

TELOPEA STAGE 1A

DPE RFI RESPONSE

13/12/2023

REV B



DPE RFI 6 NOVEMBER COMMENT

2.1.a.
The Subdivision Plans show the south-eastern corner of the Neighbourhood Park will not be dedicated to Council, while the Landscape Plans incorporate this space as part of the public park. The Department does not support shared ownership of the public park noting potential access, maintenance, and liability conflicts. Accordingly, reduce the Stage 1A basement footprint so that it does not extend east beyond the building line of Building E.

2.1.b.
The Department raises concerns about the proposed Building A and B basements projecting above the finished ground level along Sturt Street as it would result in large blank walls to the street. Amend the buildings’ design to ensure it achieves an appropriately designed interface to the street.

2.1.c.
The Department notes the communal open space for Building A is shown in varied locations across plans/reports. The Department raises concern that in some instances it is identified as a narrow setback (less than 3 m) to the road (Sturt Street or the Mews) resulting in poor quality communal open space. Confirm the location/extent of communal open space for Building A and how this space is accessible to residents from the building and is designed to be usable.

2.1.d.
onfirm how Stage 1A addresses the recommendations of the Wind Impact assessment, specifically that the upper-level dual aspect balconies at the corners of Buildings A to E are to be designed as nested/single aspect balconies including full height balustrade, wing walls, wind screens or other practical shielding.

2.1.e.
Confirm that a minimum 1.8 m tall balustrade/landscaping will be provided around the perimeter of communal open space on Level 4 of Building C and Level 5 of Building B.

2.1.f.
Confirm why a 3.15 m floor to floor height is not required for Stage 1A buildings, noting this standard has been adopted for the building envelopes within the Concept Proposal, citing the need to comply with the National Construction Code 2022.

2.1.g.
Confirm the revised Plus Architecture ADG Assessment Schedule dated 3 August 2023 supersedes the individual ADG Assessment Schedules dated 11 February 2023 that accompanied the September 2023 documents package.

2.1.h.
Annotate privacy screens on the floor plans/elevations to prevent overlooking between habitable rooms and balconies where recommended by Plus Architecture (in the ADG Assessment Schedule dated 3 August 2023) and where the ADG separation distances have not been achieved; including bedrooms in A 01.01, A 01.05 and A 02.01 to the eastern boundary, one of the facing bedrooms in apartments A 02.05 or B 02.17, and bedrooms on Levels 7 to 8 of Building C facing the southern boundary.

2.1.i.
Submit an arborist statement confirming that the significant existing tree (Tree 299) on the western side of Building E can be retained, noting the footpaths, ramping and a retaining wall for the terraces appear to impact the root zone.

2.1.j.
Provide updated BASIX Certificates and stamped plans.

DPE COMMENTS - 06 NOVEMBER 2023

STAGE 1A - RTS3



2.1a.) Building E Basement (Neighbourhood Park)

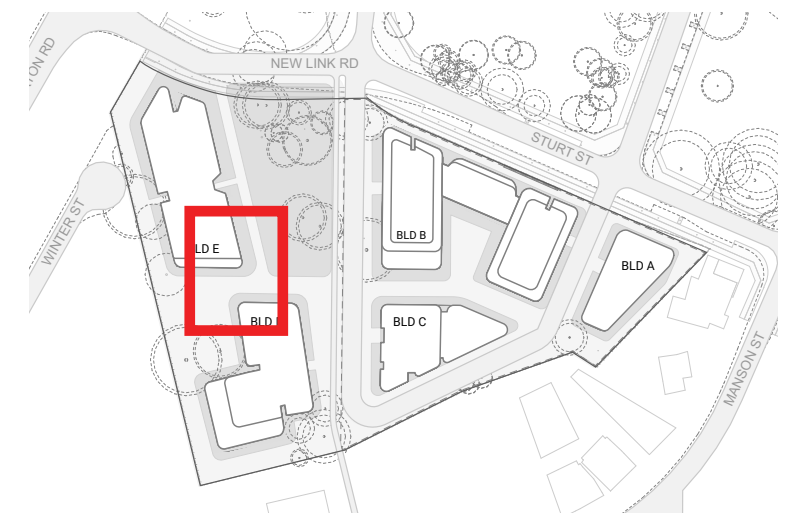
DPE

The Subdivision Plans show the south-eastern corner of the Neighbourhood Park will not be dedicated to Council, while the Landscape Plans incorporate this space as part of the public park. **The Department does not support shared ownership of the public park** noting potential access, maintenance, and liability conflicts. Accordingly, **reduce the Stage 1A basement footprint so that it does not extend east beyond the building line of Building E.**

RESPONSE

Since the preparation of the previous RTS Package, FPA have discussed with Council that they are intending to keep neighbourhood park in private ownership.

This will allow FPA to manage the park via a strata arrangement and avoids any management issues associated with any basement footprint below.



Lower Ground

TELOPEA RESIDENTIAL - STAGE 1A
RESIDENTIAL DESIGN

JOB NO. 20320
DATE 13/12/2023
SCALE NTS



BEFORE 2.1.b.) Building A&B wall height
(Sturt Street)

2.1.b.) Building A&B wall height (Sturt Street)

DPE

The Department raises concerns about the proposed **Building A and B basements projecting above the finished ground level along Sturt Street as it would result in large blank walls to the street**. Amend the buildings' design to ensure it achieves an appropriately designed interface to the street.

RESPONSE

To address DPE's comments, refined plans have been prepared by Plus Architecture (refer to Appendix A).

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

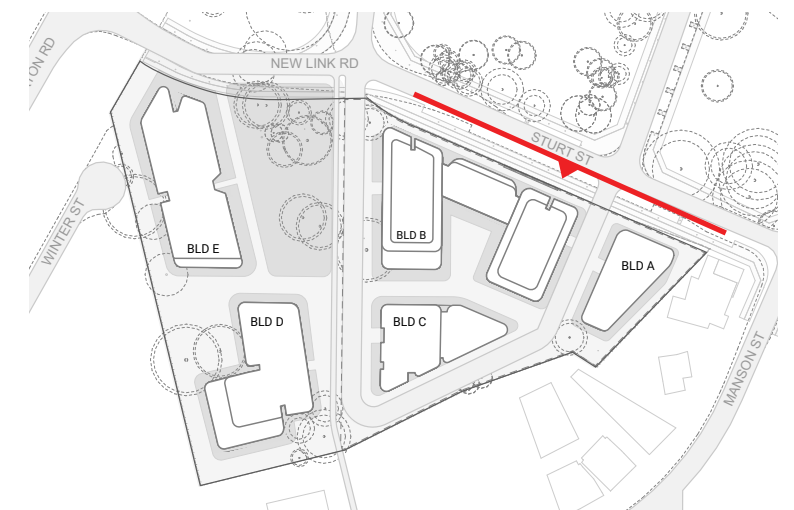
Introduction on 1 x one bedroom apartment in Building A

Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.



AFTER

2.1.b.) Building A&B wall height (Sturt Street)

DPE

The Department raises concerns about the proposed **Building A and B basements projecting above the finished ground level along Sturt Street as it would result in large blank walls to the street.** Amend the buildings' design to ensure it achieves an appropriately designed interface to the street.

RESPONSE

To address DPE's comments, refined plans have been prepared by Plus Architecture (refer to Appendix A).

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

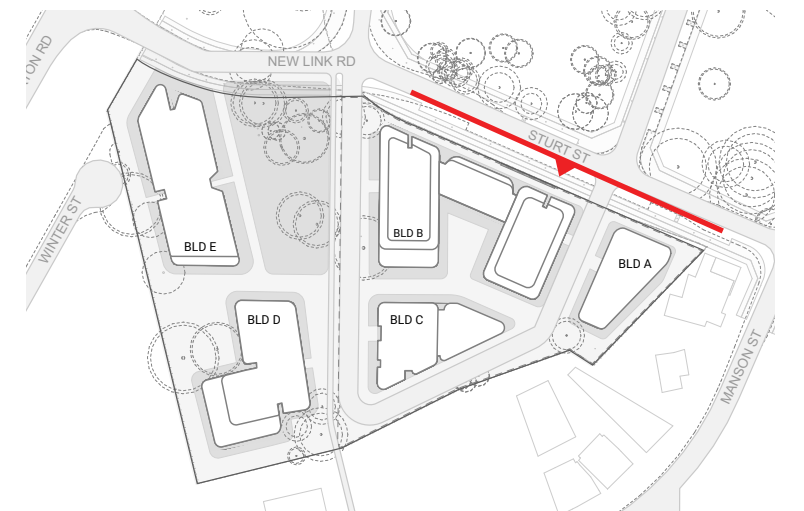
Introduction on 1 x one bedroom apartment in Building A

Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.



BEFORE

YD PUMP ROOM
A:13 m²

FAN ROOM
A:49 m²

+53.900

EXHAUST ABOVE

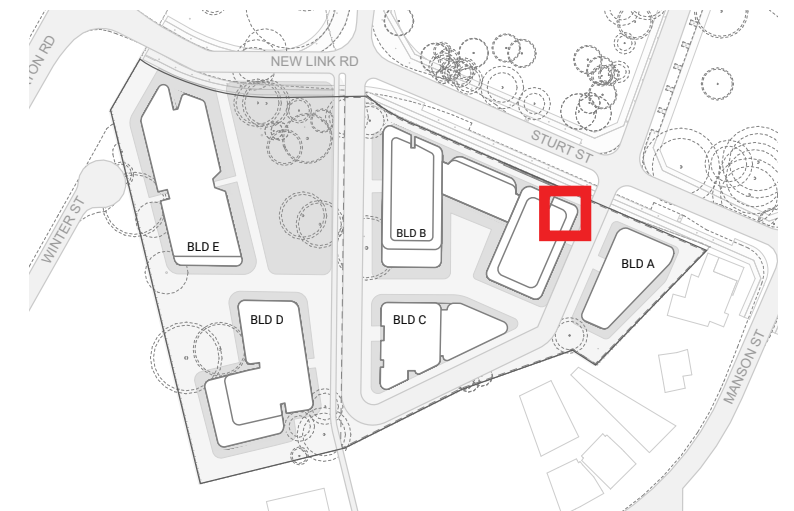
EXHAUST

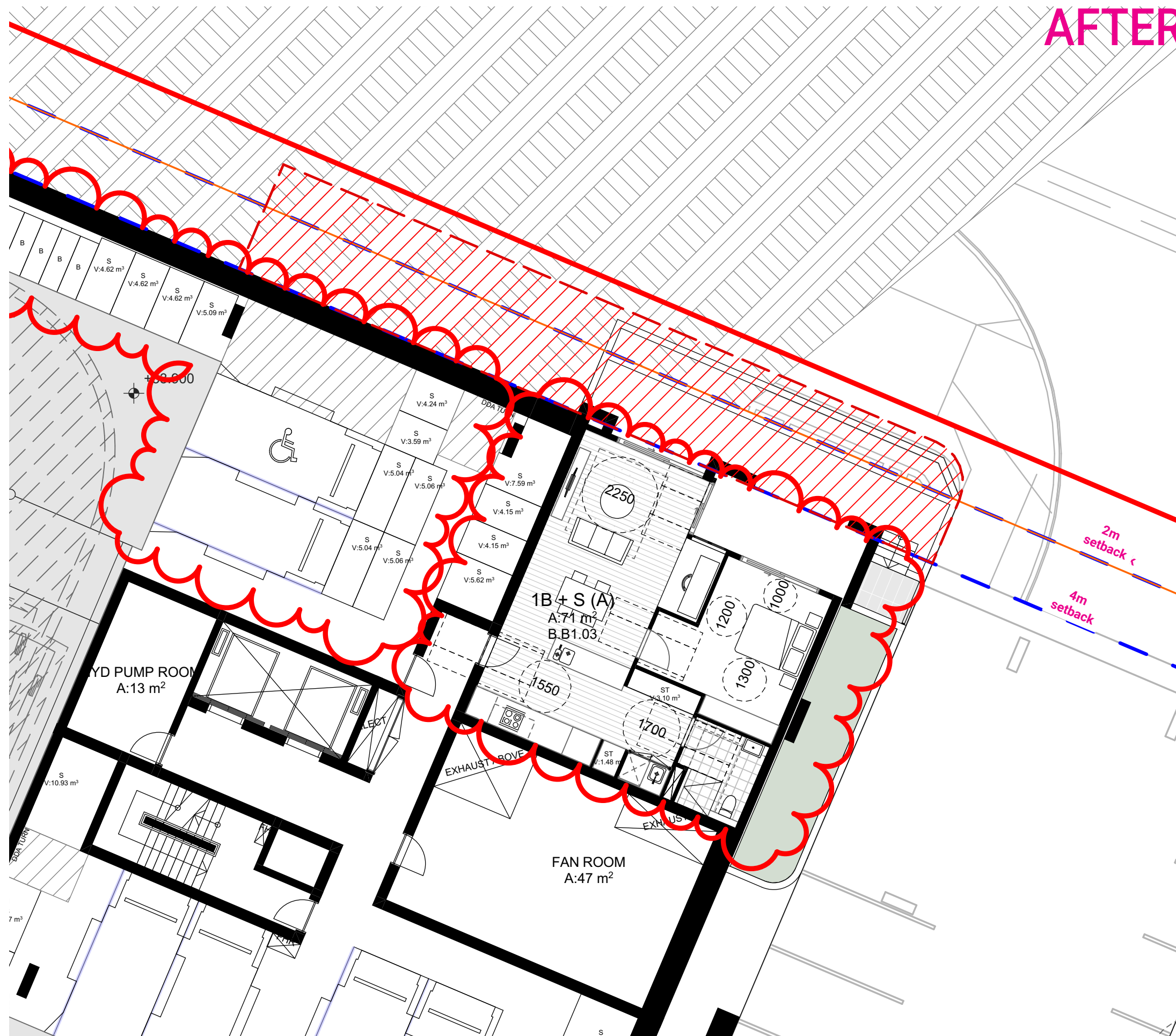
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DPE

RESPONSE

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.





AFTER

2.1.b.) Building A&B wall height (Sturt Street)

DPE

The Department raises concerns about the proposed **Building A and B basements projecting above the finished ground level along Sturt Street as it would result in large blank walls to the street**. Amend the buildings' design to ensure it achieves an appropriately designed interface to the street.

RESPONSE

To address DPE's comments, refined plans have been prepared by Plus Architecture (refer to Appendix A).

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

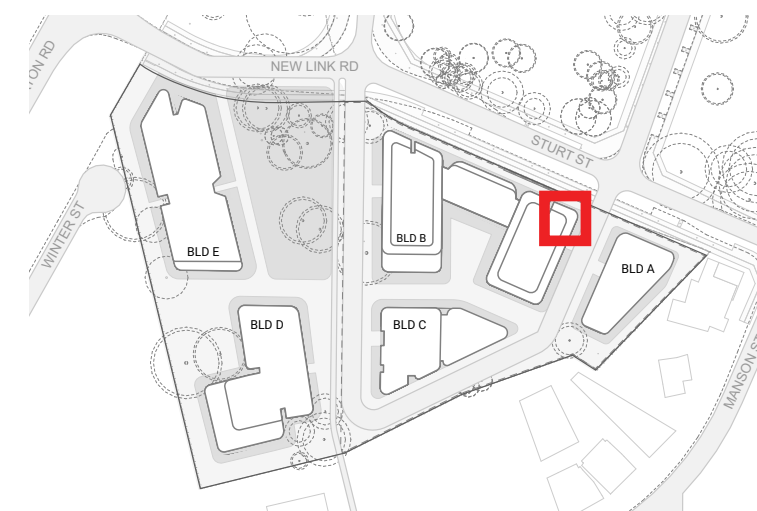
Introduction on 1 x one bedroom apartment in Building A

Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.



unit to sit within basement 1

BEFORE

2.1.b.) Building A&B wall height (Sturt Street)

DPE

The Department raises concerns about the proposed **Building A and B basements projecting above the finished ground level along Sturt Street as it would result in large blank walls to the street**. Amend the buildings' design to ensure it achieves an appropriately designed interface to the street.

RESPONSE

To address DPE's comments, refined plans have been prepared by Plus Architecture (refer to Appendix A).

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

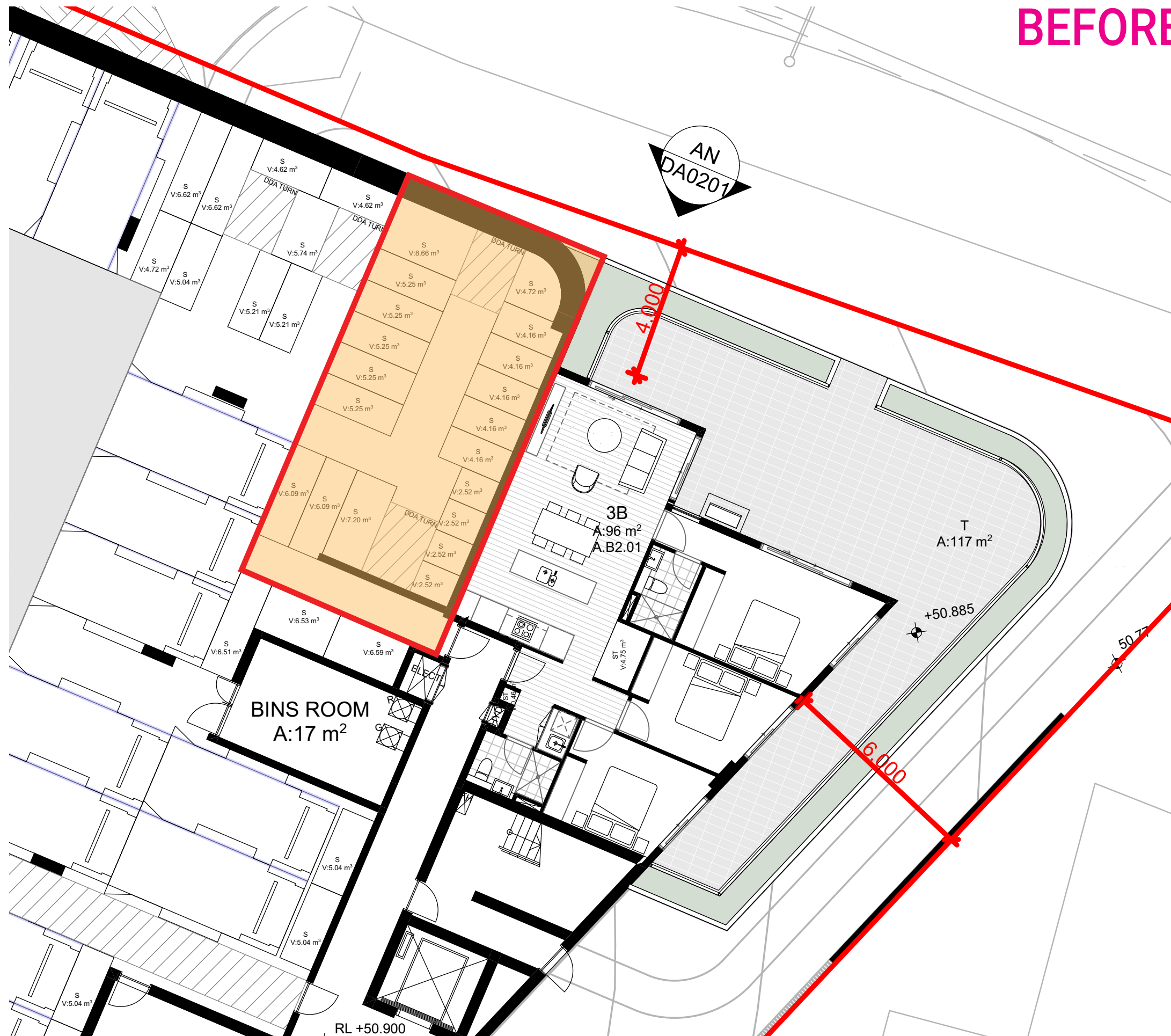
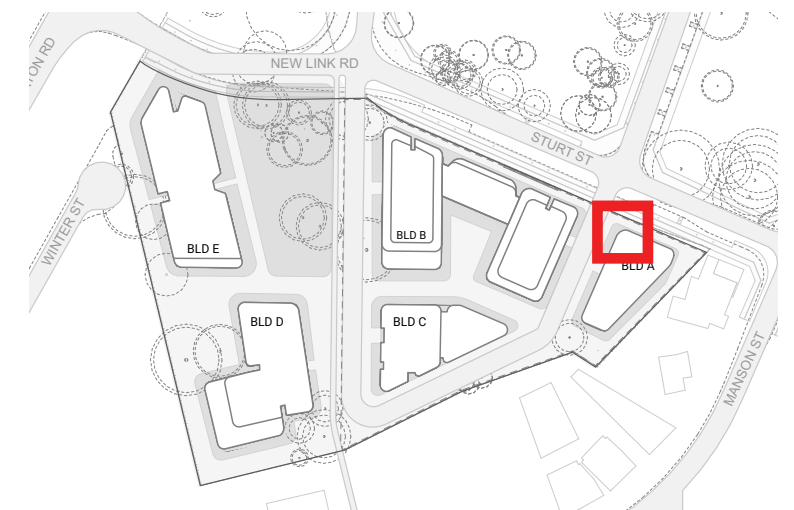
Introduction on 1 x one bedroom apartment in Building A

Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.



unit to sit within basement 2

AFTER

2.1.b.) Building A&B wall height (Sturt Street)

DPE

The Department raises concerns about the proposed **Building A and B basements projecting above the finished ground level along Sturt Street as it would result in large blank walls to the street**. Amend the buildings' design to ensure it achieves an appropriately designed interface to the street.

RESPONSE

To address DPE's comments, refined plans have been prepared by Plus Architecture (refer to Appendix A).

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:

Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building A

Basement 01:

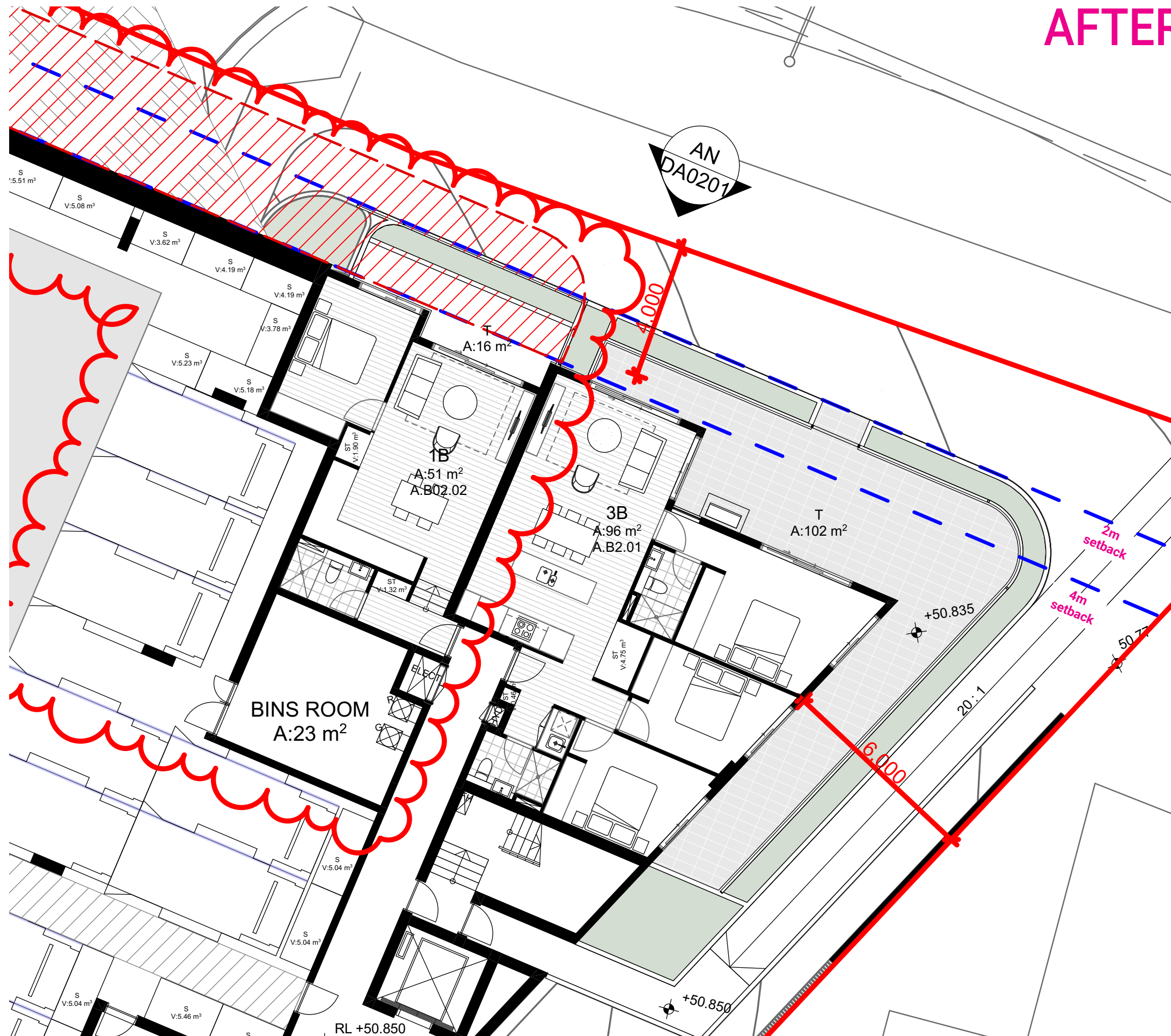
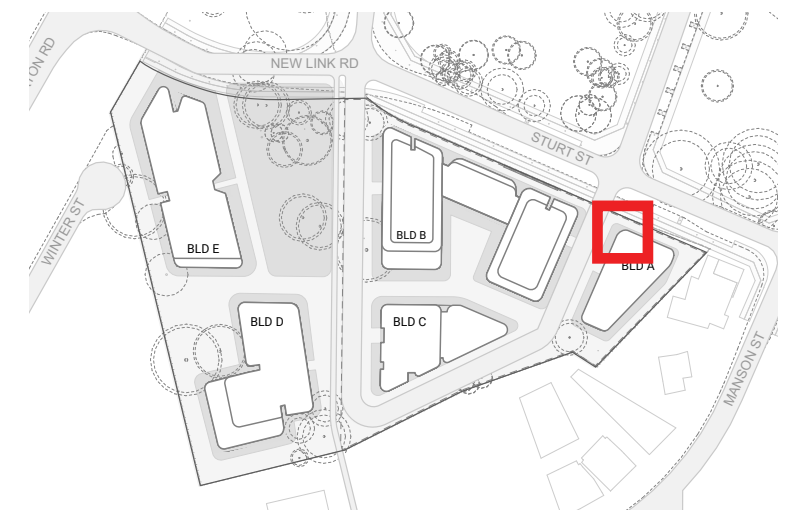
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

Lower Ground:

Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.



unit to sit within basement 2

BUILDING_A BEFORE



BUILDING_A AFTER



2.1.b.) Building A&B wall height (Sturt Street)

DPE

The Department raises concerns about the proposed **Building A and B basements projecting above the finished ground level along Sturt Street as it would result in large blank walls to the street.** Amend the buildings’ design to ensure it achieves an appropriately designed interface to the street.

RESPONSE

To address DPE’s comments, refined plans have been prepared by Plus Architecture (refer to Appendix A).

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council’s request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

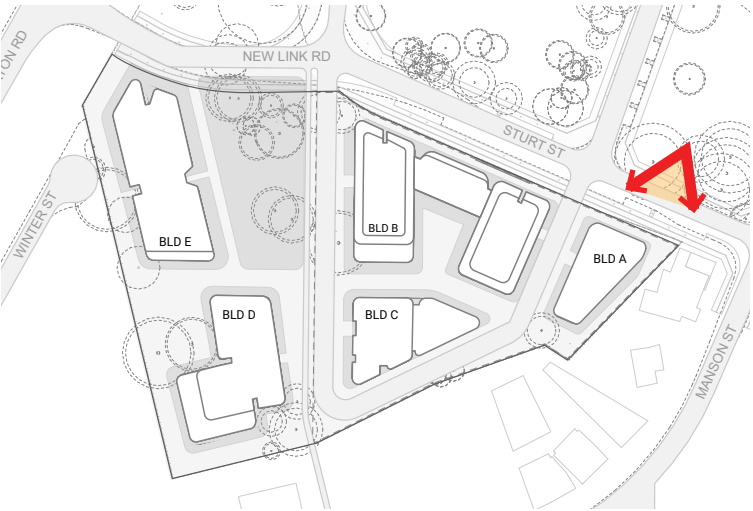
Introduction on 1 x one bedroom apartment in Building A

Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.



2.1.b.) Building A&B wall height (Sturt Street)

DPE

The Department raises concerns about the proposed **Building A and B basements projecting above the finished ground level along Sturt Street as it would result in large blank walls to the street**. Amend the buildings' design to ensure it achieves an appropriately designed interface to the street.

RESPONSE

To address DPE's comments, refined plans have been prepared by Plus Architecture (refer to Appendix A).

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building A

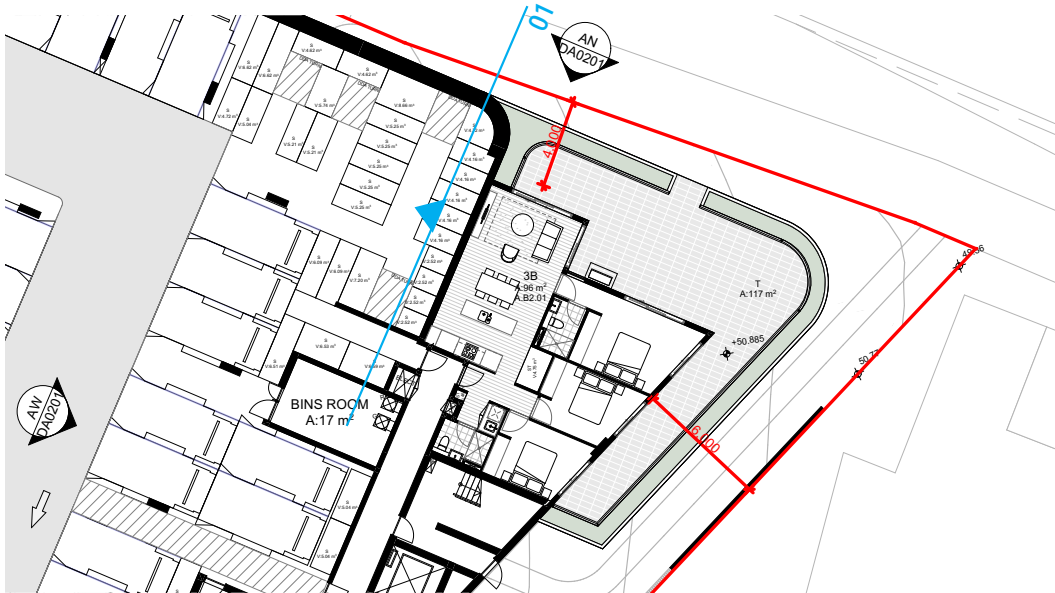
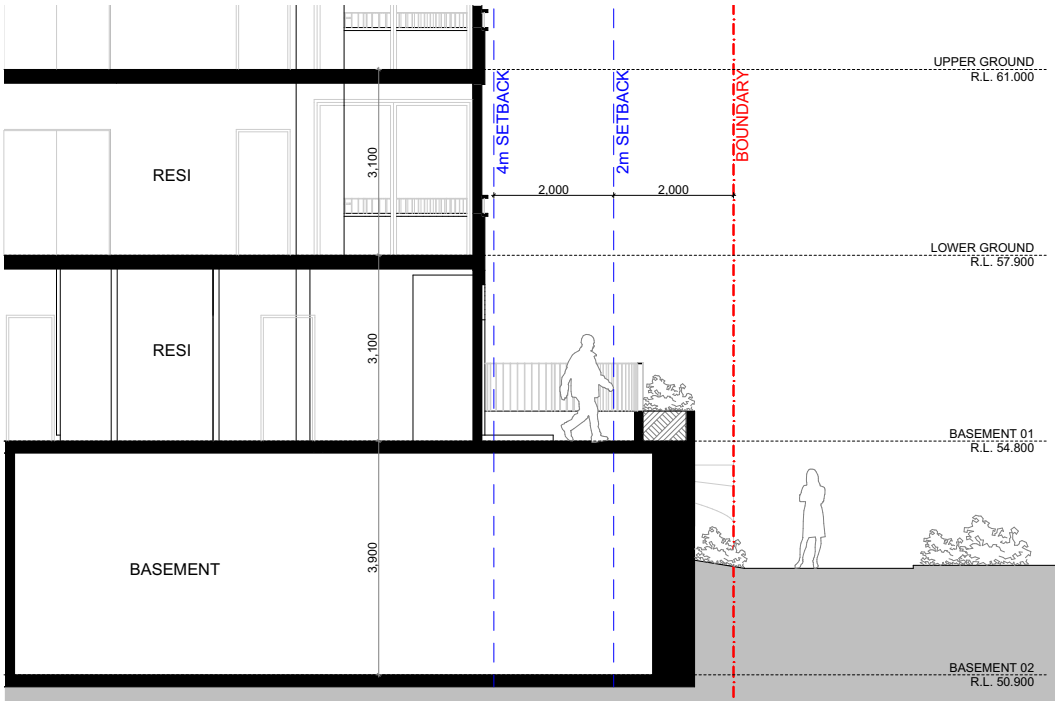
Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

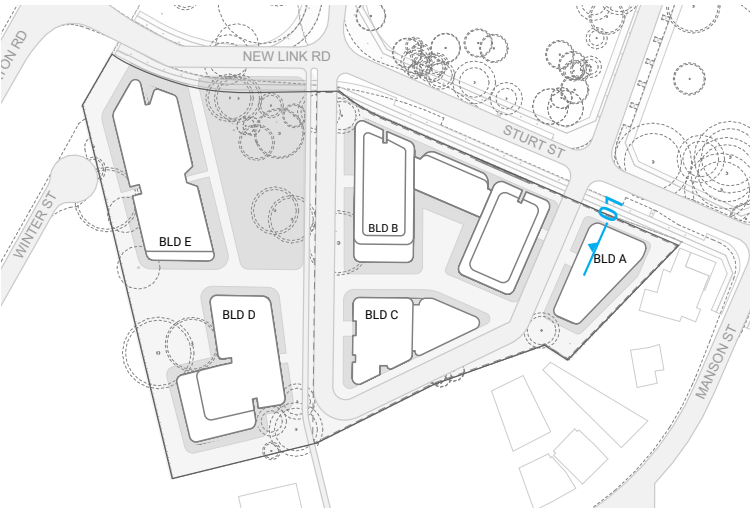
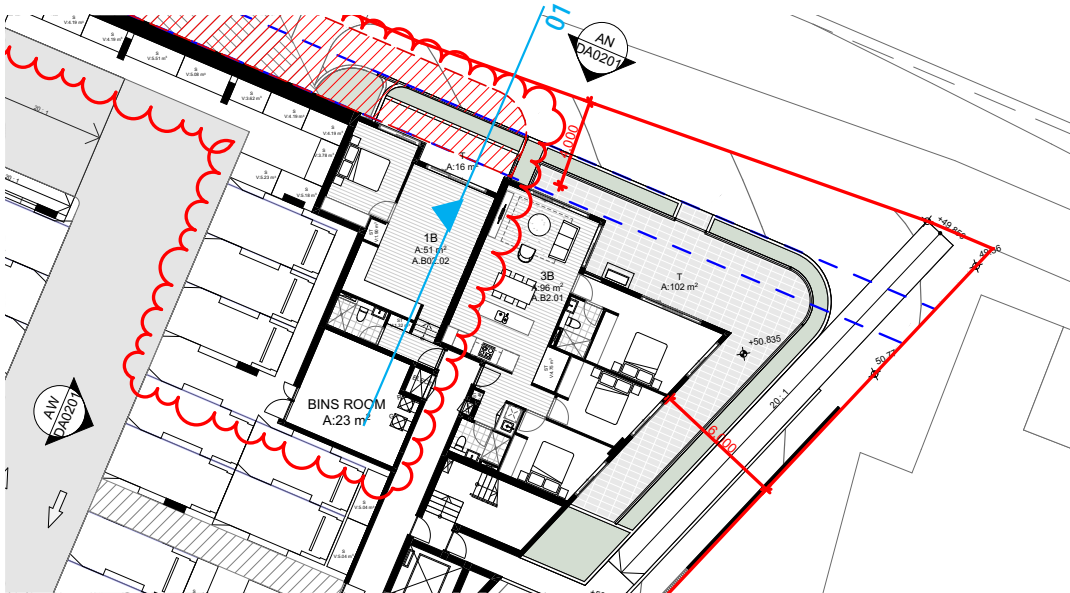
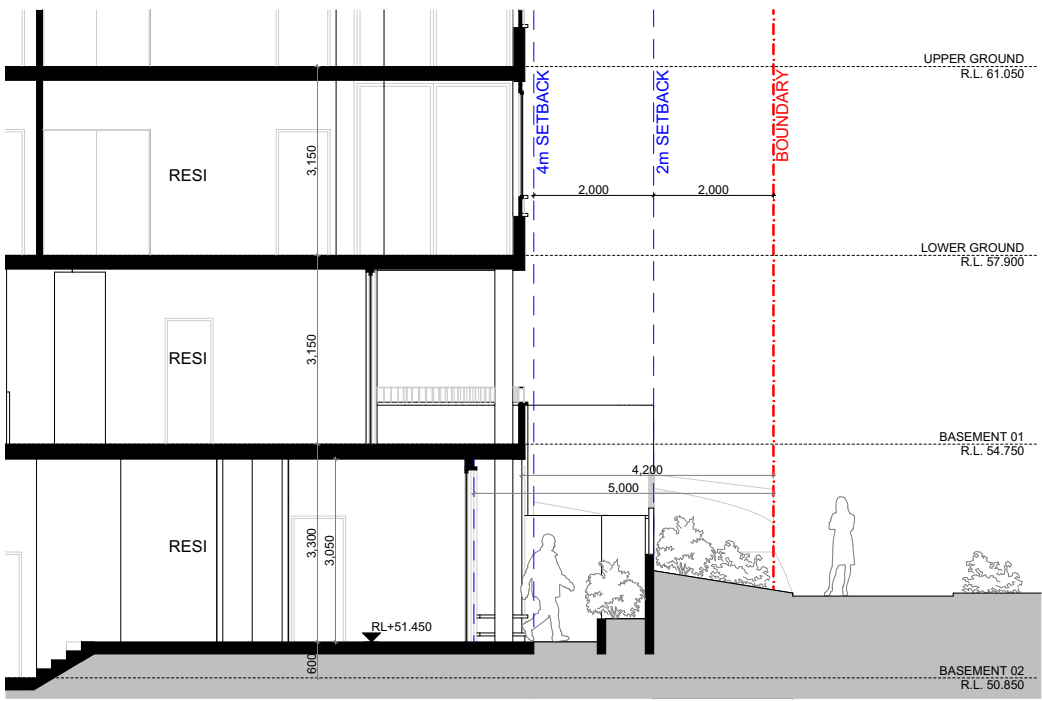
Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.

BUILDING_B BEFORE



BUILDING_B AFTER



2.1.b.) Building A&B wall height (Sturt Street)

DPE

The Department raises concerns about the proposed **Building A and B basements projecting above the finished ground level along Sturt Street as it would result in large blank walls to the street.** Amend the buildings' design to ensure it achieves an appropriately designed interface to the street.

RESPONSE

To address DPE's comments, refined plans have been prepared by Plus Architecture (refer to Appendix A).

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building A

Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

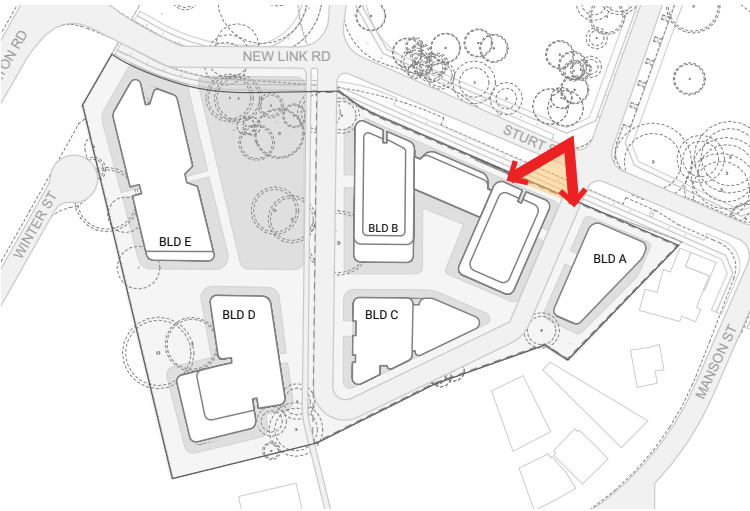
Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.

BUILDING_B BEFORE



BUILDING_B AFTER



2.1.b.) Building A&B wall height (Sturt Street)

DPE

The Department raises concerns about the proposed **Building A and B basements projecting above the finished ground level along Sturt Street as it would result in large blank walls to the street**. Amend the buildings' design to ensure it achieves an appropriately designed interface to the street.

RESPONSE

To address DPE's comments, refined plans have been prepared by Plus Architecture (refer to Appendix A).

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building A

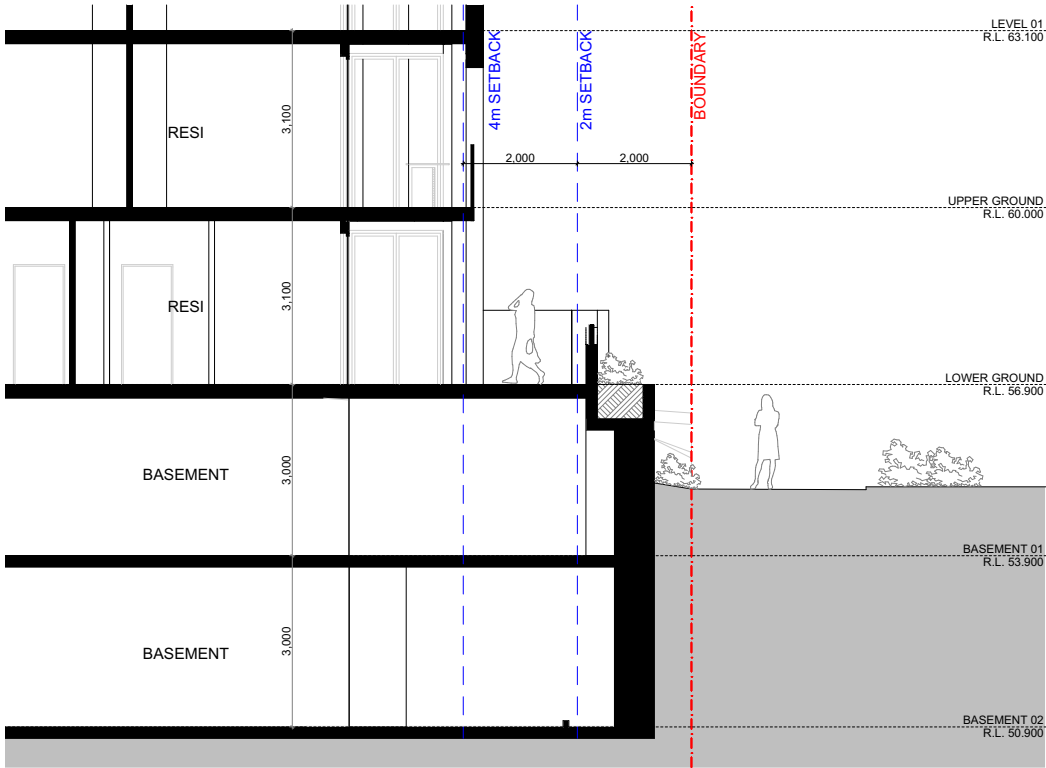
Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

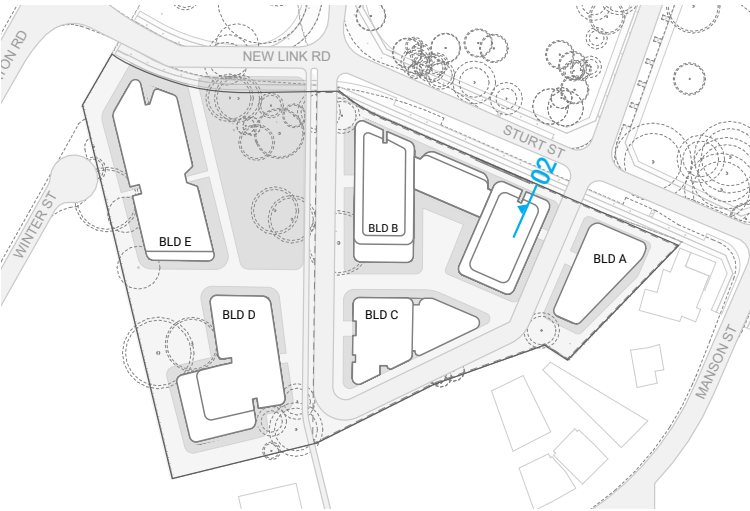
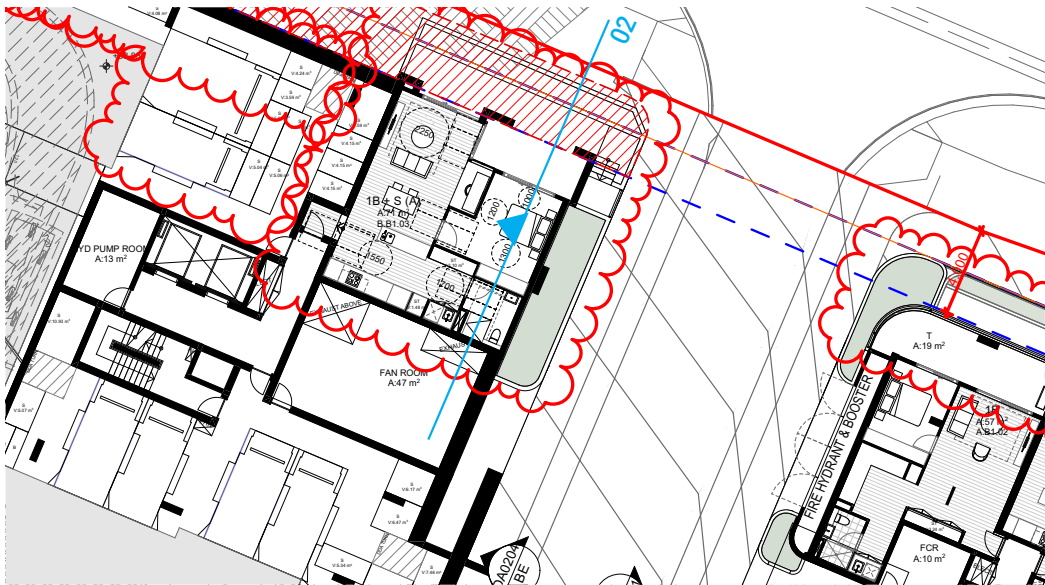
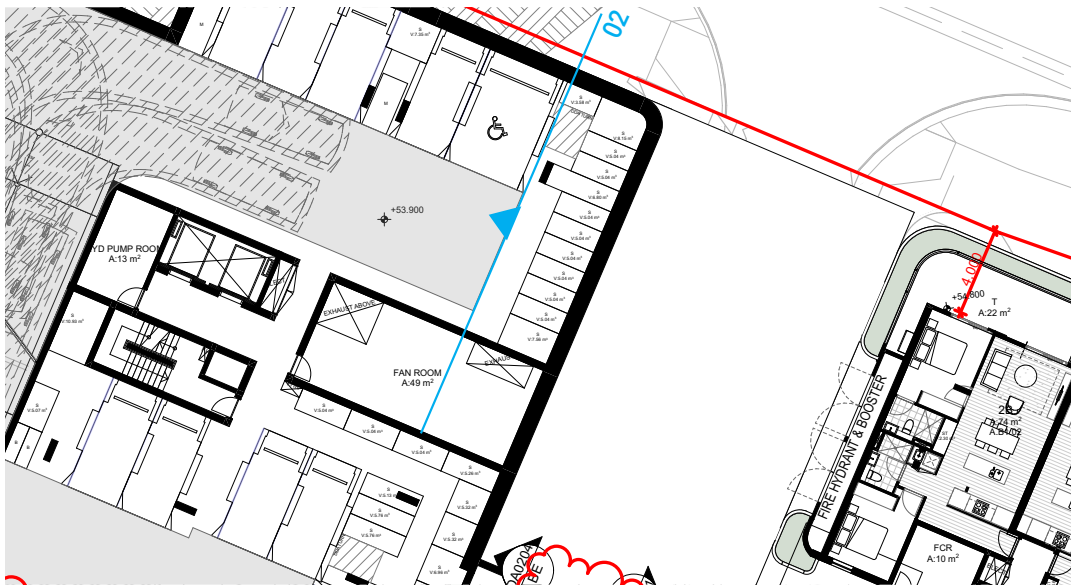
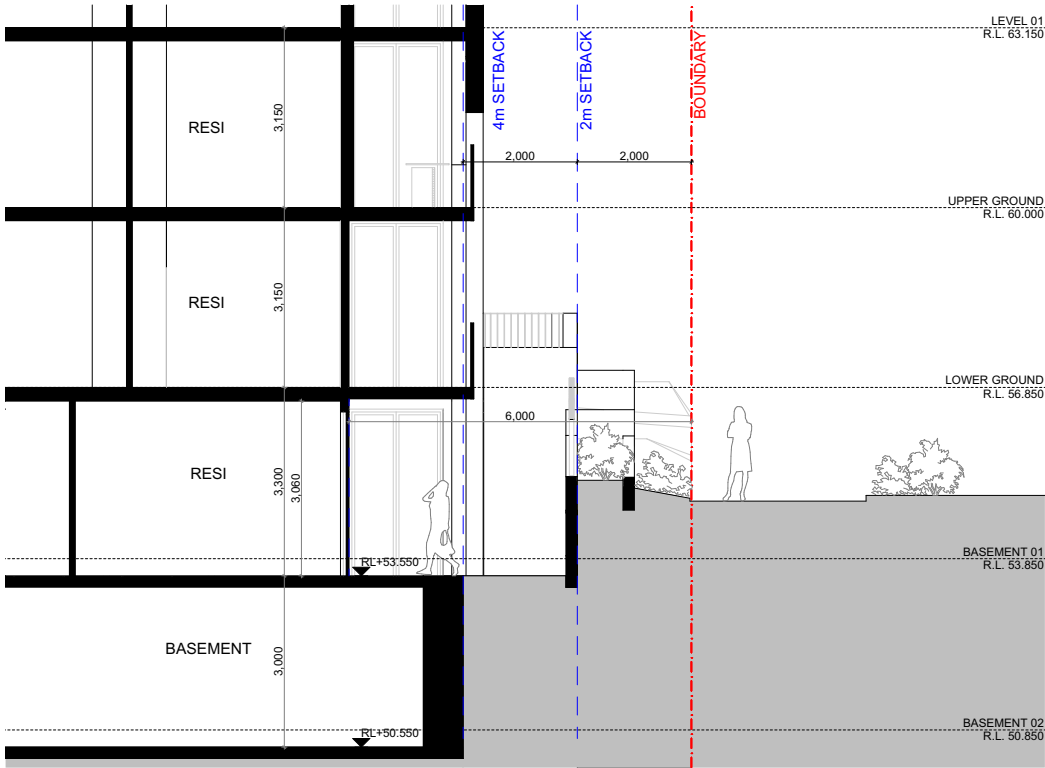
Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.

BUILDING_B BEFORE



BUILDING_B AFTER



2.1.b.) Building A&B wall height (Sturt Street)

DPE

The Department raises concerns about the proposed **Building A and B basements projecting above the finished ground level along Sturt Street as it would result in large blank walls to the street**. Amend the buildings' design to ensure it achieves an appropriately designed interface to the street.

RESPONSE

To address DPE's comments, refined plans have been prepared by Plus Architecture (refer to Appendix A).

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

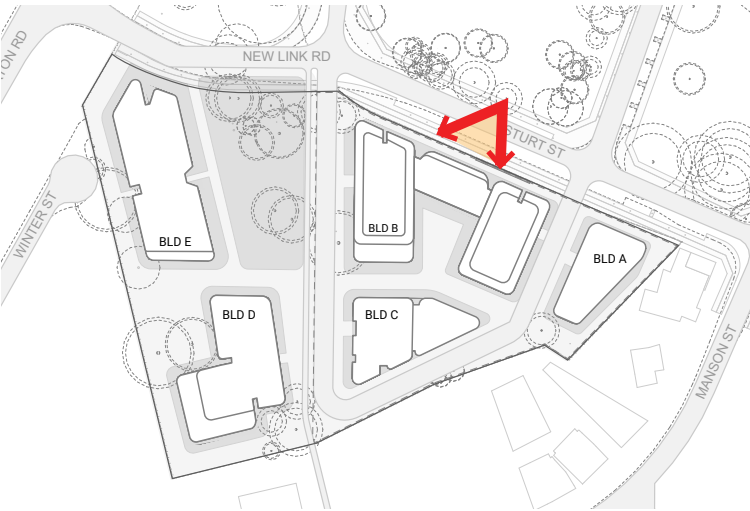
Introduction on 1 x one bedroom apartment in Building A

Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.



BUILDING_B BEFORE



BUILDING_B AFTER



2.1.b.) Building A&B wall height (Sturt Street)

DPE

The Department raises concerns about the proposed **Building A and B basements projecting above the finished ground level along Sturt Street as it would result in large blank walls to the street**. Amend the buildings' design to ensure it achieves an appropriately designed interface to the street.

RESPONSE

To address DPE's comments, refined plans have been prepared by Plus Architecture (refer to Appendix A).

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
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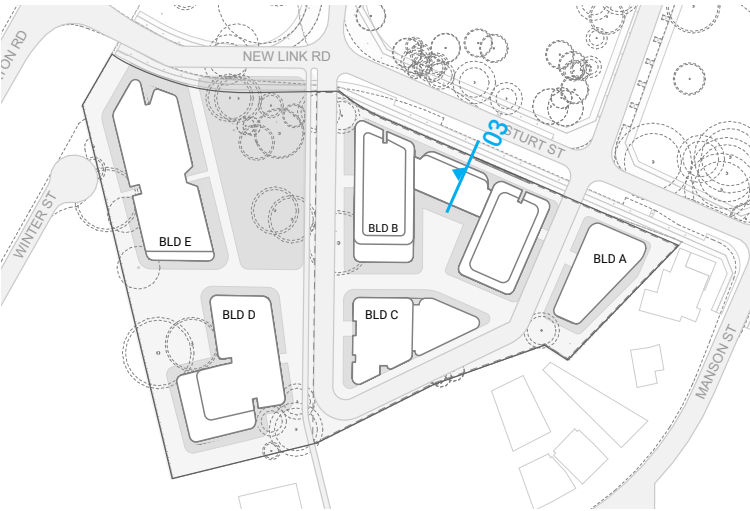
Introduction on 1 x one bedroom apartment in Building A

Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

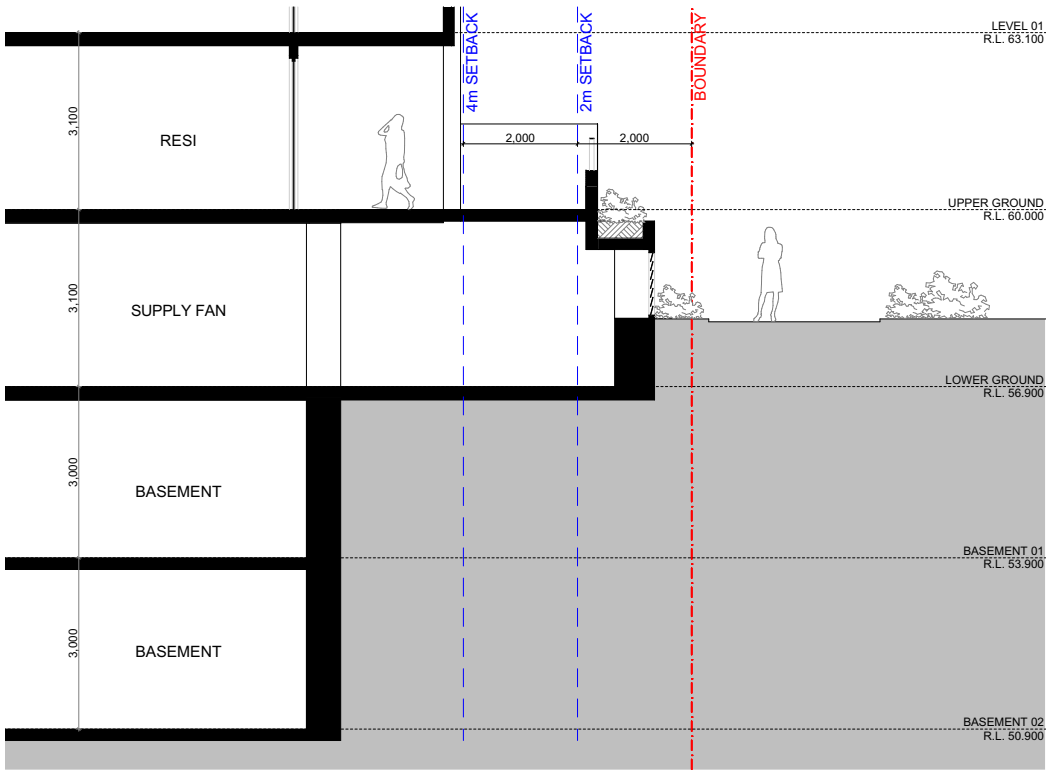
Introduction on 1 x one bedroom apartment in Building B

Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

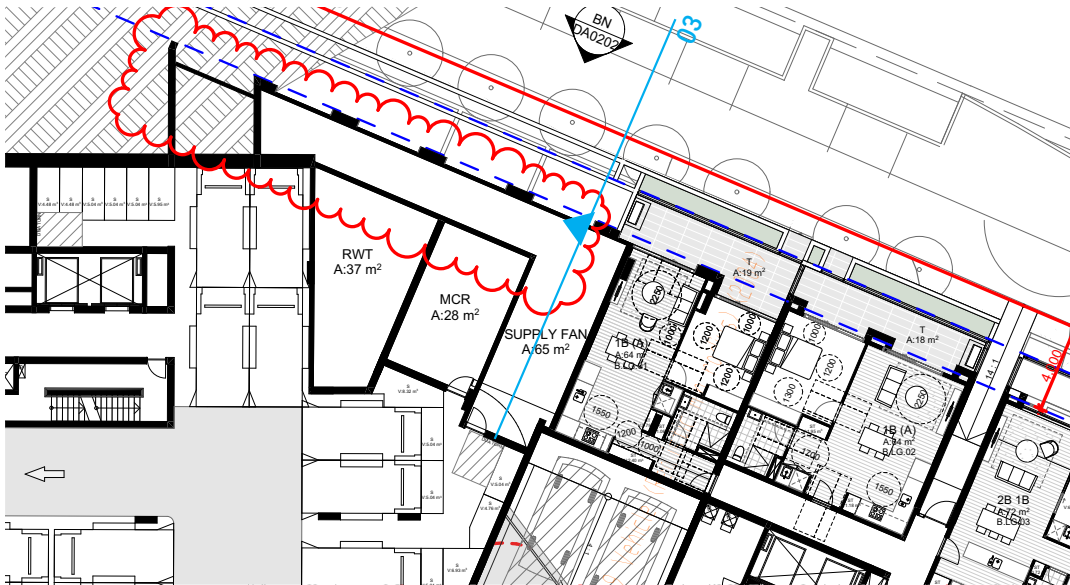
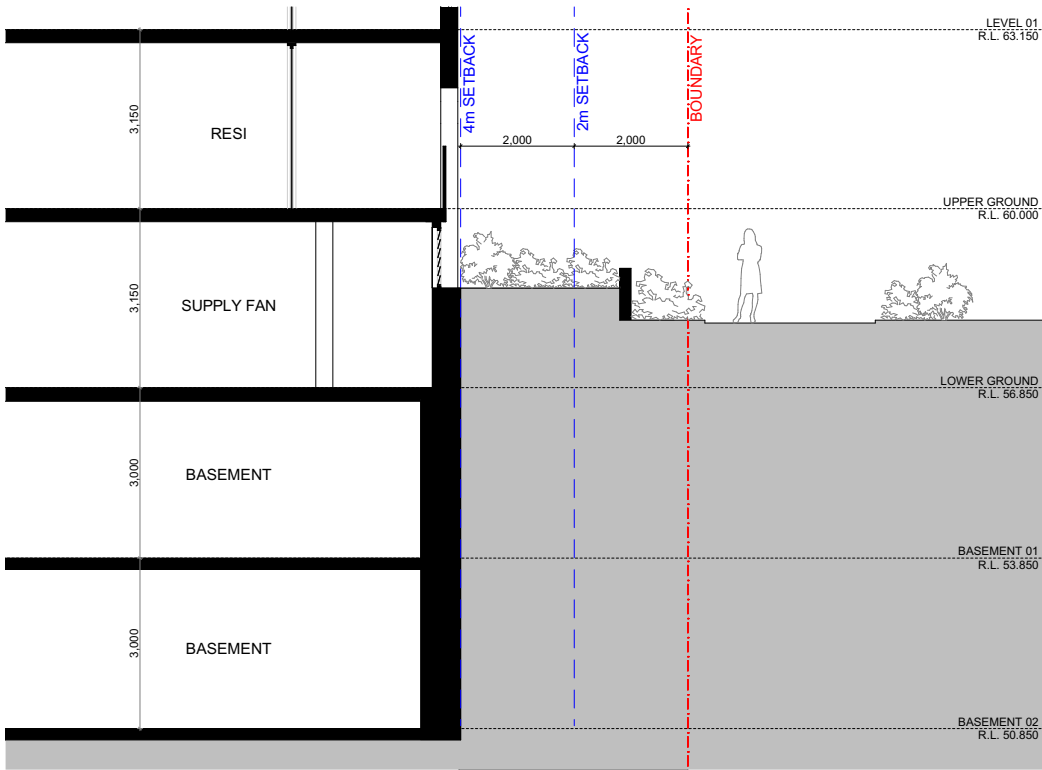
No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.



BUILDING_B BEFORE



BUILDING_B AFTER



2.1.b.) Building A&B wall height (Sturt Street)

DPE

The Department raises concerns about the proposed **Building A and B basements projecting above the finished ground level along Sturt Street as it would result in large blank walls to the street.** Amend the buildings' design to ensure it achieves an appropriately designed interface to the street.

RESPONSE

To address DPE's comments, refined plans have been prepared by Plus Architecture (refer to Appendix A).

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building A

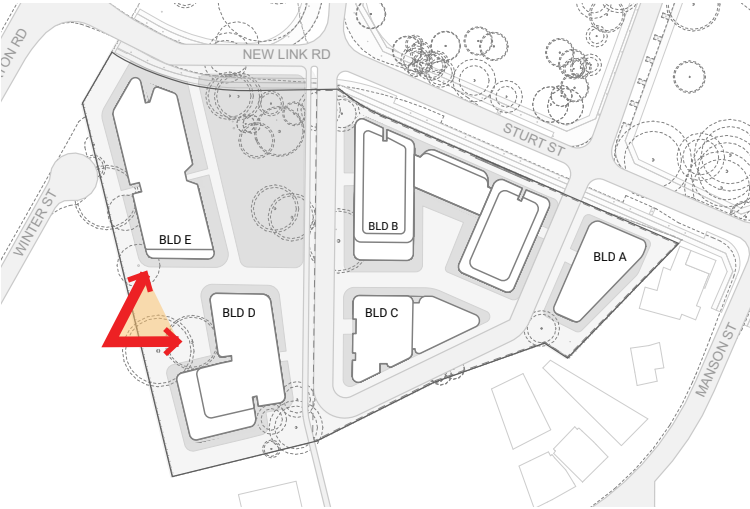
Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.

Futhermore, landscaping has been amended on building D and E frontages to reduce blank walls.



BUILDING_D COMMUNAL BEFORE



BUILDING_D COMMUNAL AFTER



2.1.b.) Building A&B wall height (Sturt Street)

DPE

The Department raises concerns about the proposed **Building A and B basements projecting above the finished ground level along Sturt Street as it would result in large blank walls to the street**. Amend the buildings' design to ensure it achieves an appropriately designed interface to the street.

RESPONSE

To address DPE's comments, refined plans have been prepared by Plus Architecture (refer to Appendix A).

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building A

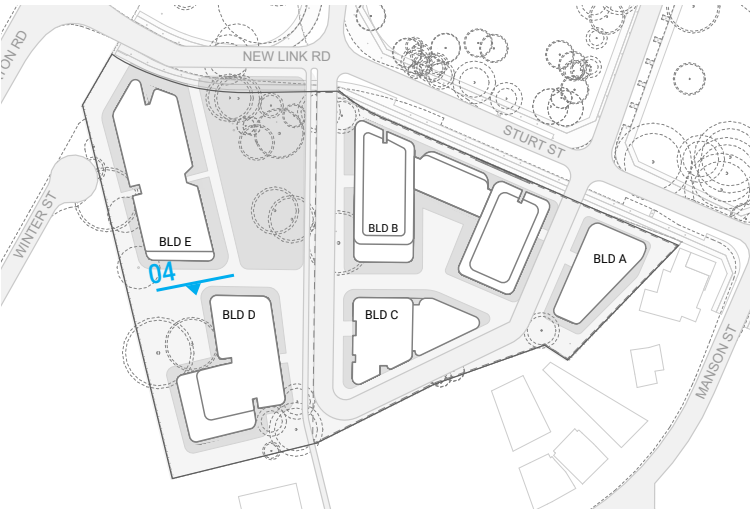
Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

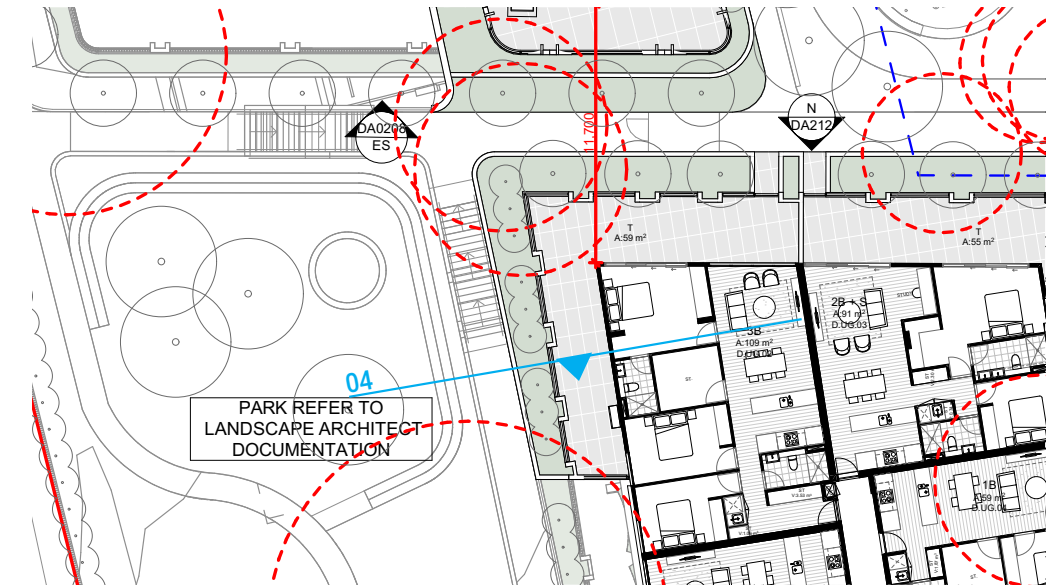
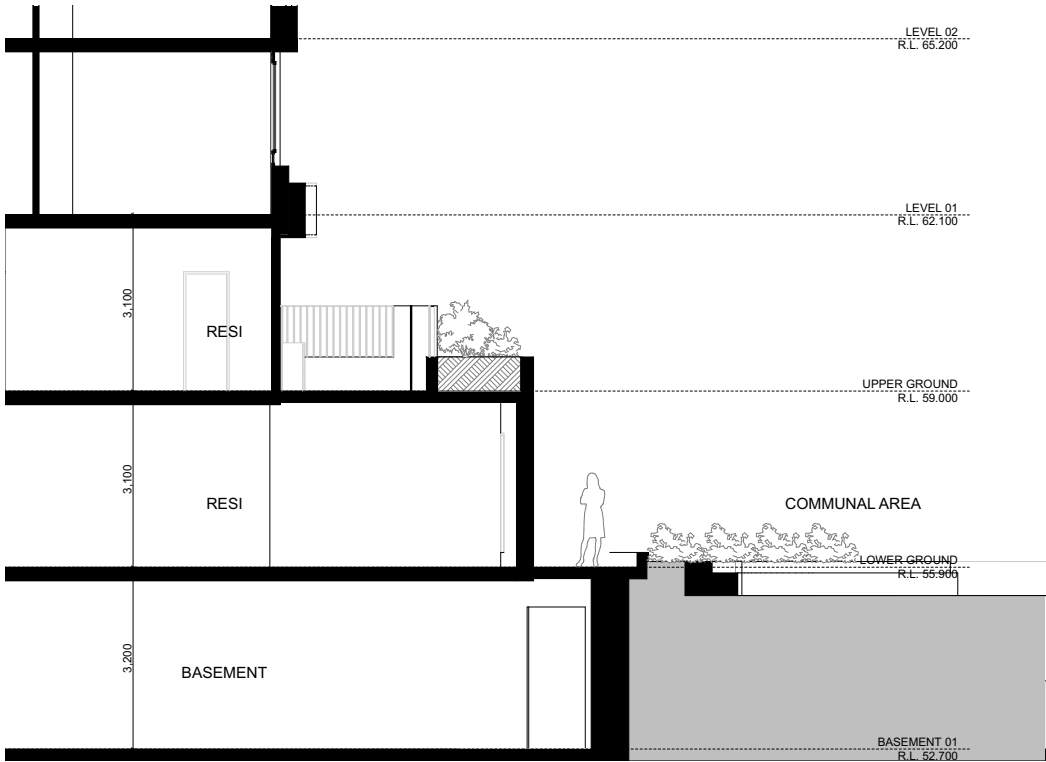
Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.

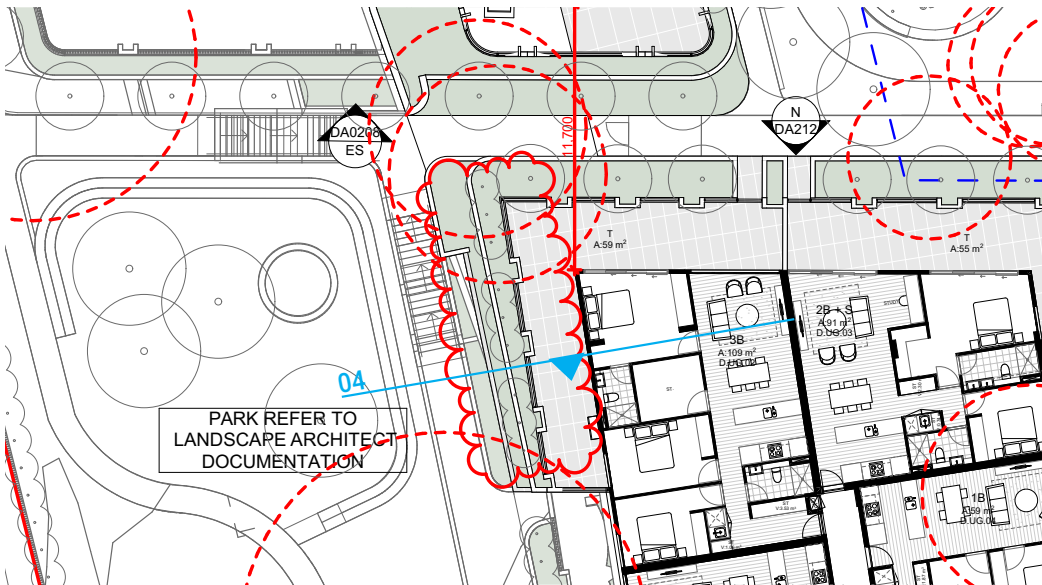
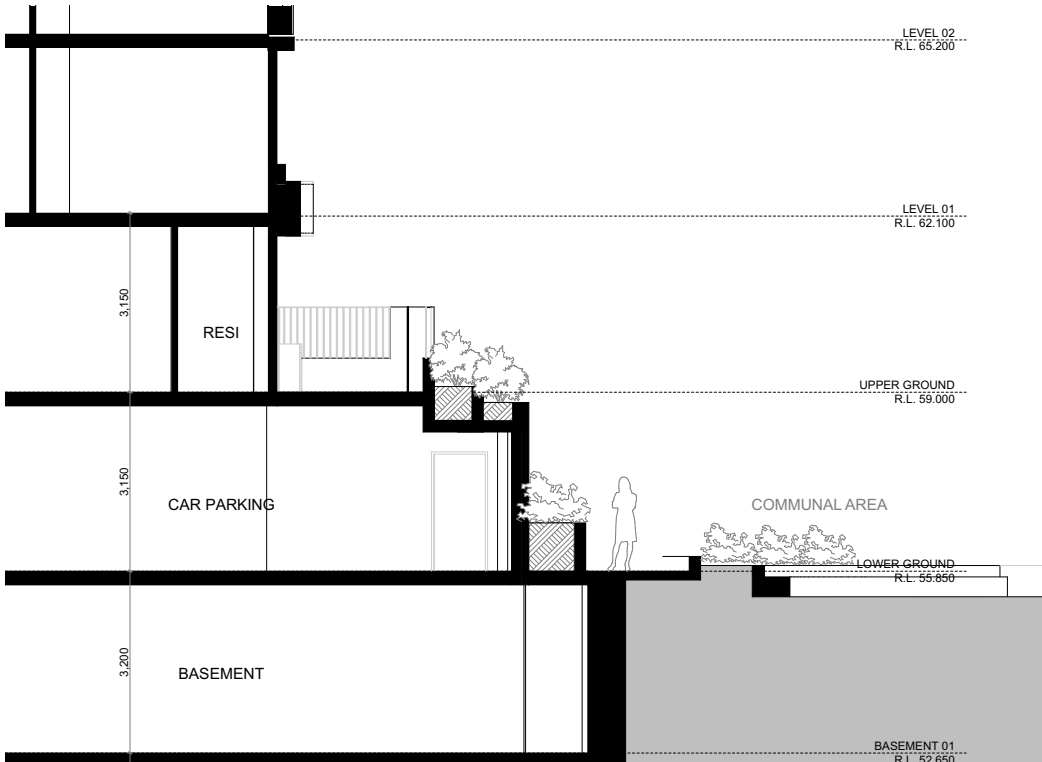
Futhermore, landscaping has been amended on building D and E frontages to reduce blank walls.



BUILDING_D COMMUNAL BEFORE



BUILDING_D COMMUNAL AFTER



2.1.b.) Building A&B wall height (Sturt Street)

DPE

The Department raises concerns about the proposed **Building A and B basements projecting above the finished ground level along Sturt Street as it would result in large blank walls to the street**. Amend the buildings' design to ensure it achieves an appropriately designed interface to the street.

RESPONSE

To address DPE's comments, refined plans have been prepared by Plus Architecture (refer to Appendix A).

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building A

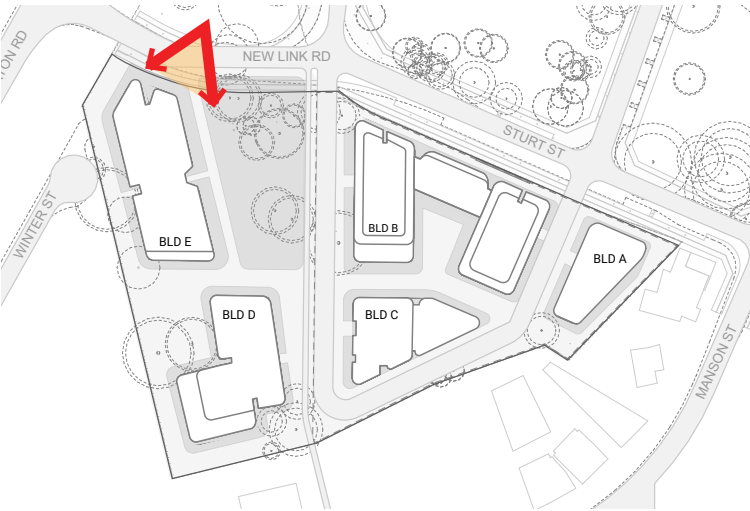
Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.

Futhermore, landscaping has been amended on building D and E frontages to reduce blank walls.



BUILDING_E NORTH FRONTAGE BEFORE



BUILDING_E NORTH FRONTAGE AFTER



2.1.b.) Building A&B wall height (Sturt Street)

DPE

The Department raises concerns about the proposed **Building A and B basements projecting above the finished ground level along Sturt Street as it would result in large blank walls to the street**. Amend the buildings' design to ensure it achieves an appropriately designed interface to the street.

RESPONSE

To address DPE's comments, refined plans have been prepared by Plus Architecture (refer to Appendix A).

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building A

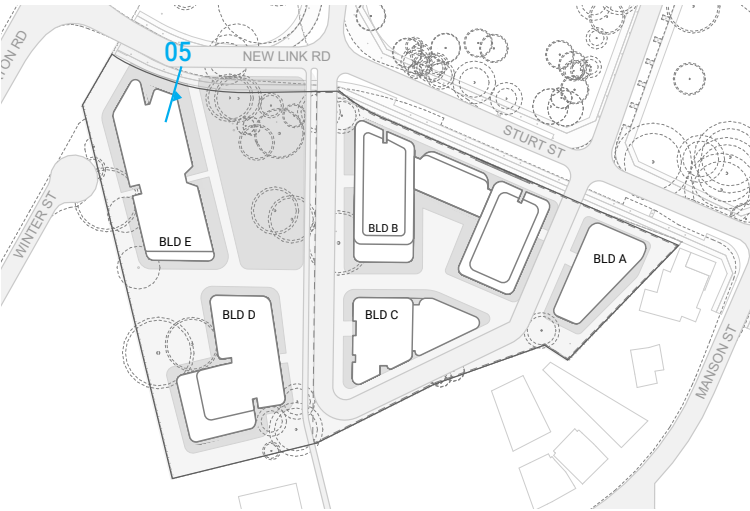
Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

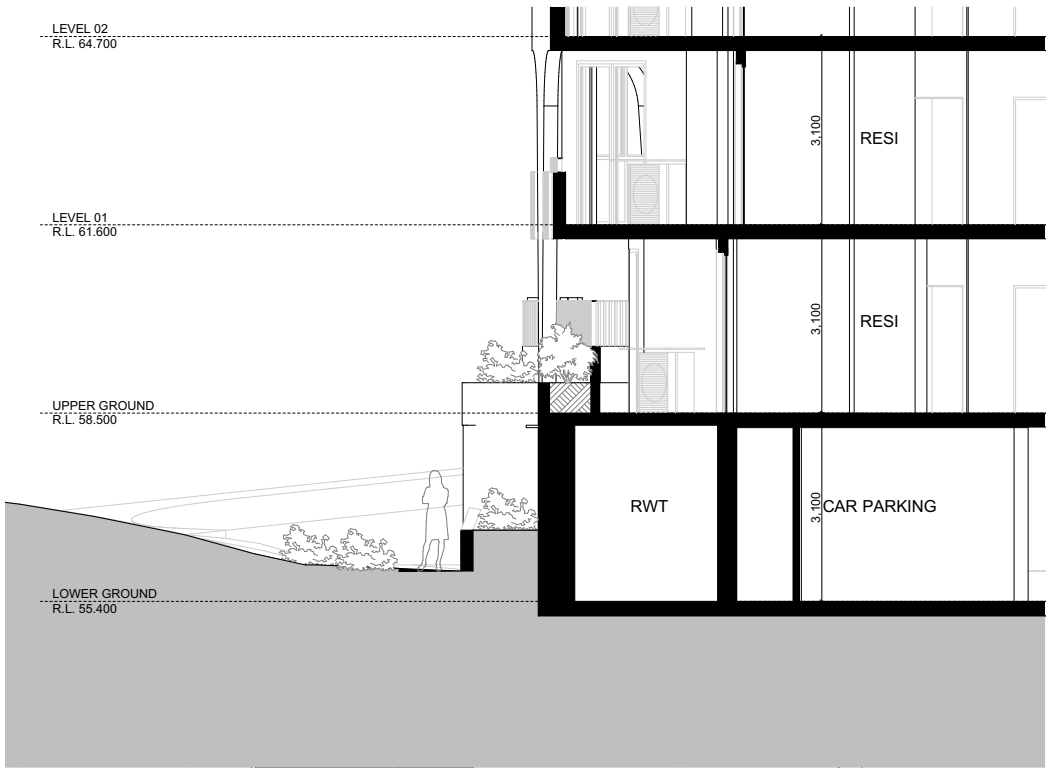
Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.

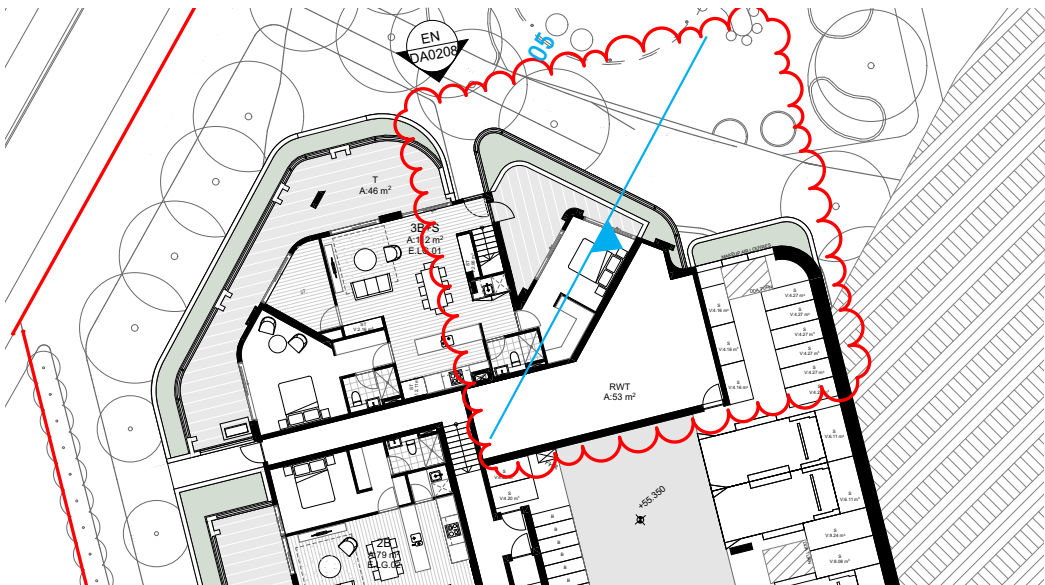
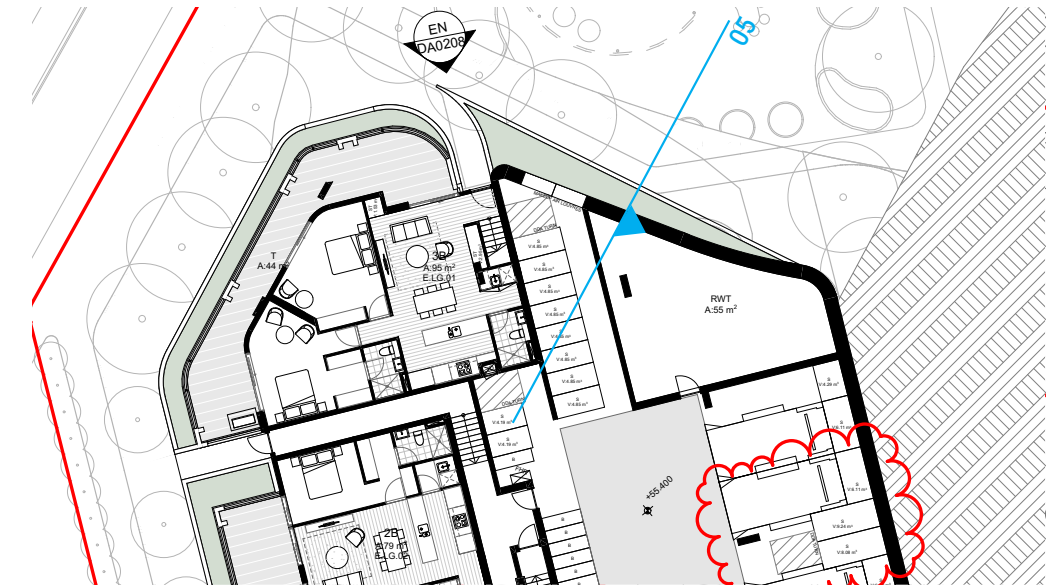
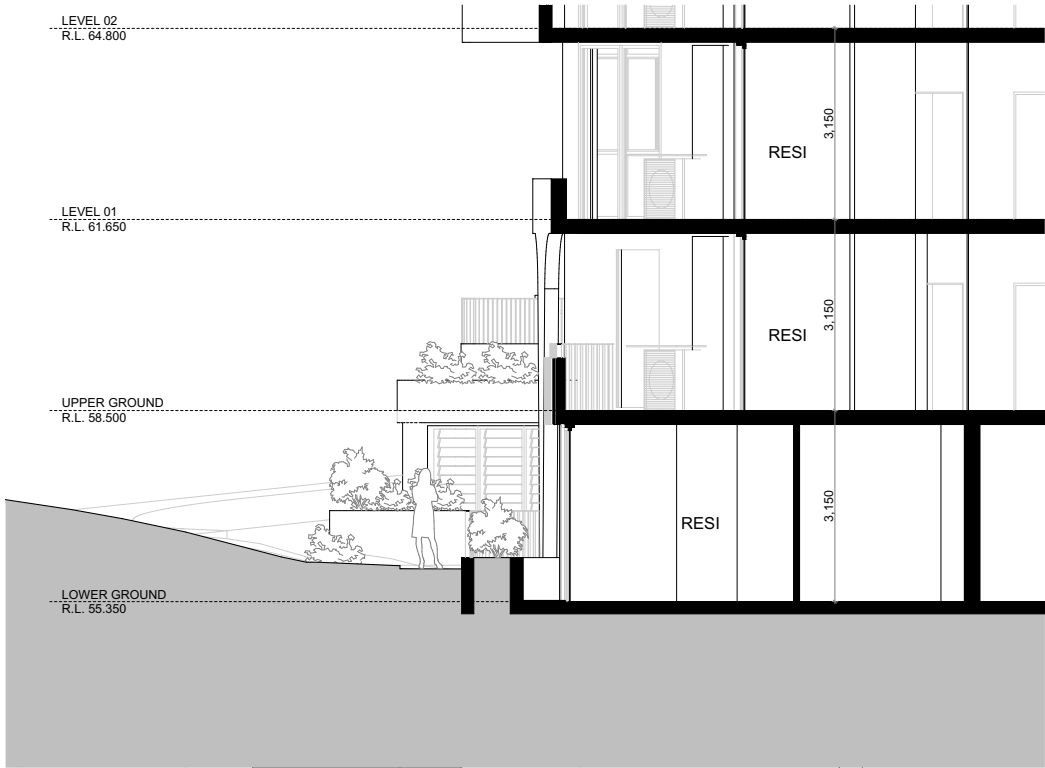
Futhermore, landscaping has been amended on building D and E frontages to reduce blank walls.



BUILDING_E NORTH FRONTAGE BEFORE



BUILDING_E NORTH FRONTAGE AFTER



2.1.c.) Building A Communal Areas

DPE

The Department notes the communal open space for Building A is shown in varied locations across plans/reports. The Department raises concern that in some instances it is identified as a narrow setback (less than 3 m) to the road (Sturt Street or the Mews) resulting in poor quality communal open space. **Confirm the location/extent of communal open space for Building A and how this space is accessible to residents from the building and is designed to be usable.**

RESPONSE

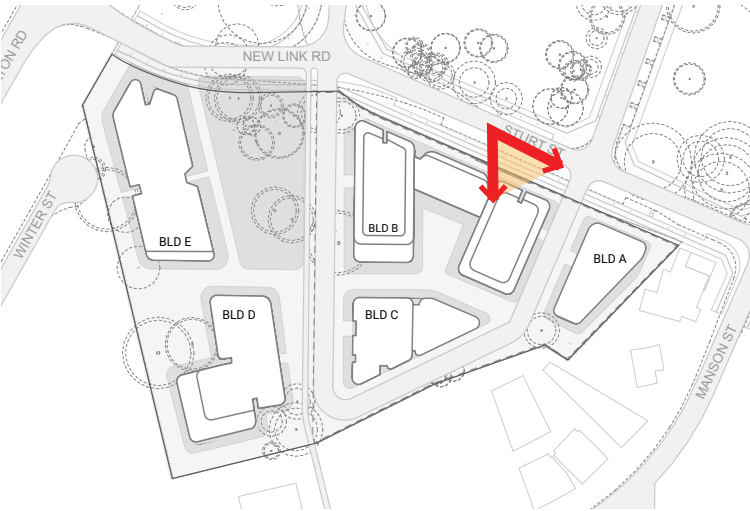
Approximately 339sqm (or 39% of the 1,092sqm site) of communal open space is being introduced onto the roof of Building A.

Indicative renders and sections (refer to Figure 4) have been prepared by Plus to illustrate the refined design with updated plans provided in Appendix A.

BUILDING_A ROOF BEFORE



BUILDING_A ROOF AFTER

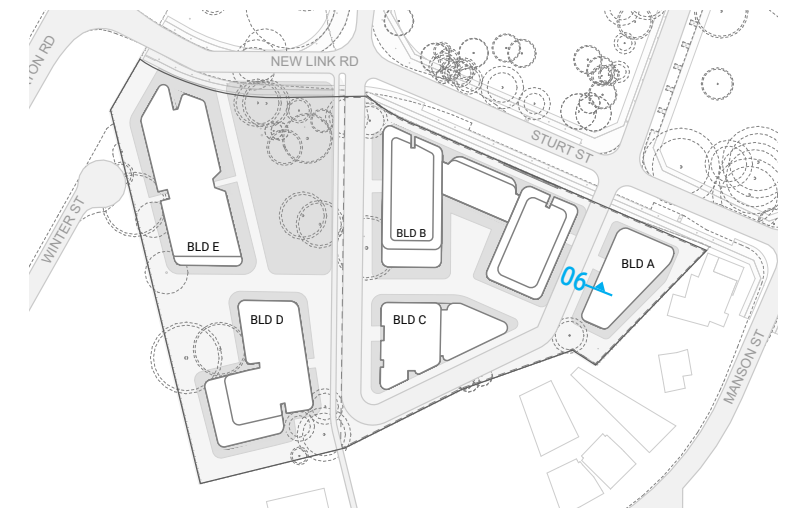
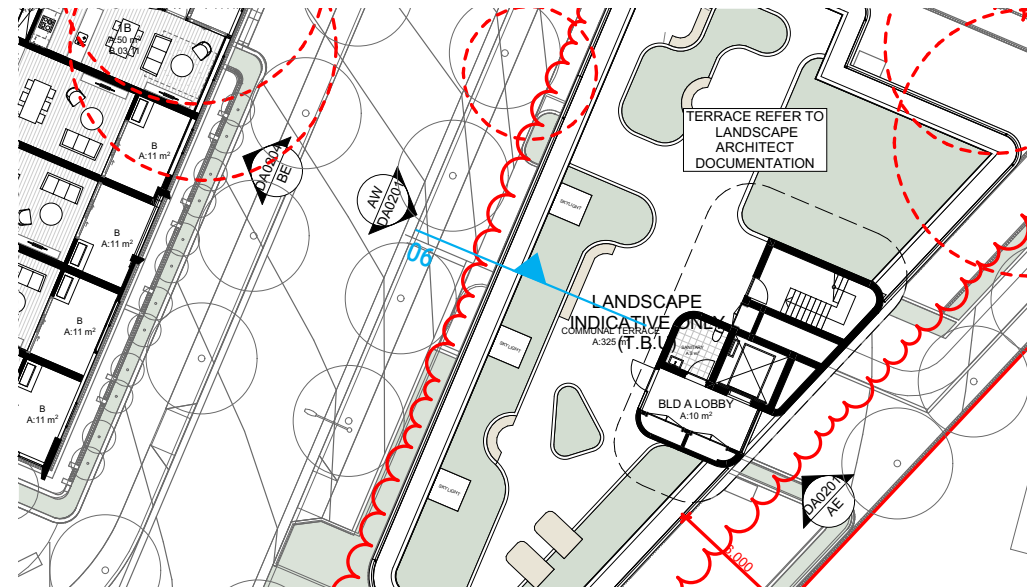
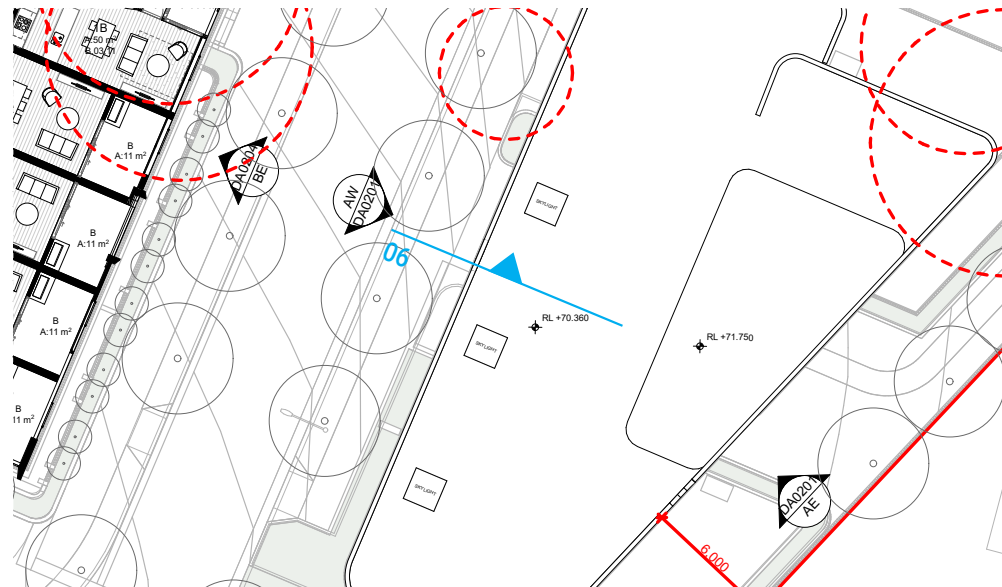
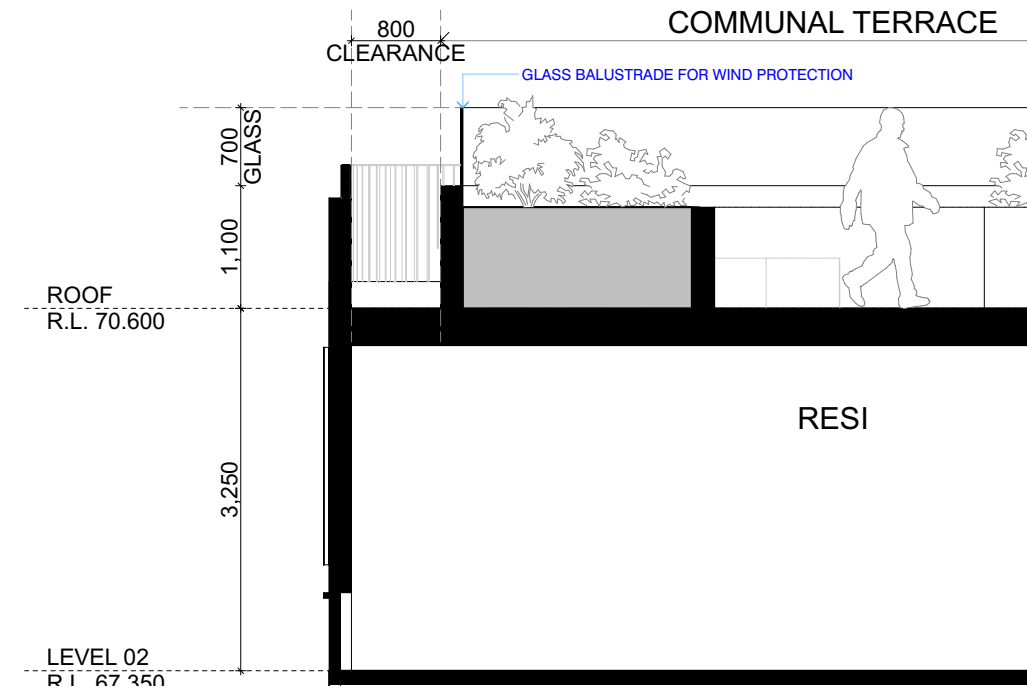
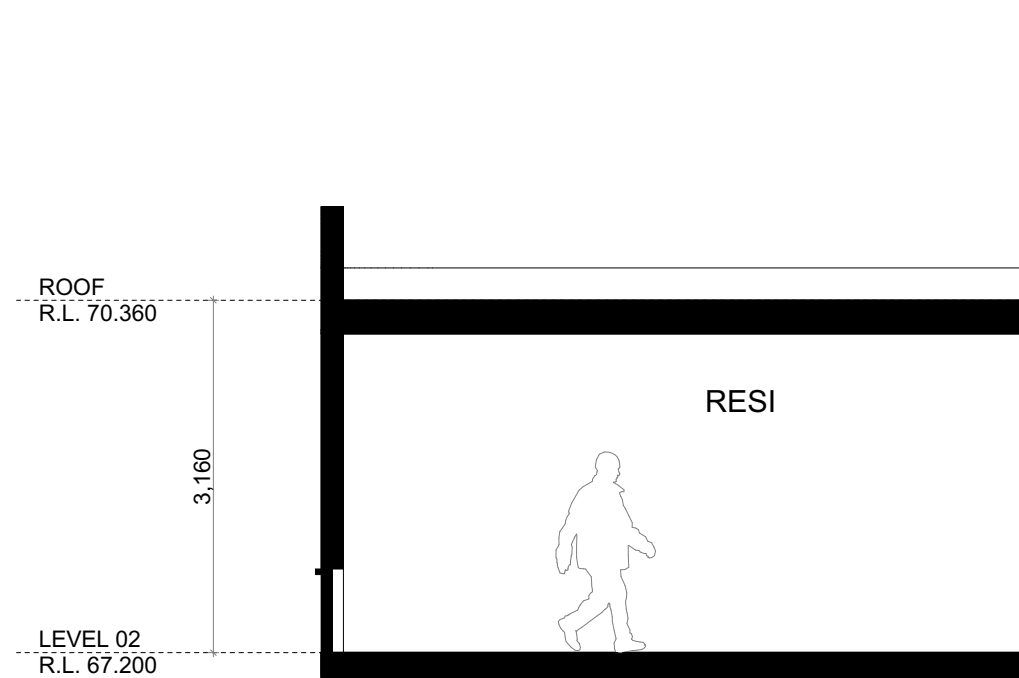


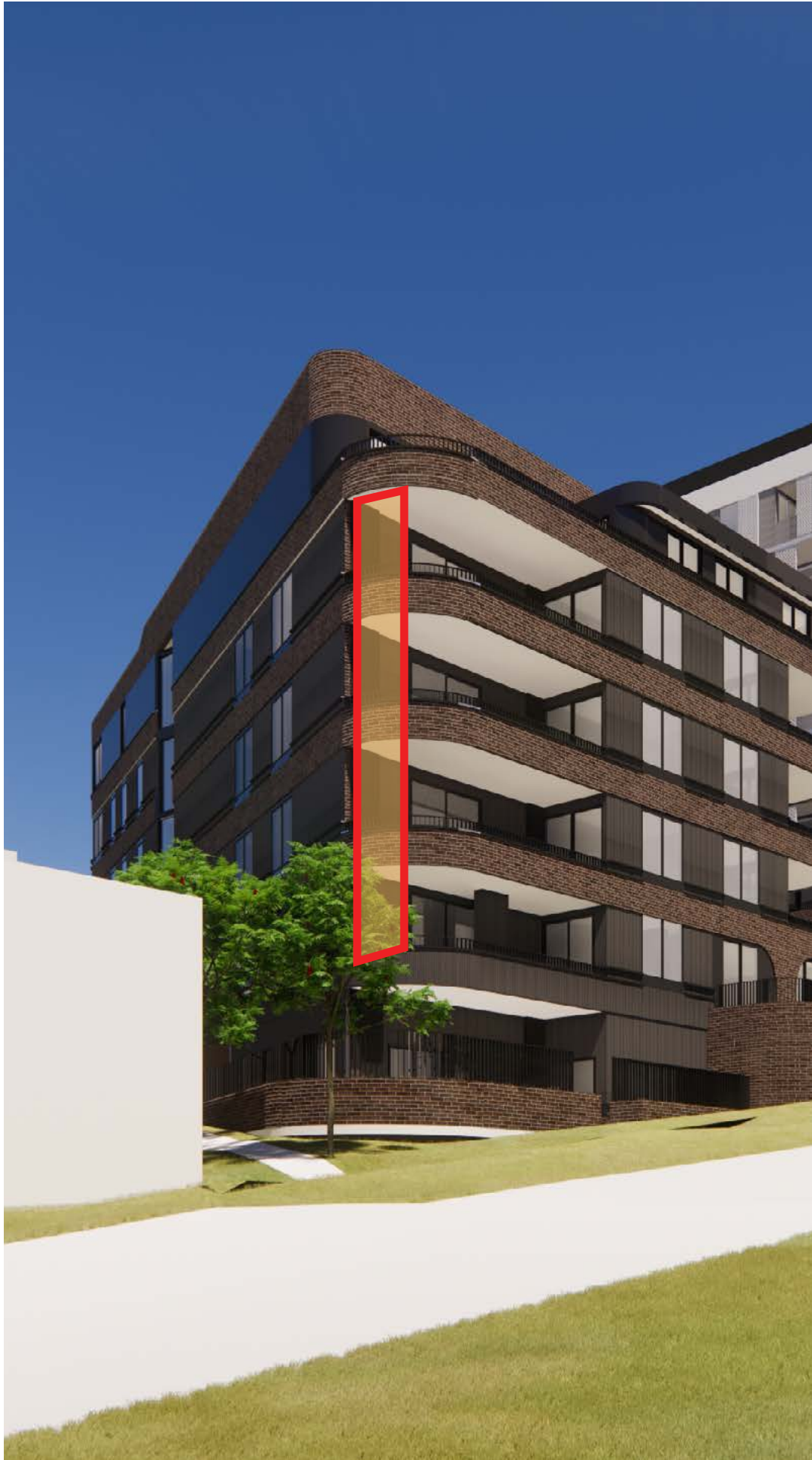
DPE

RESPONSE

Indicative renders and sections (refer to Figure 4) have been prepared by Plus to illustrate the refined design with updated plans provided in Appendix A.

BUILDING_A ROOF AFTER





Building A corner balconies (before)



Building E corner balconies (after)

2.1.d.) Building A&E corner balconies

DPE

Confirm how Stage 1A addresses the recommendations of the Wind Impact assessment, specifically that the **upper-level dual aspect balconies at the corners of Buildings A to E are to be designed as nested/single aspect balconies** including full height balustrade, wing walls, wind screens or other practical shielding.

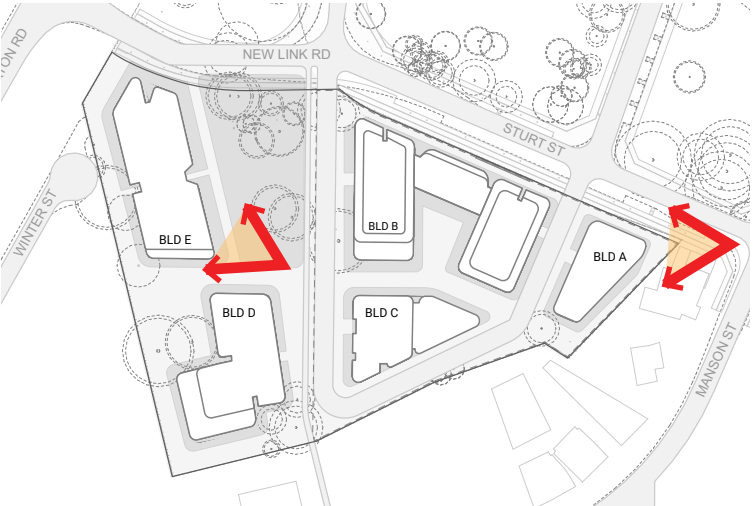
RESPONSE

Mitigation measures identified SLR include:

For levels 4 and above SLR requires that corner and balconies with multiple open aspects be converted to nested balconies with a single open aspect, this can be achieved using full height balustrade, wing walls, wind screens or other practical shielding.

The extent of required shielding can be further quantified during the detailed design stage of the project.

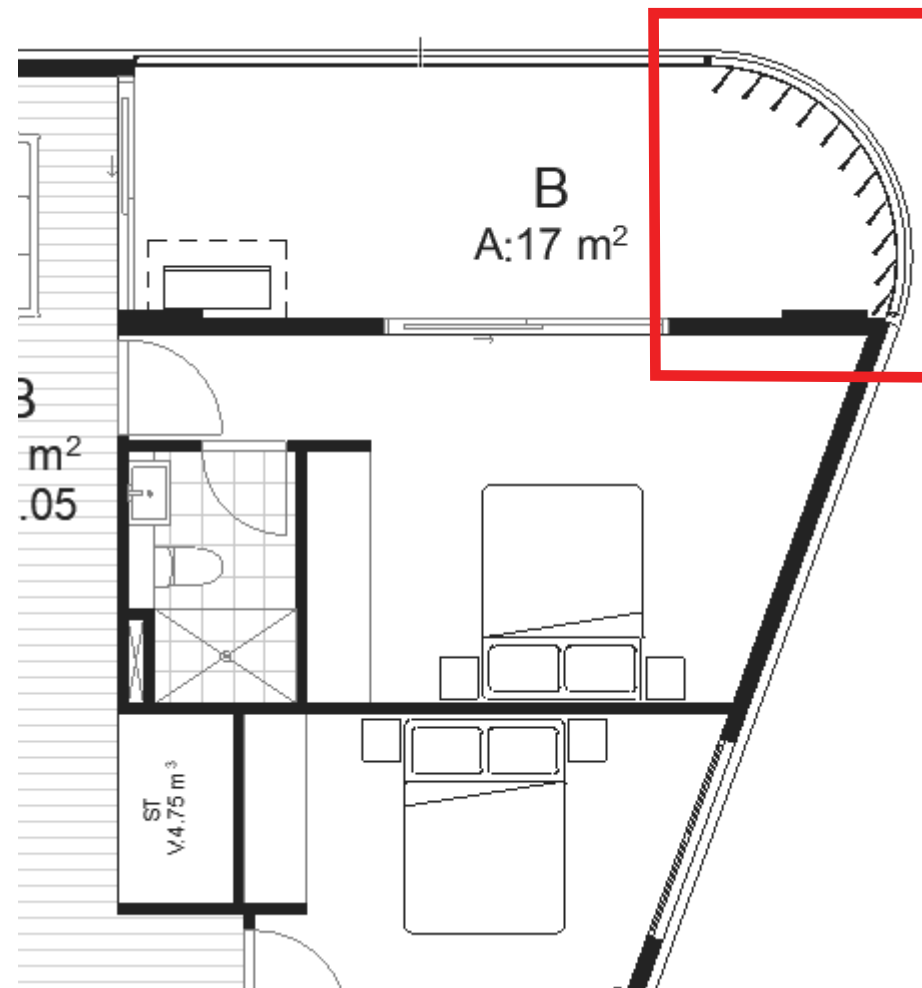
Refined plans for Stage 1A have been prepared by Plus Architecture (Appendix A) which include the introduction of full height screening to nest in affected balconies.





Building A corner balconies

SCREENING



Building A corner balconies

2.1.d.) Building A&E corner balconies

DPE

Confirm how Stage 1A addresses the recommendations of the Wind Impact assessment, specifically that the **upper-level dual aspect balconies at the corners of Buildings A to E are to be designed as nested/single aspect balconies** including full height balustrade, wing walls, wind screens or other practical shielding.

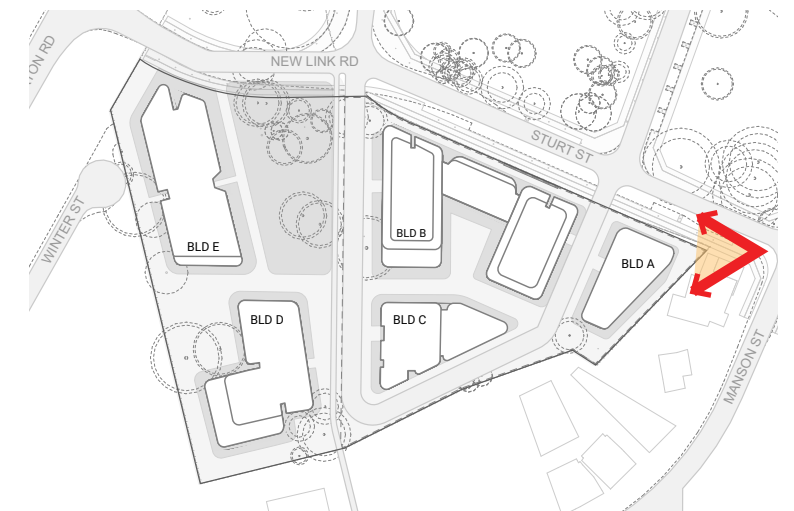
RESPONSE

Mitigation measures identified SLR include:

For levels 4 and above SLR requires that corner and balconies with multiple open aspects be converted to nested balconies with a single open aspect, this can be achieved using full height balustrade, wing walls, wind screens or other practical shielding.

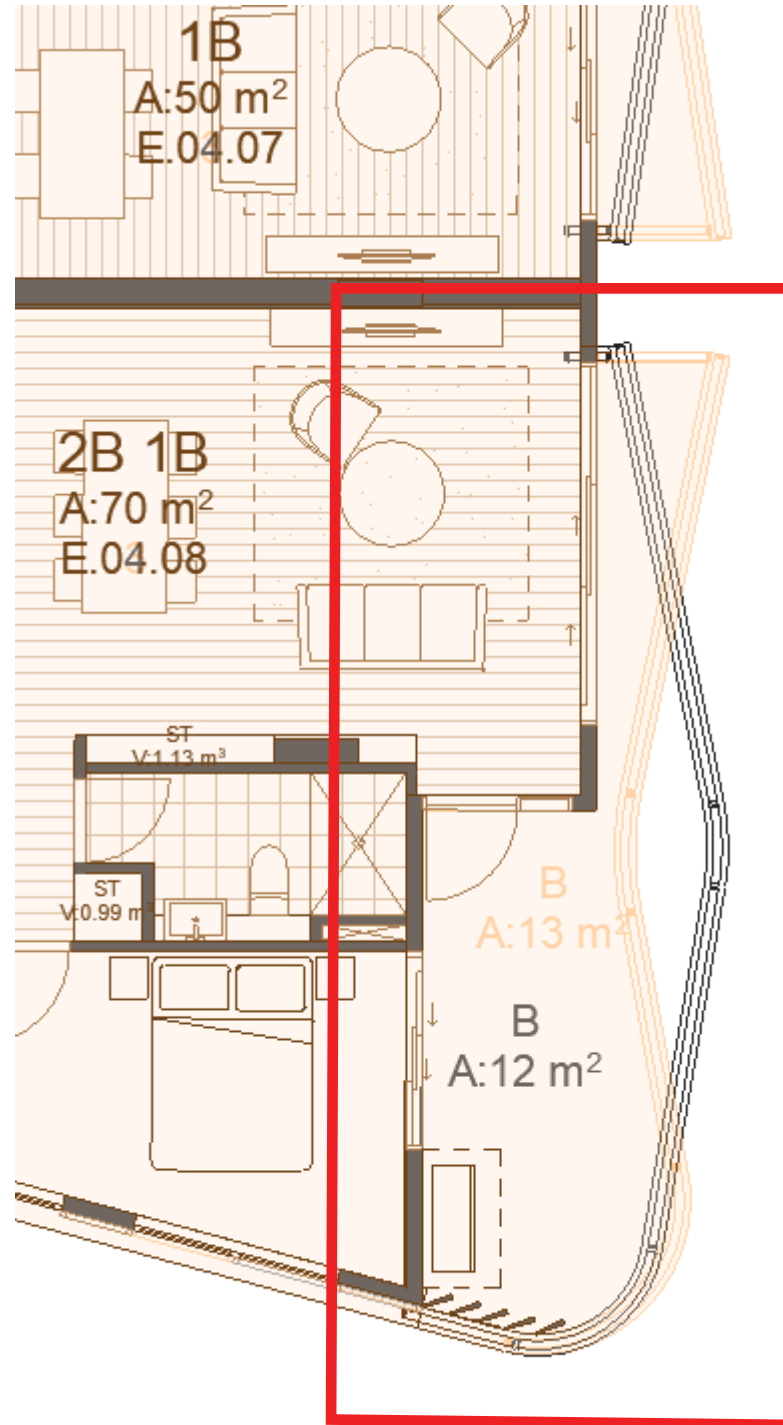
The extent of required shielding can be further quantified during the detailed design stage of the project.

Refined plans for Stage 1A have been prepared by Plus Architecture (Appendix A) which include the introduction of full height screening to nest in affected balconies.





Building E corner balconies



Building E corner balconies

2.1.d.) Building A&E corner balconies

DPE

Confirm how Stage 1A addresses the recommendations of the Wind Impact assessment, specifically that the **upper-level dual aspect balconies at the corners of Buildings A to E are to be designed as nested/single aspect balconies** including full height balustrade, wing walls, wind screens or other practical shielding.

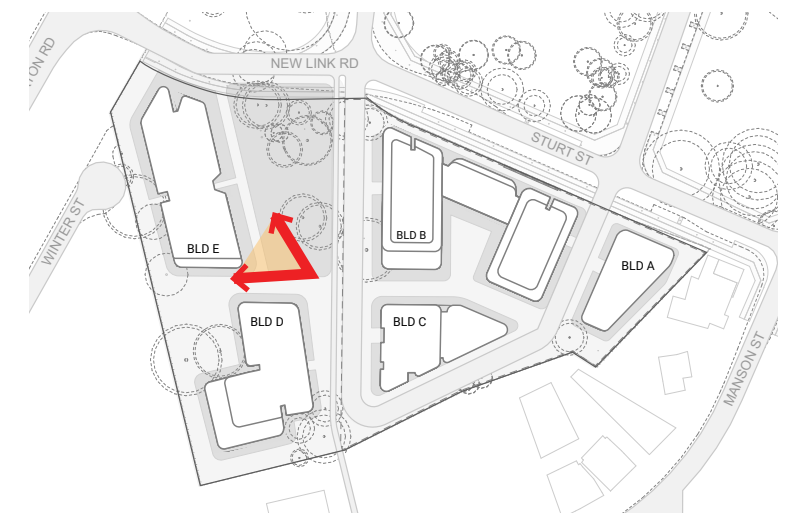
RESPONSE

Mitigation measures identified SLR include:

For levels 4 and above SLR requires that corner and balconies with multiple open aspects be converted to nested balconies with a single open aspect, this can be achieved using full height balustrade, wing walls, wind screens or other practical shielding.

The extent of required shielding can be further quantified during the detailed design stage of the project.

Refined plans for Stage 1A have been prepared by Plus Architecture (Appendix A) which include the introduction of full height screening to nest in affected balconies.



2.1.e.) Building A&B&C landscaping

DPE

Confirm how Stage 1A addresses the recommendations of the Wind Impact assessment, specifically that the **upper-level dual aspect balconies at the corners of Buildings A to E are to be designed as nested/single aspect balconies** including full height balustrade, wing walls, wind screens or other practical shielding.

RESPONSE

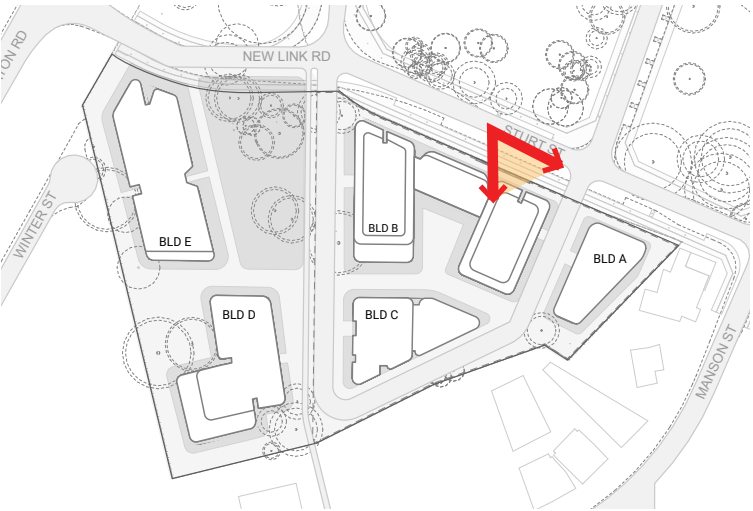
Refined plans for Stage 1A have been prepared by Plus Architecture (Appendix A) which incorporate a minimum 1.8 m tall balustrade on the Building B and C rooftop communal open space.

Given the open space will remain open to the sky and not provide enclosed weather protection, the introduction of 1.8m balustrades will not constitute additional gross floor area.

BUILDING_A ROOF BEFORE



BUILDING_A ROOF AFTER



2.1.e.) Building A&B&C landscaping

DPE

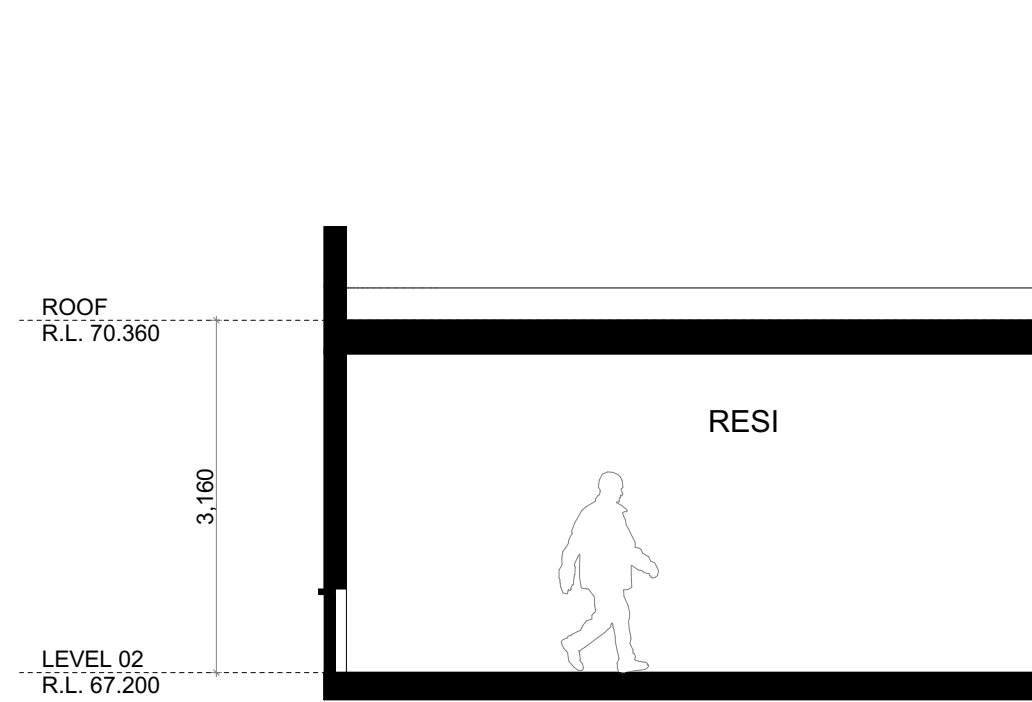
Confirm how Stage 1A addresses the recommendations of the Wind Impact assessment, specifically that the upper-level dual aspect balconies at the corners of Buildings A to E are to be designed as nested/single aspect balconies including full height balustrade, wing walls, wind screens or other practical shielding.

RESPONSE

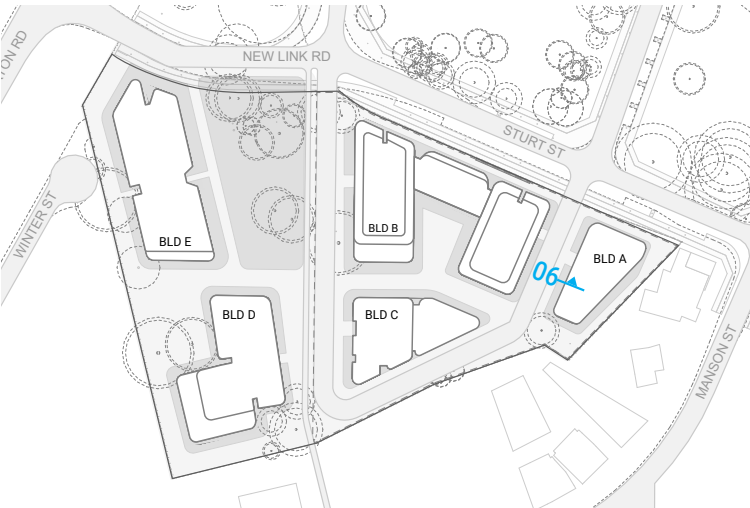
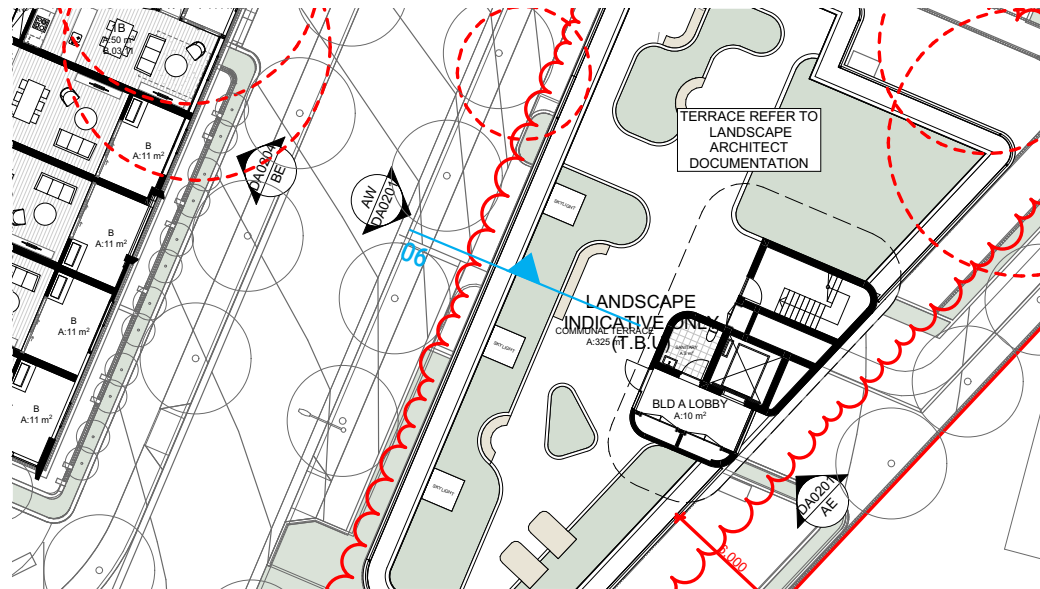
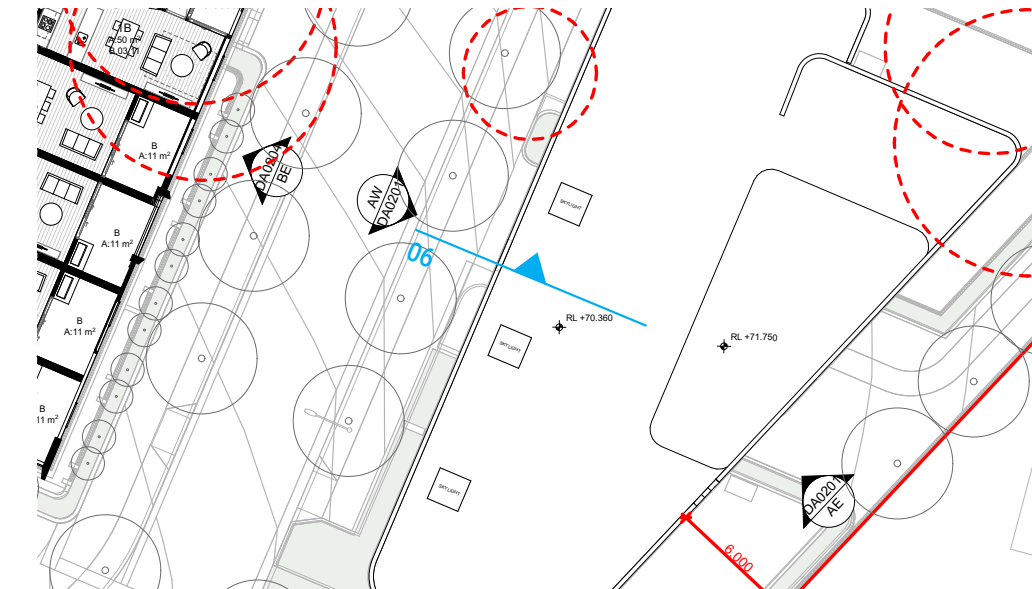
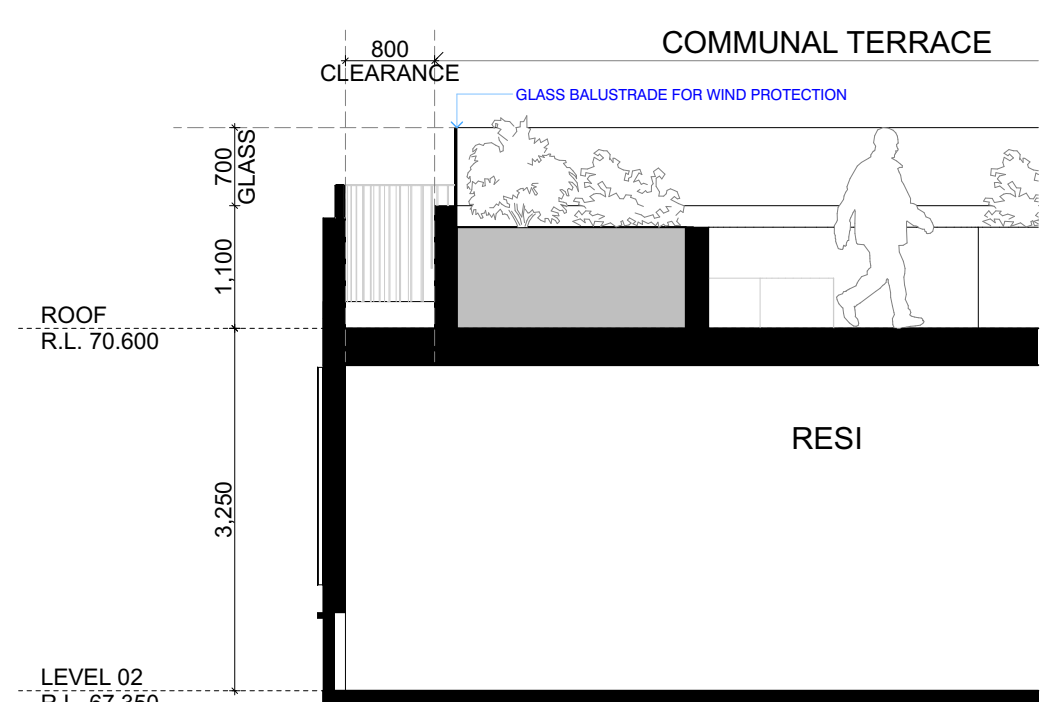
Refined plans for Stage 1A have been prepared by Plus Architecture (Appendix A) which incorporate a minimum 1.8 m tall balustrade on the Building B and C rooftop communal open space.

Given the open space will remain open to the sky and not provide enclosed weather protection, the introduction of 1.8m balustrades will not constitute additional gross floor area.

BUILDING_A ROOF BEFORE



BUILDING_A ROOF AFTER



2.1.e.) Building A&B&C landscaping

DPE

Confirm how Stage 1A addresses the recommendations of the Wind Impact assessment, specifically that the **upper-level dual aspect balconies at the corners of Buildings A to E are to be designed as nested/single aspect balconies** including full height balustrade, wing walls, wind screens or other practical shielding.

RESPONSE

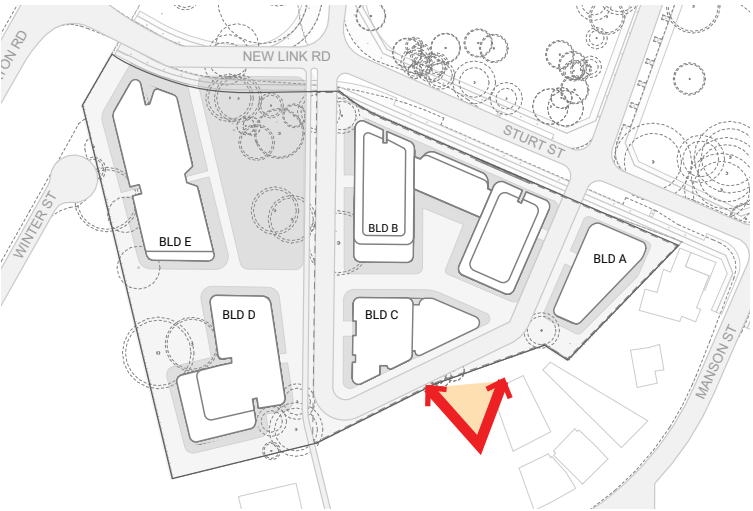
Refined plans for Stage 1A have been prepared by Plus Architecture (Appendix A) which incorporate a minimum 1.8 m tall balustrade on the Building B and C rooftop communal open space.

Given the open space will remain open to the sky and not provide enclosed weather protection, the introduction of 1.8m balustrades will not constitute additional gross floor area.

BUILDING_C TERRACE BEFORE



BUILDING_C TERRACE AFTER



2.1.e.) Building A&B&C landscaping

DPE

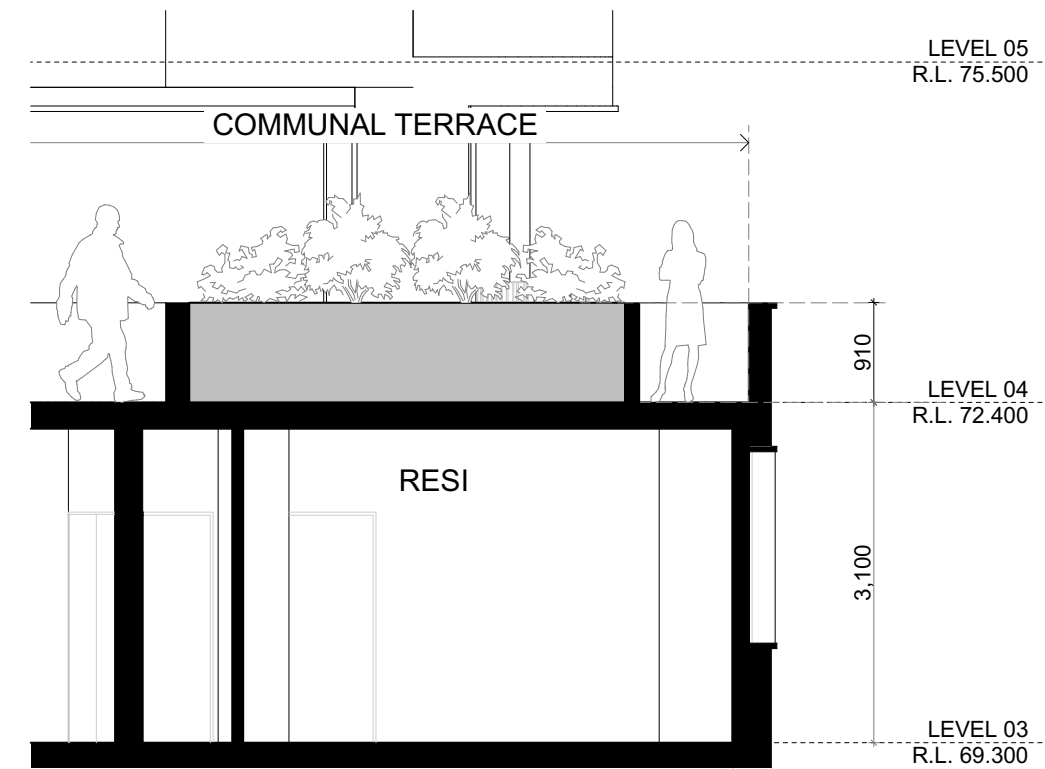
Confirm how Stage 1A addresses the recommendations of the Wind Impact assessment, specifically that the **upper-level dual aspect balconies at the corners of Buildings A to E are to be designed as nested/single aspect balconies** including full height balustrade, wing walls, wind screens or other practical shielding.

RESPONSE

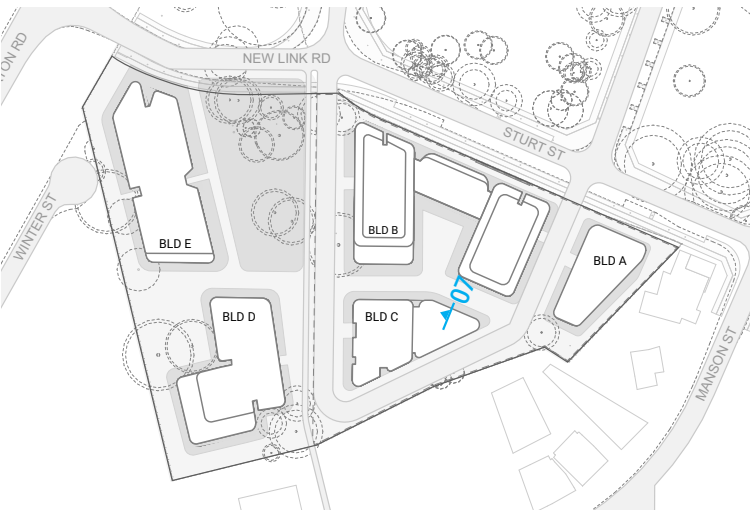
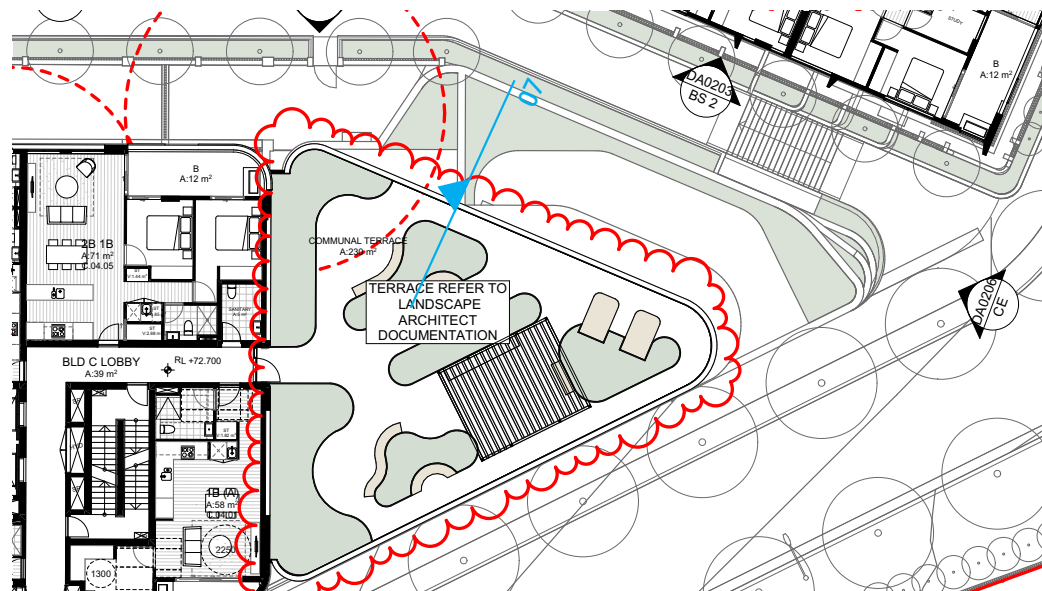
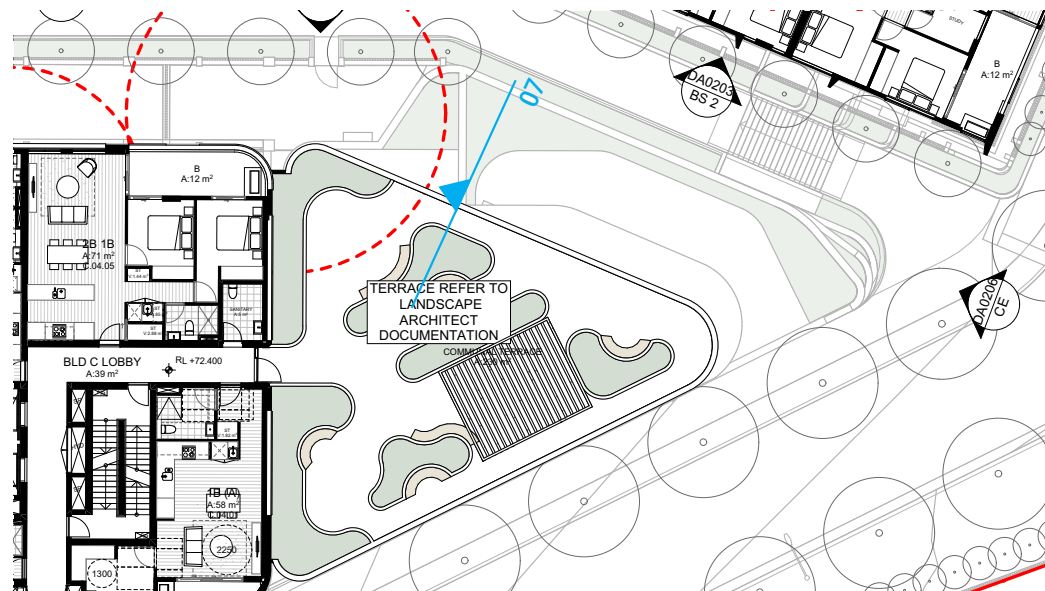
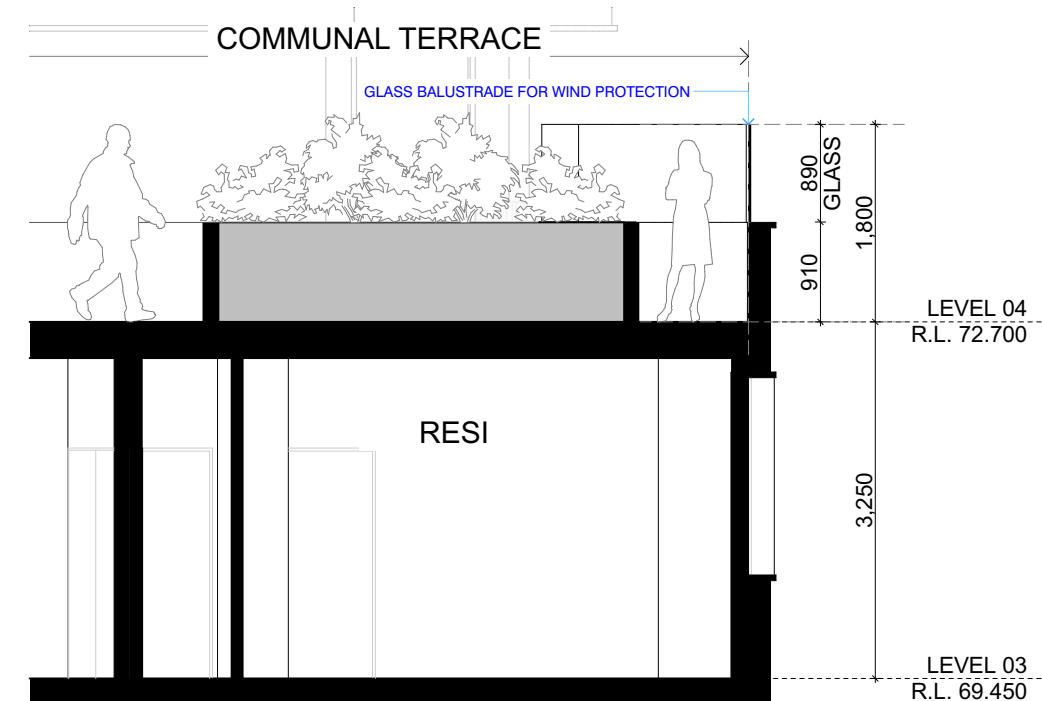
Refined plans for Stage 1A have been prepared by Plus Architecture (Appendix A) which incorporate a minimum 1.8 m tall balustrade on the Building B and C rooftop communal open space.

Given the open space will remain open to the sky and not provide enclosed weather protection, the introduction of 1.8m balustrades will not constitute additional gross floor area.

BUILDING_C TERRACE BEFORE



BUILDING_C TERRACE AFTER



2.1.e.) Building A&B&C landscaping

DPE

Confirm how Stage 1A addresses the recommendations of the Wind Impact assessment, specifically that the **upper-level dual aspect balconies at the corners of Buildings A to E are to be designed as nested/single aspect balconies** including full height balustrade, wing walls, wind screens or other practical shielding.

RESPONSE

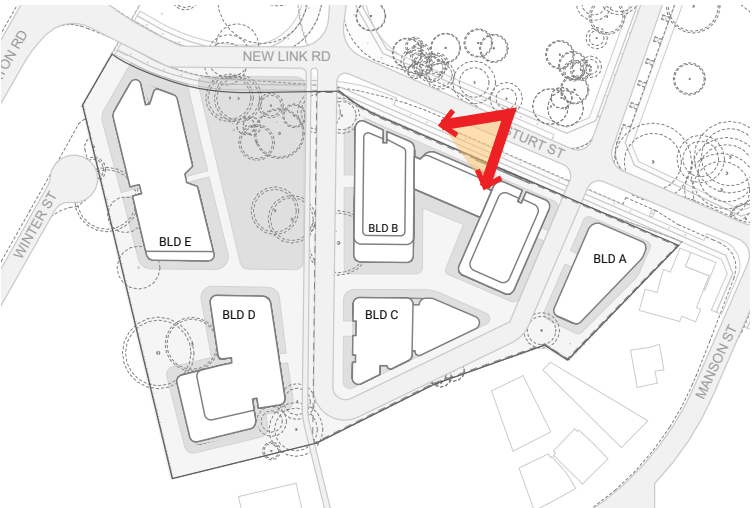
Refined plans for Stage 1A have been prepared by Plus Architecture (Appendix A) which incorporate a minimum 1.8 m tall balustrade on the Building B and C rooftop communal open space.

Given the open space will remain open to the sky and not provide enclosed weather protection, the introduction of 1.8m balustrades will not constitute additional gross floor area.

BUILDING_B TERRACE BEFORE



BUILDING_B TERRACE AFTER



2.1.e.) Building A&B&C landscaping

DPE

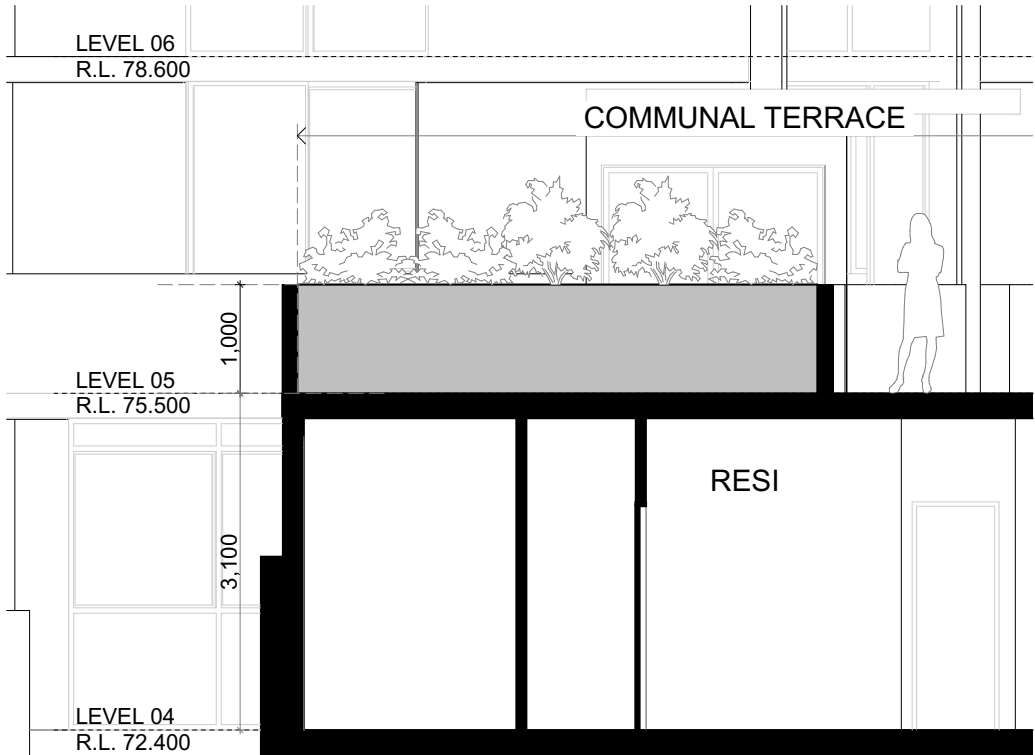
Confirm how Stage 1A addresses the recommendations of the Wind Impact assessment, specifically that the **upper-level dual aspect balconies at the corners of Buildings A to E are to be designed as nested/single aspect balconies** including full height balustrade, wing walls, wind screens or other practical shielding.

RESPONSE

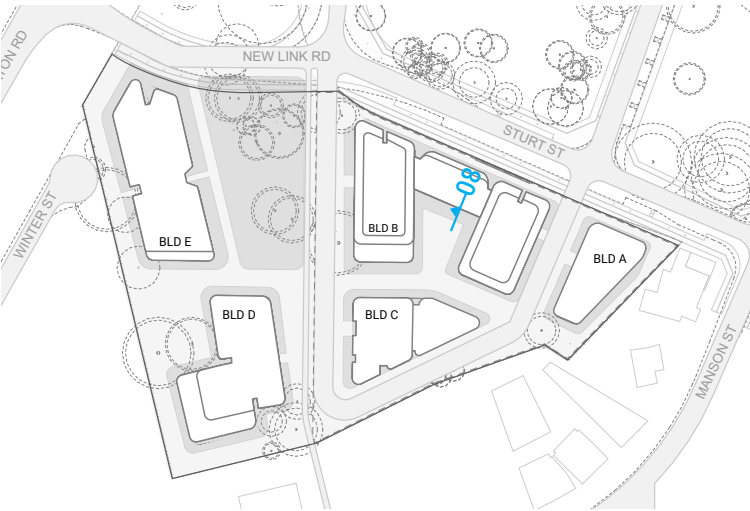
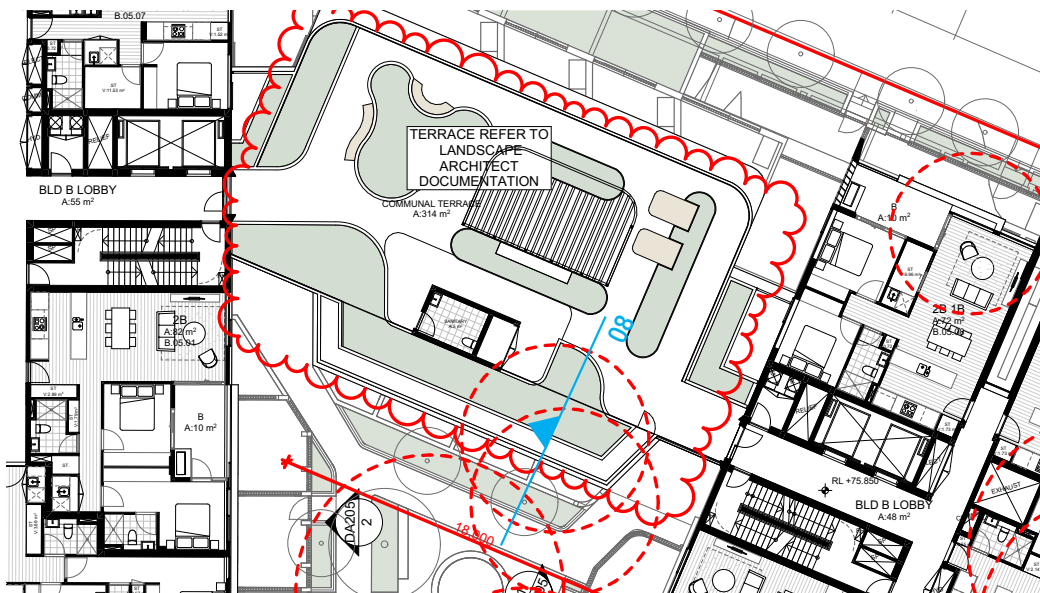
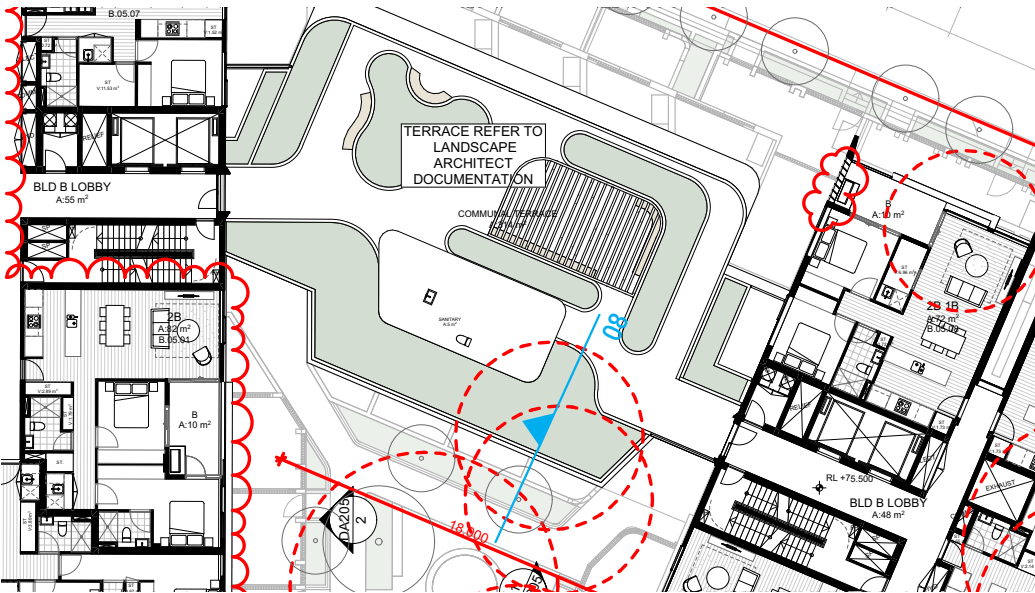
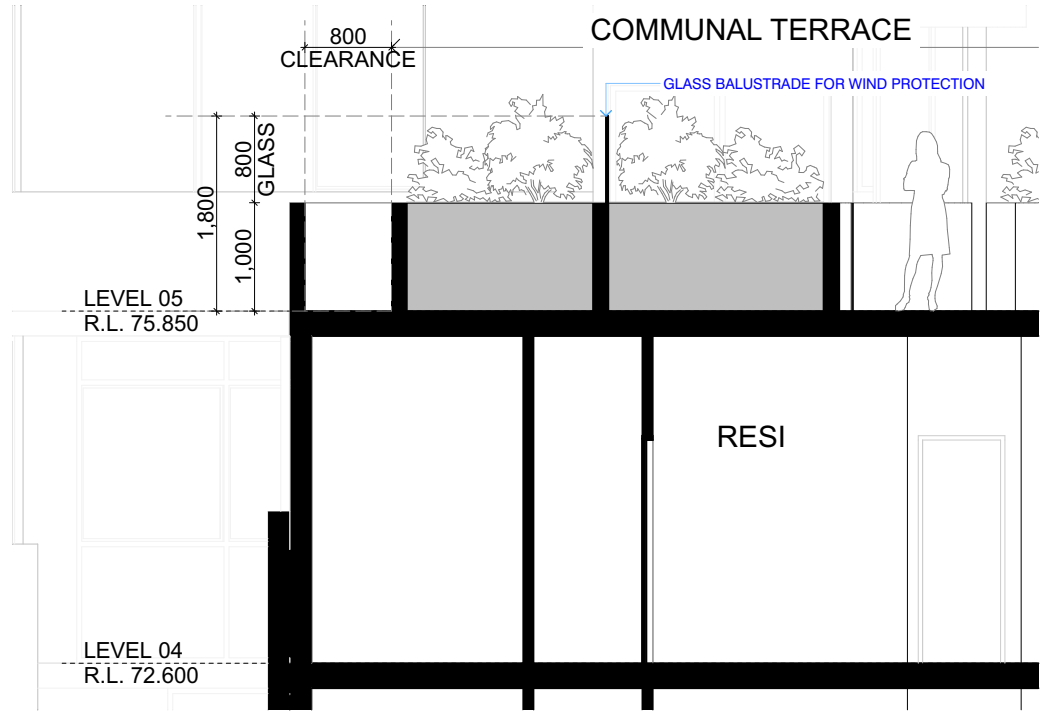
Refined plans for Stage 1A have been prepared by Plus Architecture (Appendix A) which incorporate a minimum 1.8 m tall balustrade on the Building B and C rooftop communal open space.

Given the open space will remain open to the sky and not provide enclosed weather protection, the introduction of 1.8m balustrades will not constitute additional gross floor area.

BUILDING_C TERRACE BEFORE



BUILDING_C TERRACE AFTER





RL and HOB measured in section from the highest RL (parapet of roof) to natural ground line.

2.1.f.) Floor to floor height

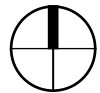
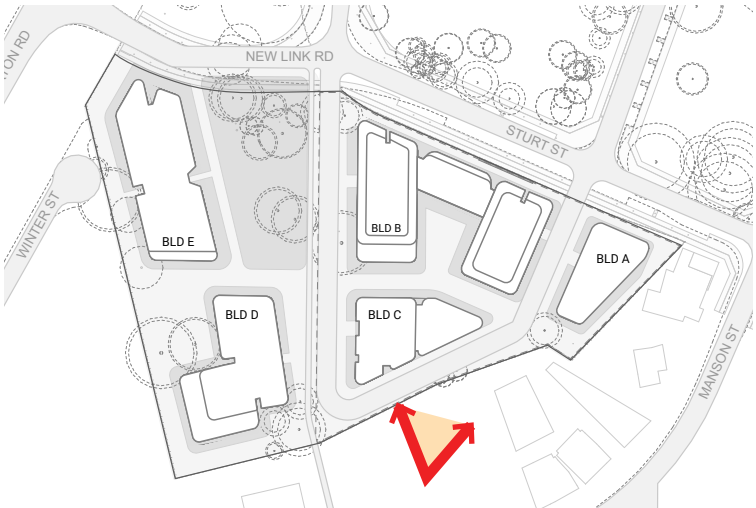
DPE

Confirm why a **3.15 m floor to floor height** is not required for Stage 1A buildings, noting this standard has been adopted for the building envelopes within the Concept Proposal, citing the need to comply with the National Construction Code 2022.

RESPONSE

Refinements to the Stage 1A Architectural Plans have adopted 3.15m floor to floor heights to meet NCC requirements. The Clause 4.6 Variation for height in Stage 1A prepared by Urbis (refer to Appendix G) has been updated to reflect these refinements.

Additional increase in heights are from added 1.8m high screening to communal open areas, ad additional liftoverrun on building A.



2.1.g.) ADG Schedules Update

DPE

Confirm the revised Plus Architecture ADG Assessment Schedule dated 3 August 2023 supersedes the individual ADG Assessment Schedules dated 11 February 2023 that accompanied the September 2023 documents package.

RESPONSE

In Response to the design refinements undertaken by Plus in response to DPE comments, an updated ADG assessment is provided in Appendix B.

2.1.h Annotate Privacy Screens

DPE

Annotate privacy screens on the floor plans/elevations to prevent overlooking between habitable rooms and balconies where recommended by Plus Architecture (in the ADG Assessment Schedule dated 3 August 2023) and where the ADG separation distances have not been achieved; including bedrooms in A 01.01, A 01.05 and A 02.01 to the eastern boundary, one of the facing bedrooms in apartments A 02.05 or B 02.17, and bedrooms on Levels 7 to 8 of Building C facing the southern boundary.

RESPONSE

Refinements to the Stage 1A Architectural Plans (Appendix A) have adopted this comment.

2.1.i Tree Retention

DPE

Submit an arborist statement confirming that the significant existing tree (Tree 299) on the western side of Building E can be retained, noting the footpaths, ramping and a retaining wall for the terraces appear to impact the root zone.

RESPONSE

A Tree Impact Assessment has been prepared by EziGrow Arborist in response to DPE’s comments and is enclosed in Appendix I. In summary:

Tree 299 it is in fact a Cinnamomum camphora (Camphor laurel) which is a listed weed in NSW and is in fact exempt from protection under Parramatta Councils Development Control Plan (2023). If it is within 5m of a sewer, pool, or existing building. It is now recommended for removal.

Tree 373 is identified as a Ficus macrocarpa var. hillii (Hills Weeping Fig) which has a very extensive root system, which is very unlikely to be affected by this level of encroachment. As such, the Tree Impact Assessment confirmed that this tree can be successfully retained despite the minor encroachment into the TPZ.

2.1.j Update BASIX

Provide updated BASIX Certificates and stamped plans.

RESPONSE

Following receipt of the RFI letter, further discussions have occurred with DPE which confirmed that the BASIX Certificate and stamped plans will be provided by FPA following acceptance of the refined plans for Stage 1A.



COMMENTS ON COUNCIL COMMENTS - 30 OCTOBER 2023

STAGE 1A - BUILT FORM AND DESIGN WAIVER

Council Officers request that the following issues should be addressed by the applicant through amendments or DPE confirm via conditions of consent in order to address these outstanding matters:

3.1.a.
The Neighbourhood Park should be free of all basement structures. A review of the Subdivision Plan, Landscape Plan and Basement Plan indicates a basement encroachment of the western side of the Neighbourhood Park (refer red hatched line at Figure below).

Although the encroachment is excluded in the subdivision plan, this will complicate future liability and maintenance responsibility for Council.

3.1.b.
Confirmation of the subdivision and size of the Neighbourhood Park. The area of the Neighbourhood Park differs between the VPA Letter of Offer and the Subdivision Plan.

Furthermore, the Subdivision Plans should be updated to show the Neighbourhood Park dedicated as a separate lot.

3.1.c.
Neighbourhood Park and Arrival Plaza dedication – Council has consistently requested amendment to the design of both the Arrival Plaza and Neighbourhood Park (refer Council’s submissions June 2022 and February 2023), which will be dedicated to Council in the future.

Council requests that DPE agree that any approval for Stage 1A contains conditions of consent which require that the applicant submit prior to Construction Certificate stage, park design and detailed construction plans for Council’s review and approval. This will ensure that Council specifications can be adequately addressed to achieve a high quality and sustainable design outcome.

3.1.d.
The ground level setback along Sturt Street should be a minimum of 4 metres and be free of basement structure in order to establish thriving trees and landscaping.

3.1.e.
Building A Communal Open Space –the open space for residents does not meet minimum solar access requirements, has poor accessibility and inadequate size and dimensions.

Furthermore new courtyards sit 1.5 metres above the existing ground level on the property boundary which creates privacy conflicts.

3.1.f.
Building B - Council does not support the Clause 4.6 variation (as amended) to create additional height on Building B from 14 and 9 storeys to 15 and 10 storeys. Council does not consider adequate justification has been provided to support the extent of additional variation being sought. Furthermore, Building B should be reduced in length or introduce building breaks and greater articulation.

3.1.g.
Demonstration that Trees 299 and 373 are retained. Currently, the basement and Buildings D and E impact on the tree protection zones of these trees.

2.1.h.
Public domain – Council request that DPE agree that any approval issued for Stage 1A include conditions of consent that requires the public domain to be designed in accordance with the requirement of the Parramatta Public Domain Guidelines (PPDG) and Council standard construction detail. Any development consent must ensure that final design of future Council parks and footpaths (Council assets) are to be approved by Council prior to Construction Certificate being issued. Council must be assured that they are able to maintain a certain quality of finish within the public domain in perpetuity.SchedulWWe dated 3 August 2023) and where the ADG separation distances have not been achieved; including bedrooms in A 01.01, A 01.05 and A 02.01 to the eastern boundary, one of the facing bedrooms in apartments A 02.05 or B 02.17, and bedrooms on Levels 7 to 8 of Building C facing the southern boundary.



3.1.a.) Neighbourhood Park

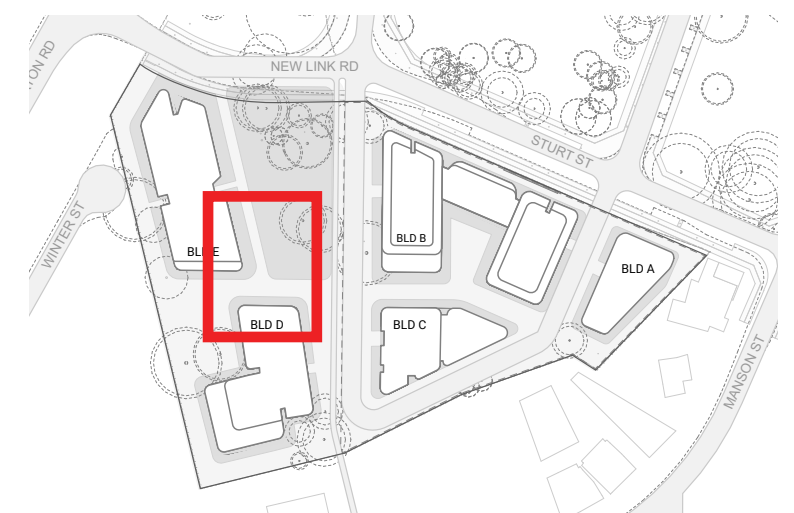
Council Comment

The Neighbourhood Park should be free of all basement structures. A review of the Subdivision Plan, Landscape Plan and Basement Plan indicates a basement encroachment of the western side of the Neighbourhood Park (refer red hatched line at Figure below).

Although the encroachment is excluded in the subdivision plan, this will complicate future liability and maintenance responsibility for Council.

RESPONSE

The neighbourhood park (Lot 13 identified in Appendix K) will remain in private ownership with 24/7 public access easement.



Lower Ground

TELOPEA RESIDENTIAL - STAGE 1A
RESIDENTIAL DESIGN

JOB NO. 20320
DATE 13/12/2023
SCALE NTS



3.1.b.) Subdivision

Council Comment

Confirmation of the subdivision and size of the Neighbourhood Park. The area of the Neighbourhood Park differs between the VPA Letter of Offer and the Subdivision Plan.

Furthermore, the Subdivision Plans should be updated to show the Neighbourhood Park dedicated as a separate lot.

RESPONSE

The draft Plan of Subdivision shows a 1,954sqm lot for the neighbourhood park (Lot 13). This ensures that the area dedicated to Council is free of all basement structures.

Lot 11 which was previously identified as New Link Road and will now form part of the open space strategy for the site, remains as a separate lot to ensure that is can be used during construction of Stage 1A, then handed over at a later date. Based on ongoing discussions between FPA and Council, Council have confirmed that the proposed draft subdivision plan is sufficient and no further information is required on this matter. The current Plan of Subdivision is enclosed in Appendix K.

3.1.c.) Neighbourhood Park

Council Comment

Neighbourhood Park and Arrival Plaza dedication – Council has consistently requested amendment to the design of both the Arrival Plaza and Neighbourhood Park (refer Council’s submissions June 2022 and February 2023), which will be dedicated to Council in the future.

Council requests that DPE agree that any approval for Stage 1A contains conditions of consent which require that the applicant submit prior to Construction Certificate stage, park design and detailed construction plans for Council’s review and approval. This will ensure that Council specifications can be adequately addressed to achieve a high quality and sustainable design outcome.

RESPONSE

Comments have been provided by FPA on this matter.

Furthermore, FPA does not agree to providing revised landscaping plans to Council prior to the commencement of construction works. Plans will remain consistent with the approval, and if changes are required this may require a Section 4.55 modification which will require comment from Council.

Construction drawings will be submitted to and approved by the certifier as provided for under the EPA&A Act.

BEFORE 3.1.d.) Sturt Street Setback

Council Comment

d) The ground level setback along Sturt Street should be a **minimum of 4 metres** and be free of basement structure in order to establish thriving trees and landscaping.

RESPONSE

As noted in response to DPE's comments, an increased setback has been introduced along Sturt Street.

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

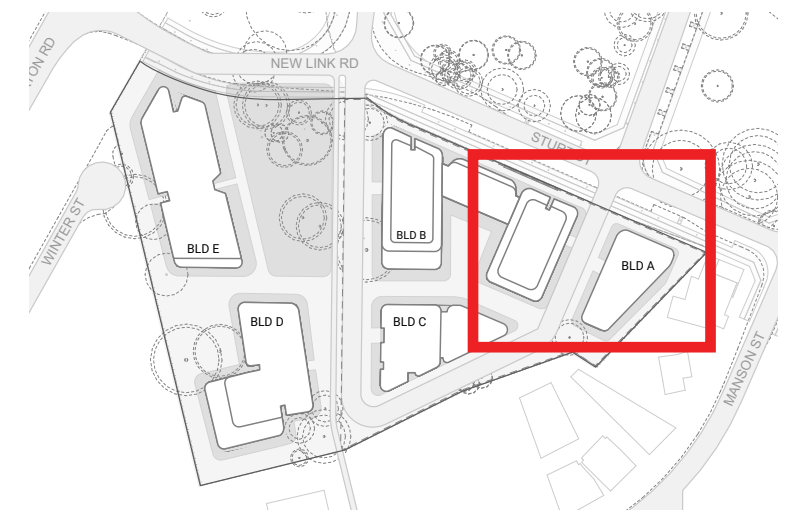
Introduction on 1 x one bedroom apartment in Building A

Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.



lower ground

TELOPEA RESIDENTIAL - STAGE 1A
RESIDENTIAL DESIGN

RESIDENTIAL DESIGN

JOB NO.	20320
DATE	13/12/2023
SCALE	NTS

DATE 13/12/2023

SCALE	NTS
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AFTER

3.1.d.) Sturt Street Setback

Council Comment

d) The ground level setback along Sturt Street should be a **minimum of 4 metres** and be **free of basement structure** in order to establish thriving trees and landscaping.

RESPONSE

As noted in response to DPE's comments, an increased setback has been introduced along Sturt Street.

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

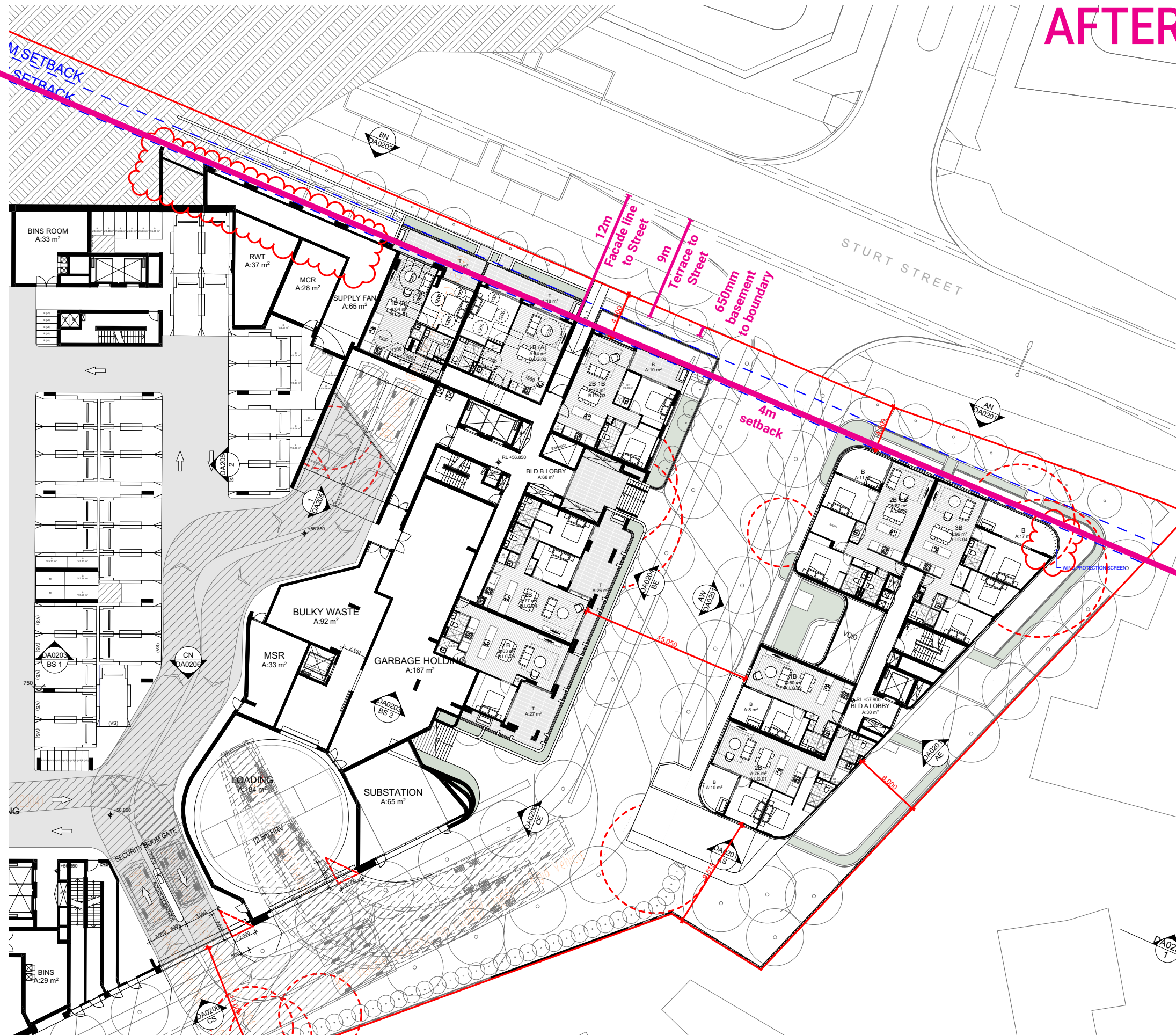
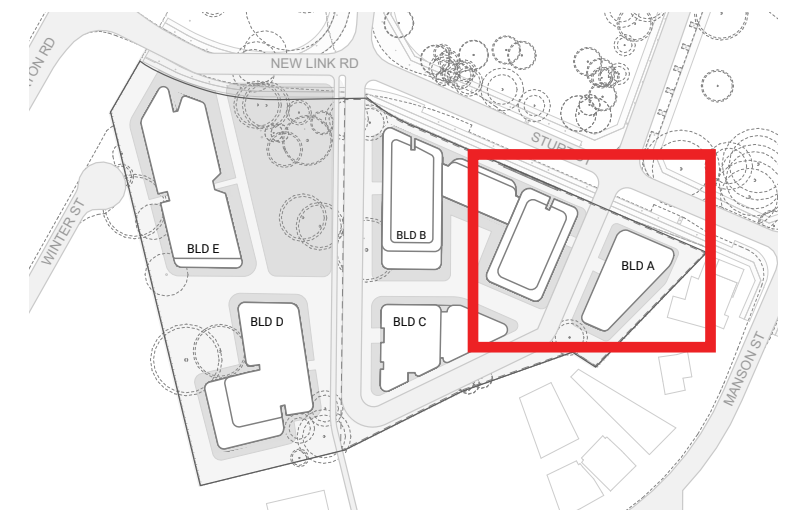
Introduction on 1 x one bedroom apartment in Building A

Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.



lower ground

BEFORE

3.1.d.) Sturt Street Setback

Council Comment

d) The ground level setback along Sturt Street should be a **minimum of 4 metres** and be free of basement structure in order to establish thriving trees and landscaping.

RESPONSE

As noted in response to DPE's comments, an increased setback has been introduced along Sturt Street.

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

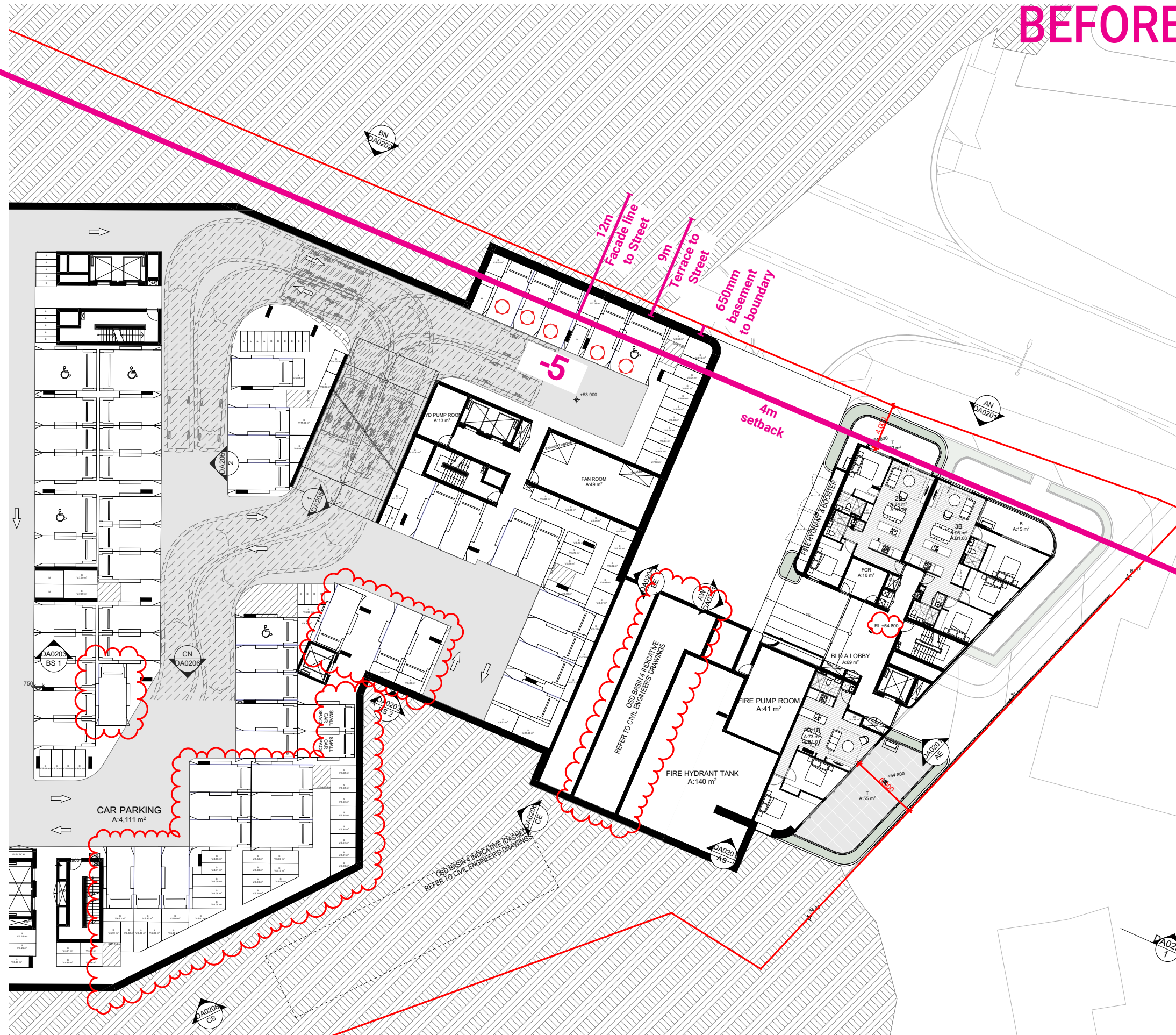
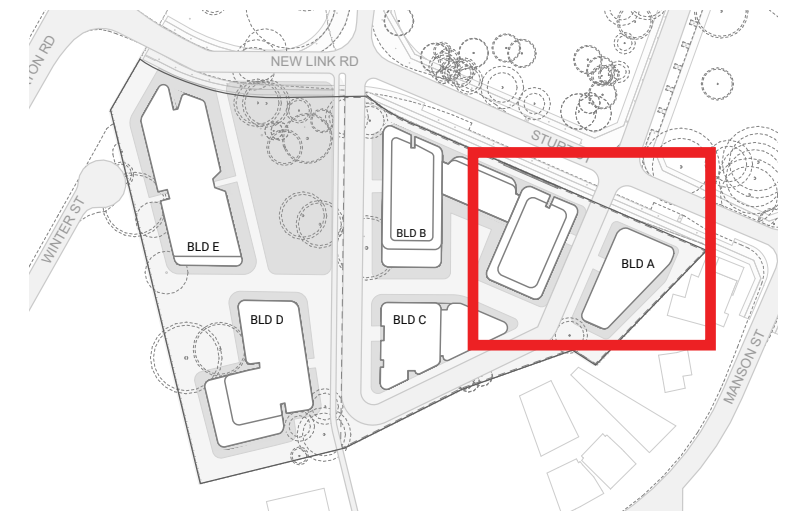
Introduction on 1 x one bedroom apartment in Building A

Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.



basement 01

TELOPEA RESIDENTIAL - STAGE 1A
RESIDENTIAL DESIGN

JOB NO. 20320
DATE 13/12/2023
SCALE NTS



3.1.d.) Sturt Street Setback

Council Comment

d) The ground level setback along Sturt Street should be a **minimum of 4 metres** and be free of basement structure in order to establish thriving trees and landscaping.

RESPONSE

As noted in response to DPE's comments, an increased setback has been introduced along Sturt Street.

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

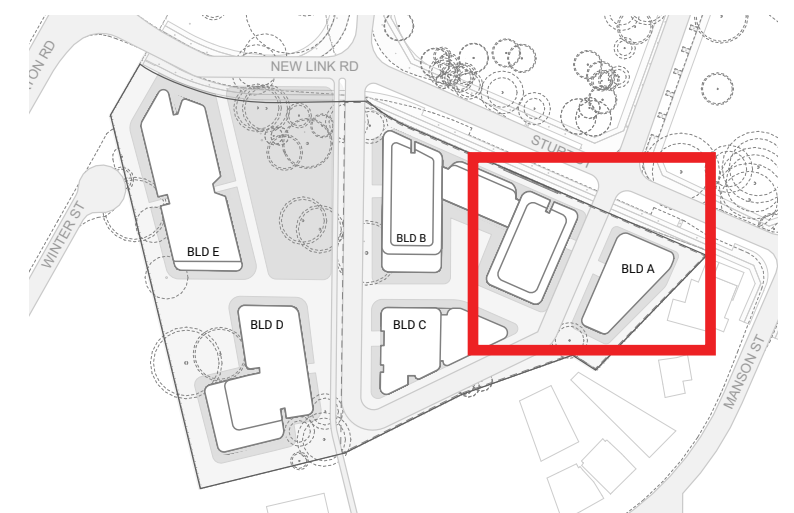
Introduction on 1 x one bedroom apartment in Building A

Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.



basement 01

TELOPEA RESIDENTIAL - STAGE 1A
RESIDENTIAL DESIGN

JOB NO.	20320
DATE	13/12/2023
SCALE	NTS



BEFORE

3.1.d.) Sturt Street Setback

Council Comment

d) The ground level setback along Sturt Street should be a **minimum of 4 metres** and be free of basement structure in order to establish thriving trees and landscaping.

RESPONSE

As noted in response to DPE's comments, an increased setback has been introduced along Sturt Street.

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

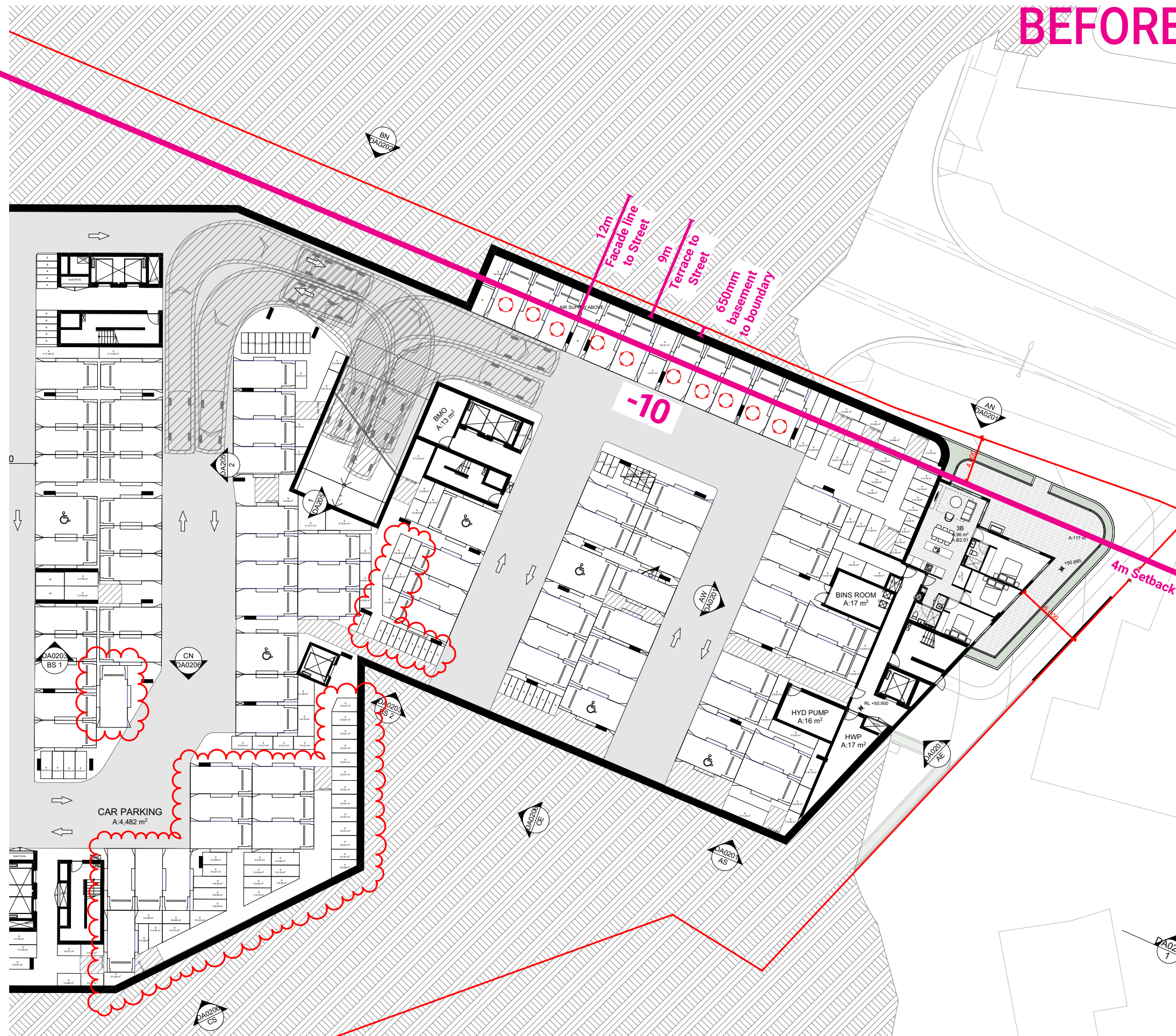
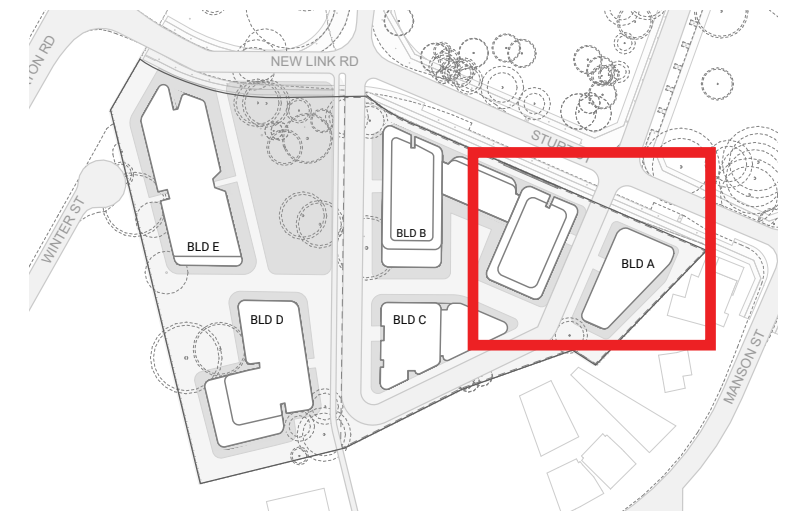
Introduction on 1 x one bedroom apartment in Building A

Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.



Basement 2

TELOPEA RESIDENTIAL - STAGE 1A
RESIDENTIAL DESIGN

JOB NO. 20320
DATE 13/12/2023
SCALE NTS



3.1.d.) Sturt Street Setback

Council Comment

d) The ground level setback along Sturt Street should be a **minimum of 4 metres** and be free of basement structure in order to establish thriving trees and landscaping.

RESPONSE

As noted in response to DPE's comments, an increased setback has been introduced along Sturt Street.

Amendments to Buildings A and B aim to reduce blank walls to the Sturt Street frontage and reflect Council's request for a minimum setback of 4 metres to be free of basement structure in order to establish thriving trees and landscaping. Specifically, to the Architectural Plans include:

Basement 02:
Relocation of 10 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

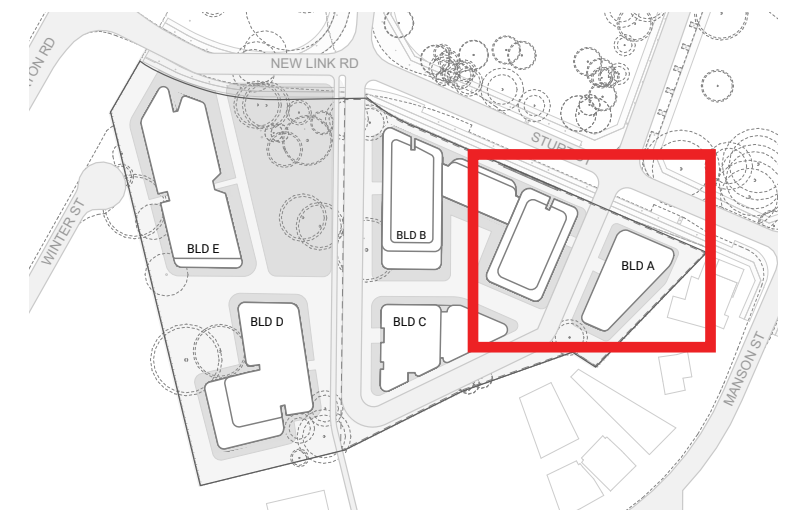
Introduction on 1 x one bedroom apartment in Building A

Basement 01:
Relocation of 5 car spaces and storage spaces to provide a 4 metre setback along Sturt Street

Introduction on 1 x one bedroom apartment in Building B

Lower Ground:
Reconfiguration of B.LG.01, B.LG.02 and B.LG.03 to provide terraced landscaping

No updates are required to the existing swept path analysis which is confirmed by the traffic engineer advice enclosed in Appendix C.



Basement 2

TELOPEA RESIDENTIAL - STAGE 1A
RESIDENTIAL DESIGN

JOB NO.	20320
DATE	13/12/2023
SCALE	NTS



3.1.e.) Building A Communal Area

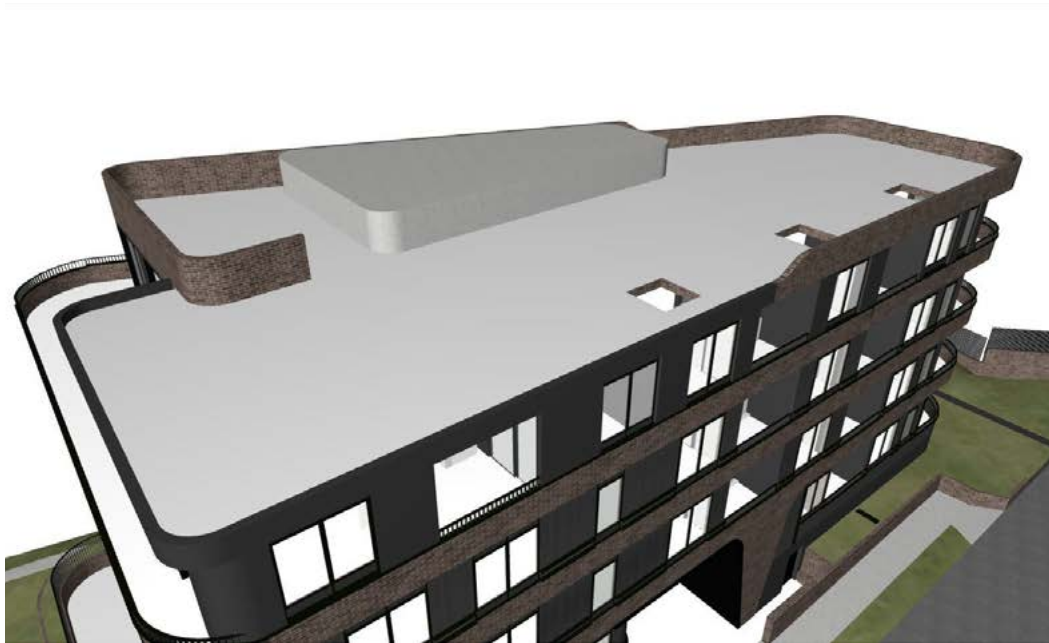
Council Comment

e) Building A Communal Open Space –the open space for residents does not meet minimum solar access requirements, has poor accessibility and inadequate size and dimensions.
Furthermore new courtyards sit 1.5 metres above the existing ground level on the property boundary which creates privacy conflicts.

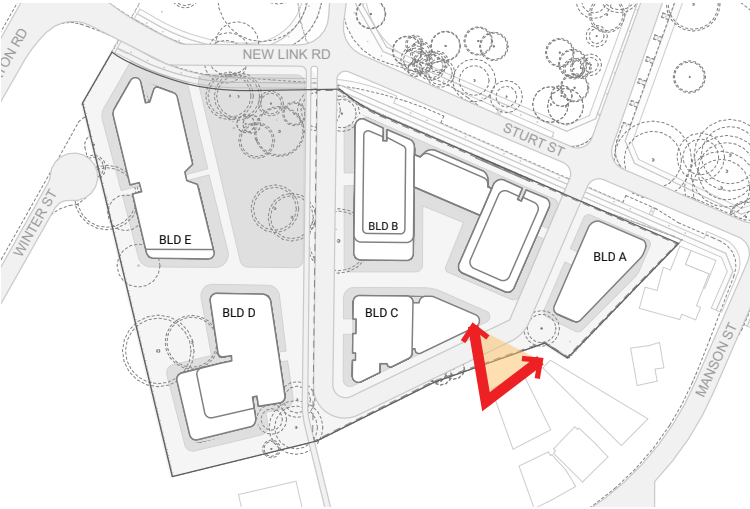
RESPONSE

Approximately 339sqm (or 39% of the 1,092sqm site) of communal open space is being introduced onto the roof of Building A.

BUILDING_A ROOF BEFORE



BUILDING_A ROOF AFTER





Stage 1A Masterplan (Bates Smart)

TELOPEA RESIDENTIAL - STAGE 1A

RESIDENTIAL DESIGN

3.1.f.) Building B articulation

Council Comment

f) Building B - Council does not support the Clause 4.6 variation (as amended) to create additional height on Building B from 14 and 9 storeys to 15 and 10 storeys. Council does not consider adequate justification has been provided to support the extent of additional variation being sought. Furthermore, Building B should be reduced in length or introduce building breaks and greater articulation.

RESPONSE

Refinements were introduced in December 2022 to Stage 1A including increased setbacks at lower levels to align with the design objectives across the Telopea CPA, as illustrated in the Bates Smart concept plans. The GFA associated with the reduction in lower levels was reconfigured into an additional storey for Building B. The overall massing was designed to ensure the additional height is not perceivable from ground level and results in minimal additional overshadowing. Building articulation zones aligning with Note E in the Concept Plan are also provided along the Sturt Street frontage.

This matter has been addressed in the current Clause 4.6 Variation. Nevertheless, the entirety of Stage 1A is currently being updated to adopt 3.15m floor to floor heights to avoid a future modification to meet NCC requirements.

This is reflected in the refined plans prepared by Plus Architecture (refer to Appendix A) and an updated Clause 4.6 Variation to height in Stage 1A (refer to Appendix G).

3.1.g.) Tree Retention

Council Comment

Demonstration that Trees 299 and 373 are retained. Currently, the basement and Buildings D and E impact on the tree protection zones of these trees.

RESPONSE

As noted in response to DPE's comments, further analysis of Trees 299 and 373 has been undertaken and is enclosed in Appendix I.

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