



19th January 2022

NSW Department of Planning, Industry and Environment
12 Darcy Street
Parramatta NSW 2150

Attention: Amy Watson, Team Leader, Key Sites Assessments

**R4A Residential Building (SSD-6964) Mod-5
Request for additional information
Barangaroo South**

Dear Amy,

This letter provides a response to the above request for additional information relating to modification application SSD 6964 R4A (Mod 5). The request for additional information is outlined below in italics:

Confirm the reallocation of storage cages between Building R4A and R5 on Level B2, noting the modification report for R4A describes the proposed change as:

Removal of two storage cages and addition of one storage cage within a garage at the rear.

where as the plans for R4A (Drawing No BR4A_ASD_PA1_1003 Set out Plan Basement Level B2 dated 21.10.21) show:

- 1. Storage cage reallocation in the north-west corner of the basement (annotated 4) which appears to be two spaces reduced to one*
- 2. Three storage cages allocated to R4A from R5 in the north-east corner of the basement (annotated 3)*
- 3. Two storage cages allocated to R5 from R4A in the south-east corner of the basement (annotated 5)*

Confirm if there is an overall increase/decrease or no change to storage cages for R4A and R5.

Background

By way of the items in the Department's letter, the following is confirmed:

1. There is a proposed storage cage reallocation in the north-west corner of the basement (areas annotated item 4 on the drawings) which is the removal of two storage cages and addition of one storage cage within the garage at the rear. Refer to Figure 1 below.



Figure 1: R4A plans, Basement Level 2

The Modification application describes this change with the S4.55 report as:

The removal of storage cages associated with parking spaces in the northwest portion of basement level B2 (bottom left in below image) is proposed to improve vehicle access to the respective parking spaces. These spaces are allocated to the penthouse apartment, with ample storage still available to this apartment. This is discussed further in Section 4.4.

2. Three storage cages would be allocated to R4A from R5 in the north-east corner of the basement (annotated 3 on the drawings), refer to Figure 2 below.
3. Two storage cages would be allocated to R5 from R4A in the south-east corner of the basement (annotated 5 on the drawings), refer to Figure 2 below.

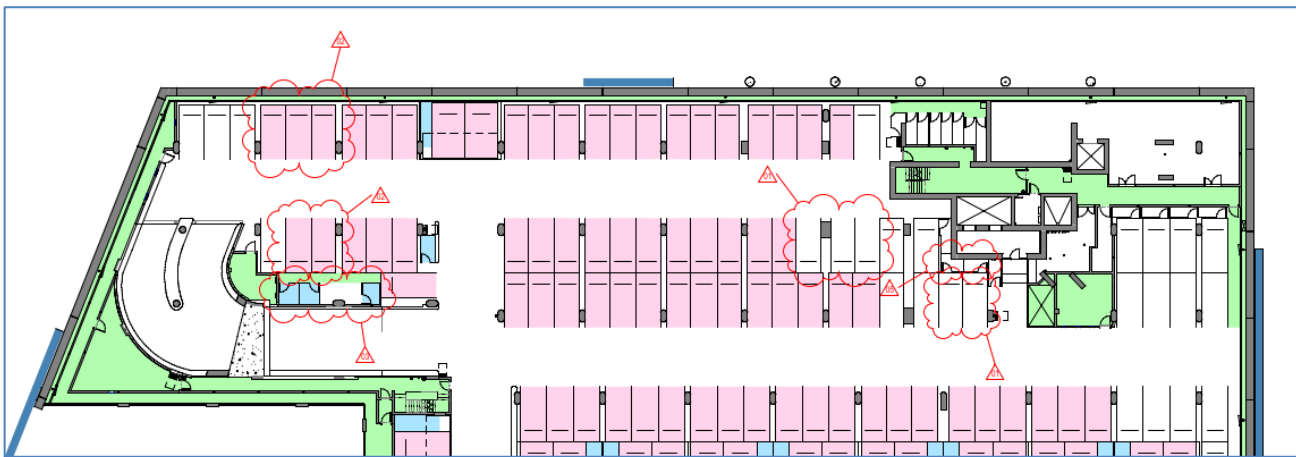


Figure 2: R4A plans, Basement Level 2

The Modification application describes this change as:

Level B2: Reallocation of five car parking spaces and associated storage cages between Building R4A and Building R5.

Response

The reallocation of storage cages between R4A and R5 is required to accompany the proposed reallocation of car spaces between R4A and R5. This is due to the access for these storage cages being through/near the proposed reallocated car spaces. Therefore, the reallocation supports their spatial distribution per the subject building area in the basement.

With respect to resulting storage cages:

- With respect to R4A, whilst item 1 above is a decrease of one storage cage for R4A. Item 2 and 3 results in an increase of one storage cage for R4A. Accordingly there is no change to the final number of storage cages for R4A through the reallocation process.
- With respect to R5, under the modification application(s) there are three storage cages allocated to R4A from R5, and two storage cages allocated to R5 from R4A. This represents an increase of one storage cage for R4A and therefore a decrease of one storage cage for R5. This change however has no impact on the adequate provision of storage space for the R5 apartments, where there is already sufficient storage capacity to meet the objectives and provisions of the Apartment Design Guide through cages and (or) internal storage areas per apartment typology.

Thank you for the opportunity to provide a response. If you have any questions regarding this Application please call Assistant Development Manager, Francesca Bell on 0490 914 297 or myself on 0412 580 305.

Yours sincerely,



John Riordan
Planning Manager, Barangaroo South