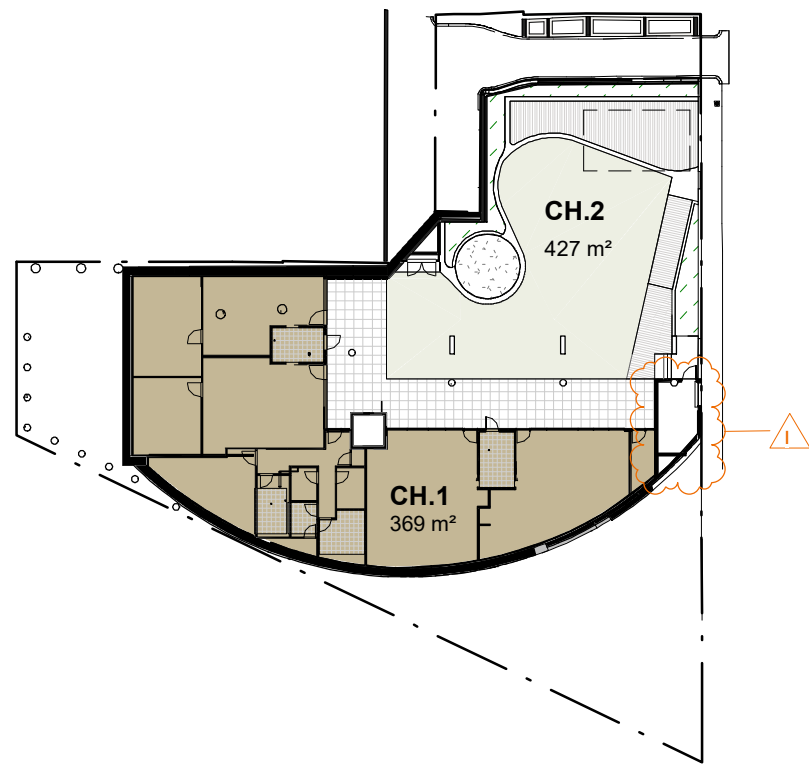
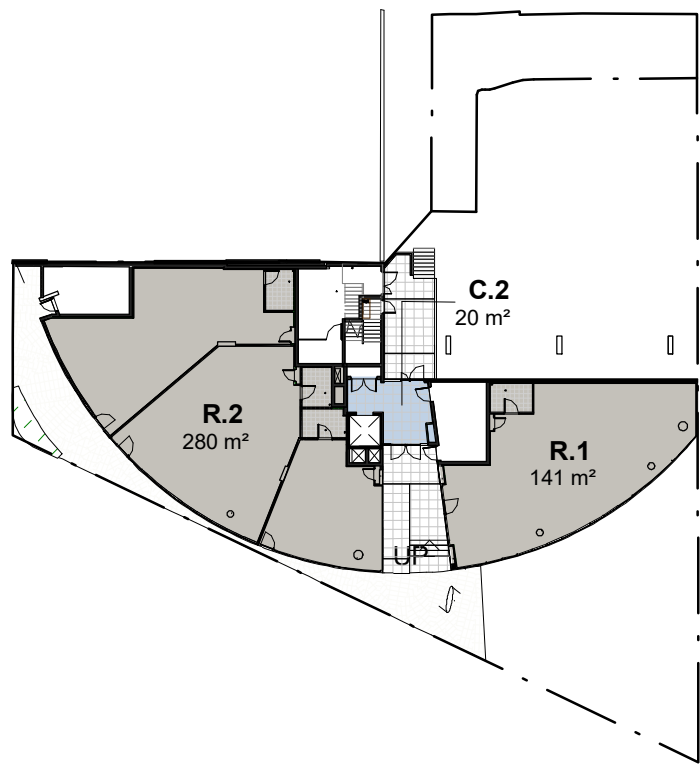
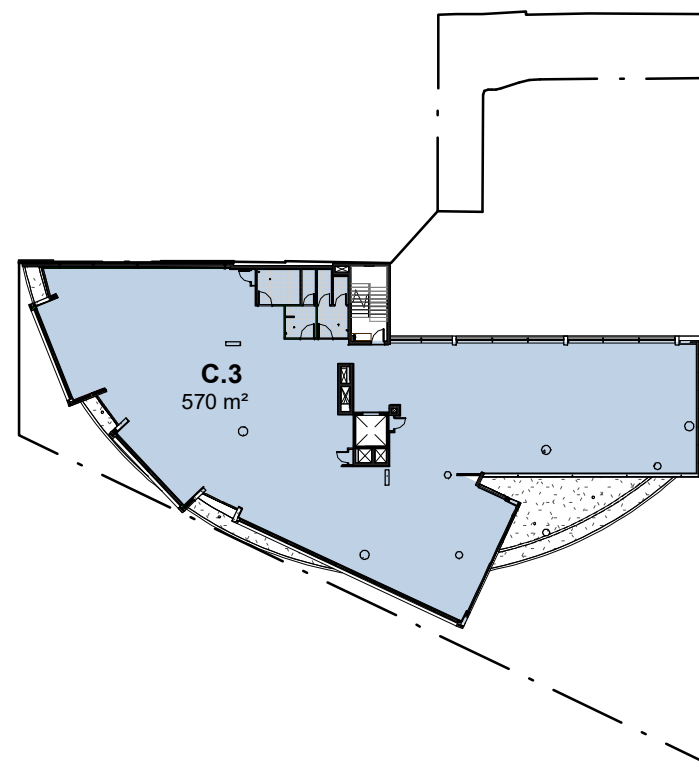




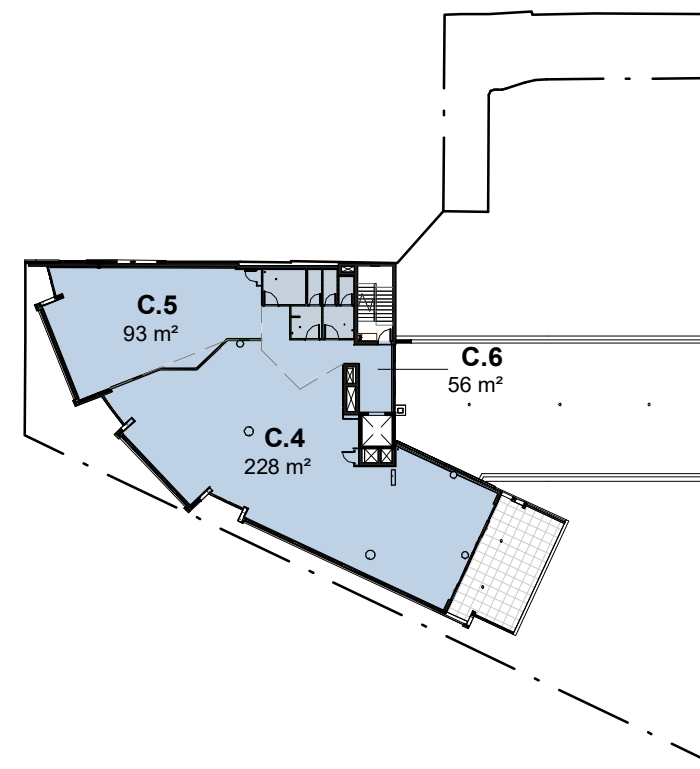
1.1 GFA Level 1 - Lower Level
1 : 500



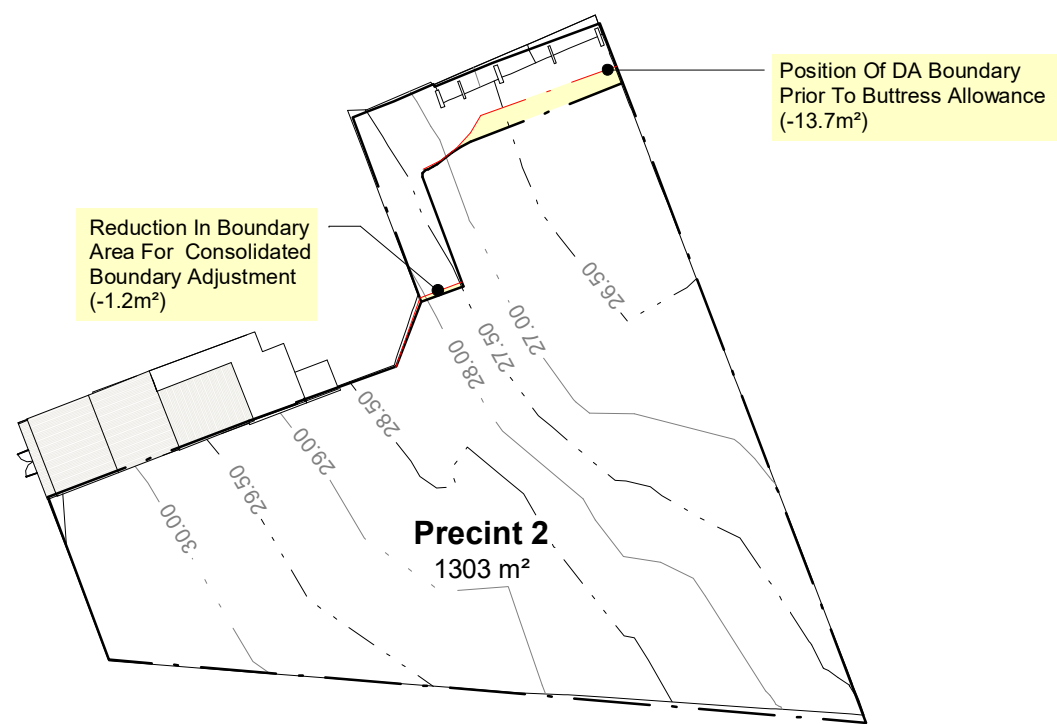
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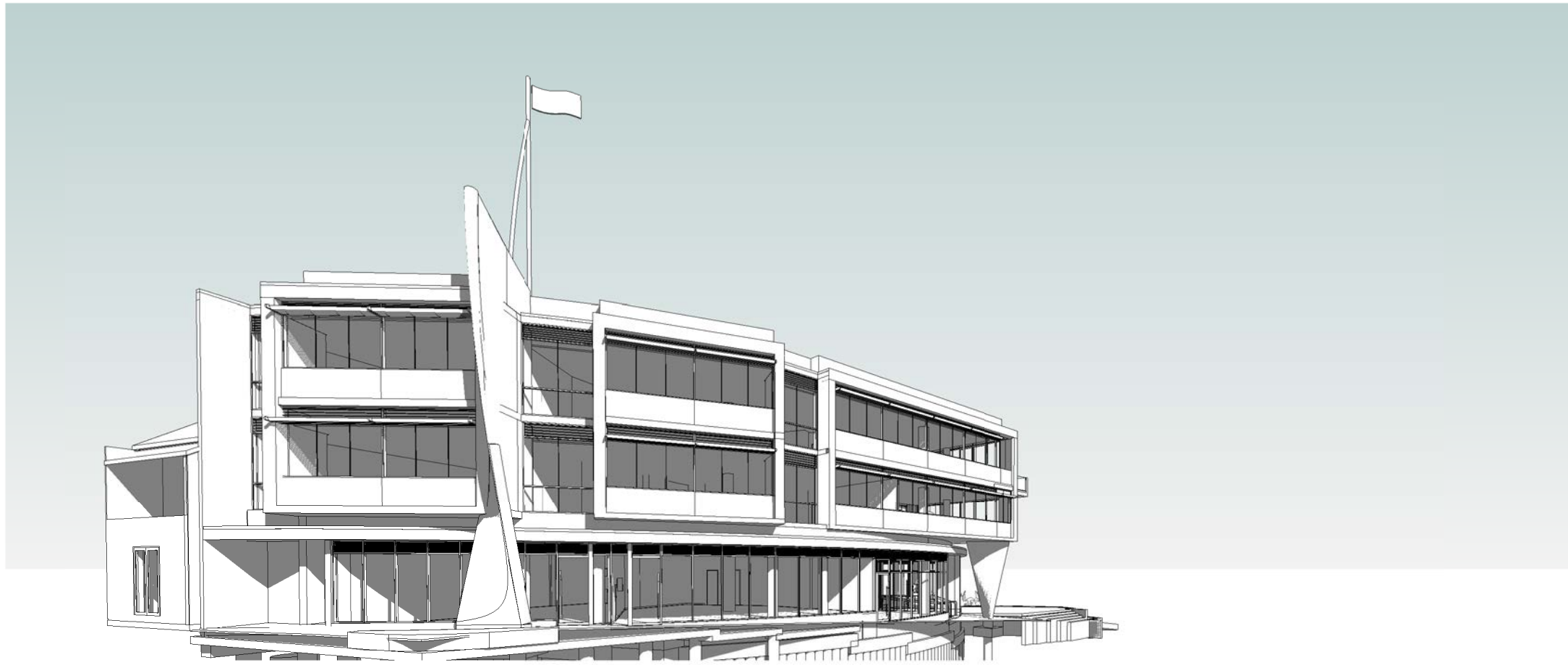
1.3 GFA Level 2
1 : 500



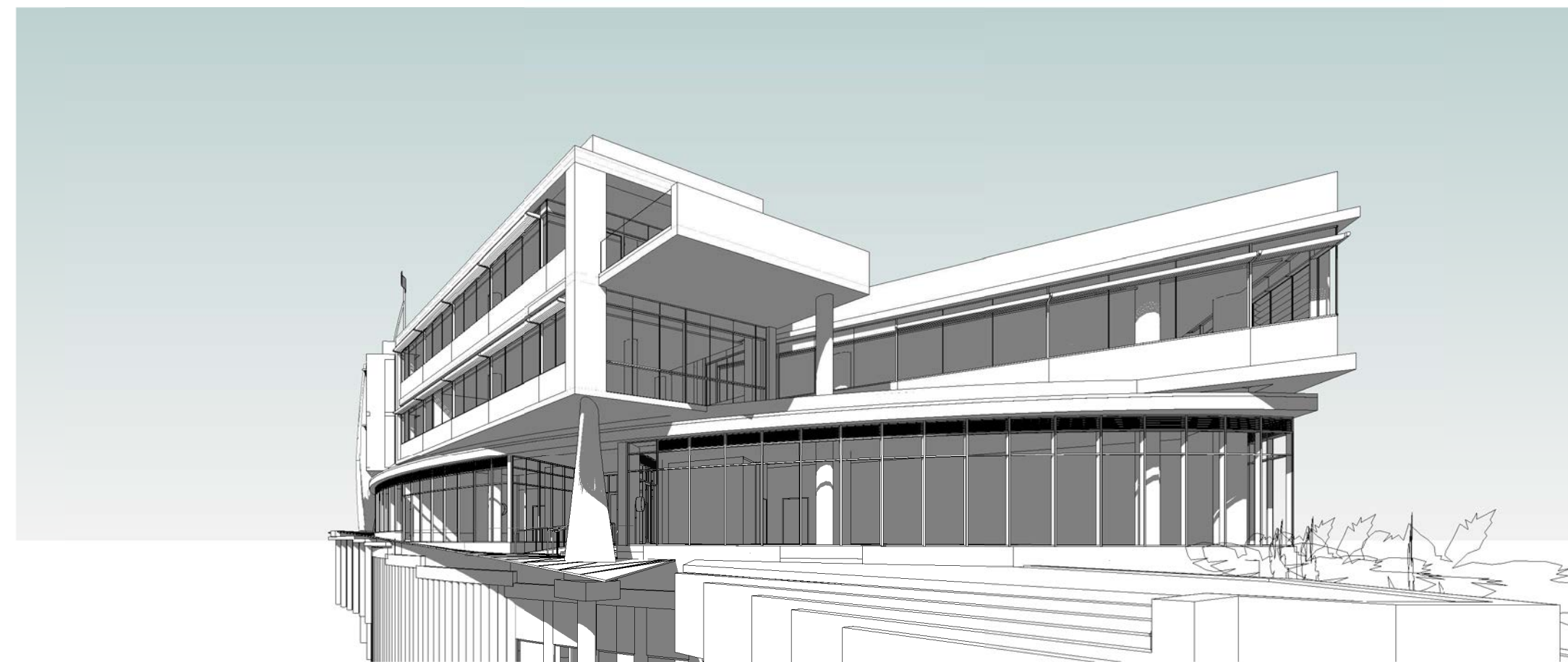
1.4 GFA Level 3
1 : 500



2 Site Area
1 : 500



A Perspective View
View Looking North Towards Eveleigh Street From Lawson Street



B Perspective View
View Looking South Towards Lawson Street

SITE ANALYSIS

Site Area	1303m²
FSR	
Maximum FSR	1.5:1
Maximum Residential FSR	0.75:1

Level	Approved GFA	Proposed GFA
Level 1 Lower	365	369
Level 1 Upper	500	441
Level 2	575	570
Level 3	380	377
	1820m²	1757m² Total
Retail / Commercial	1215m²	1100m²
Child Care	365m²	369m²
AHC Office	240m²	228m²
Total Site GFA	1820m²	1757m²
Proposed Residential FSR	Nil	
Proposed Maximum FSR	1.4:1	1.35:1

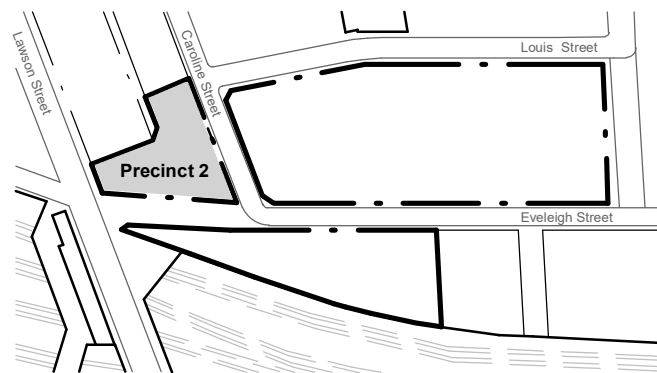
Standard Instrument—Principal Local Environmental Plan
Current version for 30 April 2010 to date

gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes:

- (a) the area of a mezzanine, and
- (b) habitable rooms in a basement or an attic, and
- (c) any shop, auditorium, cinema, and the like, in a basement or attic,

but excludes:

- (d) any area for common vertical circulation, such as lifts and stairs, and
- (e) any basement
- (i) storage, and
- (ii) vehicular access, loading areas, garbage and services, and
- (f) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
- (g) car parking to meet any requirements of the consent authority (including access to that car parking), and
- (h) any space used for the loading or unloading of goods (including access to it), and
- (i) terraces and balconies with outer walls less than 1.4 metres high, and
- (j) voids above a floor at the level of a storey or storey above.

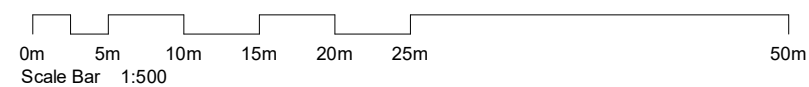


Development Application

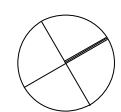
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B	Preliminary DA Issue For Review	11.07.11
C	Preliminary DA Issue For Review	20.07.11
D	Preliminary Environmental Assessment Issue (PEA)	28.07.11
E	Development Application Issue	14.12.11
F	Dep Amendments	24.08.12
G	DA Modifications Issued For Approval	08.04.20
H	DA Modification Set Issued For Approval	30.04.20
I	Updates For Current S4.55 Mod	29.06.20

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Precinct 2 - Pemulwuy Mixed Use Development, REDFERN



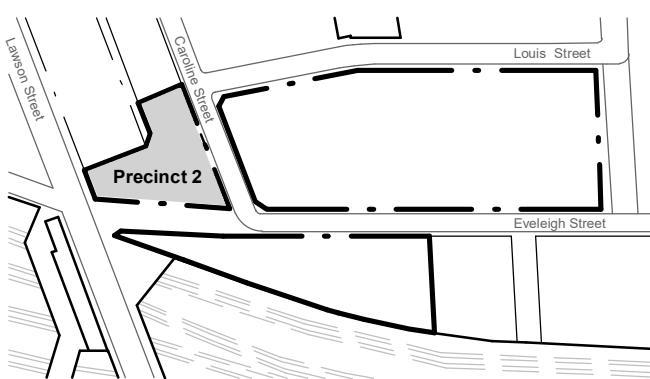
TITLE



Precinct 2 Perspectives & Site Analysis

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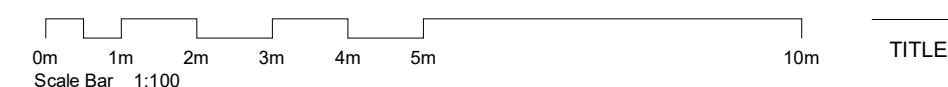
JOB No.	DEI00210
DATE	June 2010
SCALE	A1 @ As indicated
DWG No.	2DA005 I



Development Application

NOT For Construction

Rev	Description	Date
C	Preliminary DA Issue For Review	20.07.11
D	Development Application Issue	14.12.11
E	Dop Amendments	24.08.12
F	DA Modifications Issued For Approval	08.04.20
G	DA Modifications Highlighted & Schedule Added	20.04.20
H	DA Modification Set Issued For Approval	30.04.20
I	DA Modification Additional Information On Childcare Areas and Servicing	12.05.20
J	Updates For Current S4.55 Mod	29.06.20

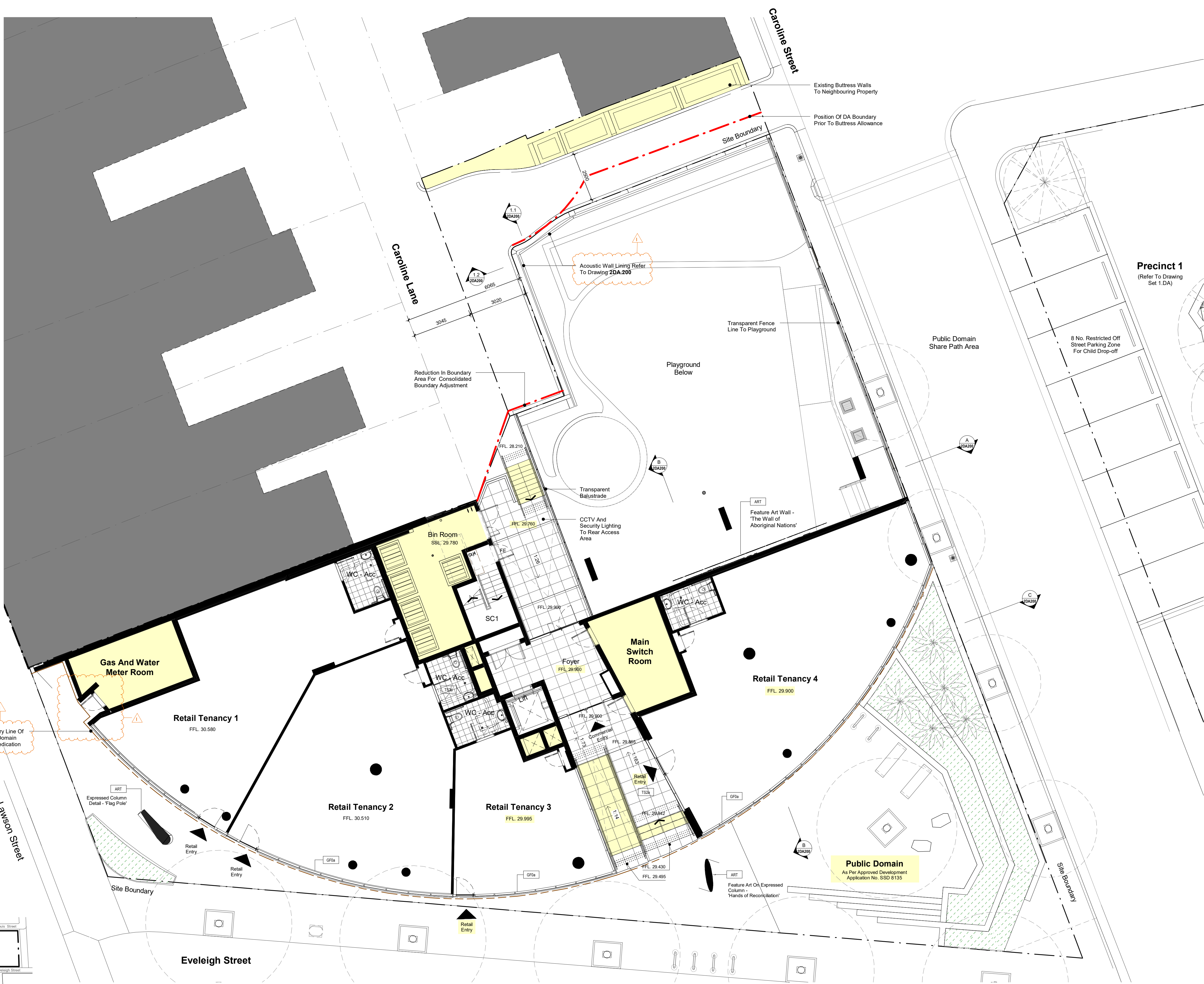


Level 1 Plan

Precinct 2 - Pemulwuy Mixed Use Development, REDFERN

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JOB No.	DE100210
DATE	June 2010
SCALE	A1 @ As indicated
DWG No.	2DA100 J



Modification Notes

Areas Modified From DA Approved Layout

Outline Of DA Approved Layout Where Modified

- Schedule Of Modifications**
- Boundary definition to Caroline Lane adjusted to accommodate retention of existing buttress walls to adjoining property.
 - Main switch room and gas / water meter rooms added to retail level.
 - Public domain works updated to be in line with current approval for Precinct 3 (Note: Detail public domain works being reviewed by Council under separate application consent condition)
 - Finish floor level of retail units 1 and 2 adjusted to maintain required clearances to childcare level below - Retail entry locations updated
 - DDA access ramp added to entry foyer to accommodate raised floor level.
 - Commercial / Retail bin room resized to be in line with SoC current waste management standards.

General Notes:

Architectural Drawings To Be Read In Conjunction With All Other Consultants Detailed Drawings, Reports And Specifications.

All Levels Indicated Taken To Australian Height Datum (AHD)

Refer To 0DA900 For Abbreviation Schedule And Proposed Outline Colour Selections And Finishes Selections.

Site Underlay Based On Survey Carried Out By Denny Linker For Previous Application And Subsequent Survey Work Carried Out By Daw & Walton Consulting Surveyors - Refer To Drawing 302808.

Development Application

NOT For Construction

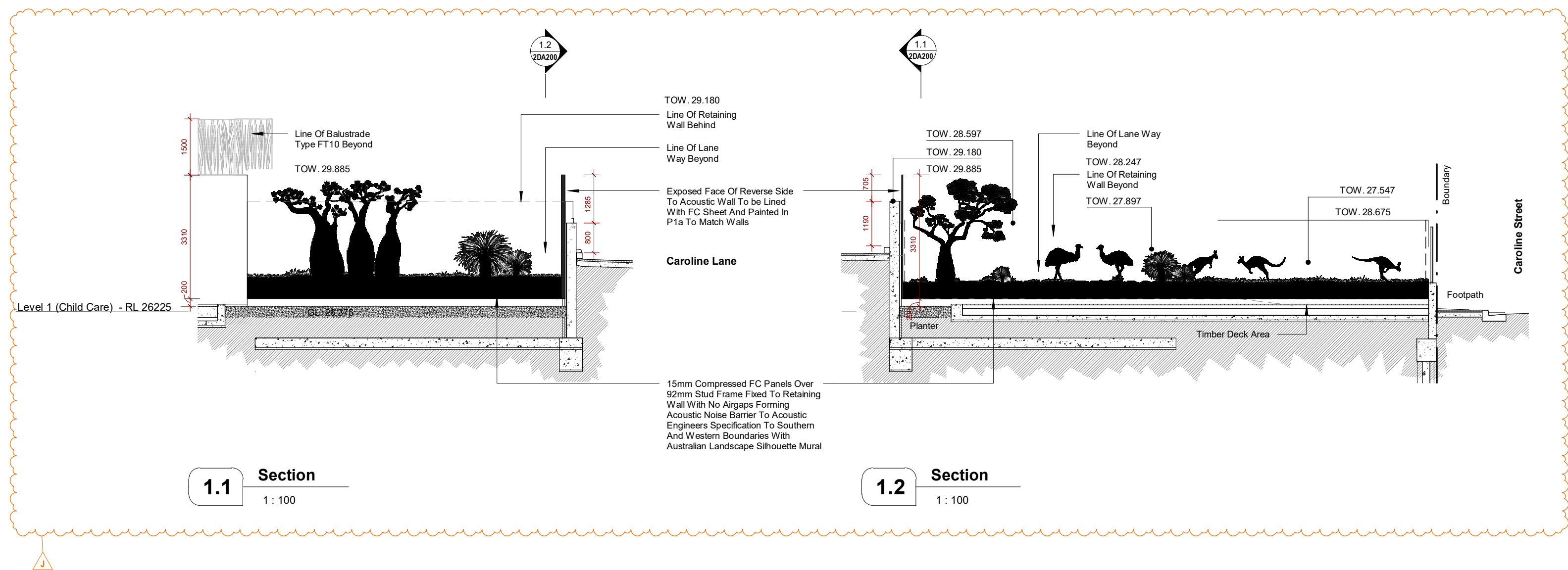
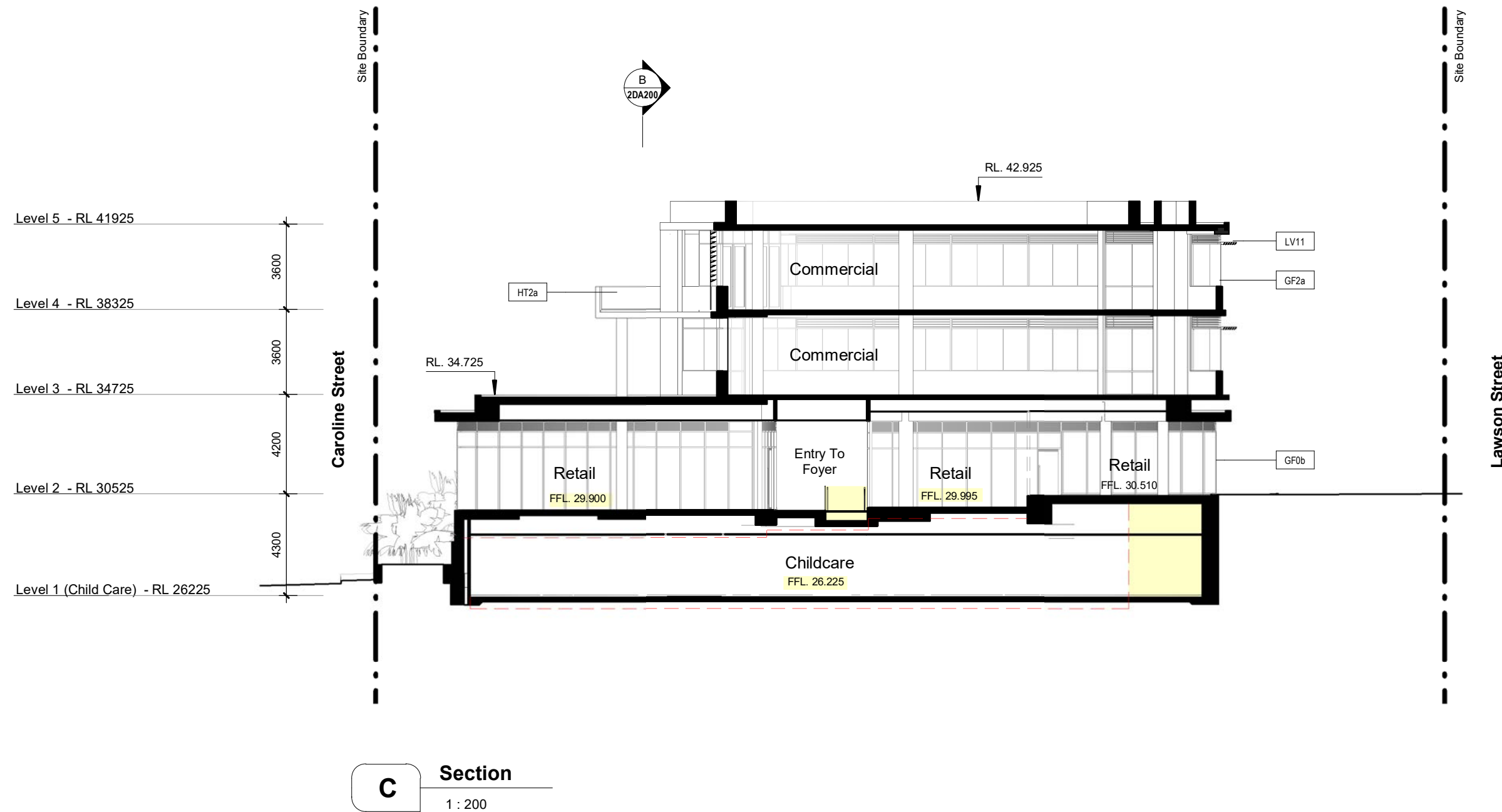
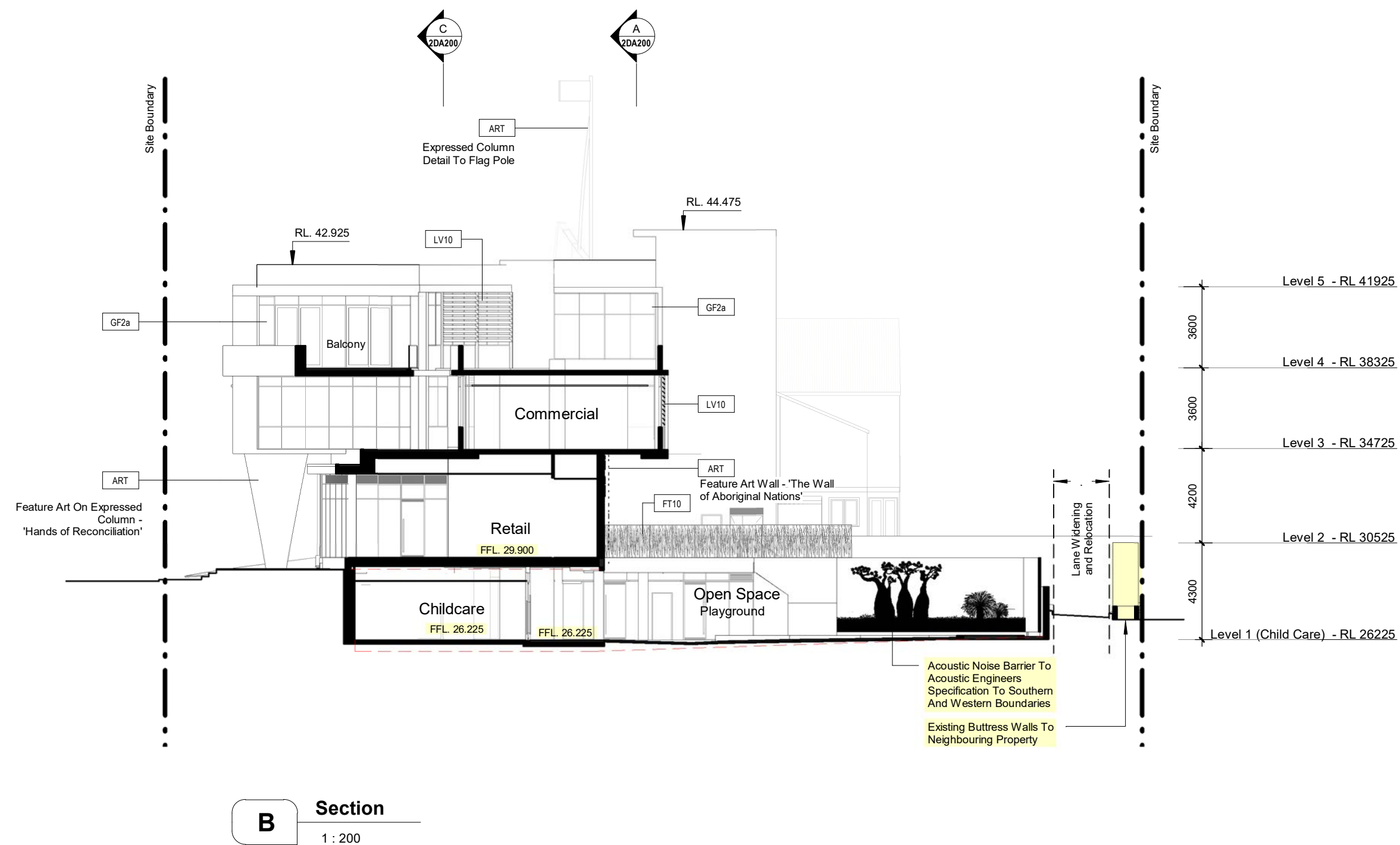
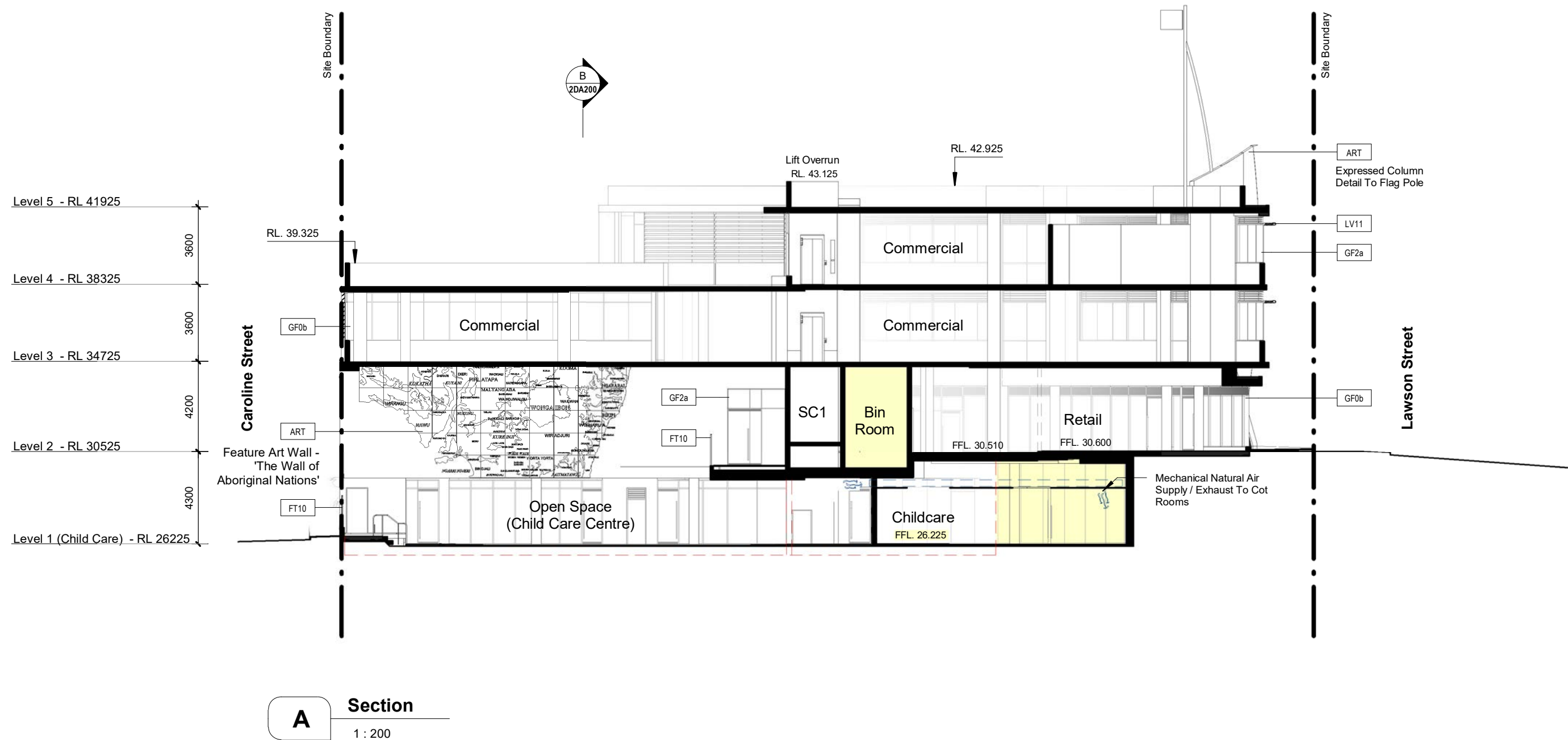
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G	DA Modifications Highlighted & Schedule Added	20.04.20
H	DA Modification Set Issued For Approval	30.04.20
I	Updates For Current S4.55 Mod	29.06.20
J	Retail Bin Room Updated	30.07.20



Precinct 2 - Pemulwuy Mixed Use Development, REDFERN

Level 2 Plan

JOB No.	DE100210
DATE	June 2010
SCALE	A1 @ 1 : 100
DWG No.	2DA101 J



Modification Notes

- Areas Modified From DA Approved Layout
- Outline Of DA Approved Layout Where Modified

Schedule Of Modifications

- Refer To Plans
- Existing buttress walls to adjoining property Along Caroline Lane Illustrated
- Acoustic Wall Illustrated To Child Play Area

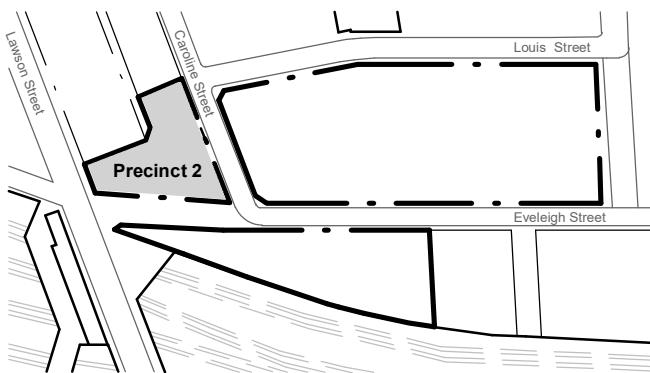
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Site Underlay Based On Survey Carried Out By Denny Linker For Previous Application And Subsequent Survey Work Carried Out By Daw & Walton Consulting Surveyors - Refer To Drawing 302808.



NORDON · JAGO
ARCHITECTS

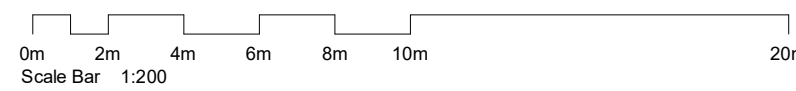
LEVEL 4, 111-117 DEVONSHIRE STREET, SURRY HILLS, NSW 2010 T:02 9318 8400 F:02 9318 8480
STEPHEN J. NORDON REGISTRATION No. NSI GRAHAM P. JAGO REGISTRATION No. NSW - 4926

Development Application

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Precinct 2 - Pemulwuy Mixed Use Development, REDFERN



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Sections

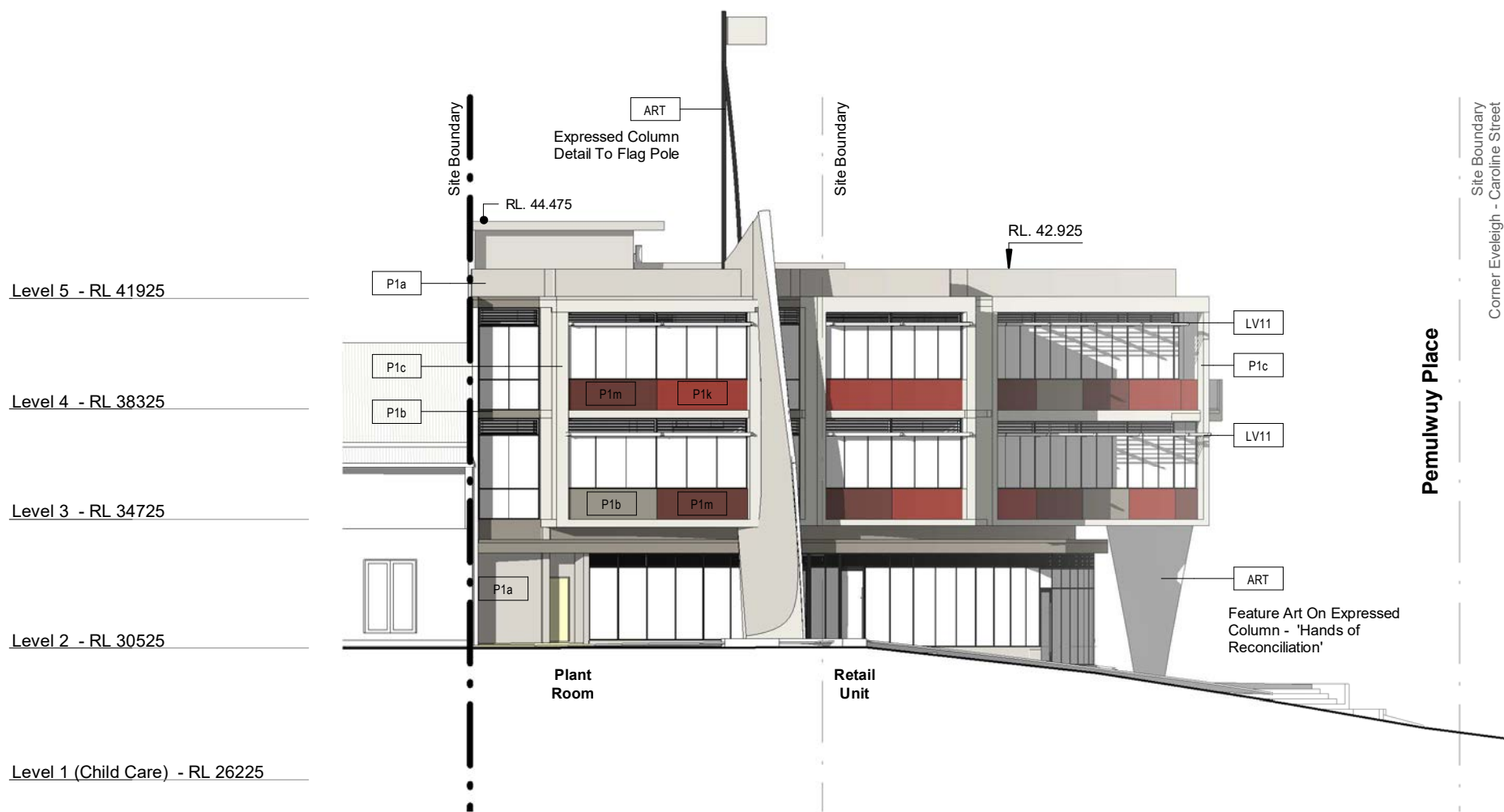
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DATE June 2010

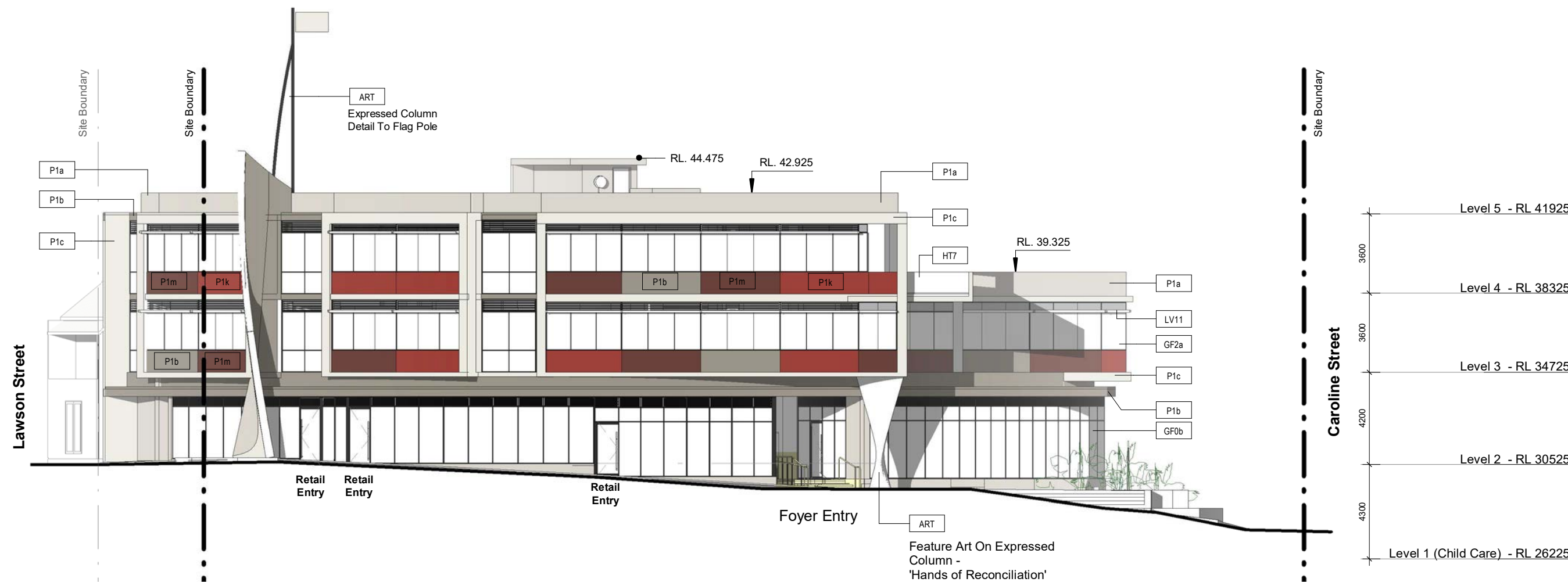
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DWG No.

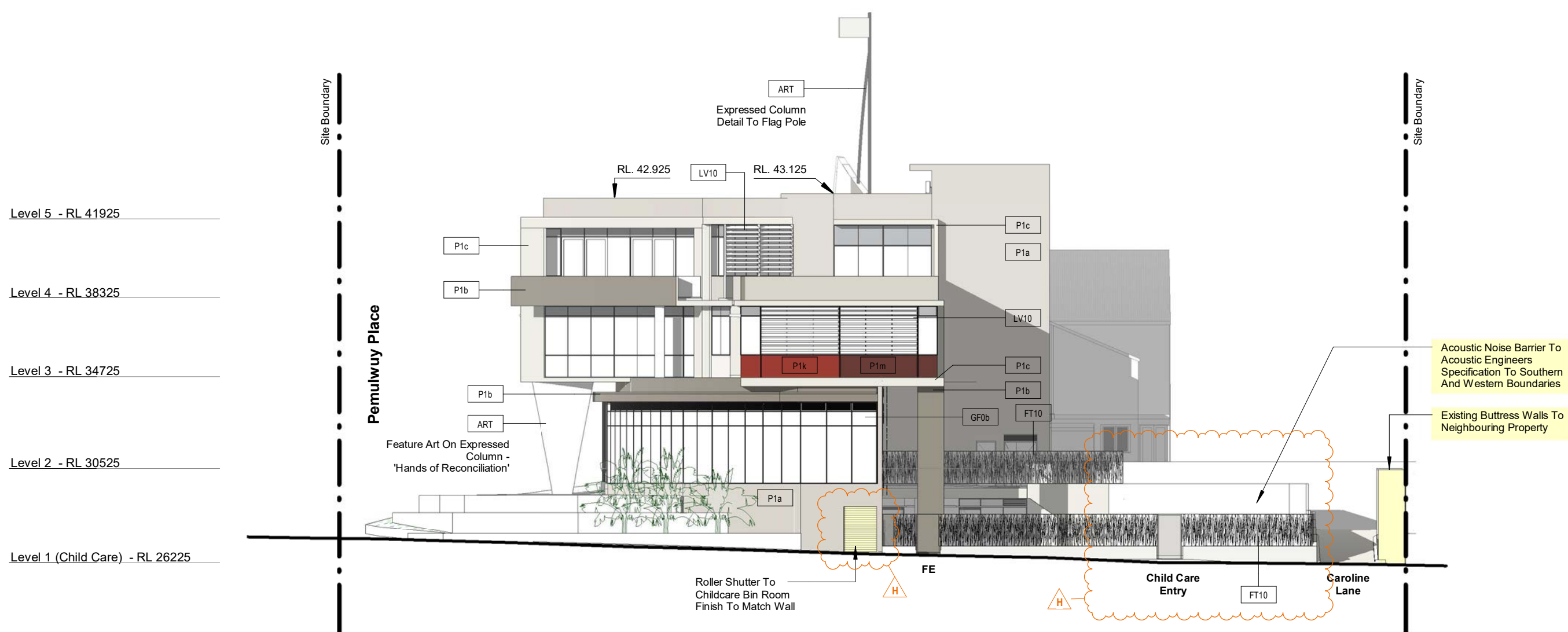
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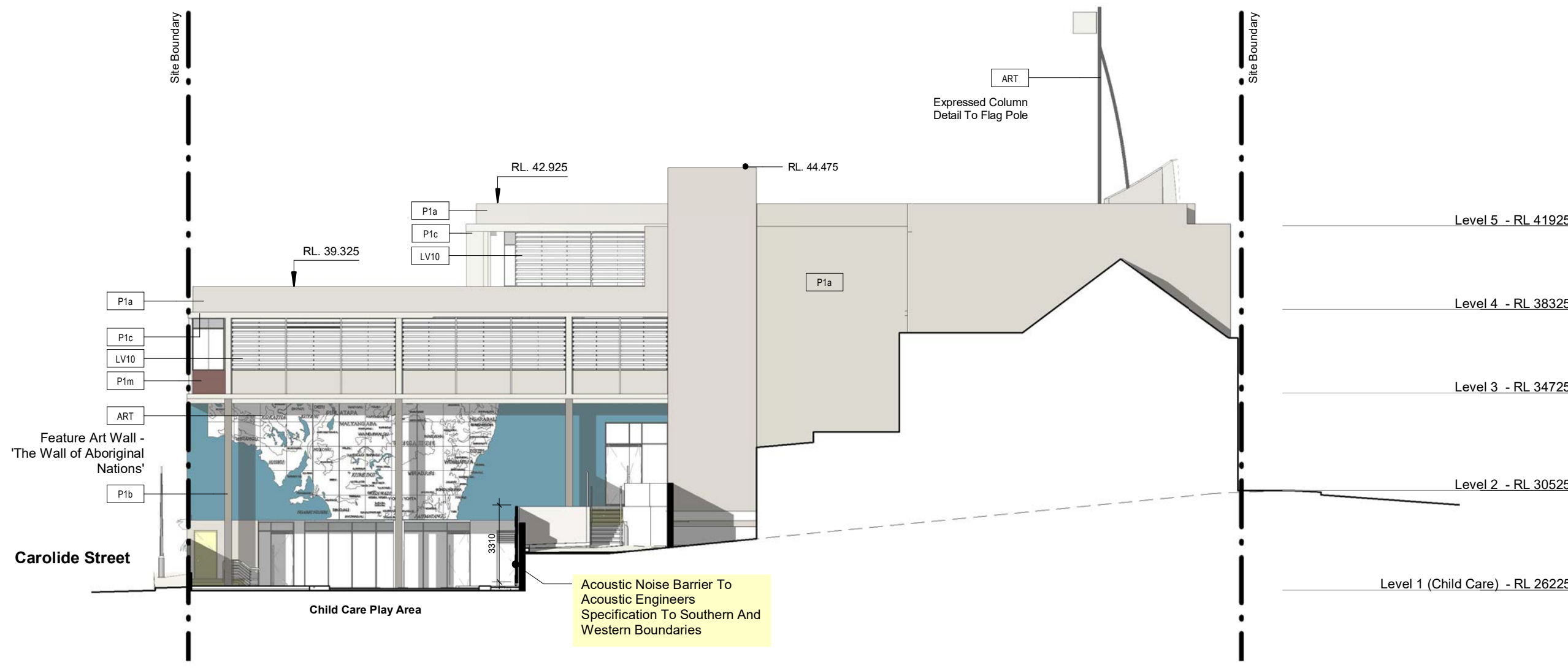
1 Lawson Street
1 : 200



2 Pemulwuy Place
1 : 200



3 Caroline Street
1 : 200



4 Caroline Lane
1 : 200

Abbreviation / Finishes Schedule

ART	Community Art Work Elements
FT10	Custom Design Powdercoated 3mm Aluminium Laser Cut Fence To Childcare Open Space - Fixed to Wall As Per Manufacturers Recommendations- Paint To Match P1b
GF0b	Framed Curtain Wall System With Proprietary Door and window Opening Systems With Black Powdercoat Finish (Commercial - Precincts P2 / P3)
GF2a	Prefinished Metal Framed Curtain Wall System With Black Powdercoat Finish To Childcare Area
HT7	Frameless Glass Balustrade To Commercial Levels
LV10	Prefinished Aluminium Fixed Horizontal Slim Line Elliptical Louvers To West and North Facing Commercial Levels - Powdercoat Finish Colour To Match P10a
LV11	Prefinished Fixed Horizontal Louvre With Elliptical ZEST® ARCADIA Sun Blade's - Powdercoat Finish Colour To Match P10a
P1a	Base Building Colour To Match - Dulux / Ghosting Half / S15A1H. Refer To External Finishes Schedule.
P1b	Secondary Feature 'Face' Colour To Match - Dulux / Stony Creek / S15A4. Refer To External Finishes Schedule.
P1c	Slab Edge and Blade 'Cut' Colour To Match - Dulux / Whisper White / SW1C2. Refer To External Finishes Schedule.
P1k	Precinct 2 Feature Colour#1 To Match - Dulux / Red Stop / S05F8
P1m	Precinct 2 Feature Colour#2 To Match - Dulux / Rustic Crimson / S05E9

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Schedule Of Modifications

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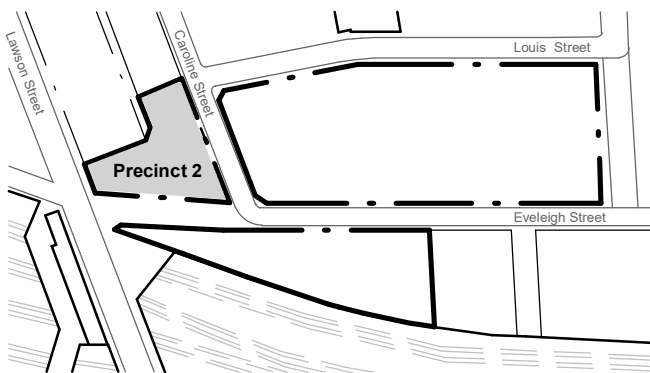
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Development Application

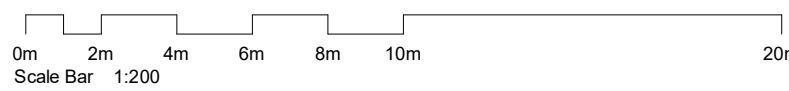
NOT For Construction

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Precinct 2 - Pemulwuy Mixed Use Development, REDFERN



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STEPHEN J. NORDON REGISTRATION No. NSI GRAHAM P. JAGO REGISTRATION No. NSW - 4926



Elevations

JOB No.	DEI00210
DATE	June 2010
SCALE	A1 @ As indicated
DWG No.	2DA300 H