

42 Honeysuckle Drive

Cottage Creek Precinct Newcastle

Little National, 42 Honeysuckle Drive, Newcastle

State Significant Development (SSD-10378)

DEVELOPMENT MODIFICATIONS

February 2022

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Project Number S12109.B

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1.0 Introduction

This design statement has been prepared to outline the changes proposed to approval planning application SSD-10378 for 42 Honeysuckle Drive, Newcastle. This document is to be read in conjunction with the accompanying planning report by SLR.

Modifications

1 / South west end of the building at levels L00/L01/L02 set back from south boundary line.

2/ End of trip facility/ meeting rooms/ BOH configuration amended to accommodate a deeper reception space and visibility to carpark/ entry and lift lobby.

3 / Hotel entry location shifted including external stair access.

4 / Substation location shifted 450mm to the west to align with structural columns above.

5 / Commercial entry and location of stair access shifted 450mm to the west.

6 / Amenities to commercial floor area shifted and combined with the hotel facilities.

7 / Feature stair relocated to the western side of the communal space. Stair links from ground floor to level L02.

8 / External western terrace to level L02 off the hotel communal space omitted.

9 / Planter between building forms along the Northern elevation at levels L01 and L02 omitted.

10 / South west end of the hotel - 1 room from every level omitted.

11 / Western hotel facade sun-shading design amended. Louvres removed and 600mm vertical and horizontal fins angled.

12/ Landscaped area to the northern terrace increased.

13 / Facade amended outside lift lobby. This is now concrete construction rather than glazing to increase privacy between the hotel and commercial tower.

14 / Commercial tower external plant space increased in size

15 / Fire stair from commercial tower and hotel extended to roof access.

16 / Hotel slab to slab levels reduced from 3380mm down to 3100mm. This has resulted in an overall hotel building height reduction..

17 / Commercial tower height increased by 600mm to allow for additional plant height

18 / L01 and L02 North/west corner amended. External terrace omitted and sun-shading added to level L02

19 / Arbor structure has been pulled back at the south boundary.

20 / Loss of 2 parking bays, commensurate with the reduction of GA and increase in motorbike spaces

21/ Facade colours and materiality generally the same with the exception of the western facade and the hotel north and south elevations that now has a darker finish.

22 / External fire tank to south elevation

3

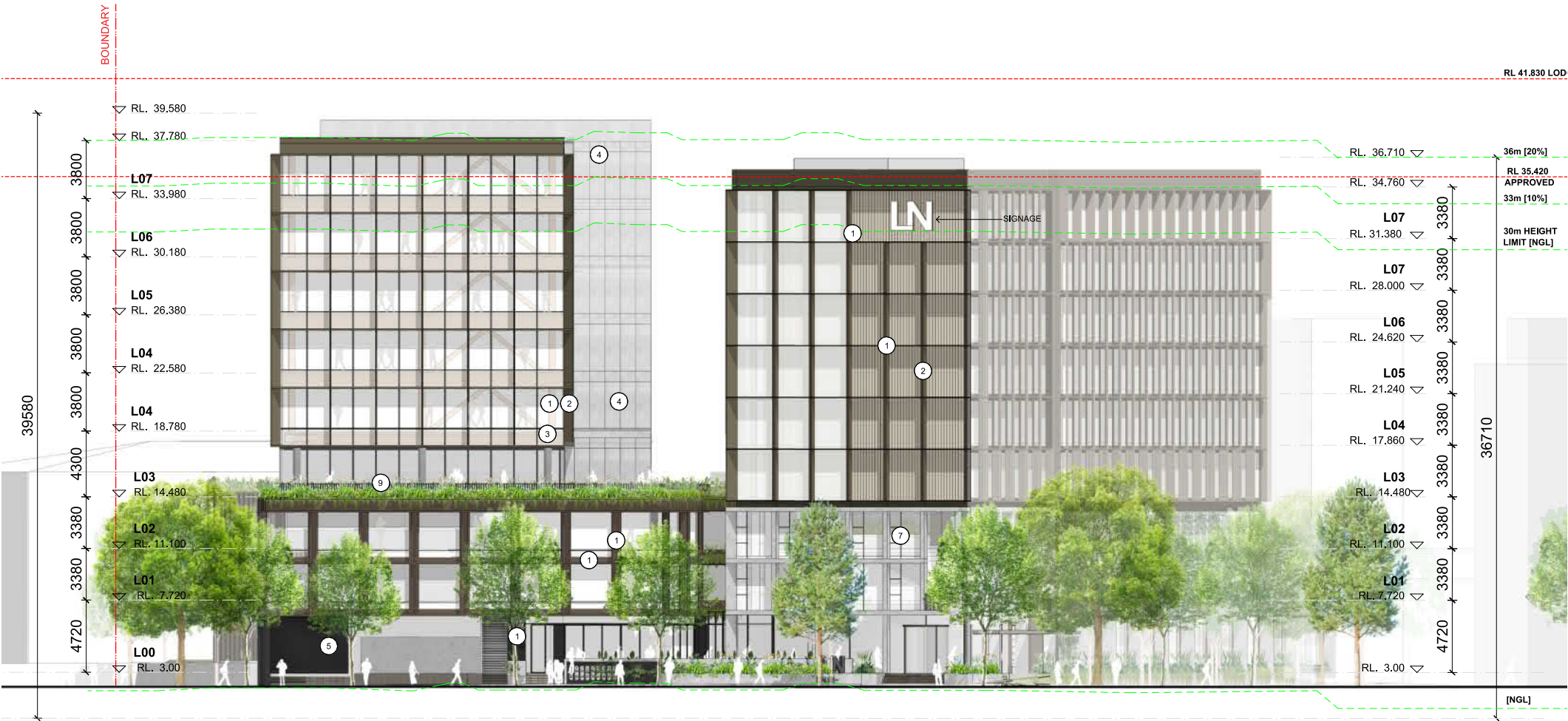


PROPOSED CGI

Honeysuckle Drive, Newcastle

2.0 Approved
North Elevation

PREVIOUS DA
General Arrangement Plan
North Elevation
Revision: 5
Date: 18/09/2020
Description: Issued for DA submission

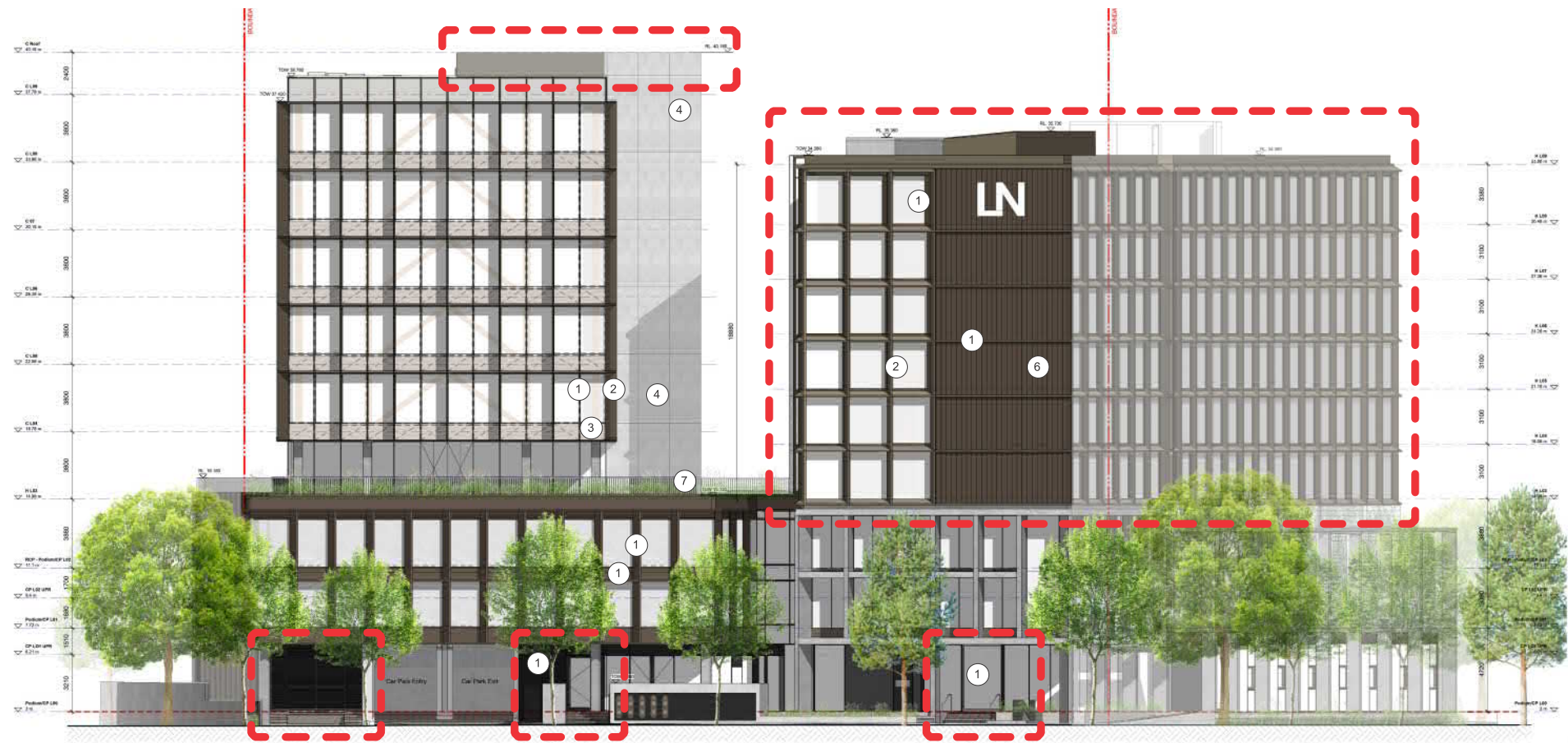


2.1 Design Changes North Elevation

PROPOSED DA AMENDMENTS

- 1 / Substation location shifted to align with structure over
- 2 / Commercial lobby and associated external access stairs shifted
- 3 / Hotel entry and associated external access stairs shifted
- 4 / Hotel slab to slab levels reduced from 3380mm down to 3100mm. This has resulted in an overall hotel building

- Height reduction.
- 5 / Commercial tower height increased by 600mm to allow for additional plant height
- 6/ Facade materiality remains the same with the exception of the north facade of the hotel facade - some of the fenestration has been removed and the colour moved to a dark bronze..



3.0 Approved West Elevation

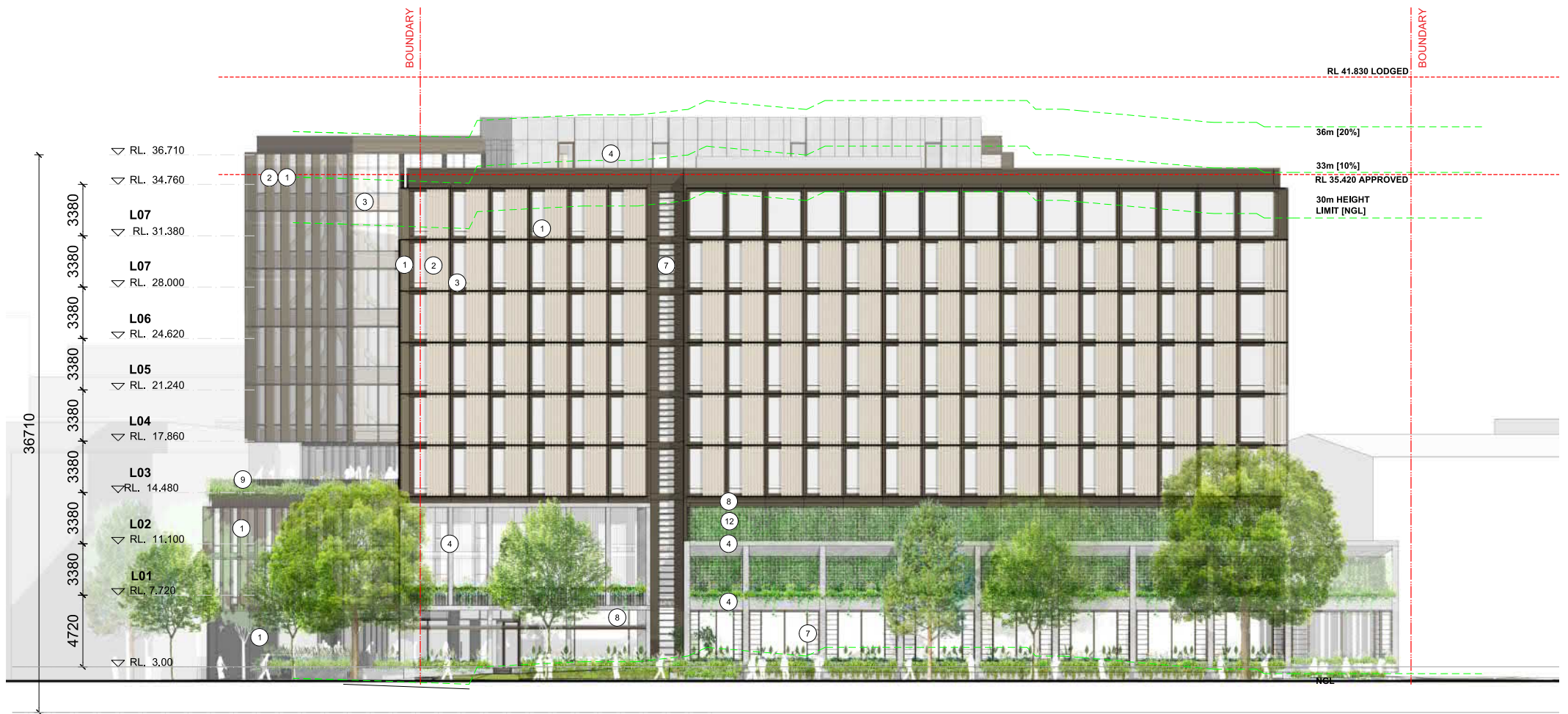
PREVIOUS DA

General Arrangement Plan
North Elevation

Revision: 5

Date: 18/09/2020

Description: Issued for DA submission



3.1 Design Changes

West Elevation

PROPOSED DA AMENDMENTS

1 / Hotel slab to slab levels reduced from 3380mm down to 3100mm. This has resulted in an overall hotel building height reduction.

2 / L01 and L02 North/west corner amended. External terrace omitted and sun-shading added to level L02

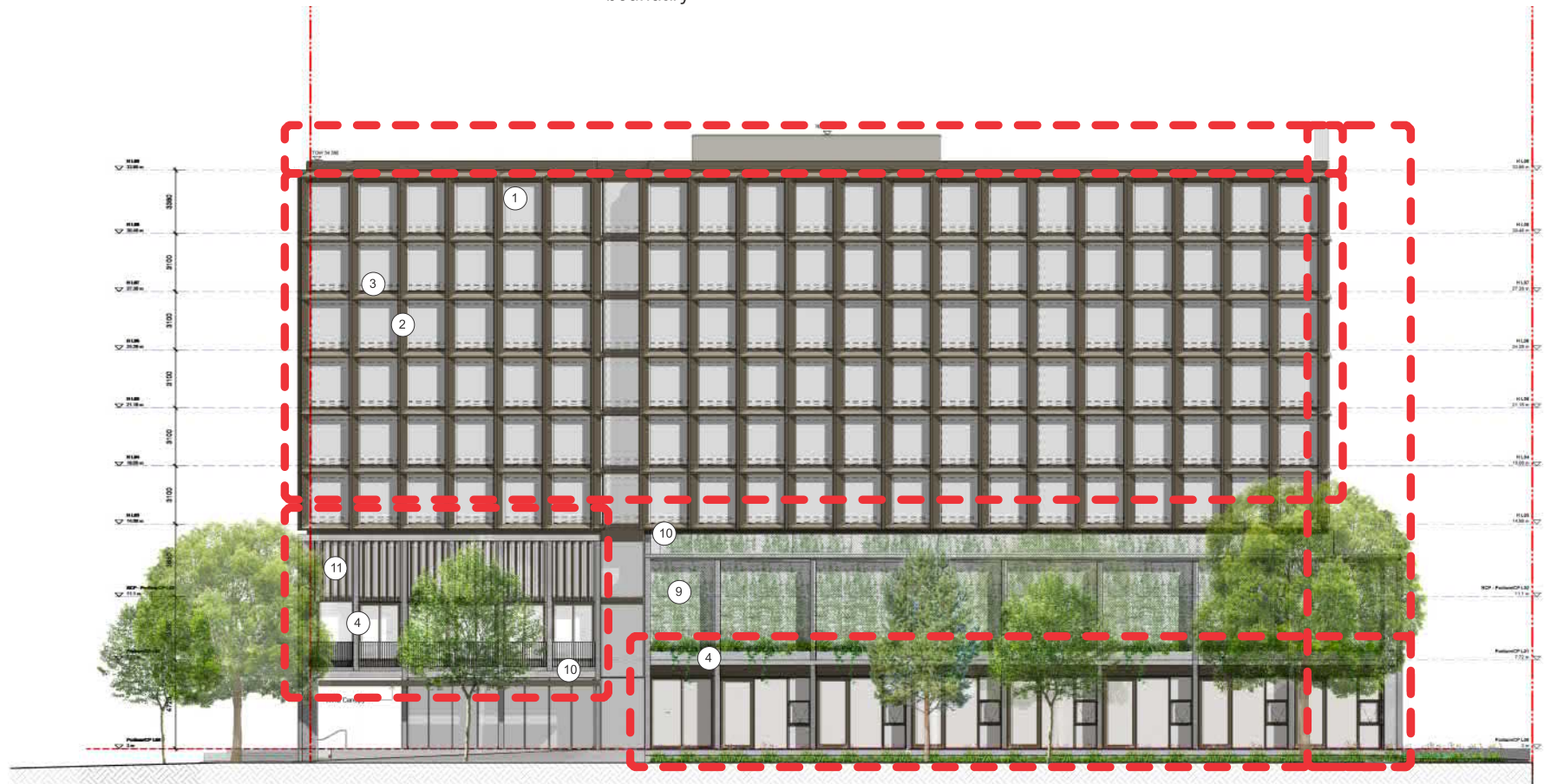
3 / Hotel south end of building has been reduce in length by 1 hotel room width.

4 / Arbor structure has been pulled back at the south boundary.

5/ Ground floor facade to meeting rooms and gym has been amended. Glass louvres removed and sliding doors and operable windows added.

6/ Hotel facade from levels L03 to L08 - external louvres have been omitted and an angled 600mm deep vertical and horizontal sunshade added

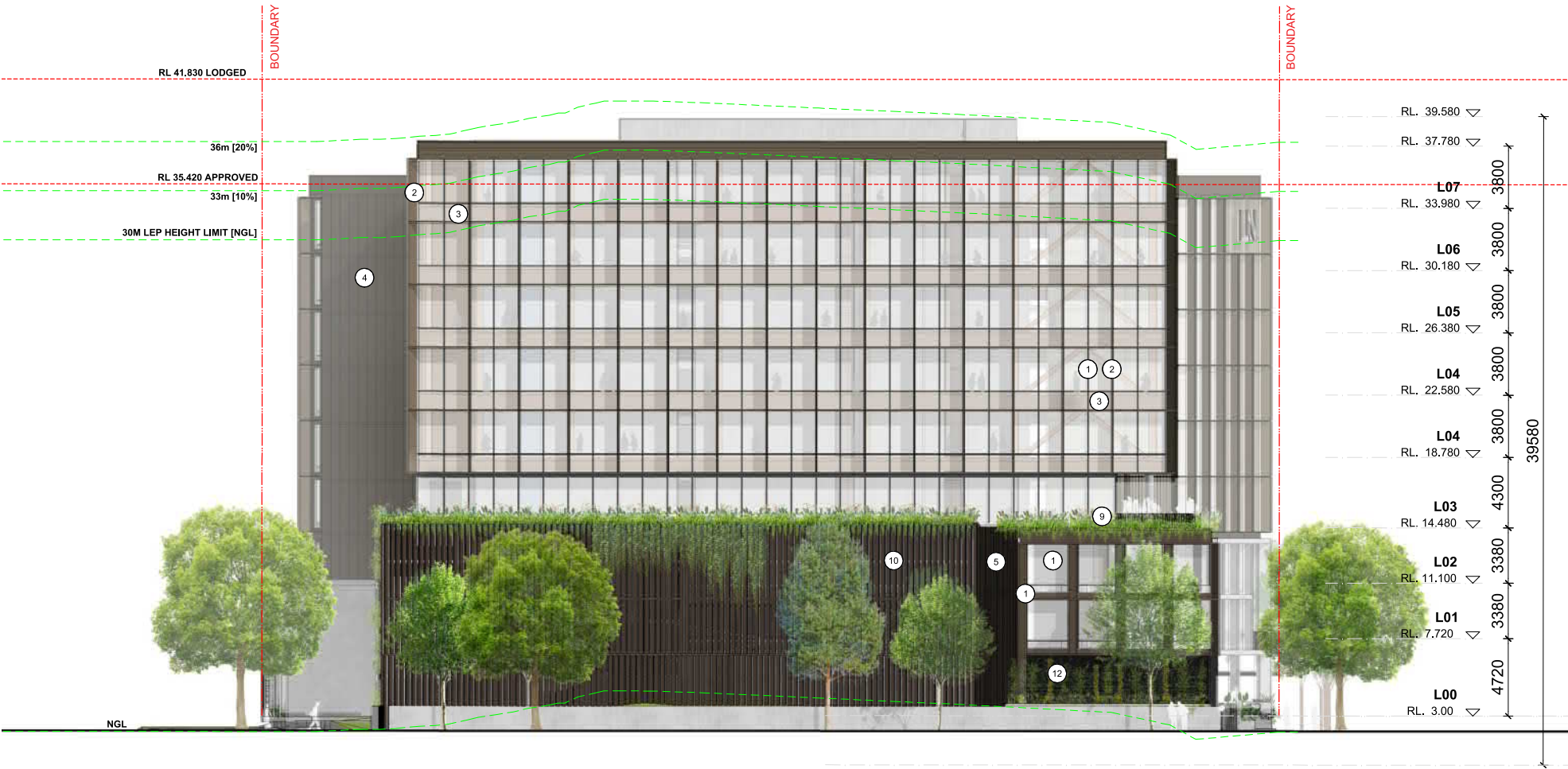
7/ Facade colours and materiality remain the same



4.0 Approved East Elevation

PREVIOUS DA

General Arrangement Plan
North Elevation
Revision: 5
Date: 18/09/2020
Description: Issued for DA submission

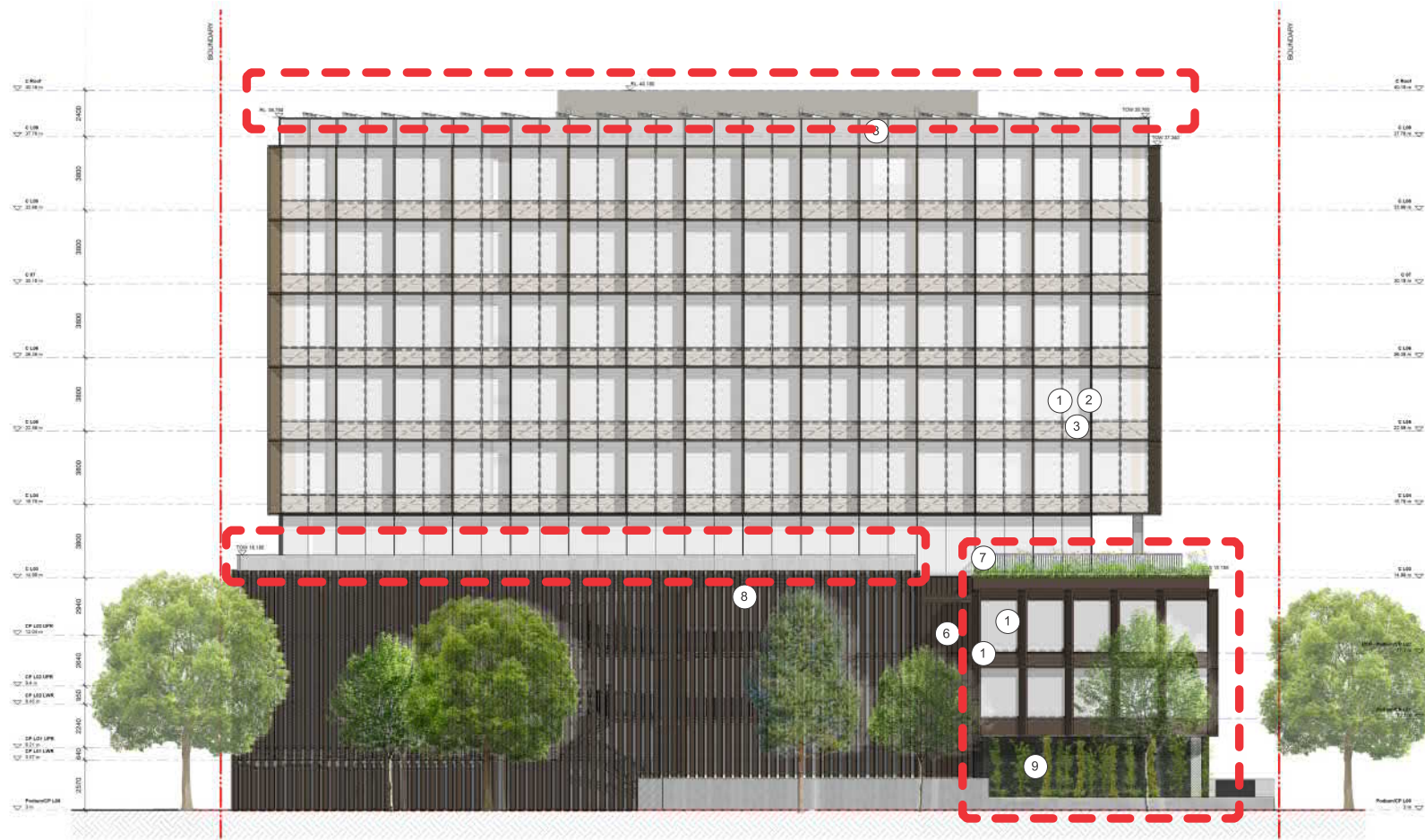


4.1 Design Changes

East Elevation

PROPOSED DA AMENDMENTS

- 1 / Commercial podium levels L01 and L02 facade amended with a singular vertical sunshade expression
- 2 / Commercial tower height increased by 600mm to allow for additional plant height.
- 3 / Perimeter edge planters to Level L03 over carpark omitted
- 4/ Facade colours and materiality remain the same



5.0 Approved South Elevation

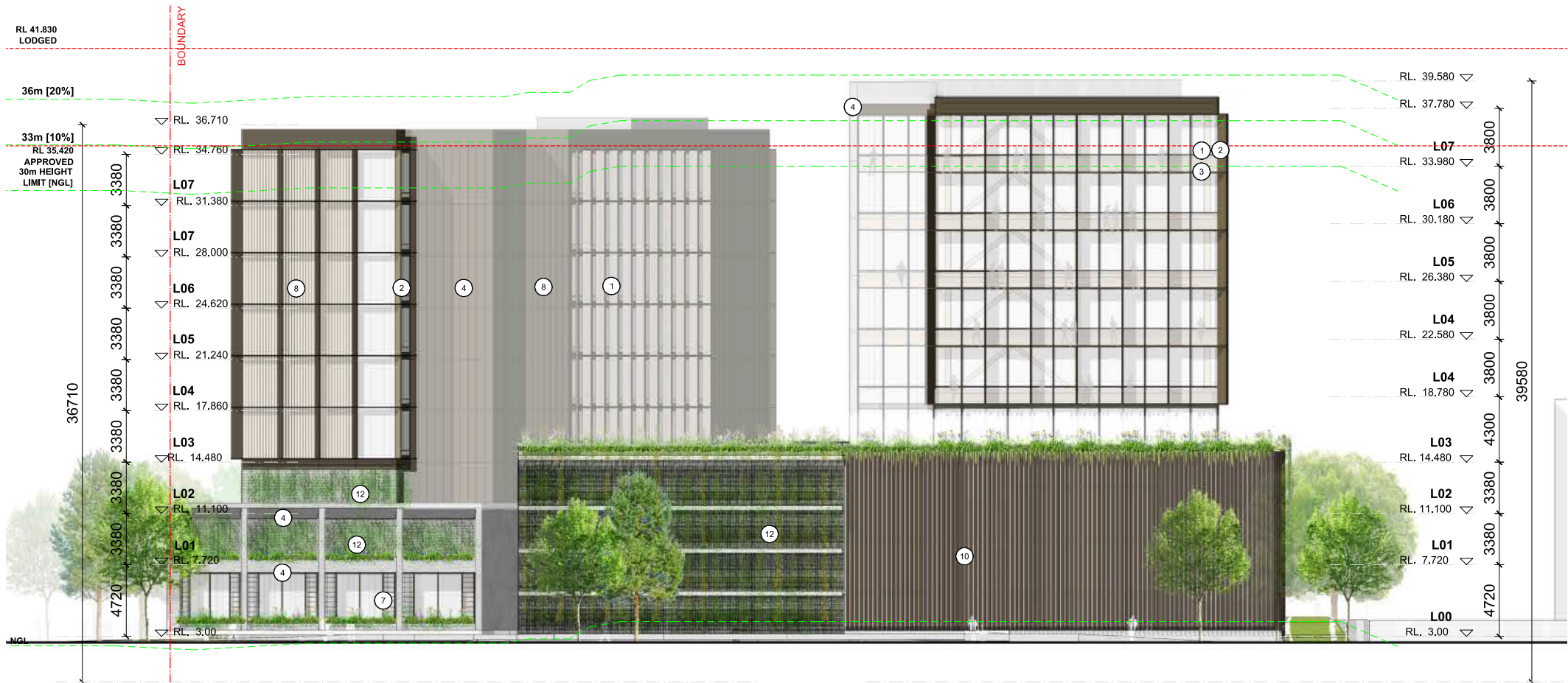
PREVIOUS DA

General Arrangement Plan
North Elevation

Revision: 5

Date: 18/09/2020

Description: Issued for DA submission



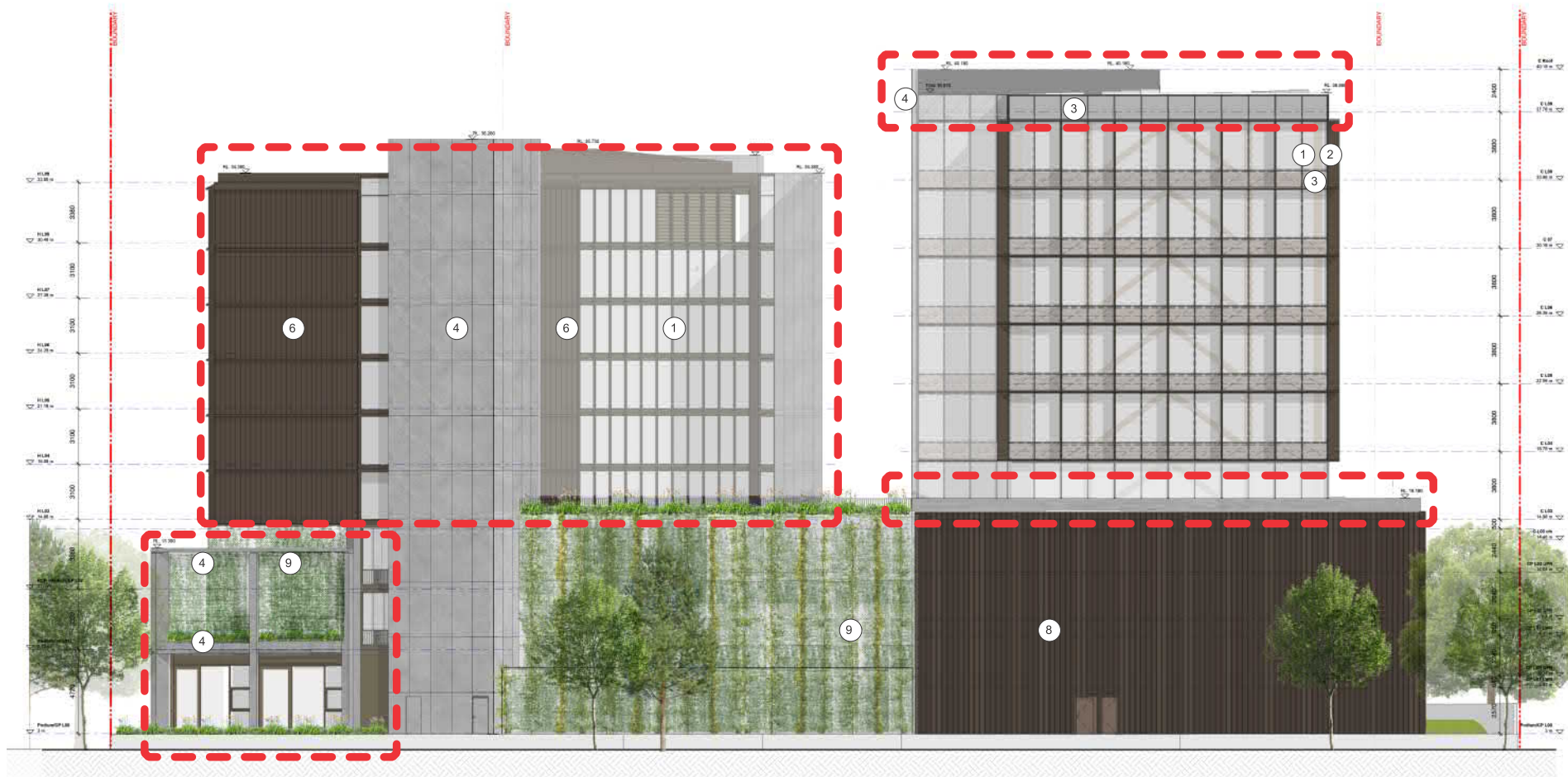
5.1 Design Changes

South Elevation

PROPOSED DA AMENDMENTS

1 / Commercial tower height increased by 600mm to allow for additional plant height.
 2 / Perimeter edge planters to Level L03 omitted
 3 / Hotel slab to slab levels reduced from 3380mm down to 3100mm. This has resulted in an overall hotel building height reduction.

4 / Hotel south end of building has been reduce in length by 1 hotel room width.
 5 / Arbor structure has been pulled back at the south boundary.
 6 / With the exception of the south west hotel corner elevation the facade colours and materiality remain the same

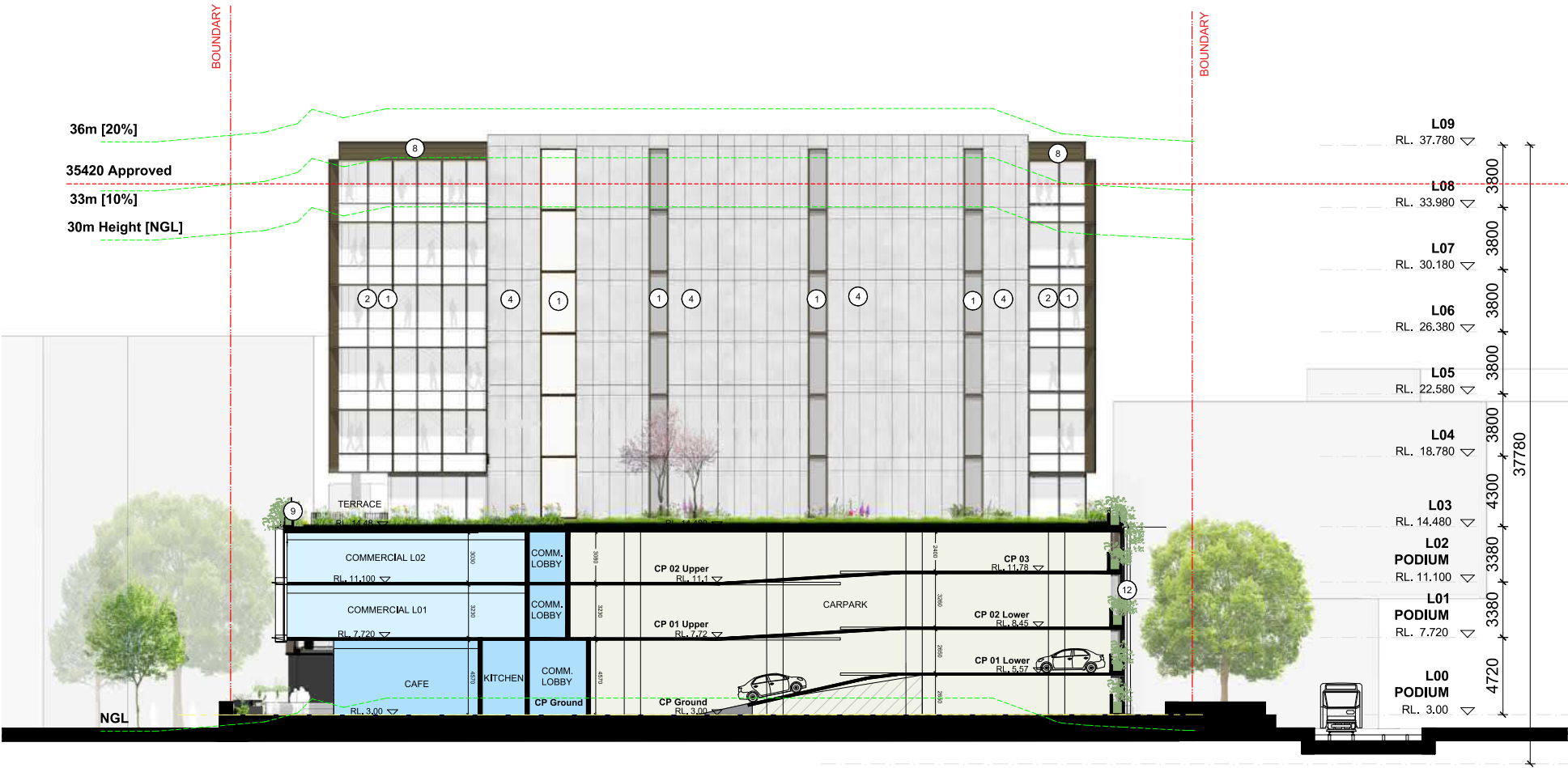


6.0 Approved West Section - Commercial Elevation

PREVIOUS DA

General Arrangement Plan
North Elevation

Revision: 5
Date: 18/09/2020
Description: Issued for DA submission

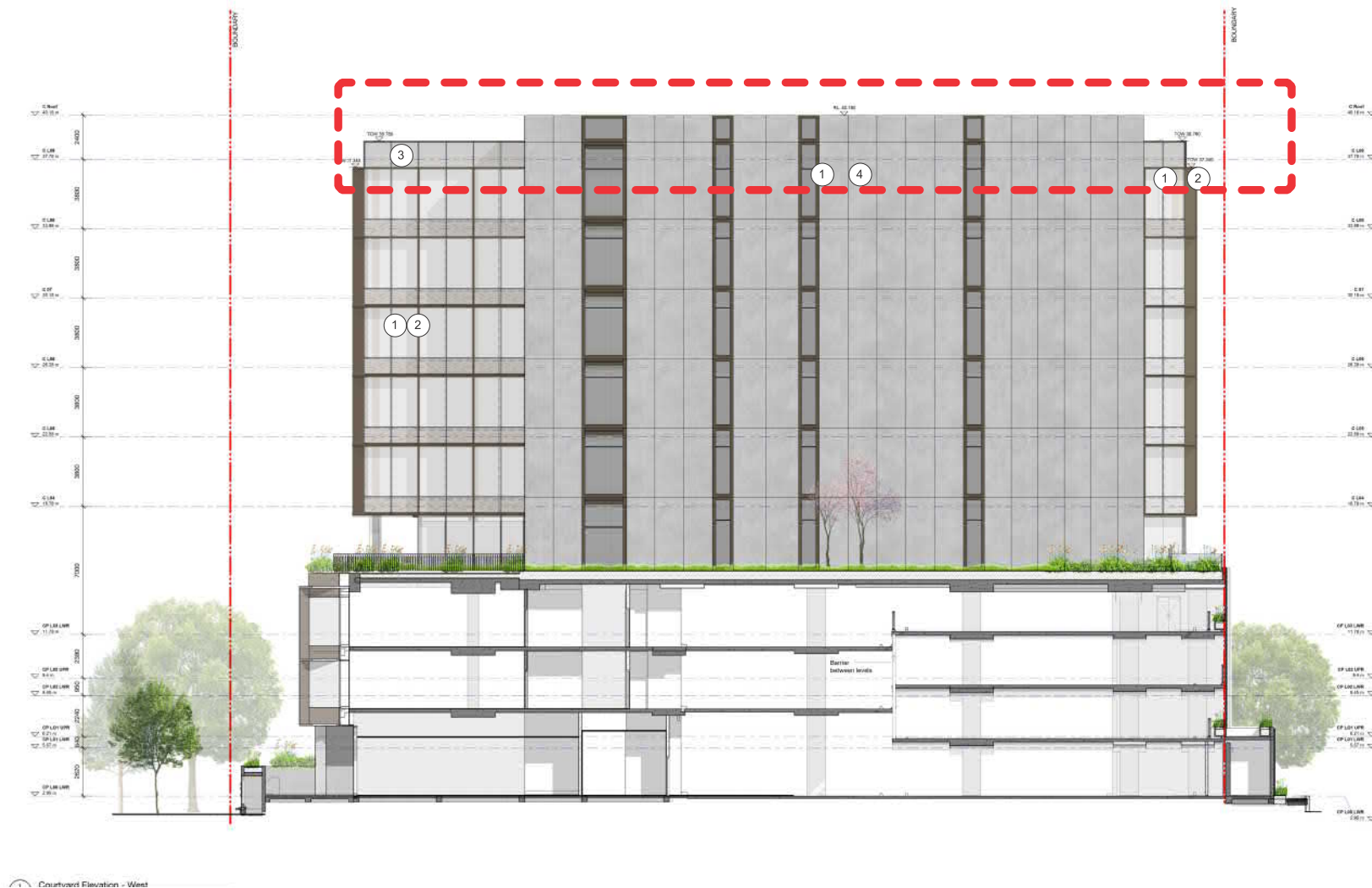


6.1 Design Changes

West Section - Commercial Elevation

PROPOSED DA AMENDMENTS

- 1 / Commercial tower height increased by 600mm to allow for additional plant height.
- 2 / Facade colours and materiality remain the same



7.0 Approved East Section - Hotel Elevation

PREVIOUS DA

General Arrangement Plan
North Elevation

Revision: 5
Date: 18/09/2020
Description: Issued for DA submission



7.1 Design Changes

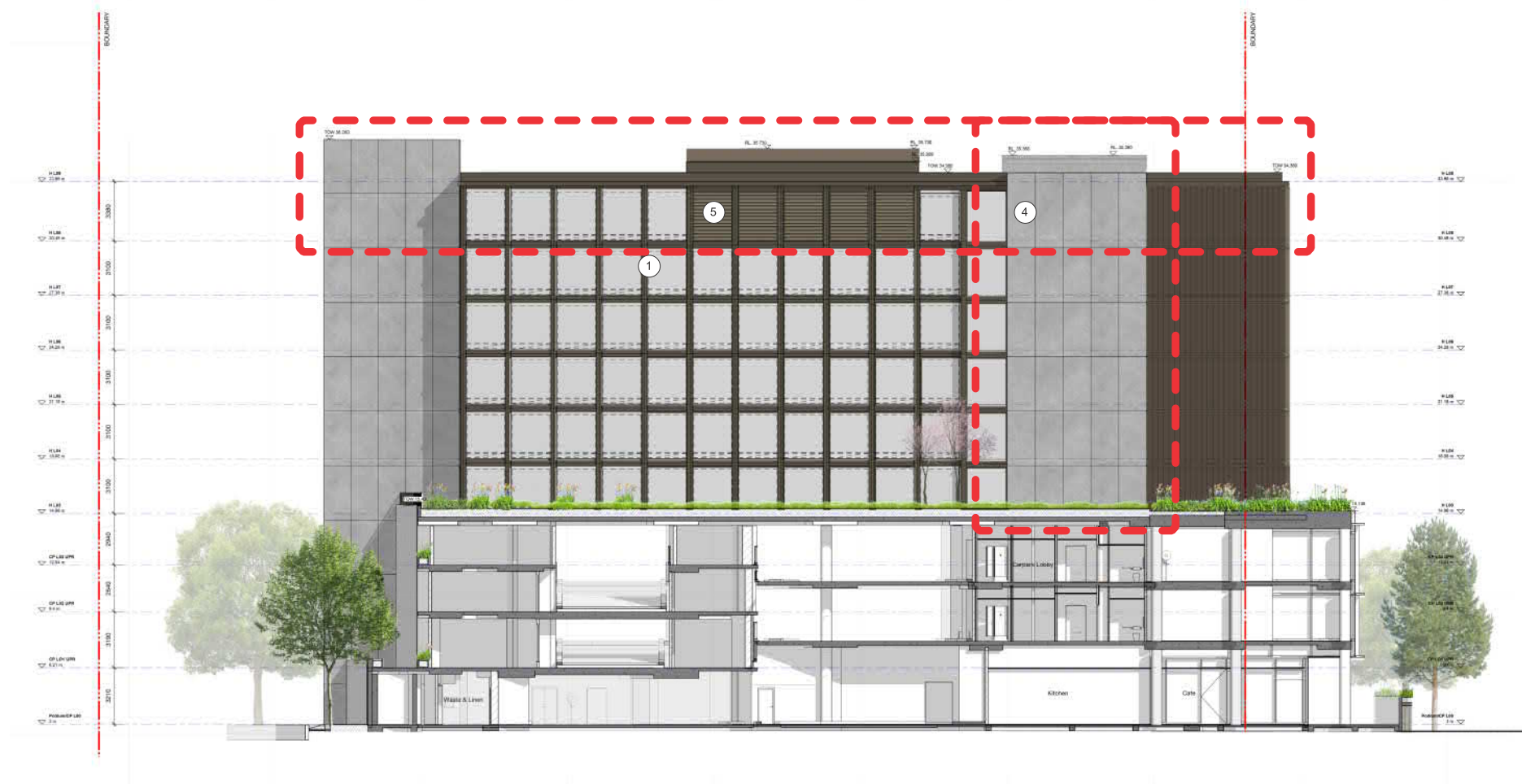
East Section - Hotel Elevation

PROPOSED DA AMENDMENTS

1 / Hotel slab to slab levels reduced from 3380mm down to 3100mm. This has resulted in an overall hotel building height reduction.

2 / Facade amended outside lift lobby. This is now concrete construction rather than glazing to increase privacy between the hotel and commercial tower.

3 / Facade colours and materiality remain the same



8.0 Approved

CGI - 42 Honeysuckle Drive

Pictured

42 Honeysuckle Drive, Newcastle



8.1 Design Changes

CGI - 42 Honeysuckle Drive

Pictured

42 Honeysuckle Drive, Newcastle



8.2 Approved

CGI - 42 Honeysuckle Drive



Pictured

42 Honeysuckle Drive, Newcastle

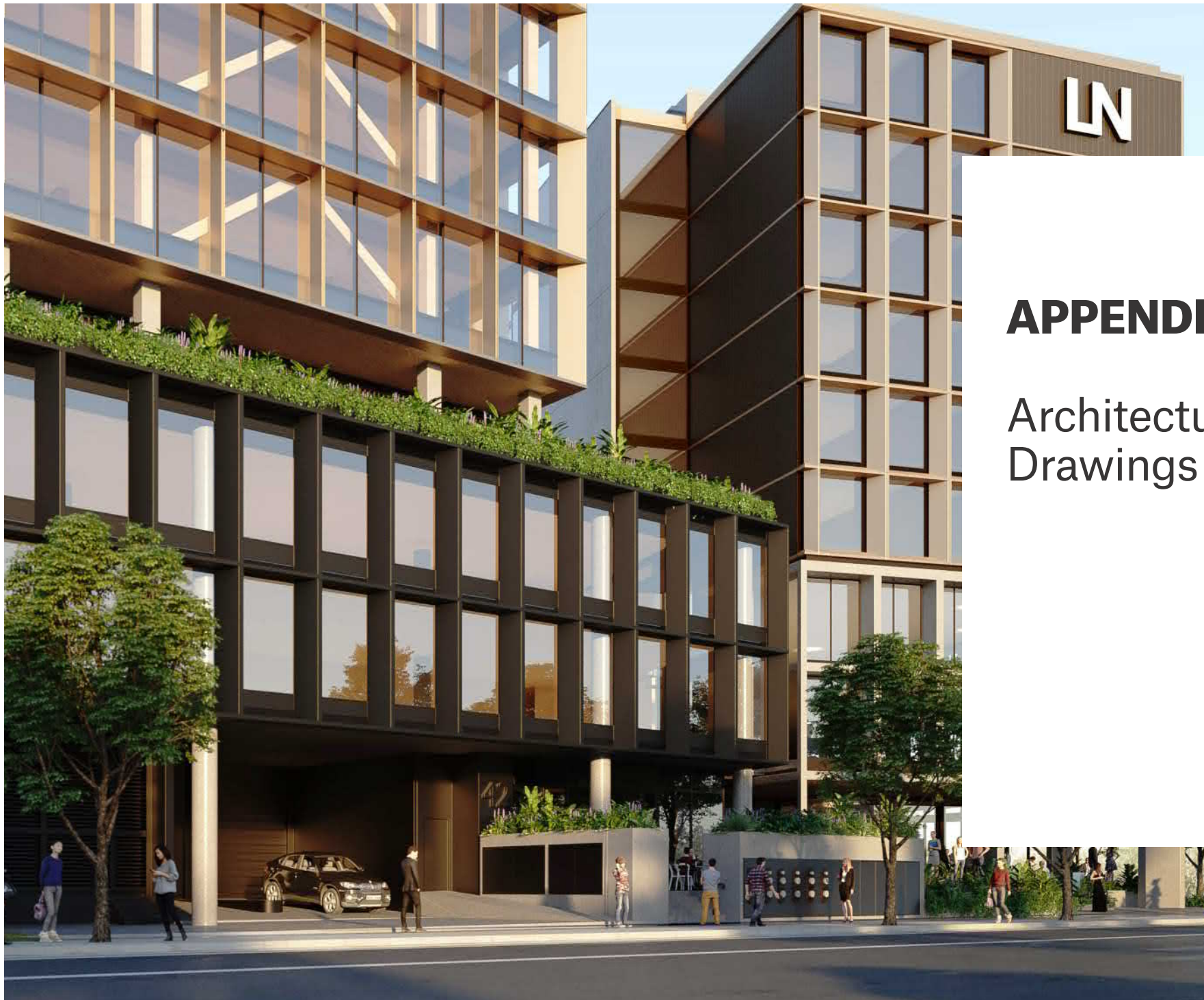
8.3 Design Changes

CGI - 42 Honeysuckle Drive



Pictured

42 Honeysuckle Drive, Newcastle



APPENDIX A

Architectural Drawings