



Powerhouse Parramatta

Addendum Statement of Heritage Impact – St George's Terrace

Infrastructure NSW

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Advisian
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Table of contents

Acronyms and abbreviations.....	iii
1 Introduction	1
1.1 Background	1
1.2 Proposal summary.....	1
1.3 Methodology	3
2 The Site, Its Context and Setting	4
3 Heritage Significance	6
3.1 Statement of significance	6
3.2 Grading of significance	6
3.3 Historical background	7
4 Description and Physical Evidence	14
4.1 Modifications and current condition.....	14
4.1.1 Site inspection.....	14
4.1.2 Description of existing heritage elements.....	16
4.1.3 Landscape and natural features.....	17
4.1.4 Movable heritage.....	17
4.2 Historical archaeological potential.....	17
5 Heritage Impact Assessment.....	19
5.1 Impact of Proposal	19
5.1.1 Heritage Branch Assessment Guidelines	19
5.1.2 The Burra Charter Articles	22
5.2 Heritage impact assessment table	25
5.3 Options Analysis	25
5.3.1 Options Description.....	25
5.4 Summary of Heritage Impact Assessment	26
5.5 Historical archaeological impact.....	27
6 Mitigation Measures	29
7 Conclusion	30

Table list

Table 3-1 Grading of significance for St George's Terrace.	6
Table 3-2 Historical overview of St George's Terrace.....	7
Table 5-1 Impact matrix (Source: Advisian, 2020).....	19
Table 5-2 Relevant questions and considerations sought from the NSW Heritage Office's Statements of Heritage Impact (2002) guideline.....	19
Table 5-3 Relevant Articles of The Burra Charter.....	22
Table 5-4 Impact on the significant elements of St George's Terrace.....	25
Table 5-5 Options description.....	25
Table 6-1 Recommended mitigation measures.....	29

Figure list

Figure 1-1 West elevation of St George's Terrace showing the intrusive brick rear addition (Source: LTS Lockley, 2020).	2
Figure 1-2 East elevation of the Powerhouse Parramatta showing the proposed setback to the remaining original brick structure of St George's Terrace (Source: Moreau Kusunoki and Genton, 2020).....	2
Figure 1-3 Photomontage of the Powerhouse Parramatta (Source: Moreau Kusunoki and Genton, 2020).	3
Figure 2-1 Aerial view of the site and its context and setting, including St George's Terrace (blue arrow) (Source: Mark Merton Photography).....	4
Figure 2-2 Aerial view of the site boundary and the existing built environment, including St George's Terrace (Source: Ethos Urban).....	5
Figure 3-1 1895 plan showing St George's Terrace including the Oriental Hotel. The SSDA site is overlaid in red (Source: Parramatta Detail Series MLSLNSW ZM Ser 4 811.1301/1 as cited in Curio Projects (2020)).	9
Figure 3-2 1930 aerial image of St George's Terrace including the Oriental Hotel. The SSDA site is overlaid in red (Source: Department of Land and Property Information as cited in JBS&G Australia Pty Ltd (2020)).	9
Figure 3-3 Detail of Sheet 2712 showing St George's Terrace in 1950 (Source: Sydney Water Archives as cited in Curio Projects (2020)).	10
Figure 3-4 Aerial photograph looking south-east across the Parramatta River (c.1950s) showing St George's Terrace (blue arrow) and Willow Grove (red arrow) (Source: NLA PIC FH/7110 LOC Cold store PIC HURL 217/6 as cited in Curio Projects (2020)).	10
Figure 3-5 Aerial photograph (1972) of Parramatta showing St George's Terrace (blue arrow) (Source: LPI as cited in Curio Projects (2020)).	11
Figure 3-6 View of St George's Terrace from Phillip Street (c. 1970s-1980s) adapted for retail and commercial uses (Source: City of Parramatta, No. LSP00890).	11

Figure 3-7 1982 aerial image of St George's Terrace (Source: Department of Land and Property Information as cited in JBS&G Australia Pty Ltd (2020)).	12
Figure 3-8 View of St George's Terrace from Phillip Street (1982) (Source: Getty Images).	12
Figure 3-9 View of St George's Terrace (1987) from the opposite building on Phillip Street (Source: City of Parramatta, No. LSP00956).	13
Figure 3-10 Aerial photograph (2009) of Parramatta showing St George's Terrace (blue arrow) prior to demolition of the nearby David Jones building in 2013 (red arrow) (Source: Nearmap as cited in Curio Projects (2020)).	13
Figure 4-1 View looking north from Phillip Street to front of St George's Terrace (Source: Advisian, 2020).	15
Figure 4-2 View looking south-west from Wilde Avenue to the brick addition at the rear of St George's Terrace (Source: Advisian, 2020).	15
Figure 4-3 Internal alterations and refurbishments to original first floor section (Source: Advisian, 2020).	15
Figure 4-4 First floor rear addition with evidence of former windows infilled on the left wall (Source: Advisian, 2020).	15
Figure 4-5 Internal refurbishments and damage to original first floor section (Source: Gothe-Snape, A and Advisian, 2020).	15
Figure 4-6 Internal refurbishments between ground and first floors (Source: Gothe-Snape, A, 2020).	15
Figure 4-7 Internal refurbishments to ground floor original and rear addition sections (Source: Gothe-Snape, A, 2020).	16
Figure 4-8 Internal refurbishments to original ground floor (Source: Gothe-Snape, A, 2020).	16
Figure 4-9 External fabric at Phillip Street frontage (Source: Advisian, 2020).	16
Figure 4-10 External fabric: west elevation (left) and east elevation (right) (Source: Advisian, 2020).	16
Figure 4-11 Plan of mapped areas of archaeological potential (Source: Curio Projects, 2020).	18
Figure 5-1 Plan of mapped impacts on archaeological potential (Source: Curio Projects, 2020).	28

Acronyms and abbreviations

Acronym/abbreviation	Definition
CBD	Central Business District
CMP	Conservation Management Plan
EIS	Environmental Impact Statement
ICOMOS	International Council on Monuments and Sites
RtS	Response to Submissions
SEARs	Secretary's Environmental Assessment Requirements
SSD	State Significant Development

1 Introduction

Advisian Pty Ltd (Advisian) has prepared this addendum Statement of Heritage Impact (addendum SoHI) to provide a heritage impact assessment for the proposed retention, conservation and adaptive reuse of St Georges Terrace, located at 44 Phillip Street, as part of the Powerhouse Parramatta.

1.1 Background

The Powerhouse Parramatta is to be located at the northern edge of the Parramatta Central Business District (CBD) on the southern bank of the Parramatta River. It occupies an area of approximately two hectares and has extensive frontages to Phillip Street, Wilde Avenue and the Parramatta River. A small portion of the site extends west along the foreshore of Parramatta River, near Lennox Bridge on Church Street. The site is currently occupied by a number of buildings and structures, including the heritage listed Willow Grove and St George's Terrace.

The Powerhouse Parramatta is declared State Significant Development (SSD-10416). The Secretary's Environmental Assessment Requirements (SEARs) for the Environmental Impact Statement (EIS) were issued on 10 February 2020. Advisian has previously prepared a SoHI in accordance with SEAR Issue No. 6 specific to non-Aboriginal heritage including historical archaeology.

A Response to Submissions (RtS) report was submitted by Infrastructure NSW (INSW) in October 2020 to address submissions received during public exhibition of the EIS. As part of the RtS report, an addendum SoHI, dated 7 October 2020 included a preliminary impact assessment for the proposed retention of St George's Terrace.

The RtS report stated that *"the proposed amendments to the building setbacks and design development has enabled the retention of St George's Terrace on the site. This will comprise works to integrate the terrace with the renewed site and to adaptively reuse the building as an ancillary component to support Powerhouse Parramatta programming"*.

This addendum SoHI was prepared in response to a subsequent request for additional information by the Department of Planning, Industry and Environment (DPIE), dated 16 October 2020.

1.2 Proposal summary

The Powerhouse Parramatta would deliver a new cultural institution for Parramatta in the heart of Sydney's Central City. It would include a range of site preparation works, including demolition of existing structures and landscaping, and construction of a new museum facility with associated business identification signage.

The preferred option for the retention of St George's Terrace as part of the Powerhouse Parramatta would require the demolition of approximately 1.688 metres of the original brick structure at the step in the eastern and western facades, and the intrusive brick rear addition (Figure 1-1). This would create a setback of approximately 5.065 metres.

The remaining original brick structure fronting Phillip Street would be retained, conserved and given an appropriate adaptive reuse as part of the Powerhouse Parramatta (Figure 1-2 and Figure 1-3).

The retention of the heritage item would prevent the total irreversible loss of significant fabric and the item's conservation values compared to the original proposal for full demolition.

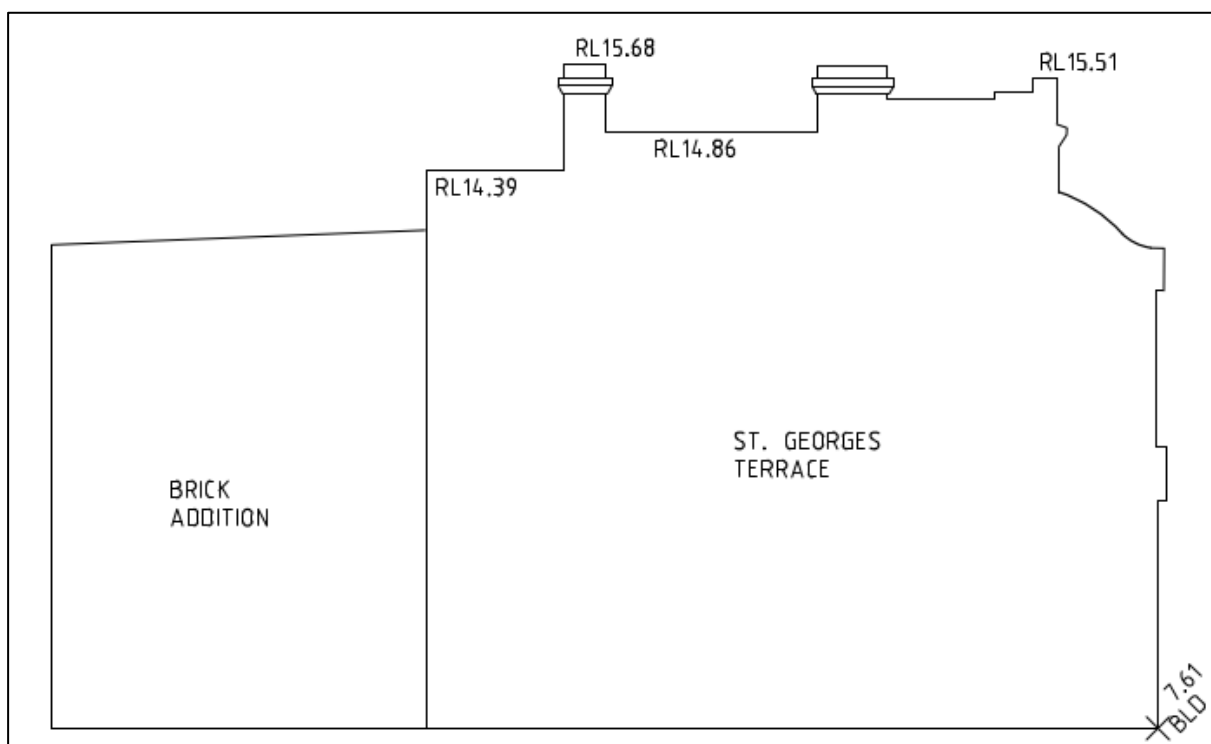


Figure 1-1 West elevation of St George's Terrace showing the intrusive brick rear addition (Source: LTS Lockley, 2020).

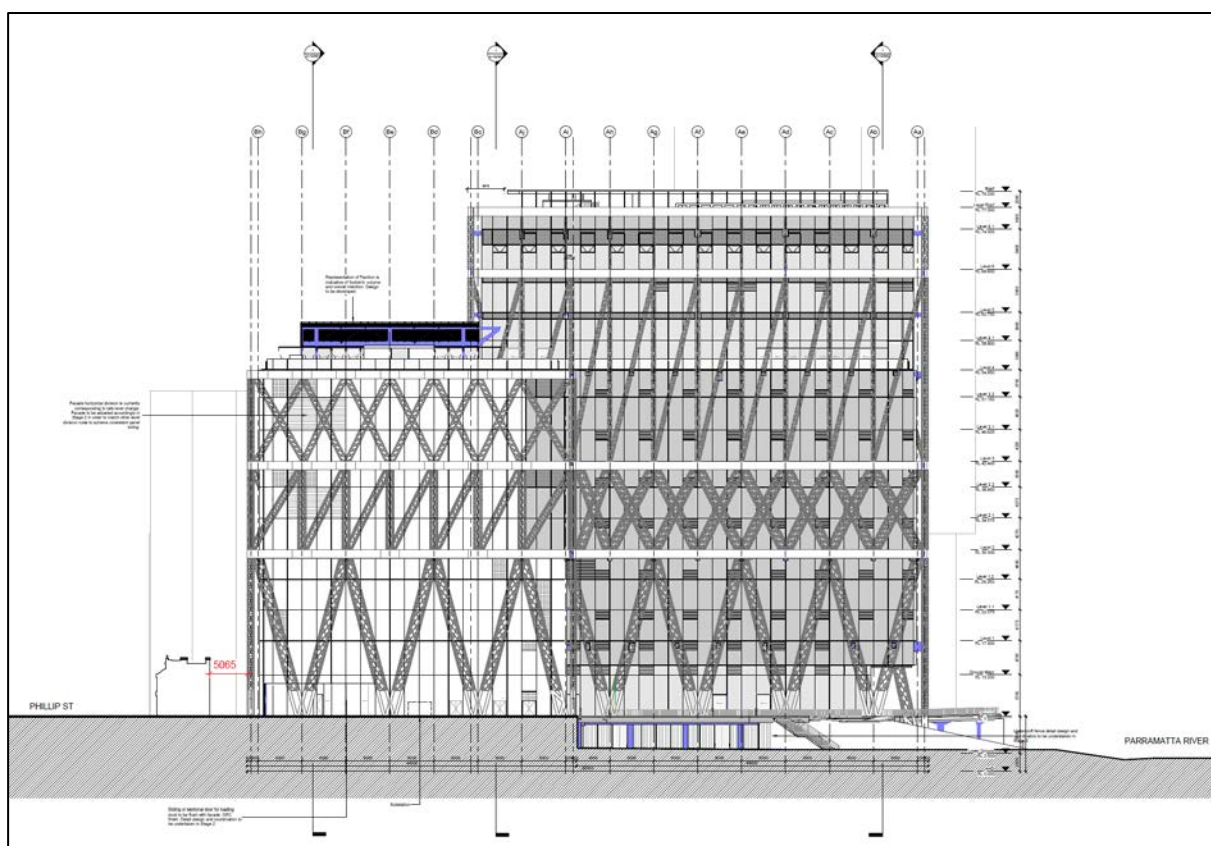


Figure 1-2 East elevation of the Powerhouse Parramatta showing the proposed setback to the remaining original brick structure of St George's Terrace (Source: Moreau Kusunoki and Genton, 2020).



Figure 1-3 Photomontage of the Powerhouse Parramatta (Source: Moreau Kusunoki and Genton, 2020).

The details for the proposed adaptive reuses of St George's Terraces will be further developed by INSW as part of the design process. Potential uses could include retail, commercial offices and education all as part of the Powerhouse Parramatta and will be the subject of a separate and future planning process.

Three signage zones are proposed to the facades of the new museum buildings to accommodate future signage for the identification of the Powerhouse Parramatta.

Accordingly, this addendum SoHI has been prepared to assess the potential impact of the retention, conservation and adaptive reuse of St Georges Terrace as part of the Powerhouse Parramatta.

1.3 Methodology

The following methodology has been used in preparation of this addendum SoHI:

- Review of relevant guidelines including:
 - The NSW Heritage Office's Heritage Manual including the *Statements of Heritage Impact* (2002) and *Assessing Heritage Significance* (2001) guidelines.
 - *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance* (Australia ICOMOS, 2013).
- Review of information including design drawings and other comments on the design features of the Powerhouse Parramatta in relation to St George's Terrace.
- Inspection of the site, its context and setting from publicly and privately accessible spaces on 13 March 2020 and 13 October 2020.

2 The Site, Its Context and Setting

The Powerhouse Parramatta site boundary is identified in Figure 2-1 and Figure 2-2. The site excludes the GE Office Building at 32 Phillip Street.

The site is currently occupied by a number of buildings and structures, including:

- Riverbank Car Park – a four-level public car park.
- Willow Grove – a two-storey villa of Victorian Italianate style constructed in the 1870s.
- St George's Terrace – a two-storey terrace of seven houses fronting Phillip Street constructed in the 1880s.
- 36 Phillip Street – a two-storey building comprising retail and business premises.
- 40 Phillip Street – a two-storey building comprising retail and business premises.
- 42 Phillip Street – a substation building set back from the street.

St George's Terrace is located on the south-east corner of the site and comprises seven terraces on Phillip Street, as labelled in Figure 2-2.

The immediate context of the site comprises a range of land uses including office premises, retail premises, hotel, serviced apartments and residential apartments. To the north is the Parramatta River and open space corridor, beyond which are predominately residential uses. The Riverside Theatre is located to the north-west across the Parramatta River.



Figure 2-1 Aerial view of the site and its context and setting, including St George's Terrace (blue arrow) (Source: Mark Merton Photography).



Figure 2-2 Aerial view of the site boundary and the existing built environment, including St George's Terrace
(Source: Ethos Urban).

3 Heritage Significance

3.1 Statement of significance

The Statement of Significance for the “St George’s Terrace (and potential archaeological site)” from its entry on the *Parramatta Local Environmental Plan 2011* is as follows:

“The row of terraces at 44 Phillip Street, Parramatta is of significance for Parramatta LGA for historical and aesthetic reasons and as a representative example of modest Victorian period terraces constructed during an early wave of development in the area. The group presents as having a relatively high degree of integrity when viewed from the street and strongly contributes to the Phillip Street streetscape and the character of the Parramatta townscape, additionally in unison with other historic buildings near-by.”

3.2 Grading of significance

Table 3-1 has been informed by Section 6.4.2 of the SoHI¹ which graded the significant elements of St George’s Terrace. The grading of significance has been updated following the site inspection of the internal spaces on 13 October 2020.

Table 3-1 Grading of significance for St George’s Terrace.

Element(s)	Grading	Assessment
Modern internal and external alterations and additions	Intrusive	<p>St George’s Terrace has undergone substantial modern alterations and additions to the front and rear elevations, including the removal of the original verandahs and plaster urns, addition of an aluminium awning on each terrace, brick rear addition and internal refurbishments.</p> <p>Extensive internal alterations and refurbishments have fundamentally changed the original layout and use which originally comprised seven residential terraces.</p> <p>Modern alterations and additions are considered to be intrusive and detract from heritage significance.</p>
Remaining external fabric including period façade details at the front elevation	High	<p>Remaining external fabric includes the external brick wall sections and rendered chimneys excluding the intrusive brick rear addition as shown on Figure 1-1. Period façade details at the front elevation include continuous corniced parapet with inscription and brick privacy walls with recessed arches. The remaining external fabric and period façade details are original fabric and directly contribute to the heritage significance of the item as a period Victorian row of terraces which in turn contributes to the Phillip Street streetscape and Parramatta CBD townscape.</p>

¹ Advisian (2020), Powerhouse Parramatta Statement of Heritage Impact.

Element(s)	Grading	Assessment
Remaining internal fabric	Moderate	Remaining internal fabric including modest fireplaces and potentially some walls. Whilst these elements are original fabric, they have been modified as a result of the extensive internal alterations and refurbishments that have occurred, particularly since the 1970s. These elements contribute to the overall heritage significance of the item.

Refer to Section 4.1 for further detail of modifications and the current condition of St George's Terrace.

3.3 Historical background

St George's Terrace was constructed in 1881 as a modest Victorian period row of seven terraces on Phillip Street and a corner house on Phillip and Smith Streets. The historical development of the property indicates that it housed a range of occupants of various occupations and was later adapted for retail and commercial uses from the 1970s.

A historical overview of St George's Terrace has been prepared to provide an understanding of the historical development of St George's Terrace based on available information to inform an impact assessment of the retention, conservation and adaptive reuse of the building as part of the Powerhouse Parramatta.

The following sources were reviewed to inform the historical overview of St George's Terrace:

- Kass, T (1997), *A history of the Site of St George's Terrace Phillip Street Parramatta*, prepared for E.A. Higginbotham and Associates.
- Curio Projects (2020), *Powerhouse Parramatta, Historical Archaeological Research Design*, prepared for Infrastructure NSW.
- JBS&G Australia Pty Ltd (2020), *Detailed Site Investigation*, prepared for Infrastructure NSW.
- Cameron, M (n.d.), *The Old Parramattan, St George's Terrace*, accessed 15 October 2020, available at: <https://theoldparramattan.wordpress.com/st-georges-terrace-parramatta/>

A historical overview of St George's Terrace is provided in Table 3-2.

Table 3-2 Historical overview of St George's Terrace.

Year	Historical Development
Pre-1881	Benjamin Lee, Samuel Gilbert, William Peisley and George Suttor remained owners of their respective Phillip Street and Smith Street properties into the late 1860s or 1870s. However, by the early 1880s significant development and changes in ownership had occurred.
1881	George Coates' son, Herbert, took over his father's builder and contractor business and built St George's Terrace. On 21 September 1881, St George's Terrace, " <i>a newly-erected terrace, built of brick on a stone foundation</i> " was listed for sale. The advertisement suggested that the corner house of St George's Terrace, described as " <i>an old brick, two-storey house</i> " would be suitable for a store or hotel and was made up of 7 rooms and washhouse on the ground floor, and 7 rooms on the upper floor.

Year	Historical Development
	<p>Numbers 2 to 8 were private residences of 4 rooms, kitchen and washroom, each with front verandas and balconies.</p> <p>Currently, the terrace buildings, numbers 2-8, remain standing at 44 Phillip Street, Parramatta. However, the large corner house used as a boarding house and later a hotel (the Oriental Hotel) is no longer standing, demolished sometime between 1972 and 1982.</p>
1884	<p>First occupants listed in 1884:</p> <p>Terrace 1 – Coates, George, timber merchant; Terrace 3 – Cort, Robert; Terrace 4 – De Saxe, George, dentist; Terrace 5 – Gates, Mrs. E.</p> <p>Hawkin's Boarding House on the corner of Phillip and Smith Streets.</p> <p>Thereafter, George Coates retained St George's Terrace as a rental property until his death in 1912.</p>
1880s	The occupants of St George's Terrace changed throughout the decade and included agents, carpenters and other tradesmen.
1886	Hawkin's Boarding House becomes the Oriental Hotel and was listed to S. Marshall.
1895	The 1895 Parramatta Detail Series plan also shows structures at the rear of each terrace's yard which are likely outbuildings and/or sheds. Due to the varied occupations of occupants on Phillip Street, the yard areas of the allotments may have been used for several purposes related to their businesses over the years.
1899	<p>Occupants of St George's Terrace:</p> <p>Terrace 1 – Martin F; Terrace 2 – Castle Thomas; Terrace 3 – Ling William; Terrace 4 – Hunter Mrs. James; Terrace 5 – Whiteman James; Terrace 7 – Roulston Mrs. R.</p>
1908	The Oriental Hotel was closed as early as 1908.
1909	<p>Occupants of St George's Terrace:</p> <p>Terrace 1 – Leabeater A. W.; Terrace 3 – Howie William; Terrace 4 – Hunter Mrs. James; Jenkins Alfred; Terrace 5 – Williams Henry; Terrace 6 – O'Keefe John J.</p>
1917	By about this time, the land had been reduced by the sale of parts leaving only St George's Terrace as the core.
1970s	St George's Terrace was refurbished and adapted for retail and commercial uses.
2020	It is understood that St George's Terrace has been vacant for some time.

Historical plans and photographs of St George's Terrace are shown Figure 3-1 to Figure 3-10.



Figure 3-1 1895 plan showing St George's Terrace including the Oriental Hotel. The SSDA site is overlaid in red (Source: Parramatta Detail Series MLSLNSW ZM Ser 4 811.1301/1 as cited in Curio Projects (2020)).



Figure 3-2 1930 aerial image of St George's Terrace including the Oriental Hotel. The SSDA site is overlaid in red (Source: Department of Land and Property Information as cited in JBS&G Australia Pty Ltd (2020)).

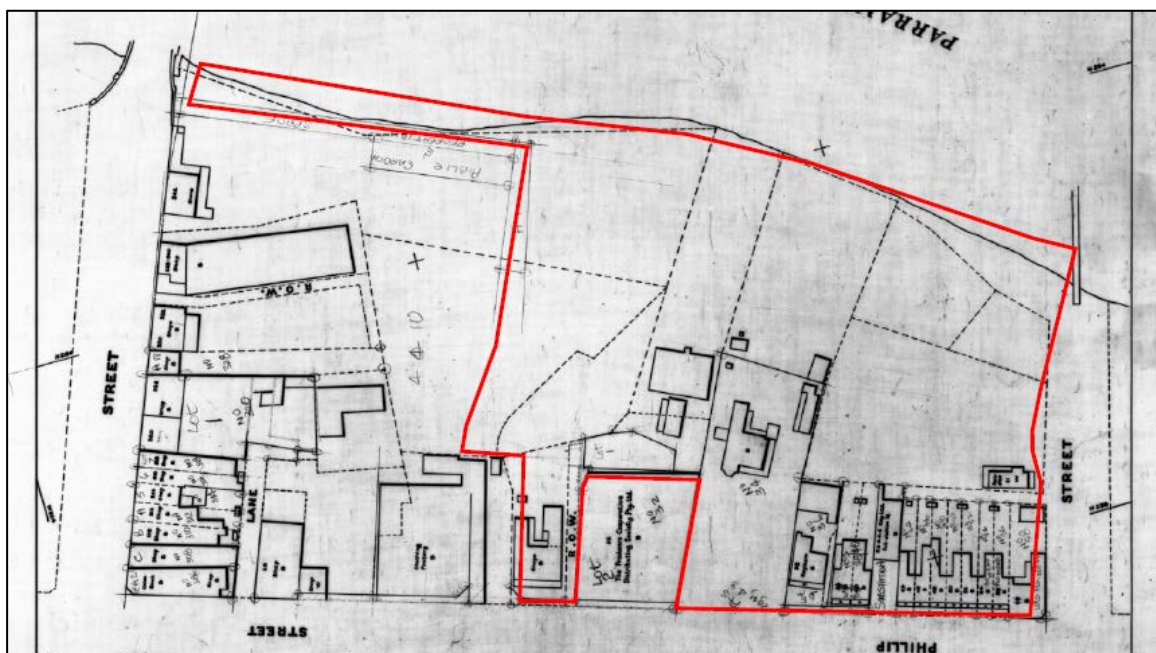


Figure 3-3 Detail of Sheet 2712 showing St George's Terrace in 1950 (Source: Sydney Water Archives as cited in Curio Projects (2020)).



Figure 3-4 Aerial photograph looking south-east across the Parramatta River (c.1950s) showing St George's Terrace (blue arrow) and Willow Grove (red arrow) (Source: NLA PIC FH/7110 LOC Cold store PIC HURL 217/6 as cited in Curio Projects (2020)).



Figure 3-5 Aerial photograph (1972) of Parramatta showing St George's Terrace (blue arrow) (Source: LPI as cited in Curio Projects (2020)).



Figure 3-6 View of St George's Terrace from Phillip Street (c. 1970s-1980s) adapted for retail and commercial uses (Source: City of Parramatta, No. LSP00890).



Figure 3-7 1982 aerial image of St George's Terrace (Source: Department of Land and Property Information as cited in JBS&G Australia Pty Ltd (2020)).



Figure 3-8 View of St George's Terrace from Phillip Street (1982) (Source: Getty Images).



Figure 3-9 View of St George's Terrace (1987) from the opposite building on Phillip Street (Source: City of Parramatta, No. LSP00956).

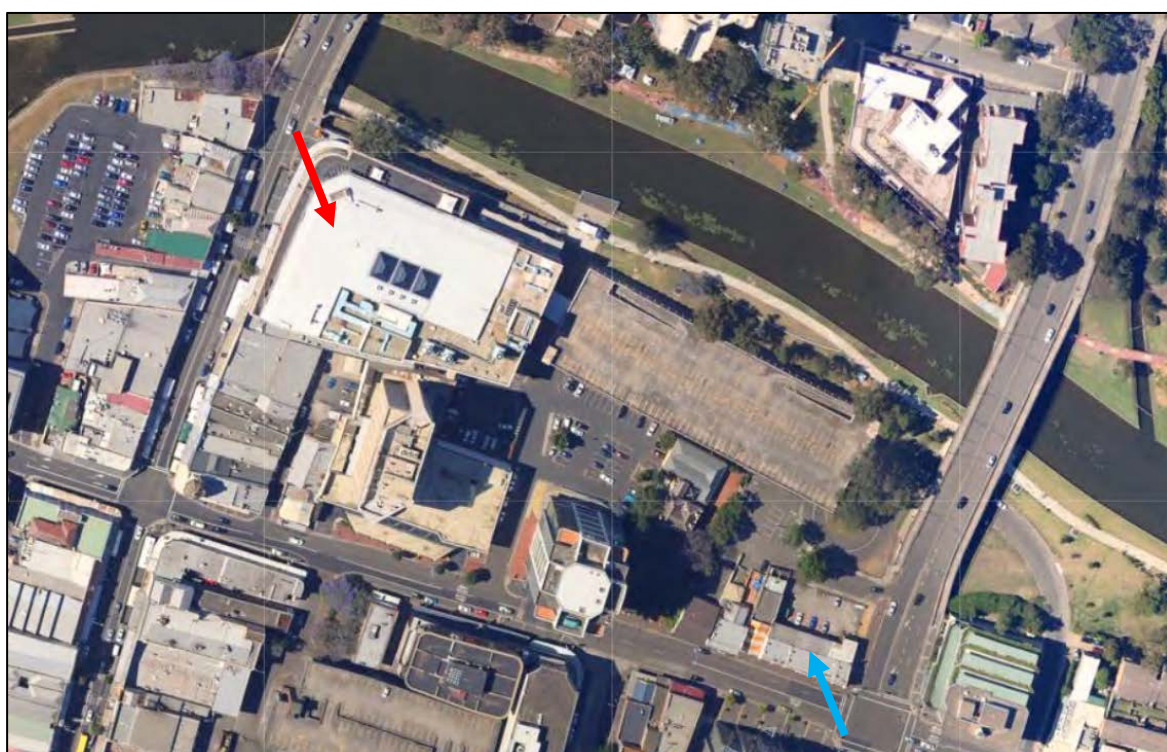


Figure 3-10 Aerial photograph (2009) of Parramatta showing St George's Terrace (blue arrow) prior to demolition of the nearby David Jones building in 2013 (red arrow) (Source: Nearmap as cited in Curio Projects (2020)).

4 Description and Physical Evidence

4.1 Modifications and current condition

St George's Terraces presently contains two main external sections: original rendered brick with chimneys and brick rear addition. It has undergone substantial modern alterations and additions to the front and rear elevations, including the removal of the original verandahs and plaster urns, addition of an aluminium awning on each terrace, new windows, brick rear addition and internal refurbishments for retail and commercial uses from the 1970s.

Extensive internal alterations and refurbishments have fundamentally changed the original layout and use which originally comprised seven residential terraces. Internal components are considered to be in poor to fair condition and ceiling damage was observed near a former restaurant kitchen. Remaining internal fabric includes modest fireplaces and potentially some internal walls. Modern alterations and additions are considered to be intrusive and detract from heritage significance.

The remaining period façade details at the front elevation include continuous corniced parapet with inscription "St. George's Terrace 1881" and brick privacy walls with recessed arches. External components are considered to be in fair condition. Remaining period façade details and internal fabric are original fabric and directly contribute to heritage significance. As a result, these elements ought to be retained and conserved as part of the adaptive reuse of St George's Terrace.

Importantly, St George's Terrace is of heritage significance as a period Victorian row of terraces contributing to the Phillip Street streetscape and Parramatta CBD townscape.

4.1.1 Site inspection

Inspections of the site, its context and setting were undertaken from publicly and privately accessible spaces on 13 March 2020 and 13 October 2020. Photographs of the site showing modifications and the current condition of St George's Terrace are provided in Figure 4-1 – Figure 4-10.



Figure 4-1 View looking north from Phillip Street to front of St George's Terrace (Source: Advisian, 2020).



Figure 4-2 View looking south-west from Wilde Avenue to the brick addition at the rear of St George's Terrace (Source: Advisian, 2020).



Figure 4-3 Internal alterations and refurbishments to original first floor section (Source: Advisian, 2020).



Figure 4-4 First floor rear addition with evidence of former windows infilled on the left wall (Source: Advisian, 2020).



Figure 4-5 Internal refurbishments and damage to original first floor section (Source: Gothe-Snape, A and Advisian, 2020).



Figure 4-6 Internal refurbishments between ground and first floors (Source: Gothe-Snape, A, 2020).



Figure 4-7 Internal refurbishments to ground floor original and rear addition sections (Source: Gothe-Snape, A, 2020).



Figure 4-8 Internal refurbishments to original ground floor (Source: Gothe-Snape, A, 2020).



Figure 4-9 External fabric at Phillip Street frontage (Source: Advisian, 2020).



Figure 4-10 External fabric: west elevation (left) and east elevation (right) (Source: Advisian, 2020).

4.1.2 Description of existing heritage elements

St George's Terrace is considered to comprise the following elements:

- Modern internal and external alterations and additions.
- Remaining external fabric including period façade details at the front elevation
- Remaining internal fabric.

The grading of elements is provided in Section 3.2.

4.1.3 Landscape and natural features

There are no landscape and natural features at St George's Terrace. The unkempt vegetation at the Phillip Street frontage obstructs views to the item and detracts from an appreciation of its significance.

4.1.4 Movable heritage

The contents, fixtures and objects at St George's Terrace are considered to constitute moveable heritage. There is not considered to be any significant moveable heritage.

4.2 Historical archaeological potential

Section 9.4.6 of the SoHI² identified that the Powerhouse Parramatta has the potential to have a physical impact on the archaeological resource, from areas of low local significance to potentially State significant archaeology. The archaeological resource includes St George's Terrace which appears to be located on, and in the vicinity of land containing deposits identified as being of State significance.

Furthermore, Section 5.6 of the SoHI³ identified that St George's Terrace is located on Archaeological Management Unit (AMU) 2882 which is described as follows:

AMU 2882 (Church Street, Parramatta) includes St George's terraces and is considered to have high archaeological research potential as part of the early township and association with early convict occupation and is of State Significance. This AMU may also contain physical archaeological evidence including structural features, intact subfloor deposits, open deposits and scatters.

The addendum historical archaeology impact assessment⁴ highlighted areas of archaeological potential as shown in Figure 4-11.

² Advisian (2020), Powerhouse Parramatta Statement of Heritage Impact.

³ Advisian (2020), Powerhouse Parramatta Statement of Heritage Impact.

⁴ Curio Projects (2020), Addendum Historical Archaeology Impact Assessment Report – Powerhouse Parramatta.



Figure 4-11 Plan of mapped areas of archaeological potential (Source: Curio Projects, 2020).

5 Heritage Impact Assessment

5.1 Impact of Proposal

The impact assessment has been undertaken in accordance with the relevant provisions of:

- NSW Heritage Office's *Statements of Heritage Impact* (2002) guideline which is part of the NSW Heritage Manual; and
- The relevant Articles of *The Burra Charter*.

Table 5-1 outlines the impact matrix which classifies the severity of potential impacts, including physical and visual, on the conservation values that constitute heritage significance.

Table 5-1 Impact matrix (Source: Advisian, 2020).

Impact Level	Definition
Major	Work to a heritage item resulting in substantial or total irreversible loss of significant fabric and/or visual setting. Work includes substantial or total demolition of a heritage item and may result in statutory delisting. Work resulting in a significant community sense of loss. Major impact cannot be totally mitigated.
Moderate	Work to a heritage item resulting in adverse impact to fabric and/or visual setting. Work includes alterations or additions to, or removal or partial demolition of, significant fabric. Work resulting in some community sense of loss. Moderate impact can be minimised by mitigation measures.
Minimal to Minor	Work to, adjacent to, or in the immediate vicinity of, a heritage item resulting in a minimal to minor adverse impact on fabric and/or visual setting. Works resulting in minor or no community sense of loss. Minimal to minor impacts can be effectively mitigated.
No impact	Work adjacent to, or in the immediate vicinity of, a heritage item with no impact.

5.1.1 Heritage Branch Assessment Guidelines

The proposal is assessed (Table 5-2) in accordance with the relevant questions and considerations outlined in the NSW Heritage Office's *Statements of Heritage Impact* (2002) guideline.

Table 5-2 Relevant questions and considerations sought from the NSW Heritage Office's *Statements of Heritage Impact* (2002) guideline.

Question	Response
<p>Major partial demolition</p> <p>Q1 Is the demolition essential for the heritage item to function?</p> <p>Q2 Are particular features of the item affected by the demolition?</p>	<p>Major partial demolition</p> <p>A1 Yes. Partial demolition to the heritage item is limited to approximately 1.688 metres of the original brick structure (to the east and west elevations) plus the entire intrusive brick rear addition (c.1980s). It is understood that it is unlikely to be any intact rear wall</p>

Question	Response
<p>Q3 Is the detailing of the partial demolition sympathetic to the heritage significance of the item?</p> <p>Q4 If the partial demolition is a result of the condition of the fabric, is it certain that the fabric cannot be repaired?</p>	<p>remaining due to previous alterations. The demolition is required to enable construction of the Powerhouse Parramatta. This would allow for the retention, conservation and adaptive reuse of most of the original brick structure fronting Phillip Street as part of the Powerhouse Parramatta.</p> <p>A2 Yes. A section of original fabric and the intrusive brick rear addition are to be demolished as identified above.</p> <p>A3 Yes. The demolition of a small section of original fabric is sympathetic to the item as it facilitates the retention of the traditional form and height of St George's Terrace when viewed from Phillip Street. The remaining original brick structure, period façade details and internal fabric would largely be retained and conserved as part of the Powerhouse Parramatta.</p> <p>A4 Not applicable. The demolition has consideration for the built form, landscape design and spatial relationship of St George's Terrace to the Powerhouse Parramatta and proposed adaptive reuses.</p>
<p>Change of use</p> <p>Q1 Has the advice of a heritage consultant or structural engineer been sought? Has the consultant's advice been implemented?</p> <p>Q2 Does the existing use contribute to the significance of the heritage item?</p> <p>Q3 Why does the use need to be changed?</p> <p>Q4 What changes to the fabric are required as a result of the change of use?</p> <p>Q5 What changes to the site are required as a result of the change of use?</p>	<p>Change of use</p> <p>A1 Yes. This addendum SoHI provides the advice of a heritage consultant and is to be implemented.</p> <p>A2 No. It is understood that St George's Terrace is currently vacant.</p> <p>A3 There is presently no use.</p> <p>A4 Partial demolition is required to enable the adaptive reuse of St George's Terrace.</p> <p>A5 The adaptive reuse would be linked to the built form, landscape design and spatial relationship of St George's Terrace to the Powerhouse Parramatta.</p>
<p>New development adjacent to a heritage item</p> <p>Q1 How is the impact of the new development on the heritage significance of the item or area to be minimised?</p> <p>Q2 Why is the new development required to be adjacent to a heritage item?</p> <p>Q3 How does the curtilage allowed around the heritage item contribute to the retention of its heritage significance?</p>	<p>New development adjacent to a heritage item</p> <p>A1 The impact of the new development would be minimised through the proposed built form, landscape design and spatial relationship of St George's Terrace to the Powerhouse Parramatta and proposed adaptive reuses.</p> <p>A2 The new development is to be located within the Parramatta CBD which is a culturally significant area comprised of numerous heritage items and archaeological sites. The new development has been designed to provide publicly accessible interconnections with Civic Link and the Parramatta</p>

Question	Response
<p>Q4 How does the new development affect views to, and from, the heritage item? What has been done to minimise negative effects?</p> <p>Q5 Is the development sited on any known, or potentially significant archaeological deposits? If so, have alternative sites been considered? Why were they rejected?</p> <p>Q6 Is the new development sympathetic to the heritage item? In what way (e.g. form, siting, proportions, design)?</p> <p>Q7 Will the additions visually dominate the heritage item? How has this been minimised?</p> <p>Q8 Will the public, and users of the item, still be able to view and appreciate its significance?</p>	<p>River and provide for a world class museum. Due to the location of the site next to the river, museum buildings are set back from the river to address flood constraints. As a consequence of these features and constraints, the new development is required to be adjacent to a heritage item.</p> <p>A3 The curtilage of St George's Terrace contains all fabric that contributes to heritage significance.</p> <p>A4 The new development would not affect views to and from the front (Phillip Street) elevation of the heritage item. Impacts to views to the rear elevation (that will also involve demolish intrusive addition) has been minimised by the proposed setback between the item and the new development. The proposed signage zones would have no impact to views to and from St George's Terrace.</p> <p>A5 Yes. The development is located on historical archaeological potential. It is understood that a site selection assessment was undertaken to determine the preferred location of the development, prior to the NSW Government's acquisition of the site. The preferred option would minimise impacts on the archaeological resource compared to the original proposal for total demolition.</p> <p>A6 Yes. The retention of the St George's Terrace will maintain its core heritage significance with regard to its high degree of integrity when viewed from Phillip Street as demonstrated in Figure 1-3. The item's retention would also contribute to an increased level of visual amenity and result in a more sympathetic response to the existing Phillip streetscape compared to the original proposal for total demolition in this location. Overall, the new development's form, siting, proportions and design detailing is responsive and sympathetic to the context and setting and significance of St George's Terrace.</p> <p>A7 Not applicable. The new development is not an addition to the heritage item.</p> <p>A8 Yes. The public and users of St George's Terrace will still be able to view and appreciate its significance, context and setting as part of the Powerhouse Parramatta as the majority of its original built form and its period façade details to its front elevation and other external fabric including chimneys will be retained.</p>

5.1.2 The Burra Charter Articles

The Australia ICOMOS Charter for Places of Cultural Significance 2013 provides "guidance for the conservation and management of places of cultural significance". The proposal is assessed (Table 5-3) in accordance with the relevant Articles of *The Burra Charter*.

Table 5-3 Relevant Articles of *The Burra Charter*.

Article	Response
Conservation Principles	
Article 2. Conservation and management	
2.4 <i>Places of cultural significance</i> should be safeguarded and not put at risk or left in a vulnerable state.	St George's Terrace is currently vacant. It would be retained and conserved as part of the Powerhouse Parramatta and given an appropriate adaptive reuse that respects its heritage significance.
Article 3. Cautious approach	
3.1 <i>Conservation</i> is based on a respect for the existing <i>fabric, use, associations</i> and <i>meanings</i> . It requires a cautious approach of changing as much as necessary but as little as possible.	The brick rear addition is considered to be intrusive and detracts from the item's heritage significance, and would be demolished. Most of the original brick structure fronting Phillip Street would be retained, conserved and given an adaptive reuse.
3.2 Changes to a <i>place</i> should not distort the physical or other evidence it provides, nor be based on conjecture.	Modern alterations and additions are considered to be intrusive and detract from heritage significance. However, remaining internal fabric including modest fireplaces and potentially some internal walls are evidence of past history and use which contribute to the significance of St George's Terrace.
Article 4. Knowledge, skills and techniques	
4.1 <i>Conservation</i> should make use of all knowledge, skills and disciplines which can contribute to the study and care of the <i>place</i> .	The retention, conservation and adaptive reuse of St George's Terrace as part of the Powerhouse Parramatta has been informed by heritage advice.
Article 7. Use	
7.1 Where the <i>use</i> of a <i>place</i> is of <i>cultural significance</i> it should be retained.	Not applicable as St George's Terrace is currently vacant.
7.2 A <i>place</i> should have a <i>compatible use</i> .	Potential uses of St George's Terrace could include retail, commercial offices and education all as part of the Powerhouse Parramatta. These uses are considered to be compatible as it would respect and not have more than a minimal impact to the item's cultural significance.
Article 8. Setting	

Article	Response
<p><i>Conservation</i> requires the retention of an appropriate <i>setting</i>. This includes retention of the visual and sensory setting, as well as the retention of spiritual and other cultural relationships that contribute to the <i>cultural significance</i> of the <i>place</i>.</p> <p>New construction, demolition, intrusions or other changes which would adversely affect the setting or relationships are not appropriate.</p>	<p>St George's Terrace contributes to the Phillip Street streetscape and Parramatta CBD townscape. The retention of the heritage item would prevent the total irreversible loss of significant fabric and the item's conservation values compared to the original proposal for full demolition. Thus, the retention of the remaining original brick structure fronting Phillip Street would assist in the retention of the item's original visual setting in this location.</p> <p>It is considered that the new development's form, siting, proportions and design detailing is responsive and sympathetic to the context and setting and significance of St George's Terrace. The proposed signage zones will be complementary to the character and aesthetics of the new development and its setting.</p>
Conservation Processes	
Article 15. Change	
<p>15.1 Change may be necessary to retain <i>cultural significance</i>, but is undesirable where it reduces cultural significance. The amount of change to a <i>place</i> and its <i>use</i> should be guided by the <i>cultural significance</i> of the place and its appropriate <i>interpretation</i>.</p>	<p>Change to St George's Terrace would be undertaken to enable its retention, conservation and adaptive reuse as part of the Powerhouse Parramatta. The proposed demolition will not reduce the cultural significance of the place as it retains the form and relationship of the place to the streetscape and is in an appropriate position to adaptively reuse for the purposes of the museum consistent with past uses of the site.</p> <p>This would form part of its history and use which is considered to contribute to the significance of St George's Terrace.</p> <p>Change would be guided by the significance of St George's Terrace. For instance, the intrusive brick rear addition would be demolished.</p>
<p>15.3 Demolition of significant <i>fabric</i> of a <i>place</i> is generally not acceptable. However, in some cases minor demolition may be appropriate as part of <i>conservation</i>. Removed significant fabric should be reinstated when circumstances permit.</p>	<p>The demolition of the brick rear addition is acceptable as it is considered to be intrusive and detracts from heritage significance. The demolition of a section (approximately 1.688 metres) of the original brick structure would have a minor impact, however is considered to be acceptable so as to provide a greater setback between the Powerhouse Parramatta and St George's Terrace. The demolition would allow for the retention, conservation and adaptive reuse of the remaining original brick structure.</p>

Article	Response
<p>15.4 The contributions of all aspects of <i>cultural significance</i> of a <i>place</i> should be respected. If a place includes <i>fabric, uses, associations</i> or <i>meanings</i> of different periods, or different aspects of cultural significance, emphasising or interpreting one period or aspect at the expense of another can only be justified when what is left out, removed or diminished is of slight cultural significance and that which is emphasised or interpreted is of much greater cultural significance.</p>	<p>The significance of St George's Terrace would be respected through its retention, conservation and adaptive reuse as part of the Powerhouse Parramatta.</p> <p>Respect of the contributions of the aspects of cultural significance of the place is achieved through retention of the remaining original brick structure, period facade details and internal fabric.</p>
Article 21. Adaptation	
<p>21.1 <i>Adaptation</i> is acceptable only where the adaptation has minimal impact on the <i>cultural significance</i> of the <i>place</i>.</p>	<p>Adaptation such as additions or new uses would respect the significance of St George's Terrace. Adaptation would be guided by heritage advice focusing on retaining and interpreting the core significance of St George's Terrace.</p> <p>The selected uses are to comply with the relevant legislation with regard to the Building Code of Australia and accessibility requirements.</p>
<p>21.2 <i>Adaptation</i> should involve minimal change to significant <i>fabric</i>, achieved only after considering alternatives.</p>	<p>Alternatives were considered in relation to the retention of St George's Terrace. Proposed uses would involve minimal change to the remaining significant fabric.</p>
Article 22. New work	
<p>22.1 New work such as additions or other changes to the <i>place</i> may be acceptable where it respects and does not distort or obscure the <i>cultural significance</i> of the place, or detract from its <i>interpretation</i> and appreciation.</p>	<p>Refer to Article 21.1.</p>
<p>22.2 New work should be readily identifiable as such, but must respect and have minimal impact on the <i>cultural significance</i> of the <i>place</i>.</p>	<p>Any new internal and external works such as to the rear of the terraces and lift installation would be readily identifiable and would be designed to respect the cultural significance of the item and not have more than a minimal impact. In relation to internal works, based on the moderate grading for the remaining internal fabric, any building alteration work can be considered to be acceptable where it is carefully considered and regarded as appropriate action which protects the essential significance of the item.</p>

5.2 Heritage impact assessment table

The impact of the proposal on the elements of St George's Terrace based on the assessment in Section 5.1 above is provided in Table 5-4. Reference is made to each element's grading of significance.

Table 5-4 Impact on the significant elements of St George's Terrace.

Element(s)	Grading	Impact
Modern internal and external alterations and additions	Intrusive	The proposal would have no impact to heritage significance through the removal of intrusive alterations and additions. The impact would be to the brick rear addition and other intrusive internal and external components.
Remaining external fabric including period façade details at the front elevation	High	The proposal would have a minor impact to heritage significance. The impact would be to a section of the original brick structure. Other remaining external fabric including period façade details will be retained and conserved with the adaptive reuse of St George's Terrace as part of the Powerhouse Parramatta.
Remaining internal fabric	Moderate	The proposal would have minimal impact to remaining internal fabric where future adaptation and new works are proposed.

5.3 Options Analysis

5.3.1 Options Description

The original proposal was for total demolition of St George's Terrace. Since submission of the RtS Report which confirmed the proposal to retain St George's Terrace, three design options have been considered for the retention of St George's Terrace as shown in Table 5-5.

Table 5-5 Options description.

Option	Description
Option 1	<ul style="list-style-type: none"> Setback between St George's Terrace and the Powerhouse Parramatta of approximately 3.377 metres. Demolition of the intrusive brick rear addition.
Option 2	<ul style="list-style-type: none"> Setback of approximately 5.065 metres. Demolition of the intrusive brick rear addition. Demolition of approximately 1.688 metres of the original brick structure.
Option 3	<ul style="list-style-type: none"> Moving the East Building B of the Powerhouse Parramatta further north and closer to the Parramatta River. Demolition of the intrusive brick rear addition.

The preferred option

Option 2 was selected as the preferred option as it would provide a greater setback between the Powerhouse Parramatta and St George's Terrace (Figure 1-2) and is consistent with the objectives of the development and the flood constraints of the site. The preferred option is considered to maximise

the retention of the core significance of St George's Terrace as well as meeting functional and design requirements for the Powerhouse Parramatta.

5.4 Summary of Heritage Impact Assessment

This section describes the impact of the proposal to St George's Terrace.

The impact of the proposal on the heritage significance of St George's Terrace is summarised below in accordance with the following considerations outlined in the NSW Heritage Office's *Statements of Heritage Impact* (2002) guidelines.

The following aspects of the proposal respect or enhance the heritage significance of the item or conservation area for the following reasons:

The retention of the St George's Terrace will maintain its core heritage significance with regard to its high degree of integrity when viewed from Phillip Street as demonstrated in Figure 1-3. The item's retention would also contribute to an increased level of visual amenity and result in a more sympathetic response to the existing Phillip streetscape compared to the original proposal for total demolition in this location.

The new development's form, siting, proportions and design detailing is responsive and sympathetic to the context and setting and significance of St George's Terrace.

The proposal would enable the retention, conservation and adaptive reuse of most of the original brick structure at St George's Terrace fronting Phillip Street, as part of the Powerhouse Parramatta.

These processes would respect the significance of St George's Terrace and would be guided by heritage advice focusing on retaining and interpreting the core significance of St George's Terrace as well as meeting functional and design requirements for the Powerhouse Parramatta. This would also assist in the retention of conservation values and the visual setting. Heritage advice will be provided during the detailed design phase (refer to Section 6).

Potential uses of St George's Terrace could include retail, commercial offices and education all as part of the Powerhouse Parramatta. These uses are considered to be compatible as it would respect and not have more than a minimal impact to the item's significance and would contribute to the broader cultural significance of Parramatta. Opportunities for design including the development of potential uses, restoration, reconstruction and/or refurbishment works that will be guided by *The Burra Charter* and the heritage significance of St George's Terrace (refer to Section 6).

Finally, the details for the proposed adaptive reuses will be further developed by INSW as part of the design process, ensuring that potential uses and any new works contribute to the cultural significance of the place.

The following aspects of the proposal could detrimentally impact on heritage significance. The reasons are explained as well as the measures to be taken to minimise impacts:

The demolition of the brick rear addition is acceptable as it is considered to be intrusive and detracts from the heritage significance of St George's Terrace. The demolition would allow for the retention, conservation and adaptive reuse of most of the original brick structure fronting Phillip Street which contributes to the Phillip Street streetscape and Parramatta CBD townscape. However, it is noted that a 1.688 metre section of the original brick structure adjacent to the intrusive brick rear addition would be demolished. This demolition is acceptable as it is sympathetic to the item by facilitating the retention of the traditional form and height of St George's Terrace when viewed from Phillip Street.

Remaining period façade details and internal fabric at the original brick structure would also be retained and conserved as part of the adaptive reuse. In this way, the proposal would retain the core significance of St George's Terrace as part of the Powerhouse Parramatta.

Furthermore, the retention, conservation and adaptive reuse of most of the original brick structure would prevent the total irreversible loss of significant fabric. It would also minimise the impact on heritage in the Parramatta CBD as a result of Powerhouse Parramatta.

The following sympathetic solutions have been considered and discounted for the following reasons:

Refer to Section 5.3 regarding alternative options considered for the proposal.

5.5 Historical archaeological impact

The archaeological resource at St George's Terrace is on land located in the vicinity as described in Section 4.2.

The addendum historical archaeology impact assessment⁵ included within the RtS Report identified potential impacts of the revised design on archaeology. Demolition, decommissioning and removal processes as well as foundation piling and associated trenching in the vicinity of archaeological potential at the rear of St George's Terrace may have physical impacts to subsurface areas with the potential to disturb or remove archaeological features and deposits.

A plan of mapped impacts on archaeological potential is shown in Figure 5-1.

⁵ Curio Projects (2020), Addendum Historical Archaeology Impact Assessment Report – Powerhouse Parramatta.

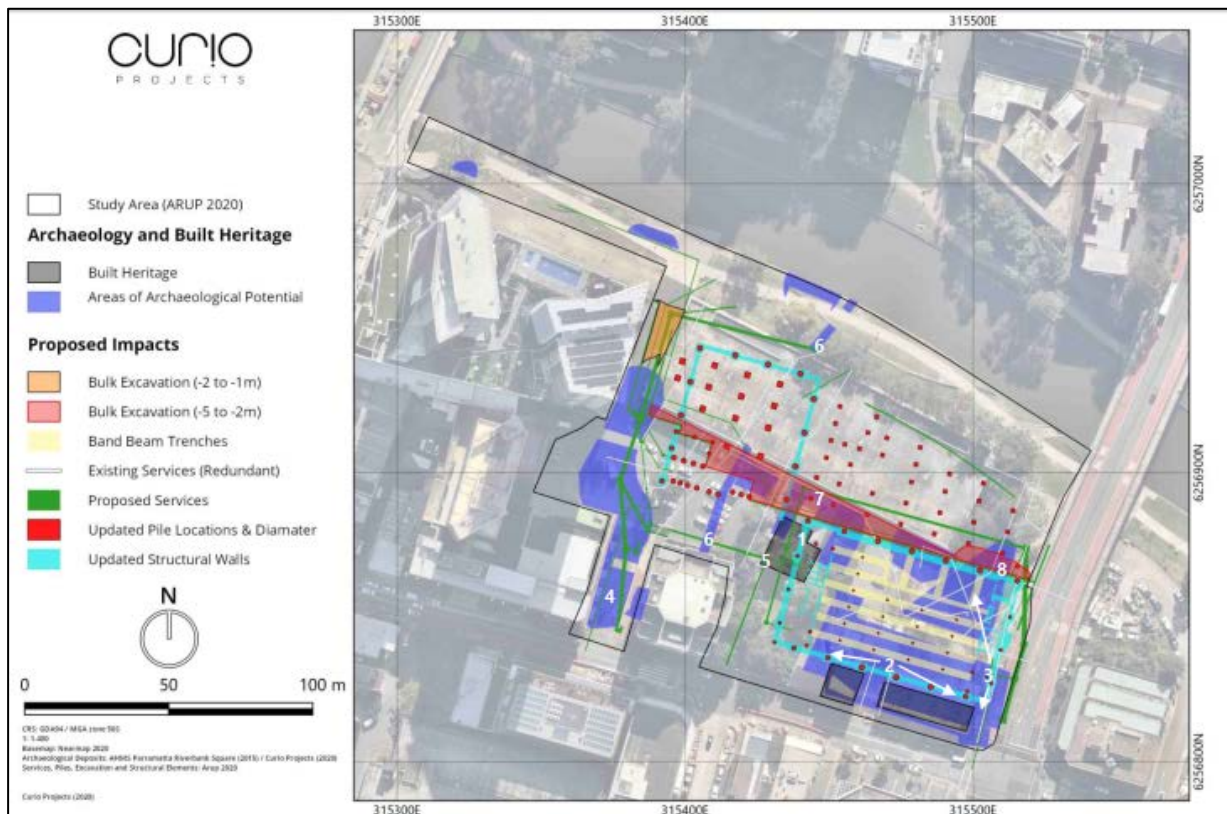


Figure 5-1 Plan of mapped impacts on archaeological potential (Source: Curio Projects, 2020).

It is considered that the retention of most of the original brick structure fronting Phillip Street would minimise impacts on the archaeological resource compared to the original proposal for total demolition.

Mitigation measures described in the addendum historical archaeology impact assessment ought to be adopted to avoid, minimise and mitigate potential impacts.

6 Mitigation Measures

The recommended mitigation measures to avoid, minimise and manage potential impacts are provided in Table 6-1.

Table 6-1 Recommended mitigation measures.

Proposed Measure	Timing
<p>Heritage advice focusing on retaining and interpreting the core significance of St George's Terrace is to be provided during the detailed design stage. This will include advice in relation to:</p> <ul style="list-style-type: none"> Heritage conservation, visual amenity, archaeological, architectural and landscape design matters to minimise potential impacts to St George's Terrace. The retention of remaining period façade details at the front elevation which has been graded as being of 'High' heritage significance. 	Detailed Design
<p>Opportunities for design including potential compatible uses, new and/or refurbishment works will be guided by:</p> <ul style="list-style-type: none"> The relevant Articles of <i>The Burra Charter</i> including key principles of conservation (refer to Section 5.1.2). The core significance of St George's Terrace and its significant fabric. <p>Opportunities to remove intrusive fabric and restore and/or reconstruct earlier known states of significant fabric are strongly recommended.</p>	Detailed Design
<p>An archival record will be prepared prior to any works to St George's Terrace in accordance with the relevant requirements of the NSW Heritage Office's <i>How to Prepare Archival Records of Heritage Items</i> (2003) and <i>Photographic Recording of Heritage Items Using Film or Digital Capture</i> (2006) guidelines. It is recommended that copies of the archival photographic record are stored at the City of Parramatta Council.</p>	Pre-Construction

7 Conclusion

The demolition of the brick rear addition is acceptable as it is considered to be intrusive and detracts from heritage significance. The demolition of a small 1.688 metre section of original fabric is acceptable as it is sympathetic to the item by facilitating the retention of the traditional form and height of St George's Terrace when viewed from Phillip Street. The remaining original brick structure, period façade details and internal fabric would largely be retained and conserved as part of the Powerhouse Parramatta.

The retention of the St George's Terrace will maintain its core heritage significance with regard to its high degree of integrity when viewed from Phillip Street. The item's retention would also contribute to an increased level of visual amenity and result in a more sympathetic response to the existing Phillip streetscape compared to the original proposal for total demolition in this location.

The new development's form, siting, proportions and design detailing is responsive and sympathetic to the context and setting and significance of St George's Terrace.

Potential uses of St George's Terrace as part of the Powerhouse Parramatta are considered to be compatible as it would respect and not have more than a minimal impact to the item's significance and contribute to the broader cultural significance of Parramatta.

Therefore, the proposal is supported on heritage grounds as the core significance of St George's Terrace would be retained and interpreted as part of the Powerhouse Parramatta.

The mitigation measures in Section 6 are considered to provide an appropriate response to avoid, minimise and manage potential impacts.