

15 October 2020

Tahlia Alexander
Senior Planning Officer, School Infrastructure Assessments
NSW Department of Planning, Industry and Environment
(via e-mail to Tahlia.Alexander@planning.nsw.gov.au.)

Dear Madam,

RE: Notice of Exhibition – Modification Request 1 Catherine Field Primary School (SSD 9477)

**PROPERTY: O'Keefe Drive ORAN PARK
LOT: 1001 DP: 1234527**

I refer to the above request to modify the development consent SSD 9477 for Catherine Field Primary School located at O'Keefe Drive, Oran Park currently being assessed by your department and thank you for the opportunity to comment.

Council officers have undertaken a review of the modification request and supporting information. This letter provides feedback on the DA for your consideration.

Of note, as the submission deadline concludes on Friday 16 October 2020, this submission has not been reported to Council for formal consideration and endorsement.

Operational Readiness Access

Council does not object to the proposal of allowing staff early access, subject to applicant's proposed conditions of consent:

*“(a) no more than 15 staff are involved in operational readiness work on site at any one time;
(b) no students or parents are permitted on the site; and
(c) the Applicant has implemented appropriate arrangements to ensure the safety of school staff on the site.”*

The applicant also outlines that:

“Parking arrangements to minimise impacts on the surrounding street network having regard to number of staff involved in operational readiness work on site at any one time and parking arrangements for construction workers on site will be provided.”

These parking arrangements should be provided off-street.

Retaining Wall – Ensure No Conflict with Mod 2

As indicated by the plans for Mod 2, the applicant’s intention is to provide an access point from the adjoining sporting field access (known as LS1) into the school car park. It appears the retaining wall will be around 1.4m tall in the area of the access way and future footpath (no chainages provided in the Engineering plan to confirm the exact wall height around the future area).

The location of retaining wall should be revised to be entirely consistent with the location of the retaining wall proposed in Mod 2 which allows for vehicular and pedestrian access to and from LS1.

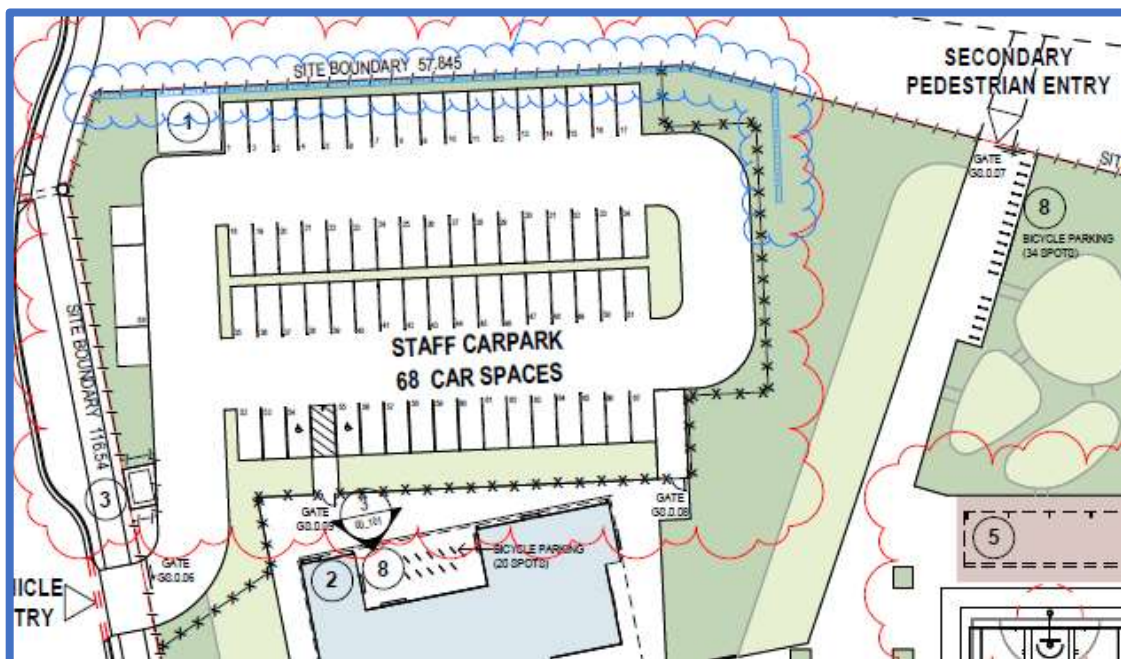


Figure 1: Mod 1 plans showing location of retaining wall.

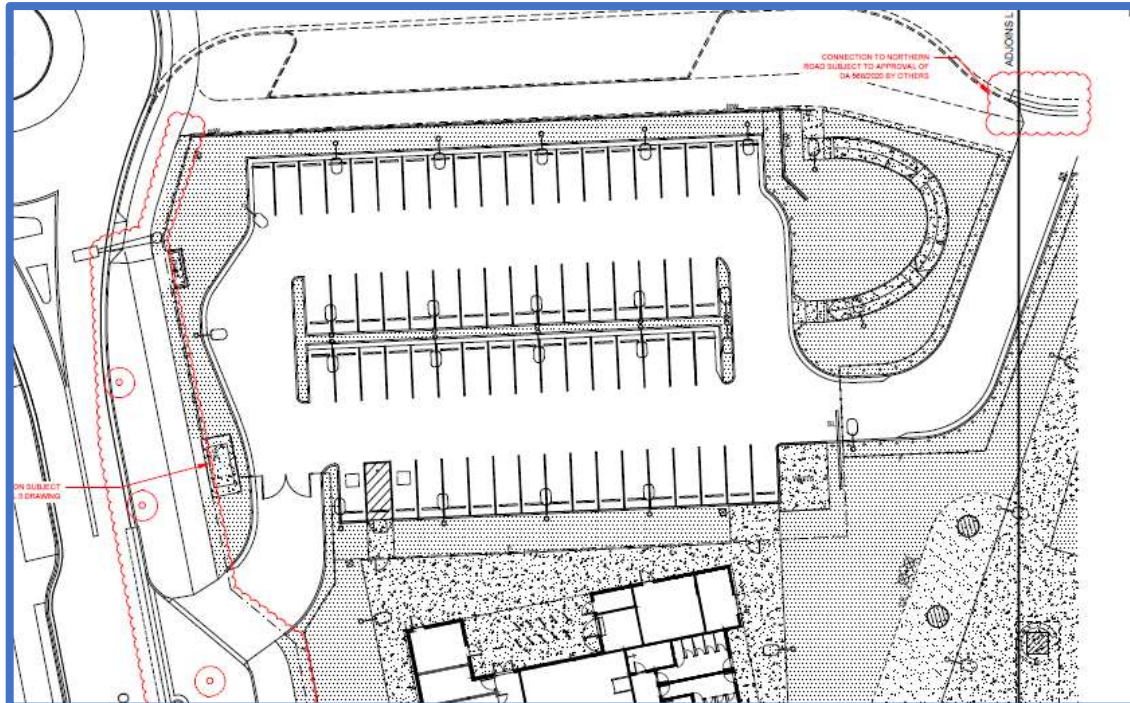


Figure 2: Mod 2 plans showing proposed pedestrian and vehicular access to LS1.

Retaining Wall Design

The plans do not indicate the materials to be used for the retaining wall. Council suggests the use of sandstone block retaining walls consistent with other retaining walls in the locality. Timber should not be utilised.

The height of the retaining wall may require a balustrade to comply with the BCA or traffic barrier given the proximity to the car park on the adjoining site. Council encourages the Department to seek that the retaining wall be terraced to remove this requirement and make the wall safer (the minimum distance between any step in the retaining wall should be 1 m measured horizontally). Especially given that the retaining wall is in close proximity to a kiss and drop area and a playing fields car park where high numbers of children will be located. If required, details of any required balustrade should be submitted.

Retaining Wall Conditions of Consent

The plans of the retaining wall show the wall along the boundary of the site. The wall must be entirely located within the subject site including all associated drainage and backfilling. Council would appreciate if the following standard Camden Council condition of consent could be imposed on the modified consent:

“Any retaining wall must comply with the following requirements:

a) retaining walls shall be designed and certified by a suitably qualified structural engineer;

b) retaining walls in cut shall be constructed a minimum of 300mm from any property boundary to ensure all associated drainage and backfill remain wholly within the subject property:

c) retaining walls in fill shall be constructed to ensure all associated drainage and backfill remain wholly within the subject property:

d) adequate provisions shall be made for surface and subsurface drainage of retaining walls and all water collected shall be diverted to, and connect to, a stormwater disposal system within the property boundaries;

e) retaining walls shall not be erected within drainage easements; and

f) retaining walls shall not be erected in any other easement present on the land without the approval of the relevant authority benefited.

g) retaining walls are to be finished with anti-graffiti coating. ”

Should you have any enquiries in relation to this matter, please do not hesitate to contact the undersigned on 02 4654 7777.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'M Rawson'.

Mr M Rawson
Team Leader DA Assessments West
(Planning and Environmental Services)