

# APPENDIX:

# ADG COMPLIANCE

| ADG Ref.     | Item Description                                                                                                                                                                                                      | Notes                                                        | Compliance        |
|--------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------|-------------------|
| <b>PART3</b> | <b>SITING THE DEVELOPMENT</b>                                                                                                                                                                                         |                                                              |                   |
| <b>3A</b>    | <b>SITE ANALYSIS</b>                                                                                                                                                                                                  |                                                              |                   |
| 3A-1<br>p47  | Objective: Site Analysis illustrates that design decisions have been based on opportunities & constraints of the site conditions & their relationship to the surrounding context.                                     |                                                              | ✓                 |
|              | <b>DESIGN GUIDANCE</b>                                                                                                                                                                                                |                                                              | <b>CONSIDERED</b> |
|              | Each element in the Site Analysis Checklist is addressed.                                                                                                                                                             | -                                                            | YES               |
| <b>3B</b>    | <b>ORIENTATION</b>                                                                                                                                                                                                    |                                                              |                   |
| 3B-1<br>p49  | Objective: Building types & layouts respond to the streetscape & site while optimising solar access within the development                                                                                            |                                                              | ✓                 |
|              | <b>Design Guidance</b>                                                                                                                                                                                                |                                                              | <b>CONSIDERED</b> |
|              | Buildings along the street frontage define the street by facing it & incorporating direct access from the street                                                                                                      | -                                                            | YES               |
|              | Where the street frontage is to the east or west, rear buildings are orientated to the north                                                                                                                          | -                                                            | N/A               |
|              | Where the street frontage is to the north or south, overshadowing to the south is minimised & buildings behind the street frontage are orientated east & west                                                         | -                                                            | N/A               |
| 3B-2<br>p49  | Objective: Overshadowing of neighbouring properties is minimised during mid winter.                                                                                                                                   |                                                              | ✓                 |
|              | <b>Design Guidance</b>                                                                                                                                                                                                |                                                              | <b>CONSIDERED</b> |
|              | Living areas, private open space & communal open space receive solar access in accordance with section 3D Communal & Public Open Space and section 4A Solar & Daylight Access                                         | Capable of complying.                                        | YES               |
|              | Solar access to living rooms, balconies & private open spaces of neighbours are considered                                                                                                                            | Refer to appended Solar access assessment                    | YES               |
|              | Where an adjoining property does not currently receive the required hours of solar access, the proposed building ensures solar access to neighbouring properties is not reduced by more than 20%                      | Refer to appended Solar access assessment                    | N/A               |
|              | If the proposal will reduce the solar access of neighbours, building separation is increased beyond minimums contained in 3F Visual Privacy                                                                           | Refer to appended Solar access assessment                    | N/A               |
|              | Overshadowing is minimised to the south or downhill by increased upper level setbacks                                                                                                                                 | Refer to appended Solar access assessment and DA03.MP.500[1] | YES               |
|              | Buildings are orientated at 90 deg to the boundary with neighbourings to minimise overshadowing & privacy impacts, particularly where minimum setbacks are used & buildings are higher than the adjoining development | Refer to appended Solar access assessment and DA03.MP.500[1] | N/A               |
|              | A minimum of 4 hours of solar access is retained to solar collectors on neighbouring buildings                                                                                                                        | Refer to appended Solar access assessment                    | YES               |
| <b>3C</b>    | <b>PUBLIC DOMAIN INTERFACE</b>                                                                                                                                                                                        |                                                              |                   |
| 3C-1<br>p51  | Objective: Transition between private & public domain is achieved without compromising safety & security.                                                                                                             |                                                              | ✓                 |
|              | <b>Design Guidance</b>                                                                                                                                                                                                |                                                              | <b>CONSIDERED</b> |
|              | Terraces, balconies and courtyard apartments have direct street entry, where appropriate                                                                                                                              | -                                                            | YES               |
|              | Changes in level between private terraces, front gardens & dwelling entries above the street level provide surveillance & improve visual privacy for ground level dwellings                                           | Capable of complying.                                        | YES               |

| ADG Ref.    | Item Description                                                                                                                                                                                                                                                                                                                                                                                                  | Notes                                                                                                                                                                   | Compliance        |
|-------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------|
|             | Upper level balconies & windows overlook the public domain                                                                                                                                                                                                                                                                                                                                                        | Capable of complying.                                                                                                                                                   | YES               |
|             | Front fences & walls along street frontages use visually permeable materials & treatments. Height of solid fences or walls is limited to 1m                                                                                                                                                                                                                                                                       | Capable of complying.                                                                                                                                                   | YES               |
|             | Length of solid walls is limited along street frontages                                                                                                                                                                                                                                                                                                                                                           | Capable of complying.                                                                                                                                                   | YES               |
|             | Opportunities for casual interaction between residents & the public domain is provided for. Design solutions may include seating at building entries, near letter boxes & in private courtyards adjacent to streets                                                                                                                                                                                               | Capable of complying.                                                                                                                                                   | YES               |
|             | In developments with multiple buildings and/or entries, pedestrian entries & spaces associated with individual buildings/entries are differentiated to improve legibility for residents, using the following design solutions: Architectural detailing; Changes in materials; Plant Species; Colours; Opportunities for people to be concealed are minimised                                                      | Capable of complying.                                                                                                                                                   | YES               |
| 3C-2<br>p53 | Objective: Amenity of the public domain is retained & enhanced.                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                         | ✓                 |
|             | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                         | <b>CONSIDERED</b> |
|             | Planting is used to soften the edges of any raised terraces to the street, for example above sub-basement car parking                                                                                                                                                                                                                                                                                             | Capable of complying.                                                                                                                                                   | YES               |
|             | Mail boxes are located in lobbies, perpendicular to the street alignment or integrated into front fences where individual street entries are provided                                                                                                                                                                                                                                                             | Capable of complying.                                                                                                                                                   | YES               |
|             | The visual prominence of underground car park vents is minimised & located at a low level where possible                                                                                                                                                                                                                                                                                                          | Capable of complying.                                                                                                                                                   | YES               |
|             | Substations, pump rooms, garbage storage areas & other service requirements are located in basement car parks or out of view                                                                                                                                                                                                                                                                                      | Capable of complying.                                                                                                                                                   | YES               |
|             | Ramping for accessibility is minimised by building entry location & setting ground floor levels in relation to footpath levels                                                                                                                                                                                                                                                                                    | Capable of complying.                                                                                                                                                   | YES               |
|             | Durable, graffiti resistant & easily cleanable materials are used                                                                                                                                                                                                                                                                                                                                                 | Capable of complying.                                                                                                                                                   | YES               |
|             | Where development adjoins public parks, open space or bushland, the design positively addresses this interface & uses the following design solutions: Street access, pedestrian paths & building entries are clearly defined; Paths, low fences & planting are clearly delineate between communal/private open space & the adjoining public open space; Minimal use of blank walls, fences & ground level parking | Capable of complying.                                                                                                                                                   | YES               |
|             | On sloping sites protrusion of car parking above ground level is minimised by using split levels to step underground car parking                                                                                                                                                                                                                                                                                  | Capable of complying.                                                                                                                                                   | YES               |
| 3D          | <b>COMMUNAL &amp; PUBLIC OPEN SPACE</b>                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                         |                   |
| 3D-1<br>p55 | Objective: An adequate area of communal open space is provided to enhance residential amenity & to provide opportunities for landscaping.                                                                                                                                                                                                                                                                         |                                                                                                                                                                         | ✓                 |
|             | <b>Design Criteria</b>                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                         |                   |
| 1           | Communal open space has a minimum area equal to 25% of the site                                                                                                                                                                                                                                                                                                                                                   | Communal open space is to be assessed lot by lot during stage 2 DAs. The IDS proposes ground and rooftop communal open space greater than 25% of the overall site area. | YES ✓             |
| 2           | Developments achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of 2 hours between 9 am and 3 pm on 21 June (mid winter)                                                                                                                                                                                                                              | Capable of complying.                                                                                                                                                   | ✓                 |
|             | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                         | <b>CONSIDERED</b> |
|             | Communal open space is consolidated into a well designed & usable area                                                                                                                                                                                                                                                                                                                                            | Capable of complying.                                                                                                                                                   | YES               |
|             | Communal open space have a minimum dimension of 3m. Larger developments should consider greater dimensions                                                                                                                                                                                                                                                                                                        | Capable of complying.                                                                                                                                                   | YES               |
|             | Communal open space are co-located with deep soil areas                                                                                                                                                                                                                                                                                                                                                           | Capable of complying.                                                                                                                                                   | YES               |
|             | Direct, equitable access are provided to communal open space areas from common circulation areas, entries & lobbies                                                                                                                                                                                                                                                                                               | Capable of complying.                                                                                                                                                   | YES               |
|             | Where communal open space cannot be provided at ground level, it is provided on a podium or roof                                                                                                                                                                                                                                                                                                                  | Capable of complying.                                                                                                                                                   | YES               |
|             | Where developments are unable to achieve the design criteria, such as on small lots, sites within business zones, or in a dense urban area, they need to Provide alternative options for residents                                                                                                                                                                                                                | Capable of complying.                                                                                                                                                   | YES               |

## Appendix

| ADG Ref.          | Item Description                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | Notes                                                                                                                                                                                                                                                          | Compliance      |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|-------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------|---------------------------------|---------------|---|---|----------|---|--|-------------------|---|--|--|--|
| 3D-2<br>p57       | Objective: Communal open space is designed to allow for a range of activities, respond to site conditions & be attractive and inviting                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                | ✓               |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | Design Guidance                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                | CONSIDERED      |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | Facilities are provided within communal open spaces & common spaces for a range of age groups (see 4F Common Circulation & Spaces), incorporating the following: Seating for individuals or groups; Barbeque areas; Play equipment or play areas; Swimming pools, gyms, tennis courts or common rooms                                                                                                                                                                                                          | Capable of complying.                                                                                                                                                                                                                                          | YES             |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | Location of facilities responds to microclimate & site conditions with access to sun in winter, shade in summer & shelter from strong winds & down drafts                                                                                                                                                                                                                                                                                                                                                      | Capable of complying.                                                                                                                                                                                                                                          | YES             |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | Visual impacts of services are minimised, including location of ventilation duct outlets from basement car parks, electrical substations & detention tanks                                                                                                                                                                                                                                                                                                                                                     | Capable of complying.                                                                                                                                                                                                                                          | YES             |                                 |               |   |   |          |   |  |                   |   |  |  |  |
| 3D-3<br>p57       | Objective: Communal open space is designed to maximise safety.                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                | ✓               |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | Design Guidance                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                | CONSIDERED      |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | Communal open space & public domain should be readily visible from habitable rooms & private open space areas while maintaining visual privacy. Design solutions include: Bay windows; Corner windows; Balconies                                                                                                                                                                                                                                                                                               | Capable of complying.                                                                                                                                                                                                                                          | YES             |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | Communal open space is well lit                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | Capable of complying.                                                                                                                                                                                                                                          | YES             |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | Communal open space/facilities that are provided for children & young people are safe and contained                                                                                                                                                                                                                                                                                                                                                                                                            | Capable of complying.                                                                                                                                                                                                                                          | YES             |                                 |               |   |   |          |   |  |                   |   |  |  |  |
| 3D-4<br>p59       | Objective: Public open space, where provided, responds to the existing pattern & uses of the neighbourhood.                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                | ✓               |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | Design Guidance                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                | CONSIDERED      |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | Public open space is well connected with public streets along at least one edge                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                | YES             |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | POS is connected with nearby parks & other landscape elements                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                | YES             |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | POS is linked through view lines, pedestrian desire paths, termination points & the wider street grid                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                | YES             |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | Solar access is provided year round along with protection from strong winds                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                | YES             |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | Opportunities for a range of recreational activities is provided for all ages                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                | YES             |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | Positive street address & active street frontages are provided adjacent to POS                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                | YES             |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | Boundaries are clearly defined between POS & private areas                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                | YES             |                                 |               |   |   |          |   |  |                   |   |  |  |  |
| 3E                | DEEP SOIL ZONES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                |                 |                                 |               |   |   |          |   |  |                   |   |  |  |  |
| 3E-1<br>p61       | Objective: Deep soil zones are suitable for healthy plant & tree growth, improve residential amenity and promote management of water and air quality.                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                | ✓               |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | Design Criteria                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                |                 |                                 |               |   |   |          |   |  |                   |   |  |  |  |
| 1                 | Deep soil zones are to meet the following minimum requirements:                                                                                                                                                                                                                                                                                                                                                                                                                                                | Consistent with the DCP and DPIE recommendation, greater than 15% of the masterplan site area is provided as deep soil with a minimum dimension >6m, and greater than 30% of the masterplan site area is provided as deep soil with a minimum dimension of 4m. | ✓               |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | <table><tr><th>Site Area (sqm)</th><th>Minimum Dim (m)</th><th>Deep Soil Zone (% of site area)</th></tr><tr><td>less than 650</td><td>-</td><td>7</td></tr><tr><td>650-1500</td><td>3</td><td></td></tr><tr><td>greater than 1500</td><td>6</td><td></td></tr></table>                                                                                                                                                                                                                                         | Site Area (sqm)                                                                                                                                                                                                                                                | Minimum Dim (m) | Deep Soil Zone (% of site area) | less than 650 | - | 7 | 650-1500 | 3 |  | greater than 1500 | 6 |  |  |  |
| Site Area (sqm)   | Minimum Dim (m)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | Deep Soil Zone (% of site area)                                                                                                                                                                                                                                |                 |                                 |               |   |   |          |   |  |                   |   |  |  |  |
| less than 650     | -                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | 7                                                                                                                                                                                                                                                              |                 |                                 |               |   |   |          |   |  |                   |   |  |  |  |
| 650-1500          | 3                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                |                 |                                 |               |   |   |          |   |  |                   |   |  |  |  |
| greater than 1500 | 6                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                |                 |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | Design Guidance                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                | CONSIDERED      |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | On some sites it may be possible to provide larger deep soil zones, depending on the site area & context: 10% of the site as deep soil on sites with an area of 650sqm - 1,500sqm; 15% of the site as deep soil on sites greater than 1,500sqm                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                | YES             |                                 |               |   |   |          |   |  |                   |   |  |  |  |
|                   | Deep soil zones are located to retain existing significant trees & to allow for the development of healthy root systems, providing anchorage & stability for mature trees. Design solutions may include: Basement & sub-basement car park design that is consolidated beneath building footprints; Use of increased front & side setbacks; Adequate clearance around trees to ensure long term health; Co-location with other deep soil areas on adjacent sites to create larger contiguous areas of deep soil |                                                                                                                                                                                                                                                                | YES             |                                 |               |   |   |          |   |  |                   |   |  |  |  |

| ADG Ref.               | Item Description                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Notes                                                                             | Compliance                       |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
|------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|----------------------------------|-------------------------|---------------------|---|---|------------------------|---|-----|----------------------|----|---|--|--|
|                        | Achieving the design criteria may not be possible on some sites including where: location & building typology have limited or no space for deep soil at ground level (e.g. central business district, constrained sites, high density areas, or in centres); there is 100% site coverage or non-residential uses at ground floor level.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                   | N/A                              |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
| 3F                     | VISUAL PRIVACY                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                   |                                  |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
| 3F-1<br>p63            | Objective: Adequate building separation distances are shared equitably between neighbouring sites, to achieve reasonable levels of external & internal visual privacy.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                   | ✓                                |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
|                        | Design Criteria                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                   |                                  |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
| 1                      | Separation between windows & balconies is provided to ensure visual privacy is achieved. Minimum required separation distances from buildings to the side & rear boundaries are as follows:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | Indicative reference design demonstrates scheme is capable of complying.          | YES ✓                            |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
|                        | <table><tr><th>Building Height (m)</th><th>Habitable Rooms &amp; Balconies. (m)</th><th>Non-Habitable Rooms (m)</th></tr><tr><td>up to 12 4 storeys)</td><td>6</td><td>3</td></tr><tr><td>up to 25 (5-8 storeys)</td><td>9</td><td>4.5</td></tr><tr><td>over 25 (9+ storeys)</td><td>12</td><td>6</td></tr></table>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Building Height (m)                                                               | Habitable Rooms & Balconies. (m) | Non-Habitable Rooms (m) | up to 12 4 storeys) | 6 | 3 | up to 25 (5-8 storeys) | 9 | 4.5 | over 25 (9+ storeys) | 12 | 6 |  |  |
| Building Height (m)    | Habitable Rooms & Balconies. (m)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Non-Habitable Rooms (m)                                                           |                                  |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
| up to 12 4 storeys)    | 6                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | 3                                                                                 |                                  |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
| up to 25 (5-8 storeys) | 9                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | 4.5                                                                               |                                  |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
| over 25 (9+ storeys)   | 12                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | 6                                                                                 |                                  |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
|                        | Note: Separation distances between buildings on the same site should combine required building separations depending on the type of room. Gallery access circulation should be treated as habitable space when measuring privacy separation distances between neighbouring properties.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                   |                                  |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
|                        | Design Guidance                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                   | CONSIDERED                       |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
|                        | Generally as the height increases, one step in the built form is desirable due to building separations. Any additional steps do not cause a 'ziggurat' appearance                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | -                                                                                 | N/A                              |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
|                        | For residential buildings next to commercial buildings, separation distances are measured as follows: Retail, office spaces & commercial balconies use the habitable room distances; Service & plant areas use the non-habitable room distances                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | -                                                                                 | N/A                              |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
|                        | New development are located & oriented to maximise visual privacy between buildings on site & for neighbouring buildings. Design solutions include: site layout & building are orientated to minimise privacy impacts (see 3B Orientation); on sloping sites, apartments on different levels have appropriate visual separation distances (see pg 63 figure 3F.4)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Capable of complying.                                                             | YES                              |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
|                        | Apartment buildings have an increased separation distance of 3m (in addition to 3F-1 Design Criteria) when adjacent to a different zone that permits lower density residential development, to provide for a transition in scale & increased landscaping (pg 63 figure 3F.5)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | Complies except where tree retention is given priority. Refer DA03.MP.500[1]      | YES                              |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
|                        | Direct lines of sight are avoided for windows & balconies across corners                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | Capable of complying.                                                             | YES                              |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
|                        | No separation is required between blank walls                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | Adopted in 4 locations in the North precinct and 1 location in the South precinct | YES                              |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
| 3F-2<br>p65            | Objective: Site & building design elements increase privacy without compromising access to light & air and balance outlook & views from habitable rooms & private open space.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                   | ✓                                |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
|                        | Design Guidance                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                   | CONSIDERED                       |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
|                        | Communal open space, common areas & access paths are separated from private open space & windows to apartments, particularly habitable room windows. Design solutions include: setbacks; solid or partially solid balustrades on balconies at lower levels; fencing and/or trees and vegetation to separate spaces; screening devices; bay windows or pop out windows to provide privacy in one direction & outlook in another; raising apartments or private open space above the public domain or communal open space; planter boxes incorporated into walls & balustrades to increase visual separation; pergolas or shading devices to limit overlooking of lower apartments or private open space; on constrained sites where it can be demonstrated that building layout opportunities are limited, fixed louvres or screen panels on windows and/or balconies | Capable of complying.                                                             | YES                              |                         |                     |   |   |                        |   |     |                      |    |   |  |  |
|                        | Bedrooms, living spaces & other habitable rooms are separated from gallery access & other open circulation space by the apartment's service areas                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Capable of complying.                                                             | YES                              |                         |                     |   |   |                        |   |     |                      |    |   |  |  |

## Appendix

| ADG Ref.            | Item Description                                                                                                                                                                                                                                                                                                                     | Notes                                                  | Compliance        |
|---------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------|-------------------|
|                     | Balconies & private terraces are located in front of living rooms to increase internal privacy                                                                                                                                                                                                                                       | Capable of complying.                                  | YES               |
|                     | Windows are offset from the windows of adjacent buildings                                                                                                                                                                                                                                                                            | Capable of complying.                                  | YES               |
|                     | Recessed balconies and/or vertical fins are used between adjacent balconies                                                                                                                                                                                                                                                          | Capable of complying.                                  | YES               |
| <b>3G</b>           | <b>PEDESTRIAN ACCESS &amp; ENTRIES</b>                                                                                                                                                                                                                                                                                               |                                                        |                   |
| <b>3G-1<br/>p67</b> | Objective: Building entries & pedestrian access connects to and addresses the public domain.                                                                                                                                                                                                                                         |                                                        | ✓                 |
|                     | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                               |                                                        | <b>CONSIDERED</b> |
|                     | Multiple entries (including communal building entries & individual ground floor entries) activate the street edge                                                                                                                                                                                                                    | Capable of complying.                                  | YES               |
|                     | Entry locations relate to the street & subdivision pattern, and the existing pedestrian network                                                                                                                                                                                                                                      | Capable of complying.                                  | YES               |
|                     | Building entries are clearly identifiable. Communal entries are clearly distinguishable from private entries                                                                                                                                                                                                                         | Capable of complying.                                  | YES               |
|                     | Where street frontage is limited, a primary street address should be provided with clear sight lines and pathways to secondary building entries                                                                                                                                                                                      | Capable of complying.                                  | YES               |
| <b>3G-2<br/>p67</b> | Objective: Access, entries & pathways are accessible & easy to identify.                                                                                                                                                                                                                                                             |                                                        | ✓                 |
|                     | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                               |                                                        | <b>CONSIDERED</b> |
|                     | Building access areas including lift lobbies, stairwells & hallways are clearly visible from the public domain & communal spaces                                                                                                                                                                                                     | Capable of complying.                                  | YES               |
|                     | The design of ground floors & underground car parks minimise level changes along pathways & entries                                                                                                                                                                                                                                  | Capable of complying.                                  | YES               |
|                     | Steps & ramps are integrated into the overall building & landscape design                                                                                                                                                                                                                                                            | Capable of complying.                                  | YES               |
|                     | For large developments 'way finding' maps are provided to assist visitors & residents                                                                                                                                                                                                                                                | Capable of complying.                                  | YES               |
|                     | For large developments electronic access & audio/video intercom are provided to manage access                                                                                                                                                                                                                                        | Capable of complying.                                  | YES               |
| <b>3G-3<br/>p67</b> | Objective: Large sites provide pedestrian links for access to streets & connection to destinations.                                                                                                                                                                                                                                  |                                                        | ✓                 |
|                     | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                               |                                                        | <b>CONSIDERED</b> |
|                     | Pedestrian links through sites facilitate direct connections to open space, main streets, centres & public transport                                                                                                                                                                                                                 | Proposed in several locations.                         | YES               |
|                     | Pedestrian links are direct, have clear sight lines, are overlooked by habitable rooms or private open spaces of dwellings, are well lit & contain active uses, where appropriate                                                                                                                                                    | Capable of complying.                                  | YES               |
| <b>3H</b>           | <b>VEHICLE ACCESS</b>                                                                                                                                                                                                                                                                                                                |                                                        |                   |
| <b>3H-1<br/>p69</b> | Objective: Vehicle access points are designed & located to achieve safety, minimise conflicts between pedestrians & vehicles and create high quality streetscapes.                                                                                                                                                                   |                                                        | ✓                 |
|                     | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                               |                                                        | <b>CONSIDERED</b> |
|                     | Car park access is integrated with the building's overall facade. Design solutions include: materials & colour palette minimise visibility from street; security doors/gates minimise voids in the facade; where doors are not provided, visible interiors reflect facade design, and building services, pipes & ducts are concealed | Capable of complying.                                  | YES               |
|                     | Car park entries are located behind the building line                                                                                                                                                                                                                                                                                | Capable of complying.                                  | YES               |
|                     | Vehicle entries are located at the lowest point of the site, minimising ramp lengths, excavation & impacts on the building form and layout                                                                                                                                                                                           | Capable of complying.                                  | YES               |
|                     | Car park entry & access are located on secondary streets or lanes where available                                                                                                                                                                                                                                                    | Complies except where tree retention is given priority | NO                |
|                     | Vehicle standing areas that increase driveway width & encroach into setbacks are avoided                                                                                                                                                                                                                                             | Capable of complying.                                  | YES               |
|                     | Access point is located to avoid headlight glare to habitable rooms                                                                                                                                                                                                                                                                  | Capable of complying.                                  | YES               |
|                     | Adequate separation distances are provided between vehicle entries & street intersections                                                                                                                                                                                                                                            | Capable of complying.                                  | YES               |
|                     | The width & number of vehicle access points are limited to the minimum                                                                                                                                                                                                                                                               | Capable of complying.                                  | YES               |

| ADG Ref.        | Item Description                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Notes                                                                        | Compliance |
|-----------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------|------------|
|                 | Visual impact of long driveways is minimised through changing alignments & screen planting                                                                                                                                                                                                                                                                                                                                                                                                             | Capable of complying.                                                        | YES        |
|                 | The need for large vehicles to enter or turn around within the site is avoided                                                                                                                                                                                                                                                                                                                                                                                                                         | In the core, most buildings will be serviced from below ground loading areas | NO         |
|                 | Garbage collection, loading & servicing areas are screened                                                                                                                                                                                                                                                                                                                                                                                                                                             | Capable of complying.                                                        | YES        |
|                 | Clear sight lines are provided at pedestrian & vehicle crossings                                                                                                                                                                                                                                                                                                                                                                                                                                       | Capable of complying.                                                        | YES        |
|                 | Traffic calming devices, such as changes in paving material or textures, are used where appropriate                                                                                                                                                                                                                                                                                                                                                                                                    | Capable of complying.                                                        | YES        |
|                 | Pedestrian & vehicle access are separated & distinguishable. Design solutions include: Changes in surface materials; Level changes; Landscaping for separation                                                                                                                                                                                                                                                                                                                                         | Capable of complying.                                                        | YES        |
| <b>3J</b>       | <b>BICYCLE &amp; CAR PARKING</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                              |            |
| <b>3J-1 p71</b> | Objective: Car parking is provided based on proximity to public transport in metropolitan Sydney & centres in regional areas.                                                                                                                                                                                                                                                                                                                                                                          |                                                                              | ✓          |
|                 | <b>Design Criteria</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                              |            |
| 1.              | For development in the following locations: on sites that are within 800m of a railway station or light rail stop in the Sydney Metropolitan Area; or on land zoned, and sites within 400m of land zoned, B3 Commercial Core, B4 Mixed Use or equivalent in a nominated regional centre the minimum car parking requirement for residents & visitors is set out in the Guide to Traffic Generating Developments, or the car parking requirement prescribed by the relevant council, whichever is less. | Parking is provided in accordance with DCP rates.                            | ✓          |
|                 | The car parking needs for a development must be provided off street.                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                              |            |
|                 | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                              | CONSIDERED |
|                 | Where a car share scheme operates locally, car share parking spaces are provided within the development.                                                                                                                                                                                                                                                                                                                                                                                               |                                                                              | YES        |
|                 | Where less car parking is provided in a development, council do not provide on street resident parking permits                                                                                                                                                                                                                                                                                                                                                                                         |                                                                              | N/A        |
| <b>3J-2 p71</b> | Objective: Parking & facilities are provided for other modes of transport.                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                              | ✓          |
|                 | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                              | CONSIDERED |
|                 | Conveniently located & sufficient numbers of parking spaces are provided for motorbikes & scooters                                                                                                                                                                                                                                                                                                                                                                                                     | Capable of complying.                                                        | YES        |
|                 | Secure undercover bicycle parking is provided & easily accessible from both public domain & common areas                                                                                                                                                                                                                                                                                                                                                                                               | Capable of complying.                                                        | YES        |
|                 | Conveniently located charging stations are provided for electric vehicles, where desirable                                                                                                                                                                                                                                                                                                                                                                                                             | Capable of complying.                                                        | YES        |
| <b>3J-3 p73</b> | Objective: Car park design & access is safe and secure.                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                              | ✓          |
|                 | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                              | CONSIDERED |
|                 | Supporting facilities within car parks, including garbage, plant & switch rooms, storage areas & car wash bays can be accessed without crossing car parking spaces                                                                                                                                                                                                                                                                                                                                     | Capable of complying.                                                        | YES        |
|                 | Direct, clearly visible & well lit access is provided into common circulation areas                                                                                                                                                                                                                                                                                                                                                                                                                    | Capable of complying.                                                        | YES        |
|                 | Clearly defined & visible lobby or waiting area is provided to lifts & stairs                                                                                                                                                                                                                                                                                                                                                                                                                          | Capable of complying.                                                        | YES        |
|                 | For larger car parks, safe pedestrian access is clearly defined & circulation areas have good lighting, colour, line marking and/or bollards                                                                                                                                                                                                                                                                                                                                                           | Capable of complying.                                                        | YES        |
| <b>3J-4 p73</b> | Objective: Visual & environmental impacts of underground car parking are minimised.                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                              | ✓          |
|                 | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                              | CONSIDERED |
|                 | Excavation minimised through efficient car park layouts & ramp design                                                                                                                                                                                                                                                                                                                                                                                                                                  | Capable of complying.                                                        | YES        |
|                 | Car parking layout is well organised, using a logical, efficient structural grid & double loaded aisles                                                                                                                                                                                                                                                                                                                                                                                                | Capable of complying.                                                        | YES        |
|                 | Protrusion of car parks do not exceed 1m above ground level. Solution include stepping car park levels or using split levels on sloping sites                                                                                                                                                                                                                                                                                                                                                          |                                                                              | N/A        |
|                 | Natural ventilation is provided to basement & sub-basement car parking                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                              | NO         |

## Appendix

| ADG Ref.     | Item Description                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Notes                                                                    | Compliance        |
|--------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------|-------------------|
|              | Ventilation grills or screening devices for car parking openings are integrated into the facade & landscape design                                                                                                                                                                                                                                                                                                                                                   |                                                                          | N/A               |
| 3J-5<br>p75  | Objective: Visual & environmental impacts of on-grade car parking are minimised.                                                                                                                                                                                                                                                                                                                                                                                     |                                                                          | N/A               |
|              | -                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                          |                   |
| 3J-6<br>p75  | Objective: Visual & environmental impacts of above ground enclosed car parking are minimised.                                                                                                                                                                                                                                                                                                                                                                        |                                                                          | N/A               |
|              | -                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                          |                   |
| <b>PART4</b> | <b>DESIGNING THE BUILDING</b>                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                          |                   |
| <b>4A</b>    | <b>SOLAR &amp; DAYLIGHT ACCESS</b>                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                          |                   |
| 4A-1<br>p79  | Objective: To optimise number of apartments receiving sunlight to habitable rooms, primary windows & private open space.                                                                                                                                                                                                                                                                                                                                             |                                                                          | ✓                 |
|              | <b>DESIGN CRITERIA</b>                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                          |                   |
| 1            | Living rooms & private open spaces of at least 70% of apartments in a building receive a minimum of 2 hrs direct sunlight between 9am - 3pm at mid winter in Sydney Metropolitan Area and in Newcastle and Wollongong local government areas                                                                                                                                                                                                                         | Indicative design demonstrates scheme is capable of complying.           | YES ✓             |
| 2            | In all other areas, living rooms & private open spaces of at least 70% of apartments in a building receive a minimum of 3 hrs direct sunlight between 9 am - 3 pm at mid winter                                                                                                                                                                                                                                                                                      |                                                                          | N/A               |
| 3            | A maximum of 15% of apartments in a building receive no direct sunlight between 9 am - 3 pm at mid winter                                                                                                                                                                                                                                                                                                                                                            | Indicative design demonstrates scheme is capable of complying.           | YES ✓             |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                          | <b>CONSIDERED</b> |
|              | The design maximises north aspect. The number of single aspect south facing apartments is minimised                                                                                                                                                                                                                                                                                                                                                                  | -                                                                        | YES               |
|              | Single aspect, single storey apartments have a northerly or easterly aspect                                                                                                                                                                                                                                                                                                                                                                                          | Indicative design includes apartments oriented south and west            | NO                |
|              | Living areas are located to the north and service areas to the south & west of apartments                                                                                                                                                                                                                                                                                                                                                                            | -                                                                        | N/A               |
|              | To optimise direct sunlight to habitable rooms & balconies a number of the following design features are used: Dual aspect apartments, Shallow apartment layouts, Two storey & mezzanine level apartments, Bay windows                                                                                                                                                                                                                                               | Indicative reference design demonstrates scheme is capable of complying. | YES               |
|              | To maximise the benefit to residents of direct sunlight within living rooms & private open spaces, a minimum of 1sqm of direct sunlight, measured at 1m above floor level, is achieved for at least 15 minutes                                                                                                                                                                                                                                                       | Capable of complying.                                                    | YES               |
|              | Achieving the design criteria may not be possible where: greater residential amenity can be achieved along a busy road or rail line by orientating the living rooms away from the noise source; on south facing sloping sites; significant views are oriented away from the desired aspect for direct sunlight<br>Design drawings need to demonstrate how site constraints & orientation preclude meeting Design Criteria & how the development meets the objective. | -                                                                        | N/A               |
| 4A-2<br>p81  | Objective: Daylight access is maximised where sunlight is limited.                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                          | ✓                 |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                          | <b>CONSIDERED</b> |
|              | Courtyards, skylights & high level windows (with sills of 1,500mm or greater) are used only as a secondary light source in habitable rooms                                                                                                                                                                                                                                                                                                                           | -                                                                        | N/A               |
|              | Where courtyards are used: Use is restricted to kitchens, bathrooms & service areas; Services are concealed with appropriate detailing & materials to visible walls; Courtyards are fully open to the sky; Access is provided to the light well from communal area for cleaning & maintenance; Acoustic privacy, fire safety & minimum privacy separation distances (see 3F Visual Privacy) are achieved                                                             | -                                                                        | N/A               |
|              | Opportunities for reflected light into apartments are optimised through: Reflective exterior surfaces on buildings opposite south facing windows; Positioning windows to face other buildings or surfaces (on neighbouring sites or within site) that will reflect light; Integrating light shelves into the design; Light coloured internal finishes                                                                                                                | Capable of complying.                                                    | YES               |
| 4A-3<br>p81  | Objective: Design incorporates shading & glare control, particularly for warmer months.                                                                                                                                                                                                                                                                                                                                                                              |                                                                          | ✓                 |

| ADG Ref.            | Item Description                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Notes                                                                    | Compliance        |
|---------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------|-------------------|
|                     | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                          | <b>CONSIDERED</b> |
|                     | A number of the following design features are used: Balconies or sun shading that extend far enough to shade summer sun, but allow winter sun to penetrate living areas; Shading devices such as eaves, awnings, balconies, pergolas, external louvres & planting; Horizontal shading to north facing windows; Vertical shading to east & particularly west facing windows; Operable shading to allow adjustment & choice; High performance glass that minimises external glare off windows, with consideration given to reduce tint glass or glass with a reflectance level below 20% (reflective films are avoided) | Capable of complying.                                                    | YES               |
| <b>4B</b>           | <b>NATURAL VENTILATION</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                          |                   |
| <b>4B-1<br/>p83</b> | Objective: All habitable rooms are naturally ventilated.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                          | ✓                 |
|                     | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                          | <b>CONSIDERED</b> |
|                     | The building's orientation maximises capture & use of prevailing breezes for natural ventilation in habitable rooms                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | Capable of complying.                                                    | YES               |
|                     | Depths of habitable rooms support natural ventilation                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | Capable of complying.                                                    | YES               |
|                     | The area of unobstructed window openings should be equal to at least 5% of the floor area served                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Capable of complying.                                                    | YES               |
|                     | Light wells are not the primary air source for habitable rooms                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | Capable of complying.                                                    | YES               |
|                     | Doors & openable windows maximise natural ventilation opportunities by using the following design solutions: Adjustable windows with large effective openable areas; Variety of window types that provide safety & flexibility such as awnings & louvres; Windows that occupants can reconfigure to funnel breezes into apartment, such as vertical louvres, casement windows & externally opening doors                                                                                                                                                                                                              | Capable of complying.                                                    | YES               |
| <b>4B-2<br/>p83</b> | Objective: The layout & design of single aspect apartments maximises natural ventilation.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                          | ✓                 |
|                     | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                          | <b>CONSIDERED</b> |
|                     | Apartment depths limited to maximise ventilation & airflow                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | Capable of complying.                                                    | YES               |
|                     | Natural ventilation to single aspect apartments is achieved with the following design solutions: Primary windows are augmented with plenums and light wells (generally not suitable for cross ventilation); Stack effect ventilation, solar chimneys or similar used to naturally ventilate internal building areas or rooms such as bathrooms & laundries; Courtyards or building indentations have a width to depth ratio of 2:1 or 3:1 to ensure effective air circulation & avoid trapped smells                                                                                                                  | Capable of complying.                                                    | YES               |
| <b>4B-3<br/>p85</b> | Objective: Number of apartments with natural cross vent is maximised to create comfortable indoor environments for residents.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                          | ✓                 |
|                     | <b>Design Criteria</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                          |                   |
| 1                   | At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building. Apartments at ten storeys or greater are deemed to be cross ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed                                                                                                                                                                                                                                                                                                                   | Indicative reference design demonstrates scheme is capable of complying. | YES ✓             |
| 2                   | Overall depth of a cross-over or cross-through apartment does not exceed 18m, measured glass line to glass line                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Capable of complying.                                                    | YES ✓             |
|                     | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                          | <b>CONSIDERED</b> |
|                     | The building includes dual aspect apartments, cross through apartments & corner apartments, and limited apartment depths                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Capable of complying.                                                    | YES               |
|                     | In cross-through apartments, external window & door opening sizes/areas on one side of an apartment (inlet side) are approximately equal to the external window & door opening sizes/areas on the other side of the apartment (outlet side)                                                                                                                                                                                                                                                                                                                                                                           | Capable of complying.                                                    | YES               |
|                     | Apartments are designed to minimise the number of corners, doors & rooms that might obstruct airflow                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Capable of complying.                                                    | YES               |
|                     | Apartment depths, combined with appropriate ceiling heights, maximise cross ventilation & airflow                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Capable of complying.                                                    | YES               |

## Appendix

| ADG Ref.                                                    | Item Description                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | Notes                                                       | Compliance                  |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
|-------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------|-----------------------------|-----------------|-----|---------------------|-----|-------------------|------------------------------------------------------------------------------------------------------------|--------------|------------------------------------------------------|--------------------------------|---------------------------------------------------------------------|-------------------------------------------------------------------------------------------|----------|
| 4C                                                          | CEILING HEIGHTS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                             |                             |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
| 4C-1<br>p87                                                 | Objective: Ceiling height achieves sufficient natural ventilation & daylight access.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                             | ✓                           |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
|                                                             | Design Criteria                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                             |                             |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
| 1                                                           | Measured from finished floor level to finished ceiling level, minimum ceiling heights are:<br><table><tr><th colspan="2">Minimum Ceiling Height for apt and mixed-used buildings (m)</th></tr><tr><td>Habitable rooms</td><td>2.7</td></tr><tr><td>Non-habitable rooms</td><td>2.4</td></tr><tr><td>For 2 storey apts</td><td>2.7 for main living area floor<br/>2.4 for second floor, where its area does not exceed 50% of the apt area</td></tr><tr><td>Attic spaces</td><td>1.8 at edge of room with 30deg minimum ceiling slope</td></tr><tr><td>If located in mixed-used areas</td><td>3.3 for ground and first floor to promote future flexibility of use</td></tr></table><br>These minimums do not preclude higher ceilings if desired | Minimum Ceiling Height for apt and mixed-used buildings (m) |                             | Habitable rooms | 2.7 | Non-habitable rooms | 2.4 | For 2 storey apts | 2.7 for main living area floor<br>2.4 for second floor, where its area does not exceed 50% of the apt area | Attic spaces | 1.8 at edge of room with 30deg minimum ceiling slope | If located in mixed-used areas | 3.3 for ground and first floor to promote future flexibility of use | Capable of complying.<br>Proposed floor to floor heights of 3150mm ensure code compliance | YES<br>✓ |
| Minimum Ceiling Height for apt and mixed-used buildings (m) |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                             |                             |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
| Habitable rooms                                             | 2.7                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                             |                             |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
| Non-habitable rooms                                         | 2.4                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                             |                             |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
| For 2 storey apts                                           | 2.7 for main living area floor<br>2.4 for second floor, where its area does not exceed 50% of the apt area                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                             |                             |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
| Attic spaces                                                | 1.8 at edge of room with 30deg minimum ceiling slope                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                             |                             |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
| If located in mixed-used areas                              | 3.3 for ground and first floor to promote future flexibility of use                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                             |                             |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
|                                                             | Design Guidance                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                             | CONSIDERED                  |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
|                                                             | Ceiling height accommodates use of ceiling fans for cooling & heat distribution                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | Capable of complying.                                       | YES                         |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
| 4C-2<br>p87                                                 | Objective: Ceiling height increases the sense of space in apartments & provides for well proportioned rooms.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                             | ✓                           |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
|                                                             | Design Guidance                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                             | CONSIDERED                  |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
|                                                             | A number of the following design solutions are used: Hierarchy of rooms in apartment is defined using changes in ceiling heights & alternatives such as raked or curved ceilings, or double height spaces; Well proportioned rooms are provided, for example, smaller rooms feel larger & more spacious with higher ceilings; Ceiling heights are maximised in habitable rooms by ensuring that bulkheads do not intrude. The stacking of service rooms from floor to floor & coordination of bulkhead location above non-habitable areas, such as robes or storage, can assist                                                                                                                                                                 | Capable of complying.                                       | YES                         |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
| 4C-3<br>p87                                                 | Objective: Ceiling heights contribute to the flexibility of building use over the life of the building.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                             |                             |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
|                                                             | Design Guidance                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                             | CONSIDERED                  |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
|                                                             | Ceiling heights of lower level apartments should be greater than the minimum required by Design Criteria allowing flexibility & conversion to non-residential uses                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                             | NO                          |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
| 4D                                                          | APARTMENT SIZE & LAYOUT                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                             |                             |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
| 4D-1<br>p89                                                 | Objective: The layout of rooms within apartment is functional, well organised & provides a high standard of amenity.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                             |                             |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
|                                                             | Design Criteria                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                             |                             |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
| 1                                                           | Apartments have the following minimum internal areas:<br><table><tr><th>Apartment Type</th><th>Minimum Internal Area (sqm)</th></tr><tr><td>Studio</td><td>35</td></tr><tr><td>1 Bedroom</td><td>50</td></tr><tr><td>2 Bedroom</td><td>70</td></tr><tr><td>3 Bedroom</td><td>90</td></tr></table><br>The minimum internal areas include only one bathroom. Additional bathrooms increase the minimum internal area by 5sqm each.<br>A fourth bedroom & further additional bedrooms increase the minimum internal area by 12sqm each                                                                                                                                                                                                             | Apartment Type                                              | Minimum Internal Area (sqm) | Studio          | 35  | 1 Bedroom           | 50  | 2 Bedroom         | 70                                                                                                         | 3 Bedroom    | 90                                                   | Capable of complying.          | YES<br>✓                                                            |                                                                                           |          |
| Apartment Type                                              | Minimum Internal Area (sqm)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                             |                             |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
| Studio                                                      | 35                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                             |                             |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
| 1 Bedroom                                                   | 50                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                             |                             |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
| 2 Bedroom                                                   | 70                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                             |                             |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
| 3 Bedroom                                                   | 90                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                             |                             |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |
| 2                                                           | Every habitable room has a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room. Daylight & air is not borrowed from other rooms                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Capable of complying.                                       | YES<br>✓                    |                 |     |                     |     |                   |                                                                                                            |              |                                                      |                                |                                                                     |                                                                                           |          |

| ADG Ref.    | Item Description                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Notes                 | Compliance        |
|-------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|-------------------|
|             | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                       | <b>CONSIDERED</b> |
|             | Kitchens is not located as part of the main circulation space in larger apartments (such as hallway or entry space)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | Capable of complying. | YES               |
|             | A window is visible from any point in a habitable room                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Capable of complying. | YES               |
|             | Where minimum areas or room dimensions are not met, apartments demonstrate that they are well designed and demonstrate the usability & functionality of the space with realistically scaled furniture layouts & circulation areas.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                       | N/A               |
| 4D-2<br>p89 | Objective: Environmental performance of the apartment is maximised.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                       | ✓                 |
|             | <b>Design Criteria</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                       |                   |
| 1           | Habitable room depths are limited to a maximum of 2.5 x the ceiling height                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | Capable of complying. | YES ✓             |
| 2           | In open plan layouts (living, dining & kitchen are combined) maximum habitable room depth is 8m from a window                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Capable of complying. | YES ✓             |
|             | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                       | <b>CONSIDERED</b> |
|             | Greater than minimum ceiling heights allow for proportional increases in room depth up to the permitted max depths                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                       | N/A               |
|             | All living areas & bedrooms are located on the external face of building                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | Capable of complying. | YES               |
|             | Where possible: bathrooms & laundries have external openable window; main living spaces are oriented toward the primary outlook & aspect and away from noise sources                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | Capable of complying. | YES               |
| 4D-3<br>p91 | Objective: Apartment layouts are designed to accommodate a variety of household activities & needs.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                       | ✓                 |
|             | <b>Design Criteria</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                       |                   |
| 1           | Master bedrooms have a minimum area of 10sqm & other bedrooms 9sqm (excluding wardrobe space)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Capable of complying. | YES ✓             |
| 2           | Bedrooms have a minimum dimension of 3m (excluding wardrobe space)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Capable of complying. | YES ✓             |
| 3           | Living rooms or combined living/dining rooms have a minimum width of:<br>– 3.6m for studio & 1 bedroom apartments<br>– 4m for 2 & 3 bedroom apartments                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Capable of complying. | YES ✓             |
| 4           | The width of cross-over or cross-through apartments are at least 4m internally to avoid deep narrow apartment layouts                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | Capable of complying. | YES ✓             |
|             | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                       | <b>CONSIDERED</b> |
|             | Access to bedrooms, bathrooms & laundries is separated from living areas minimising direct openings between living & service areas                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Capable of complying. | YES               |
|             | All bedrooms allow a minimum length of 1.5m for robes                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | Capable of complying. | YES               |
|             | Main bedroom of apartment or studio apartment is provided with a wardrobe of minimum 1.8m L x 0.6m D x 2.1m H                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Capable of complying. | YES               |
|             | Apartment layouts allow flexibility over time, design solutions include:<br>Dimensions that facilitate a variety of furniture arrangements & removal;<br>Spaces for a range of activities & privacy levels between different spaces within the apartment; Dual master apartments; Dual key apartments (Note: dual key apartments which are separate but on the same title are regarded as two sole occupancy units for the purposes of the BCA & for calculating mix of apartments); Room sizes & proportions or open plans (rectangular spaces 2:3 are more easily furnished than square spaces 1:1); Efficient planning of circulation by stairs, corridors & through rooms to maximise the amount of usable floor space in rooms | Capable of complying. | YES               |

## Appendix

| ADG Ref.       | Item Description                                                                                                                                                                                                                                                                                            | Notes                 | Compliance         |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|----------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|--------------------|-------------------|--------|---|---|-----------|---|---|-----------|----|---|------------|----|-----|--|--|
| 40E            | PRIVATE OPEN SPACE & BALCONIES                                                                                                                                                                                                                                                                              |                       |                    |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
| 4E-1<br>p93    | Objective: Apartments provide appropriately sized private open space & balconies to enhance residential amenity.                                                                                                                                                                                            |                       | ✓                  |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | Design Criteria                                                                                                                                                                                                                                                                                             |                       |                    |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
| 1              | All apartments are required to have primary balconies as follows:                                                                                                                                                                                                                                           | Capable of complying. | YES ✓              |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | <table><tr><th>Apartment Type</th><th>Minimum Area (sqm)</th><th>Minimum Depth (m)</th></tr><tr><td>Studio</td><td>4</td><td>-</td></tr><tr><td>1 Bedroom</td><td>8</td><td>2</td></tr><tr><td>2 Bedroom</td><td>10</td><td>2</td></tr><tr><td>3+ Bedroom</td><td>12</td><td>2.4</td></tr></table>          | Apartment Type        | Minimum Area (sqm) | Minimum Depth (m) | Studio | 4 | - | 1 Bedroom | 8 | 2 | 2 Bedroom | 10 | 2 | 3+ Bedroom | 12 | 2.4 |  |  |
| Apartment Type | Minimum Area (sqm)                                                                                                                                                                                                                                                                                          | Minimum Depth (m)     |                    |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
| Studio         | 4                                                                                                                                                                                                                                                                                                           | -                     |                    |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
| 1 Bedroom      | 8                                                                                                                                                                                                                                                                                                           | 2                     |                    |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
| 2 Bedroom      | 10                                                                                                                                                                                                                                                                                                          | 2                     |                    |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
| 3+ Bedroom     | 12                                                                                                                                                                                                                                                                                                          | 2.4                   |                    |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | The minimum balcony depth to be counted as contributing to the balcony area is 1m                                                                                                                                                                                                                           |                       |                    |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
| 2              | For apartments at ground level or on podium or similar, a private open space is provided instead of a balcony. It must have minimum area of 15sqm & minimum depth of 3m                                                                                                                                     | Capable of complying. | YES ✓              |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | Design Guidance                                                                                                                                                                                                                                                                                             |                       |                    |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | Increased communal open space are provided where the number or size of balconies are reduced                                                                                                                                                                                                                |                       | CONSIDERED<br>N/A  |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | Storage areas on balconies is additional to the minimum balcony size                                                                                                                                                                                                                                        | Capable of complying. | YES                |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | Balcony use may be limited in some proposals where:consistently high wind speeds at 10 storeys & above; close proximity to road, rail or other noise sources; exposure to significant levels of aircraft noise; heritage & adaptive reuse of existing buildings                                             | Capable of complying. | YES                |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | In these situations juliet balconies, operable walls, enclosed wintergardens, and bay windows are appropriate. Other amenity benefits for occupants are provided in the apartments or in the development or both. Natural ventilation is also demonstrated                                                  |                       |                    |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
| 4E-2<br>p93    | Objective: Primary private open space & balconies are appropriately located to enhance liveability for residents                                                                                                                                                                                            |                       | ✓                  |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | Design Guidance                                                                                                                                                                                                                                                                                             |                       |                    |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | Primary open space & balconies are located adjacent to the living room, dining room or kitchen to extend the living space                                                                                                                                                                                   | Capable of complying. | YES                |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | POS & balconies predominantly face north, east or west                                                                                                                                                                                                                                                      | Capable of complying. | YES                |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | POS & balconies are orientated with the longer side facing outwards or be open to the sky to optimise daylight access into adjacent rooms                                                                                                                                                                   | Capable of complying. | YES                |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
| 4E-3<br>p95    | Objective: Private open space & balcony design is integrated into & contributes to the overall architectural form & detail of the building                                                                                                                                                                  |                       | ✓                  |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | Design Guidance                                                                                                                                                                                                                                                                                             |                       |                    |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | Solid, partially solid or transparent fences & balustrades are selected to respond to the location. They are designed to allow views & passive surveillance of the street while maintaining visual privacy & allowing for a range of uses on the balcony. Solid & partially solid balustrades are preferred | Capable of complying. | YES                |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | Full width full height glass balustrades alone are generally not desirable                                                                                                                                                                                                                                  | Capable of complying. | YES                |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | Projecting balconies are integrated into the building design. The design of soffits are considered                                                                                                                                                                                                          | Capable of complying. | YES                |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | Operable screens, shutters, hoods & pergolas control sunlight & wind                                                                                                                                                                                                                                        | Capable of complying. | YES                |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | Balustrades are set back from the building or balcony edge where overlooking or where safety is an issue                                                                                                                                                                                                    | Capable of complying. | YES                |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | Downpipes & balcony drainage are integrated with the overall facade & building design                                                                                                                                                                                                                       | Capable of complying. | YES                |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | Air-conditioning units are located on roofs, in basements, or fully integrated into the building design                                                                                                                                                                                                     | Capable of complying. | YES                |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | Where clothes drying, storage or air conditioning units are located on balconies, they are screened & integrated in the building design                                                                                                                                                                     | Capable of complying. | YES                |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | Ceilings of apartments below terraces are insulated to avoid heat loss                                                                                                                                                                                                                                      | Capable of complying. | YES                |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |
|                | Water & gas outlets are provided for primary balconies & private open space                                                                                                                                                                                                                                 | Capable of complying. | YES                |                   |        |   |   |           |   |   |           |    |   |            |    |     |  |  |

| ADG Ref.    | Item Description                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | Notes                                                                                                                                                                                                                | Compliance        |
|-------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------|
| 4E-4<br>p95 | Objective: Private open space & balcony design maximises safety                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                      | ✓                 |
|             | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                      | <b>CONSIDERED</b> |
|             | Changes in ground levels or landscaping are minimised                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Capable of complying.                                                                                                                                                                                                | YES               |
|             | Balcony design & detailing avoids opportunities for climbing & falling                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Capable of complying.                                                                                                                                                                                                | YES               |
| 4F          | <b>COMMON CIRCULATION &amp; SPACES</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                      |                   |
| 4F-1<br>p97 | Objective: Common circulation spaces achieve good amenity & properly service the number of apartments                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                      | ✓                 |
|             | <b>Design Criteria</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                      |                   |
| 1           | The maximum number of apartments off a circulation core on a single level is eight                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | On high rise levels some buildings provide up to 12 apartments per circulation core.                                                                                                                                 | NO                |
| 2           | For buildings of 10 storeys & over, the maximum number of apartments sharing a single lift is 40                                                                                                                                                                                                                                                                                                                                                                                                                                                          | Capable of complying.                                                                                                                                                                                                | YES ✓             |
|             | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                      | <b>CONSIDERED</b> |
|             | Greater than minimum requirements for corridor widths and/or ceiling heights allow comfortable movement & access particularly in entry lobbies, outside lifts & at apartment entry doors                                                                                                                                                                                                                                                                                                                                                                  | Capable of complying.                                                                                                                                                                                                | YES               |
|             | Daylight & natural ventilation are provided to all common circulation spaces that are above ground                                                                                                                                                                                                                                                                                                                                                                                                                                                        | Capable of complying.                                                                                                                                                                                                | YES               |
|             | Windows are provided in common circulation spaces & are adjacent to the stair or lift core or at the ends of corridors                                                                                                                                                                                                                                                                                                                                                                                                                                    | Capable of complying.                                                                                                                                                                                                | YES               |
|             | Longer corridors greater than 12m in length from the lift core are articulated. Design solutions include: Series of foyer areas with windows & spaces for seating; Wider areas at apartment entry doors & varied ceiling heights                                                                                                                                                                                                                                                                                                                          | Capable of complying.                                                                                                                                                                                                | YES               |
|             | Common circulation spaces maximise opportunities for dual aspect apartments, including multiple core apartment buildings & cross over apartments                                                                                                                                                                                                                                                                                                                                                                                                          | Capable of complying.                                                                                                                                                                                                | YES               |
|             | Achieving Design Criteria for the number of apartments off a circulation core may not be possible. Where development is unable to achieve this, a high level of amenity for common lobbies, corridors & apartments is demonstrated, including: Sunlight & natural cross ventilation in apartments; Access to ample daylight & natural ventilation in common circulation spaces; Common areas for seating & gathering; Generous corridors with greater than minimum ceiling heights; Other innovative design solutions that provide high levels of amenity | Capable of complying. The indicative reference scheme shows that multiple sources of daylight, natural ventilation, and amenity through views out can be achieved in floorplates with up to 12 apartments per floor. | YES               |
|             | Where Design Criteria 1 is not achieved, no more than 12 apartments should be provided off a circulation core on a single level                                                                                                                                                                                                                                                                                                                                                                                                                           | Capable of complying.                                                                                                                                                                                                | YES               |
|             | Primary living room or bedroom windows do not open directly onto common circulation spaces, open or enclosed. Visual & acoustic privacy from common circulation spaces to any other rooms are carefully controlled                                                                                                                                                                                                                                                                                                                                        | Capable of complying.                                                                                                                                                                                                | YES               |
| 4F-2<br>p99 | Objective: Common circulation spaces promote safety & provide for social interaction between residents                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                      | ✓                 |
|             | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                      | <b>CONSIDERED</b> |
|             | Direct & legible access are provided between vertical circulation points & apartment entries by minimising corridor or gallery length to give short, straight, clear sight lines                                                                                                                                                                                                                                                                                                                                                                          | Capable of complying.                                                                                                                                                                                                | YES               |
|             | Tight corners & spaces are avoided                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | Capable of complying.                                                                                                                                                                                                | YES               |
|             | Circulation spaces are well lit at night                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Capable of complying.                                                                                                                                                                                                | YES               |
|             | Legible signage are provided for apartment numbers, common areas & general wayfinding                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Capable of complying.                                                                                                                                                                                                | YES               |
|             | Incidental spaces, eg space for seating in a corridor, at a stair landing, or near a window are provided                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Capable of complying.                                                                                                                                                                                                | YES               |
|             | In larger developments, community rooms for activities such as owners corporation meetings or resident use, are provided & are co-located with communal open space                                                                                                                                                                                                                                                                                                                                                                                        | Capable of complying.                                                                                                                                                                                                | YES               |
|             | Where external galleries are provided, they are more open than closed above the balustrade along their length                                                                                                                                                                                                                                                                                                                                                                                                                                             | Capable of complying.                                                                                                                                                                                                | YES               |

## Appendix

| ADG Ref.       | Item Description                                                                                                                                                                                                                                                                   | Notes                                                                    | Compliance                    |        |   |           |   |           |   |            |    |  |  |
|----------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------|-------------------------------|--------|---|-----------|---|-----------|---|------------|----|--|--|
| 4G             | STORAGE                                                                                                                                                                                                                                                                            |                                                                          |                               |        |   |           |   |           |   |            |    |  |  |
| 4G-1<br>p101   | Objective: Adequate, well designed storage is provided in each apartment                                                                                                                                                                                                           |                                                                          | ✓                             |        |   |           |   |           |   |            |    |  |  |
|                | Design Criteria                                                                                                                                                                                                                                                                    |                                                                          |                               |        |   |           |   |           |   |            |    |  |  |
| 1              | In addition to storage in kitchens, bathrooms and bedrooms, the following storage is provided:                                                                                                                                                                                     | Capable of complying.                                                    | YES ✓                         |        |   |           |   |           |   |            |    |  |  |
|                | <table><tr><th>Apartment Type</th><th>Storage Size Volume (cubic m)</th></tr><tr><td>Studio</td><td>4</td></tr><tr><td>1 Bedroom</td><td>6</td></tr><tr><td>2 Bedroom</td><td>8</td></tr><tr><td>3+ Bedroom</td><td>10</td></tr></table>                                           | Apartment Type                                                           | Storage Size Volume (cubic m) | Studio | 4 | 1 Bedroom | 6 | 2 Bedroom | 8 | 3+ Bedroom | 10 |  |  |
| Apartment Type | Storage Size Volume (cubic m)                                                                                                                                                                                                                                                      |                                                                          |                               |        |   |           |   |           |   |            |    |  |  |
| Studio         | 4                                                                                                                                                                                                                                                                                  |                                                                          |                               |        |   |           |   |           |   |            |    |  |  |
| 1 Bedroom      | 6                                                                                                                                                                                                                                                                                  |                                                                          |                               |        |   |           |   |           |   |            |    |  |  |
| 2 Bedroom      | 8                                                                                                                                                                                                                                                                                  |                                                                          |                               |        |   |           |   |           |   |            |    |  |  |
| 3+ Bedroom     | 10                                                                                                                                                                                                                                                                                 |                                                                          |                               |        |   |           |   |           |   |            |    |  |  |
|                | At least 50% of the required storage is to be located within the apartment                                                                                                                                                                                                         |                                                                          |                               |        |   |           |   |           |   |            |    |  |  |
|                | Design Guidance                                                                                                                                                                                                                                                                    |                                                                          | CONSIDERED                    |        |   |           |   |           |   |            |    |  |  |
|                | Storage is accessible from either circulation or living areas                                                                                                                                                                                                                      | Capable of complying.                                                    | YES                           |        |   |           |   |           |   |            |    |  |  |
|                | Storage provided on balconies (in addition to the minimum balcony size) is integrated into the balcony design, weather proofed & screened from view from the street                                                                                                                | Capable of complying.                                                    | YES                           |        |   |           |   |           |   |            |    |  |  |
|                | Left over space such as under stairs is used for storage                                                                                                                                                                                                                           | Capable of complying.                                                    | YES                           |        |   |           |   |           |   |            |    |  |  |
| 4G-2<br>p101   | Objective: Additional storage is conveniently located, accessible & nominated for individual apartments                                                                                                                                                                            |                                                                          | ✓                             |        |   |           |   |           |   |            |    |  |  |
|                | Design Guidance                                                                                                                                                                                                                                                                    |                                                                          | CONSIDERED                    |        |   |           |   |           |   |            |    |  |  |
|                | Storage not located in apartments is secure and clearly allocated to specific apartments                                                                                                                                                                                           | Capable of complying.                                                    | YES                           |        |   |           |   |           |   |            |    |  |  |
|                | Storage is provided for larger & less frequently accessed items                                                                                                                                                                                                                    | Capable of complying.                                                    | YES                           |        |   |           |   |           |   |            |    |  |  |
|                | Storage space in internal or basement car parks is provided at the rear or side of car spaces or in cages, such that allocated car parking remains accessible                                                                                                                      | Capable of complying.                                                    | YES                           |        |   |           |   |           |   |            |    |  |  |
|                | If communal storage rooms are provided they are accessible from common circulation areas of the building                                                                                                                                                                           | Capable of complying.                                                    | YES                           |        |   |           |   |           |   |            |    |  |  |
|                | Storage not located in apartment is integrated into the overall building design & not visible from public domain                                                                                                                                                                   | Capable of complying.                                                    | YES                           |        |   |           |   |           |   |            |    |  |  |
| 4H             | ACOUSTIC PRIVACY                                                                                                                                                                                                                                                                   |                                                                          |                               |        |   |           |   |           |   |            |    |  |  |
| 4H-1<br>p103   | Objective: Noise transfer is minimised through the siting of buildings & building layout                                                                                                                                                                                           |                                                                          | ✓                             |        |   |           |   |           |   |            |    |  |  |
|                | Design Guidance                                                                                                                                                                                                                                                                    |                                                                          | CONSIDERED                    |        |   |           |   |           |   |            |    |  |  |
|                | Adequate building separation is provided within the development & from neighbouring buildings/adjacent uses (see 2F Building Separation & 3F Visual Privacy)                                                                                                                       | Indicative reference design demonstrates scheme is capable of complying. | YES                           |        |   |           |   |           |   |            |    |  |  |
|                | Window & door openings are orientated away from noise sources                                                                                                                                                                                                                      | Capable of complying.                                                    | YES                           |        |   |           |   |           |   |            |    |  |  |
|                | Noisy areas within buildings including building entries & corridors are located next to or above each other while quieter areas are located next to or above quieter areas                                                                                                         | Capable of complying.                                                    | YES                           |        |   |           |   |           |   |            |    |  |  |
|                | Storage, circulation areas & non-habitable rooms are located to buffer noise from external sources                                                                                                                                                                                 | Capable of complying.                                                    | YES                           |        |   |           |   |           |   |            |    |  |  |
|                | The number of party walls (shared with other apartments) are limited & are appropriately insulated                                                                                                                                                                                 | Capable of complying.                                                    | YES                           |        |   |           |   |           |   |            |    |  |  |
|                | Noise sources such as garage doors, driveways, service areas, plant rooms, building services, mechanical equipment, active communal open spaces & circulation areas should be located at least 3m away from bedrooms                                                               | Capable of complying.                                                    | YES                           |        |   |           |   |           |   |            |    |  |  |
| 4H-2<br>p103   | Objective: Noise impacts are mitigated within apartments through layout & acoustic treatments                                                                                                                                                                                      |                                                                          | ✓                             |        |   |           |   |           |   |            |    |  |  |
|                | Design Guidance                                                                                                                                                                                                                                                                    |                                                                          | CONSIDERED                    |        |   |           |   |           |   |            |    |  |  |
|                | Internal apartment layout separates noisy spaces from quiet spaces, using a number of the following design solutions: Rooms with similar noise requirements are grouped together; Doors separate different use zones; Wardrobes in bedrooms are co-located to act as sound buffers | Capable of complying.                                                    | YES                           |        |   |           |   |           |   |            |    |  |  |

| ADG Ref.     | Item Description                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Notes                 | Compliance        |
|--------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|-------------------|
|              | Where physical separation cannot be achieved, noise conflicts are resolved using the following design solutions: Double or acoustic glazing; Acoustic seals; Use of materials with low noise penetration properties; Continuous walls to ground level courtyards where they do not conflict with streetscape or other amenity requirements                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | Capable of complying. | YES               |
| <b>4J</b>    | <b>NOISE &amp; POLLUTION</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                       |                   |
| 4J-1<br>p105 | Objective: In noisy or hostile environments impacts of external noise & pollution are minimised through careful siting & layout                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                       | ✓                 |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                       | <b>CONSIDERED</b> |
|              | To minimise impacts the following design solutions are used: Physical separation between buildings & the noise or pollution source; Residential uses are located perpendicular to the noise source & where possible buffered by other uses; Non-residential buildings are sited to be parallel with the noise source to provide a continuous building that shields residential uses & communal open spaces; Non-residential uses are located at lower levels vertically separating residential component from noise or pollution source. Setbacks to the underside of residential floor levels are increased, relative to traffic volumes & other noise sources; Buildings respond to both solar access & noise. Where solar access is away from noise source, non-habitable rooms will provide a buffer; Where solar access is in the same direction as the noise source, dual aspect apartments with shallow building depths are preferred; Landscape design reduces the perception of noise & acts as a filter for air pollution generated by traffic & industry | Capable of complying. | YES               |
|              | Where developments are unable to achieve Design Criteria, alternatives are considered in the following areas: Solar & daylight access, Private open space & balconies, Natural cross ventilation                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                       | YES               |
| 4J-2<br>p105 | Objective: Appropriate noise shielding or attenuation techniques for building design, construction & choice of materials are used to mitigate noise transmission                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                       | ✓                 |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                       | <b>CONSIDERED</b> |
|              | Design solutions to mitigate noise include: Limiting the number & size of openings facing noise sources, Providing seals to prevent noise transfer through gaps, Using double or acoustic glazing, acoustic louvers or enclosed balconies (wintergardens), Using materials with mass and/or sound insulation or absorption properties eg solid balcony balustrades, external screens & soffits                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Capable of complying. | YES               |
| <b>4K</b>    | <b>APARTMENT MIX</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                       |                   |
| 4K-1<br>p107 | Objective: A range of apartment types & sizes is provided to cater for different household types now & into the future                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                       | ✓                 |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                       | <b>CONSIDERED</b> |
|              | A variety of apartment types is provided                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | Capable of complying. | YES               |
|              | The apartment mix is appropriate, taking into consideration: Distance to public transport, employment & education centres, Current market demands & projected future demographic trends, Demand for social & affordable housing, Different cultural & socioeconomic groups                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | Capable of complying. | YES               |
|              | Flexible apartment configurations are provided to support diverse household types & stages of life including single person households, families, multi-generational families & group households                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | Capable of complying. | YES               |
| 4K-2<br>p107 | Objective: The apartment mix is distributed to suitable locations within the building                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                       | ✓                 |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                       | <b>CONSIDERED</b> |
|              | Different apartment types are located to achieve successful facade composition & to optimise solar access                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | Capable of complying. | YES               |
|              | Larger apartment types are located on ground or roof level where there is potential for more open space, and on corners where more building frontage is available                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | Capable of complying. | YES               |
| <b>4L</b>    | <b>GROUND FLOOR APARTMENTS</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                       |                   |
| 4L-1<br>p109 | Objective: Street frontage activity is maximised where ground floor apartments are located                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                       | ✓                 |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                       | <b>CONSIDERED</b> |
|              | Direct street access are provided to ground floor apartments                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | Capable of complying. | YES               |

## Appendix

| ADG Ref.                   | Item Description                                                                                                                                                                                                                                                                                                                                                                                                                               | Notes                                                                                                                | Compliance        |
|----------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------|-------------------|
|                            | Activity is achieved through front gardens, terraces & the facade of the building. Design solutions include: Both street, foyer & other common internal circulation entrances to ground floor apartments, Private open space is next to the street, Doors & windows face the street                                                                                                                                                            | Capable of complying.                                                                                                | YES               |
|                            | Retail or home office spaces are located along street frontages                                                                                                                                                                                                                                                                                                                                                                                | Ground floor frontages are generally residential dwellings activated with direct street entries.                     | NO                |
|                            | Ground floor apartment layouts support SOHO use & provide opportunities for future conversion into commercial or retail areas. In these cases higher floor to ceiling heights & easy conversion to ground floor amenities are provided.                                                                                                                                                                                                        | Higher floor to ceilings are proposed in the mixed use zone where non-residential uses are proposed at ground level. | NO                |
| <b>4L-2</b><br><b>p109</b> | <b>Objective: Design of ground floor apartments delivers amenity &amp; safety for residents</b>                                                                                                                                                                                                                                                                                                                                                |                                                                                                                      | ✓                 |
|                            | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                      | <b>CONSIDERED</b> |
|                            | Privacy & safety are provided without obstructing casual surveillance. Design solutions include: Elevating private gardens & terraces above the street level by 1-1.5m (see pg 109 Figure 4L.4), Landscaping & private courtyards, Window sill heights minimise sight lines into apartments, Integrating balustrades, safety bars or screens with exterior design                                                                              | Capable of complying.                                                                                                | YES               |
|                            | Solar access is maximised through: High ceilings & tall windows, Trees & shrubs allow solar access in winter & shade in summer                                                                                                                                                                                                                                                                                                                 | Capable of complying.                                                                                                | YES               |
| <b>4M</b>                  | <b>FACADES</b>                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                      |                   |
| <b>4M-1</b><br><b>p111</b> | <b>Objective: Building facades provide visual interest along the street while respecting the character of the local area</b>                                                                                                                                                                                                                                                                                                                   |                                                                                                                      | ✓                 |
|                            | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                      | <b>CONSIDERED</b> |
|                            | Design solutions for front building facades include: Composition of varied building elements, Defined base, middle & top of buildings, Revealing & concealing certain elements                                                                                                                                                                                                                                                                 | Capable of complying.                                                                                                | YES               |
|                            | Building services are integrated within the overall facade                                                                                                                                                                                                                                                                                                                                                                                     | Capable of complying.                                                                                                | YES               |
|                            | Building facades are well resolved with appropriate scale & proportion to streetscape & with consideration of human scale. Solutions include: Well composed horizontal & vertical elements, Variation in floor heights to enhance the human scale, Elements that are proportional & arranged in patterns, Public artwork or treatments to exterior blank walls, Grouping of floors or elements such as balconies & windows on taller buildings | Capable of complying.                                                                                                | YES               |
|                            | Building facades relate to key datum lines of adjacent buildings through upper level setbacks, parapets, cornices, awnings or colonnade heights                                                                                                                                                                                                                                                                                                | Capable of complying.                                                                                                | YES               |
|                            | Shadow is created on the facade throughout the day with building articulation, balconies & deeper window reveals                                                                                                                                                                                                                                                                                                                               | Capable of complying.                                                                                                | YES               |
| <b>4M-2</b><br><b>p111</b> | <b>Objective: Building functions are expressed by the facade</b>                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                      | ✓                 |
|                            | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                      | <b>CONSIDERED</b> |
|                            | Building entries are clearly defined                                                                                                                                                                                                                                                                                                                                                                                                           | Capable of complying.                                                                                                | YES               |
|                            | Important corners are given visual prominence through change in articulation, materials or colour, roof expression or changes in height                                                                                                                                                                                                                                                                                                        | Capable of complying.                                                                                                | YES               |
|                            | Apartment layout is expressed externally through facade features such as party walls & floor slabs                                                                                                                                                                                                                                                                                                                                             | Capable of complying.                                                                                                | YES               |
| <b>4N</b>                  | <b>ROOF DESIGN</b>                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                      |                   |
| <b>4N-1</b><br><b>p113</b> | <b>Objective: Roof treatments are integrated into the building design &amp; positively respond to the street</b>                                                                                                                                                                                                                                                                                                                               |                                                                                                                      | ✓                 |
|                            | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                      | <b>CONSIDERED</b> |
|                            | Roof design relates to the street. Design solutions include: Special roof features & strong corners, Use of skillion or very low pitch hipped roofs, Breaking down the massing of the roof by using smaller elements to avoid bulk, Using materials or pitched form complementary to adjacent buildings                                                                                                                                        | Capable of complying.                                                                                                | YES               |

| ADG Ref.     | Item Description                                                                                                                                                                                                                                                                         | Notes                                                                                                               | Compliance |
|--------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------|------------|
|              | Roof treatments are integrated with the building design. Design solutions include: Roof design is in proportion to the overall building size, scale & form, Roof materials complement the building, Service elements are integrated                                                      | Capable of complying.                                                                                               | YES        |
| 4N-2<br>p113 | Objective: Opportunities to use roof space for residential accommodation & open space are maximised                                                                                                                                                                                      |                                                                                                                     | ✓          |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                   |                                                                                                                     | CONSIDERED |
|              | Habitable roof space are provided with good levels of amenity. Design solutions include: Penthouse apartments, Dormer or clerestory windows, Openable skylights                                                                                                                          | Capable of complying.                                                                                               | YES        |
|              | Open space is provided on roof tops subject to acceptable visual & acoustic privacy, comfort levels, safety & security considerations                                                                                                                                                    | Landscaped roof terraces are provided on some buildings where required to achieve communal open space requirements. | YES        |
| 4N-3<br>p113 | Objective: Roof design incorporates sustainability features                                                                                                                                                                                                                              |                                                                                                                     | ✓          |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                   |                                                                                                                     | CONSIDERED |
|              | Roof design maximises solar access to apartments during winter & provides shade during summer. Design solutions include: Roof lifts to the north, Eaves & overhangs shade walls & windows from summer sun                                                                                | Capable of complying.                                                                                               | YES        |
|              | Skylights & ventilation systems are integrated into the roof design                                                                                                                                                                                                                      | Capable of complying.                                                                                               | YES        |
| 40           | <b>LANDSCAPE DESIGN</b>                                                                                                                                                                                                                                                                  |                                                                                                                     |            |
| 40-1<br>p115 | Objective: Landscape design is viable & sustainable                                                                                                                                                                                                                                      |                                                                                                                     | ✓          |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                   |                                                                                                                     | CONSIDERED |
|              | Landscape design is environmentally sustainable & can enhance environmental performance by incorporating: Diverse & appropriate planting, Bio-filtration gardens, Appropriately planted shading trees, Areas for residents to plant vegetables & herbs, Composting, Green roofs or walls | Capable of complying.                                                                                               | YES        |
|              | Ongoing maintenance plans are prepared                                                                                                                                                                                                                                                   | Capable of complying.                                                                                               | YES        |
|              | Microclimate is enhanced by: Appropriately scaled trees near the eastern & western elevations for shade, Balance of evergreen & deciduous trees to provide shading in summer & sunlight access in winter, Shade structures such as pergolas for balconies & courtyards                   | Capable of complying.                                                                                               | YES        |
|              | Tree & shrub selection considers size at maturity & the potential for roots to compete.                                                                                                                                                                                                  | Capable of complying.                                                                                               | YES        |
| 40-2<br>p115 | Objective: Landscape design contributes to streetscape & amenity                                                                                                                                                                                                                         |                                                                                                                     | ✓          |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                   |                                                                                                                     | CONSIDERED |
|              | Landscape design responds to the existing site conditions including: Changes of levels, Views, Significant landscape features including trees & rock outcrops                                                                                                                            | Capable of complying.<br>Refer to indicative reference landscape design.                                            | YES        |
|              | Significant landscape features are protected by: Tree protection zones, Appropriate signage & fencing during construction                                                                                                                                                                | Refer to accompanying Arborist report.                                                                              | YES        |
|              | Plants selected are endemic to region & reflect local ecology                                                                                                                                                                                                                            | Capable of complying.<br>Refer to indicative reference landscape design.                                            | YES        |
| 4P           | <b>PLANTING ON STRUCTURES</b>                                                                                                                                                                                                                                                            |                                                                                                                     |            |
| 4P-1<br>p117 | Objective: Appropriate soil profiles are provided                                                                                                                                                                                                                                        |                                                                                                                     | ✓          |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                   |                                                                                                                     | CONSIDERED |
|              | Structures are reinforced for additional saturated soil weight                                                                                                                                                                                                                           | Capable of complying.                                                                                               | YES        |
|              | Soil volume is appropriate for plant growth, including: Modifying depths & widths according to planting mix & irrigation frequency, Free draining & long soil life span, Tree anchorage                                                                                                  | Capable of complying.                                                                                               | YES        |

## Appendix

| ADG Ref.           | Item Description                                                                                                                                                                                                                                                                                                                                                       | Notes                                                                                                                                                        | Compliance                |           |                                           |             |                                                            |                    |                                                            |  |  |
|--------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------|-----------|-------------------------------------------|-------------|------------------------------------------------------------|--------------------|------------------------------------------------------------|--|--|
|                    | Minimum soil standards for plant sizes should be provided in accordance with:                                                                                                                                                                                                                                                                                          | Capable of complying.                                                                                                                                        | YES                       |           |                                           |             |                                                            |                    |                                                            |  |  |
|                    | <table><tr><th>Site Area (sqm)</th><th>Recommended Tree Planting</th></tr><tr><td>Up to 850</td><td>1 medium tree per 50sqm of deep soil zone</td></tr><tr><td>850 - 1,500</td><td>1 large tree or 2 medium trees per 90sqm of deep soil zone</td></tr><tr><td>Greater than 1,500</td><td>1 large tree or 2 medium trees per 80sqm of deep soil zone</td></tr></table> | Site Area (sqm)                                                                                                                                              | Recommended Tree Planting | Up to 850 | 1 medium tree per 50sqm of deep soil zone | 850 - 1,500 | 1 large tree or 2 medium trees per 90sqm of deep soil zone | Greater than 1,500 | 1 large tree or 2 medium trees per 80sqm of deep soil zone |  |  |
| Site Area (sqm)    | Recommended Tree Planting                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                              |                           |           |                                           |             |                                                            |                    |                                                            |  |  |
| Up to 850          | 1 medium tree per 50sqm of deep soil zone                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                              |                           |           |                                           |             |                                                            |                    |                                                            |  |  |
| 850 - 1,500        | 1 large tree or 2 medium trees per 90sqm of deep soil zone                                                                                                                                                                                                                                                                                                             |                                                                                                                                                              |                           |           |                                           |             |                                                            |                    |                                                            |  |  |
| Greater than 1,500 | 1 large tree or 2 medium trees per 80sqm of deep soil zone                                                                                                                                                                                                                                                                                                             |                                                                                                                                                              |                           |           |                                           |             |                                                            |                    |                                                            |  |  |
| 4P-2 p117          | Objective: Plant growth is optimised with appropriate selection & maintenance                                                                                                                                                                                                                                                                                          |                                                                                                                                                              | ✓                         |           |                                           |             |                                                            |                    |                                                            |  |  |
|                    | Design Guidance                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                              | CONSIDERED                |           |                                           |             |                                                            |                    |                                                            |  |  |
|                    | Plants are suited to site conditions, considerations include:Drought & wind tolerance, Seasonal changes in solar access, Modified substrate depths for a diverse range of plants, Plant longevity                                                                                                                                                                      | Capable of complying.                                                                                                                                        | YES                       |           |                                           |             |                                                            |                    |                                                            |  |  |
|                    | A landscape maintenance plan is prepared                                                                                                                                                                                                                                                                                                                               | Capable of complying.                                                                                                                                        | YES                       |           |                                           |             |                                                            |                    |                                                            |  |  |
|                    | Irrigation & drainage systems respond to: Changing site conditions, Soil profile & planting regime, Whether rainwater, stormwater or recycled grey water is used                                                                                                                                                                                                       | Capable of complying.                                                                                                                                        | YES                       |           |                                           |             |                                                            |                    |                                                            |  |  |
| 4P-3 p117          | Objective: Planting on structures contributes to the quality & amenity of communal & public open spaces                                                                                                                                                                                                                                                                |                                                                                                                                                              | ✓                         |           |                                           |             |                                                            |                    |                                                            |  |  |
|                    | Design Guidance                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                              | CONSIDERED                |           |                                           |             |                                                            |                    |                                                            |  |  |
|                    | Building design incorporates opportunities for planting on structures. Design solutions include: Green walls with specialised lighting for indoor green walls, Wall design that incorporates planting, Green roofs, particularly where roofs are visible from the public domain, Planter boxes                                                                         | Capable of complying.                                                                                                                                        | YES                       |           |                                           |             |                                                            |                    |                                                            |  |  |
|                    | Note: structures designed to accommodate green walls should be integrated into the building facade & consider the ability of the facade to change over time                                                                                                                                                                                                            |                                                                                                                                                              |                           |           |                                           |             |                                                            |                    |                                                            |  |  |
| 4Q                 | UNIVERSAL DESIGN                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                              |                           |           |                                           |             |                                                            |                    |                                                            |  |  |
| 4Q-1 p119          | Objective: Universal design features are included in apartment design to promote flexible housing for all community members                                                                                                                                                                                                                                            |                                                                                                                                                              | ✓                         |           |                                           |             |                                                            |                    |                                                            |  |  |
|                    | Design Guidance                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                              | CONSIDERED                |           |                                           |             |                                                            |                    |                                                            |  |  |
|                    | Developments achieve a benchmark of 15% of the total apartments incorporating the Livable Housing Guideline's silver level universal design features                                                                                                                                                                                                                   | 5% of market housing will be Adaptable in accordance with AS4299. 10% of social housing will be LH gold level and the remaining 90% will be LH silver level. | YES                       |           |                                           |             |                                                            |                    |                                                            |  |  |
| 4Q-2 p119          | Objective: A variety of apartments with adaptable designs are provided                                                                                                                                                                                                                                                                                                 |                                                                                                                                                              | ✓                         |           |                                           |             |                                                            |                    |                                                            |  |  |
|                    | Design Guidance                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                              | CONSIDERED                |           |                                           |             |                                                            |                    |                                                            |  |  |
|                    | Adaptable housing should be provided in accordance with the relevant council policy                                                                                                                                                                                                                                                                                    | Capable of complying.                                                                                                                                        | YES                       |           |                                           |             |                                                            |                    |                                                            |  |  |
|                    | Design solutions for adaptable apartments include: Convenient access to communal & public areas, High level of solar access, Minimal structural change & residential amenity loss when adapted, Larger car parking spaces for accessibility, Parking titled separately from apartments or shared car parking arrangements                                              | Capable of complying.                                                                                                                                        | YES                       |           |                                           |             |                                                            |                    |                                                            |  |  |
| 4Q-3 p119          | Objective: Apartment layouts are flexible & accommodate a range of lifestyle needs                                                                                                                                                                                                                                                                                     |                                                                                                                                                              | ✓                         |           |                                           |             |                                                            |                    |                                                            |  |  |
|                    | Design Guidance                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                              | CONSIDERED                |           |                                           |             |                                                            |                    |                                                            |  |  |
|                    | Flexible design solutions include:Rooms with multiple functions, Dual master bedroom apartments with separate bathrooms, Larger apartments with various living space options, Open plan 'loft' style apartments with only a fixed kitchen, laundry & bathroom                                                                                                          | Capable of complying.                                                                                                                                        | YES                       |           |                                           |             |                                                            |                    |                                                            |  |  |

| ADG Ref.     | Item Description                                                                                                                                                                                                                                                                                                                                                                                        | Notes                                                                               | Compliance        |
|--------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|-------------------|
| <b>4R</b>    | <b>ADAPTIVE REUSE</b>                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                     |                   |
| 4R-1<br>p121 | Objective: New additions to existing buildings are contemporary, complementary & enhance area's identity & sense of place                                                                                                                                                                                                                                                                               |                                                                                     | N/A               |
| 4R-2<br>p121 | Objective: Adapted buildings provide residential amenity but does not precluding future adaptive reuse                                                                                                                                                                                                                                                                                                  |                                                                                     | N/A               |
| <b>4S</b>    | <b>MIXED USE</b>                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                     |                   |
| 4S-1<br>p123 | Objective: Mixed use developments are provided in appropriate locations & provide active street frontages that encourage pedestrian movement.                                                                                                                                                                                                                                                           |                                                                                     | ✓                 |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                     | <b>CONSIDERED</b> |
|              | Mixed use development are concentrated around public transport & centres                                                                                                                                                                                                                                                                                                                                | Non residential uses are located in the upper core alongside the light rail station | YES               |
|              | Mixed use developments positively contribute to the public domain. Design solutions include: Development addresses the street, Active frontages provided, Diverse activities & uses, Avoiding blank walls at the ground level, Live/work apartments on the ground floor level, rather than commercial                                                                                                   | Capable of complying.                                                               | YES               |
| 4S-2<br>p123 | Objective: Residential levels of the building are integrated within the development. Safety & amenity is maximised.                                                                                                                                                                                                                                                                                     |                                                                                     | ✓                 |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                     | <b>CONSIDERED</b> |
|              | Residential circulation areas are clearly defined. Solutions include: Residential entries separated from commercial entries & directly accessible from the street, Commercial service areas separated from residential components, Residential car parking & communal facilities separated or secured, Security at entries & safe pedestrian routes are provided, Concealment opportunities are avoided | Capable of complying.                                                               | YES               |
|              | Landscaped communal open space are provided at podium or roof                                                                                                                                                                                                                                                                                                                                           |                                                                                     | YES               |
| <b>4T</b>    | <b>AWNING &amp; SIGNAGE</b>                                                                                                                                                                                                                                                                                                                                                                             |                                                                                     |                   |
| 4T-1<br>p125 | Objective: Awnings are well located and complement & integrate with the building design.                                                                                                                                                                                                                                                                                                                |                                                                                     | ✓                 |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                     | <b>CONSIDERED</b> |
|              | Awnings are located along streets with high pedestrian activity & active frontages                                                                                                                                                                                                                                                                                                                      | Capable of complying.                                                               | YES               |
|              | A number of the following design solutions are used: Continuous awnings are maintained & provided in areas with an existing pattern, Height, depth, material & form complements existing street character, Protection from sun & rain is provided, Awnings are wrapped around secondary frontages of corner sites, Awnings are retractable in areas without an established pattern                      | Capable of complying.                                                               | YES               |
|              | Awnings are located over building entries for address & public domain amenity                                                                                                                                                                                                                                                                                                                           | Capable of complying.                                                               | YES               |
|              | Awnings relate to residential windows, balconies, street tree planting, power poles & street infrastructure                                                                                                                                                                                                                                                                                             | Capable of complying.                                                               | YES               |
|              | Gutters & down pipes are integrated and concealed                                                                                                                                                                                                                                                                                                                                                       | Capable of complying.                                                               | YES               |
|              | Lighting under awnings is provided for pedestrian safety                                                                                                                                                                                                                                                                                                                                                | Capable of complying.                                                               | YES               |
| 4T-2<br>p125 | Objective: Signage responds to context & desired streetscape character.                                                                                                                                                                                                                                                                                                                                 |                                                                                     | ✓                 |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                     | <b>CONSIDERED</b> |
|              | Signage is integrated into building design & respond to scale, proportion & detailing of the development                                                                                                                                                                                                                                                                                                | Capable of complying.                                                               | YES               |
|              | Legible & discrete way finding is provided for larger developments                                                                                                                                                                                                                                                                                                                                      | Capable of complying.                                                               | YES               |
|              | Signage is limited to being on & below awnings, and single facade sign on primary street frontages                                                                                                                                                                                                                                                                                                      | Capable of complying.                                                               | YES               |
| <b>4U</b>    | <b>ENERGY EFFICIENCY</b>                                                                                                                                                                                                                                                                                                                                                                                |                                                                                     |                   |
| 4U-1<br>p127 | Objective: Development incorporates passive environmental design.                                                                                                                                                                                                                                                                                                                                       |                                                                                     | ✓                 |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                     | <b>CONSIDERED</b> |
|              | Adequate natural light is provided to habitable rooms                                                                                                                                                                                                                                                                                                                                                   | Capable of complying.                                                               | YES               |

## Appendix

| ADG Ref.     | Item Description                                                                                                                                                                                                                                                                                                                                                           | Notes                 | Compliance |
|--------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|------------|
|              | Well located, screened outdoor areas are provided for clothes drying                                                                                                                                                                                                                                                                                                       | Capable of complying. | YES        |
| 4U-2<br>p127 | Objective: Passive solar design is incorporated to optimise heat storage in winter & reduce heat transfer in summer.                                                                                                                                                                                                                                                       |                       | ✓          |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                     |                       | CONSIDERED |
|              | A number of the following design solutions are used: Use of smart glass or other on north & west elevations, Thermal mass maximised in floors & walls of north facing rooms, Polished concrete floors, tiles or timber rather than carpet, Insulated roofs, walls & floors. Seals on window & door openings, Overhangs & shading devices such as awnings, blinds & screens | Capable of complying. | YES        |
|              | Provision of consolidated heating & cooling infrastructure is located in a centralised location (eg basement)                                                                                                                                                                                                                                                              | Capable of complying. | YES        |
| 4U-3<br>p127 | Objective: Adequate natural ventilation to minimise the need for mechanical ventilation.                                                                                                                                                                                                                                                                                   |                       | ✓          |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                     |                       | CONSIDERED |
|              | A number of the following design solutions are used: Rooms with similar usage are grouped together, Natural cross ventilation for apartments is optimised, Natural ventilation is provided to all habitable rooms & as many non-habitable rooms, common areas & circulation spaces as possible                                                                             | Capable of complying. | YES        |
| 4V           | <b>WATER MANAGEMENT &amp; CONSERVATION</b>                                                                                                                                                                                                                                                                                                                                 |                       |            |
| 4V-1<br>p129 | Objective: Potable water use is minimised.                                                                                                                                                                                                                                                                                                                                 |                       | ✓          |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                     |                       | CONSIDERED |
|              | Water efficient fittings, appliances & wastewater reuse are incorporated                                                                                                                                                                                                                                                                                                   | Capable of complying. | YES        |
|              | Apartments are individually metered                                                                                                                                                                                                                                                                                                                                        | Capable of complying. | YES        |
|              | Rainwater is collected, stored & reused on site                                                                                                                                                                                                                                                                                                                            | Capable of complying. | YES        |
|              | Drought tolerant, low water use plants are used within landscaped areas                                                                                                                                                                                                                                                                                                    | Capable of complying. | YES        |
| 4V-2<br>p129 | Objective: Urban stormwater is treated on site before being discharged to receiving waters.                                                                                                                                                                                                                                                                                |                       | ✓          |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                     |                       | CONSIDERED |
|              | Water sensitive urban design systems are designed by a suitably qualified professional                                                                                                                                                                                                                                                                                     | Capable of complying. | YES        |
|              | A number of the following design solutions are used: Runoff is collected from roofs & balconies in water tanks and plumbed into toilets, laundry & irrigation, Porous & open paving materials is maximised, On site stormwater & infiltration, including bio-retention systems such as rain gardens or street tree pits                                                    | Capable of complying. | YES        |
| 4V-3<br>p129 | Objective: Flood management systems are integrated into site.                                                                                                                                                                                                                                                                                                              |                       | ✓          |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                     |                       | CONSIDERED |
|              | Detention tanks are located under paved areas, driveways or in basements                                                                                                                                                                                                                                                                                                   | Capable of complying. | YES        |
|              | On large sites, parks or open spaces are designed to provide temporary on site detention basins                                                                                                                                                                                                                                                                            | Capable of complying. | YES        |
| 4W           | <b>WASTE MANAGEMENT</b>                                                                                                                                                                                                                                                                                                                                                    |                       |            |
| 4W-1<br>p131 | Objective: Waste storage facilities are designed to minimise impacts on streetscape, building entry & amenity of residents.                                                                                                                                                                                                                                                |                       | ✓          |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                     |                       | CONSIDERED |
|              | Adequately sized storage areas for rubbish bins are located discreetly away from the front of the development or in basement car park                                                                                                                                                                                                                                      | Capable of complying. | YES        |
|              | Waste & recycling storage areas are well ventilated                                                                                                                                                                                                                                                                                                                        | Capable of complying. | YES        |
|              | Circulation design allows bins to be easily manoeuvred between storage & collection points                                                                                                                                                                                                                                                                                 | Capable of complying. | YES        |
|              | Temporary storage are provided for large bulk items such as mattresses                                                                                                                                                                                                                                                                                                     | Capable of complying. | YES        |
|              | Waste management plan is prepared                                                                                                                                                                                                                                                                                                                                          | Capable of complying. | YES        |
| 4W-2<br>p131 | Objective: Domestic waste is minimised by providing safe & convenient source separation & recycling.                                                                                                                                                                                                                                                                       |                       | ✓          |
|              | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                     |                       | CONSIDERED |
|              | All dwellings have a waste & recycling cupboard or temporary storage area of sufficient size to hold two days worth of waste & recycling                                                                                                                                                                                                                                   | Capable of complying. | YES        |

| ADG Ref.                   | Item Description                                                                                                                                                                                                                                                                                                                                                                                       | Notes                 | Compliance        |
|----------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|-------------------|
|                            | Communal waste & recycling rooms are in convenient & accessible locations related to each vertical core                                                                                                                                                                                                                                                                                                | Capable of complying. | YES               |
|                            | For mixed use developments, residential waste & recycling storage areas & access is separate & secure from other uses                                                                                                                                                                                                                                                                                  | Capable of complying. | YES               |
|                            | Alternative waste disposal methods such as composting is provided                                                                                                                                                                                                                                                                                                                                      | Capable of complying. | YES               |
| <b>4X</b>                  | <b>BUILDING MAINTENANCE</b>                                                                                                                                                                                                                                                                                                                                                                            |                       |                   |
| <b>4X-1</b><br><b>p133</b> | Objective: Building design detail provides protection from weathering.                                                                                                                                                                                                                                                                                                                                 |                       | ✓                 |
|                            | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                 |                       | <b>CONSIDERED</b> |
|                            | A number of the following design solutions are used:;Roof overhangs to protect walls, Hoods over windows & doors to protect openings, Detailing horizontal edges with drip lines to avoid staining surfaces, Methods to eliminate or reduce planter box leaching, Appropriate design & material selection for hostile locations                                                                        | Capable of complying. | YES               |
| <b>4X-2</b><br><b>p133</b> | Objective: Systems & access enable ease of maintenance.                                                                                                                                                                                                                                                                                                                                                |                       | ✓                 |
|                            | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                 |                       | <b>CONSIDERED</b> |
|                            | Window design enables cleaning from the inside of the building                                                                                                                                                                                                                                                                                                                                         | Capable of complying. | YES               |
|                            | Building maintenance systems are incorporated & integrated into the design of the building form, roof & facade                                                                                                                                                                                                                                                                                         | Capable of complying. | YES               |
|                            | Design does not require external scaffolding for maintenance access                                                                                                                                                                                                                                                                                                                                    | Capable of complying. | YES               |
|                            | Manually operated systems such as blinds, sunshades & curtains are used in preference to mechanical systems                                                                                                                                                                                                                                                                                            | Capable of complying. | YES               |
|                            | Centralised maintenance, services & storage are provided for communal open space areas within the building                                                                                                                                                                                                                                                                                             | Capable of complying. | YES               |
| <b>4X-3</b><br><b>p133</b> | Objective: Material selection reduces ongoing maintenance costs.                                                                                                                                                                                                                                                                                                                                       |                       | ✓                 |
|                            | <b>Design Guidance</b>                                                                                                                                                                                                                                                                                                                                                                                 |                       | <b>CONSIDERED</b> |
|                            | A number of the following design solutions are used: Sensors to control artificial lighting in common circulation & spaces, Natural materials that weather well & improve with time, such as face brickwork, Easily cleaned surfaces that are graffiti resistant, Robust & durable materials & finishes in locations which receive heavy wear & tear such as common circulation areas & lift interiors | Capable of complying. | YES               |

|                   |          | Complies           |         |         |        |                                                                                                                 |           |                                |       |                                                                                                                                                 |             |            |                                         |        |                       |                                          |       |                       |                       |       |                       |                       |                           |                                                |                             |                      |
|-------------------|----------|--------------------|---------|---------|--------|-----------------------------------------------------------------------------------------------------------------|-----------|--------------------------------|-------|-------------------------------------------------------------------------------------------------------------------------------------------------|-------------|------------|-----------------------------------------|--------|-----------------------|------------------------------------------|-------|-----------------------|-----------------------|-------|-----------------------|-----------------------|---------------------------|------------------------------------------------|-----------------------------|----------------------|
|                   |          | Does Not Comply    |         |         |        |                                                                                                                 |           |                                |       |                                                                                                                                                 |             |            |                                         |        |                       |                                          |       |                       |                       |       |                       |                       |                           |                                                |                             |                      |
|                   |          | Separation/Privacy |         |         |        |                                                                                                                 | Site Area | Communal and Public Open space |       | Deep Soil Zone                                                                                                                                  | Deep Soil % |            | Solar and daylight Access - 2 hours sun |        |                       | Solar and daylight Access - South Facing |       |                       | Natural Ventilation   |       |                       | Ceiling Height        | Apartment size and layout | Common Corridors - Maximum Apartments per Core | Common Corridors - Daylight |                      |
| Lot               | Building | N (m)              | S (m)   | E (m)   | W (m)  | Notes relative to RTS 2 Drawings                                                                                |           | m2                             | Note  |                                                                                                                                                 | Note        |            | Building                                | Lot    | Note                  | Building                                 | Lot   | Note                  | Building              | Lot   | Note                  |                       |                           |                                                | Note                        |                      |
| Compliance Metric |          |                    |         |         |        |                                                                                                                 |           | 25% of site area               |       | 15% of Site Area                                                                                                                                |             | 70.0%      | 70.0%                                   |        | 15.0%                 | 15.0%                                    |       | 60.0%                 | 60.0%                 |       | 2.7m                  |                       |                           | 12                                             |                             |                      |
| CORE PRECINCT     |          |                    |         |         |        |                                                                                                                 |           |                                |       |                                                                                                                                                 |             |            |                                         |        |                       |                                          |       |                       |                       |       |                       |                       |                           |                                                |                             |                      |
| C1                | C1.1     | 24.0               | 28.3    | 27.1    | N/A    |                                                                                                                 | 6,979     | 1,257                          | 18.0% | Including an additional 1,875sqm of adjacent Public Open Space (Eyles link and retail courtyard) the Open Space Percentage increases to 45%     | 1088        | 15.6%      |                                         | 90.2%  |                       |                                          | 8.2%  |                       |                       | 80.0% |                       |                       | 2.7m                      | Can Comply                                     | 11                          | North and South      |
|                   | C1.2     | 41.0               | 28.3    | 24.0    | 27.1   |                                                                                                                 |           |                                |       |                                                                                                                                                 |             |            |                                         | 63.0%  | 75.9%                 | lot-by-lot compliance                    | 0.0%  | 3.9%                  | 55.6%                 | 68.4% | lot-by-lot compliance | 2.7m                  | Can Comply                | 9                                              | East                        |                      |
| C2                | C2.1     | 29.8               | 24.0    | 24.0    | N/A    | / East separation 19.6 Up to 25m                                                                                | 6,402     | 1,574                          | 24.6% |                                                                                                                                                 | 733         | 11.4%      | complies on a precinct basis            | 93.0%  | 88.6%                 |                                          | 6.2%  | 3.4%                  |                       | 93.0% | 65.6%                 |                       | 2.7m                      | Can Comply                                     | 8                           | North, East and West |
|                   | C2.2     | 31.2               | 41.0    | 24m     | 24.0   |                                                                                                                 |           |                                |       |                                                                                                                                                 |             |            |                                         | 83.2%  |                       | 0.0%                                     |       | 83.2%                 |                       | 2.7m  | Can Comply            | 11                    | North and South           |                                                |                             |                      |
| C3                | C3       | 56.1               | 38.0    | 32.5    | 24.0   |                                                                                                                 | 4,174     | 1,063                          | 25.5% |                                                                                                                                                 | 1741        | 41.7%      |                                         | 90.4%  | 90.4%                 |                                          | 10.4% | 10.4%                 |                       | 60.0% | 60.0%                 |                       | 2.7m                      | Can Comply                                     | 10                          | South                |
| C4                | C4       | 27.6               | 56m     | 24.1    | 24.0   | / West separation 19.6 Up to 25m<br>/ East Separation 21m up to 25m                                             | 2,898     | 529                            | 18.3% | Including an additional 715 sqm of adjacent Public Open Space (Church courtyard North of Eyles Link) the Open Space Percentage increases to 43% | 845         | 29.2%      |                                         | 100.0% | 100.0%                |                                          | 0.0%  | 0.0%                  |                       | 62.5% | 62.5%                 |                       | 2.7m                      | Can Comply                                     | 8                           | North and South      |
| C5                | C5.1a    | 72.6               | N/A     | 21m     | N/A    | / North separation 18m up to 25m and 21m above 25m                                                              | 4,855     | 1,783                          | 36.7% | Including open space within the lower core (C5-C8) precinct as a whole, the percentage of communal and open space is 35%                        | 1304        | 26.9%      |                                         | 60.6%  |                       | lot-by-lot compliance                    | 25.4% |                       | lot-by-lot compliance | 62.0% |                       |                       | 2.7m                      | Can Comply                                     | 8                           | North and South      |
|                   | C5.1b    | N/A                | N/A     | 47.5    | 32.5   |                                                                                                                 |           |                                |       |                                                                                                                                                 |             |            |                                         | 77.3%  | 72.1%                 |                                          | 7.3%  | 11.7%                 |                       | 61.7% |                       | 2.7m                  | Can Comply                | 11                                             | South                       |                      |
|                   | C5.1c    | 18m-24m            | N/A     | 54.7    | 18m    |                                                                                                                 |           |                                |       |                                                                                                                                                 |             |            |                                         | 78.0%  |                       |                                          | 0.0%  |                       |                       | 61.0% |                       | 2.7m                  | Can Comply                | 5                                              | East                        |                      |
| C6                | C6.1a    | 9m                 | 18m-24m | 12.0    | N/A    | / Habitable to non-habitable to East                                                                            | 8,043     | 3,253                          | 40.4% | Including open space within the lower core (C5-C8) precinct as a whole, the percentage of communal and open space is 35%                        | 1394        | 17.3%      |                                         | 47.4%  |                       | lot-by-lot compliance                    | 0.0%  |                       |                       | 95.8% |                       |                       | 2.7m                      | Can Comply                                     | 7                           | North and South      |
|                   | C6.1b    | 28.5               | 9m      | N/A     | 24.1   | 83.9%                                                                                                           |           |                                |       |                                                                                                                                                 |             |            |                                         | 72.1%  |                       | 3.7%                                     | 8.1%  |                       | 61.8%                 | 61.7% |                       | 2.7m                  | Can Comply                | 11                                             | East                        |                      |
|                   | C6.1c    | 28.8               | 32.9    | 18.0    | N/A    | 65.8%                                                                                                           |           |                                |       |                                                                                                                                                 |             |            |                                         |        | lot-by-lot compliance | 24.7%                                    |       | lot-by-lot compliance | 49.3%                 |       | lot-by-lot compliance | 2.7m                  | Can Comply                | 9                                              | North and South             |                      |
| C6                | C6.2a    | N/A                | 72m     | 21-24m  | 12.0   |                                                                                                                 |           |                                |       |                                                                                                                                                 |             |            |                                         | 50.0%  |                       |                                          | 0.0%  |                       |                       | 72.9% |                       |                       | 2.7m                      | Can Comply                                     | 8                           | South                |
|                   | C6.2b    | 45.0               | N/A     | 21-24m  | 18.0   |                                                                                                                 |           |                                |       |                                                                                                                                                 |             |            |                                         | 87.0%  | 70.5%                 |                                          | 0.0%  | 0.0%                  |                       | 72.9% | 72.9%                 |                       | 2.7m                      | Can Comply                                     | 8                           | North                |
| C7                | C7.1     | 12-18m             | N/A     | 21.0    | 18.0   | / Habitable to non-habitable to North                                                                           | 2,211     | 332                            | 15.0% | Including open space within the lower core (C5-C8) precinct as a whole, the percentage of communal and open space is 35%                        | 0           | 0.0%       | complies on a precinct basis            | 69.9%  |                       |                                          | 0.0%  |                       |                       | 57.4% |                       | lot-by-lot compliance | 2.7m                      | Can Comply                                     | 9                           | East                 |
|                   | C7.2     |                    |         |         |        |                                                                                                                 |           |                                |       |                                                                                                                                                 |             |            |                                         | 72.0%  |                       | 0.0%                                     |       |                       |                       | 60.5% |                       |                       |                           |                                                |                             |                      |
|                   |          | 18m-21m            | 12-18m  | 18m-24m | 21-24m | / East Separation 9m to centreline of property boundaries up to 25m and 12m above 25m<br>/ Hab-Non-Hab to South |           |                                |       |                                                                                                                                                 |             |            |                                         | 74.3%  |                       |                                          | 0.0%  |                       | 65.2%                 |       | 2.7m                  | Can Comply            | 6                         | East                                           |                             |                      |
| C8                | C8.1a    | N/A                | 18-21m  | 18-24m  | 21-24m | / East Separation 9m to centreline of property boundaries up to 25m and 12m above 25m<br>/ Hab-Non Hab to South | 2,535     | 0                              | 0.0%  | Including open space within the lower core (C5-C8) precinct as a whole, the percentage of communal and open space is 35%                        | 0           | 0.0%       | complies on a precinct basis            | 38.3%  |                       | lot-by-lot compliance                    | 0.0%  |                       |                       | 81.0% |                       |                       | 2.7m                      | Can Comply                                     | 6                           | East                 |
|                   | C8.1b    | N/A                | N/A     | 18-24m  | 21-24m | / East Separation 9m to centreline of property boundaries up to 25m and 12m above 25m                           |           |                                |       |                                                                                                                                                 |             |            |                                         | 93.3%  | 71.4%                 |                                          | 0.0%  | 0.0%                  |                       | 74.1% | 66.4%                 |                       | 2.7m                      | Can Comply                                     | 4                           | East                 |
|                   | C8.1c    | 23-26m             | N/A     | 18-24m  | 21-24m | / East Separation 9m to centreline of property boundaries up to 25m and 12m above 25m                           |           |                                |       |                                                                                                                                                 |             |            |                                         |        |                       |                                          | 0.0%  |                       |                       | 51.8% |                       | lot-by-lot compliance | 2.7m                      | Can Comply                                     | 8                           | East                 |
| Total             |          |                    |         |         |        |                                                                                                                 |           | Precinct Open Space            |       | Precinct Deep Soil                                                                                                                              |             |            |                                         |        |                       |                                          |       |                       |                       |       |                       |                       |                           |                                                |                             |                      |
|                   |          |                    |         |         |        |                                                                                                                 | 38,097    | 9,791                          | 25.7% |                                                                                                                                                 | 7,105       | 18.6%      | Excluding Eyles Link                    |        |                       |                                          |       |                       |                       |       |                       |                       |                           |                                                |                             |                      |
|                   |          |                    |         |         |        |                                                                                                                 |           |                                |       |                                                                                                                                                 | 2,636       | Eyles Link |                                         |        |                       |                                          |       |                       |                       |       |                       |                       |                           |                                                |                             |                      |
|                   |          |                    |         |         |        |                                                                                                                 |           |                                |       |                                                                                                                                                 | 9,741       | 25.6%      | Including Eyles Link                    |        |                       |                                          |       |                       |                       |       |                       |                       |                           |                                                |                             |                      |

| EAST PRECINCT |        |      |        |     |                                                                           |      |      |       |  |      |       |  |       |       |  |      |      |  |       |       |  |      |            |   |
|---------------|--------|------|--------|-----|---------------------------------------------------------------------------|------|------|-------|--|------|-------|--|-------|-------|--|------|------|--|-------|-------|--|------|------------|---|
| E1.1          |        |      |        |     | / Habitable to non-Habitable to East                                      |      |      |       |  |      |       |  |       |       |  |      |      |  |       |       |  |      |            |   |
|               | 21-24m | N/A  | 12-18m | 25m | / Street setbacks increased form 3m to 4m to be consistent with precincts | 4141 | 1057 | 25.5% |  | 1310 | 31.6% |  | 75.3% | 75.2% |  | 0.0% | 0.0% |  | 60.1% | 60.7% |  | 2.7m | Can Comply | 9 |
| E1.2          |        |      |        |     | / Street setbacks increased form 3m to 4m to be consistent with precincts |      |      |       |  |      |       |  |       |       |  |      |      |  |       |       |  |      |            |   |
|               | 21.0   | 30.0 | 9.0    | N/A |                                                                           | 1489 | 381  | 25.6% |  | 427  | 28.7% |  | 75.0% |       |  | 0.0% |      |  | 62.5% |       |  | 2.7m | Can Comply | 7 |

| NORTH PRECINCT |          |                    |                       |                   |                             |                                                                                                                                  |                                |          |       |                                                                                                                                                                           |         |             |        |       |       |                                         |                              |                              |                                          |              |       |                     |                                |                                |                |                           |                                                |                             |            |                 |      |
|----------------|----------|--------------------|-----------------------|-------------------|-----------------------------|----------------------------------------------------------------------------------------------------------------------------------|--------------------------------|----------|-------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------|-------------|--------|-------|-------|-----------------------------------------|------------------------------|------------------------------|------------------------------------------|--------------|-------|---------------------|--------------------------------|--------------------------------|----------------|---------------------------|------------------------------------------------|-----------------------------|------------|-----------------|------|
|                |          | Separation/Privacy |                       |                   |                             | Site Area                                                                                                                        | Communal and Public Open space |          |       | Deep Soil                                                                                                                                                                 |         |             |        |       |       | Solar and daylight Access - 2 hours sun |                              |                              | Solar and daylight Access - South Facing |              |       | Natural Ventilation |                                |                                | Ceiling Height | Apartment size and layout | Common Corridors - Maximum Apartments per Core | Common Corridors - Daylight |            |                 |      |
| Lot            | Building | N (m)              | S (m)                 | E (m)             | W (m)                       | Notes relative to RTS 2 Drawings                                                                                                 | m2                             | Communal | Note  | 4-6m deep m2                                                                                                                                                              | %       | >6m deep m2 | %      | Total | %     | Note                                    | Building 70%                 | Lot                          | Note                                     | Building 15% | Lot   | Note                | Building 60%                   | Lot                            | Note           | 12                        |                                                |                             |            |                 |      |
| N1             | N1       | 0m (boundary)      | 23m (building)        | 24m (building)    | 4.5m (boundary)             | / Nil boundary setback to Southern boundary of Northern isolated lot to maximise isolated lots development potential and amenity | 2,232                          | 557      | 25.0% |                                                                                                                                                                           |         | 256         | 11%    | 508   | 23%   | 764                                     | 34%                          |                              |                                          |              | 80.5% |                     | 12.2%                          |                                | 63.4%          |                           | 2.7m                                           | Can Comply                  | 10         | West and South  |      |
| N2             | N2       | 9m (boundary)      | 22.7m (building)      | 4.5m (boundary)   | N/A                         | / Habitable to non-Habitable to North<br>/ Non Habitable to South                                                                | 1,676                          | 422      | 25.2% | Including an additional 300sqm of adjacent Public Open Space (through site link) the Open Space Percentage increases to 38%                                               |         | 358         | 21%    | 301   | 18%   | 659                                     | 39%                          |                              |                                          |              | 80.9% |                     | 12.8%                          |                                | 59.6%          |                           | 2.7m                                           | Can Comply                  | 9          | South           |      |
| N3             | N3       | 4.5m (boundary)    | 28m (building)        | 24m (building)    | 24m (building)              | / Habitable to non-Habitable to North                                                                                            | 4,894                          | 1237     | 25.3% | Including an additional 842 sqm of adjacent Public Open Space the Open Space Percentage increases to 42%                                                                  |         | 296         | 6%     | 1,690 | 35%   | 1,986                                   | 41%                          |                              |                                          |              | 71.8% |                     | 13.5%                          |                                | 60.7%          |                           | 2.7m                                           | Can Comply                  | 12         | East and West   |      |
| N4             | N4       | 0m (boundary)      | 4.5m (boundary)       | 17m (boundary)    | 23m (building)              | / Nil boundary setback to Southern boundary of Northern isolated lot maximises isolated lots development potential and amenity   | 2,055                          | 612      | 29.8% |                                                                                                                                                                           |         | 217         | 11%    | 585   | 28%   | 802                                     | 39%                          |                              |                                          |              | 70.4% |                     | 0.0%                           |                                | 64.8%          |                           | 2.7m                                           | Can Comply                  | 10         | East            |      |
| N5             | N5       | 23m (building)     | 4.5m (boundary)       | 6m (boundary)     | 21m (building - The Parade) | / Habitable to non-habitable to Western through site link                                                                        | 4,679                          | 1147     | 24.5% |                                                                                                                                                                           |         | 451         | 10%    | 1,110 | 24%   | 1,561                                   | 33%                          |                              |                                          |              | 73.9% |                     | 12.7%                          |                                | 62.0%          |                           | 2.7m                                           | Can Comply                  | 10         | East and South  |      |
| N6             | N6.1     | 9m (building)      | 23m (building)        | 23m (building)    | 9m (boundary)               | / Western setback increased to 9m                                                                                                | 4,085                          | 1036     | 25.4% | N6-N7 combined open space Including an additional 896 sqm of adjacent Public Open Space (through site link and N7 pocket park) the Open Space Percentage increases to 37% | N6 + N7 |             |        |       |       |                                         | 69.6%                        |                              |                                          | 6.4%         |       |                     | 60.5%                          |                                |                | 9                         | East and West                                  |                             |            |                 |      |
|                | N6.2     | 0m (boundary)      | 6m (boundary)         | 24m (building)    | 24m (building)              | / Nil boundary setback to Southern boundary of Northern isolated lot maximises isolated lots development potential and amenity   |                                |          |       |                                                                                                                                                                           |         |             |        |       |       | 70.0%                                   | 69.7%                        |                              | 0.0%                                     | 4.8%         |       | 70.0%               | 62.9%                          |                                | 2.7m           | Can Comply                | 7                                              | South                       |            |                 |      |
| N7             | N7.1     | >24m (building)    | 9m (building)         | 22.5m (building)  | 24m (building)              | / Non habitable to through site link                                                                                             | 6,968                          | 2057     | 29.5% | N6-N7 combined open space Including an additional 896 sqm of adjacent Public Open Space (through site link and N7 pocket park) the Open Space Percentage increases to 37% | 1143    | 10%         | 2,609  | 24%   | 3,752 | 34%                                     | complies on a precinct basis | 73.0%                        |                                          |              | 0.0%  |                     | 71.2%                          |                                |                | 6                         | East and West                                  |                             |            |                 |      |
|                | N7.2     | 9m (building)      | 9m (boundary)         | >24m (building)   | >22.7m (building)           | / E&W terrace envelope should be                                                                                                 |                                |          |       |                                                                                                                                                                           |         |             |        |       |       |                                         |                              |                              | 70.0%                                    | 71.8%        |       | 16.0%               | 7.4%                           | complies on a lot-by-lot basis | 61.0%          | 67.1%                     |                                                | 2.7m                        | Can Comply | 11              | East |
|                | N7.3     | >24m (building)    | 9m (boundary)         | 0m (building)     | 0m (building)               |                                                                                                                                  |                                |          |       |                                                                                                                                                                           |         |             |        |       |       |                                         |                              |                              | 80.0%                                    |              |       | 0.0%                |                                | 100.0%                         |                |                           |                                                | N/A                         | N/A        |                 |      |
| N8             | N8       | 9m (building)      | 20m (building)        | 4.5-6m (boundary) | 23m (building)              | / Non habitable to southern boundary                                                                                             | 2,276                          | 570      | 25.0% | N8 + N9                                                                                                                                                                   |         |             |        |       |       | 73.3%                                   |                              |                              | 12.9%                                    |              |       | 69.9%               |                                |                                | 2.7m           | Can Comply                | 9                                              | North and East              |            |                 |      |
| N9             | N9.1a    | 6m (building)      | 9m (building)         | 6m (boundary)     | 23m (building)              | / Assumed 6m gap between N9.1a and N9.2b to be developed in detailed design                                                      | 6,665                          | 1750     | 26.3% | Including an additional 521 sqm of adjacent Public Open Space (pocket park) the Open Space Percentage increases to 34%                                                    | 1146    | 13%         | 1,584  | 18%   | 2,730 | 31%                                     |                              | 79.5%                        |                                          |              | 18.2% |                     |                                | 63.6%                          |                |                           | 11                                             | East                        |            |                 |      |
|                | N9.1b    | 6m (boundary)      | 6m (building)         | 6-9m (boundary)   | 23m (building)              | / Rear boundary separation 6m up to 4 storeys, 9m above 4 storeys                                                                |                                |          |       |                                                                                                                                                                           |         |             |        |       |       |                                         |                              | 78.7%                        | 77.3%                                    |              | 17.0% | 11.9%               | complies on a lot-by-lot basis | 68.8%                          | 67.6%          |                           | 2.7m                                           | Can Comply                  | 12         | East            |      |
|                | N9.2     | 0m (boundary)      | 13.2 - 30m (building) | 6-9m (boundary)   | 22.5m (building)            | / Nil boundary setback to Southern boundary of Northern isolated lot maximises isolated lots development potential and amenity   |                                |          |       |                                                                                                                                                                           |         |             |        |       |       |                                         |                              | 78.4%                        |                                          |              | 0.0%  |                     |                                | 65.4%                          |                |                           |                                                | 10                          | East       |                 |      |
| N10            | N10      | 4.5m (boundary)    | 6m (boundary)         | 6-9m (boundary)   | 22m (building))             | / 4.5m min for habitable to non-habitable<br>/ Rear boundary separation 6m up to 4 storeys, 9m above 4 storeys                   | 2,004                          | 500      | 25.0% |                                                                                                                                                                           |         | 202         | 10%    | 486   | 24%   | 688                                     | 34%                          | complies on a precinct basis | 88.4%                                    |              |       | 11.6%               |                                |                                | 68.2%          |                           | 2.7m                                           | Can Comply                  | 10         | North and South |      |
| Total          |          |                    |                       |                   |                             |                                                                                                                                  | Precinct Open Space            |          |       | Precinct Deep Soil                                                                                                                                                        |         |             |        |       |       |                                         |                              |                              |                                          |              |       |                     |                                |                                |                |                           |                                                |                             |            |                 |      |
|                |          |                    |                       |                   |                             |                                                                                                                                  | 37,534                         | 9,888    | 26.3% |                                                                                                                                                                           |         |             | 12,942 | 34%   |       |                                         |                              |                              |                                          |              |       |                     |                                |                                |                |                           |                                                |                             |            |                 |      |

| SOUTH PRECINCT |          |                      |                                        |                     |                  |                                                                                                                                                                            |                                |          |       |              |           |             |                    |       |     |                              |                                         |       |      |                                          |       |                                |                     |       |                |                           |                                                |                             |                 |
|----------------|----------|----------------------|----------------------------------------|---------------------|------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|----------|-------|--------------|-----------|-------------|--------------------|-------|-----|------------------------------|-----------------------------------------|-------|------|------------------------------------------|-------|--------------------------------|---------------------|-------|----------------|---------------------------|------------------------------------------------|-----------------------------|-----------------|
|                |          | Separation/Privacy   |                                        |                     |                  | Site Area                                                                                                                                                                  | Communal and Public Open space |          |       |              | Deep Soil |             |                    |       |     |                              | Solar and daylight Access - 2 hours sun |       |      | Solar and daylight Access - South Facing |       |                                | Natural Ventilation |       | Ceiling Height | Apartment size and layout | Common Corridors - Maximum Apartments per Core | Common Corridors - Daylight |                 |
| Lot            | Building | N (m)                | S (m)                                  | E (m)               | W (m)            | Notes relative to RTS 2 Drawings                                                                                                                                           | m2                             | Communal | Note  | 4-6m deep m2 | %         | >6m deep m2 | %                  | Total | %   | Note                         | Building 70%                            | Lot   | Note | Building 15%                             | Lot   | Note                           | Building 60%        | Lot   | Note           | 12                        |                                                |                             |                 |
| S1             | S1       | 6m (boundary)        | 23m (building)                         | N/A                 | 6m               | / Habitable to non habitable to South above 12m                                                                                                                            | 2,099                          | 524      | 25.0% | 279          | 13%       | 382         | 18%                | 661   | 31% |                              | 82.9%                                   |       |      | 7.9%                                     |       |                                | 77.6%               |       |                | 2.7m                      | Can Comply                                     | 8                           | North and West  |
| S2             | S2       | 3.0-4.5m (boundary)  | 23m (building)                         | 0m (boundary)       | 6m (boundary)    | / Nil boundary setback to Southern boundary of Northern isolated lot maximises isolated lots development potential and amenity<br><br>/ Non-Habitable to Northern boundary | 2,744                          | 683      | 24.9% | 368          | 13%       | 440         | 16%                | 808   | 29% | complies on a precinct basis | 70.1%                                   |       |      | 15.5%                                    |       |                                | 60.8%               |       |                | 2.7m                      | Can Comply                                     | 10                          | East and West   |
| S3             | S3       | 4.5m (boundary)      | 23m (building)                         | N/A                 | 4.5m (boundary)  | / Habitable to non habitable North and West                                                                                                                                | 3,168                          | 801      | 25.3% | 485          | 15%       | 462         | 15%                | 947   | 30% | complies on a precinct basis | 72.9%                                   |       |      | 14.1%                                    |       |                                | 61.2%               |       |                | 2.7m                      | Can Comply                                     | 8                           | North and South |
| S4             | S4       | 23m (building)       | 4.5m (boundary)                        | 4.5m (boundary)     | 23.5m (building) | / Non-habitable to East<br><br>/ Habitable to Non-Habitable to South                                                                                                       | 2,782                          | 690      | 24.8% | 306          | 11%       | 552         | 20%                | 858   | 31% |                              | 78.2%                                   |       |      | 10.3%                                    |       |                                | 82.8%               |       |                | 2.7m                      | Can Comply                                     | 8                           | East and South  |
| S5             | S5       | 23m (building)       | 9m (boundary)                          | 4.5-6.0m (boundary) | 4.5m (boundary)  | / Habitable to Non habitable to East and West<br><br>/ Rear boundary separation increased to 9m to improve transition to neighbouring R3 zone                              | 3,471                          | 862      | 24.8% | 528          | 15%       | 531         | 15%                | 1,059 | 31% |                              | 72.1%                                   |       |      | 7.7%                                     |       |                                | 60.6%               |       |                | 2.7m                      | Can Comply                                     | 9                           | East and South  |
| S6             | S6       | 23m (building)       | 4.5-6.0m (+3m to top level) (boundary) | 4.5m (boundary)     | 23m (building)   | / Habitable to non habitable to East and South<br><br>/ Rear boundary separation increased by +3m to improve transition to neighbouring R3 zone                            | 2,877                          | 720      | 25.0% | 252          | 9%        | 804         | 28%                | 1,056 | 37% |                              | 71.2%                                   |       |      | 13.5%                                    |       |                                | 64.3%               |       |                | 2.7m                      | Can Comply                                     | 9                           | South           |
| S7             | S7.1A    | 4.5-13.3m (boundary) | N/A                                    | 23m (building)      | 6m (boundary)    |                                                                                                                                                                            | 4,363                          | 1076     | 24.7% | 159          | 4%        | 1,185       | 18%                | 1,344 | 31% | complies on a precinct basis | 84.4%                                   | 84.6% |      | 4.4%                                     | 12.1% | complies on a lot by lot basis | 62.2%               | 61.5% |                | 2.7m                      | Can Comply                                     | 12                          | West            |
|                | S7.1B    | N/A                  | 6m (boundary)                          | 23m (building)      | 6m (boundary)    |                                                                                                                                                                            |                                |          |       |              |           |             |                    |       |     |                              | 84.8%                                   |       |      |                                          |       |                                | 19.6%               |       |                |                           |                                                |                             | 60.9%           |
| S8             | S8       | 6m (boundary)        | 6m (boundary)                          | 23m (building)      | 6m (boundary)    |                                                                                                                                                                            | 4,527                          | 1144     | 25.3% | 104          | 2%        | 1,278       | 28%                | 1,382 | 31% |                              | 75.3%                                   |       |      | 16.1%                                    |       |                                | 65.6%               |       |                | 2.7m                      | Can Comply                                     | 11                          | South           |
| Total          |          |                      |                                        |                     |                  |                                                                                                                                                                            | Precinct Open Space            |          |       |              |           |             | Precinct Deep Soil |       |     |                              |                                         |       |      |                                          |       |                                |                     |       |                |                           |                                                |                             |                 |
|                |          |                      |                                        |                     |                  |                                                                                                                                                                            | 26,031                         | 6,500    | 25.0% |              |           |             |                    | 8,115 | 31% |                              |                                         |       |      |                                          |       |                                |                     |       |                |                           |                                                |                             |                 |

# SOLAR ACCESS SUMMARY

## Summary

Buildings have been arranged to maximise opportunities for solar access to comply with the minimum requirements set out in the Apartment Design Guide.

Compliance has been assessed on a building by building and lot by lot basis.

2 hours sun 74%

No sun 7%

| Sub Totals     | Units | Solar | %     | No sun | %    |
|----------------|-------|-------|-------|--------|------|
| Core Precinct  | 2,151 | 1,625 | 76%   | 96     | 4%   |
| Stage 1a (C9)  | 449   | 314   | 70%   | 32     | 7%   |
| North Precinct | 1,155 | 858   | 74%   | 114    | 10%  |
| East Precinct  | 214   | 161   | 75%   | -      | 0%   |
| South Precinct | 685   | 520   | 76%   | 83     | 12%  |
|                |       |       |       |        |      |
| Grand Total    | Units | Solar | %     | No sun | %    |
|                | 4,654 | 3,478 | 74.7% | 325    | 7.0% |

### Core

| Lot   | Units | 2 hours Sun |            | No Sun |            |
|-------|-------|-------------|------------|--------|------------|
|       |       | %           | Lot Totals | %      | Lot Totals |
| C1.0  |       |             |            |        |            |
| C1.1  | 194   | 90.2%       | 75.9%      | 8.2%   | 3.9%       |
| C1.2  | 216   | 63.0%       |            | 0.0%   |            |
| C2.0  |       |             |            |        |            |
| C2.1a | 84    | 77.4%       | 93.0%      | 20.2%  | 6.2%       |
| C2.1b | 189   | 100.0%      |            | 0.0%   |            |
| C2.2a | 145   | 86.9%       | 83.2%      | 0.0%   | 0.0%       |
| C2.2b | 81    | 76.5%       |            | 0.0%   |            |
| C3.0  |       |             |            |        |            |
| C3.1  | 125   | 90.4%       |            | 10.4%  |            |
| C4.0  |       |             |            |        |            |
| C4.1  | 97    |             |            |        |            |
| C4.2  | 96    | 100.0%      |            | 0.0%   |            |
| C5.1a | 71    | 60.6%       | 72.1%      | 25.4%  | 11.7%      |
| C5.1b | 110   | 77.3%       |            | 7.3%   |            |
| C5.1c | 41    | 78.0%       |            | 0.0%   |            |
| C6.1a | 57    | 47.4%       | 72.2%      | 0.0%   | 8.2%       |
| C6.1b | 161   | 83.9%       |            | 3.7%   |            |
| C6.1c | 73    | 65.8%       |            | 24.7%  |            |
| C6.2a | 72    | 50.0%       | 70.5%      | 0.0%   | 0.0%       |
| C6.2b | 77    | 87.0%       |            | 0.0%   |            |
| C7.1  | 73    | 69.9%       | 72.0%      | 0.0%   | 0.0%       |
| C7.2  | 70    | 74.3%       |            | 0.0%   |            |
| C8.1a | 47    | 38.3%       |            | 0.0%   |            |
| C8.1b | 72    | 93.1%       | 71.4%      | 0.0%   | 0.0%       |

### North Precinct

| Lot   | Units | 2 hours Sun |            | No Sun |            |
|-------|-------|-------------|------------|--------|------------|
|       |       | %           | Lot Totals | %      | Lot Totals |
| N1    | 82    | 80.5%       |            | 12.2%  |            |
| N2    | 47    | 80.9%       |            | 12.8%  |            |
| N3    | 163   | 71.8%       |            | 13.5%  |            |
| N4    | 54    | 70.4%       |            | 0.0%   |            |
| N5    | 142   | 73.9%       |            | 12.7%  |            |
| N6.1  | 125   | 69.6%       | 69.7%      | 6.4%   | 4.8%       |
| N6.2  | 40    | 70.0%       |            | 0.0%   |            |
| N7.1  | 111   | 73.0%       | 71.8%      | 0.0%   | 7.4%       |
| N7.2  | 100   | 70.0%       |            | 16.0%  |            |
| N7.3  | 5     | 80.0%       |            | 0.0%   |            |
| N8    | 101   | 73.3%       | 76.5%      | 12.9%  | 11.9%      |
| N9.1a | 44    | 79.5%       |            | 18.2%  |            |
| N9.1b | 47    | 78.7%       |            | 17.0%  |            |
| N9.2  | 51    | 78.4%       |            | 0.0%   |            |
| N10   | 43    | 88.4%       |            | 11.6%  |            |

### South Precinct

| Lot | Units | 2 hours Sun |            | No Sun |            |
|-----|-------|-------------|------------|--------|------------|
|     |       | %           | Lot Totals | %      | Lot Totals |
| S1  | 76    | 82.9%       |            | 7.9%   |            |
| S2  | 97    | 70.1%       |            | 15.5%  |            |
| S3  | 85    | 72.9%       |            | 14.1%  |            |
| S4  | 87    | 78.2%       |            | 10.3%  |            |
| S5  | 104   | 72.1%       |            | 7.7%   |            |
| S6  | 52    | 71.2%       |            | 13.5%  |            |
| S7a | 45    | 84.4%       | 84.6%      | 4.4%   | 12.1%      |
| S7b | 46    | 84.8%       |            | 19.6%  |            |
| S8  | 93    | 75.3%       |            | 16.1%  |            |

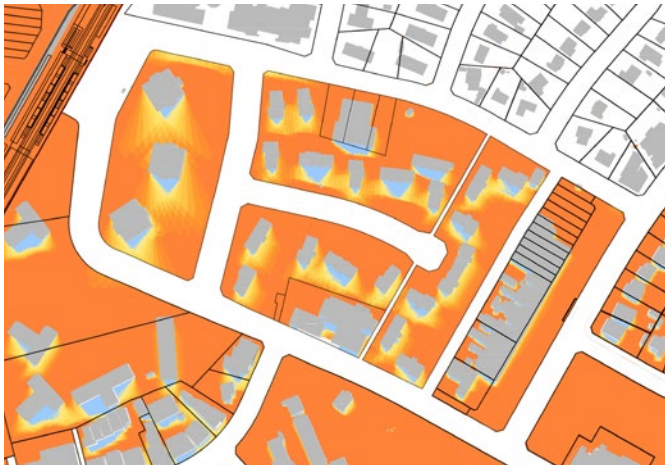
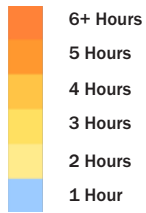
### East Precinct

| Lot | Units | 2 hours Sun |            | No Sun |            |
|-----|-------|-------------|------------|--------|------------|
|     |       | %           | Lot Totals | %      | Lot Totals |
| E1  | 158   | 75.3%       |            | -      | 0.0%       |
| E2  | 56    | 75.0%       |            | -      | 0.0%       |

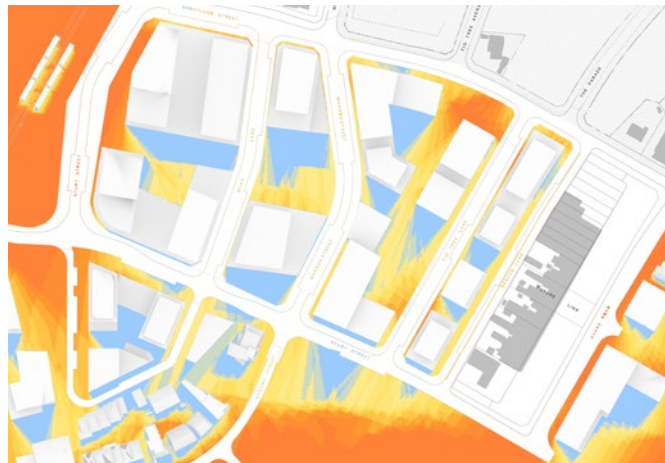
# SOLAR ACCESS: CORE PUBLIC DOMAIN

**Winter Solstice - June 21**

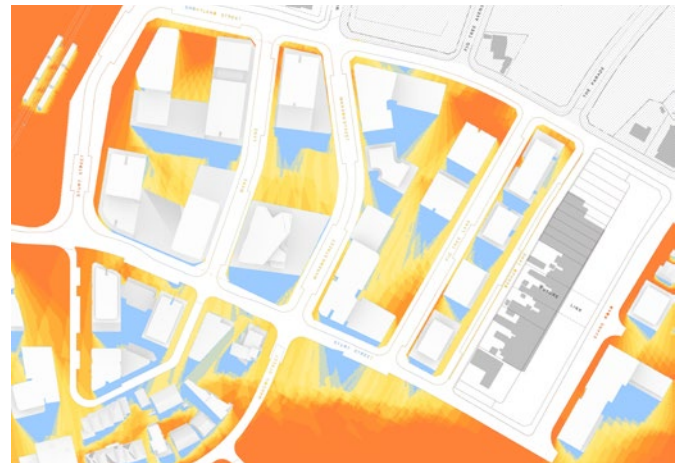
9am - 3pm



Existing



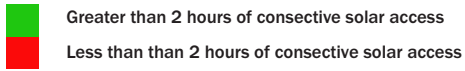
Envelopes



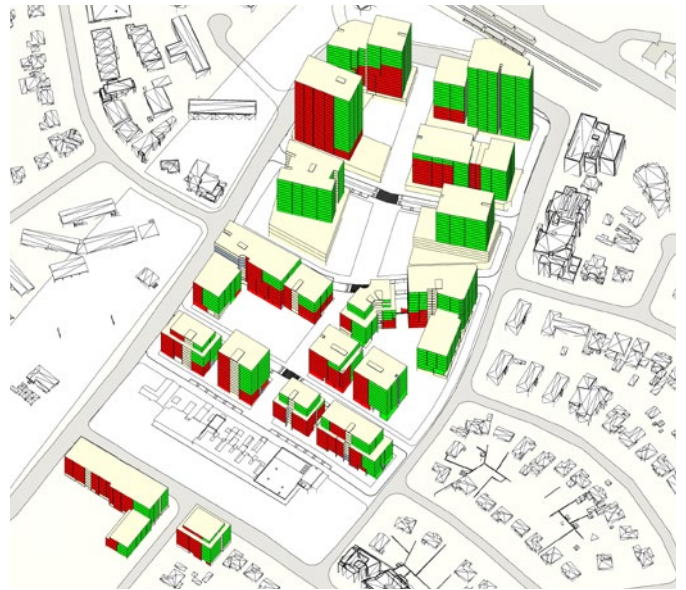
Indicative Design Scheme

# SOLAR ACCESS: CORE RESIDENTIAL

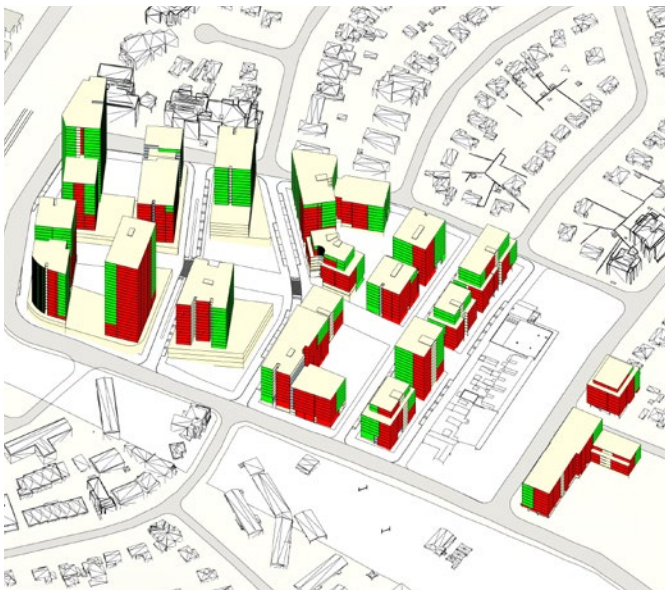
Winter Solstice - June 21



North



East



South



West

## Views From the Sun

Core Precinct



10am



9am



11am



12pm



1pm



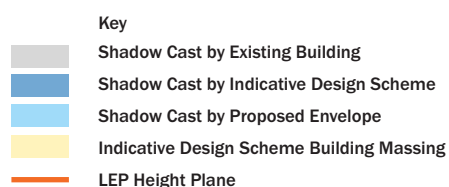
2pm



3pm

# SOLAR ACCESS: CORE SHADOW DIAGRAMS

## Winter Solstice - June 21



9am



10am



11am



12pm



1pm



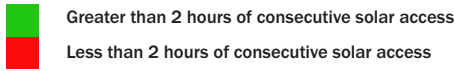
2pm



3pm

# SOLAR ACCESS: NORTH RESIDENTIAL

## Winter Solstice - June 21



North



East



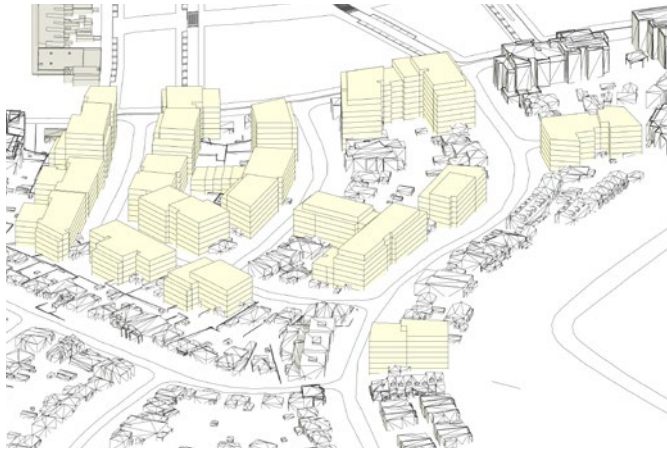
South



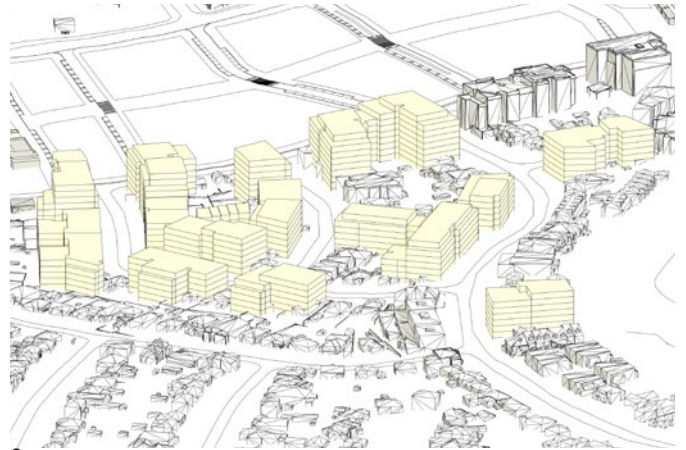
West

## Views From the Sun

North Precinct



10am



9am



11am



12pm



1pm



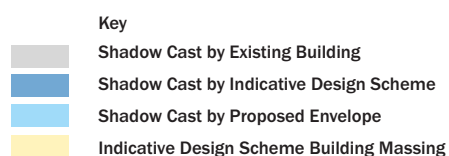
2pm



3pm

# SOLAR ACCESS: NORTH SHADOW DIAGRAMS

## Winter Solstice - June 21



9am



10am



11am



12pm



1pm



2pm

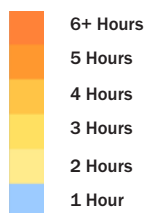


3pm

# SOLAR ACCESS: NORTH PUBLIC DOMAIN

Winter Solstice - June 21

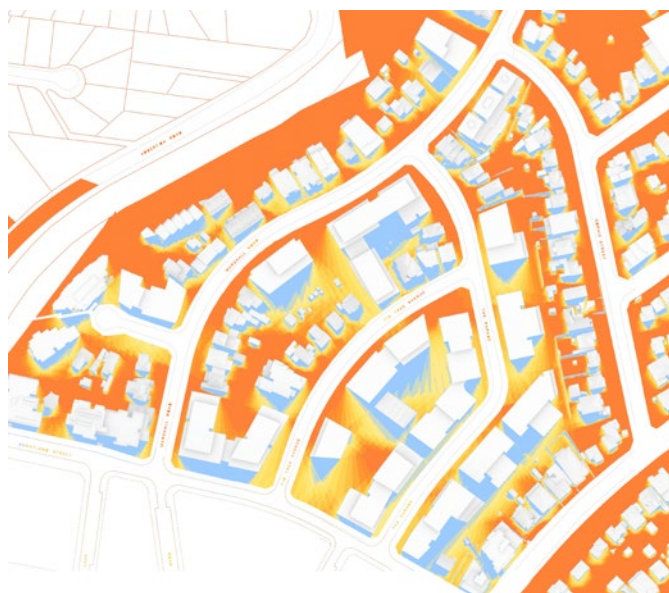
9am - 3pm



Existing



Envelopes

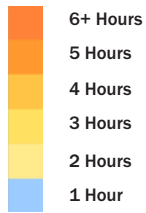


Indicative Design Scheme

# SOLAR ACCESS: SOUTH PUBLIC DOMAIN

**Winter Solstice - June 21**

9am - 3pm



**Existing**



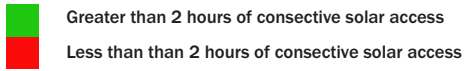
**Envelopes**



**Indicative Design Scheme**

# SOLAR ACCESS: SOUTH RESIDENTIAL

## Winter Solstice - June 21



North



East



South



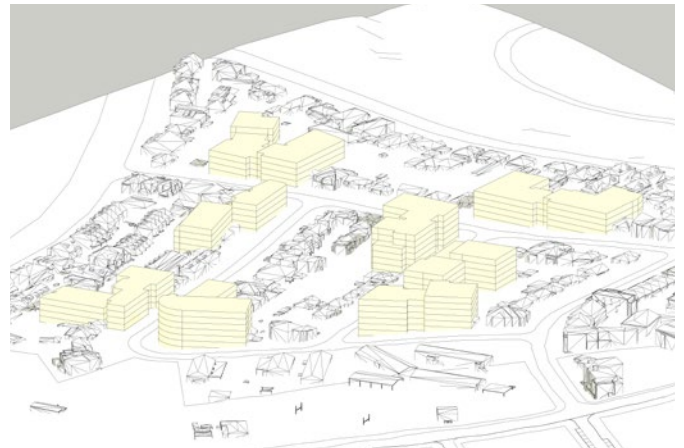
West

## Views From the Sun

South Precinct



10am



9am



11am



12pm



1pm



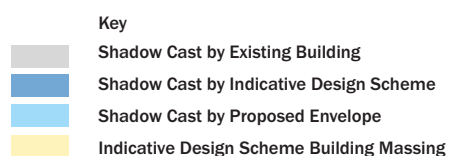
2pm



3pm

# SOLAR ACCESS: SOUTH SHADOW DIAGRAMS

## Winter Solstice - June 21



9am



10am



11am



12pm



1pm



2pm



3pm