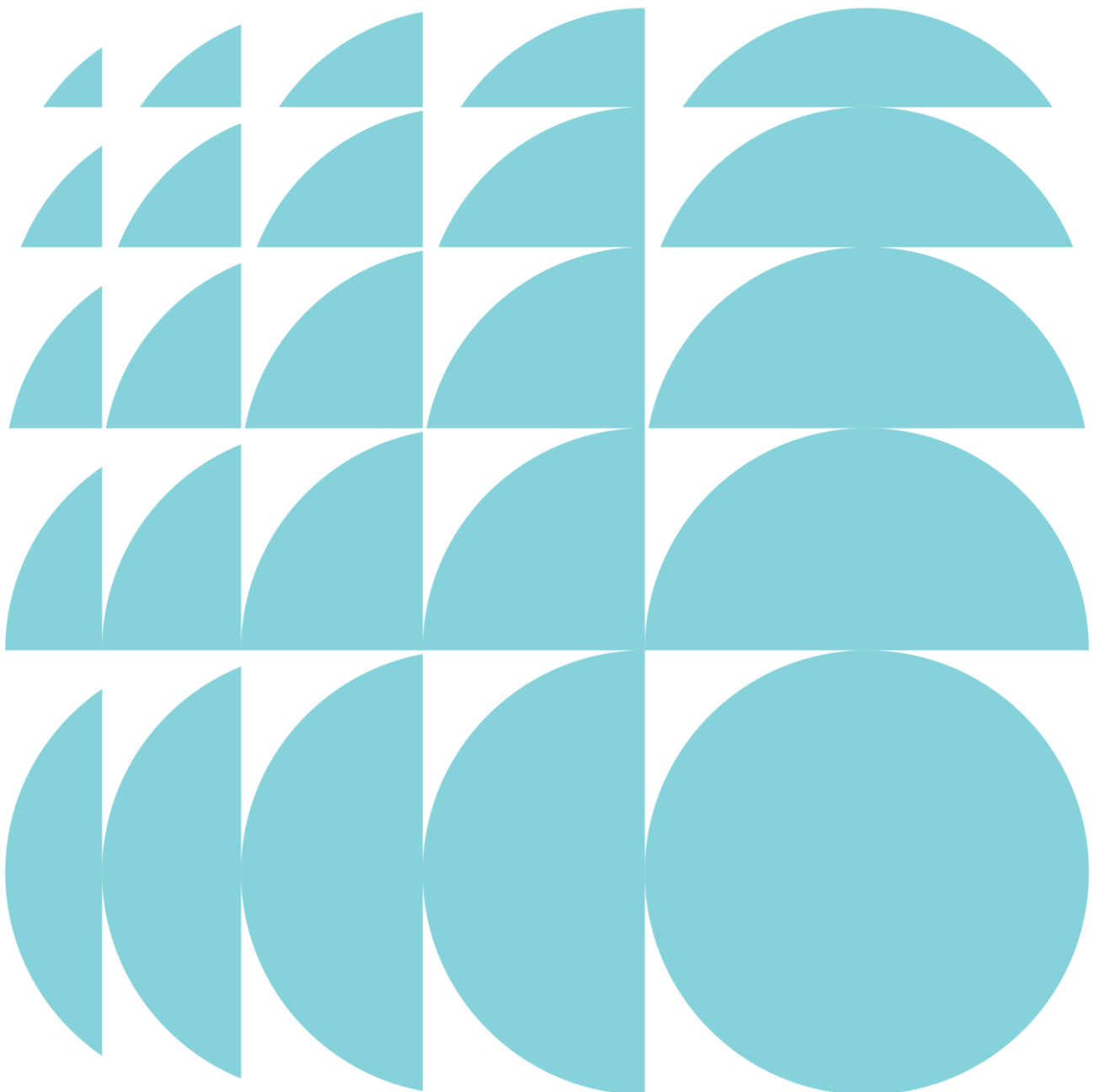




*Ethos Urban acknowledges the Traditional Custodians of Country throughout Australia and recognises their continuing connection to land, waters and culture.*

*We acknowledge the Gadigal people, of the Eora Nation, the Traditional Custodians of the land where this document was prepared, and all peoples and nations from lands affected.*

*We pay our respects to their Elders past, present and emerging.*

---

#### CONTACT

Alexis Cella Director [acella@ethosurban.com](mailto:acella@ethosurban.com) 9956 6962

Reproduction of this document or any part thereof is not permitted without prior written permission of Ethos Urban Pty Ltd.

This document has been prepared by:



Yousheng Li

12/07/2022

This document has been reviewed by:



Brendan Hoskins

18/07/2022

Reproduction of this document or any part thereof is not permitted without written permission of Ethos Urban Pty Ltd. Ethos Urban operates under a Quality Management System. This report has been prepared and reviewed in accordance with that system. If the report is not signed, it is a preliminary draft.

| VERSION NO. | DATE OF ISSUE | REVISION BY | APPROVED BY |
|-------------|---------------|-------------|-------------|
| DRAFT No. 1 | 25/03/2022    | YL          | BH / AC     |
| DRAFT No. 2 | 28/04/2022    | YL / BH     | AC          |
| DRAFT No. 3 | 31/05/2022    | YL / BH     | AC          |
| DRAFT No. 4 | 12/07/2022    | BH          | AC          |

---

Ethos Urban Pty Ltd  
ABN 13 615 087 931.  
[www.ethosurban.com](http://www.ethosurban.com)  
173 Sussex Street, Sydney  
NSW 2000 t 61 2 9956 6952

---

# Contents

|                                                                  |    |
|------------------------------------------------------------------|----|
| Statement of Validity                                            | 2  |
| Executive Summary                                                | 3  |
| 1.0 Introduction                                                 | 4  |
| 1.1 The Applicant                                                | 4  |
| 1.2 Overview of the Proposed Development                         | 4  |
| 1.3 Development Objectives                                       | 4  |
| 1.4 Site Overview                                                | 5  |
| 1.5 Project Background                                           | 6  |
| 1.6 Secretary's Environmental Assessment Requirements            | 8  |
| 1.7 Related Development                                          | 12 |
| 1.8 Voluntary Planning Agreement                                 | 13 |
| 2.0 The Site                                                     | 14 |
| 2.1 Site Context                                                 | 14 |
| 2.2 Site Description                                             | 14 |
| 2.3 Existing Development                                         | 15 |
| 2.4 Transport and Access                                         | 17 |
| 2.5 Topography                                                   | 17 |
| 2.6 Infrastructure and Services                                  | 17 |
| 2.7 Heritage                                                     | 17 |
| 2.8 Geotechnical Conditions                                      | 17 |
| 2.9 Restrictions and Covenants                                   | 18 |
| 2.10 Surrounding Development                                     | 18 |
| 3.0 Strategic Context                                            | 21 |
| 3.1 Strategic Justification of the Project                       | 21 |
| 3.2 Compliance with Strategic Guidelines                         | 22 |
| 3.3 Analysis of Alternatives                                     | 24 |
| 4.0 Project Description                                          | 26 |
| 4.1 Project Overview                                             | 26 |
| 4.2 Demolition of Ground Floor Slab                              | 26 |
| 4.3 Bulk Earthworks for Basement Excavation                      | 27 |
| 4.4 Construction of Retaining Structures                         | 27 |
| 4.5 Construction of Raft Slab                                    | 28 |
| 4.6 Temporary Structures                                         | 28 |
| 4.7 Hours of Work                                                | 28 |
| 4.8 Staging and Timeframe of Works                               | 29 |
| 5.0 Statutory Context                                            | 30 |
| 5.1 Environmental Planning and Assessment Act 1979               | 30 |
| 5.2 Biodiversity Conservation Act 2016                           | 31 |
| 5.3 State Environmental Planning Policies                        | 31 |
| 5.4 City of Sydney Local Environmental Plan 2012                 | 32 |
| 5.5 Consistency with the Harbourside Concept Approval (SSD 7874) | 32 |
| 5.6 Other Approvals                                              | 32 |

# Contents

|      |                                               |    |
|------|-----------------------------------------------|----|
| 6.0  | Community Engagement                          | 34 |
| 6.1  | Stage 1 Concept Approval Community Engagement | 34 |
| 6.2  | Ongoing Community Engagement Plan             | 34 |
| 6.3  | SSD 38881729 Community Engagement             | 35 |
| 7.0  | Environmental Assessment                      | 39 |
| 7.1  | Construction Management                       | 39 |
| 7.2  | Site Security                                 | 43 |
| 7.3  | Tree Management                               | 44 |
| 7.4  | Contamination and Remediation                 | 44 |
| 7.5  | Heritage Impact                               | 45 |
| 7.6  | Archaeological Impacts                        | 46 |
| 7.7  | Flood Impact                                  | 48 |
| 7.8  | Stormwater                                    | 48 |
| 7.9  | Noise and Vibration                           | 48 |
| 7.10 | Structural                                    | 49 |
| 7.11 | Geotechnical Impact                           | 49 |
| 7.12 | Cost of Works                                 | 49 |
| 7.13 | Ecologically Sustainable Development          | 49 |
| 7.14 | Infrastructure and Utilities                  | 50 |
| 7.15 | Site Suitability                              | 50 |
| 7.16 | Public Interest                               | 51 |
| 8.0  | Mitigation Measures                           | 52 |
| 9.0  | Project Justification and Conclusion          | 54 |

# Contents

## Figures

|           |                                                                                                                           |    |
|-----------|---------------------------------------------------------------------------------------------------------------------------|----|
| Figure 1  | Harbourside Shopping Centre in its surrounding context                                                                    | 5  |
| Figure 2  | Winning Design Competition scheme                                                                                         | 7  |
| Figure 3  | Harbourside Shopping Centre in its surrounding context                                                                    | 14 |
| Figure 4  | Harbourside Shopping Centre – extent of proposed works                                                                    | 15 |
| Figure 5  | Aerial image of the existing development on the site                                                                      | 16 |
| Figure 6  | Existing development on the site                                                                                          | 16 |
| Figure 7  | Surrounding development and urban context                                                                                 | 20 |
| Figure 8  | Comparison between commercial (left) and residential (right) tower undertaken at the early stages of the Concept Approval | 25 |
| Figure 9  | Proposed demolition of ground floor slab (red hatching)                                                                   | 26 |
| Figure 10 | Proposed basement excavation works                                                                                        | 27 |
| Figure 11 | Proposed retaining structures – typical section (left) and elevation (right; southern elevation shown)                    | 27 |
| Figure 12 | Proposed temporary structures                                                                                             | 28 |
| Figure 13 | Proposed hoarding arrangements (black line)                                                                               | 40 |
| Figure 14 | Construction vehicle access and egress routes                                                                             | 43 |

## Tables

|          |                                                                           |    |
|----------|---------------------------------------------------------------------------|----|
| Table 1  | Applicant Details                                                         | 4  |
| Table 2  | Secretary's Environmental Assessment Requirements                         | 8  |
| Table 3  | Summary of consistency with relevant strategies, policies, and guidelines | 22 |
| Table 4  | Alternative development scenarios considered under the Concept Approval   | 24 |
| Table 5  | Objects of the EP&A Act                                                   | 30 |
| Table 6  | Assessment against relevant SEPPs                                         | 31 |
| Table 7  | Legislation that must be applied consistently                             | 32 |
| Table 8  | Harbourside community engagement plan                                     | 34 |
| Table 9  | SSD 38881729 community engagement tools                                   | 35 |
| Table 10 | SSD 38881729 community engagement meetings                                | 36 |
| Table 11 | Expected waste generation                                                 | 40 |
| Table 12 | Mitigation measures                                                       | 52 |

# Contents

## Appendices

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>A</b> Secretary's Environmental Assessment Requirements<br/><i>DPE</i></p> <p><b>B</b> Demolition, Excavation and Retention Wall Plans<br/><i>Snøhetta and Hassell</i></p> <p><b>C</b> Civil Engineering Plans, including Stormwater, Erosion &amp; Sediment Control Plan<br/><i>AT&amp;L</i></p> <p><b>D</b> Site Survey<br/><i>Beveridge Williams</i></p> <p><b>E</b> Heritage and Archaeological Impact Statement, including Aboriginal Cultural Heritage Assessment Report, Maritime Archaeology Assessment and Final Test Excavation Report<br/><i>Curio</i></p> <p><b>F</b> Geotechnical Statement and Report<br/><i>Douglas Partners</i></p> <p><b>G</b> Construction Environmental Management Plan<br/><i>Mirvac</i></p> <p><b>H</b> Statutory Compliance Table<br/><i>Ethos Urban</i></p> <p><b>I</b> Biodiversity Development Assessment Report Waiver<br/><i>Eco Logical</i></p> <p><b>J</b> Quantity Surveyor's Report<br/><i>Mirvac</i></p> <p><b>K</b> Consultation Outcomes Report<br/><i>Ethos Urban</i></p> | <p><b>L</b> Suitability of Excavated Sandstone for Reuse Statement<br/><i>Douglas Partners</i></p> <p><b>M</b> Air Quality Assessment<br/><i>JBS&amp;G</i></p> <p><b>N</b> Preliminary Construction, Pedestrian and Traffic Management Plan<br/><i>PTC</i></p> <p><b>O</b> Detailed Site Investigation<br/><i>JBS&amp;G</i></p> <p><b>P</b> Remediation Action Plan<br/><i>JBS&amp;G</i></p> <p><b>Q</b> Acid Sulfate Soils Management Plan<br/><i>JBS&amp;G</i></p> <p><b>R</b> Peer Review of DSI and RAP<br/><i>Senversa</i></p> <p><b>S</b> Construction Noise and Vibration Management Plan<br/><i>Acoustic Logic</i></p> <p><b>T</b> Structural Statement<br/><i>Enstruct</i></p> <p><b>U</b> Stormwater and Infrastructure Report<br/><i>AT&amp;L</i></p> <p><b>V</b> Community Consultation and Engagement Plan<br/><i>Ethos Urban</i></p> <p><b>W</b> Flood Statement<br/><i>Stantec</i></p> |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

## Statement of Validity

### Development Application Details

|                             |                                                                                                                                            |
|-----------------------------|--------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Applicant name</b>       | Mirvac Retail Sub SPV Pty Ltd                                                                                                              |
| <b>Applicant address</b>    | Level 28, 200 George Street, Sydney NSW 2000                                                                                               |
| <b>Applicant ABN</b>        | 34 122 863 521                                                                                                                             |
| <b>Land to be developed</b> | Harbourside Shopping Centre, Darling Harbour                                                                                               |
| <b>Proposed development</b> | Bulk excavation works, and construction of retaining structures and raft core slab to support construction of future mixed-use development |

### Prepared by

|                       |                                                                              |
|-----------------------|------------------------------------------------------------------------------|
| <b>Name</b>           | Brendan Hoskins                                                              |
| <b>Qualifications</b> | Bachelor of Planning (Hons), Graduate Diploma Environmental Management, MPIA |
| <b>Address</b>        | 173 Sussex Street, Sydney                                                    |
| <b>In respect of</b>  | State Significant Development – Development Application                      |

### Certification

I certify that I have prepared the content of this EIS and to the best of my knowledge:

- it is in accordance with Division 5 of the *Environmental Planning and Assessment Regulation 2021*;
- all available information that is relevant to the environmental assessment of the development to which the statement relates; and
- the information contained in the statement is neither false nor misleading.

### Signature



|             |                 |
|-------------|-----------------|
| <b>Name</b> | Brendan Hoskins |
| <b>Date</b> | 18.07.2022      |

## Executive Summary

This Environmental Impact Statement (EIS) is submitted to the Department of Planning and Environment (DPE) pursuant to Part 4 of the *Environmental Planning and Assessment Act 1979* (EP&A Act) in support of a State Significant Development Application (SSDA) for slab demolition, bulk excavation works and construction of retaining structures to support the redevelopment of the Harbourside Shopping Centre (SSD 38881729).

The proposed SSDA is made pursuant to the Harbourside Stage 1 Concept Approval under SSD 7874. The proposed development is State Significant Development (SSD) by virtue of Schedule 2, clause 2 of *State Environmental Planning Policy (Planning Systems) 2021* (Planning Systems SEPP) as the site is located within Darling Harbour and has a CIV of more than \$10 million.

The Harbourside redevelopment site is located within the Darling Harbour Precinct inside the City of Sydney Local Government Area (LGA). It occupies an area of approximately 20,500m<sup>2</sup> within the north-western portion of the Darling Harbour precinct, in between Cockle Bay and the Pyrmont Peninsula.

The proposed development seeks consent for the following works:

- Demolition of the ground floor slab of the existing building;
- Bulk earthworks to excavate for the future basement associated with the proposed redevelopment of the site;
- Construction of retaining structures for the excavated site; and
- Construction of the raft slab for the future residential tower core.

Substantial community consultation has been undertaken for the proposed works, including letterbox drops, the establishment of a 1800 phone line and dedicated consultation email address, online information sessions, and face-to-face meetings with stakeholders.

This EIS recommends that the proposed works be approved for the following reasons:

- The proposal is consistent with the site's strategic planning context, including consistency with the relevant strategic documents and guidelines (refer to **Section 3** of the EIS).
- The proposal is permissible with consent, and consistent with the relevant statutory framework and legislation, including the terms of the Stage 1 Concept Approval (SSD 7874) (refer to **Section 5**).
- The proposal will not generate unreasonable environmental impacts (refer to **Section 7**).
- The proposal is suitable for the site and in the public interest, being a necessary component to deliver the substantive public benefits envisioned for the broader Harbourside Shopping Centre redevelopment project, including the following:
  - providing the opportunity to create a quality visitor experience and establish Harbourside as a distinctive destination within the revitalised context of Darling Harbour;
  - supplying new quality retail floor space including food and beverage offerings and retail tenancies to ensure Darling Harbour continues to be Sydney's premier shopping, dining, tourist, and entertainment location;
  - delivering new residential floor space, contributing choice and variety of apartments in the locality, and on the fringe of the Sydney CBD;
  - providing a range of apartment types and sizes to cater to the changing population of Sydney and varying market demands;
  - providing new commercial floorspace to support the media, arts and tech jobs, providing a strong contribution towards the success of the Innovation Corridor;
  - enabling opportunities to increase and improve connections across the site and between Pyrmont and the CBD, repairing the urban fabric and encouraging restoration of street grain and connectivity;
  - providing opportunities for public activity and enterprise within Darling Harbour to provide a catalyst for future growth and expansion in the locality; and
  - providing a built form that achieves visual interest and design excellence.

## 1.0 Introduction

This Environmental Impact Statement (EIS) is submitted to the Department of Planning and Environment (DPE) pursuant to Part 4 of the *Environmental Planning and Assessment Act 1979* (EP&A Act) in support of a State Significant Development Application (SSDA) for slab demolition, bulk excavation works and construction of retaining structures to support the redevelopment of the Harbourside Shopping Centre.

The proposed application is made pursuant to the Harbourside Stage 1 Concept Approval (SSD 7874) and is consistent with the issued Secretary's Environmental Assessment Requirements (SEARs) for SSD 38881729 (refer to **Appendix A** and reproduced at **Section 1.6**). The proposed development is State Significant Development (SSD) by virtue of Schedule 2, clause 2 of *State Environmental Planning Policy (Planning Systems) 2021* (Planning Systems SEPP) as the site is located within Darling Harbour and has a CIV of more than \$10 million.

This EIS has been prepared by Ethos Urban on behalf of Mirvac Retail Sub SPV Pty Ltd (Mircvac), and is informed by the Demolition, Excavation and Retention Wall Plans prepared by Snøhetta and Hassell (refer to **Appendix B**), Civil Engineering Plans prepared by AT&L (refer to **Appendix C**), and other supporting technical documentation appended to the report (refer to Table of Contents).

This EIS has been prepared in accordance with the requirements of Part 4 of the EP&A Act, Clause 175 of the *Environmental Planning and Assessment Regulation 2021* (EP&A Regulation), and with regards to DPE's December 2021 *State significant development guidelines – preparing an environmental impact statement*.

### 1.1 The Applicant

The Applicant's details are presented in **Table 1**.

**Table 1 Applicant Details**

|                   |                                              |
|-------------------|----------------------------------------------|
| <b>Applicant:</b> | <b>Mircvac Retail Sub SPV Pty Ltd</b>        |
| Address:          | Level 28, 200 George Street, Sydney NSW 2000 |
| ABN:              | 34 122 863 521                               |

### 1.2 Overview of the Proposed Development

The proposal represents the first SSDA made pursuant to the Harbourside Stage 1 Concept Approval (SSD 7874). It is known as SSDA 38881729, and seeks consent for the following works:

- Demolition of the ground floor slab of the existing building;
- Bulk earthworks to excavate for the future basement associated with the proposed redevelopment of the site;
- Construction of retaining structures for the excavated site; and
- Construction of the raft slab for the future residential tower core.

We note that demolition works of all existing structures down to the existing ground level slab (no ground disturbance) have already been approved under the Concept Approval and Stage 1 demolition works (SSD 7874), and therefore do not form part of this application.

### 1.3 Development Objectives

The project objectives for this SSDA are:

- to support the next construction phase of the project;
- to complete the bulk excavation and deliver the retaining structures necessary to facilitate the redevelopment of the Harbourside Shopping Centre site;
- to ensure construction proceeds in an efficient and effective manner; and
- to allow for redevelopment consistent with the Stage 1 Concept Approval and winning Architectural Design Competition scheme.

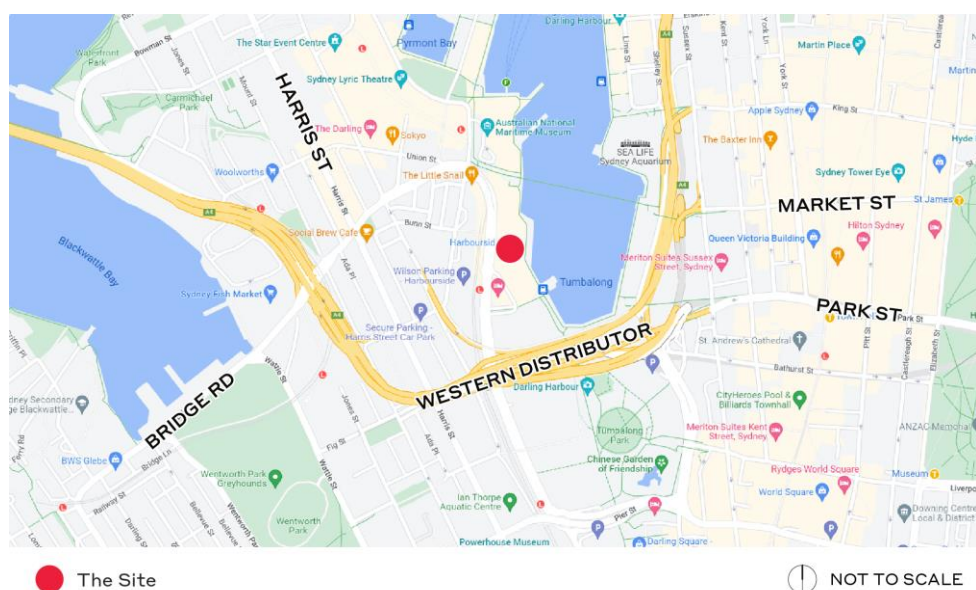
The project objectives for the redevelopment of the Harbourside site more broadly are as follows:

- to develop Harbourside and Darling Harbour into one of Sydney's most innovative tourism, retailing and entertainment districts;
- provide the opportunity to create a quality visitor experience and establish Harbourside as a distinctive destination within the revitalised context of Darling Harbour;
- supply new quality retail floor space including food and beverage offerings and retail tenancies to ensure Darling Harbour continues to be Sydney's premier shopping, dining, tourist, and entertainment location;
- deliver new residential floor space, contributing choice and variety of apartments in the locality, and on the fringe of the Sydney CBD;
- provide a range of apartment types and sizes to cater to the changing population of Sydney and varying market demands;
- providing new commercial floorspace to support the media, arts and tech jobs, providing a strong contribution towards the success of the Innovation Corridor;
- enable opportunities to increase and improve connections across the site and between Pyrmont and the CBD, repairing the urban fabric and encouraging restoration of street grain and connectivity;
- provide opportunities for public activity and enterprise within Darling Harbour to provide a catalyst for future growth and expansion in the locality;
- deliver a large number of new homes in a location closer to employment opportunities; and
- provide a built form that achieves visual interest and design excellence.

#### 1.4 Site Overview

The Harbourside redevelopment site is located within the Darling Harbour Precinct inside the City of Sydney Local Government Area (LGA), to the west of Cockle Bay. The details of the Harbourside site is discussed in further detail at **Section 2** of this report. A map showing the location of the site in its regional setting of Darling Harbour is provided at **Figure 1**.

The Harbourside site is generally bound by Pyrmont Bridge (including associated walkway) and the Maritime Museum to the north, the ICC Sydney precinct to the south, Darling Drive and the Inner West Light Rail to the west and Cockle Bay to the east.



**Figure 1 Harbourside Shopping Centre in its surrounding context**

Source: Google Maps, edits by Ethos Urban

## 1.5 Project Background

### 1.5.1 Redevelopment of Harbourside Shopping Centre

The existing Harbourside Shopping Centre building on the site opened in 1988 as part of the Bicentennial Program and has played a key part in the success of Darling Harbour as Sydney's premier tourist and entertainment precinct to date. However, the building is now outdated and in need of renewal, lacking a quality interface to the neighbouring public domain and Cockle Bay, and not integrating well with significant completed and planned developments in Darling Harbour surrounding it, including the ICC Sydney Precinct, The Ribbon IMAX redevelopment, and the Cockle Bay Park redevelopment project.

Mirvac acquired the Harbourside site in 2013 and is committed to redeveloping the site to meet its full potential as a world class entertainment centre, meeting the needs of tourists and Sydneysiders alike. Throughout the design process, Mirvac have tested various designs, tower locations and land uses in order to fit in with the surrounding and future development context. Through a robust planning and response to submissions process, the most successful indicative design culminated in the Stage 1 Harbourside Concept Approval, described in further detail below.

### 1.5.2 Harbourside Stage 1 Concept Approval and demolition works

The Stage 1 Concept Approval (SSD 7874) for the redevelopment of the Harbourside Shopping Centre into a mixed-use development with a retail/commercial podium and residential tower was approved by the Independent Planning Commission (IPC) on 25 June 2021.

In accordance with clause 4.22 of the EP&A Act, SSD 7874 establishes the relevant planning parameters, including building envelopes, maximum Gross Floor Area (GFA) limits, Design Guidelines and a Design Excellence Strategy, and car parking rates to guide the future detailed design, construction, and operation of Harbourside under subsequent SSD applications.

SSD 7874 also grants consent to the demolition of the existing shopping centre and associated structures down to ground slab level, also known as the 'Stage 1 demolition works'.

SSD 7874 is described within the development consent as:

*Redevelopment of Harbourside Shopping Centre comprising:*

*Concept Proposal for:*

- *a residential and commercial building envelope, comprising:*
  - *a maximum height of RL 166.95*
  - *a maximum GFA of 87,000m<sup>2</sup> including:*
    - *42,000m<sup>2</sup> residential GFA*
    - *45,000m<sup>2</sup> non-residential GFA*
  - *minimum publicly accessible open space of 3,500m<sup>2</sup> on the Northern Podium*
  - *sitewide concept landscaping including public domain upgrades and through site links*
  - *Bunn Street bridge*
  - *design guidelines and design excellence strategy*
  - *car parking rates*

*Stage 1 works for the demolition of:*

- *existing shopping centre and structures*
- *southern pedestrian link bridge*
- *monorail infrastructure*
- *tree removal.*

The Stage 1 Concept Approval was subject to an extensive and comprehensive planning and Response to Submissions (RTS) process, where various modifications and amendments were made to project design to mitigate and offset environmental impacts of the proposal. This includes:

- moving the position of the residential tower to the centre of the site to minimise view impacts on 50 Murray Street apartments,
- further setting back the tower from the waterfront;
- refinements and reduction in height of the northern podium to reduce impacts from 50 Murray Street and the Pyrmont Bridge; and
- the creation of a new 1,500m<sup>2</sup> public open space on the northern podium (Guardian Square), to improve public domain outcomes and present additional opportunities to view and appreciate the built heritage of Pyrmont Bridge.

A number of detailed design meetings were held with Professor Peter Webber (independent urban design advisor) and DPE throughout the design evolution of the Concept Approval to ensure that the outcomes of the project are to be of the highest standard. These design strategies continue to be incorporated into and will inform subsequent detailed design SSDAs (**Section 1.5.4**) to ensure that the impacts of the project continue to be suitably managed moving forward.

### 1.5.3 Harbourside International Architectural Design Competition

Following the determination of the Stage 1 Concept Approval, an international Architectural Design Competition was held for the redevelopment of Harbourside in accordance with the endorsed Design Excellence Strategy under SSD 7874. Six local and international architectural practices were invited to participate, with the Snøhetta + Hassell scheme being confirmed as the winning entry in December 2021 by the Competition Jury.

**Figure 2** illustrates a photomontage of the winning design entry which is now undergoing design development through the design integrity process. This design forms the basis of the next stage of planning approvals currently being pursued by Mirvac (discussed further below).



**Figure 2** Winning Design Competition scheme

Source: Snøhetta + Hassell

### 1.5.4 Detailed Design and Construction

Mirvac is currently pursuing the next stage of planning approvals for the detailed design, construction, and operation of the Harbourside redevelopment, pursuant to the Stage 1 Concept Approval. In light of the scale of the project and to enable efficient construction staging, Mirvac intends to divide the enabling works, detailed design, and landscape elements across separate SSDAs, at this stage comprising:

- SSDA 1: Bulk excavation works and construction of retaining structures **(the subject SSDA of this EIS)**.
- SSDA 2: Detailed design, construction, and operation of the new basement, podium and tower building.
- SSDA 3: Construction and use of the public domain, and Guardian Square, including refurbishment of the Murray Street pedestrian bridge, and construction and use of the Bunn Street pedestrian bridge.

SSD 38881729 to which this EIS pertains constitutes the first stage of works pursuant to the Stage 1 Concept Approval, for bulk excavation, retaining structure works, and associated works as described in **Section 4** of this EIS. Separate applications will be submitted for the remaining SSDAs in future.

## 1.6 Secretary's Environmental Assessment Requirements

In accordance with section 4.39 of the EP&A Act, the Secretary of DPE issued the requirements for SSD 38881729 on 11 April 2021. A copy of the Secretary's Environmental Assessment Requirements (SEARs) is attached at **Appendix A**.

**Table 2** below provides a detailed summary response of the individual matters as listed in the SEARs and identifies where each requirement has been addressed in this EIS and the accompanying appended technical studies.

**Table 2 Secretary's Environmental Assessment Requirements**

| Requirement                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | Relevant report section                                    | Relevant appendix |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------|-------------------|
| <b>General requirements</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                            |                   |
| A development application (DA) for State significant development (SSD) must include all relevant information and documents specified in Part 1 of Schedule 1 of the Regulation, including an environmental impact statement (EIS) (section 4.12(8) of the Act and clause 2(1)(e) of Schedule 1 of the Regulation).                                                                                                                                                                                                                     | <b>Environmental Impact Statement</b> – throughout report. |                   |
| The DA must be lodged on the NSW planning portal (clause 50(1)(d) of the Regulation).                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                            |                   |
| The form and content of the EIS must be prepared in accordance with clauses 6 and 7 of Schedule 2 of the Regulation. Any document adopted or referenced in the EIS will form part of the EIS (clause 9(1) of Schedule 2 of the Regulation).                                                                                                                                                                                                                                                                                            |                                                            |                   |
| The EIS must include a report certified to be accurate at the time of publication by a qualified quantity surveyor providing: <ul style="list-style-type: none"> <li>• a detailed calculation of the capital investment value (CIV) of the proposal (as defined in clause 3 of the Regulation), including details of all assumptions and components for the CIV calculation, including consultant costs</li> <li>• an estimate of jobs that will be created during the construction and operational phases of the proposal.</li> </ul> | <b>Section 7.12</b>                                        | <b>Appendix J</b> |
| <b>Key issues to be addressed</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                            |                   |
| <b>1. Statutory and strategic context</b><br>The EIS must: <ul style="list-style-type: none"> <li>• address all relevant legislation (including sections 1.3 and 4.15 of the Act and clauses 6 and 7 of Schedule 2 of the Regulation), Environmental Planning Instruments (EPIs), draft EPIs, plans, policies and guidelines.</li> <li>• detail the nature and extent of any prohibitions, including partial prohibitions, applicable to the proposal, and provide detailed justification for any prohibitions.</li> </ul>             | <b>Environmental Impact Statement</b> – throughout report. |                   |

| Requirement                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Relevant report section     | Relevant appendix               |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------|---------------------------------|
| <ul style="list-style-type: none"> <li>identify compliance with applicable development standards and provide a detailed justification for any non-compliances.</li> <li>address the requirements of any approvals applying to the site, including any concept approval or recommendations from any Gateway determination.</li> <li>comply with these SEARs (cl 3(8) of Schedule 2 of the Regulation).</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                             |                                 |
| <b>2. Consistency with the Concept Approval</b><br>The EIS shall: <ul style="list-style-type: none"> <li>demonstrate the proposal complies with the terms of approval and all relevant Future Environmental Assessment Requirements (FEARs) of the Concept Approval and is in accordance with the approved plans.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <b>Section 5.5</b>          | <b>Appendix H</b>               |
| <b>3. Traffic Management and Access</b><br>The EIS must include: <ul style="list-style-type: none"> <li>an assessment of road and pedestrian safety adjacent to the proposed development and the details of required road safety measures and personal safety.</li> <li>a Construction Traffic and Pedestrian Management Plan (CTPMP) prepared in consultation with Transport for NSW, Place Management NSW and Council with comments addressed prior to lodgement. The CTPMP must include: <ul style="list-style-type: none"> <li>an assessment of cumulative impacts associated with other construction activities (if any)</li> <li>an assessment of road safety at key intersection and locations subject to heavy vehicle construction traffic movements and high pedestrian activity.</li> <li>an assessment of impacts on the Sofitel Hotel and the ICC and program</li> <li>details of construction program detailing the anticipated construction duration and highlighting significant and milestone stages and events during the construction process.</li> <li>details of anticipated peak hour and daily construction vehicle movements to and from the site.</li> <li>details of on-site car parking and access arrangements of construction vehicles, construction workers to and from the site.</li> <li>details of temporary cycling and pedestrian access during construction.</li> <li>emergency vehicle access, service vehicle access, delivery and loading arrangements and estimated service vehicle movements (including vehicle type and the likely arrival and departure times).</li> <li>measures to reduce reliance on private vehicle travel for construction workers</li> <li>proposed management and mitigation measures to address any impacts on traffic, pedestrian and cycle networks.</li> </ul> </li> </ul> | <b>Section 7.1.6</b>        | <b>Appendix N</b>               |
| <b>4. Contamination</b><br>The EIS must include a detailed site investigation assessing and quantifying any soil or groundwater contamination, and demonstrating that the site is suitable (or may be made suitable after remediation) for the proposed use, in accordance with the <i>State Environmental Planning Policy (Resilience and Hazards) 2021</i> and the associated guidelines.<br><br>Where recommended in the preliminary investigation, or requested by the Planning Secretary, the EIS must also include a detailed site investigation, a remediation action plan and/or a preliminary long-term environmental management plan, peer reviewed by an NSW accredited Site Auditor.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <b>Section 7.4</b>          | <b>Appendices O, P, Q and R</b> |
| <b>5. Heritage</b><br>The EIS must include: <ul style="list-style-type: none"> <li>a Heritage Impact Statement, prepared in accordance with relevant guidelines, assessing the impact of the proposal on the heritage significance of the site and surrounding area including archaeology, and includes measures to reduce or mitigate any unavoidable impacts.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | <b>Sections 7.5 and 7.6</b> | <b>Appendix E</b>               |

| Requirement                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | Relevant report section | Relevant appendix     |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|-----------------------|
| <ul style="list-style-type: none"> <li>provide a historical archaeological assessment to inform the HIS and identify any archaeology protected under the <i>Heritage Act 1977</i>.</li> <li>an Aboriginal Cultural Heritage Assessment Report in accordance with relevant guidelines, identifying, describing, and assessing any impacts for any Aboriginal cultural heritage values on the site, including archaeology.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | Section 7.5.1           | Appendix E            |
| <b>6. Flooding</b><br>The EIS must include a flood impact assessment, which: <ul style="list-style-type: none"> <li>identifies and describes any on-site flood impacts and risks associated with the proposed development, having regard to relevant provisions of the NSW Floodplain Development Manual and other local or State studies and guidance.</li> <li>identifies mitigation and management measures to minimise the impacts of flooding on the proposed development.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | Section 7.7             | Appendix W            |
| <b>7. Stormwater Drainage and Water Quality</b><br>The EIS must include an Integrated Water Management Plan that: <ul style="list-style-type: none"> <li>is prepared in consultation with Council and any other relevant drainage authority.</li> <li>details the proposed drainage design for the site, including on-site detention facilities, water quality measures and the nominated discharge point(s).</li> <li>demonstrates compliance with relevant provisions of the <i>State Environmental Planning Policy (Biodiversity and Conservation) 2021</i> and Council or other drainage authority requirements and avoids adverse impacts on any downstream properties, watercourses, riparian land, and groundwater dependent ecosystems.</li> <li>details of how sediment runoff from the site will be managed and prevented from flowing into Cockle Bay.</li> </ul> Where drainage infrastructure works are required that would be handed over to Council, provide full hydraulic details and detailed plans and specifications of proposed works that have been prepared in consultation with Council and comply with Council's standards. | Section 7.8             | Appendices C, G and U |
| <b>8. Public Domain</b><br>The EIS must address the following: <ul style="list-style-type: none"> <li>the extent of any affected public domain areas on and surrounding the site (stormwater and civil infrastructure, services alignment, footway, pedestrian boulevard, street lighting, furniture, street trees) for the duration of the works, including any phasing of works, vehicle and construction crossings, storage areas.</li> <li>details of measures to make good any affected areas should works be halted for significant periods</li> <li>details any changes required to existing pedestrian, cycle and vehicle networks and wayfinding measures to be installed.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Section 7.1             | Appendix G            |
| <b>9. Tree Management</b><br>The EIS must include: <ul style="list-style-type: none"> <li>an Arboricultural Assessment prepared by a suitability qualified Arboriculturist assessing any impact on street trees and trees within the public domain, with any recommended measures include root protection zones and trunk protection in place and documented prior to commencement of works.</li> <li>a tree retention plan, prepared in consultation with PMNSW, detailing the number of existing trees (Cabbage Palms) to be retained and re-used as part of future planting scheme. The plan shall also include an appropriate horticulture methodology for the removal and maintenance of the trees until they can be replanted back into the development site area at a later stage.</li> </ul>                                                                                                                                                                                                                                                                                                                                                 | Section 7.3             | -                     |

| Requirement                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | Relevant report section | Relevant appendix |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|-------------------|
| <b>10. Air Quality</b><br>The EIS must include an air quality assessment of onsite and offsite air quality impacts, including odours, in accordance with the relevant EPA guidelines. The assessment must detail construction and operational air quality impacts both onsite and on nearby sensitive receivers and outline the proposed management and mitigation measures that would be implemented to reduce any air quality impacts.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Section 7.1.5           | Appendix M        |
| <b>11. Noise and Vibration</b><br>The EIS must include a noise and vibration assessment in accordance with the relevant EPA guidelines. This assessment must detail construction noise and vibration impacts on nearby sensitive receivers and outline the proposed management and mitigation measures that would be implemented.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | Section 7.9             | Appendix G        |
| <b>12. Ground Conditions</b><br>The EIS must assess any geotechnical and acid sulphate soil impacts and sediment and erosion controls.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | Section 7.11            | Appendix F and Q  |
| <b>13. Biodiversity</b><br>The EIS must assess any biodiversity impacts associated with the proposal in accordance with the <i>Biodiversity Conservation Act 2016</i> and the <i>Biodiversity Assessment Method 2020</i> , including the preparation of a Biodiversity Development Assessment Report, unless a waiver is granted.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | Section 5.2             | Appendix I        |
| <b>14. Waste and Servicing</b><br>The EIS must identify, quantify and classify the likely waste to be generated and describe measures to be implemented to minimise, reuse, recycle and safely dispose of this waste, including: <ul style="list-style-type: none"> <li>• a waste management plan including material storage areas for reusable materials and recyclables during demolition and construction.</li> <li>• identify, quantify and classify the likely waste to be generated and describe measures to be implemented to minimise, reuse, recycle and safely dispose of this waste.</li> <li>• vehicle access to material storage areas; estimation of quantities and types of materials to be reused, recycled or left over for removal from the site.</li> <li>• address the City of Sydney's Guidelines For Waste Management In New Developments 2018.</li> </ul>                                              | Section 7.1.2           | Appendix G        |
| <b>15. Infrastructure and Utilities</b><br>The EIS must: <ul style="list-style-type: none"> <li>• detail the existing infrastructure and services on site and outline what infrastructure and services will be decommissioned.</li> <li>• outline proposed infrastructure and services and identify possible impacts to, and measures to protect, infrastructure including but not limited to:               <ul style="list-style-type: none"> <li>- Sydney Trains 33kV High Voltage Cable located west of the site.</li> <li>- transport infrastructure and the operation of the Sydney Light Rail</li> </ul> </li> <li>• detail measures to mitigate the impacts of the proposal on any remaining infrastructure items, including proposed relocation.</li> <li>• consider any requirements of the Transport and Infrastructure SEPP in relation to development on or adjacent to utilities and infrastructure.</li> </ul> | Section 7.14            | Appendix V        |
| <b>16. Temporary Structures</b><br>The EIS must: <ul style="list-style-type: none"> <li>• Detail the proposed temporary structures on site, including sheds, compounds, hoardings and identify possible visual and amenity impacts.</li> <li>• Detail measures to mitigate the impacts of the temporary structures on roads, streets and public domain areas.</li> <li>• Address how graphics and relevant site information may be displayed on site hoarding, in consultation with and ultimately approved by PMNSW.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                              | Section 4.6 and 7.1     | Appendix G        |

| Requirement                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Relevant report section      | Relevant appendix |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------|-------------------|
| <b>17. Site Security</b><br>The EIS must address site security, and include a draft site security management plan prepared in consultation with PMNSW detailing after hours contacts, site access details, strategies for managing theft, unauthorised access, persons injured on site and response measures including details of on-site security measures to be adopted during major events, graffiti issues etc.                                                                                              | <b>Section 7.2</b>           | <b>Appendix G</b> |
| <b>18. Staging and Impacts to Darling Harbour</b><br>The EIS must: <ul style="list-style-type: none"><li>Detail the proposed excavation and construction timeframe and staging, including the works proposed as part of this application and future application/s for built form and public domain works.</li><li>Detail any measures required to minimise impacts on the entertainment and recreation uses within Darling Harbour.</li></ul>                                                                    | <b>Section 4.8 and 7.1.3</b> | <b>Appendix G</b> |
| <b>Plans and Documents</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                              |                   |
| The EIS must include all relevant plans, architectural drawings, diagrams, lists, certificates and any other documentation required under Schedule 1 of the Regulation and a report demonstrating compliance with relevant requirements of the Building Code of Australia.<br><br>If the Department identifies any other document required to be included in the EIS before the DA is lodged, those documents must also be included in the EIS.                                                                  | Refer to Table of Contents   |                   |
| <b>Consultation</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                              |                   |
| During the preparation of the EIS, you must consult with the relevant local, State or Commonwealth Government authorities, utility providers, community groups and affected landowners, as identified in any meeting with the Department before the DA is lodged.<br><br>The EIS must describe the consultation process, the issues raised during consultation, and how the proposal addresses those issues. Where amendments have not been made to address an issue, a succinct explanation should be provided. | <b>Section 6</b>             |                   |
| <b>Further Consultation After 2 Years</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                              |                   |
| You must lodge a DA and EIS within 2 years of the date of this SEARs. If you do not lodge a DA and EIS within 2 years of the date of this SEARs, you must consult with the Planning Secretary in relation to the preparation of the EIS.                                                                                                                                                                                                                                                                         | Noted.                       |                   |

## 1.7 Related Development

As noted in **Section 1.5.4**, the proposed development forms part of a series of SSDAs for the detailed design and construction of the Harbourside redevelopment project building on the Stage 1 Concept Approval. Subsequent SSDAs for the construction of the new basement, podium and tower building, and construction and use of the surrounding public domain elements will be required and be subject to separate approvals.

Additionally, the proponent is currently engaged in consultation and approvals processes with the relevant authorities for infrastructure and services augmentation and extensions to facilitate the operation of the future built form on the site.

After completion of the project, it is envisioned that DAs for the fitout and use of individual tenancies within the buildings will lodged with City of Sydney Council as required.

## **1.8 Voluntary Planning Agreement**

The redevelopment of Harbourside Shopping Centre is subject to a State Planning Agreement (Planning Agreement) between Mirvac and the Minister for Planning and Homes. The public benefits included in the Planning Agreement are in addition to other public benefits secured through Mirvac's Unsolicited Proposal with the NSW Government.

The Planning Agreement secures provision of public benefits relating to an affordable housing contribution (\$5.2 million) and public art and future activation contribution (\$7 million). The Planning Agreement also satisfies requirements of Schedule 2, conditions A6 and A7 of the Concept Approval SSD 7874.

The Planning Agreement is still under consideration by Mirvac and the Minister and is expected to be executed prior to determination of the subject application.

## 2.0 The Site

### 2.1 Site Context

The Harbourside redevelopment site is located within the Darling Harbour Precinct inside the City of Sydney Local Government Area (LGA). Darling Harbour is a 60-hectare precinct on the southwestern edge of Sydney's CBD that is well known for being one of Sydney's premier tourist and entertainment precincts, accommodating a variety of recreation, tourism, entertainment, retail, residential apartments, and business land uses.

Darling Harbour is continuing to undergo significant redevelopment and change, supporting the realisation of the NSW State Government's vision for an expanded 'cultural ribbon' spanning from Barangaroo, around to Darling Harbour and Pyrmont. In addition to the redevelopment of the existing ageing Harbourside Shopping Centre, other prominent renewal projects which have been completed in recent years include the ICC Sydney Precinct, Darling Square, and the IMAX Ribbon development which is nearing completion. Major redevelopment is also continuing with redevelopments such as the Cockle Bay proposal on the eastern side of Darling Harbour.

The site's location within Darling Harbour and the surrounding area is shown in **Figure 3**.



**Figure 3 Harbourside Shopping Centre in its surrounding context**

Source: Google Maps, edits by Ethos Urban

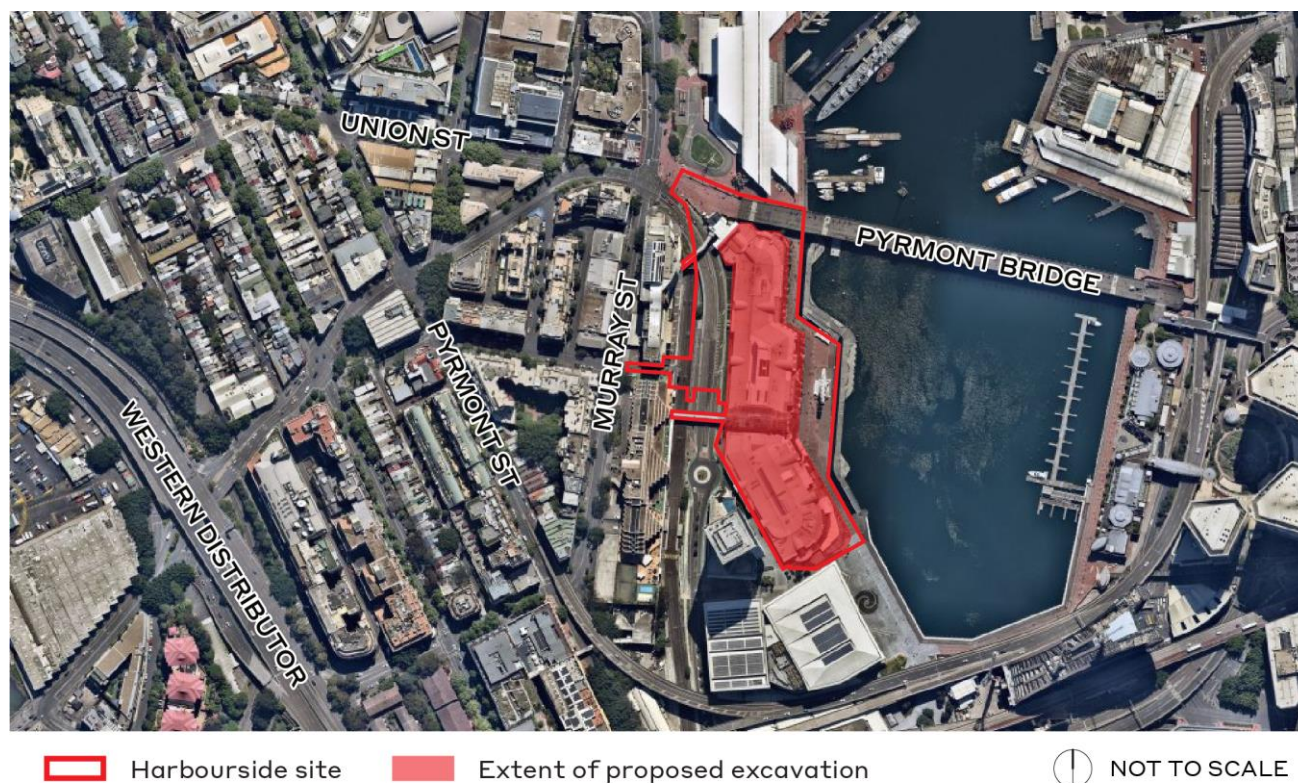
### 2.2 Site Description

The Harbourside redevelopment site occupies an area of approximately 20,500m<sup>2</sup> within the north-western portion of the Darling Harbour precinct, in between Cockle Bay and the Pyrmont Peninsula. It is irregularly shaped and comprises a number of allotments involving both the existing shopping centre building and associated facilities (Lots 1-10, 12-15, 17 in DP776815), in addition to a portion of the surrounding public domain (part Lot 2015 in DP1234971 and Lot 300 in DP836419) in the immediate vicinity of the building. Place Management NSW is the landowner, with Mirvac as the lessee.

Refer to the Site Survey by Beveridge Williams at **Appendix D** for detailed lot dimensions and boundaries.

The site is generally bound by Pyrmont Bridge (including associated walkway) and the Maritime Museum to the north, the ICC Sydney precinct to the south, Darling Drive and the Inner West Light Rail to the west and Cockle Bay to the east.

**Figure 4** below identifies the Harbourside site and the extent of the proposed works.



**Figure 4 Harbourside Shopping Centre – extent of proposed works**

Source: Nearmap, edits by Ethos Urban

## 2.3 Existing Development

Existing development at the site comprises the existing Harbourside Shopping Centre building. The existing building is three storeys in height with a total gross lettable area of approximately 20,000m<sup>2</sup>. The building contains 114 retail tenancies, which predominantly consist of food and beverage offerings, restaurants, tourist shops and entertainment facilities. As the redevelopment proceeds, these tenancies will be vacated to facilitate the demolition of the shopping centre approved under the Stage 1 Concept Approval.

Connecting to the existing building are two pedestrian bridges linking to the Ibis Hotel/50 Murray Street building and Novotel Hotel respectively. There is also obsolete monorail infrastructure, including a monorail station, at the northern end of the site.

The public domain surrounding the existing building (to be upgraded as part of the broader Harbourside redevelopment works) comprises the existing Cockle Bay waterfront promenade to the east, which a number of restaurants of the existing building interface with, and a public plaza area leading to the entrance of Pyrmont Bridge. A set of existing stairs to the building's north provides a pedestrian connection from the promenade to the bridge.

Images of the existing built form are provided at **Figures 5 and 6**. Demolition of these structures down to ground slab level (no ground disturbance) have already been approved under SSD 7874 – refer to **Section 1.5.2**.



**Figure 5** Aerial image of the existing development on the site

Source: Mirvac and Ethos Urban



*The existing Harbourside building, as viewed from the Pymont Bridge*



*Promenade in front of the existing building*



*Southern entrance, facing the ICC*



*Rear of the site, facing Darling Drive*

**Figure 6** Existing development on the site

Source: Mirvac and Ethos Urban

## 2.4 Transport and Access

The Harbourside site is served by public transport, and the surrounding road and pedestrian networks. There is no existing basement or on-site car parking for staff or visitors, which is instead provided by a commercially-operated carpark beneath Novotel and connected to Harbourside through the southern pedestrian bridge. Servicing is provided off vehicular ramps from Darling Drive, with a loading dock at the western end of the building.

Darling Drive connects to the A4 Western Distributor some 400 metres to the west of the site via Pyrmont Bridge Road, providing access to Sydney's arterial motorway network.

The existing Darling Harbour promenade facing Cockle Bay provides pedestrian access to Darling Harbour and Tumbalong Park to the south, and the Maritime Museum and The Star to the north. The pedestrian-only Pyrmont Bridge adjacent to the site's north provides convenient access to the Sydney CBD.

The site is serviced by both the Convention and the Pyrmont Bay Inner West Light Rail stops, providing services to the Sydney CBD, The Star, Lilyfield, and Dulwich Hill. The future Pyrmont Metro station is expected to open in the vicinity of the site by 2030, providing frequent and fast connections to the CBD, Parramatta and Western Sydney.

To the north, beyond the Maritime Museum is the Pyrmont Bay ferry wharf, with ferry services to Circular Quay, Barangaroo and the Parramatta River.

## 2.5 Topography

The site is characterised by a flat topography, with little variation at ground level. It is a highly urbanised environment with no vegetation of note located on the site.

## 2.6 Infrastructure and Services

Details of existing services infrastructure on the site, including with regards to drainage infrastructure, electrical utilities, gas services, water and sewage connections, and telecommunications infrastructure are shown in the Site Survey prepared by Beveridge Williams at **Appendix D**.

## 2.7 Heritage

Two items of heritage items listed on the State Heritage Register are located in proximity to the site. These are:

- Pyrmont Bridge (listing no. 01618), the entrance of which is located to the immediate north of the Harbourside site; and
- The Darling Harbour Woodward Water Feature located to the site's southeast and fronting the ICC (listing no. 01933).

The site's heritage context is further discussed in the Heritage and Archaeological Impact Statement attached at **Appendix E**, and **Section 7.5** of this report.

## 2.8 Geotechnical Conditions

The site's geotechnical model can be described as follows:

- The site is underlain by between 2.7 m and 11.9 m of fill which appears to have been placed over either a thin layer of natural soil or bedrock. The fill is generally sandy with varying proportions of gravel, boulders, and clay.
- The bedrock profile generally consists of a thin layer of weathered sandstone overlying medium, medium to high and high strength sandstone below levels of between RL -0.4 m and RL -9.8 m AHD. The rock levels are relatively consistent along the western side of the site but do vary, and generally fall to the south, along the eastern side.
- The groundwater levels have been observed at between RL -0.3 m and RL 0.7 m AHD during auger drilling. These levels are expected to vary with rainfall events and tidal influences.

The site's geotechnical profile is further discussed in the Geotechnical Statement at **Appendix F**.

## 2.9 Restrictions and Covenants

Easements and rights of way pertaining to the site are shown in detail in the Site Survey at **Appendix D**. Existing easements and rights of way at the Harbourside site include:

- Easements for stormwater purposes;
- Easement to drain water;
- Easement for saltwater conduits;
- Easements for electricity purposes; and
- Rights of way to Darling Drive for Ausgrid.

## 2.10 Surrounding Development

Development surrounding the site comprises a variety of tourist, entertainment, residential, commercial, retail and hotel uses reflective of the site's location within Darling Harbour. Development is generally high density in nature, of a variety of building heights. The surrounding development is as follows:

- To the north of the site is the walkway entrance to the pedestrian-only Pyrmont Bridge, further north of which is the Maritime Museum building.
- To the west is Darling Drive, with the Inner West Light Rail tracks further beyond. The Pyrmont light rail station is located on the line, to the site's southwest. Further east is the Novotel hotel, and a building comprising both the Ibis Hotel and 50 Murray Street residential apartments.

The Novotel and Ibis Hotels are connected to Harbourside through existing pedestrian bridges which have been approved to be demolished under SSD 7874.

- To the south is the International Convention Centre (ICC), and the high-rise Sofitel Hotel, both of which form part of the broader SICEEP precinct. Further south is the elevated Western Distributor motorway which bisects Darling Harbour.
- To the east is the Cockle Bay waterfront promenade and boardwalk which serves as a key pedestrian thoroughfare across Darling Harbour. To the southeast is 'The Ribbon' development, which was approved under SSD 7388 and is nearing completion.

Located across Cockle Bay is the 'Cockle Bay Wharf' site which is set to be redeveloped into a high density mixed-use development with a podium and 43-storey commercial tower, with Concept Approval granted under SSD 7684 and a detailed SSDA (9978934) currently under assessment.

Town Hall station within the Sydney CBD is located approximately 750 metres to the east of the site. The Star Casino is approximately 500 metres to the northwest. Images of the site's immediate surrounding context is provided in **Figure 7**.



*Pyrmont Bridge*



*Sydney Maritime Museum*



*Inner West Light Rail tracks and Pyrmont station*



*Novotel Hotel building*



*Ibis Hotel and 50 Murray Street apartments*



*International Convention Centre*



*Sofitel Hotel tower*



*Darling Harbour waterfront promenade*



*'The Ribbon' building (nearing completion)*



*Artist's impression of the future Cockle Bay Wharf redevelopment*

## **Figure 7 Surrounding development and urban context**

Source: Ethos Urban

## 3.0 Strategic Context

### 3.1 Strategic Justification of the Project

The existing Harbourside Shopping Centre building on the site opened in 1988 as part of Sydney's Bicentennial Program. It has played a key part in the evolution of Darling Harbour into Sydney's premier tourist and entertainment precinct to date, with an annual pedestrian visitation of around 13 million people.

However, following the recent substantial redevelopment of Darling Harbour, with the opening of the new International Convention Centre and Sofitel tower directly to the site's south, 'The Ribbon' IMAX redevelopment now in the final stages of construction, and the progression of the Cockle Bay Park redevelopment project, the existing Harbourside building is now in danger of being left behind as it does not integrate well with its redeveloped surroundings, or with the surrounding waterfront and public domain.

Furthermore, as Sydney strives to maintain global city status in a post-COVID world, it requires precincts such as Darling Harbour to attract both local and international visitors, with world-class offerings and public realm spaces which meet modern needs. The wholesale upgrade of the Harbourside site as a key site in Darling Harbour is critical to this strategic need.

Mirvac acquired the Harbourside site in 2013 and is committed to redeveloping the site to meet its full potential as a world class entertainment centre meeting the needs of tourists and Sydneysiders alike, as well as revitalising the surrounding public domain. Substantial planning and development work undertaken for the site to date culminated in the Harbourside Concept Approval (SSD 7874) being determined in June 2021 and an international Architectural Design Competition concluding in December 2021 – refer to discussion in **Section 0**.

Mirvac is currently pursuing the next stage of planning approvals to realise the redevelopment of the Harbourside Shopping Centre in line with the parameters set by the Concept Approval, and to fulfil the strategic need of providing an enhanced contribution to one of Australia's most important public areas being Darling Harbour. The redeveloped Harbourside site will deliver a raft of benefits to Darling Harbour and the surrounding area, including (but not limited to) the following:

- the delivery of a quality visitor experience and establish Harbourside as a distinctive destination within the revitalised context of Darling Harbour;
- new refurbished retail floor space including food and beverage offerings and retail tenancies to ensure Darling Harbour continues to be Sydney's premier shopping, dining, tourist, and entertainment location;
- new residential floor space, contributing choice and variety of apartments on the fringe of the Sydney CBD with transit-oriented development opportunities with the Inner West Light Rail and new Pyrmont Metro station;
- new commercial floorspace to support the media, arts and tech jobs desired for the Innovation Corridor; and
- improved connections across the site and between Pyrmont and the CBD, repairing the urban fabric and encouraging restoration of street grain and connectivity.

This subject application represents the first SSDA made pursuant to the Stage 1 Concept Approval (SSD 7874). It seeks consent for bulk excavation, retaining structure works and construction of the future building raft slab, and has been designed to allow a seamless transition from demolition of the existing building already approved under SSD 7874, to bulk excavation, to the construction and operation of the future building as part of a future SSDA application.

Mirvac intends to undertake the redevelopment of Harbourside Shopping Centre right through from commencement to the completion of works without stoppage or delay, ultimately delivering on the opportunity available for this important site.

### 3.2 Compliance with Strategic Guidelines

The proposed development is consistent with the relevant strategic planning framework and guidelines. In the absence of specific strategic documentation being nominated in the issued SEARs, the proponent has identified the below guidelines as being relevant and provided assessment in **Table 3**.

**Table 3 Summary of consistency with relevant strategies, policies, and guidelines**

| Strategy/Guideline         | Comments                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|----------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Greater Sydney Region Plan | <p>The <i>Greater Sydney Region Plan – A Metropolis of Three Cities</i> (GSRP) is the current strategic plan for the Greater Sydney metropolitan area. Contained within the GSRP are 38 Planning Objectives, divided into four themes of Infrastructure and Collaboration, Liveability, Productivity, and Sustainability.</p> <p>The proposed bulk excavation and enabling works forms part of the broader Harbourside Shopping Centre redevelopment, which respond to the following themes outlined in the GSRP. The timely completion of these early works is critical to deliver the range of public benefits and outcomes envisioned by the project.</p> <ul style="list-style-type: none"> <li>• <i>Infrastructure and Collaboration</i>: The proposal will make better use of an existing key asset within Darling Harbour located in close proximity to existing and future public transport connections, including the Inner West Light Rail and Pyrmont Metro station. The proposal will encourage active and public transportation to and from the site.</li> <li>• <i>Liveability</i>: The proposal will provide critical residential floorspace at the doorstep of the Sydney CBD, responding to the NSW government's 20-year housing target of 725,000 additional homes from 2036. The site will contain a number of diverse and quality public open spaces that will bring people together and celebrate the story of Darling Harbour.</li> <li>• <i>Productivity</i>: The Harbourside redevelopment delivers significant retail and commercial floor space, improving opportunities for tourist, food and beverage opportunities, and delivering significant economic and jobs growth.</li> <li>• <i>Sustainability</i>: The redevelopment of Harbourside embodies ecologically sustainable development principles with opportunities for on-site landscaping to reduce the urban heat island effect.</li> </ul>                                                                                                                                                                                                                                                      |
| Eastern City District Plan | <p><i>Our Greater Sydney 2056 – Eastern City District Plan</i> (ECDP) details a range of opportunities, priorities, and actions specific to the LGAs of the Eastern Harbour City that assists and facilitates the implementation of the GSRP's vision. A total of 22 Planning Priorities are nominated in the ECDP.</p> <p>As noted above, the proposed bulk excavation and retaining structure works are critical in the timely delivery of the broader Harbourside project. The redevelopment of Harbourside is also consistent with the Planning Priorities of the ECDP, as it will:</p> <ul style="list-style-type: none"> <li>• Redevelop a key Darling Harbour asset in close proximity to existing and future transport infrastructure, including the Inner West Light Rail and Pyrmont Metro station, in line with Planning Priority E1 for 'planning for a city supported by infrastructure'.</li> <li>• Deliver critical housing supply at the doorstep of the Sydney CBD and integrated with commercial and retail uses to create a true mixed-use development, responding to Planning Priority E5 for 'Providing housing supply, choice and affordability, with access to jobs, services and public transport'.</li> <li>• Provide for a built form that exhibits design excellence with a significant quantum of quality public open space, improving the site's relationship with its surrounding public domain and heritage-listed Pyrmont Bridge, in line with planning Priority E6 for 'Creating and renewing great places and local centres, and respecting the District's heritage'.</li> <li>• Deliver significant, high quality employment generating retail and commercial floorspace in Sydney's premier entertainment and dining precinct at the fringe of the Sydney CBD, in line with Planning Priority E7 for 'Growing a stronger and more competitive Harbour CBD'.</li> <li>• Embody ecologically sustainable development principles with opportunities for on-site landscaping to reduce the urban heat island effect, in line with Planning Priority E19 for 'Reducing carbon emissions and managing energy, water and waste efficiently'.</li> </ul> |

| Strategy/Guideline                                | Comments                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|---------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Pymont Peninsula Place Strategy                   | <p>The overarching redevelopment of the Harbourside Shopping Centre, which the proposed works form an important part of, is consistent with the Pymont Peninsula Place Strategy. Within the Strategy, Harbourside is identified as a key opportunity site for development and uplift.</p> <p>The overall Harbourside redevelopment project is consistent with the following identified outcomes for the Harbourside site as outlined in the Strategy:</p> <ul style="list-style-type: none"> <li>• A tower below the identified maximum of RL 170m.</li> <li>• Prioritising commercial/retail land uses, with the some 52% of the total amount of GFA anticipated to be allocated to these uses.</li> <li>• Excellence in open space outcomes through the delivery of additional accessible public open space.</li> <li>• Improved east-west connections from Harris Street to the waterfront through new through-site links.</li> <li>• A safe, activated and inviting streetscape interface at all boundaries of the site.</li> <li>• An appropriate built form outcome to Pymont Bridge.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| City of Sydney Local Strategic Planning Statement | <p><i>City Plan 2036: Local Strategic Planning Statement</i> (LSPS) is the primary planning document for the City of Sydney LGA, defining the long-term vision for land-use and infrastructure provision in the LGA and giving guidance to its future character. It provides for a series of Planning Priorities at local level that respond to the overarching aims and objectives of the GSRP and ECDP.</p> <p>The proposed bulk earthworks and retaining structure works form part of the broader redevelopment of Harbourside Shopping Centre, which is consistent with the Planning Priorities of the LSPS, as it will:</p> <ul style="list-style-type: none"> <li>• Redevelop a key Darling Harbour asset in close proximity to existing and future transport infrastructure, including the Inner West Light Rail and Pymont Metro station, in line with Planning Priority I2 to 'Align development and growth with supporting infrastructure'.</li> <li>• Provide for a number of diverse and quality public open spaces that will bring people together and celebrate the story of Darling Harbour, enhancing the precinct's long-standing nature as Sydney's pre-eminent tourist and entertainment destination, responding to Planning Priority L2 for 'Creating great places'.</li> <li>• Deliver critical housing supply at the doorstep of the Sydney CBD and integrated with commercial and retail uses to create a true mixed-use development, in line with Planning Priority L3 for 'New homes for a diverse community'.</li> <li>• Deliver employment growth through the delivery of high quality commercial and retail floorspace at the fringe of the Sydney CBD, in line with Planning Priorities P1 and P2 for 'Growing a stronger, more competitive Central Sydney' and 'Developing innovative and diverse business clusters in City Fringe'.</li> <li>• Embody best practice ecologically sustainable design and energy efficiency principles, through the revitalisation of an ageing site in line with Planning Priority S2 for 'Creating better buildings and places to reduce emissions and waste and use water efficiently'.</li> </ul> |
| Future Transport 2056                             | <p>Future Transport 2056 was adopted in March 2018 and represents a revision to the NSW Long Term Transport Master Plan. The Harbourside Stage 1 Concept Approval (SSD 7874) determined the overall Harbourside project to be consistent with Future Transport 2056, as it will:</p> <ul style="list-style-type: none"> <li>• encourage walking and cycling usage through the provision of a more permeable, connected, and direct linkage between Darling Harbour and the CBD;</li> <li>• encourage public transport use by providing services and facilities close to light rail, rail, bus and ferry services;</li> <li>• facilitate a large employment generating development close to areas of public transport and high residential densities; and</li> <li>• support the usage of significant transport investments such as the future Sydney Metro Pymont station and Sydney CBD Light Rail.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |

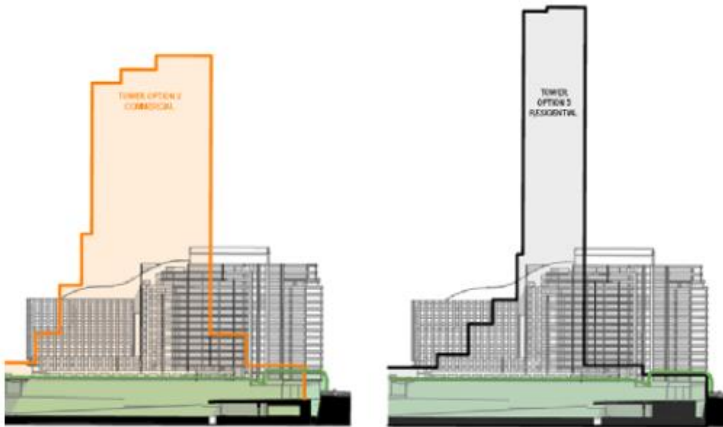
### 3.3 Analysis of Alternatives

Design alternatives for this SSDA are intrinsically limited, due to the parameters approved by the Stage 1 Concept Approval. The proposed bulk earthworks and retaining structures have been designed to ensure that the future built form at the site is compatible with the Stage 1 Concept Approval envelopes and parameters (refer to **Section 5.5**).

Throughout the Stage 1 Concept Approval planning process, a number of potential alternative development scenarios were considered by the project team. These were ultimately found to be unsuitable. A summary of the rationale behind each is provided in **Table 4**.

**Table 4 Alternative development scenarios considered under the Concept Approval**

| Option                                                                 | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
|------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Do nothing                                                             | The 'do nothing' option was determined to result in the current retail facilities within the Harbourside Shopping Centre at Darling Harbour remaining unchanged and requiring ongoing maintenance. Approaching 28 years of age, the building is in need of regeneration. While there will be some ongoing benefits of the existing shopping centre in providing retail and dining services, the opportunities of the site will not be maximised to make Darling Harbour a world-class location.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| Refurbishment of existing shopping centre                              | A redevelopment focused purely on the refurbishment of the shopping centre would result in an underutilisation of such a prominent site. Darling Harbour has undergone significant recent investment, with the fulfilment of development potential on many sites around Sydney's waterfront land. Limiting the development potential on this prominent site would reduce the overall development capacity of Sydney and would hinder the successfulness of the Darling Harbour precinct in the long term.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| Redevelopment of site with building of same size and scale as existing | <p>A redevelopment of the existing building into a new shopping centre of similar size and scale as existing was considered by the project team. This option was found to be unfeasible due to the following issues:</p> <ul style="list-style-type: none"> <li>• insufficient floor to ceiling heights, with the shopping centre unable to match international examples of high end shopping centres which provide generous floor to ceiling heights;</li> <li>• limitations in the ability to respond to key surrounding developments and important features, such as the ICC, ICC Hotel and Pyrmont Bridge;</li> <li>• poor public domain interfaces with changing setbacks to Cockle Bay resulting in varying public domain experiences; and</li> <li>• restriction on the quantum of non-residential floor space which could be delivered, limiting the vibrancy on the Site and potential stifling more diversity in retail, restaurant, and entertainment offerings.</li> </ul> <p>Ultimately, any redevelopment of the site would require major investment and the constraints of the existing envelope was found to not be economically feasible.</p> |
| Redevelopment of site, with commercial tower                           | <p>In the early stages of the Harbourside Concept Approval, the tower atop the podium was originally envisioned to be for commercial uses. However, it was found that a minimum floorplate size of approximately 1,500m<sup>2</sup> (Net Lettable Area) was required to be maintained throughout the tower to ensure commercial tenant requirements could be achieved.</p> <p>This floorplate was considered excessive and found to generate unacceptable impacts, including feedback received from the One Darling Harbour Executive Committee that such a commercial tower scale and form would be out of scale with the built form of Darling Harbour, significant view sharing impacts on 50 Murray Street, and excessive overshadowing.</p> <p>The Committee further found a commercial tower to not be in character with the existing tourism, entertainment, and residential mix of the area, and that residential would be welcomed over a commercial tower.</p>                                                                                                                                                                                       |
| Redevelopment of site, with residential tower (chosen option)          | Ultimately, the project team found the redevelopment of the site with a retail-centred podium and residential tower to be the most favoured option. It was apparent that a residential tower would resolve many concerns around the bulk and scale of the commercial tower, being able to achieve a much more slender floorplate that reduces bulk and scale and maximises view sharing opportunities ( <b>Figure 8</b> ).                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |

| Option | Comment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
|--------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|        |  <p><b>Figure 8 Comparison between commercial (left) and residential (right) tower undertaken at the early stages of the Concept Approval</b></p> <p>Source: FJMT</p> <p>A residential tower was ultimately found to also achieve the following positive outcomes, whereas a commercial tower could not:</p> <ul style="list-style-type: none"> <li>• increase housing supply and choice;</li> <li>• assist in meeting residential dwelling targets for the region and addressing supply demands for residential apartments in areas well serviced by public transport;</li> <li>• allow people to live closer to where they work/learn;</li> <li>• encourage more sustainable travel behaviour through positioning residents within walking distance of Sydney's CBD and with immediate access to public transport/cycling alternatives;</li> <li>• support a more compact, connected and liveable city; and</li> <li>• support the attractiveness of commercial floor space in the Sydney CBD through providing opportunities for staff to live nearby, in turn encouraging companies to reside within the CBD.</li> </ul> <p>The residential tower option was therefore chosen and further progressed by Mirvac, with ongoing amendments made to optimise the design including throughout the Concept Approval Response to Submissions (RTS) process ultimately culminating in consent being granted by the IPC on 25 June 2021</p> <p>– <b>Section 1.5.2.</b></p> |

## 4.0 Project Description

This section of the EIS describes the proposed development, including the project area and the proposed activities.

### 4.1 Project Overview

The proposed development seeks consent for the following works:

- demolition of the ground floor slab of the existing building;
- bulk earthworks to excavate the basement for the future Harbourside Shopping Centre building;
- construction of retaining structures for the excavated site; and
- construction of the raft slab for the future residential tower core.

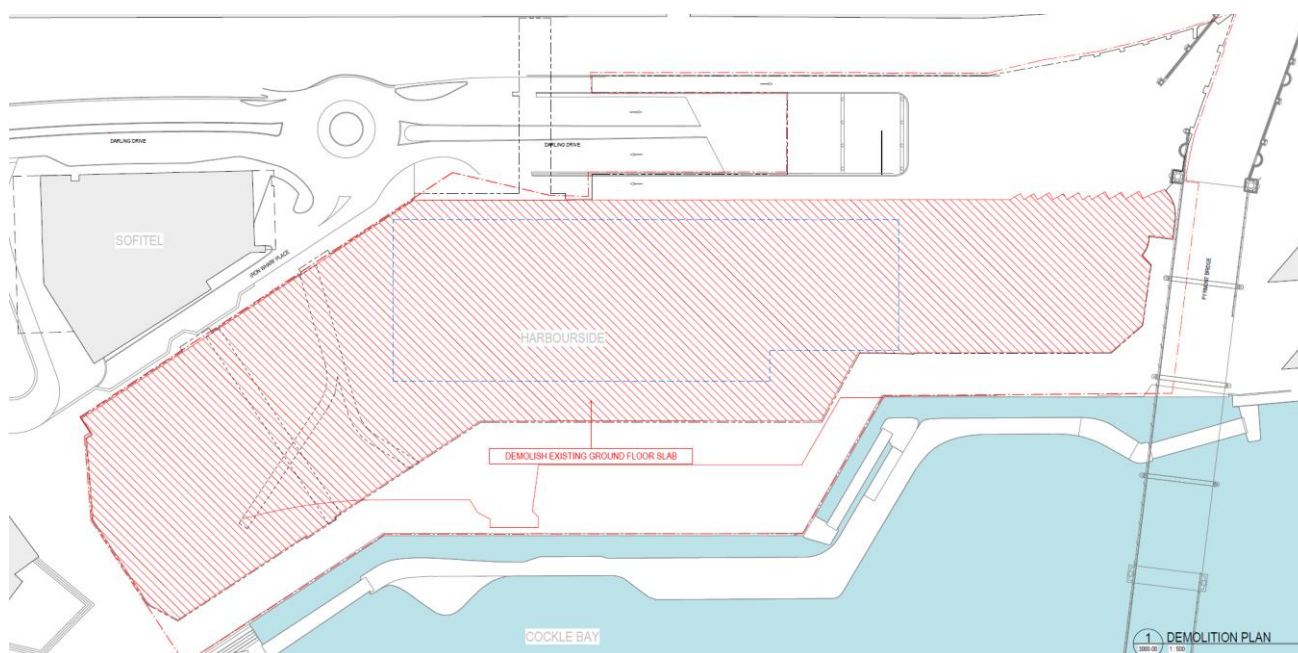
The proposed works will be undertaken in accordance with the Demolition, Excavation and Retention Wall Plans prepared by Snøhetta and Hassell (refer to **Appendix B**), Civil Engineering Plans prepared by AT&L (refer to **Appendix C**), and other supporting technical documentation appended to the report (refer to Table of Contents).

It is noted that demolition works of all existing structures down to the existing ground level slab have already been approved under the Concept Approval and Stage 1 demolition works (SSD 7874) and therefore do not form part of this application.

The Project area will relate to the Harbourside site as described in **Section 2** of this EIS. Given the nature of works, no buffer area is required and land beyond the Harbourside site will not be physically disturbed. A further description of the proposed works is provided below.

### 4.2 Demolition of Ground Floor Slab

Consent is sought to demolish the ground floor slab of the existing Harbourside building. An excerpt from the Plans showing the proposed extent of demolition is provided in **Figure 9**.

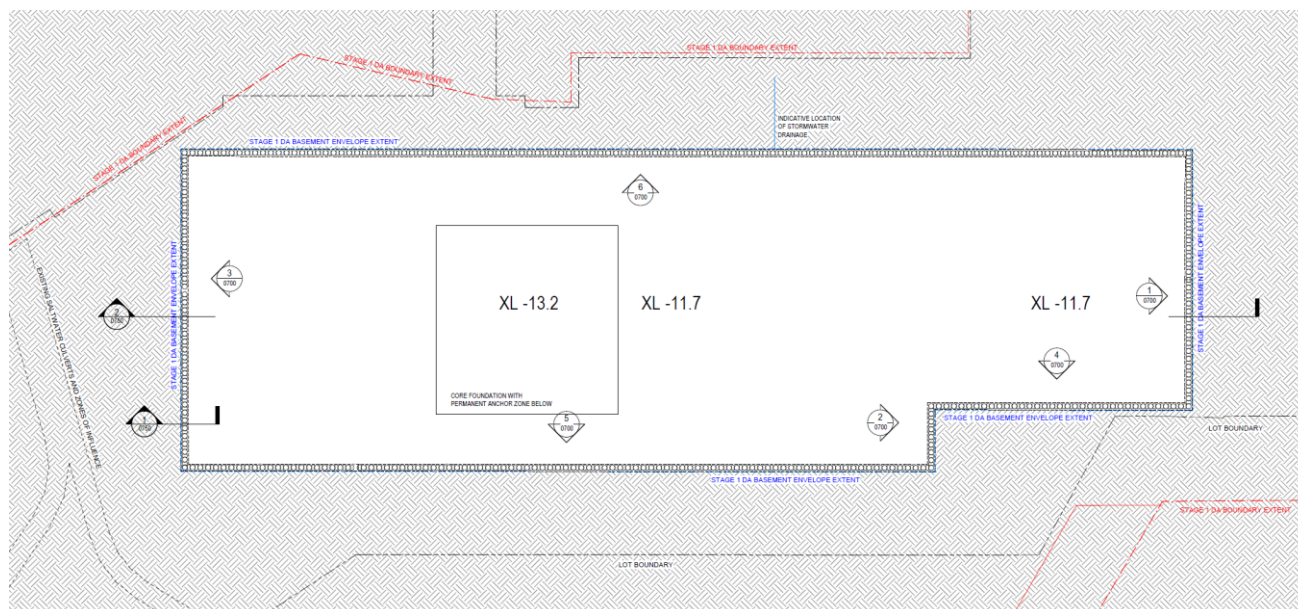


**Figure 9** Proposed demolition of ground floor slab (red hatching)

Source: Hassell

### 4.3 Bulk Earthworks for Basement Excavation

Bulk earthworks are proposed to excavate the basement of the future mixed use building on the site. Excavation works will be undertaken to be consistent with the approved SSD 7874 basement envelope. Excavation will be undertaken to a maximum depth of 13.2m. Approval for the construction and fit-out of the basement will be separately sought as part of the future built form SSDA. A further description of the bulk excavation methodology, including waste management, is provided in the Construction Environmental Management Plan prepared by Mirvac at **Appendix G**. The proposed Excavation Plan is shown in **Figure 10**.

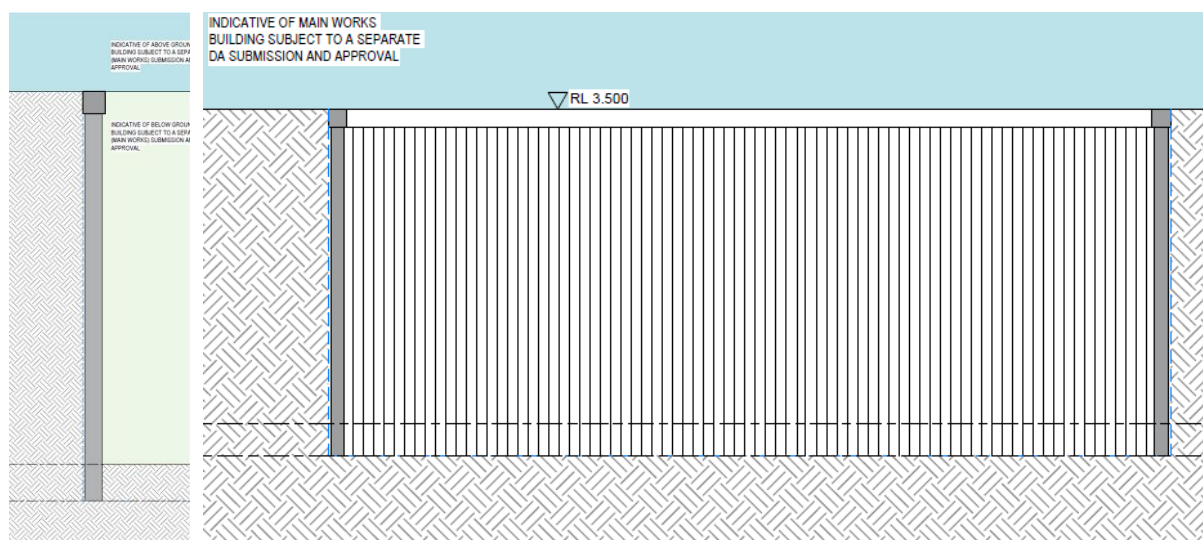


**Figure 10** Proposed basement excavation works

Source: Hassell

### 4.4 Construction of Retaining Structures

It is proposed to construct retaining structures at the edges of the bulk excavation to protect the site and facilitate the future basement construction. Details and elevations of the proposed retaining structures are provided in **Appendix B**. The structures will be constructed to a height of 13.2m, consistent with the maximum bulk excavation depth. An excerpt of the proposed retaining structures is provided in **Figure 11**.



**Figure 11** Proposed retaining structures – typical section (left) and elevation (right; southern elevation shown)

Source: Hassell

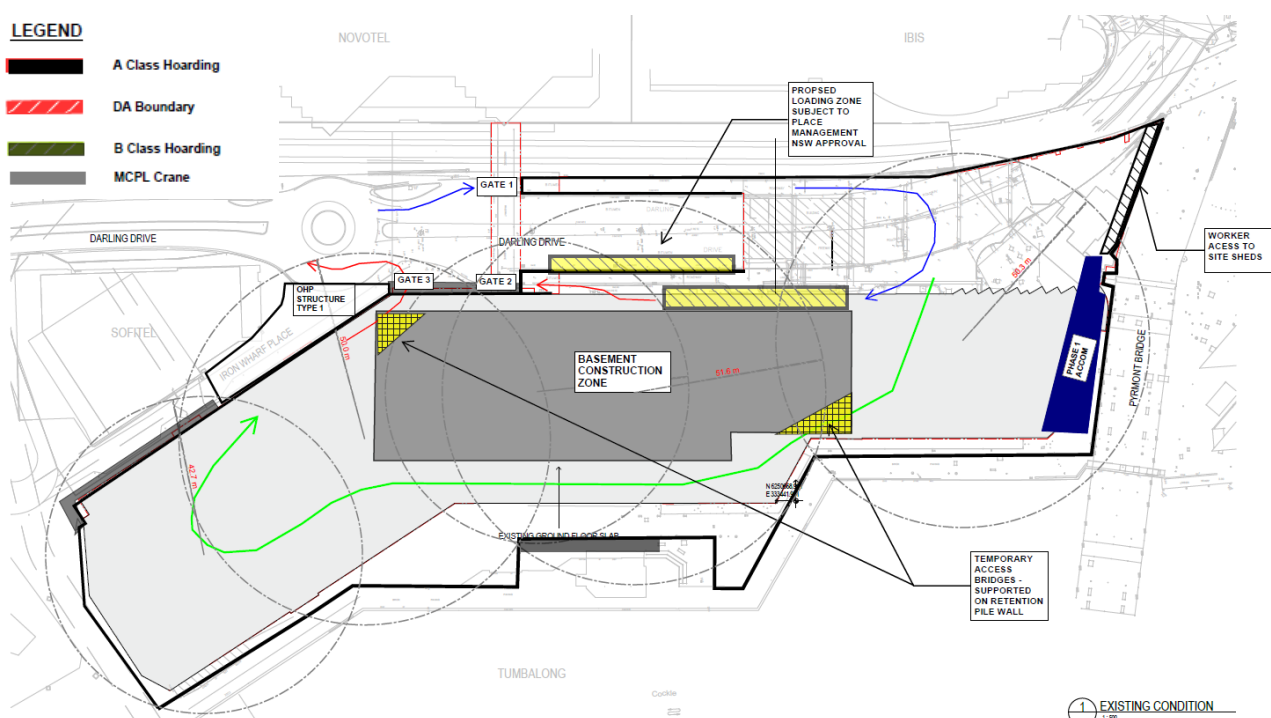
#### 4.5 Construction of Raft Slab

Consent is also sought for the construction of the raft slab to support the future core of the mixed used building, namely the core associated with the residential tower. The location and architectural detail of the slab is shown at **Appendix B**.

#### 4.6 Temporary Structures

Onsite temporary structures will comprise of perimeter hoardings (to be a mixture of both A-Class and B-Class hoardings), which will feature high quality artwork as consistent with Place NSW and City of Sydney Council requirements, as well as temporary sheds within the construction site adjacent to the Pyrmont Bridge. Loading zones will also be provided along Darling Drive on the western boundary of the site. **Figure 12** provides an overview of the intended temporary structures. Sheds will not be elevated wherever possible to minimise any possible visual impact.

Temporary structures are further discussed at Section 3.7 of the Construction Environmental Management Plan (CEMP) at **Appendix G**.



**Figure 12** Proposed temporary structures

Source: Mirvac

#### 4.7 Hours of Work

As outlined in the Construction Environmental Management Plan (CEMP) at **Appendix G**, proposed standard construction hours for the above works are as follows:

- 7:00 – 19:00, Mondays – Fridays;
- 7:00 – 15:30, Saturdays; and
- No work on Sundays or Public Holidays.

Internal works (as required) not exceeding the applicable acoustic criteria are proposed to be undertaken 24/7 as outlined in Council's *Construction Code of Practice* (1992) and in line with industry best practice.

## 4.8 Staging and Timeframe of Works

The proposed works are facilitative in nature, with no use or permanent structures (beyond the retaining structures and raft slab) sought for approval as part of this SSDA. The works sought under this SSDA are expected to be completed over 7-9 months, being a small component of the broader construction program associated with the redevelopment project. The demolition works approved under the Stage 1 Concept Approval (SSD 7874) are intended to have a duration of approximately 6-8 months.

Mirvac intends for all phases of the sites redevelopment, comprising demolition (already approved under SSD 7874), the proposed early works (sought under this SSDA), and the construction of the future built form (to be sought under future SSDA(s)), to be undertaken as a continuous program of construction works, without any delays between phases.

The general scope and staging of works is as follows:

### Site Establishment & Enabling Works

The works to be completed include:

- establishment of site perimeter hoardings and overhead protection;
- protection to adjacent buildings and structures if required;
- provision of site accommodation, amenities and offices;
- temporary vehicle laybacks / loading zones; and
- temporary construction and vehicle platforms.

### Demolition (largely approved under SSD 7874)

The works to be completed include:

- capping and termination of existing services;
- demolition of existing structures;
- temporary works; and
- waste removal.

### Retention Structures and Bulk Excavation

The works to be completed include:

- demolition and removal of existing concrete slab on ground;
- installation of retention piles;
- construction of capping beams;
- bulk excavation and temporary stockpiling;
- temporary works including dewatering; and
- spoil removal.

Mirvac intends for demolition and construction activity to be undertaken on-site holistically, with no stoppage or delay, between demolition of the existing building, the proposed works under this SSDA, and the construction of the future built form to be approved under a separate application. The works will progressively be staged in a continuous manner from demolition, to excavation, and construction.

## 5.0 Statutory Context

This section of the EIS provides an assessment of the proposal against the relevant Environmental Planning Instruments (EPIs). Development approval is sought for the project under the State Significant Development provision of Part 4 of the *Environmental Planning & Assessment Act 1979* (EP&A Act). This section is complemented by a statutory compliance table at **Appendix H** that identifies the relevant statutory requirements, including the relevant terms of the Stage 1 Concept Approval and where those requirements have been addressed in the EIS (as relevant).

### 5.1 Environmental Planning and Assessment Act 1979

The EP&A Act establishes a specific system to consider projects classed as State Significant Development (SSD). The proposed development is categorised as SSD (see **Section 5.3.1**). **Table 5** provides an assessment of the proposed development against the objects of the EP&A Act.

**Table 5 Objects of the EP&A Act**

| Object                                                                                                                                                                                           | Comment                                                                                                                                                                                                                                                                                                                                                                                                               |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| (a) to promote the social and economic welfare of the community and a better environment by the proper management, development and conservation of the State's natural and other resources,      | Not relevant to the proposed bulk excavation and retaining structure works. Future development at the site which these enabling works will facilitate will provide significant public benefits to Darling Harbour in line with the provisions of the Stage 1 Concept Approval (SSD 7874), including a widened waterfront, significant public open spaces, and through site link for use by locals and tourists alike. |
| (b) to facilitate ecologically sustainable development by integrating relevant economic, environmental and social considerations in decision-making about environmental planning and assessment, | The principles of Ecologically Sustainable Development, as set out in Schedule 2 of the EP&A Regulation, as well as other relevant economic, environmental, and social considerations have been addressed in this EIS at <b>Section 7.13</b> .                                                                                                                                                                        |
| (c) to promote the orderly and economic use and development of land,                                                                                                                             | The proposed bulk excavation and enabling works are required to facilitate the orderly and economic use of land in future at the site as envisioned under the Stage 1 Concept Approval (SSD 7874).                                                                                                                                                                                                                    |
| (d) to promote the delivery and maintenance of affordable housing,                                                                                                                               | Not relevant to the proposed bulk excavation and retaining structure works. A VPA agreement is payable by Mirvac towards affordable housing – refer to <b>Section 0</b> .                                                                                                                                                                                                                                             |
| (e) to protect the environment, including the conservation of threatened and other species of native animals and plants, ecological communities and their habitats,                              | The site is not considered to have habitat suitable for any threatened flora and fauna. Refer to <b>Section 5.2</b> .                                                                                                                                                                                                                                                                                                 |
| (f) to promote the sustainable management of built and cultural heritage (including Aboriginal cultural heritage),                                                                               | Heritage impacts of the proposed works, including on the nearby State Heritage-listed Pyrmont Bridge, are addressed at <b>Section 7.5</b> of this report. <b>Appendix E</b> confirms the proposal has no adverse impacts on nearby heritage items.                                                                                                                                                                    |
| (g) to promote good design and amenity of the built environment,                                                                                                                                 | Not relevant to the proposed bulk excavation and retaining structure works. The Stage 1 Concept Approval and future built form SSDAs will be subject to a Design Integrity Panel following conclusion of an Architectural Design Competition at the site to ensure the highest standard of design excellence.                                                                                                         |
| (h) to promote the proper construction and maintenance of buildings, including the protection of the health and safety of their occupants,                                                       | Not relevant to the proposed bulk excavation and retaining structure works.                                                                                                                                                                                                                                                                                                                                           |
| (i) to promote the sharing of the responsibility for environmental planning and assessment between the different levels of government in the State,                                              | Not relevant to the proposed bulk excavation and retaining structure works                                                                                                                                                                                                                                                                                                                                            |
| (j) to provide increased opportunity for community participation in environmental planning and assessment.                                                                                       | An extensive programme of consultation and community participation has informed the Harbourside project to date. Refer to discussion provided at <b>Section 6</b> of this EIS.<br><br>Further consultation will be carried out during exhibition of the application, through the design development process, prior to the commencement of construction, and throughout the construction period.                       |

## 5.2 Biodiversity Conservation Act 2016

In accordance with Section 7.9 of the *Biodiversity Conservation Act 2016*, an assessment of any SSD's biodiversity impacts must be undertaken as part of the provision of any SSDA, including the provision of a Biodiversity Development Assessment Report (BDAR) in instances where it is required.

The proposed development is in an urban environment and will not result in adverse environmental impacts with regards to biodiversity. A request for a waiver from the preparation of a BDAR has been prepared by Eco Logical and is attached at **Appendix I**.

The waiver is being sought on the basis of the development being unlikely to impact biodiversity values in accordance with Clause 1.5 of the *Biodiversity Conservation Act 2016* and Clause 1.4 of the *Biodiversity Conservation Regulation 2017*. Eco Logical confirms that no threatened species are likely to occur within the site (including with regards to microbats, with a microbat survey having been undertaken as part of SSD 7874) and the development will not have a significant impact on biodiversity values.

## 5.3 State Environmental Planning Policies

In the absence of specific State Environmental Planning Policies (SEPPs) being listed within the issued SEARs, the proponent has identified the below SEPPs as being relevant to the proposal. Assessment is provided in the below subsections.

### 5.3.1 State Environmental Planning Policy (Planning Systems) 2021

Chapter 2 of *State Environmental Planning Policy (Planning Systems) 2021* (Planning Systems SEPP) identifies development which is declared to be State Significant. This chapter was formerly known as *State Environmental Planning Policy (State and Regional Development) 2011*.

As the Harbourside site is located within Darling Harbour (within the meaning of the State Significant Development Sites Map), and the proposed development has a Capital Investment Value (CIV) of more than \$10 million, it is SSD by virtue of clause 2 of Schedule 2 of the Planning Systems SEPP. The Quantity Surveyor's Report at **Appendix J** confirms the project's CIV to be at \$66,700,000, exceeding the \$10 million threshold for SSD.

### 5.3.2 State Environmental Planning Policy (Precincts – Eastern Harbour City) 2021

Chapter 3 of *State Environmental Planning Policy (Precincts – Eastern Harbour City) 2021* (Eastern Precincts SEPP) is the key environmental planning instrument that applies to Darling Harbour, including the Harbourside site. This chapter was formerly known as the *Darling Harbour Development Plan No 1*. The SEPP regulates development in the Darling Harbour precinct in lieu of a Local Environmental Plan.

Redevelopment of the site for commercial premises and residential uses is permitted under Schedule 1 of the SEPP. The proposed bulk excavation and retaining structure works are incidental and subsidiary in facilitating the future redevelopment on the Harbourside site, and are therefore permissible with consent under clause 3.5(e) of the SEPP.

### 5.3.3 Other SEPPs

Assessment of the proposal against other relevant SEPPs is provided in **Table 7**.

**Table 6 Assessment against relevant SEPPs**

| SEPP                                                                     | Assessment                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|--------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <i>State Environmental Planning Policy (Resilience and Hazards) 2021</i> | <p>Chapter 4 of the Resilience and Hazards SEPP (formerly SEPP 55) regulates the statewide planning approach for the remediation of land.</p> <p>In line with the requirements of the SEPP, a Detailed Site Investigation and Remediation Action Plan has been prepared by JBS&amp;G at <b>Appendices O</b> and <b>P</b> respectively. A peer review of these reports has also taken place (refer to <b>Appendix R</b>). Refer to <b>Section 7.4</b> below for further discussion.</p> |

| SEPP                                                                            | Assessment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
|---------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <i>State Environmental Planning Policy (Transport and Infrastructure) 2021</i>  | The proposed bulk excavation and retaining structure works sought for approval under this SSDA are not considered to be traffic-generating development within the meaning of Chapter 2 of the Transport and Infrastructure SEPP (former the Infrastructure SEPP). Future SSDA(s) at the site are likely to be traffic-generating development and will be assessed as relevant. The site does not front a classified road.                                                                                                                                                                                                                |
| <i>State Environmental Planning Policy (Biodiversity and Conservation) 2021</i> | Chapter 10 of the Biodiversity and Conservation SEPP (formerly the Sydney Harbour SREP) applies to the proposal, as it is located within the Sydney Harbour Catchment within the meaning of the SEPP. However, it is not located within the Foreshores and Waterways Area within the meaning of the SEPP.<br><br>The proposal for bulk excavation and retaining structure works will not impact the hydrological, ecological, and geomorphological processes of Sydney Harbour, and is therefore consistent with the SEPP. Flooding and stormwater impacts are further assessed in <b>Section 7.7</b> and <b>7.8</b> below respectively. |

#### 5.4 City of Sydney Local Environmental Plan 2012

With Eastern Precincts SEPP applying to the site (refer to **Section 5.3.2**), it is reiterated for clarity that the *City of Sydney Local Environmental Plan 2012* (SLEP 2012) does not apply to the proposal.

#### 5.5 Consistency with the Harbourside Concept Approval (SSD 7874)

The Harbourside Concept Approval (SSD 7874) sets out the relevant planning parameters to guide the detailed design and construction of the redeveloped Harbourside site. The proposed development is required to be consistent with SSD 7874 pursuant to section 4.24 of the EP&A Act, which states that “*while any consent granted on the determination of a concept development application for a site remains in force, the determination of any further development application in respect of the site cannot be inconsistent with the consent for the concept proposals for the development of the site*”.

Relevant to this SSDA, the Stage 1 Concept Approval establishes the maximum building envelope for the future basement. The proposed basement excavation works are consistent with this envelope. Additionally, the proposed raft slab construction for the future residential tower is consistent with the required location of the residential tower under the approved envelope in the Stage 1 Concept Approval. This proposal therefore ensures that future development at the site can be undertaken in accordance with the Concept Approval.

Part 3 of the SSD 7874 conditions of consent sets out conditions which must be met in all future detailed design applications at the site (the Future Environmental Assessment Requirements – FEARs). The proposal is consistent with all relevant SSD 7874 FEARs, with a detailed assessment against the FEARs is provided at **Appendix H**.

#### 5.6 Other Approvals

The following section outlines other legislative approvals required for the Project in addition to a development consent under Division 4.7 of the EP&A Act.

##### 5.6.1 Consistent Approvals

Section 4.42 of the EP&A Act stipulates that certain authorisations cannot be refused if they are necessary for carrying out State Significant Development. **Table 8** legislative approvals that are required for the project and cannot be refused if the development is approved.

**Table 7** Legislation that must be applied consistently

| Act                                                      | Approval Applicable/ Required |
|----------------------------------------------------------|-------------------------------|
| <i>Fisheries Management Act 1994</i>                     | No                            |
| <i>Mine Subsidence Compensation Act 1961</i>             | No                            |
| <i>Mining Act 1992</i>                                   | No                            |
| <i>Petroleum (Onshore) Act 1991</i>                      | No                            |
| <i>Protection of the Environment Operations Act 1997</i> | No                            |

| Act                       | Approval Applicable/ Required |
|---------------------------|-------------------------------|
| <i>Roads Act 1993</i>     | No                            |
| <i>Pipelines Act 1967</i> | No                            |

### 5.6.2 EPBC Approval

The *Environmental Protection and Biodiversity Act 1999 Act* (EPBC Act) provides a legal framework to protect and manage nationally and internationally important flora, fauna, ecological communities, and heritage places. These are known as matters of National Environmental Significance. If the proposed development will, or is likely, to impact a matter of National Environmental Significance, then it is required to be referred to the Commonwealth Department of the Agriculture, Water and the Environment for assessment to determine if it constitutes a 'controlled action' requiring EPBC approval. Presently, a bilateral agreement allows the Commonwealth Minister for the Environment to rely on the NSW environmental assessment process when assessing a controlled action under the EPBC Act.

The Project is not likely to impact a matter of National Environmental Significance. Therefore, the Project is not required to be referred to the Commonwealth Department to determine if it constitutes a controlled action and the bilateral agreement applies.

## 6.0 Community Engagement

### 6.1 Stage 1 Concept Approval Community Engagement

An extensive engagement process with the community was carried out under the Harbourside Concept Approval (SSD 7874). This included that of the following:

- A project specific 1800 Community Information Line (1800 795 667) and email address (harbourside.enquiries@mirvac.com) was established.
- Two letterbox drops were carried out in March and August 2016. Approximately 4,500 Pyrmont residents and businesses were contacted on each occasion of the letterbox drop within a 750m radius of the site.
- Newspaper advertisements were placed in The Inner Western Suburbs Courier on 29 March 2016 and The Hub on 31 March 2016 (two local newspapers).
- Community information sessions were held on 7 April 2016, 8 April 2016 and 9 April 2016, for 2 hours per session. Representatives of Mirvac and the project team attended each session to explain the proposal and answer questions.
- The subsequent public exhibition of the EIS from 15 December 2016 until 14 February 2017, and exhibition of amendments to the project under the Response to Submissions (RTS) process, provided further opportunities for public consultation and engagement.

During the community engagement process, the key issues received and responded to by Mirvac generally pertained to the following:

- Built form and urban design;
- Public domain and open space;
- Impact on views;
- Overshadowing;
- Traffic and parking;
- Heritage;
- Land use;
- Strategic planning; and
- Wind impacts

Concerns and items raised by the community were comprehensively responded to by the proponent through the SSD 7874 Response to Submissions (RTS) process, culminating in the approval of the SSDA.

### 6.2 Ongoing Community Engagement Plan

A Community Consultation and Engagement Plan has been prepared by Ethos Urban at **Appendix V**. This Plan outlines the overarching consultation framework to inform and guide communications and engagement activities throughout the ongoing redevelopment across all the detailed design SSDAs (see **Section 1.5.4**), including that of the subject application, and satisfies Condition C53 of the Stage 1 Concept Approval (SSD 7874).

As discussed in the Plan, the overarching engagement strategy for the detailed design and construction of Harbourside follows a three stage engagement approach. Stage 1 incorporates this SSDA for bulk excavation works, while Stage 2 of engagement occur prior to the lodgement of the future built form and public domain SSDAs. Stage 3 will ensure ongoing community relations during physical construction. This staged approach is summarised in **Table 8**.

**Table 8 Harbourside community engagement plan**

| Relates to                | Engagement Activities                                                                                                                                                                                                                                                                                                                            | Engagement Period  |
|---------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------|
| <b>Stage 1 Engagement</b> |                                                                                                                                                                                                                                                                                                                                                  |                    |
| SSDA 1                    | <ul style="list-style-type: none"> <li>• Set up communications channels and protocols including project website, consultation 1800 hotline and email address</li> <li>• Host two webinars with the following stakeholder groups to provide an update on the project, planning process and what to expect with the demolition process:</li> </ul> | March – April 2022 |

| Relates to                            | Engagement Activities                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Engagement Period     |
|---------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|
|                                       | <ul style="list-style-type: none"> <li>– 50 Murray Street residents</li> <li>– Wider residents (250m)</li> <li>• Meet one-on-one with 50 Murray Street Strata Committee</li> <li>• Invite local community Action Group members to meet with the project team (meeting to be held end of April 2022)</li> </ul> <p><b>Key deliverables:</b></p> <ul style="list-style-type: none"> <li>• Provide a Consultation Summary Report for the EIS (refer at <b>Appendix K</b>) including summaries of: <ul style="list-style-type: none"> <li>– 2 x webinars.</li> <li>– 50 Murray Street meeting.</li> <li>– Meetings with wider landowners and government agencies.</li> </ul> </li> <li>• Community Consultation and Engagement Plan, to be provided with all future development applications.</li> <li>• Community Involvement Plan – to be submitted no later than two weeks prior to commencement of demolition works.</li> </ul>          |                       |
| <b>Stage 2 Engagement</b>             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                       |
| SSDA 2 & 3                            | <ul style="list-style-type: none"> <li>• Workshop key issues with neighbours and key stakeholders via webinars or face to face meetings to build productive relationships and promote a clear understanding of the site's constraints and opportunities and support for a shared vision and principles to guide development.</li> <li>• Host two 2-hour Community Information Sessions during or near to the public exhibition of the SSDA.</li> <li>• Support the project with a proactive, positive public narrative during SSDA Stage 2 public exhibition and additional engagement activities as appropriate.</li> <li>• Document all feedback and changes made to demonstrate how stakeholders, the community and the public interest have been considered for the site.</li> </ul> <p><b>Key deliverables:</b></p> <ul style="list-style-type: none"> <li>• Consultation Outcomes Report to inform SSDA Stage 2 &amp; 3</li> </ul> | July - September 2022 |
| <b>Stage 3 Community Relations</b>    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                       |
| Demolition and all construction works | <ul style="list-style-type: none"> <li>• Provide Mirvac with day-to-day support for construction communications and issues management.</li> <li>• Management of 1800 phone line and community email address.</li> <li>• Arrange and attend stakeholder meetings as needed and requested.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Late 2022 onwards     |

## 6.3 SSD 38881729 Community Engagement

### 6.3.1 Pre-Exhibition

In accordance with the Community Consultation and Engagement Plan described above, Mirvac has undertaken further consultation activity as part of this proposed bulk earthworks SSDA. The consultation works undertaken to date and the outcomes received are discussed in detail in the Consultation Outcomes Report at **Appendix K**. In summary, the following engagement tools were utilised (refer to **Table 9**):

**Table 9 SSD 38881729 community engagement tools**

| Activity        | Purpose                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
|-----------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Letterbox drops | <p>Two letterbox drops to notify residents about the SSDA, as well as an invitation to a briefing session with further information.</p> <ul style="list-style-type: none"> <li>• Letterbox drop 1: To the residents of 50 Murray Street. Invitation to attend information session on 28 March 2022, from 6 – 7pm.</li> <li>• Letterbox drop 2: To the wider Pyrmont community. Invitation to attend information session on 29 March 2022, from 6 – 7pm.</li> </ul> |

| Activity                   | Purpose                                                                                                                                                                                                                                                                                                                                                                                                                                |
|----------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Emailed letters            | Two letters sent via email inviting the following stakeholder groups to meet with the project team to discuss the proposal to ask any questions or raise any issues: <ul style="list-style-type: none"> <li>Email to 50 Murray Street Strata Committee on 21.3.22 - meeting booked for 13.4.22</li> <li>Email to local community Action Groups on 13.3.22 - meeting booked for 28.3.22</li> </ul>                                      |
| 1800 phone line            | A direct phone number established to receive any community enquiries and to be answered during business hours (8 – 5pm). Community members have the option to leave messages to receive a return phone call when phoning out of hours.                                                                                                                                                                                                 |
| Consultation email address | The consultation email address ( <a href="mailto:consultation@ethosurban.com">consultation@ethosurban.com</a> ) is used to provide a method of communication that is available to community and stakeholders 24/7. This email address is also used to communicate with the Strata Manager of 50 Murray street residential apartment building identified as a key stakeholder to the current state significant development application. |
| Online information session | To provide an opportunity to meet with the project team, learn about the bulk excavation and earthworks development application, ask questions, and learn about what to expect in the coming stages.                                                                                                                                                                                                                                   |
| Face to face meetings      | To establish a working relationship and open channel of communication between the project team, and key stakeholders.                                                                                                                                                                                                                                                                                                                  |

A number of meetings were held with identified stakeholders, as follows:

- two community information sessions; and
- meetings with stakeholder groups.

These are summarised in **Table 10** below.

**Table 10 SSD 38881729 community engagement meetings**

| Activity                                                    | Date    | Purpose                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | Stakeholders                                                                                                                                      |
|-------------------------------------------------------------|---------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Group meetings</b>                                       |         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                   |
| 50 Murray Street Resident Webinar                           | 28.3.22 | <ul style="list-style-type: none"> <li>• Introduction of the Mirvac and Ethos Urban project team to the immediate neighbours.</li> <li>• Share of details on the SSDA, including potential construction impacts and mitigation measures directly relating to the 50 Murray Street residents.</li> <li>• Provide an opportunity for residents to ask questions to the project team.</li> <li>• Establish a clear line of communication between the residents and the Ethos Urban engagement team who will be supporting with community engagement throughout the delivery of the harbourside redevelopment.</li> </ul> | <ul style="list-style-type: none"> <li>• 50 Murray Street Residents, including Body Corporate members</li> <li>• 19 residents attended</li> </ul> |
| Community Webinar                                           | 29.3.22 | <ul style="list-style-type: none"> <li>• Introduce the Mirvac and Ethos Urban project team to the immediate neighbours.</li> <li>• Share details about the upcoming SSDA, including potential construction impacts and mitigation measures directly relating to the wider community.</li> <li>• Provide an opportunity for residents to ask questions to the project team.</li> <li>• Establish a clear line of communication between the residents and the Ethos Urban engagement team who will be supporting with community engagement throughout the delivery of the harbourside redevelopment.</li> </ul>         | <ul style="list-style-type: none"> <li>• Wider Pyrmont community</li> <li>• 15 community members attended</li> </ul>                              |
| Local Action Groups: Friends of Ultimo Pyrmont Action Group | 29.4.22 | <ul style="list-style-type: none"> <li>• Meeting arranged, but not yet occurred prior to lodgement</li> <li>• Purpose of meeting will be to: <ul style="list-style-type: none"> <li>– Provide background on the project to date.</li> <li>– Outline SSDA 1 and address potential Construction impacts.</li> <li>– Identify future opportunities for consultation.</li> </ul> </li> </ul>                                                                                                                                                                                                                              | <ul style="list-style-type: none"> <li>• Friends of Ultimo</li> <li>• Pyrmont Action Group</li> </ul>                                             |

| Activity                                          | Date     | Purpose                                                                                                                                                                                                                                                                                                                                                                     | Stakeholders                                                                                                               |
|---------------------------------------------------|----------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------|
| <b>One-to-one meetings</b>                        |          |                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                            |
| 50 Murray Street Owners Corporation               | 14.4.22  | <ul style="list-style-type: none"> <li>Introduce Mirvac and Ethos Urban to the Owners Corporation of 50 Murray Street, also known as 'One Darling Harbour'.</li> <li>Create working relationship.</li> <li>Discussion of key matters, ongoing consultation. requirements, likely programming, areas of opportunity and areas of major concern for the residents.</li> </ul> | <ul style="list-style-type: none"> <li>Mirvac</li> <li>Ethos Urban</li> <li>50 Murray Street Owners Corporation</li> </ul> |
| Sofitel Sydney, Darling Harbour                   | 8.12.21  | <ul style="list-style-type: none"> <li>Introduction meeting at the Sofitel. Informing Sofitel of dilapidation survey access requirements and demolition access requirements – Darling Lane.</li> </ul>                                                                                                                                                                      | <ul style="list-style-type: none"> <li>Mirvac</li> <li>ICC Developments.</li> </ul>                                        |
|                                                   | 4.1.22   | <ul style="list-style-type: none"> <li>Project overview and summary of next stage of project activities.</li> </ul>                                                                                                                                                                                                                                                         |                                                                                                                            |
|                                                   | 30.3.22  | <ul style="list-style-type: none"> <li>Discussion of planning process and access deeds.</li> </ul>                                                                                                                                                                                                                                                                          | <ul style="list-style-type: none"> <li>Mirvac</li> <li>Sofitel</li> </ul>                                                  |
| Novotel Sydney On Darling Harbour (owned by ADIA) | 22.11.21 | <ul style="list-style-type: none"> <li>Introductory meeting on Microsoft teams [virtual]. Informing of access requirements to undertake dilapidation survey, and the temporary closure and partial re-construction of Murray Street Footbridge.</li> </ul>                                                                                                                  | <ul style="list-style-type: none"> <li>Mirvac</li> <li>ADIA</li> </ul>                                                     |
|                                                   | 7.12.21  | <ul style="list-style-type: none"> <li>Teams meeting [virtual] introduction at request of ADIA who own Novotel and Ibis.</li> </ul>                                                                                                                                                                                                                                         | <ul style="list-style-type: none"> <li>Mirvac</li> <li>Colliers Asset Management</li> </ul>                                |
|                                                   | 29.3.22  | <ul style="list-style-type: none"> <li>Briefing on proposed basement excavation</li> </ul>                                                                                                                                                                                                                                                                                  | <ul style="list-style-type: none"> <li>Mirvac</li> <li>Colliers Asset Management</li> </ul>                                |
|                                                   | 4.4.22   | <ul style="list-style-type: none"> <li>SSDA 1 presentation</li> </ul>                                                                                                                                                                                                                                                                                                       | <ul style="list-style-type: none"> <li>Mirvac</li> <li>GM and Executive team</li> </ul>                                    |
| Ibis Sydney, Darling Harbour (owned by ADIA)      | 22.11.21 | <ul style="list-style-type: none"> <li>Introductory meeting on Microsoft teams [virtual]. Informing access requirements to undertake Dilapidation survey, on lower levels and ground plane. Informing of temporary closure and partial reconstruction of the Murray Street Footbridge.</li> </ul>                                                                           | <ul style="list-style-type: none"> <li>Mirvac</li> <li>ADIA</li> </ul>                                                     |
|                                                   | 7.12.21  | <ul style="list-style-type: none"> <li>Teams meeting [virtual] – introduction and overview of project. Discussed requirement to remove existing pedestrian bridge and deliver new Bunn Street pedestrian bridge.</li> </ul>                                                                                                                                                 | <ul style="list-style-type: none"> <li>Mirvac</li> <li>Colliers Asset Management</li> </ul>                                |
|                                                   | 29.3.22  | <ul style="list-style-type: none"> <li>Briefing on proposed basement excavation.</li> </ul>                                                                                                                                                                                                                                                                                 | <ul style="list-style-type: none"> <li>Mirvac</li> <li>Colliers Asset Management</li> </ul>                                |
|                                                   | 4.4.22   | <ul style="list-style-type: none"> <li>SSDA 1 presentation.</li> </ul>                                                                                                                                                                                                                                                                                                      | <ul style="list-style-type: none"> <li>Mirvac</li> <li>Ibis GM and Executive team</li> </ul>                               |
| Australian National Maritime Museum               | 14.10.21 | <ul style="list-style-type: none"> <li>Teams meeting [virtual] to establish regular monthly meeting.</li> </ul>                                                                                                                                                                                                                                                             | <ul style="list-style-type: none"> <li>Mirvac</li> <li>ANMM</li> </ul>                                                     |
|                                                   | 15.11.21 | <ul style="list-style-type: none"> <li>Monthly update meeting [virtual].</li> </ul>                                                                                                                                                                                                                                                                                         |                                                                                                                            |
|                                                   | 14.12.21 | <ul style="list-style-type: none"> <li>Monthly update meeting [virtual] – design competition status.</li> </ul>                                                                                                                                                                                                                                                             |                                                                                                                            |
|                                                   | 14.2.22  | <ul style="list-style-type: none"> <li>Monthly teams update meeting.</li> </ul>                                                                                                                                                                                                                                                                                             |                                                                                                                            |
|                                                   | 2.3.22   | <ul style="list-style-type: none"> <li>Presentation of redevelopment provided to the ANMM Board.</li> </ul>                                                                                                                                                                                                                                                                 |                                                                                                                            |
|                                                   | 14.3.22  | <ul style="list-style-type: none"> <li>Monthly meeting on site, inspecting spaces to potentially lease for use by project team during construction.</li> </ul>                                                                                                                                                                                                              |                                                                                                                            |

| Activity | Date    | Purpose                                                                                                                                                                         | Stakeholders |
|----------|---------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|
|          | 11.4.22 | <ul style="list-style-type: none"> <li>SSDA 1 presentation.</li> <li>Discussion re strategy for continued pedestrian access, and noise, vibration and rodent control</li> </ul> |              |

Meetings also occurred with DPE and relevant utilities providers, as detailed within the Consultation Outcomes Report (refer to **Appendix K**).

The community consultation process enabled valuable feedback to the project team. Community feedback was received via the following channels:

- Two Webinar community information sessions in which 34 people attended;
- No phone call enquiries; and
- three emails.

The feedback received was generally positive about the project, with a number of community members looking forward to construction to begin so they can enjoy the benefits of the redesigned Harbourside waterfront project.

Matters raised included those around construction impacts; traffic, parking and transport; pedestrian access impacts; ability for continued community consultation; project timing; design; operational impacts; the night-time economy and residential property sales. Many of the matters raised related to detailed aspects of the renewal project, and will therefore be addressed in future stages of the development. The project team's response to each issue is provided within the Community Outcomes Report at **Appendix K**.

### 6.3.2 Exhibition and Assessment

Following its submission, DPE will exhibit this EIS and supporting technical reports and plans on the Major Projects NSW Website and invite submissions from government agencies and the general public. Once the exhibition period is complete, DPE may require the Proponent to prepare a Submissions Report in response to issues raised. The Proponent will continue to liaise with DPE and stakeholders during the Project's assessment to address queries that may arise.

### 6.3.3 Post Approval

The program has provided opportunity for the community and stakeholder to have a clear understanding of the project and have been provided with the opportunity to meet the project team including technical experts, offer feedback and elect to keep informed as the project continues.

Community consultation post approval of this occasion will occur in accordance with the Community Consultation and Engagement Plan (refer to **Appendix V**), as discussed at **Section 6.2**.

## 7.0 Environmental Assessment

This section of the EIS assesses and responds to the potential environmental impacts of the proposed development as outlined in **Section 4**. It has been structured to respond to the issued SEARs. The Mitigation Measures at **Section 8** complement the findings of this section.

### 7.1 Construction Management

A Construction Environmental Management Plan (CEMP) has been prepared by Mirvac and is provided at **Appendix G**. The CEMP details the construction processes, methodology and mitigation measures to be employed by Mirvac for the proposed bulk excavation and retaining structures, including with regard to site management, excavation management, soil, water and groundwater management, construction waste, sustainability measures, traffic, noise and vibration management, air quality control, as well as management of workplace risk and hazardous materials.

The CEMP confirms that the proposed bulk excavation and retention structures, as described in **Section 4** of this EIS, are likely to comprise the below construction processes:

- demolition and removal of existing concrete ground slab to the site;
- installation of retention piles;
- construction of capping beams;
- bulk excavation and temporary stockpiling of excavated material;
- temporary works including dewatering;
- spoil removal; and
- sediment control measures during excavation.

#### 7.1.1 Construction Methodology

The construction site will be enclosed by suitable engineered A-Class and/or B-Class hoardings along all perimeter boundaries. It will not be accessible to members of the general public. The excavation area will be fenced off to all unauthorised personnel and signposted appropriately for excavation, and appropriately benched or barricaded to ensure there is no risk of fall.

Piling rigs will be established onsite, along with line pumps, mobile crane, and excavators to install the retaining structure piles. The piles will be progressed on two concurrent work fronts via two large piling rigs along with associated equipment. Continuous Flight Auger (CFA) piling method will be utilised. The wall will be made with alternating piles in a hit and miss sequence, via two runs of piles. The second piles are cut (or secanted) into the first run of preliminary piles. The sequence will move from the south to the north of the site as detailed within the CEMP.

Once the secant pile wall has progressed sufficiently to the south, the existing slab removal will be followed by the bulk excavation works. Large excavators and a dozer will be used to excavate and stockpile the fill material. As the excavation progresses, temporary anchors will be installed to restrain the wall in the temporary condition. Once the excavation reaches natural rock level, the dozer will be used to rip the sandstone and stockpile, with excavators sawing the rock at the perimeter. Stockpiled material will be progressively loaded into trucks as the excavation continues.

The CEMP confirms all works are to be undertaken in accordance with the relevant standards and guidelines, including at a minimum the NSW *Workplace Health and Safety Act 2011*, *Workplace Health and Safety Regulation 2017* and the relevant Australian Standards. All employees will be inducted on the procedure of the Safe Work Method Statement and the general work procedures outlined in the site induction prior to commencing works on site. Workers will attend a pre-start toolbox talk on a daily basis outlining the activities for the day including hazard identifications and risk assessments.

### 7.1.2 Construction Waste Management

The CEMP confirms that the proposed works are estimated to generate the following quantities of waste during excavation (refer to **Table 11**):

**Table 11 Expected waste generation**

| Waste                                                  | Total         | % Recycled |
|--------------------------------------------------------|---------------|------------|
| Sandstone and VENM (virgin excavated natural material) | 76,500 tonnes | 100%       |
| General solid waste                                    | 58,200 tonnes | N/A        |
| General solid waste (S)                                | 11,600 tonnes | N/A        |
| General solid waste (restricted)                       | 7,700 tonnes  | N/A        |

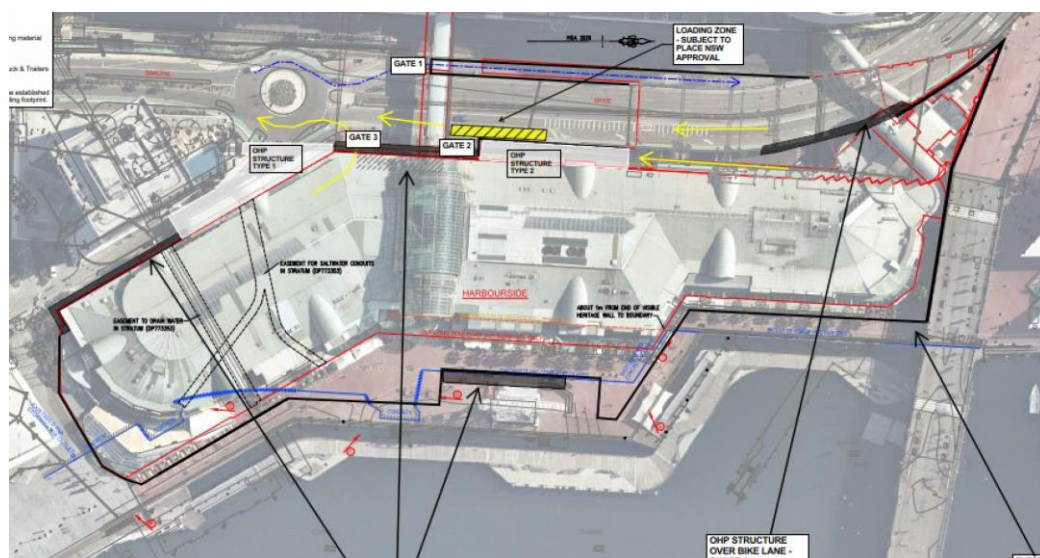
The project is expected to generate approximately 140,000 tons of spoil for offsite disposal/reuse. Materials generated from the excavation process will be sorted and progressively removed from the site to avoid need for stockpiling.

Further details on waste management and the methodology for waste management during the proposed works are detailed at Appendix E of the CEMP (refer to **Appendix G**). Mirvac are industry leaders in waste reduction and prevention, and the project will aim to reduce the amount of waste to landfill through adoption of an *avoid > reuse > recycle > dispose* waste management hierarchy. The project will adopt Mirvac's target for >95% waste diversion from landfill through recycle, reuse, design, or other methods as appropriate.

However, with regards to potential reuse of excavated sandstone as building material, a Suitability of Excavated Sandstone for Reuse Statement has been prepared by Douglas Partners at **Appendix R**. The report confirms that the sandstone to be excavated at the site is not suitable for reuse and sandstone blocks, as it contains cross-bedding or laminations which are planes of weakness.

### 7.1.3 Construction Impacts on Public Domain

The extent of public domain areas affected by the proposed works are shown in the Construction Environmental Management Plan (CEMP) at **Appendix G** and Preliminary Construction, Pedestrian and Traffic Management Plan (CPTMP) at **Appendix N**. The works will not significantly impact public domain areas, and the extent of hoarding is anticipated to remain consistent with that proposed for the demolition works already approved under SSD 7874. The extent of hoarding is shown in **Figure 13**, which generally illustrates the extent of public domain to be enclosed during the works.



**Figure 13 Proposed hoarding arrangements (black line)**

Source: Mirvac

As noted above, Mirvac intends to undertake the redevelopment of Harbourside Shopping Centre in a continuous manner from demolition, to excavation and commencement without stoppage or delay. The overall works associated with the development sought under this SSDA are anticipated to occur over a period of 7-9 months. Following completion of the works, it is expected that the new built form construction and public domain works will be completed over a period of approximately three years, noting this is subject to change as the design is refined and construction methodology confirmed.

In the unlikely event that works do come to a halt for an extended period of time, robust measures including hoarding, sediment control and stormwater management (refer to **Section 7.8**) will be implemented to ensure surrounding sites and public domain are not be adversely affected. The Construction Environmental Management Plan at **Appendix G** also sets out a strategy for managing any potential extended delay, which will include the following actions:

- Shut down risk assessment will be undertaken to determine what ongoing site management inspections and certifications are required.
- Perimeter hoarding inspection to ensure there are no risks to public who utilise the circulation space adjacent the site.
- Perimeter public domain inspection to ensure all surrounding finishes are suitably in place to ensure no additional risks to public.
- Environmental control measures implemented to the full perimeter to prevent sediment runoff.
- Site security requirements determined by a risk assessment.

The proposal is also not anticipated to significantly impact existing pedestrian, cycle and vehicle networks. No road closures or detours to the surrounding road network for vehicles and/or pedestrians are expected during the proposed works, and the proposed works zones are to be provided on Darling Drive adjacent to the site. The proposal is not expected to impact surrounding vehicular or pedestrian circulation beyond closure of the construction site to public access and the erection of hoarding. Standard wayfinding signage will be installed around the site hoarding to ensure continued access.

Authorised traffic controllers will assist trucks entering and exit the site to ensure pedestrian and vehicular safety, but will not be permitted to stop traffic and will instead wait for suitable gaps in traffic to occur. Pedestrians and vehicles will have right of way over construction vehicles.

#### 7.1.4 Event Management

Given the prominent position of the Harbourside site in the tourist and entertainment precinct of Darling Harbour, additional care is proposed to be taken for the minimisation of any construction impacts on general activities within the Darling Harbour Precinct, as well as major events which occur in the Darling Harbour Precinct.

A Special Event Management Plan has been incorporated within the CTMP (refer to **Appendix N**). The Special Event Management Plan outlines an overview of access and egress arrangement during a Major Event, detailing road closures and potential impacts during construction activities. Important to managing any potential conflicts will be the establishment of a robust site perimeter hoarding, including maintaining the agreed external circulation space. The presence of this hoarding and associated signage throughout the duration of all works will be essential to ensuring that the construction activities do not adversely affect the surrounding entertainment and recreation uses within the Darling Harbour Precinct.

The perimeter of the site will be regularly inspected to ensure that all hoardings and the like are in a suitable condition for public accessibility and safety around the perimeter of the site. Suitable lighting levels and integrity of the surrounding public domain areas will also be regularly inspected, including the need to 'make good' any public domain features which may be impacted by works over the demolition, excavation and construction phases of the project. Existing camera sightlines will also be reviewed prior to establishment and movement of any hoarding structures.

Dependant on the nature of a major event, consultation and risk identification will be undertaken with Place Management NSW to determine if there are additional requirements such as attendant security required. Regular site perimeter and public domain safety inspections will also be undertaken, with any items raised addressed as soon as practicable.

With the implementation of these measures, it is considered that any potential impacts from the proposed works can be managed or mitigated for the Darling Harbour Precinct, including in the case of major events.

### 7.1.5 Air Quality

An Air Quality Assessment of the proposed works has been prepared by JBS&G, and is attached at **Appendix M**. The report outlines anticipated air quality impacts during the proposed excavation works. In summary, it was determined that:

- no highly sensitive receptors for air quality have been identified in proximity to the site; and
- potential sources of air and odour emissions are principally associated with excavation and exposure of site material (fill and natural soil/rock) and the use of fuels (for equipment/plant).

The Air Quality Assessment confirms that the proposal will not generate adverse or unreasonable air quality impacts and/or emissions following the implementation of recommendations provided within the report, including with regards to real-time respirable particulate monitoring, respirable fibre monitoring, visual monitoring, and dust management measures.

Additional measures for minimising construction dust and odour to be implemented at the site are provided in Section 11 of the Construction Environmental Management Plan (refer to **Appendix G**).

### 7.1.6 Construction Traffic and Pedestrian Management

The CEMP is supported by a Preliminary Construction, Pedestrian and Traffic Management Plan (CPTMP), which has been prepared by PTC and is provided at **Appendix N**. The CPTMP sets out the potential pedestrian and traffic management impacts during the proposed bulk excavation and works associated with the retaining structures, and identifies how any impacts are expected to be managed and/or mitigated.

The proposed bulk excavation and retaining structure works are expected to generate an average of up to 50 trucks to and from the site daily, with an estimated maximum of 100 trucks each day. Expected construction vehicles will include:

- 19m semitrailer and truck/dog articulated vehicles;
- 12.5m heavy rigid vehicles;
- 8.8 medium rigid vehicles; and
- various smaller vehicles.

Where possible, deliveries will be scheduled to occur outside peak commuter periods. Being short term and temporary in nature, the proposed bulk excavation and retaining structure works are not expected to adversely impact or have culminative effects on the surrounding road network.

All vehicles will exit and enter the site in a forward direction. Trucks will park within the construction site and will be prohibited from queuing or marshalling onto public streets. All works zones for the loading and unloading of goods will occur within the construction site (with locations delineated within the CPTMP) to avoid impacting the surrounding public domain.

Construction vehicles will access the site via the existing Darling Drive ramps and roundabout, from the Western Distributor via Pyrmont Bridge Road. Access and egress routes are shown in the CPTMP, an excerpt of which is provided at **Figure 14**.



**Figure 14 Construction vehicle access and egress routes**

Source: PTC

## 7.2 Site Security

Site security measures to be implemented at the site are detailed in the Construction Environmental Management Plan prepared by Mirvac (refer to **Appendix G**). It is noted that a Site Security Management Plan will be prepared and finalised prior to the commencement of works in consultation with Place Management NSW. This plan will include the following as a minimum:

- After hours contacts.
- Hoarding layouts and site security strategy to prevent unauthorised access.
- Shut down risk assessment process detailing the prevention of falls and the likelihood of persons trespassing.
- Anti-climb and security measures for tower cranes.
- Secure storage areas and theft management.
- Site CCTV camera locations.
- Major event security protocols and requirements.

In general, the hoarding to be constructed around the site will deter theft and unauthorised access. Persons will only be able to enter the site through designated entry and exit points and may only enter if inducted or escorted by a Mirvac employee. Where an ambulance is required due to persons injured on-site, a standby person has been nominated and positioned at the main site entrance to assist ambulance personnel in locating and attending to the injured person.

Construction signage will also be erected on the hoarding and will include details of 24 hour project contacts, including after-hours contacts. The hoarding will be regularly maintained to clean and remove graffiti, as confirmed within the Construction Environmental Management Plan prepared by Mirvac (refer to **Appendix G**).

### 7.3 Tree Management

The removal of existing trees on the Harbourside site, include the Cabbage Tree Palms, has been approved under the Stage 1 Concept Approval (SSD 7874). Condition B7 of Schedule 3 of Development Consent SSD 7874 specifies that existing trees may be retained and transplanted for use in the future public domain on the site, but this is to be determined in consideration of the future public domain design. This includes transplanting the 20 Cabbage Tree Palms.

Given the nature of the proposed works under this SSDA, being bulk excavation and the construction of retention walls, no transplanting of existing trees on the site is proposed. The transplanting of trees will be determined under the future SSDAs related to the detailed design of the built form and public domain design. With these future SSDAs, an Arboricultural Assessment prepared by a suitability qualified Arboriculturist will be provided, as well as a Transplanting Methodology Report if required.

### 7.4 Contamination and Remediation

#### 7.4.1 Contamination

A Detailed Site Investigation (DSI) has been prepared by JBS&G and is provided at **Appendix O**. The DSI follows the Preliminary Site Investigation prepared as part of the Stage 1 Concept Approval (SSD 7874), which recommended that an intrusive field sampling programme and laboratory sampling be undertaken, and has been prepared in accordance with Condition C50 of the Stage 1 Concept Approval (SSD 7874) consent.

The DSI assesses potential contamination impacts at the Harbourside site and its suitability for the future land uses, the most sensitive of which would be residential with limited access to soils, from a contamination perspective.

In summary, the DSI identified the following:

- Analysis of selected samples of fill and natural material for a broad range of Contaminants of Potential Concern (COPCs) including heavy metals, Polycyclic Aromatic Hydrocarbons (PAHs), Volatile Organic Compounds (VOCs/SVOCs), Total Recoverable Hydrocarbons (TRH), Benzene/Toluene/Ethylbenzene/Xylenes (BTEX), Polyfluorinated Alkyl Substances (PFAS), phenols and asbestos. All concentrations were below the adopted site criteria, with the exception of zinc at one location.

Given the development scenario, depth of the exceedance, and statistical analysis, the zinc exceedance is not considered to represent an ecological risk.

- Fifteen soil samples were submitted for analysis - six consisted of natural grey marine clay/sandy clay soils and nine of fill materials. Laboratory results indicate Potential Acid Sulfate Soils (PASS) conditions in all six natural samples and one fill sample.
- Analysis of selected samples of groundwater for a broad range of COPCs including heavy metals, PAHs, TRH/VOCs/SVOCs, PFAS, ferrous and ferric iron, methane, nutrients and pH, electrical conductivity, and total dissolved solids. All concentrations were below the adopted site criteria with the exception of some heavy metals and ammonia. Neither exceedance is considered to pose an ecological risk.
- Ten soil vapour locations were advanced within concrete hardstand across the site to supplement the soil intrusive investigation. All samples reported results below the laboratory Limit of Reporting (LOR).
- The site was categorised with a CS score of '1 – very low risk' with regards to ground gas assessment, whereby no specific gas protection measures are required.

The DSI confirms that the site can be made suitable for the proposed redevelopment of Harbourside, subject to implementation of a Remediation Action Plan (RAP) to address potential soil contamination.

#### 7.4.2 Remediation

Accordingly, a Remediation Action Plan was prepared by JBS&G and is provided at **Appendix P**. The RAP reviews known and potential contamination issues at the Harbourside site and sets out the remediation/management works required for the site to be suitable for the future uses which will be delivered in the redevelopment.

In summary, the RAP recommends that:

- An Acid Sulfate Soils Management Plan (ASSMP) be developed to manage identified PASS/ASS during construction and excavation activities. In light of this requirement, an ASSMP has been prepared by JBS&G and is appended to this EIS at **Appendix Q**. Following the implementation of the management measures prescribed in the ASSMP, the RAP and ASSMP confirm that ASS environmental risks will be suitably minimised and managed.
- A CEMP be prepared to document the monitoring and management measures required to control the environmental impacts of the works and ensure the validation protocols are being addressed. As noted above, a CEMP has been provided at **Appendix G**.
- A Work Health and Safety Management Plan (WHSP) be prepared to document the procedures to be followed to manage the risks posed to the health of the remediation workforce. This can be facilitated through a condition of consent.

The RAP confirms that, subject to the implementation of the measures outlined above, the site can be made suitable for mixed use retail, commercial and residential land uses (which will be separately sought under the future SSDAs). Therefore, the proposed works are supportable from a contamination and remediation perspective.

## 7.5 Heritage Impact

A Heritage and Archaeological Impact Statement has been prepared by Curio and is attached at **Appendix E**. With respects to heritage impacts, including on the Pyrmont Bridge, Darling Harbour Woodward Water Feature (both of which are State Heritage-listed), and SS South Steyne, the report confirms that:

- Being for bulk excavation purposes, the proposed works will not directly impact any significant heritage fabric or items in proximity to the site.
- Similarly, the works will have no discernible visual impact to nearby listed heritage items or the existing character of the area.
- Potential vibration impacts on nearby heritage listed items can be suitably managed in accordance with the Construction Noise and Vibration Management Plan (refer to **Appendix S**).

Therefore, the proposal has a neutral impact to surrounding heritage items and is supportable from a heritage perspective. Impacts of the future Harbourside building on nearby heritage items will be assessed in further detail as part of future SSDA(s).

### 7.5.1 Aboriginal Cultural Heritage

An Aboriginal Cultural Heritage Assessment Report (ACHAR) is attached to the Heritage and Archaeological Impact Statement at **Appendix E**. The ACHAR assesses the potential of the site to contain Aboriginal objects and heritage deposits. In summary, it was determined by Curio that:

- At the time of writing the ACHAR, no Aboriginal cultural or social values have been expressed as being connected to/associated with the site specifically.
- While the site is likely located right at the edge of what once would have been the original shoreline, land reclamation processes would have removed, covered, or disturbed all Aboriginal cultural deposits, if they were once present. In addition, it is likely that the majority of the study area would have been a swamp and estuarine environment that would not have been suitable for human occupation.
- Aboriginal archaeological deposits, should they be present, would most likely be either stone artefact sites, shell middens or a combination of both. In order for these archaeological deposits to be present they would require the retention of natural soil profiles in the area that would be extant from 1788. This is considered highly unlikely due to the nature of the industrial development along the western shoreline of Darling Harbour from the 1850s to the 1970s.
- The study area does not contain any previously registered Aboriginal sites, as per an AHIMS search.

As confirmed within the Heritage and Archaeological Impact Statement, consultation with eight Registered Aboriginal Parties (RAPs) begun in February 2022, with the RAPs being consulted throughout the preparation process of the ACHAR.

## 7.6 Archaeological Impacts

The Heritage and Archaeological Impact Statement prepared by Curio at **Appendix E** also assesses the potential archaeological impacts of the proposal, including with regards to both Aboriginal and non-Aboriginal archaeology. Supporting the Heritage and Archaeological Impact Statement are a number of documents and reports, including:

- Historical Archaeological Assessment 2016 prepared by Curio
- Test Excavation Archaeological Research Design and EM 2021 prepared by Curio
- Maritime Archaeology Assessment prepared by Cosmos Archaeology
- Final Test Excavation Report prepared by Curio
- Aboriginal Cultural Heritage Assessment Report prepared by Curio

The various aspects in respect of archaeology on the site are outlined below.

### 7.6.1 Aboriginal archaeology

An Aboriginal Cultural Heritage Assessment Report (ACHAR) prepared by Curio is provided at **Appendix E** and builds on the findings of the Aboriginal Due Diligence Assessment for the Harbourside study area prepared in 2016. The ACHAR documents the process of investigation, consultation, and assessment with regards to Aboriginal cultural heritage and Aboriginal archaeology specific to the proposed redevelopment of the site.

Curio has prepared the ACHAR in accordance with the relevant Heritage NSW guidelines, including consultation with eight project Registered Aboriginal Parties (RAPs). Based on the work undertaken, it is determined in the ACHAR that there is a low to nil potential for intact natural soil profiles to be present within the study area, resulting in a low to no potential for in-situ Aboriginal archaeological deposits. Furthermore, there is a low to no potential for Aboriginal archaeological deposits such as stone artefacts or shell middens to be located at the study area in a disturbed context, in areas near the original shoreline.

Despite this, should any deposits be found to be present, these may have potential for moderate to high social, historical and scientific significance. Therefore, Curio has recommended that an Unexpected Finds Procedure to be enacted for all works within the Project area. Curio has also suggested that opportunities for Aboriginal Heritage Interpretation are identified to facilitate a long-term conservation outcome for Aboriginal cultural heritage values (tangible and intangible) within the proposed development, beneficial to the development, the project RAPs and the wider local Aboriginal community.

### 7.6.2 Non-Aboriginal archaeology

In response to Condition 28 of the SSD 7874 FEARs (refer to **Section 5.5**), an Archaeological Research Design and Excavation Methodology (ARDEM) for test excavations was lodged with Heritage NSW in February 2022 and has been conditionally approved. This has guided archaeological test excavations which were undertaken in May and June 2022, with six test trenches excavated.

The Final Test Excavation Report prepared by Curio documents the findings of these test excavations (refer to **Appendix E**). Several trenches exposed evidence of the 1880s reclamations in this area of Darling Harbour. Other trenches identified former shoreline, remains of the Atlas Engineering Works and prior historical occupation of the foreshore. Two trenches were unable to be excavated due to the ongoing operation of the shopping centre and pedestrian traffic associated with the Vivid festival. Remains of the boat slip and jetty associated with Newstead House were not exposed as their presence were likely to be in the trenches planned, but unable to be excavated.

The Final Test Excavation Report concludes that the site has demonstrated archaeological potential from the 1840s/50s (occupation of the rock platform below Newstead House) onwards, and includes potential remains of the Atlas Engineering works (1875-1885) and later railway use. Considering this potential, the assessed level of significance of the archaeological remains has been defined by Curio as follows:

- Rock platform below Newstead House – Local Significance;
- Atlas Engineering works – Local Significance;
- Reclamation – Negligible Significance;

- Railway period occupation – No or negligible Significance; and,
- Darling Harbour construction - No or negligible Significance.

Overall, Curio has confirmed that none of the identified archaeological remains meet the threshold for State Significance, but they are of Local Significance. The nature of the available evidence for the identified archaeological remains further indicates they do not warrant in-situ conservation. In light of these findings, a number of recommendations are provided below.

### Maritime Archaeology

Cosmos Archaeology has also undertaken a Maritime Archaeology Assessment, investigating the potential for maritime archaeology on the site (refer to **Appendix E**). The proposed bulk excavation works will only have the potential to impact maritime archaeological resources within what is now reclaimed land.

Cosmos Archaeology undertook a number of on-site investigations, and have documented their findings in the Maritime Archaeology Assessment. Based on these findings, Cosmos have determined that potential historic maritime archaeological remains include wharves and related material and seawalls, in and under reclamation fill. These remains have been deemed to be of Local Significance. Given the nature of the proposed bulk excavation works, there are anticipated to be impacts to this maritime archaeological material, and as such, Cosmos Archaeology has recommended a number of mitigation measures as detailed further below.

### 7.6.3 Mitigation Measures

Based on the archaeological test excavations, the following mitigation measures have been recommended:

#### Aboriginal Archaeology

- An unexpected finds protocol is to be implemented during the proposed bulk excavation.
- In the unlikely event that Aboriginal objects are encountered during the non-Aboriginal archaeological open area excavation program, work would cease in the immediate vicinity of the find and as under s89A of the NPW Act, reported to Heritage NSW. Management of unexpected Aboriginal objects encountered during the test excavation program has been addressed in the 2022 ACHAR prepared by Curio. The management of any potential Aboriginal objects, including options ranging from in situ retention, interpretation or excavation will be discussed and agreed with the RAPs for the project and will be included in the updated archaeological impact statement proposed to be prepared and submitted, once all excavation works are completed.

#### Non-Aboriginal Archaeology

- An addendum to the existing Archaeological Research Design (ARD) should be completed to guide the following proposed archaeological program.
- The ARD addendum should be completed in conjunction with a maritime archaeologist to ensure that any remains associated with maritime activities are properly considered in the proposed archaeological program.
- An open area excavation program should be undertaken on the site of the Atlas engineering works, based on information provided in the ARD addendum, to further investigate the site and record any significant features and deposits associated with that establishment and the pre-foundry occupation of the rock platform below Newstead House.
- This excavation program can be undertaken in conjunction with the bulk excavation works.
- Further investigation of the area of the boat slip and jetty should be undertaken in conjunction with the bulk excavation works and, if it is present, an archaeological recording program should be undertaken prior to its removal.
- All archaeological works outlined in the ARD addendum should be programmed into the development works to ensure adequate time is available for salvage excavations etc. as required.
- The Interpretation Plan for the site should incorporate significant results from the archaeological program.

## Maritime Archaeology

- Archaeological excavation of the potential maritime infrastructure associated with Newstead House should take place during the construction phase when the basement footprint would be gradually dewatered.
- Archaeological sampling across the former seabed focusing on the vicinity of the potential maritime infrastructure associated with Newstead House. Around 24 sqm (7.5% of former seabed within the basement footprint) to be excavated manually and/or mechanically when the former seabed is exposed.
- Maritime archaeological monitoring during bulk excavation.

With the implementation of the above mitigation measures, Curio has confirmed that the proposed works are acceptable from an archaeological perspective.

## 7.7 Flood Impact

A Flood Statement has been prepared by Stantec and is provided at **Appendix W**. Analysis of the existing site (including for both the 1-in-100 year and Probable Maximum Flood (PMF) scenarios) suggests that the erection of hoarding around the site is expected to generate minor temporary increased levels of flooding under the Darling Drive overpass during the proposed short term construction works, with this diversion unlikely to impact any neighbouring properties or infrastructure or require the implementation of additional mitigation measures.

It has been determined by Stantec that it is highly unlikely that the hoarding would increase flooding to a point that there are material impacts on the operation of the Inner West Light Rail. As such, no further mitigation measures are required.

## 7.8 Stormwater

A Stormwater and Infrastructure Report has been prepared by AT&L at **Appendix U**. The report sets out details of stormwater control and management measures to be implemented at the construction site. The report is supported by civil engineering documentation, including an Erosion and Sediment Control Plan, which has been prepared and is attached at Appendix D to the Construction Environmental Management Plan (CEMP) at **Appendix G**.

The report confirms that the following construction measures will be implemented to minimise stormwater runoff and sedimentation:

- Diversion of “clean” water away from the disturbed areas and discharge via suitable scour protection.
- Diversion of sediment-laden water into temporary sediment control basins to capture the design storm volume and undertake flocculation (if required).
- Provision of construction traffic shaker grids and wash-down to prevent vehicles carrying soils beyond the site.
- Provision of silt fences to filter and retain sediments at source.
- The rapid stabilisation of disturbed and exposed ground surfaces with hydro-seeding where future construction and building works are not proposed.

The report confirms that the stormwater and erosion control measures comply with the relevant Council and Department of Environment, Climate Change and Water guidelines, and are supportable from a stormwater perspective.

## 7.9 Noise and Vibration

A Construction Noise and Vibration Management Plan (CNVMP) has been prepared by Acoustic Logic and is provided at **Appendix S**. The CNVMP sets out expected noise and vibration impacts of the proposed bulk excavation and retaining structure works and provides mitigation measures as required.

The CNVMP notes that noise exceedances to the City of Sydney Code of Practice for Construction Hours/Noise may occur at the closest surrounding sensitive receivers. Accordingly, detailed ameliorative measures (both site-specific and in general) have been provided at Section 8 of the CNVMP (refer to **Appendix S**). The CNVMP confirms that following implementation of the nominated measures, noise impacts of the proposal will be effectively minimised.

The CNVMP notes that excavation work and piling have the potential to generate vibration impacts. The primary vibration source will be usage of rock hammer. Vibration monitoring will be undertaken during the excavation works to ensure that impacts to surrounding receivers are effectively managed. Vibration monitors will have SMS notification capability to immediately notify contractors once vibration levels are reached.

The CNVMP also sets out proposed community interaction and complaints handling processes with regards to noise and vibration at Section 11 of the CNVMP (refer to **Appendix S**). Prior to the commencement of each month neighbouring receivers will be notified of anticipated works and the potential noise and vibration generation from the construction activity. In the event of noise complaints, the complaint is to be recorded on a Noise Complaint Form, of which a permanent register of complaints will be held. All complaints will be fully investigated and reported to management, and the complainant notified of results and actions arising from the investigation.

### 7.10 Structural

A Structural Statement has been prepared by Enstruct and is provided at **Appendix T**. The report confirms that the proposal has been reviewed by a qualified and competent person listed in the National Engineers Register and has been found to be in accordance with normal engineering practice, the requirements of the National Construction Code 2019, and the relevant Australian Standards.

In particular, Enstruct has confirmed that the proposed design is in accordance with the following:

- AS/NZS 1170.0-2002 (R2016) – Structural Design Actions Part 0 General Principles.
- AS/NZS 1170.1-2002 (R2016) – Structural Design Actions Part 1 Permanent, Imposed and Other Actions.
- AS/NZS 1170.2-2021– Structural Design Actions Part 2 Wind Loads.
- AS 1170.4-2007 (R2018) – Structural Design Actions Part 4 Earthquake Actions in Australia.
- AS2159-2009 – Piling Design and Installation.
- AS3600-2018 – Concrete Structures.
- AS4678-2002 – Earth-Retaining Structures.

Therefore, the proposal is supportable from a structural perspective.

### 7.11 Geotechnical Impact

A Geotechnical Statement has been prepared by Douglas Partners and is provided at **Appendix F**. The Geotechnical Statement provides an overview of the existing geotechnical conditions of the site, and provides an assessment of the proposed works in this context. The site's geotechnical profile is summarised at **Section 2.8** of this EIS.

The Geotechnical Statement confirms that the Harbourside site is suitable for the proposed works and is therefore supportable from a geotechnical perspective.

### 7.12 Cost of Works

The Quantity Surveyor's Report at **Appendix J** confirms the project's CIV to be \$66,700,000.

### 7.13 Ecologically Sustainable Development

The EP&A Regulation lists four principles of ecologically sustainable development to be considered in assessing a project, including:

- The precautionary principle.
- Intergenerational equity.
- Conservation of biological diversity and ecological integrity.

- Improved valuation and pricing of environmental resources.

An analysis of these principles follows.

### **Precautionary Principle**

The precautionary principle is utilised when uncertainty exists about potential environmental impacts. It provides that if there are threats of serious or irreversible environmental damage, lack of full scientific certainty should not be used as a reason for postponing measures to prevent environmental degradation. The precautionary principle requires careful evaluation of potential environmental impacts in order to avoid, wherever practicable, serious or irreversible damage to the environment.

This EIS has not identified any serious threat of irreversible damage to the environment and therefore the precautionary principle is not relevant to the proposal.

### **Intergenerational Equity**

Inter-generational equity is concerned with ensuring that the health, diversity and productivity of the environment are maintained or enhanced for the benefit of future generations. The proposed bulk earthworks and retaining structure works represent the first stage in the detailed design and construction of the redeveloped Harbourside building, which will deliver key quality retail, commercial and residential floorspace to the benefit of existing and future generations.

The proposal is for construction works that are short term and temporary in nature, and assessment of the proposed works has not identified any long term environmental issues that would implicate future generations.

### **Conservation of biological diversity and ecological integrity**

The principle of biological diversity upholds that the conservation of biological diversity and ecological integrity should be a fundamental consideration. The proposal will not have any significant effect on the biological diversity and ecological integrity of the study area.

### **Improved valuation, pricing and incentive mechanisms**

The principles of improved valuation and pricing of environmental resources requires consideration of all environmental resources which may be affected by a proposal, including air, water, land and living things. Mitigation measures for avoiding, reusing, recycling and managing waste during construction and operation would be implemented to ensure resources are used responsibly in the first instance. Additional measures will be implemented to ensure no environmental resources in the locality are adversely impacted during the construction or operational phases.

## **7.14 Infrastructure and Utilities**

The Stormwater and Infrastructure Report by AT&L at **Appendix U** also confirms that existing utilities within the proposed basement excavation footprint will have been decommissioned under the SSD 7874 Stage 1 demolition works, and therefore the proposal will not impact on existing utilities at the site.

The Construction Noise and Vibration Management Plan prepared by Acoustic Logic also addresses potential impacts to the Sydney Trains/Light Rail infrastructure (refer to **Appendix S**). Specifically, the Construction Noise and Vibration Management Plan confirms that a maximum/stop work peak particle velocity (PPV) vibration level of 15mm/s is considered acceptable to protect the light rail infrastructure. This level will be monitored throughout works to ensure no impact to the existing Sydney Trains/Light Rail infrastructure.

## **7.15 Site Suitability**

The proposed works are suitable for the Harbourside site, particularly in the context of the statutory framework which includes the Stage 1 Concept Approval that anticipates a mixed use development being provided on the site. The assessment of the project as outlined above has demonstrated that the bulk excavation and retaining structure works sought for approval under this SSDA will not generate adverse environmental impacts. These early construction works are critical to the timely delivery of the future mixed use building as envisioned under the Stage 1 Concept Approval, including all the objectives and public benefits identified by the project.

## 7.16 Public Interest

The proposed bulk excavation and retaining structures sought for approval in this SSDA are in the public interest as they are a necessary component in delivering the substantive public benefits envisioned for the broader Harbourside Shopping Centre redevelopment project, which include the following:

- providing new and improved retail (e.g. food and beverage) offerings that will attract visitors and contribute to their positive experience and appreciation of Darling Harbour;
- providing significantly improved and enlarged public domain (approximately 10,200m<sup>2</sup>), ensuring Sydney's most valued natural asset (its waterfront harbour) continues to be enjoyed and celebrated;
- providing for the widening of the waterfront promenade (with a total area of 4,800m<sup>2</sup>, a net increase of 474m<sup>2</sup> above existing) and embellishments to provide much improved connectivity and waterfront experience for the public;
- providing a public plaza and open space (new 3,500m<sup>2</sup> Guardian Square) adjacent to Pyrmont Bridge, basked in northern sun and providing new public viewing opportunities of the harbour, Pyrmont Bridge and the CBD skyline;
- providing significantly improved pedestrian connectivity to the waterfront (through provision of a new Central through-site link and new pedestrian bridge) that will allow the broader Pyrmont community, city workers and tourists to enjoy the benefits of Sydney's waterfront more easily and directly, and by extension the CBD;
- supporting the creation of commercial floor space to support the media, arts and tech jobs desired for the Innovation Corridor;
- delivering much needed jobs and employment prospects;
- supporting additional affordable housing through provision of a monetary contribution;
- enabling the orderly and economic development of the site, involving the replacement of a tired and no longer fit for purpose building with a modern development that will exhibit the highest standard of architecture, urban, and landscape design; and
- completion of the Darling Harbour 'cultural ribbon', forming one of the final pieces of the \$15 billion rejuvenation and transformation of Darling Harbour.

Importantly, the proposed works sought for approval under this SSDA will not have any adverse environmental impacts that cannot be mitigated and managed through the short construction period, ensuring the public interest is maintained.

## 8.0 Mitigation Measures

The measures required to mitigate the impacts associated with the proposed works sought for approval are detailed in **Table 12**. This section compliments the discussion of environmental impacts in **Section 7** and those detailed in the appended consultants' reports.

**Table 12 Mitigation measures**

| Mitigation Measures                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>Detailed Design</b></p> <ul style="list-style-type: none"> <li>All proposed structures will be designed and constructed in accordance with the requirements of the <i>National Construction Code 2019</i> and relevant Australian Standards.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| <p><b>Construction Management and Construction Traffic Management</b></p> <ul style="list-style-type: none"> <li>The Construction Environmental Management Plan prepared by Mirvac (<b>Appendix G</b>) is to be submitted to the Principal Certifying Authority prior to the commencement of construction works. Potential construction impacts are to be managed in accordance with the CEMP at all times.</li> <li>Air quality and odour control measures are to be managed and mitigated in accordance with the CEMP.</li> <li>A detailed Construction, Pedestrian and Traffic Management Plan (CPTMP) is to be submitted to the Principal Certifying Authority prior to the commencement of works, with reference to the preliminary CPTMP prepared by PTC (<b>Appendix N</b>). Traffic and pedestrian impacts during construction are to be managed in accordance with the CPTMP.</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| <p><b>Contamination and Remediation</b></p> <ul style="list-style-type: none"> <li>The remediation measures, site validation requirements, and recommendations provided within the Remediation Action Plan prepared by JBS&amp;G must be implemented (<b>Appendix P</b>).</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| <p><b>Archaeology</b></p> <p><u>Aboriginal Archaeology</u></p> <ul style="list-style-type: none"> <li>An unexpected finds protocol is to be implemented during the proposed bulk excavation.</li> <li>In the unlikely event that Aboriginal objects are encountered during the non-Aboriginal archaeological open area excavation program, work would cease in the immediate vicinity of the find and as under s89A of the NPW Act, reported to Heritage NSW. Management of unexpected Aboriginal objects encountered during the test excavation program has been addressed in the 2022 ACHAR prepared by Curio. The management of any potential Aboriginal objects, including options ranging from in situ retention, interpretation or excavation will be discussed and agreed with the RAPs for the project and will be included in the updated archaeological impact statement proposed to be prepared and submitted, once all excavation works are completed.</li> </ul> <p><u>Non-Aboriginal Archaeology</u></p> <ul style="list-style-type: none"> <li>An addendum to the existing Archaeological Research Design (ARD) should be completed to guide the following proposed archaeological program.</li> <li>The ARD addendum should be completed in conjunction with a maritime archaeologist to ensure that any remains associated with maritime activities are properly considered in the proposed archaeological program.</li> <li>An open area excavation program should be undertaken on the site of the Atlas engineering works, based on information provided in the ARD addendum, to further investigate the site and record any significant features and deposits associated with that establishment and the pre-foundry occupation of the rock platform below Newstead House.</li> <li>This excavation program can be undertaken in conjunction with the bulk excavation works.</li> <li>Further investigation of the area of the boat slip and jetty should be undertaken in conjunction with the bulk excavation works and, if it is present, an archaeological recording program should be undertaken prior to its removal.</li> <li>All archaeological works outlined in the ARD addendum should be programmed into the development works to ensure adequate time is available for salvage excavations etc. as required.</li> <li>The Interpretation Plan for the site should incorporate significant results from the archaeological program.</li> </ul> <p><u>Maritime Archaeology</u></p> <ul style="list-style-type: none"> <li>Archaeological excavation of the potential maritime infrastructure associated with Newstead House should take place during the construction phase when the basement footprint would be gradually dewatered.</li> <li>Archaeological sampling across the former seabed focusing on the vicinity of the potential maritime infrastructure associated with Newstead House. Around 24 sqm (7.5% of former seabed within the basement footprint) to be excavated manually and/or mechanically when the former seabed is exposed.</li> <li>Maritime archaeological monitoring during bulk excavation.</li> </ul> |

## Mitigation Measures

### Stormwater Impact

- Stormwater controls and management measures are to be implemented in accordance with the Erosion and Sediment Control Plan appended to the Construction Environmental Management Plan prepared by Mirvac (**Appendix G**).

### Noise and Vibration

- Construction noise and vibration impacts are to be managed accordance with the Construction Environmental Management Plan, and the Construction Noise and Vibration Management Plan (CNVMP) prepared by Acoustic Logic (**Appendix S**).
- Acoustic and vibration impacts are to be managed in accordance with the ameliorative measures and mitigation measures provided within the CNVMP to the maximum extent practicable. A maximum/stop work PPV vibration level of 15mm/s is acceptable to protect the light rail infrastructure
- Community interaction and complaints handling processes with regards to noise and vibration shall be undertaken in accordance with the recommendations of the CNVMP.

### Waste Generation and Management

- Waste management during construction is to be carried out in accordance with the CEMP (**Appendix G**), and the Construction Waste Management Plan at Appendix E of the CEMP.

## 9.0 Project Justification and Conclusion

This EIS has been prepared to consider the environmental, social, and economic impacts of the proposed development, being that of the following works:

- demolition of the ground floor slab of the existing building;
- bulk earthworks to excavate the basement for the future Harbourside Shopping Centre building;
- construction of retaining structures for the excavated site; and
- construction of the raft slab for the future residential tower core.

The proposal has strong strategic merit and contributes to the delivery of many of the strategic aims stipulated for the local and regional context of the site. **Section 3.0** of the EIS demonstrates that the project is consistent with the relevant strategic planning framework and guidelines, including the Greater Sydney Region Plan, Eastern City District Plan, City of Sydney Local Strategic Planning Statement, and Pyrmont Peninsula Place Strategy.

The existing Harbourside shopping centre building is now in decline. It does not integrate well with its surrounding waterfront or surroundings in Darling Harbour and beyond, and a combination of the centre's age, its redeveloped surroundings and impacts of the COVID-19 pandemic on tourist numbers has rendered it largely derelict and in urgent need of renewal. Redevelopment of the site is critical in ensuring that Harbourside remains a world-class tourist, dining, and entertainment precinct now and into the future. Within this context, the existing Harbourside shopping centre building has been approved for demolition under the Stage 1 Concept Approval. The subject works sought under this SSDA continue the demolition and early works phase of construction to facilitate the holistic redevelopment of the site.

Section 5 of this EIS has demonstrated that the project is consistent with the relevant statutory planning framework, including the Planning Systems SEPP, Eastern Precincts SEPP, and other applicable SEPPs. The proposed works are permissible with consent as being incidental and subsidiary in facilitating the future built form on the site, which will involve retail, commercial and residential land uses, all of which are permissible and consistent with the existing and future character of Darling Harbour.

Section 7 of this report has analysed the environmental impacts of this proposal, including with regards to contamination, heritage, archaeology, flooding, stormwater, noise and vibration, geotechnical conditions, infrastructure and utilities, and structural integrity, with further detail and assessment provided in specialist consultant reports appended to this EIS (refer to Table of Contents). In doing so, the EIS has confirmed that the proposed development will not give rise to unacceptable environmental impacts and is supportable from a planning perspective.

The proposed works have been found to be suitable for the site and in the public interest. The proposed bulk excavation and retaining structure works are a necessary component in delivering the substantive public benefits envisioned for the Harbourside Shopping Centre redevelopment project, including that of the following:

- Providing new and improved retail (e.g. food and beverage) offerings that will attract visitors and contribute to their positive experience and appreciation of Darling Harbour.
- Providing significantly improved and enlarged public domain (approximately 10,200m<sup>2</sup>), ensuring Sydney's most valued natural asset (its waterfront harbour) continues to be enjoyed and celebrated.
- Providing for the widening of the waterfront promenade (with a total area of 4,800m<sup>2</sup>, a net increase of 474m<sup>2</sup> above existing) and embellishments to provide much improved connectivity and waterfront experience for the public.
- Providing a public plaza and open space (the new 3,500m<sup>2</sup> Guardian Square) adjacent to Pyrmont Bridge, basked in northern sun and providing new public viewing opportunities of the harbour, Pyrmont Bridge and the CBD skyline.
- Providing significantly improved pedestrian connectivity to the waterfront (through provision of a new Central through-site link and new pedestrian bridge) that will allow the broader Pyrmont community, city workers and tourists to enjoy the benefits of Sydney's waterfront more easily and directly, and by extension the CBD.

- Supporting the creation of commercial floor space to support the media, arts and tech jobs desired for the Innovation Corridor.
- Delivering much needed jobs and employment prospects.
- Supporting additional affordable housing through provision of a monetary contribution.
- Enabling the orderly and economic development of the site, involving the replacement of a tired and no longer fit for purpose building with a modern development that will exhibit the highest standard of architecture, urban, and landscape design.
- Completion of the Darling Harbour ‘cultural ribbon’, forming one of the final pieces of the \$15 billion rejuvenation and transformation of Darling Harbour.

Therefore, given the merits of the proposal and the absence of adverse environmental impacts, it is recommended that this SSDA be approved subject to standard conditions of consent.