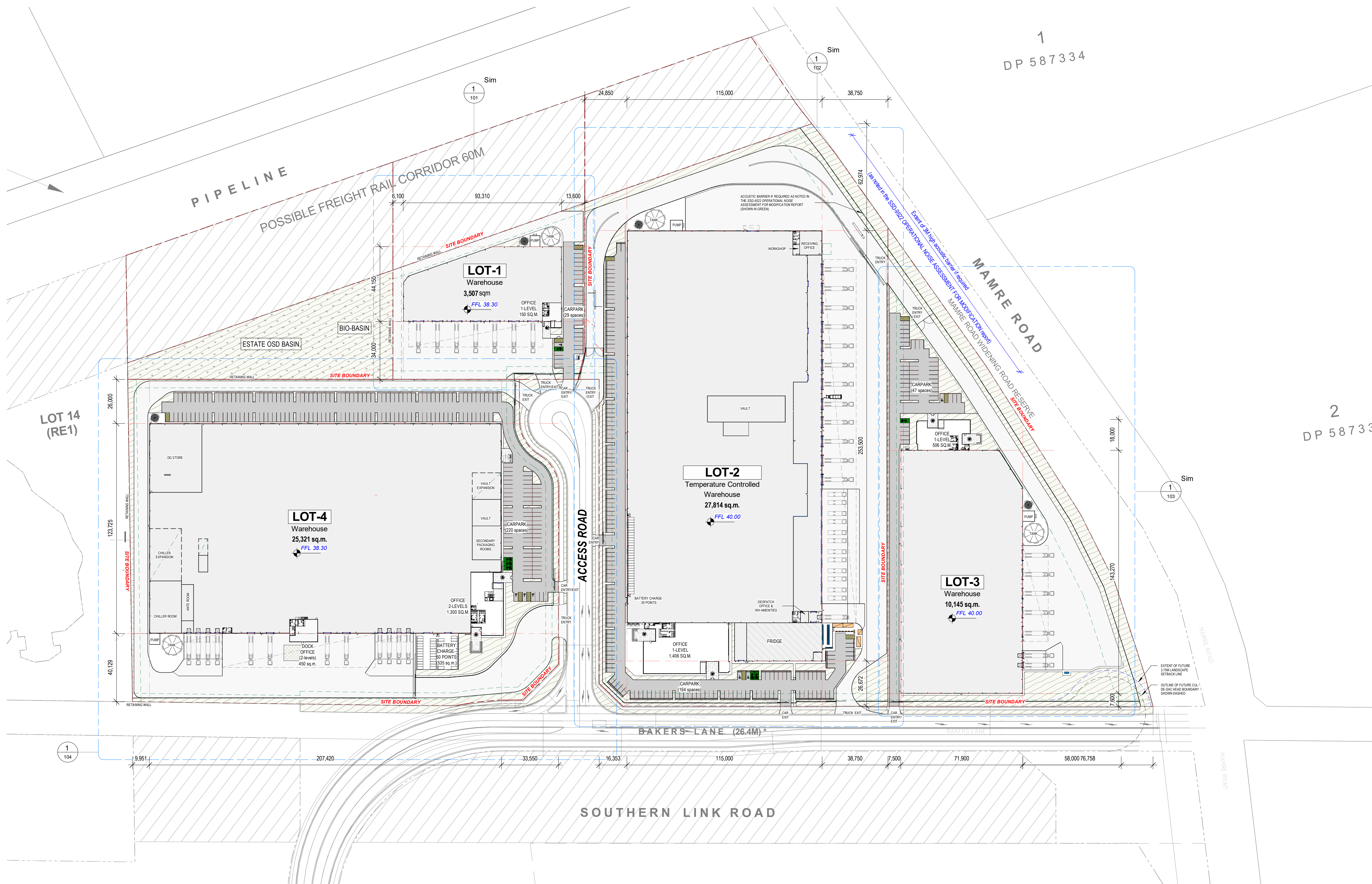


LOT-1 DEVELOPMENT TABLE	
SITE AREA (including FRC 7,190 sq.m.)	16,654 sqm
EFFICIENCY	96.8%
WAREHOUSE	3,507 sqm
OFFICE	150 sqm
TOTAL BUILDING AREA	3,657 sqm
CAR PARKING PROVIDED	29
AWNING (15M)	650 sqm
HEAVY DUTY PAVEMENT (H)	3,096 sqm
LIGHT DUTY PAVEMENT (L)	921 sqm

LOT-2 DEVELOPMENT TABLE	
SITE AREA (including FRC 7,335 sq.m.)	62,449 sqm
EFFICIENCY	46.8%
WAREHOUSE	27,814 sq.m.
Includes:	
Ante Room 60 sq.m.	
Fridge w/ Freezer (25sq.m.) 1,000 sq.m.	
Spares Plant Room 160 sq.m.	
Vault 675 sq.m.	
Decanting Area	
Decanting Returns Area	
Battery Charge 345 sq.m.	
Receiving Office 225 sq.m.	
Workshop 25 sq.m.	
Despatch Office & WH Amenities 30 sq.m.	
Switch Room 90 sq.m.	
MAIN OFFICE	1,406 sqm
TOTAL BUILDING AREA	29,220 sqm
CAR PARKING PROVIDED	164 Spaces
20M AWNING	4,284 sqm
3M AWNING	29 sqm
HEAVY DUTY PAVEMENT (H)	15,260 sqm
LIGHT DUTY PAVEMENT (L)	4,906 sqm

LOT-3 DEVELOPMENT TABLE	
SITE AREA	25,403 sqm
EFFICIENCY	41.9 %
WAREHOUSE	10,145 sq.m.
OFFICE (1-LEVEL)	506 sqm
TOTAL BUILDING AREA	10,651 sqm
CAR PARKING PROVIDED	47 Spaces
AWNING (15M)	650 sqm
AWNING (3M)	58 sqm
HEAVY DUTY PAVEMENT (H)	6,260 sqm
LIGHT DUTY PAVEMENT (L)	2,462 sqm

LOT-4 DEVELOPMENT TABLE	
SITE AREA	46,886 sqm
EFFICIENCY	57.9 %
WAREHOUSE	25,321 sq.m.
Includes:	
Vault 270 sqm + Expansion 270 sqm.	
Chiller 585 sqm + Expansion 585 sqm.	
Freezer 50 sqm + Expansion 50 sqm.	
Ante Room 150 sqm.	
Secondary Packaging Room 340 sqm.	
Dangerous Goods Store 1,250 sqm.	
Dock Office (2 Levels) 450 sqm.	
Driver's Amenities 15 sqm.	
OFFICE (2 Levels)	1,300 sqm
BATTERY CHARGE	535 sqm
TOTAL BUILDING AREA	27,156 sqm
CAR PARKING PROVIDED	220 Spaces
AWNING (20M)	1,808 sqm
AWNING (3M)	230 sqm
HEAVY DUTY PAVEMENT (H)	10,175 sqm
LIGHT DUTY PAVEMENT (L)	5,580 sqm



1 SITE PLAN (WAREHOUSE 1,2,3 & 4)
203 1:1000 @B1

ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEERS DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±100mm

DEVELOPMENT APPLICATION



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000

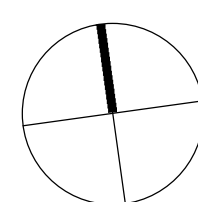


PROJECT PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB
ADDRESS PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER 210811

Rev	Description	Date
Q	Switchroom, generator and solar inverter layout added. Lot-2 number of docks changed to 12x Flashed docks & 6x Recessed docks.	13.12.21
R	Parking landscape bays widened and adjusted.	23.02.22
S	Parking landscape bays widened and adjusted. Dimensions and sustainability messaging graphics added. Rooftop plantscreen height adjusted.	07.03.22
T	General revision.	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

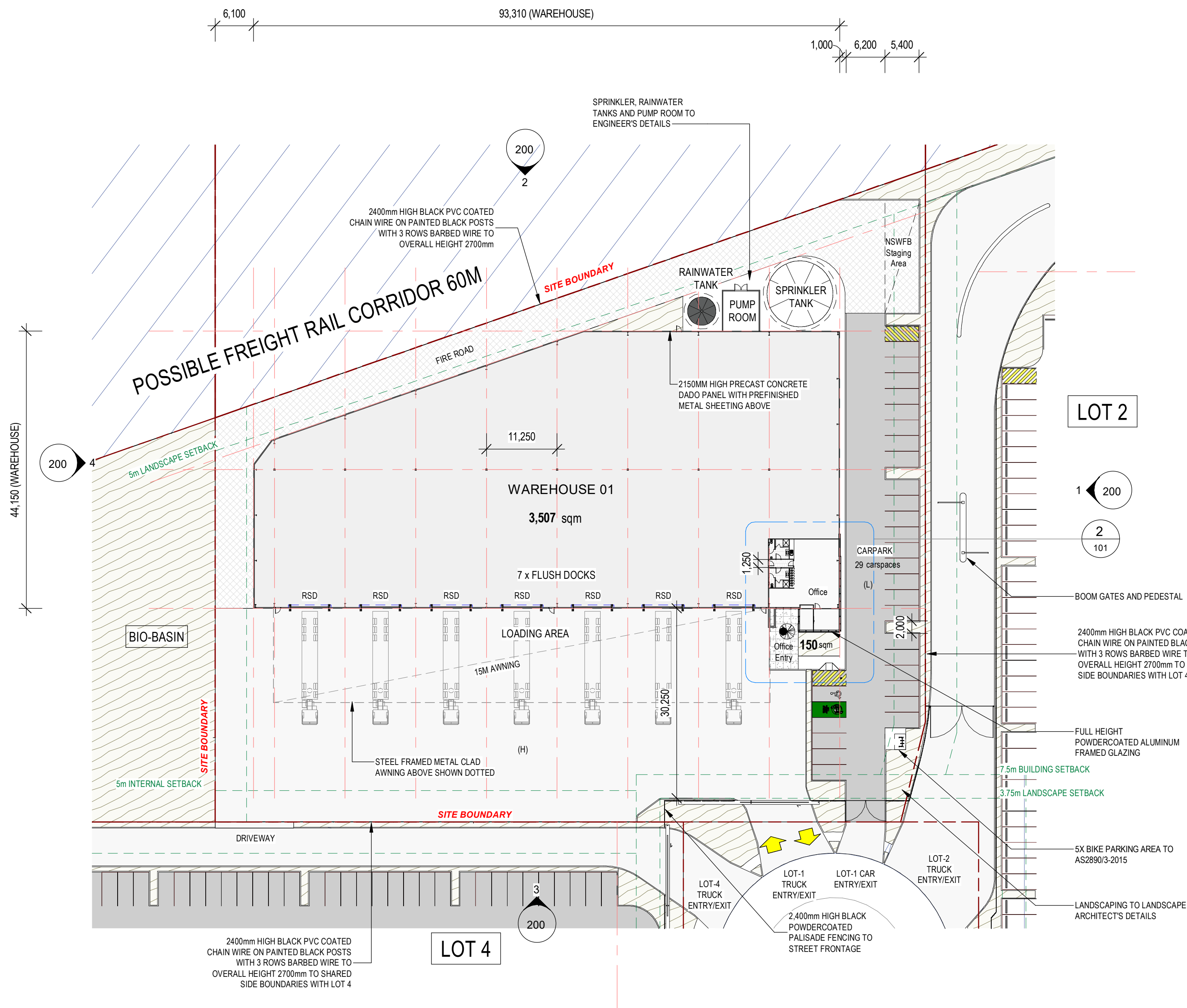
HL Architects Pty Ltd. This drawing is confidential and is subject to copyright.
It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants' detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: KOK HONG LAU
(Reg No. NSW #1555, QLD #5503, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137



DRAWING TITLE
Site Plan (Warehouse 1,2,3 & 4)
DRAWING NUMBER
SP-KC1-DA - 003 -

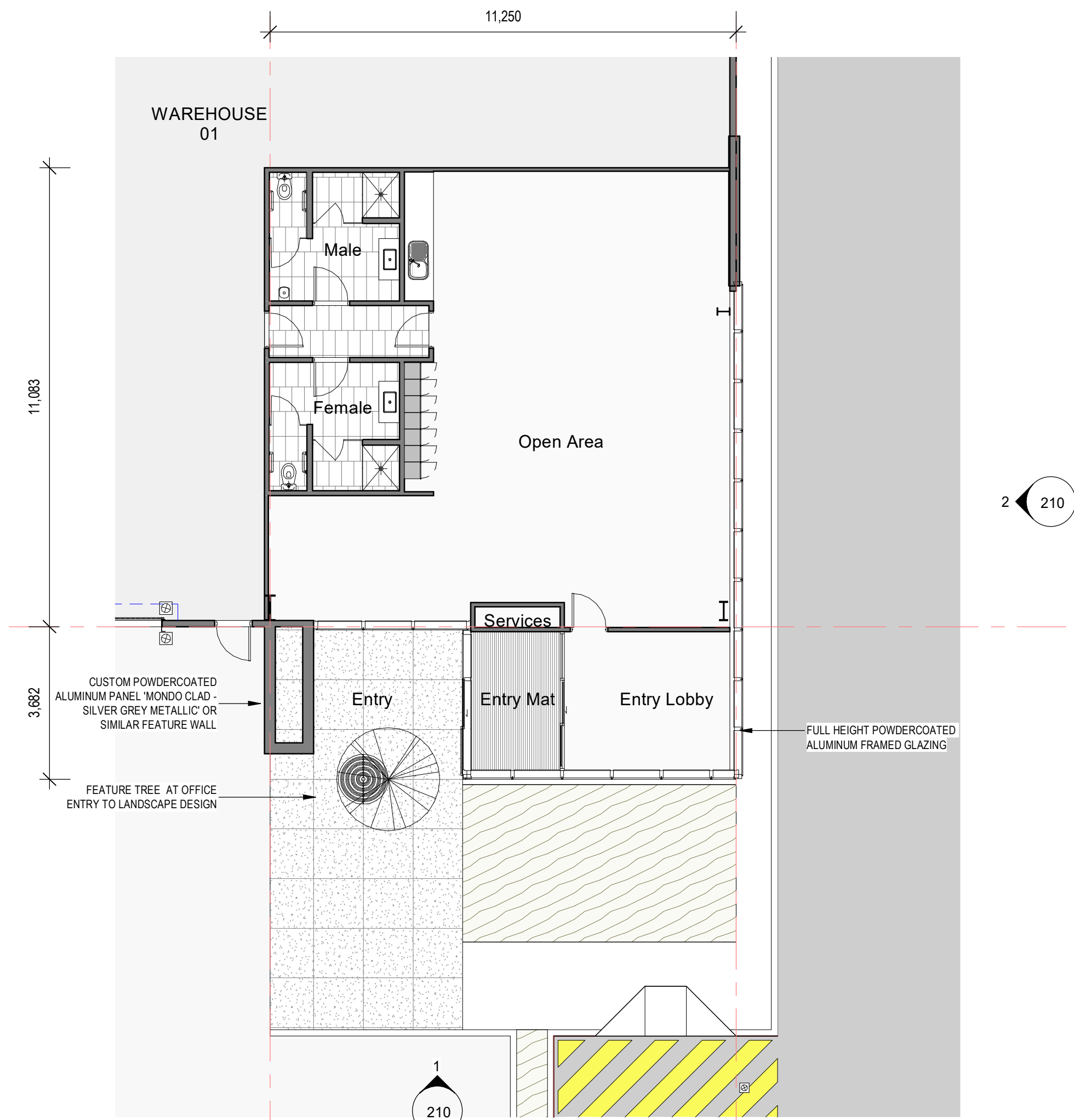
DRWN
CHK
HL
ISSUE
V



LOT-1 DEVELOPMENT TABLE		
SITE AREA (including FRC 7,190 sq m.)	16,654	sqm
EFFICIENCY	38.6	%
WAREHOUSE	3,507	sqm
OFFICE	150	sqm
TOTAL BUILDING AREA	3,657	sqm
CAR PARKING PROVIDED	29	
AWNING (15M)	850	sqm
HEAVY DUTY PAVEMENT (H)	3,095	sqm
LIGHT DUTY PAVEMENT (L)	921	sqm

LOT-1 Car Parking Schedule		
Type	Description	Spaces
PK-CP1	PK-CP1-5.4 x 2.5m - 90 deg (Disable)	1
PK-CP2	PK-CP2-5.4 x 2.5m - 90 deg	27
PK-CP EV	PK-CP EV Charging Bay	1
Grand total		29

1 Site Facilities Plan (Lot 1)
003 1:500 @B1



2 Lot 1 Office Floor Plan
101 1:100 @B1

ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEERS DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±100mm

DEVELOPMENT APPLICATION



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000

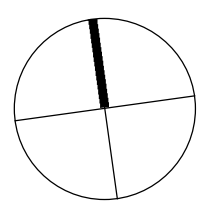


PROJECT PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB
ADDRESS PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER 210811

Rev	Description	Date
Q	General revision	24.02.22
R	Parking landscape bays widened and adjusted. Dimensions and sustainability messaging graphics added. Rooftop plantscreen height adjusted.	01.03.22
S	General revision	02.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: KOK HONG LAU
(Reg No. NSW #1555, QLD #5003, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137



DRAWING TITLE Warehouse 1 & Office 1 Floor Plan
DRAWING NUMBER SP-KC1-DA - 101 -
V

DRWN CHK HL ISSUE

8/24/2022 2:19:24 PM BM 360/Lot 14-Kemps Creek/Lot 14-Kemps Creek.rvt



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000

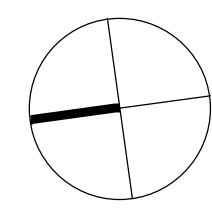


PROJECT
PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB
ADDRESS
PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER
210811

Rev	Description	Date
Q	Switchroom, generator and solar inverter layout added. Lot-2 number of docks changed to 12x Flashed docks & 6x Recessed docks.	13.12.21
R	Symbol racking updated	16.12.21
S	Parking landscape bays widened and adjusted. Dimensions and sustainability messaging graphics added. Rooftop plantscreen height adjusted.	07.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright.
It may not be copied, used, reproduced or transmitted in any way or in any
form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants
detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

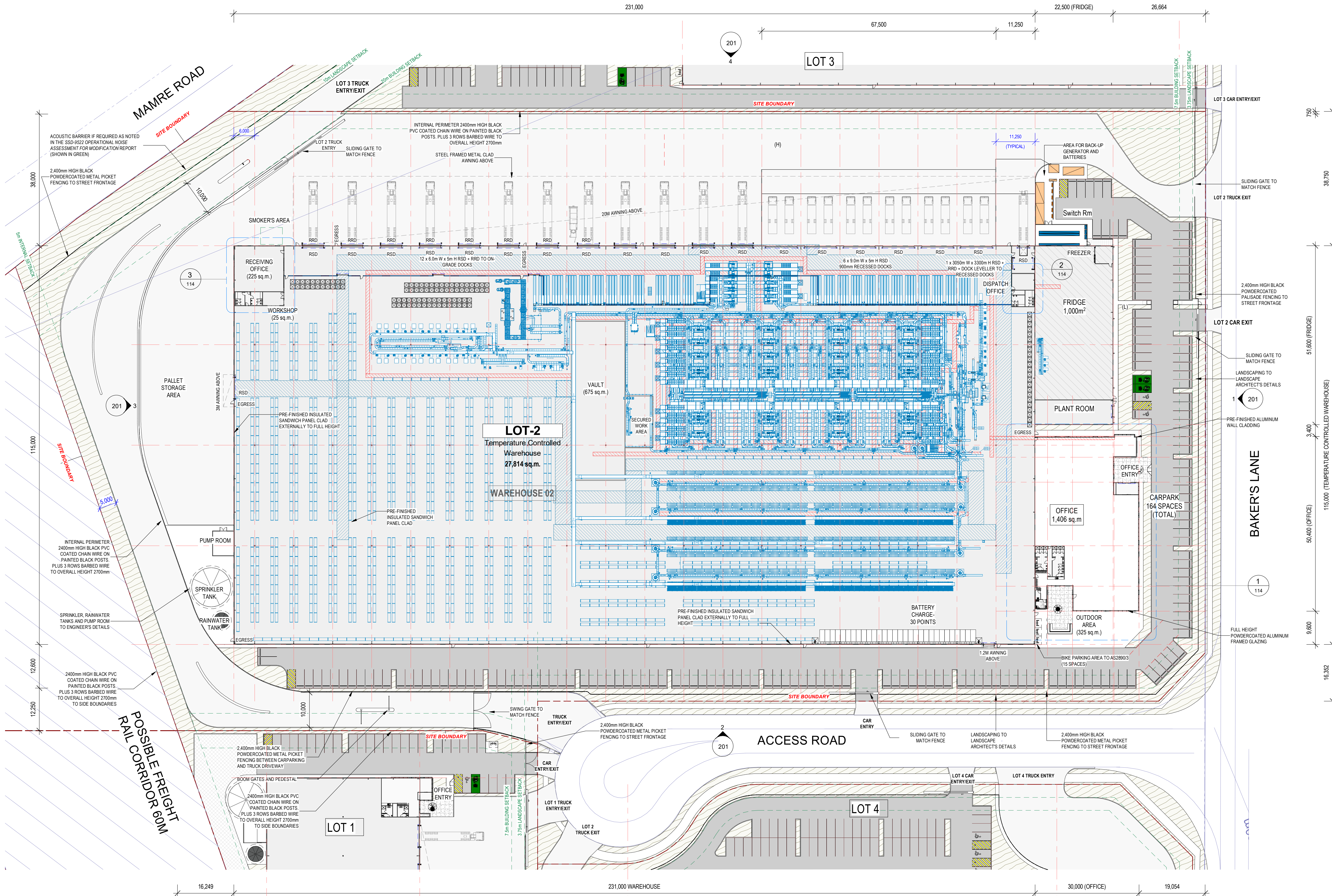
HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: Kok Hong LAU
(Reg No. NSW #1555, QLD #6030, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2157



DRAWING TITLE
Warehouse 2 Floor Plan
DRAWING NUMBER
SP-KC1-DA - 102 -
V

DEVELOPMENT APPLICATION

ALL LEVELS AREA INDICATIVE AND SHOULD BE READ
IN CONJUNCTION WITH CIVIL ENGINEERS DRAWINGS
FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±100mm



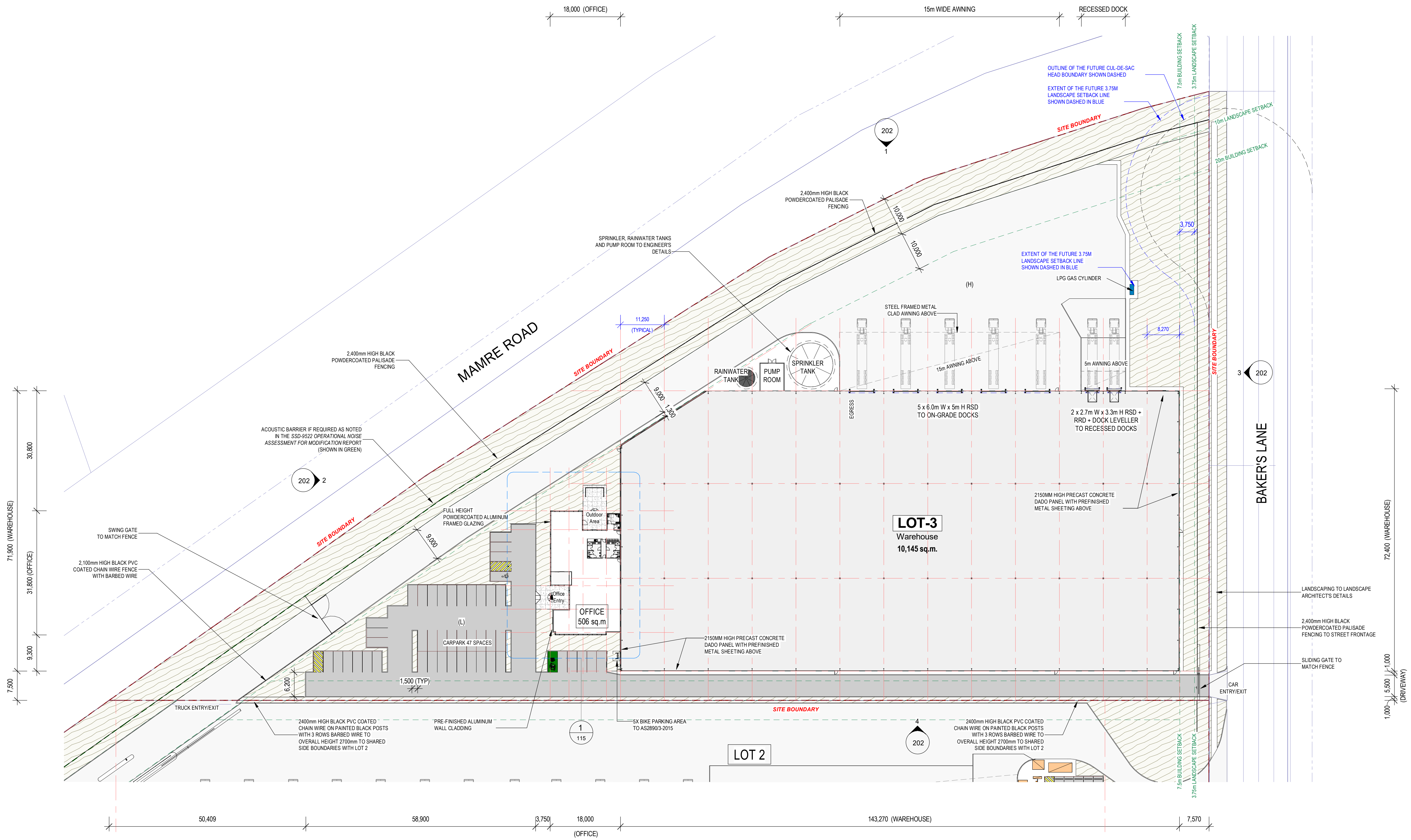
1 Site Facilities Plan (Lot2)
1: 500 @B1

LOT-2 DEVELOPMENT TABLE	
SITE AREA (including FRC 7,335 sq.m.)	62,449 sqm
EFFICIENCY	46.8%
WAREHOUSE	27,814 sq.m.
Includes:	
Asile Room 60 sq.m.	
Fridge w/ Freezer(25sq.m.) 1,000 sq.m.	
Spare/Plant Room 160 sq.m.	
Vault 675 sq.m.	
Decanting Area	
Decanting Returns Area	
Battery Charge 345 sq.m.	
Receiving Office 225 sq.m.	
Workshop 25 sq.m.	
Dispatch Office & WH Amenities 30 sq.m.	
Switch Room 90 sq.m.	
MAIN OFFICE	1,406 sqm
TOTAL BUILDING AREA	29,220 sqm
CAR PARKING PROVIDED	164 Spaces
20M AWNING	4,284 sqm
3M AWNING	25 sqm
HEAVY DUTY PAVEMENT (H)	15,280 sqm
LIGHT DUTY PAVEMENT (L)	4,906 sqm

LOT-2 Car Parking Schedule		
Type	Description	Spaces
PK-CP1	PK-CP1-5.4 x 2.5m - 90 deg (Disable)	2
PK-CP2	PK-CP2-5.4 x 2.5m - 90 deg	160
PK-CP EV	PK-CP EV Charging Bay	2
Grand total		164

LOT-3 DEVELOPMENT TABLE	
SITE AREA	25,403 sqm
EFFICIENCY	41.9 %
WAREHOUSE	10,145 sq.m.
OFFICE (1-LEVEL)	506 sq.m.
TOTAL BUILDING AREA	10,651 sqm
CAR PARKING PROVIDED	47 Spaces
AWNING (15M)	850 sqm
AWNING (5M)	58 sqm
HEAVY DUTY PAVEMENT (H)	5,262 sqm
LIGHT DUTY PAVEMENT (L)	2,462 sqm

LOT-3 Car Parking Schedule		
Type	Description	Spaces
PK-CP1	PK-CP1-5.4 x 2.5m - 90 deg (Disable)	1
PK-CP2	PK-CP2-5.4 x 2.5m - 90 deg	45
PK-CP EV	PK-CP EV Charging Bay	1
Grand total		47



ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEERS DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±1000mm

DEVELOPMENT APPLICATION

8/4/2022 2:20:45 PM
B:\300\Lot 14 Kemp Creek\Lot 14 Kemp Creek.dwg
C:\Users\AS



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000

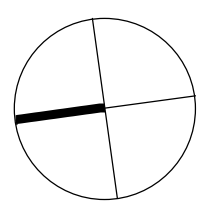


PROJECT
PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB
ADDRESS
PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER
210811

Rev	Description	Date
Q	Parking landscape bays widened and adjusted.	23.02.22
R	General revision	24.02.22
S	Parking landscape bays widened and adjusted. Dimensions and sustainability messaging graphics added. Rooftop plantscreen height adjusted.	01.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright.
It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: Kok Hong LAU
(Reg No. NSW #1555, QLD #5003, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite S3, 9 George St, North Strathfield NSW 2137



DRAWING TITLE
Warehouse 3 Floor Plan
DRAWING NUMBER
SP-KC1-DA - 103 -
DRAWN
CHK
HL
ISSUE
V

11/04/2022 10:05:22 AM BIM 360://Lot 4-Kemps Creek/Lot 4-Kemps Creek.rvt



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000

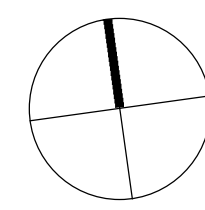


PROJECT PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB
ADDRESS PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER 210811

Rev	Description	Date
Q	Parking landscape bays widened and adjusted.	23.02.22
R	General revision	24.02.22
S	Parking landscape bays widened and adjusted. Dimensions and sustainability messaging graphics added. Rooftop plantscreen height adjusted.	07.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

H/L Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of H/L Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants' detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to H/LA before commencing any work.

H/L Architects Pty Ltd A.C.N. 161 638 320
nominated architect: KOK HONG LAU
(Reg No. NOV #1555, OLD #0503, TAS #1101)
e admin@hlaarchitects.com.au
t 02 9166 9942
m 0424 160 365
www.hlaarchitects.com.au
w Suite 53, 9 George St, North Strathfield NSW 2137



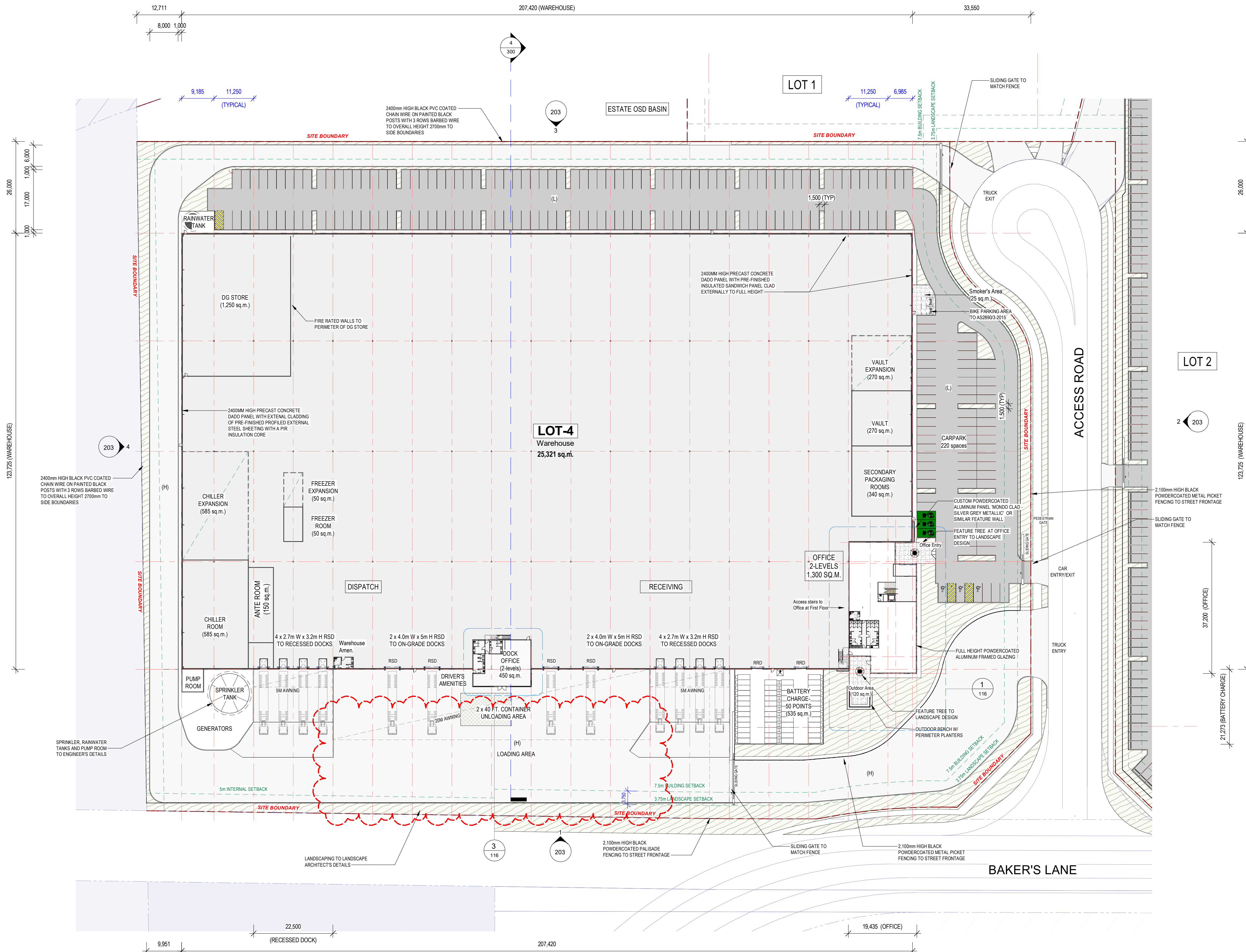
DRAWING TITLE Warehouse 4 Floor Plan
DRAWING NUMBER SP-KC1-DA - 104 -
V

CHK HL
ISSUE

ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEERS' DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±100mm

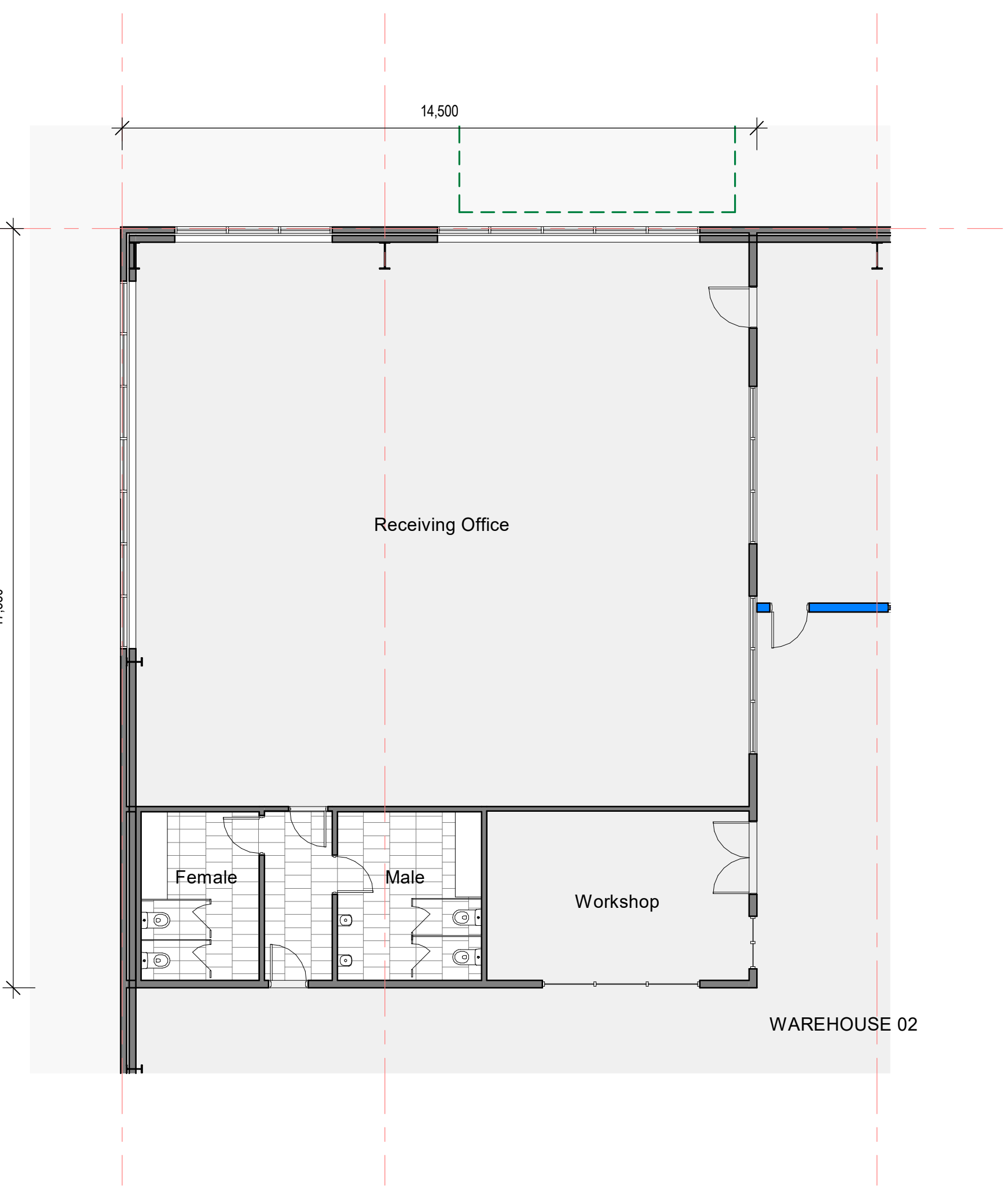
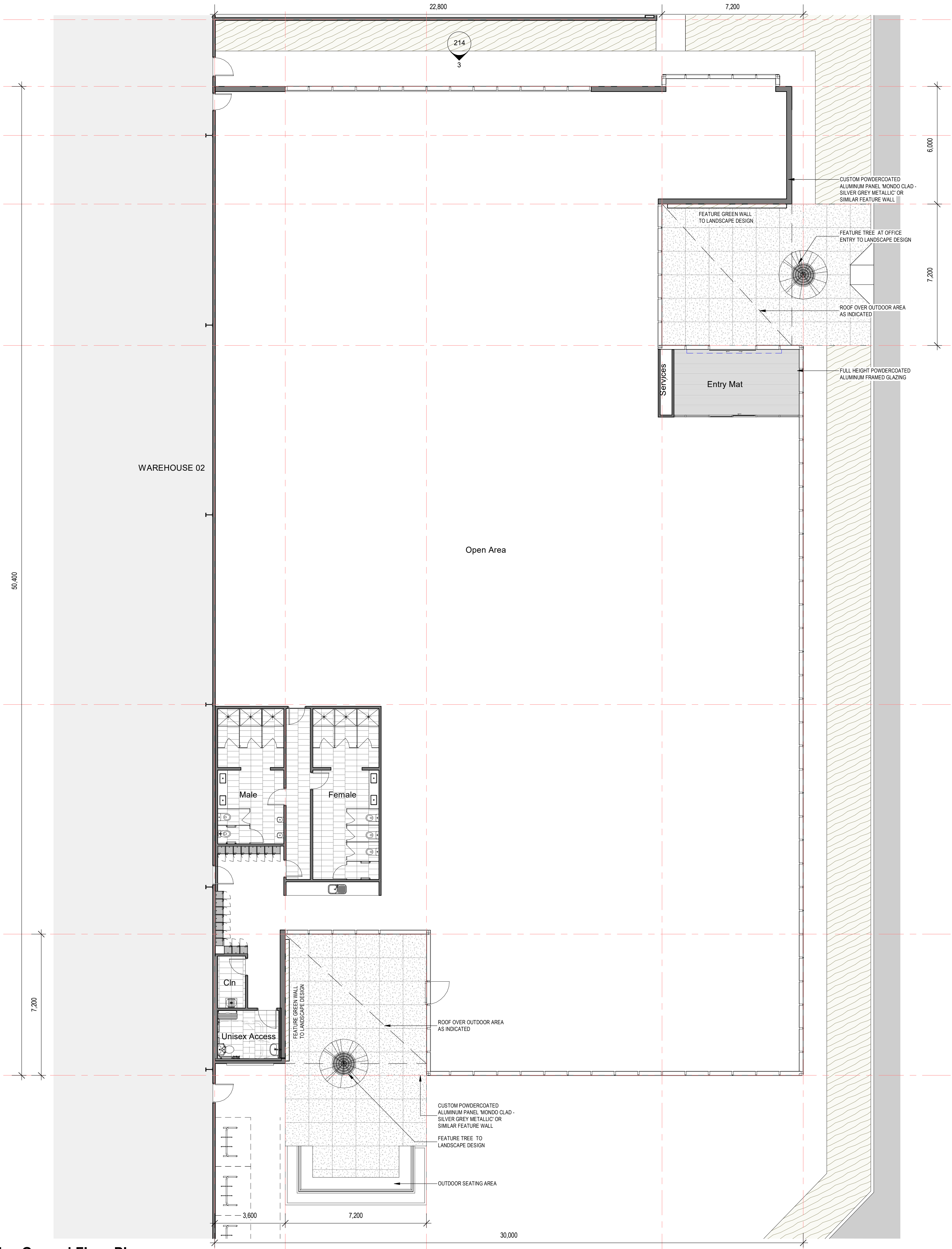
DEVELOPMENT APPLICATION

1 Site Facilities Plan (Lot4)
1: 500 @B1

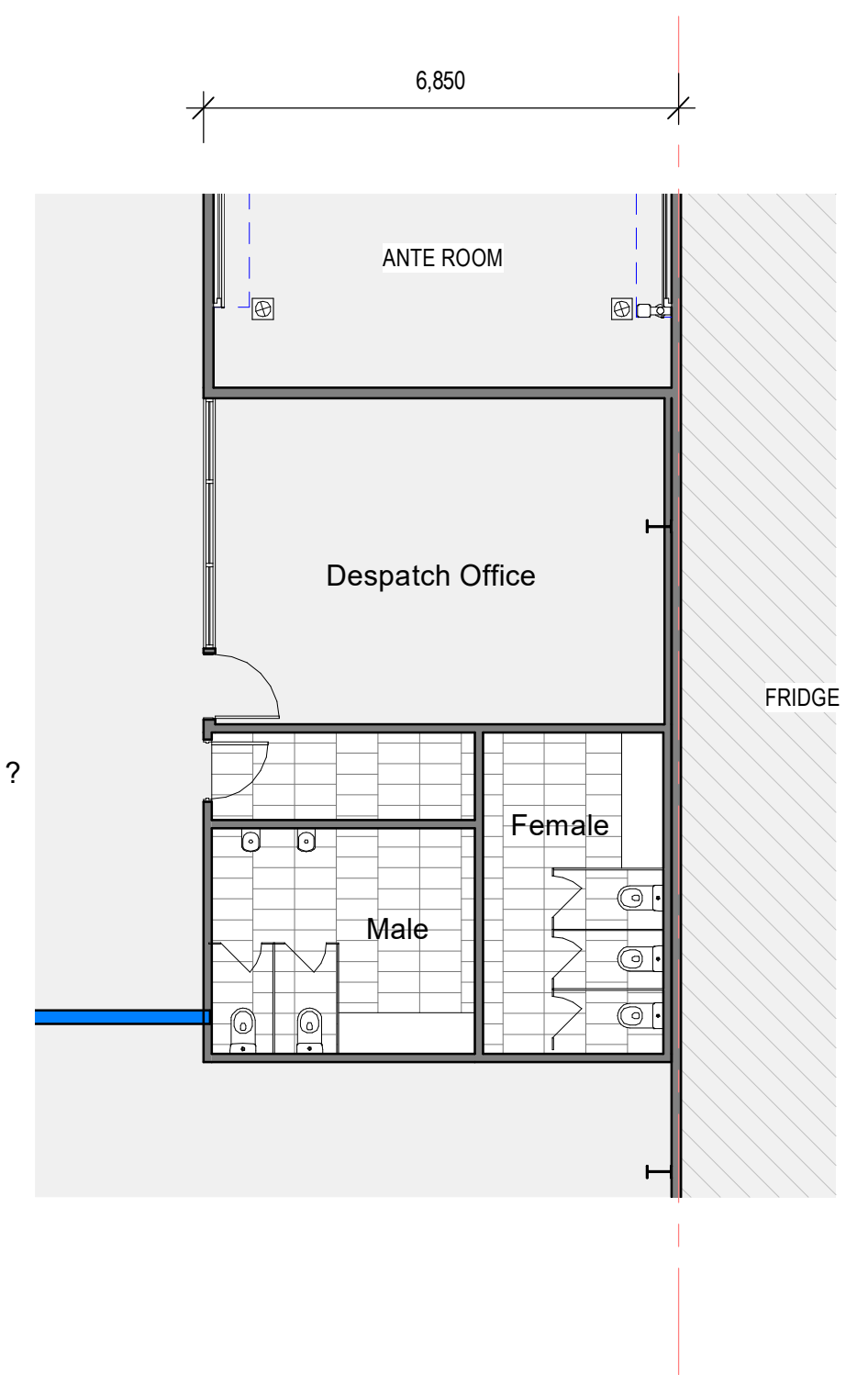


LOT-4 DEVELOPMENT TABLE	
SITE AREA	46,886 sqm
EFFICIENCY	57.9 %
WAREHOUSE	25,321 sq.m.
Includes:	
Vault 270 sqm + Expansion 270 sqm	
Chiller 585 sqm + Expansion 585 sqm	
Freezer 50 sqm + Expansion 50 sqm	
Antler Room 150 sqm	
Secondary Packaging Room 340 sqm	
Dangerous Goods Store 1,250 sqm	
Dock Office (2-Levels) 450 sqm	
Driver's Amenities 15 sqm	
OFFICE (2 Levels)	1,300 sqm
BATTERY CHARGE	535 sqm
TOTAL BUILDING AREA	27,156 sqm
CAR PARKING PROVIDED	220 Spaces
AWNING (20M)	1,809 sqm
AWNING (5M)	230 sqm
HEAVY DUTY PAVEMENT (H)	10,175 sqm
LIGHT DUTY PAVEMENT (L)	5,580 sqm

LOT-4 Car Parking Schedule		
Type	Description	Spaces
PK-CP1	PK-CP1-5.4 x 2.5m - 90 deg (Disable)	3
PK-CP2	PK-CP2-5.4 x 2.5m - 90 deg	214
PK-CP EV	PK-CP EV Charging Bay	3
Grand total		220



3 Lot 2 WH2 - Receiving Office and Workshop
1:100 @B1



2 Lot 2 WH2 - Despatch Office
1:100 @B1

1 Lot 2 WH2 - Office Ground Floor Plan
1:100 @B1

ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEERS DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±100mm

8/10/2022 2:21:53 PM B:\360\Lot 1-4 Kemps Creek\Lot 1-4 Kemps Creek.dwg



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000

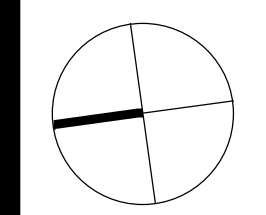


PROJECT
PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB
ADDRESS
PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER
210811

Rev	Description	Date
Q	Parking landscape bays widened and adjusted.	23.02.22
R	General revision	24.02.22
S	Parking landscape bays widened and adjusted. Dimensions and sustainability messaging graphics added. Rooftop plantscreen height adjusted.	01.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: KOK HONG LAU
(Reg No. NSW #1555, QLD #5003, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137



DEVELOPMENT APPLICATION

DRAWING TITLE Office 2 Floor Plan	DRWN CHK HL ISSUE
DRAWING NUMBER SP-KC1-DA - 114 -	V

8/10/2022 2:21:58 PM BIM 360://Lot 14 Kemps Creek/Lot 14 Kemps Creek.rvt

CLIP IMAGE



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000

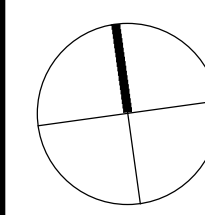


PROJECT
PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES HUB
ADDRESS
**PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW**
PROJECT NUMBER
210811

Rev	Description	Date
Q	Parking landscape bays widened and adjusted.	23.02.22
R	General revision	24.02.22
S	Parking landscape bays widened and adjusted. Dimensions and sustainability messaging graphics added. Rooftop plantscreen height adjusted.	07.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: Kok Hong LAU
(Reg No. NSW #1555, QLD #5003, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137



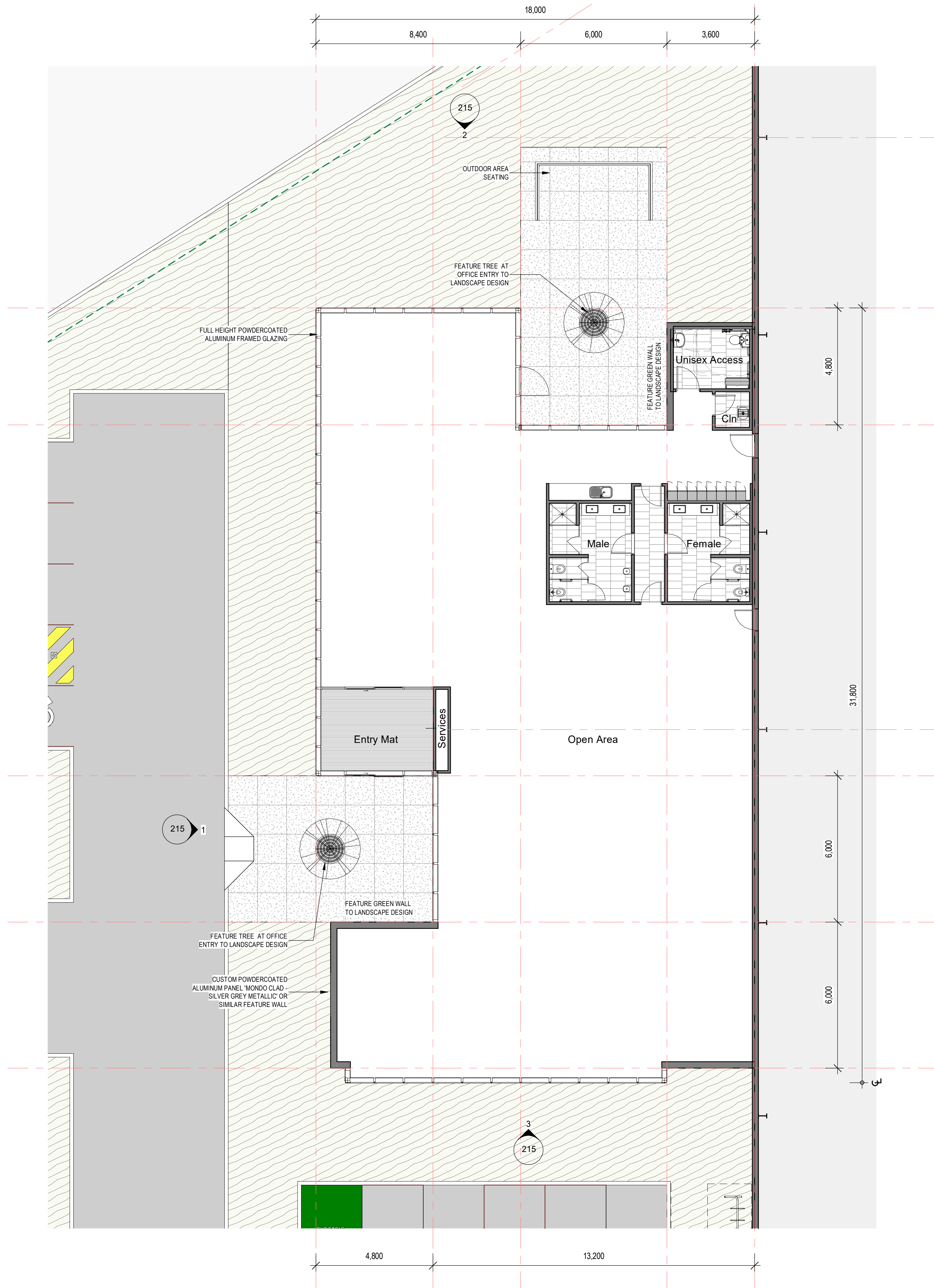
DEVELOPMENT APPLICATION

DRAWING TITLE
Office 3 Floor Plan

DRAWING NUMBER
SP-KC1-DA - 115 -

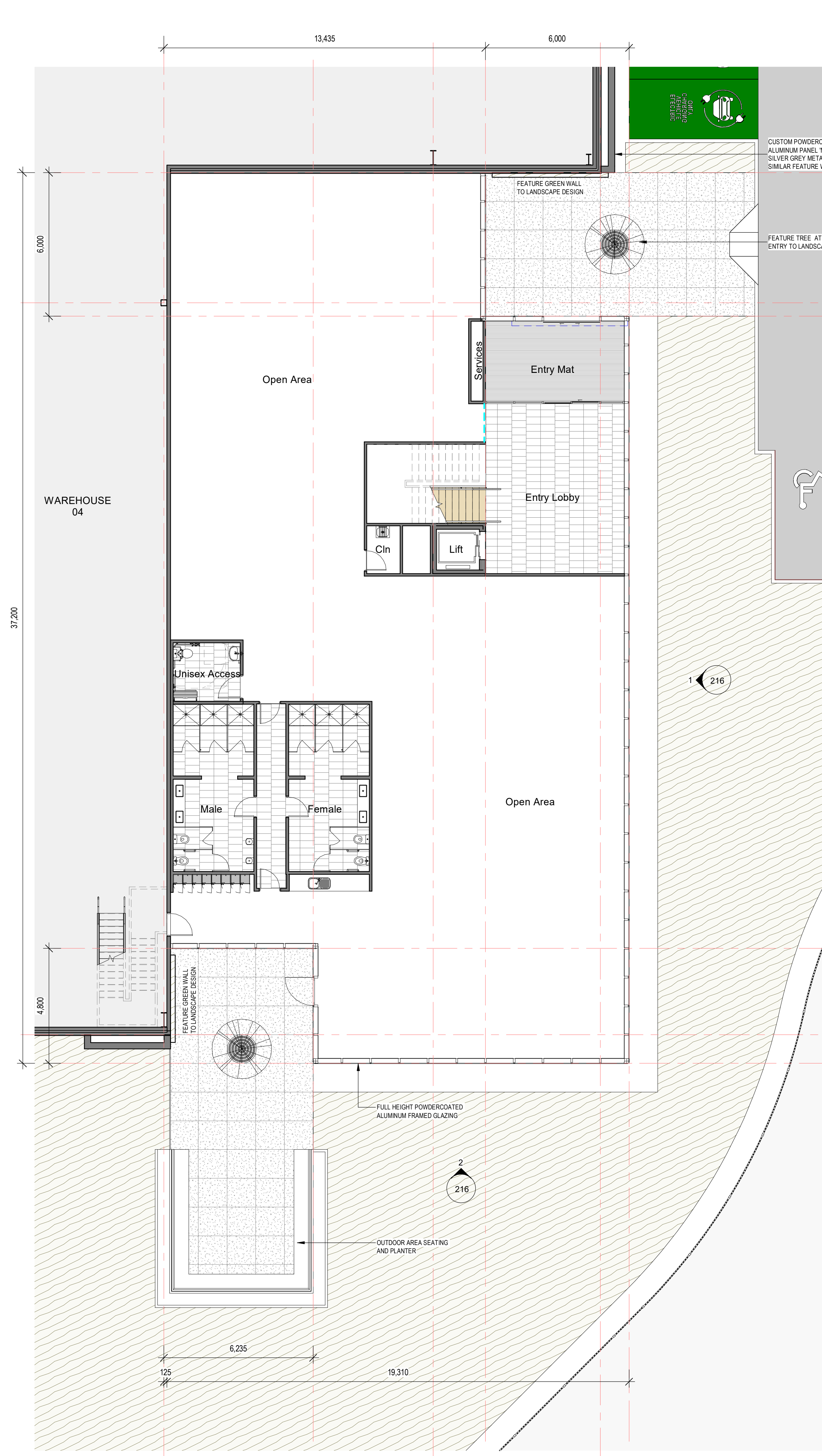
DRWN
CHK
HL
ISSUE
V

ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEERS DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±100mm

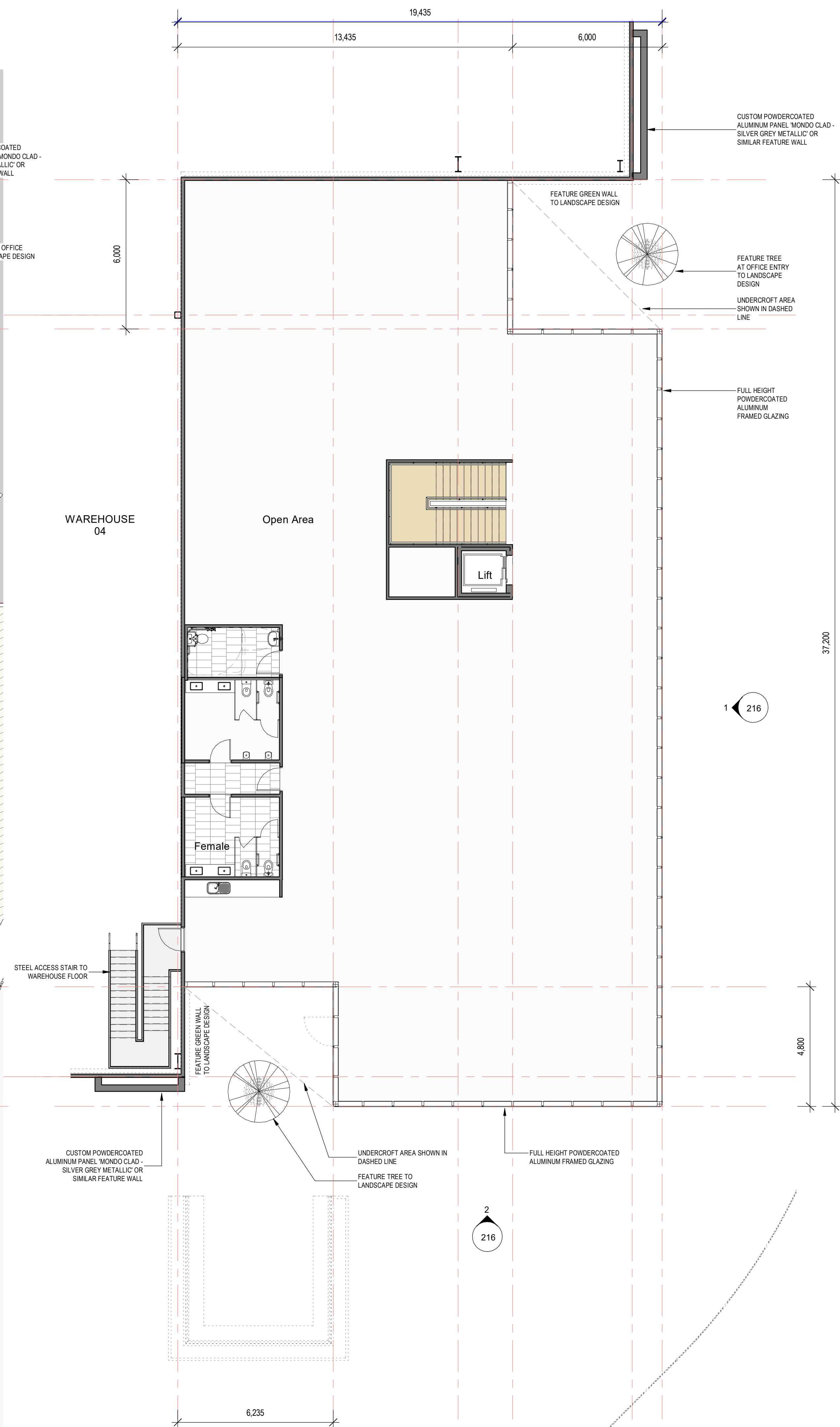


1 Lot 3 Office Ground Floor Plan
1:100 @B1

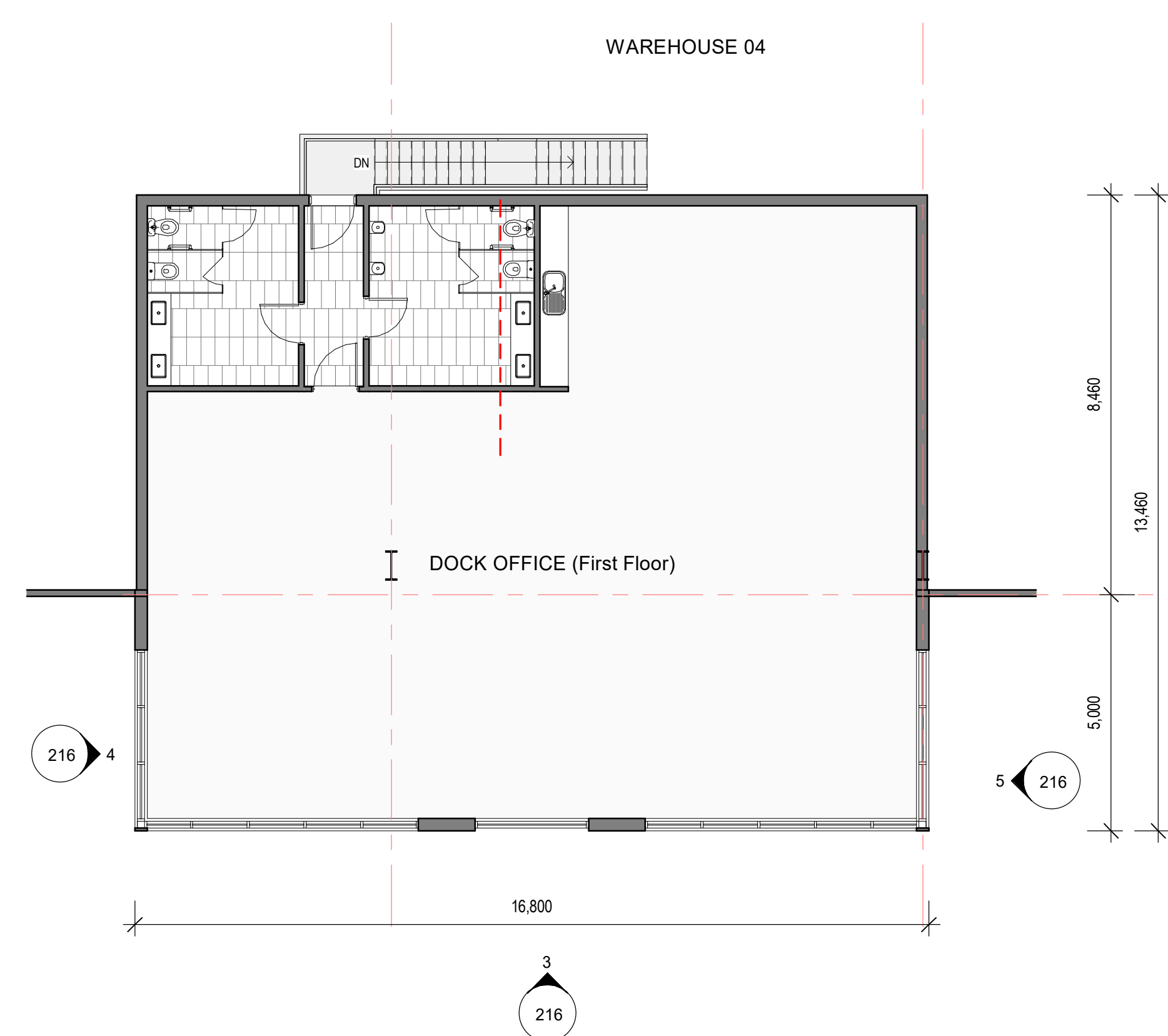
8/10/2022 2:22:01 PM BIM 360://Lot 4-Kemps Creek/Lot 4-Kemps Creek.rvt



1 Lot 4 - Office Ground Floor Plan
104 1:100 @B1



2 Lot 4 Office First Floor
216 1:100 @B1



4 Lot 4 Dock Office First Floor
216 1:100 @B1



3 Lot 4 Dock Office Floor Plan
104 1:100 @B1

ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEERS DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±100mm



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000

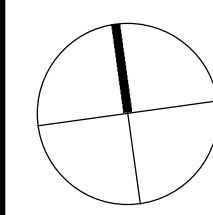


PROJECT
PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB
ADDRESS
PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER
210811

Rev	Description	Date
Q	Parking landscape bays widened and adjusted.	23.02.22
R	General revision	24.02.22
S	General revision	02.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: KOK HONG LAU
(Reg No. NOV #1555, OLD #5003, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137



DEVELOPMENT APPLICATION

DRAWING TITLE
Office 4 Floor Plan

DRAWING NUMBER
SP-KC1-DA - 116 -

DRWN
CHK
HL
ISSUE
V

9/8/2025 2:22:25 PM BIM 360://Lot 14 Kemp Creek/Lot 14 Kemp Creek.rvt



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000



PROJECT
PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB
ADDRESS
PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER
210811

Rev	Description	Date
Q	Parking landscape bays widened and adjusted.	23.02.22
R	Parking landscape bays widened and adjusted. Dimensions and sustainability messaging graphics added. Rooftop plantscreen height adjusted.	01.03.22
S	General revision	02.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: Kok Hong LAU
(Reg No. NSW #1555, QLD #5003, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137

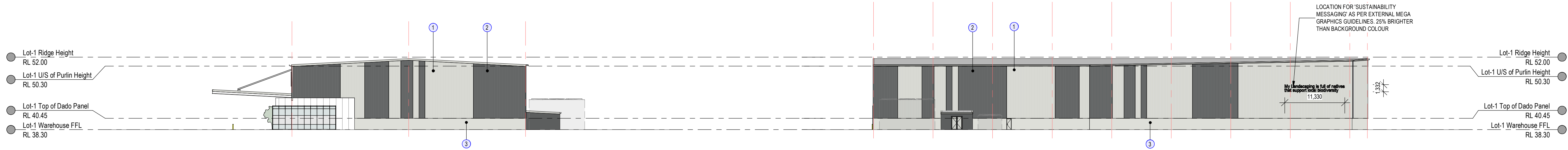


DRAWING TITLE Warehouse 1 Elevations	DRWN HL
DRAWING NUMBER SP-KC1-DA - 200 -	ISSUE V

DEVELOPMENT APPLICATION

ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEERS DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±1000mm

EXTERNAL FINISHES LEGEND -...	
①	PRE-FINISHED METAL CLADDING - COLORBOND 'COSMIC'
②	PRE-FINISHED METAL CLADDING - COLORBOND 'BASALT'
③	PRECAST CONCRETE - PAINT FINISH TO MATCH DULUX 'RAL 9003'
④	PAINT FINISH COLORBOND 'BASALT'
⑤	ZINCALUME ROOF SHEETING WITH 10% TRANSLUCENT SHEETING



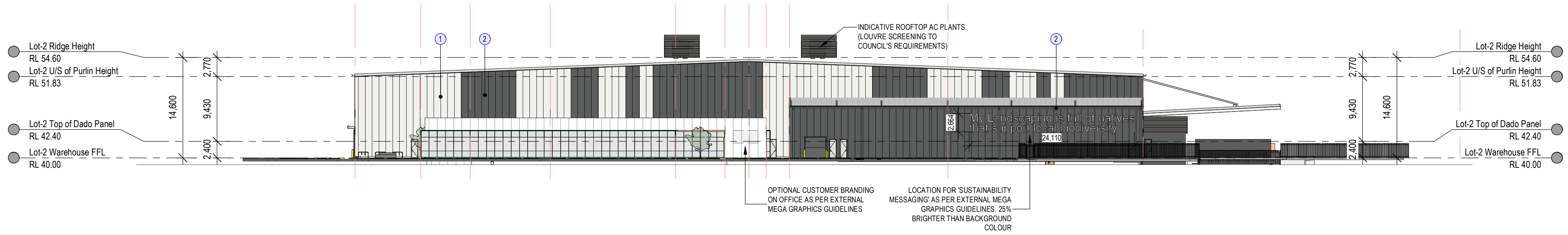
1 Lot 1 East Elevation
101 1:400 @B1

2 Lot 1 North Elevation
101 1:400 @B1

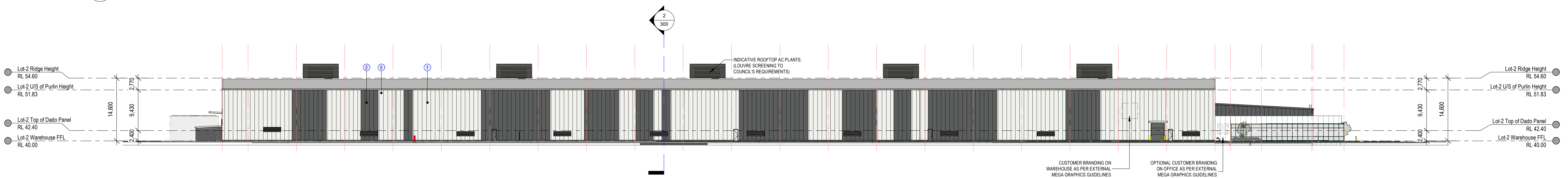
3 Lot 1 South Elevation
101 1:400 @B1

4 Lot 1 West Elevation
101 1:400 @B1

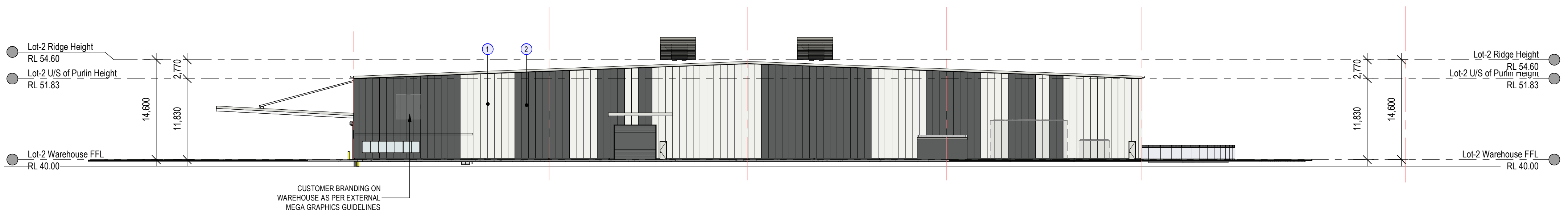
EXTERNAL FINISHES LEGEND - ...	
①	PRE-FINISHED METAL CLADDING - COLORBOND 'COSMIC'
②	PRE-FINISHED METAL CLADDING - COLORBOND 'BASALT'
③	PRECAST CONCRETE - PAINT FINISH TO MATCH DULUX RAL 9003
④	PAINT FINISH COLORBOND 'BASALT'
⑤	ZINCALUME ROOF SHEETING WITH 10% TRANSLUCENT SHEETING



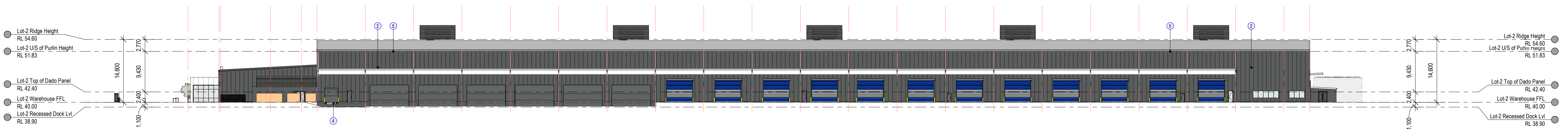
1 Lot 2 South Elevation (Bakers Lane)
102 1:400 @B1



2 Lot 2 West Elevation (Access Road)
102 1:400 @B1



3 Lot 2 North Elevation
102 1:400 @B1



4 Lot 2 East Elevation
102 1:400 @B1

ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEERS DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±100mm

DEVELOPMENT APPLICATION



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000



PROJECT
PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB
ADDRESS
PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER
210811

Rev	Description	Date
Q	Switchroom, generator and solar inverter layout added. Lot-2 number of docks changed to 12x Flashed docks & 6x Recessed docks.	13.12.21
R	Parking landscape bays widened and adjusted.	23.02.22
S	Parking landscape bays widened and adjusted. Dimensions and sustainability messaging graphics added. Rooftop plantscreen height adjusted.	07.03.22
T	General revision.	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: KOK HONG LAU
(Reg No. NSW #1555, QLD #5003, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137

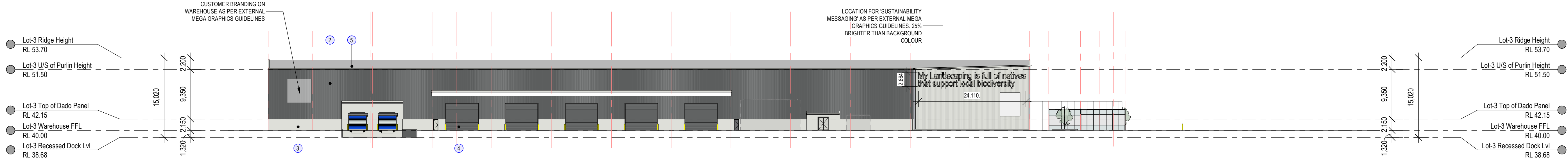


DRAWING TITLE
Warehouse 2 Elevations

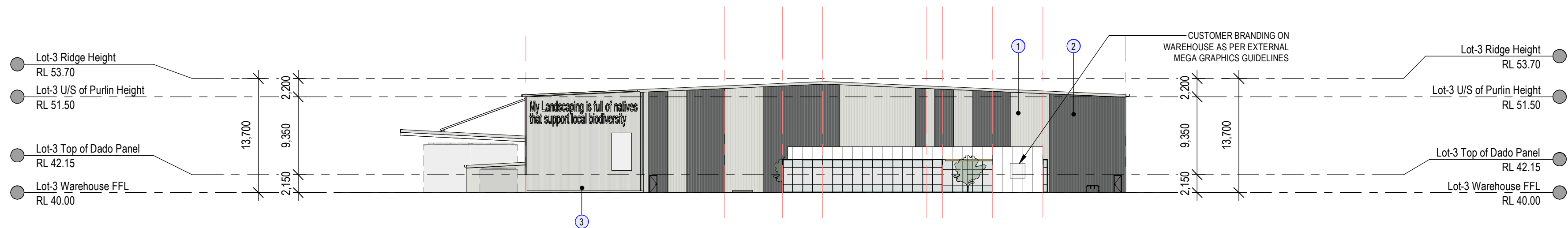
DRAWING NUMBER
SP-KC1-DA - 201 -

DRAWN
CHK
HL
ISSUE
V

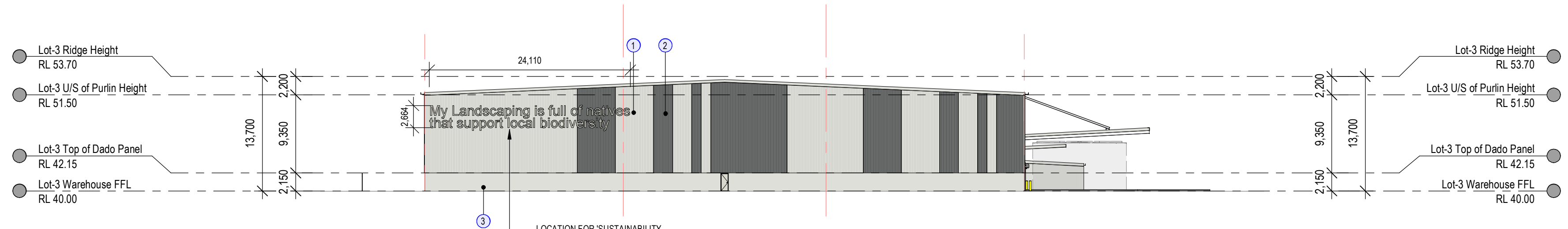
EXTERNAL FINISHES LEGEND -...	
①	PRE-FINISHED METAL CLADDING - COLORBOND 'COSMIC'
②	PRE-FINISHED METAL CLADDING - COLORBOND 'BASALT'
③	PRECAST CONCRETE - PAINT FINISH TO MATCH DULUX 'RAL 9005'
④	PAINT FINISH COLORBOND 'BASALT'
⑤	ZINCALUME ROOF SHEETING WITH 10% TRANSLUCENT SHEETING



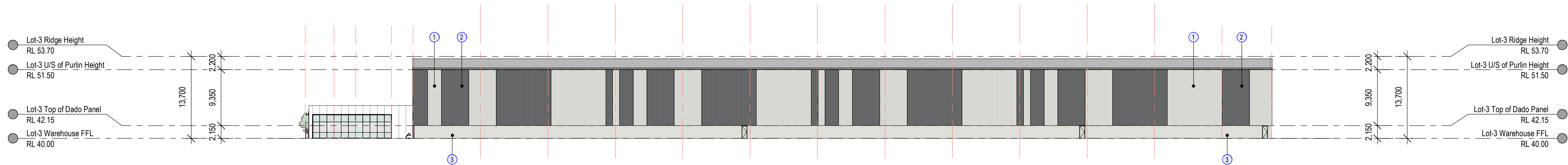
1 Lot 3 East Elevation
103 1:400 @B1



2 Lot 3 North Elevation
103 1:400 @B1



3 Lot 3 South Elevation
102 1:400 @B1



4 Lot 3 West Elevation
103 1:400 @B1

ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEERS DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±100mm

DEVELOPMENT APPLICATION



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000



PROJECT
PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB
ADDRESS
PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER
210811

Rev	Description	Date
Q	Parking landscape bays widened and adjusted.	23.02.22
R	General revision	24.02.22
S	Parking landscape bays widened and adjusted. Dimensions and sustainability messaging graphics added. Rooftop plantscreen height adjusted.	07.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants' detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: Kok Hong LAU
(Reg No. NSW #1555, QLD #5003, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137

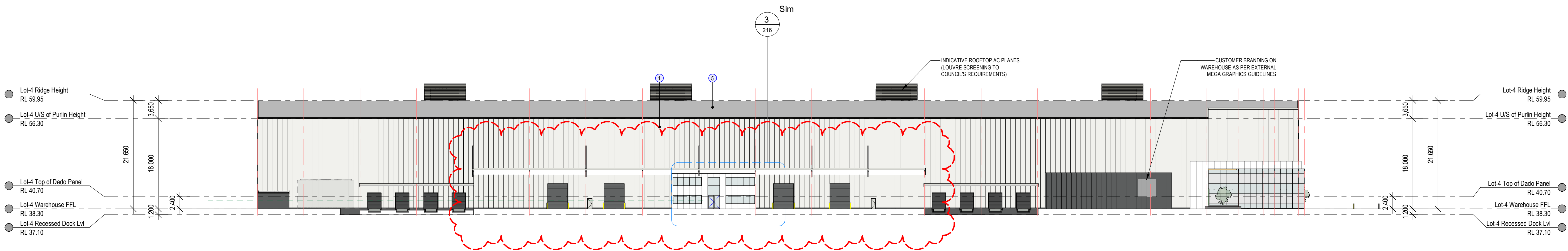


DRAWING TITLE
Warehouse 3 Elevations

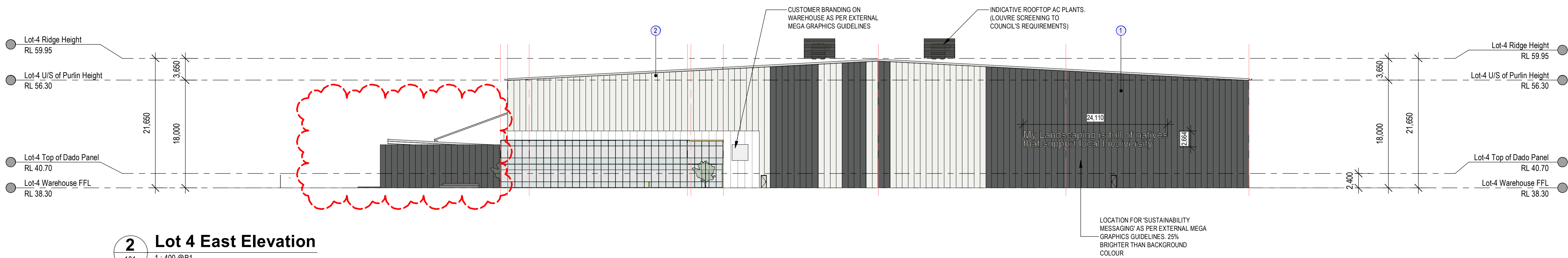
DRAWING NUMBER
SP-KC1-DA - 202 -

DRWN
CHK
HL
ISSUE
V

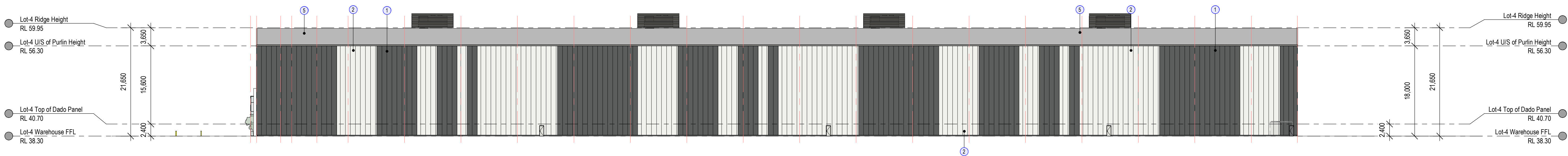
EXTERNAL FINISHES LEGEND - ...	
①	PRE-FINISHED METAL CLADDING - COLORBOND 'COSMIC'
②	PRE-FINISHED METAL CLADDING - COLORBOND 'BASALT'
③	PRECAST CONCRETE - PAINT FINISH TO MATCH DULUX RAL 9002
④	PAINT FINISH COLORBOND 'BASALT'
⑤	ZINCALUME ROOF SHEETING WITH 10% TRANSLUCENT SHEETING



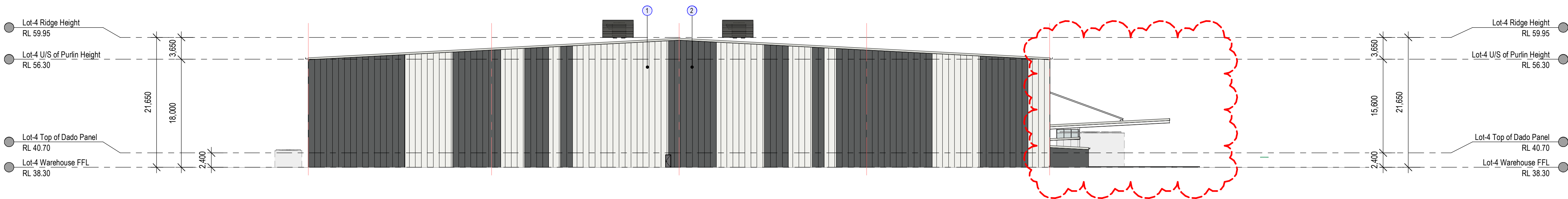
1 Lot 4 South Elevation
102 1:400 @ 81



2 Lot 4 East Elevation
104 1:400 @ 81



3 Lot 4 North Elevation
102 1:400 @ 81



4 Lot 4 West Elevation
104 1:400 @ 81

ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEERS DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±100mm

DEVELOPMENT APPLICATION



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000



PROJECT
PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB
ADDRESS
PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER
210811

Rev	Description	Date
Q	Parking landscape bays widened and adjusted.	23.02.22
R	General revision	24.02.22
S	Parking landscape bays widened and adjusted. Dimensions and sustainability messaging graphics added. Rooftop plantscreen height adjusted.	07.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: Kok Hong LAU
(Reg No. NSW #1555, QLD #5003, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137



DRAWING TITLE
Warehouse 4 Elevations

DRAWING NUMBER
SP-KC1-DA - 203 -

DRWN
CHK
HL
ISSUE
V

EXTERNAL FINISHES LEGEND - OFFICE

A

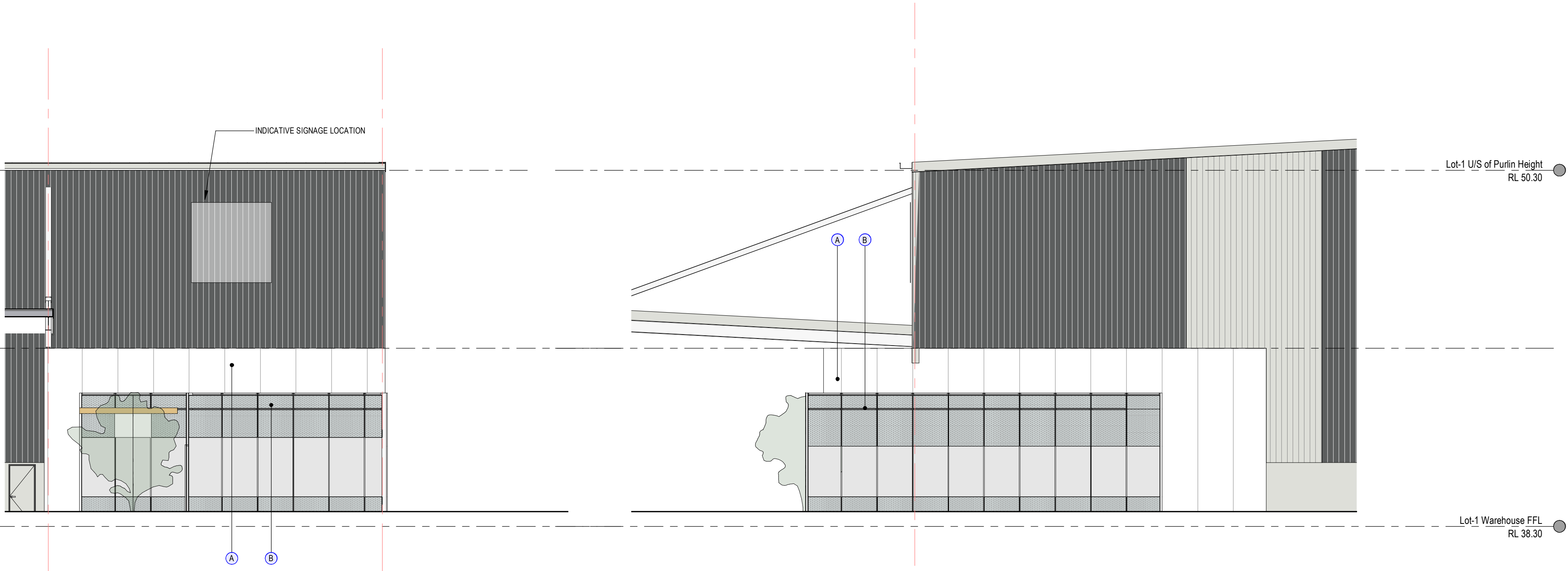
PRE-FINISHED SOLID ALUMINIUM CLADDING - MONDO CLAD 'SILVER GREY METALLIC'

B

GLAZED CURTAIN WALL WITH CERAMIC FRIT PATTERN TO BE SILICONE JOINTED WITH STRUCTURAL MULLION BEHIND.

C

VERTICAL GARDEN TO LANDSCAPE ARCHITECTS DETAILS



1

Lot 1 Office South Elevation

101

1:100 @B1

2

Lot 1 Office East Elevation

101

1:100 @B1

ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±100mm

DEVELOPMENT APPLICATION

8/6/2025 2:24:25 PM BIM 360://Lot 1-4 Kemps Creek/Lot 1-4 Kemps Creek.rvt



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000



PROJECT
PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB
ADDRESS
PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER
210811

Rev	Description	Date
Q	Parking landscape bays widened and adjusted.	23.02.22
R	Parking landscape bays widened and adjusted. Dimensions and sustainability messaging graphics added. Rooftop plantscreen height adjusted.	01.03.22
S	General revision	02.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced , landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

©HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

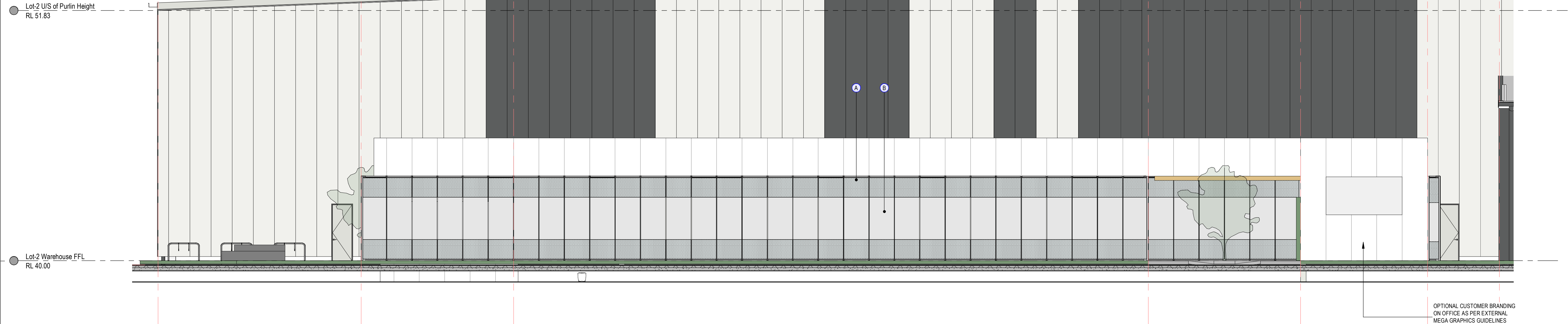
HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: Kok Hong LAU
(Reg No. NSW #1555, QLD #5003, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137



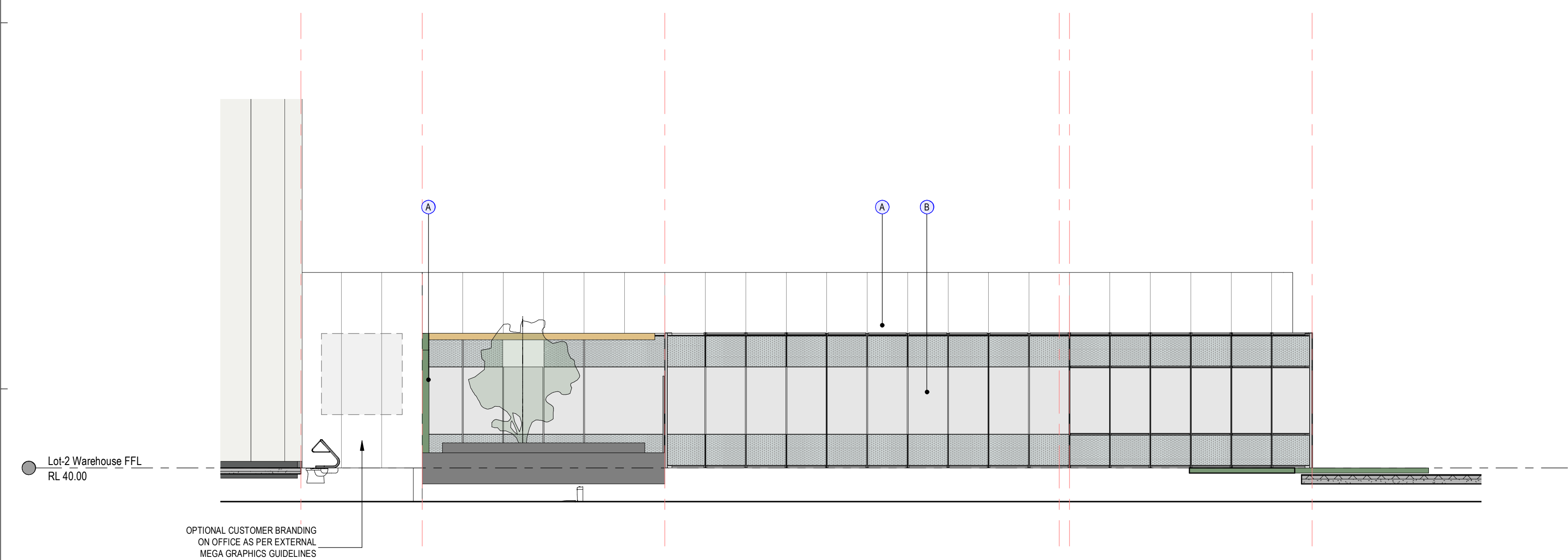
DRAWING TITLE	Office 1 Elevations	DRWN
DRAWING NUMBER	SP-KC1-DA - 210 -	CHK HL
		ISSUE V

EXTERNAL FINISHES LEGEND - OFFICE

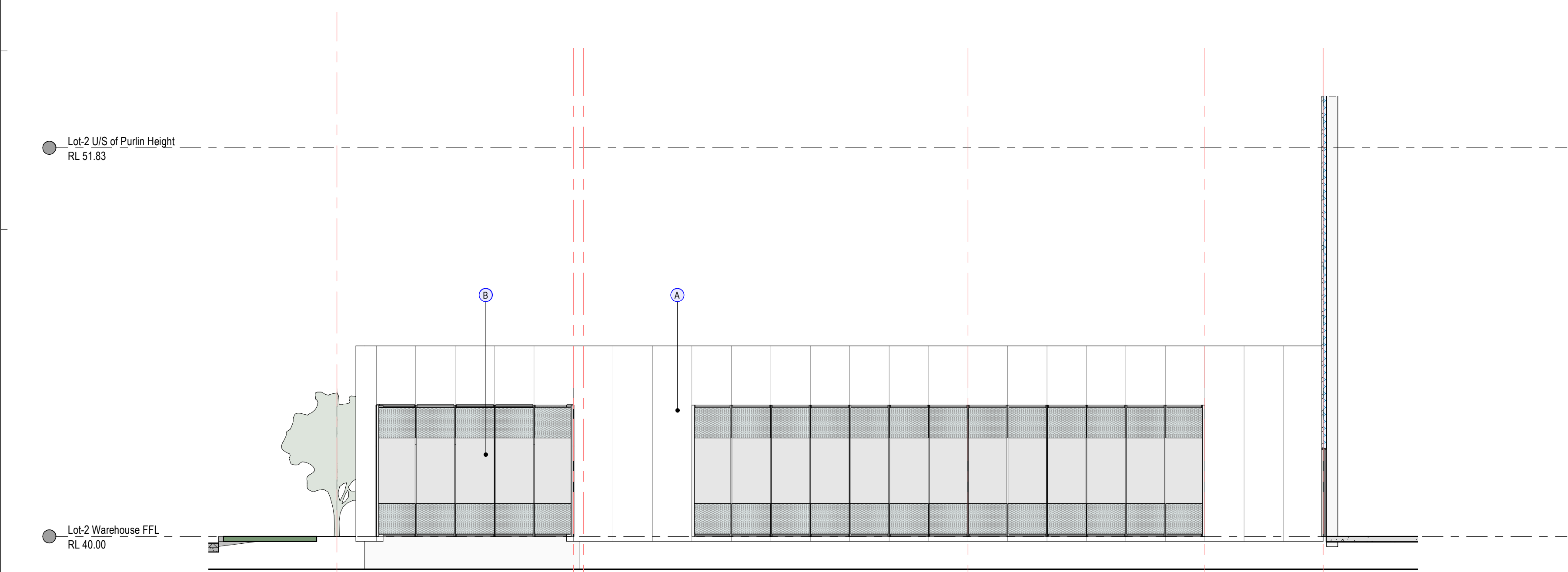
- (A) PRE-FINISHED SOLID ALUMINIUM CLADDING - MONDO CLAD SILVER GREY METALLIC
- (B) GLAZED CURTAIN WALL WITH CERAMIC FRIT PATTERN TO BE SILICONE JOINTED WITH STRUCTURAL MULLION BEHIND...
- (C) VERTICAL GARDEN TO LANDSCAPE ARCHITECTS DETAILS



1 Lot 2 Office East Elevation
1:100 @81



2 Lot 2 Office South Elevation
1:100 @81



3 Lot 2 Office North Elevation
1:100 @81

ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEERS DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±100mm

DEVELOPMENT APPLICATION



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000



PROJECT PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB
ADDRESS PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER 210811

Rev	Description	Date
Q	Parking landscape bays widened and adjusted.	23.02.22
R	General revision	24.02.22
S	Parking landscape bays widened and adjusted. Dimensions and sustainability messaging graphics added. Rooftop plantscreen height adjusted.	01.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.

General Notes:
Architectural drawings to be read in conjunction with all other consultants detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: KOK HONG LAU
(Reg No. NSW #1555, QLD #5003, TAS #1101)

e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137



DRAWING TITLE
Office 2 Elevations

DRAWING NUMBER
SP-KC1-DA - 214 -

DRWN
CHK
HL
ISSUE
V

EXTERNAL FINISHES LEGEND - OFFICE

A

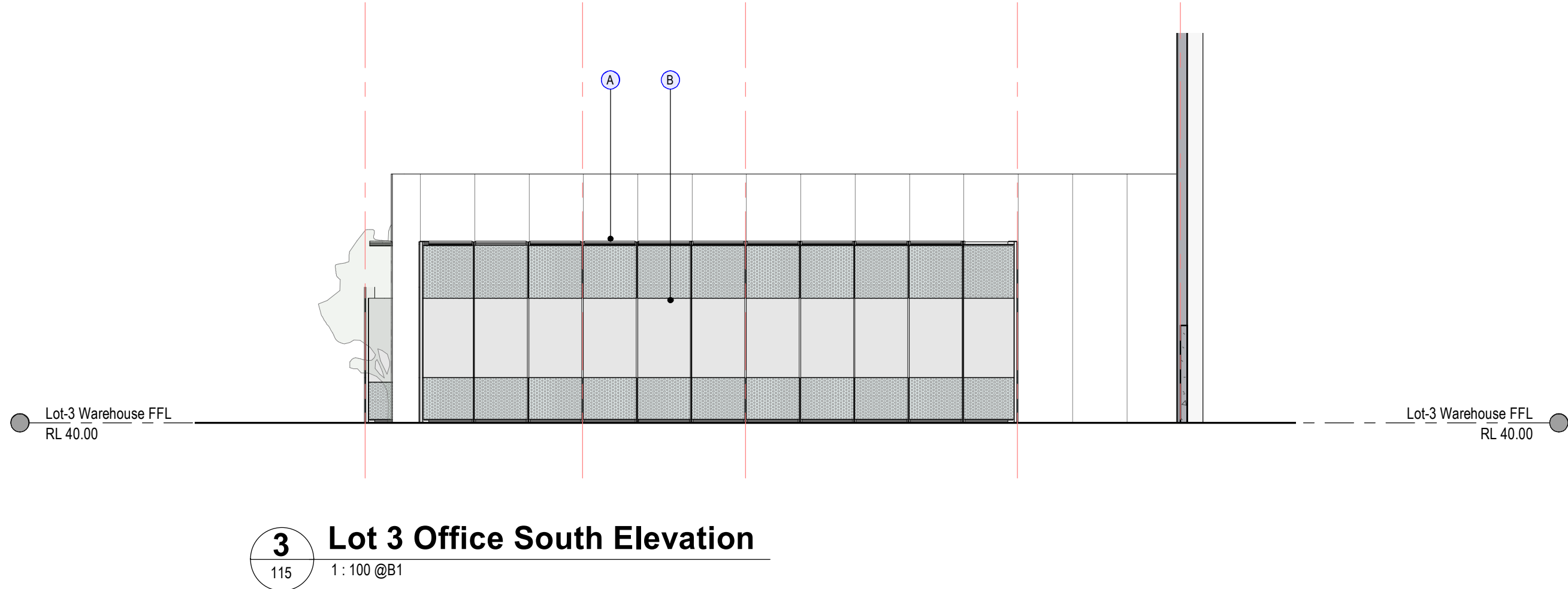
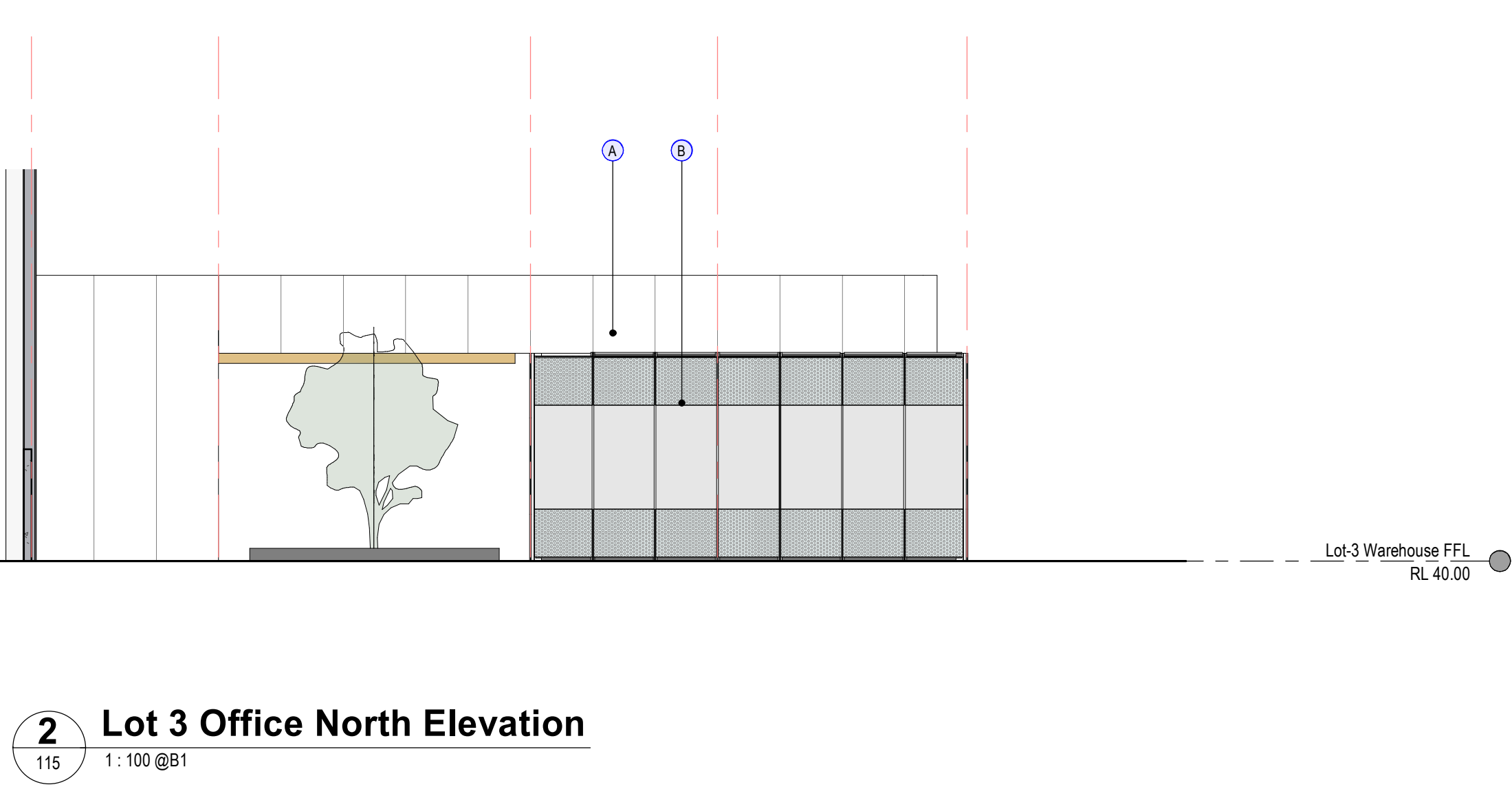
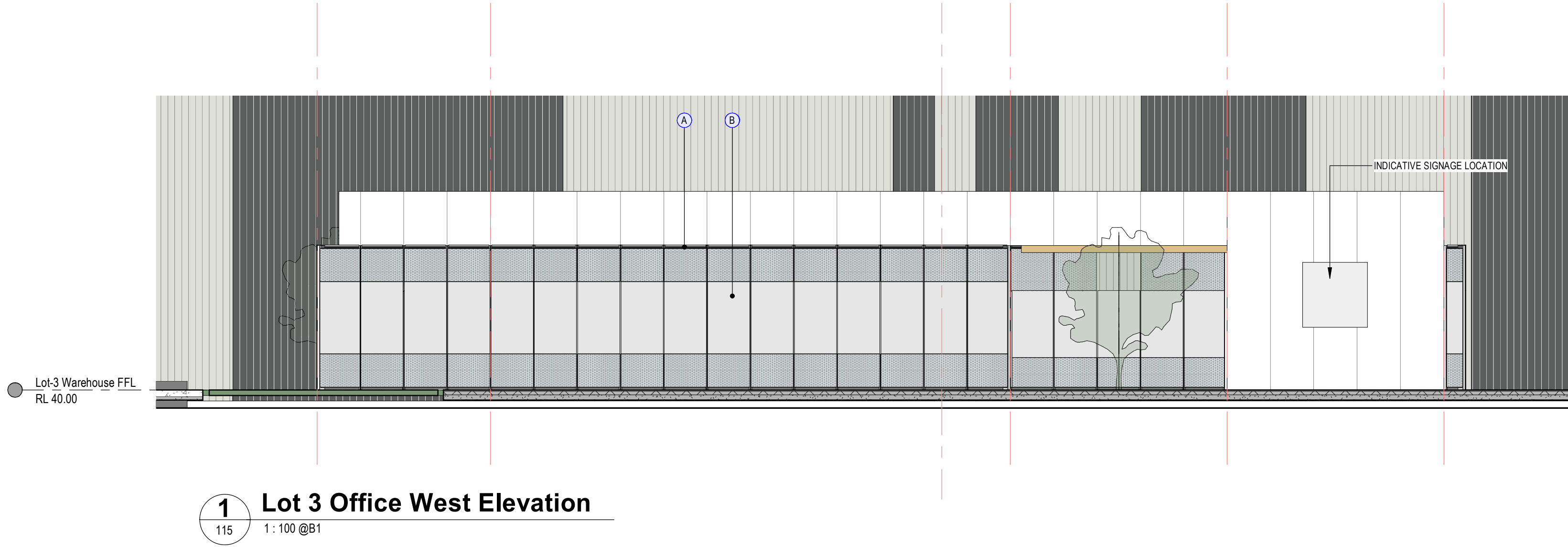
PRE-FINISHED SOLID ALUMINUM CLADDING - MONDO CLAD 'SILVER GREY METALLIC'

B

GLAZED CURTAIN WALL WITH CERAMIC FRIT PATTERN TO BE SILICONE JOINTED WITH STRUCTURAL MULLION BEHIND.

C

VERTICAL GARDEN TO LANDSCAPE ARCHITECTS DETAILS



ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEERS DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±100mm

DEVELOPMENT APPLICATION

8/8/2022 2:25:27 PM BIM 360://Lot 1-4 Kemp Creek/Lot 1-4 Kemp Creek.rvt



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000



PROJECT
PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB
ADDRESS
PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER
210811

Rev	Description	Date
Q	Parking landscape bays widened and adjusted.	23.02.22
R	General revision	24.02.22
S	Parking landscape bays widened and adjusted. Dimensions and sustainability messaging graphics added. Rooftop plantscreen height adjusted.	07.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced , landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

©HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: Kok Hong LAU
(Reg No. NSW #1555, QLD #5003, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137



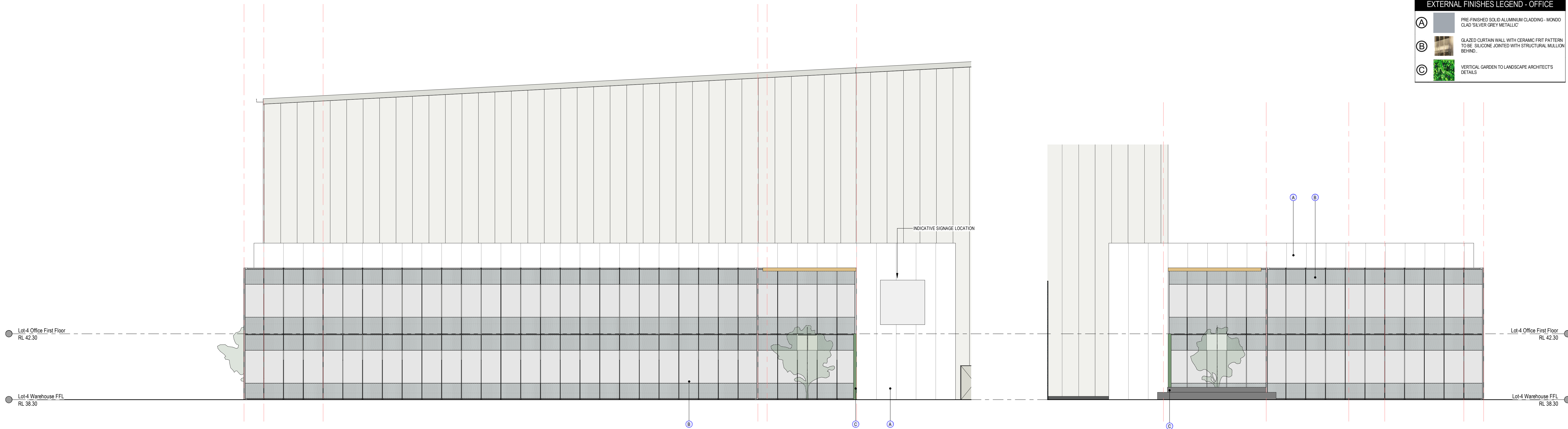
DRAWING TITLE
Office 3 Elevations

DRAWING NUMBER
SP-KC1-DA - 215 -

DRWN
CHK
HL
ISSUE
V

EXTERNAL FINISHES LEGEND - OFFICE

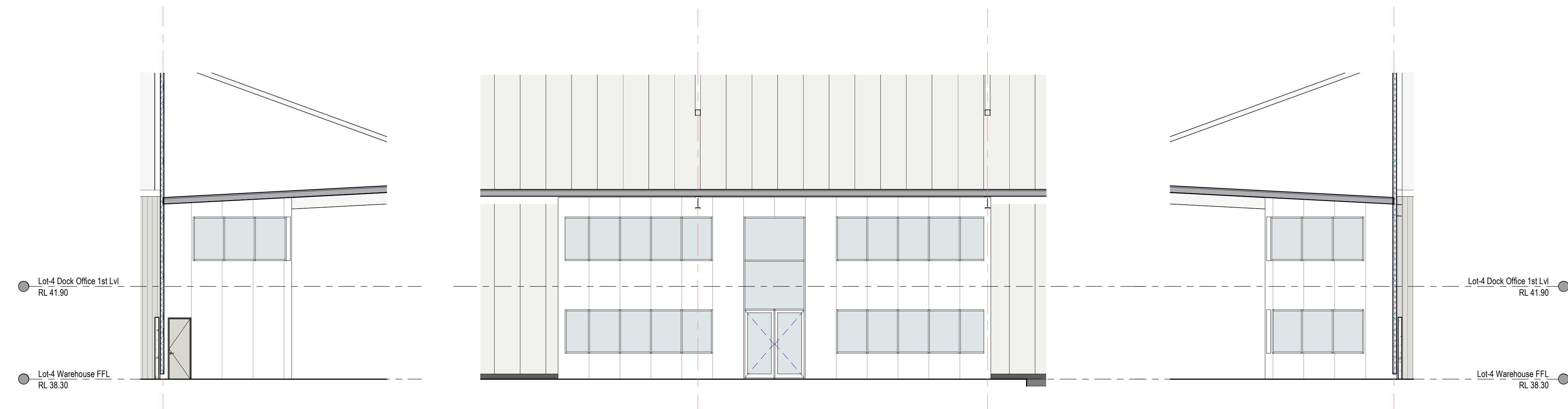
- (A) PRE-FINISHED SOLID ALUMINIUM CLADDING - MONDO CLAD SILVER GREY METALLIC
- (B) GLAZED CURTAIN WALL WITH CERAMIC FRIT PATTERN TO BE SILICONE JOINTED WITH STRUCTURAL MULLION BEHIND.
- (C) VERTICAL GARDEN TO LANDSCAPE ARCHITECT'S DETAILS

**1 Lot 4 Office East Elevation**

116 1:100 @B1

2 Lot 4 Office West Elevation

116 1:100 @B1

**4 Lot 4 Dock Office West Elevation**

116 1:100 @B1

3 Lot 4 Dock Office South Elevation

116 1:100 @B1

5 Lot 4 Dock Office East Elevation

116 1:100 @B1

ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.

ALL LEVELS SHOWN TO BE ±100mm

DEVELOPMENT APPLICATION



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000



PROJECT PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB
ADDRESS PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER 210811

Rev	Description	Date
Q	Parking landscape bays widened and adjusted.	23.02.22
R	General revision	24.02.22
S	General revision	02.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.

General Notes:
Architectural drawings to be read in conjunction with all other consultants' detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: KOK HONG LAU
(Reg No. NSW #1555, QLD #5003, TAS #1101)

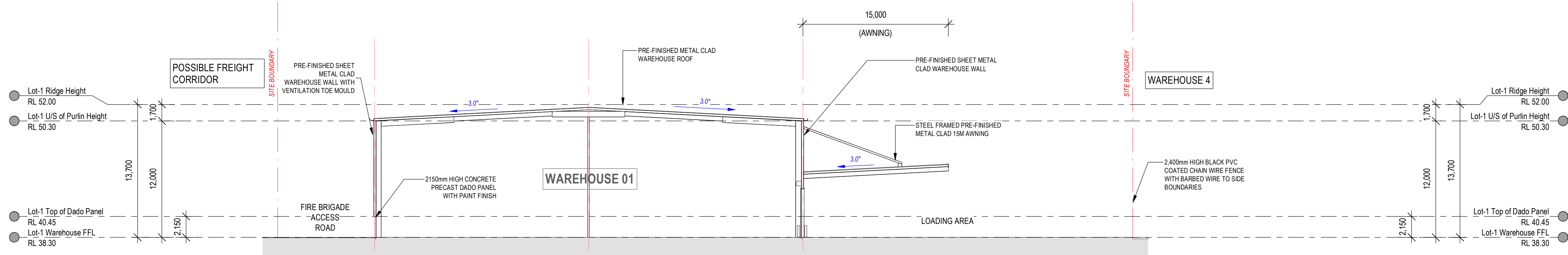
HL Architects Pty Ltd
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137



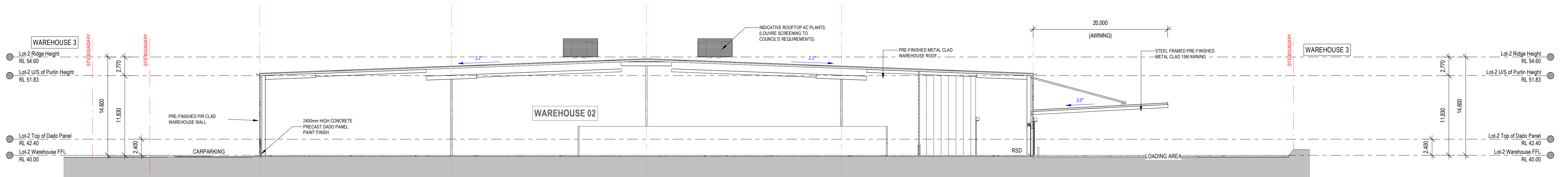
DRAWING TITLE
Office 4 Elevations

DRAWING NUMBER
SP-KC1-DA - 216 -

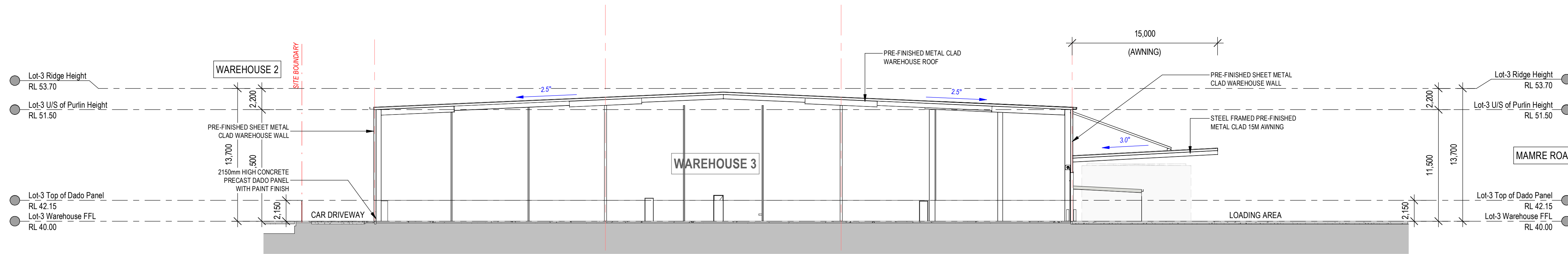
DRWN
CHK
HL
ISSUE
V



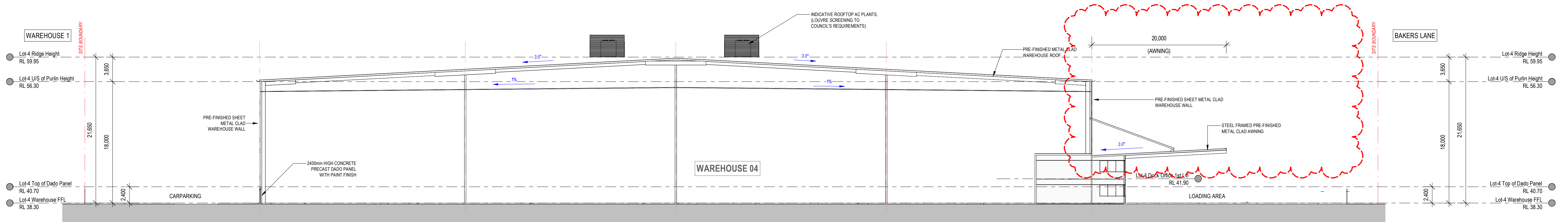
1 Cross Section (Warehouse 1)
x800 1:250 @B1



2 Cross Section (Warehouse 2)
201 1:250 @B1



3 Cross Section (Warehouse 3)
x800 1:250 @B1



4 Cross Section (Warehouse 4)
104 1:250 @B1

ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEERS DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±100mm

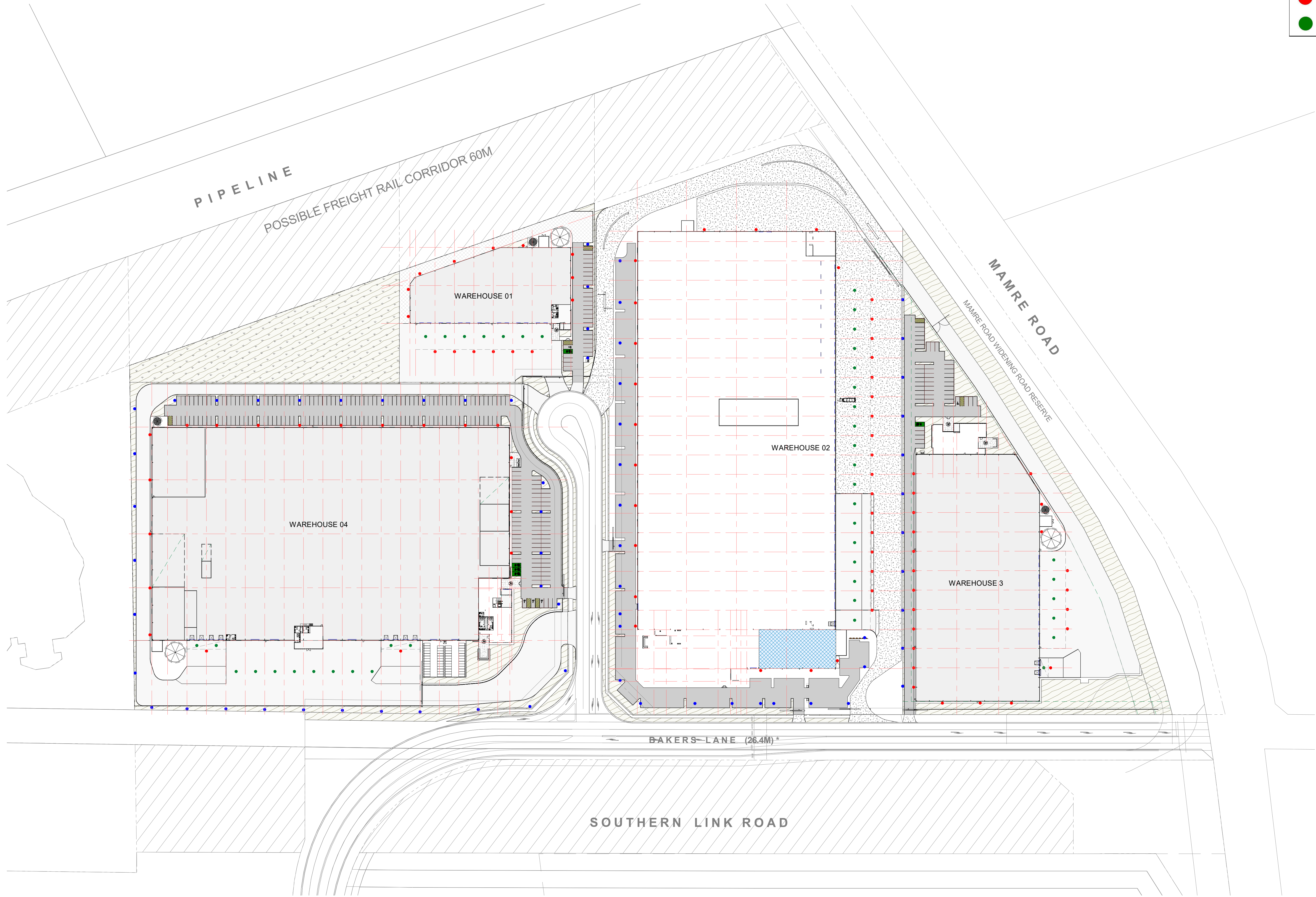
DEVELOPMENT APPLICATION

INDICATIVE LIGHTING LEGEND

CARPARK / DRIVEWAY LIGHT POLES (APPROX 8m HIGH)

WALL MOUNTED LIGHT FITTING

UNDERSIDE AWNING LIGHT FITTING



1 INDICATIVE LIGHTING PLAN (WAREHOUSE 1,2,3 & 4)

203 1 : 1000 @B1

ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEERS DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±100mm

DEVELOPMENT APPLICATION

8/04/2022 2:26:42 PM B:\300\Lot 14-Kemps Creek\Lot 14-Kemps Creek.dwg



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000

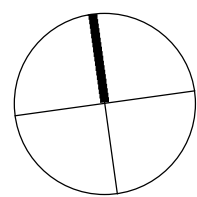


PROJECT PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB
ADDRESS PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER 210811

Rev	Description	Date
Q	General revision	24.02.22
R	Parking landscape bays widened and adjusted. Dimensions and sustainability messaging graphics added. Rooftop plantscreen height adjusted.	01.03.22
S	General revision	02.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: KOK HONG LAU
(Reg No. NSW #1595, QLD #5003, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137



DRAWING TITLE
Indicative Lighting Plan (Warehouse 1,2,3 & 4)
DRAWING NUMBER
SP-KC1-DA - 400 -

DRWN
CHK
HL
ISSUE
V



ALL LEVELS AREA INDICATIVE AND SHOULD BE READ
IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS
FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±1000mm

DEVELOPMENT APPLICATION

8/10/2022 2:26:52 PM BIM 360://Lot 1-4 Kemp Creek/Lot 1-4 Kemp Creek.rvt



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1610
T 02 9167 2000



PROJECT PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB
ADDRESS PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER 210811

Rev	Description	Date
Q	Parking landscape bays widened and adjusted.	23.02.22
R	General revision	24.02.22
S	Parking landscape bays widened and adjusted. Dimensions and sustainability messaging graphics added. Rooftop plantscreen height adjusted.	01.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/text shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright.
It may not be copied, used, reproduced or transmitted in any way or in any
form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants
detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: KOK HONG LAU
(Reg No. NSW #1595, QLD #0500, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137



DRAWING TITLE
Office 1 Perspective

DRAWING NUMBER
SP-KC1-DA - 600 -

DRWN
CHK
HL
ISSUE
V



ALL LEVELS AREA INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±100mm

DEVELOPMENT APPLICATION

8/10/2022 2:26:55 PM BIM 360://Lot 1-4 Kemp Creek/Lot 1-4 Kemp Creek.rvt



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000



PROJECT
HUB
PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER 210811

Rev	Description	Date
Q	Parking landscape bays widened and adjusted.	23.02.22
R	General revision	24.02.22
S	Parking landscape bays widened and adjusted. Dimensions and sustainability messaging graphics added. Rooftop plantscreen height adjusted.	01.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants' detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: KOK HONG LAU
(Reg No. NSW #1595, QLD #5003, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137



DRAWING TITLE
Office 2 Perspective
DRAWING NUMBER
SP-KC1-DA - 601 -
V

DRWN
CHK
HL
ISSUE



ALL LEVELS AREA INDICATIVE AND SHOULD BE READ
IN CONJUNCTION WITH CIVIL ENGINEERS DRAWINGS
FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±100mm

DEVELOPMENT APPLICATION



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000



PROJECT
HUB
PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER 210811

Rev	Description	Date
Q	Parking landscape bays widened and adjusted.	23.02.22
R	General revision	24.02.22
S	General revision	02.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright. It may not be copied, used, reproduced or transmitted in any way or in any form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: Kok Hong LAU
(Reg No. NSW #1555, QLD #5020, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137



DRAWING TITLE
Office 3 Perspective

DRAWING NUMBER
SP-KC1-DA - 602 -

DRWN
CHK
HL
ISSUE
V



ALL LEVELS AREA INDICATIVE AND SHOULD BE READ
IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS
FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±100mm

DEVELOPMENT APPLICATION

8/4/2022 2:27:03 PM BIM 360://Lot 1-4 Kemp Creek/Lot 1-4 Kemp Creek.rvt



**FRASERS
PROPERTY**

FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000



PROJECT
**PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB**
ADDRESS
**PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW**
PROJECT NUMBER
210811

Rev	Description	Date
Q	Parking landscape bays widened and adjusted.	23.02.22
R	General revision	24.02.22
S	General revision	02.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

H/L Architects Pty Ltd. This drawing is confidential and is subject to copyright.
It may not be copied, used, reproduced or transmitted in any way or in any
form without the express permission of H/L Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants
detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to H/LA before commencing any work.

H/L Architects Pty Ltd A.C.N. 161 638 320
nominated architect: KOK HONG LAU
(Reg No. NSW #1555, QLD #5003, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137



DRAWING TITLE
Office 4 Perspective
DRAWING NUMBER
SP-KC1-DA - 607 -
DRAWN
CHK
HL
ISSUE
V



ALL LEVELS AREA INDICATIVE AND SHOULD BE READ
IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS
FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±1000mm

DEVELOPMENT APPLICATION



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000



PROJECT
HUB
PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER
210811

Rev	Description	Date
Q	Parking landscape bays widened and adjusted.	23.02.22
R	General revision	24.02.22
S	Parking landscape bays widened and adjusted. Dimensions and sustainability messaging graphics added. Rooftop plantscreen height adjusted.	07.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright.
It may not be copied, used, reproduced or transmitted in any way or in any
form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants
detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: KOK HONG LAU
(Reg No. NSW #1555, QLD #5003, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137



DRAWING TITLE
Warehouse 1-4 Perspective
DRAWING NUMBER
SP-KC1-DA - 608 -

DRWN
CHK
HL
ISSUE
V



ALL LEVELS AREA INDICATIVE AND SHOULD BE READ
IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS
FOR FINAL LEVELS OF ALL EARTHWORKS.
ALL LEVELS SHOWN TO BE ±1000mm

DEVELOPMENT APPLICATION



FRASERS PROPERTY GROUP
LEVEL 3, 10 Homebush Bay Drive
RHODES NSW 1670
T 02 9167 2000



PROJECT
PROPOSED WAREHOUSE AND INDUSTRIAL FACILITIES
HUB
ADDRESS
PROPOSED LOT 1, 2, 3 & 4, 657-769 MAMRE ROAD
KEMPS CREEK 2178 NSW
PROJECT NUMBER
210811

Rev	Description	Date
Q	Parking landscape bays widened and adjusted.	23.02.22
R	General revision	24.02.22
S	General revision	02.03.22
T	General revision	03.03.22
U	Lot 2 roof pit changed, WH wall height increased.	16.03.22
V	Lot 2 Car entry/exit shifted and truck exit width reduced, landscape added. Lot 4 super awning changed to 20m awning.	11.04.22

HL Architects Pty Ltd. This drawing is confidential and is subject to copyright.
It may not be copied, used, reproduced or transmitted in any way or in any
form without the express permission of HL Architects Pty Ltd.
General Notes:
Architectural drawings to be read in conjunction with all other consultants
detailed drawings, specifications & reports.
Do not scale this drawing. Verify all dimensions on site.
Refer all discrepancies to HLA before commencing any work.

HL Architects Pty Ltd A.C.N. 161 638 320
nominated architect: KOK HONG LAU
(Reg No. NSW #1555, QLD #5003, TAS #1101)
e admin@hlarchitects.com.au
t 02 9166 9942
m 0424 160 365
w www.hlarchitects.com.au
a Suite 53, 9 George St, North Strathfield NSW 2137



DRAWING TITLE
Warehouse 2 & Office 2 Perspective
DRAWING NUMBER
SP-KC1-DA - 609 -

DRWN
CHK
HL
ISSUE
V