inside the development (developer)

- **You must construct a wastewater main extension to serve Lot 1000.** The terms of the Deed define this extension as 'Major Works'.
- Lot 1001 is shown as a residue lot/s in the Development Consent. Therefore, we'll only make a requirement for that lot/these lots when an approval within the meaning of Section 78 of the *Sydney Water 1994* is obtained and an application for a Section 73 Certificate is made.

3.3 Storm Water



The Regional stormwater infrastructure will be delivered in stages, either by Sydney Water or by developers on behalf of Sydney Water, in line with development progress.

Elements of the Integrated Stormwater Scheme may be required to be in place to enable development to progress. If your site is affected by Regional Stormwater Infrastructure, this infrastructure will be required to be delivered as part of the development process. The design must align with the Scheme Plan and Sydney Water endorsement will be required to progress your development application and Section 73 application for the site. We have assessed your application and found that:

The site is impacted by infrastructure identified in the Integrated Stormwater Scheme Plan and any development shall align with the Scheme Plan and Scheme Plan Principles unless otherwise agreed with Sydney Water.

Sydney Water note that the following infrastructure is located on your Lot/s, includes

Component	Specific details	Requirements
Regional stormwater basin (sediment basin, wetland, bioretention, storage pond)	Ag_CC13A, Ag_13B and Ag_CC14	Refer to Sydney Water design guidelines. The developer will need to work with Sydney Water to ensure the design meets our requirements.
Stormwater pipelines for harvesting network	Low Pressure System connected to upstream basin Ag_CC12A and AG_CC12B and downstream basin Ag_CC15 Harvesting pit and dual pumps at each storage pond	Refer to Sydney Water design guidelines.

Sydney Water will finalize the Scheme Plan by December 2025 after extensive consultation with industry and government stakeholders. Sydney Water will assess the proposal against adopted criteria that balance various outcomes that the Scheme must achieve, including long term operating costs and capability, strategic intent, recognition of Country, blue green corridors, biodiversity, and equity for other landowners.

From review of the information provided, the proposed plans need to be updated to align with the Scheme Plan. Key required updates include:

- ❑ Correct footprint and location of Basin Ag_CC14
- ❑ Correct footprint and location of Basin Ag_CC13B
- ❑ Correct catchment boundaries at the North of the site.

Please note that any future design changes deviating from the Scheme Plan will require Sydney Water's approval and may necessitate the developer entering into a cost recovery agreement or similar arrangement to ensure the proposed changes meet our requirements. The developer must understand and agree to these conditions for Sydney Water to review and endorse the proposed changes.

- 1) Any proposed variations to the Scheme will only be considered by Sydney Water if they meet the Innovation Principle (15) in the Stormwater Management Framework for Aerotropolis and Mamre Road Precincts and the Stormwater Scheme Principles or by special circumstance.

- 2) The proponent must enter into an agreement (cost recovery or similar) with Sydney Water. The costs for this variation process (including assessment of Sydney Water's options) will be borne by the proponent and are not reimbursable regardless of the outcome. The proponent should initially discuss any variation with Sydney Water's relevant Account Manager and is to submit an outline of the requested variations to Sydney Water to enable an estimate of assessment costs.
- 3) If post detailed review and modelling the proposed changes are deemed acceptable, Sydney Water will provide a letter to the proponent and development consent authorities endorsing the change. **Ideally, this should occur prior to any development application is lodged to reduce impact on broader design considerations.**
- 4) If the proponent submits a development application with proposed changes to the Scheme Plan without the Sydney Water endorsement, Sydney Water will reject the application. The proponent will then be required to enter into an agreement to resolve the design before any endorsement is provided.

Stormwater design requirements

Your development must respond to the relevant stormwater requirements in the:

- Aerotropolis Development Control Plan
- [Aerotropolis Integrated Stormwater Scheme Plan](#) (Sydney Water, 2025)
- [Draft Stormwater Scheme Infrastructure Design Guideline](#) (Sydney Water, 2024)
- Technical guidance for achieving Wianamatta - South Creek stormwater management targets (DPE, 2022) for both construction and operational phases (including for interim periods before the Regional Stormwater Scheme is available).

Additionally, your development must not preclude the efficient delivery of regional stormwater infrastructure.

The provision of stormwater and recycled water services to your development will likely require co-ordination with neighbouring developments, transport authorities (Council or Transport of NSW), and others. Please keep a record of discussions and agreements with others as Sydney Water might require these during the review of information.

Regional Scheme Delivery and SSA (Scheme Service Area)

Sydney Water have been working closely with NSW Government Agencies, Industry, and Council and developed the Stormwater Scheme Serviced Area (SSA) approach to ultimately fast track the delivery of regional infrastructure to minimise the need for on-lot abortive works and developable land sterilisation.

The Stormwater Scheme Serviced Area is an area of land that can be developed without the need for interim/temporary on-lot stormwater quality/quantity infrastructure, excluding those that are required specifically in the DCP, such as gross pollution traps, onsite detention, passively watered street trees, erosion and sediment control and sediment basins.

Note Sydney Water is close to getting formal approval of this approach from Councils and DPHI. Please contact Sydney Water via their Account Manager for further details.

Sydney Water note that:

- Basin Ag_CC13A located inside Business Park is treating runoff of 19.7 ha from the Western site of Business Park and part of the catchment of the Northern Road.
- Basin Ag_CC14 located inside Business Park is treating runoff of 21.5 ha from the Eastern site of Business Park
- Basin Ag_CC17 located outside of the Business Park is treating run-off of 12.8 ha from the Northern part of Business Park. Ag_CC17 treats a total catchment of 28.6ha.

44.75 % of Basin Ag-CC17 is therefore dedicated to treat run-off from the northern side of Business Park. Should Business Park wish to avoid Interim infrastructure for this part of the site, a commercial agreement could be reached with Sydney Water for the construction of Ag_CC17, provided that the land for Ag_CC17 is acquired by SW.

This information serves as an initial indication of possibilities. For formal approval, Sydney Water will issue a letter to the developer and all consent authorities, detailing additional information and conditions. If the proponent wishes to explore this option further, please contact your Account Manager to arrange a meeting with the Wianamatta Stormwater team.

If the proponent does not want to explore this option, they must meet the interim on-lot requirements which are assessed by Council or DPHI depending on the type of development.

Stormwater Infrastructure Contributions

The proposed development will be serviced by Sydney Water's integrated regional stormwater infrastructure and an infrastructure contribution will be applicable proposed development.

Sydney Water is currently preparing a Development Servicing Plan (DSP) for the Aerotropolis Precinct. This DSP will outline Infrastructure Contributions to be paid to Sydney Water for the provision of Stormwater services and recycled water infrastructure to the Precinct.

If the DSP is **not** registered when you have completed all other requirements under the final Notice, we may issue a S73 Certificate for your development if you enter into a bonding agreement with Sydney Water and deliver the bond to us. The bond value would be equivalent to the anticipated Infrastructure Contributions for the development. Once the DSP is registered, Sydney Water will issue an invoice to you for your Infrastructure Contribution calculated in accordance with the DSP which must be paid to Sydney Water before the bond can be released.

If the DSP **is** registered by the time, you've completed all other requirements under the final Notice, Sydney Water will issue an invoice for your Infrastructure Contribution calculated in accordance with the DSP. You must pay this invoice before the S73 Certificate can be issued.

Potential Developer Delivered Works Agreement

The developer could design and construct regional stormwater infrastructure works on behalf of Sydney Water under an agreement. A Stormwater Developer Works Agreement is a voluntary arrangement between a developer and Sydney Water. It requires the developer to undertake identified stormwater infrastructure works that are included within a Development Servicing Plan (DSP) for provision to Sydney Water and details the amount Sydney Water will reimburse the developer for those works.

Funding of works

Under our 'Funding of infrastructure to service growth' policy we may agree to contribute towards a portion of the cost of the works you are required to build. This is done either by our Schedule of Rates or via the Procurement process. Your WSC can advise you in relation to this policy, the likelihood of us sharing a portion of the cost and the process you need to satisfy our probity requirements.

If you do choose to request a quote through the Schedule of Rates for our contribution you will avoid going through the full procurement process. Your WSC can advise you of this option.

The funding assessment will be made at the detailed design stage, prior to any construction works commencing. A firm commitment would not be made by us until we:

- Have reviewed the detailed design.
- Have reviewed the detailed documentation needed to meet our probity requirements.
- Come to an agreement on the amount.
- Advised you in writing of that amount.

4. Ancillary matters

4.1 Flow Management and Isolation of our asset

The above works will be constructed with a connection/cut-in to our (wastewater, water and/or stormwater) assets. To see that it complies with Occupational Health and Safety and Environmental legislation you must talk to your WSC about the timely submission to us for a request for flow management and asset isolation requirements.

4.2 Asset adjustments

After we issue this Notice (and more detailed designs are available), we may require that the water main/sewer main/stormwater located in the footway/your property be adjusted/deviated. If this happens, you will need to do this work as well as the extension we have detailed above at your cost. The work must meet the conditions of this Notice and you will need to complete it before we can issue the Certificate. We'll need to see the completed designs for the work, and we will require you to lodge a security. The security will be refunded once the work is completed.

4.3 Entry onto neighbouring property

If you need to enter a neighbouring property, you must have written permission of the relevant property owners and tenants. You'll have to use our **Permission to Enter form(s)** which you can get from your WSC or our website. Your WSC can negotiate on your behalf. Please ensure you address all items on the form(s) including payment of compensation and whether there are

other ways of designing and constructing that could avoid or reduce impacts on neighbouring properties.

You are responsible for all costs of mediation involved in resolving any disputes. Please allow enough time for any issues to be resolved.

4.4 Costs

Construction of these works will require you to pay project management, survey, design and construction costs directly to your providers. Additional costs payable to us may include:

- Design and construction audit fees
- Contract administration, operational area charge (Cut-In, Connection and Chlorination costs can average \$3,000 for each service) and customer redress before you finalise the development
- Creation or alteration of easements
- Additional fees for re-issuing a Notice of Requirements or Advice letter, or for updating the requirements where you have provided additional or amended information regarding your development
- Additional fees for reviewing alternate servicing option(s) for Minor or Major works
- If we engaged or will engage specialist consultants to review your proposal, we will pass that direct cost back to you as part of the Contract Administration costs. E.g. costs incurred from our Engineering Panel.

Payment for any Goods and Services (including Customer Redress) provided by us will be required prior to the issue of the Section 73 Certificate or release of the Bank Guarantee or Cash Bond.

Your WSC can tell you about these costs.

5. Infrastructure contributions

You must pay an infrastructure contribution towards the cost of each Sydney Water system that will serve your development. Infrastructure contributions are payable regardless of whether you physically connect to our system.

The infrastructure contributions are calculated in accordance with the Development Servicing Plans registered with the Independent Pricing and Regulatory Tribunal (IPART) under the *Independent Pricing and Regulatory Tribunal Act*.

Your infrastructure contributions become payable once your WSC has submitted all Project Completion Packages under each Developer Works Deed to us confirming that the works required under this Notice are complete.

Your applicable charge for each infrastructure contribution is shown in the table below. These amounts have the NSW Government-directed 50% cap applied and are valid if your payment is made this financial year. **These amounts will change if your payment is made after 1 July** – see Section 5.1 Price Changes for full details.

Development Servicing Plan (DSP)	Basis of Calculation	Charge (\$) for Applicable Period (11/20/25-6/30/26)	Charge (\$) for Applicable Period (7/1/26-11/19/26)
Nepean River Wastewater	Industrial Flow 34.850 @ \$8498.82 per ET = \$296183.88 based on Flow rates in paragraph below less Credit of \$0.0 for previous payment/use	\$296,183.88	TBA
Greater Sydney Drinking Water	Industrial Flow 32.419 @ \$1741.02 per ET = \$56441.44 based on Flow rates in paragraph below less Credit of \$0.0 for previous payment/use	\$56,441.44	TBA
DEVELOPER CHARGES TOTAL:		\$352,625.32	TBA

- The charges in the table, and our detailed requirements are based on your subdivision needing an average day water demand of 13.94kl, and an average day sewer discharge of 12.243kl. Storm Water and Recycled Water Charges are yet to be determined at this stage.
- If the subdivision generates a greater demand, you may have to pay more in charges, and we may need to revise the requirements. If you are going to sell the subdivision, you have to explain the situation to prospective buyers as part of the requirements of Vendor Disclosure.**

5.1 Price changes

If you pay after 1 July, your infrastructure contributions charges will be adjusted for:

- Changes to the Consumer Price Index (CPI). Our prices increase by CPI each financial year. CPI is the weighted average of the capital cities CPI for the 12 months to the end of the previous March.
- The NSW Government-directed transition pathway for infrastructure contributions for drinking water and wastewater infrastructure:

Financial Year payment is made	Percentage of infrastructure contribution payable
1 July 2023 to 30 June 2024	Infrastructure contribution capped at 0% of the full price
1 July 2024 to 30 June 2025	Infrastructure contribution capped at 25% of the full price
1 July 2025 to 30 June 2026	Infrastructure contribution capped at 50% of the full price
1 July 2026 onwards	Full price payable

No transition pathway applies to your recycled water infrastructure contribution.

- Any updates to our Development Servicing Plans (including prices). Our Development Servicing Plans must be updated every five years. The next updates will be introduced by 31 December 2028.

5.2 How to pay your infrastructure contribution

Once your WSC has submitted all the Project Completion Packages under each Developer Works Deed to us confirming that the works are complete and your development can connect to our system, and you are ready to pay the infrastructure contribution, you are to request Sydney Water, via your WSC to issue you an invoice for payment.

You must pay your infrastructure contribution directly to us in accordance with the invoice.

You must pay these infrastructure contributions before we will grant your Section 73 Compliance Certificate.

Your WSC is your point of contact with us. They can answer questions you might have on our developer process and charges, or you can visit our websites [Plumbing, building and developing](#) page.

6. Approval of your Building Plans

You must have your building plans approved **before the Certificate can be issued. In any case, building construction work MUST NOT commence until we have given you approval.** Approval is needed because construction/building works may affect our assets (e.g. water and sewer mains).

Your WSC can tell you about the approval process including:

- Your provision, if required, of a “Services Protection Report” (also known as a “pegout”). This is needed to check whether the building and engineering plans show accurately where our assets are located in relation to your proposed building work. Your Coordinator will then either approve the plans or make requirements to protect those assets before approving the plans
- Possible requirements
- Their costs
- Timeframes.

We recommend that you apply for Building Plan Approval early as in some instances your WSC may need to refer your building plans to us for detailed review. You’ll be required to pay us for the costs associated with the detailed review.

You can also find information about this process (including technical specifications) on our [Plumbing, building & developing](#) page on our website or call us on 13 20 92.

Notes:

- **The Certificate will not be issued until the plans have been approved and, if required, our assets are altered or deviated**
- **You can only remove, deviate, or replace any of our pipes using temporary pipework if you have written approval from us. You must engage your Coordinator to arrange this approval**
- **You must obtain our written approval before you do any work on our systems. We'll take action to have work stopped on the site if you do not have that approval. We will apply Section 44 of the *Sydney Water Act 1994*.**

7. Special Requirements

The Final Development Consent

This application is based on the development and consent shown on Page 1. You must give us the **final** Development Consent before we issue the Certificate so we can make sure that the subdivision is the same.

If the subdivision is the same and all the requirements of this Notice have been met, we will issue the Certificate. If the subdivision is NOT, the same you must reapply (and pay another application fee) and we will issue another Notice. The requirements and charges may change in that Notice.

Other things you need to do (not required for your Section 73 Certificate)

Shown below are other things you need to do that are NOT a requirement for the Certificate. They may be a requirement from us in the future because of the impact of your subdivision could have on our assets. You must read them before you go any further.

Disused Sewerage Service Sealing

Please don't forget that you must pay to disconnect all disused private sewerage services and seal them at the point of connection to our sewer main. This work must meet our standards in the Plumbing Code of Australia (the Code) and be done by a licensed drainer. The licensed

drainer must arrange for an inspection of the work by a NSW Fair Trading Plumbing Inspection Assurance Services (PIAS) officer. After that officer has looked at the work, the drainer can issue the Certificate of Compliance. The Code requires this.

Soffit Requirements

Please be aware that floor levels must be able to meet our soffit requirements for property connection and drainage.

A report supplying modelled pressures called the Statement of Available pressure can be purchased on-line through [Sydney Water Tap in](#)™ and may be of some assistance when defining the firefighting system. The Statement of Available pressure may advise flow limits that relate to system capacity or diameter of the main and pressure limits according to pressure management initiatives. If mains are required for firefighting purposes, the mains shall be arranged through the water main extension process and not the Section 73 process.

Large Water Service Connections (Dual Water)

A drinking water main and a recycled water main will be available, once you have completed your drinking and recycled water main construction to serve your subdivision. The size of your subdivision means that you will need dual water connections larger than the standard domestic 20 mm size.

To get approval for your connection, you will need to lodge an application on our [Sydney Water Tap in](#)™. You, or your hydraulic consultant, may need to supply the following:

- a plan of the hydraulic layout
- a list of all the fixtures/fittings within the property
- a copy of the fireflow pressure inquiry issued by us
- a pump application form (if a pump is required)
- all pump details (if a pump is required).

You'll have to pay an application fee.

The service connection will need to meet with:

Administrative requirements of the Plumbing Code of Australia; and
Technical requirements of the Dual Water Drawings Set within the Code.

We don't consider whether a water main is adequate for firefighting purposes for your subdivision. We can't guarantee that this drinking/recycled water supply will meet firefighting requirements. You should seek specific advice about firefighting requirements, the Council/Private Certifier and your hydraulic consultant can help.

Disused Water Service Sealing

You must pay to disconnect all disused private water services and seal them at the point of connection to our water main. This work must meet our standards in the Plumbing Code of Australia (the Code) and be done by a licensed plumber. The licensed plumber must arrange for an inspection of the work by a NSW Fair Trading Plumbing Inspection Assurance Services (PIAS) officer. After that officer has looked at the work, the drainer can issue the Certificate of Compliance. The Code requires this.

Other fees and requirements

The requirements in this Notice relate to your Certificate application only. We may be involved with other aspects of your subdivision and there may be other fees or requirements. These include:

- plumbing and drainage inspection costs
- the installation of backflow prevention devices
- trade waste requirements
 - large water connections and council firefighting requirements (It will help you to know what the firefighting requirements are for your subdivision as soon as possible. Your hydraulic consultant can help you here).

END OF ADVICE