

Mixed-Use Development

131 Crown Street, Wollongong

Landscape Development Application

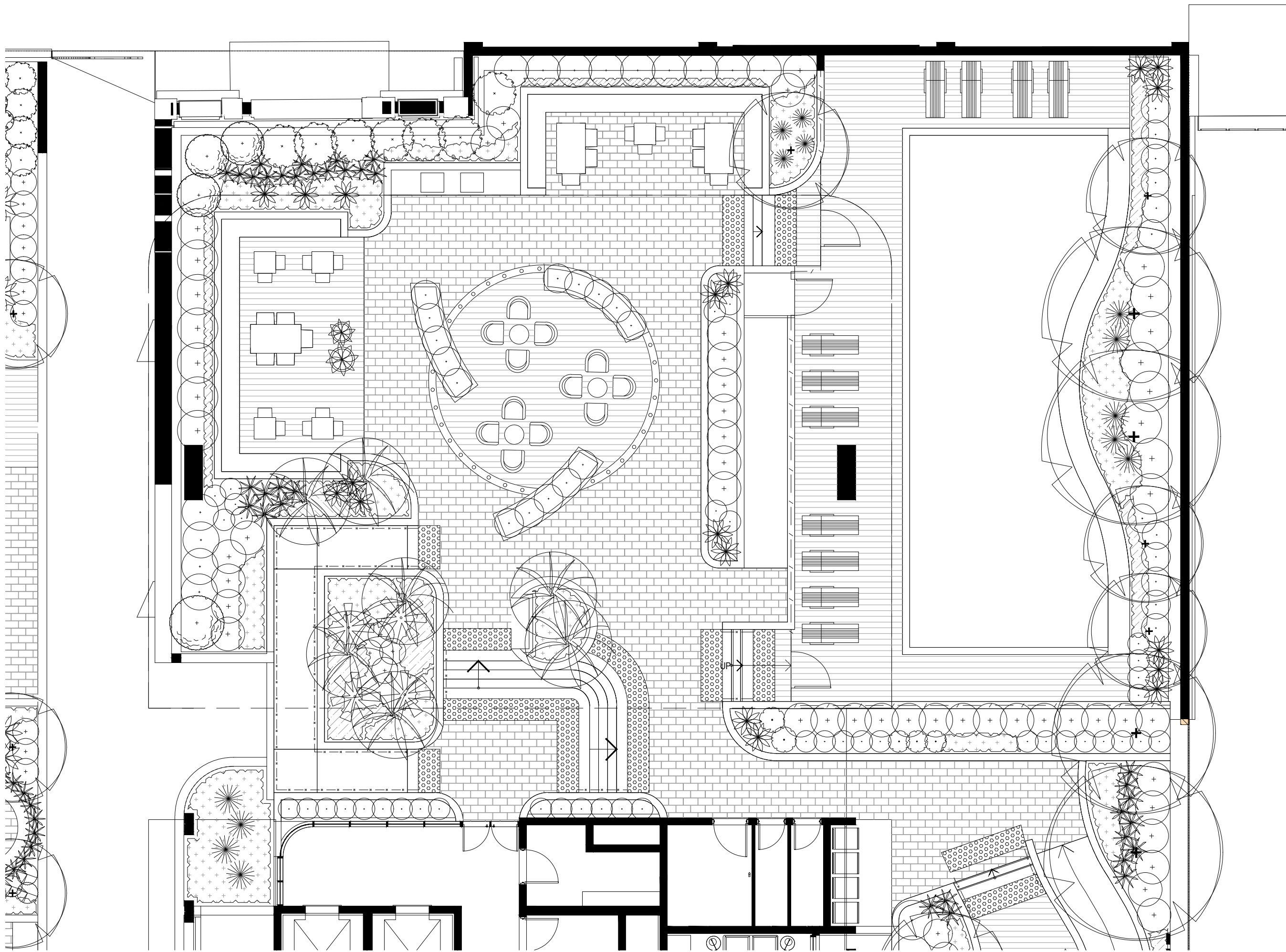
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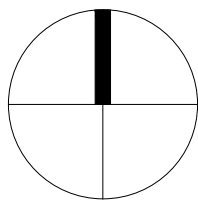
DRAWING SCHEDULE

Dwg No.	Drawing Title	Scale
000	Cover Sheet	N/A @ A1
001	Landscape Composite Render	1:125 @ A1
101	Ground Floor - General Arrangement Plan	1:125 @ A1
102	Level Two - General Arrangement Plan	1:125 @ A1
103	Level 18 - General Arrangement Plan	1:125 @ A1
104	Lower Rooftop - General Arrangement Plan	1:125 @ A1
201	Ground Floor - Planting Plan	1:125 @ A1
202	Level Two - Planting Plan	1:125 @ A1
203	Level 18 - Planting Plan	1:125 @ A1
204	Lower Rooftop - Planting Plan	1:125 @ A1
500	Landscape Specification Notes & Plant Schedule	N/A @ A1
501	Landscape Details - 01	As Shown @ A1
502	Landscape Details - 02	As Shown @ A1

D	Issue for Development Application	BS	RS	23.04.2024
C	Issue for Review	BS	RS	02.04.2024
B	Issue for Review	BS	RS	28.03.2024
A	Issue for Approval	BS	RS	14.03.2024
Issue	Revision Description	Drawn	Check	Date



Level Two Plan | Scale: 1:100



Client
TQM DM

Project
Mixed-Use Development
131 Crown Street, Wollongong

Level 1, 3-5 Baptist Street
Redfern NSW 2016
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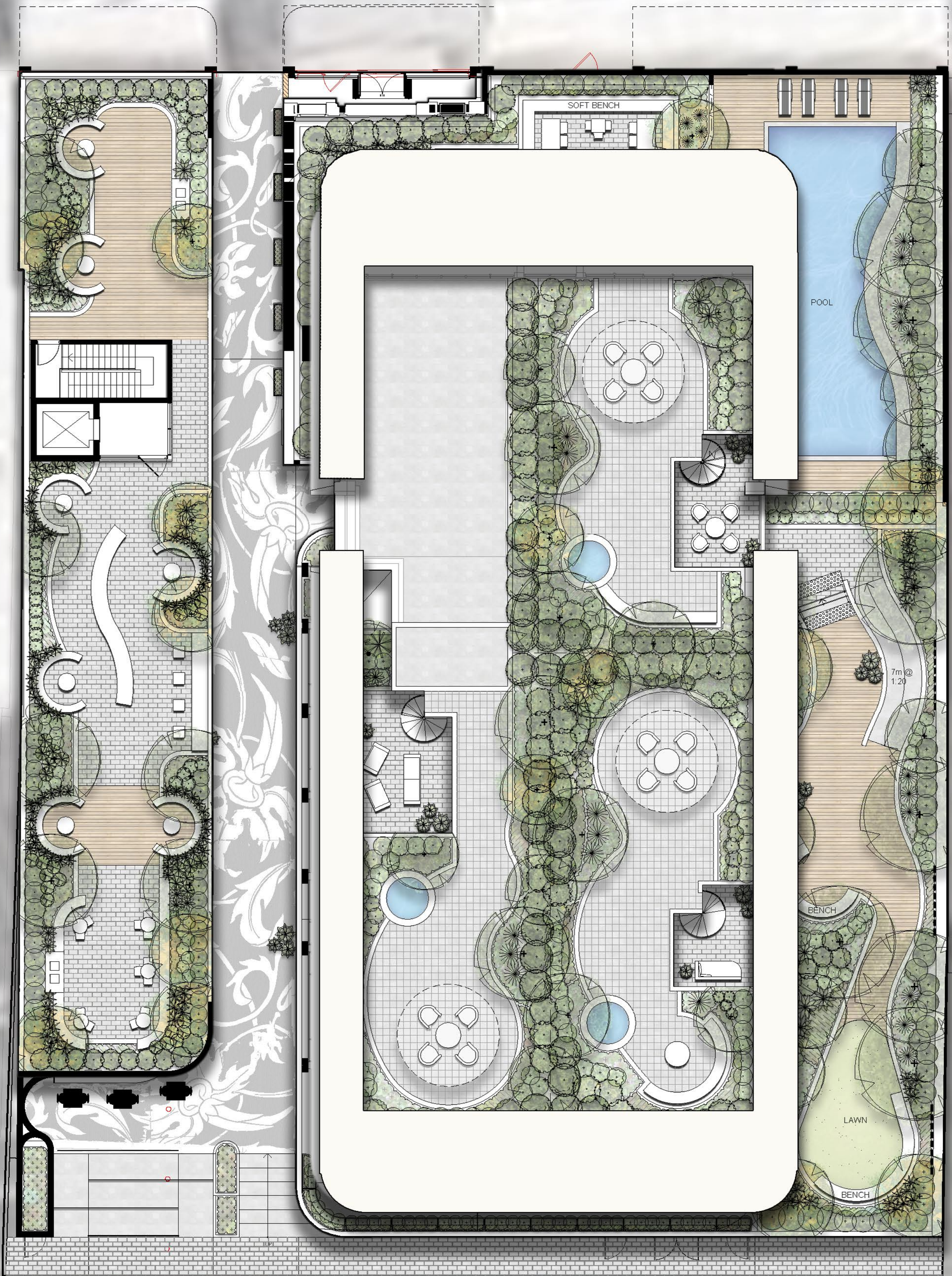
DEVELOPMENT APPLICATION

Drawing Name
Landscape Cover Sheet

Scale 1:100 @ A1
Job Number
SS24-5299

Drawing Number
000
Issue
D

NOT FOR CONSTRUCTION



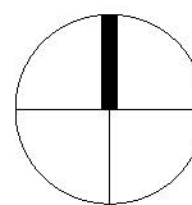
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B	Issue for Development Application	BS	RS	23.04.2024
A	Issue for Approval	BS	RS	14.03.2024
Issue	Revision Description	Drawn	Check	Date

- Legend**
- Property boundary
 - Building overhang / canopy / awning
 - Levels
 - EX - Existing level
 - FFL - Finished floor level
 - TOW - Top of wall level
 - Proposed tree / fern planting. Refer to planting plans, detail 01/501 and specification
 - Planting on slab. Refer to planting plans, detail 02/501 and spec
 - Planting in Pots. Refer to detail 04/501 and spec
 - Granite Paving. Refer to detail 06/501 and spec
 - Timber Decking. Refer to detail 03/501 and spec
 - Turf. Refer to detail 04/501 and spec
 - Diagonal wire trellis system.

Key Plan



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Drawing Name
Landscape Composite Render

Scale 1:125 @ A1
Job Number SS24-5299
Drawing Number 001
Issue B

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D	Issue for Development Application	BS	RS	23.04.2024
C	Issue for Review	BS	RS	02.04.2024
B	Issue for Review	BS	RS	26.03.2024
A	Issue for Approval	BS	RS	26.03.2024
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 - Granite Paving. Refer to detail 06/501 and spec
 - Patterned Cobblestone Paving
 - Proposed green wall.

Key Plan

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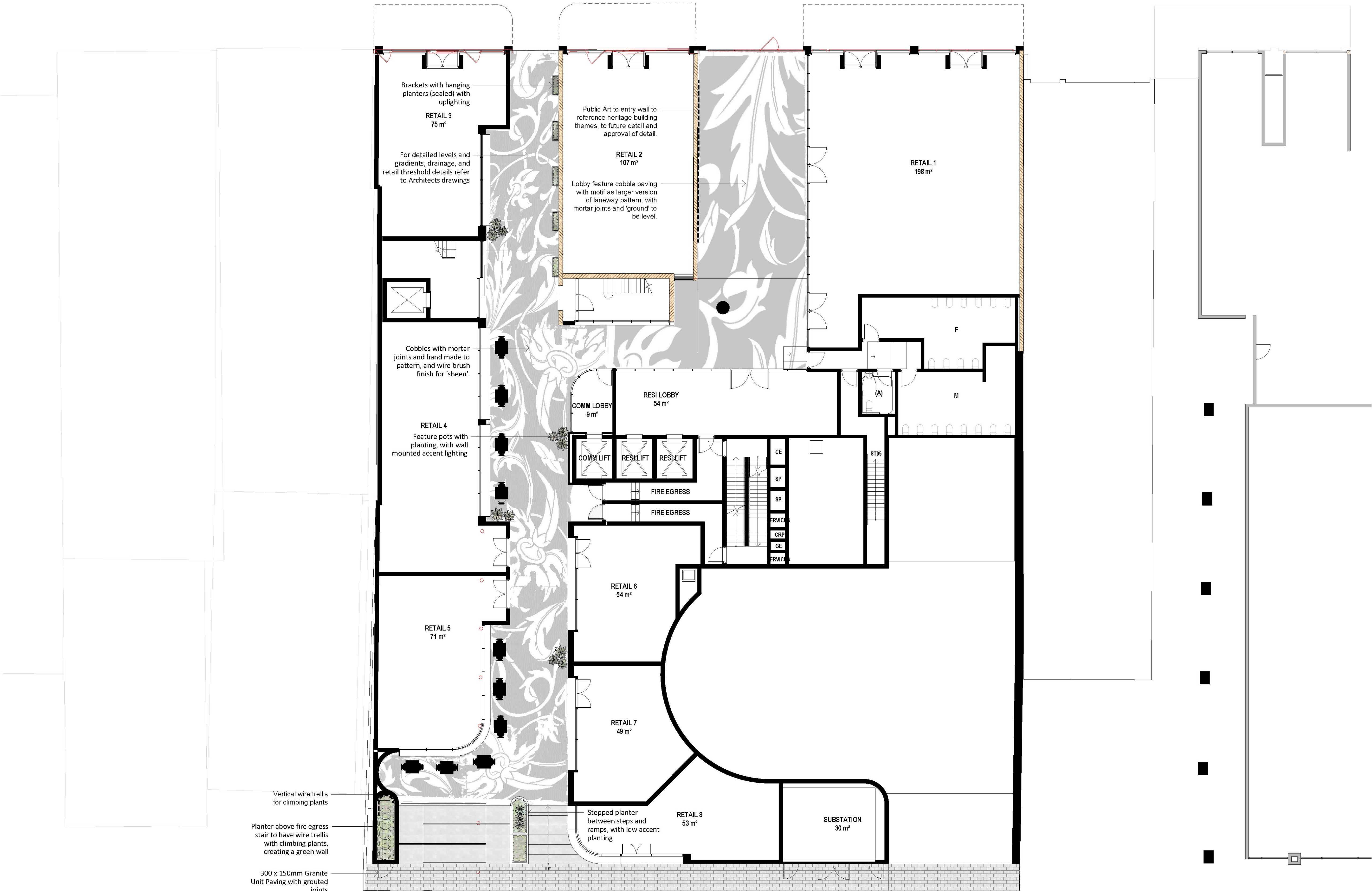
Drawing Name
Ground Floor
General Arrangement Plan

Scale 1:125 @ A1

Job Number
SS24-5299

Drawing Number
101

Issue
D



NOT FOR CONSTRUCTION

F	Issue for Development Application	BS	RS	23 04 2024
E	Issue for Review	BS	RS	19 04 2024
D	Issue for Review	BS	RS	05 04 2024
C	Issue for Review	BS	RS	02 04 2024
B	Issue for Review	BS	RS	28 03 2024
A	Issue for Approval	BS	RS	14 03 2024
Issue	Revision Description	Drawn	Check	Date

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 - Diagonal wire trellis system.

Key Plan

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SITE IMAGE



DEVELOPMENT APPLICATION

Drawing Name
Level Two
General Arrangement Plan

Scale 1:125 @ A1

Job Number
SS24-5299

Drawing Number
102

Issue
F

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Key Plan

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DEVELOPMENT APPLICATION

Drawing Name
Level 18
General Arrangement Plan

Scale 1:125 @ A1

Job Number
SS24-5299

Drawing Number

103

Issue

C

NOT FOR CONSTRUCTION

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Issue	Revision Description	Drawn	Check	Date

Legend

Property boundary

Building overhang / canopy / awning

+ 4.600

Levels

EX - Existing level

FFL - Finished floor level

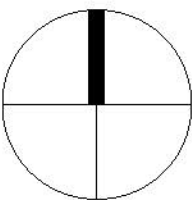
TOW - Top of wall level

Proposed tree / fern planting. Refer to planting plans, detail 01/501 and specification

Planting on slab. Refer to planting plans, detail 02/501 and spec

Granite Paving. Refer to detail 06/501 and spec

Key Plan



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DEVELOPMENT APPLICATION

Drawing Name
Lower Rooftop
General Arrangement Plan

Scale 1:125 @ A1

Job Number
SS24-5299

Drawing Number
104

Issue
D

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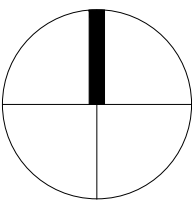
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Legend	
	Property boundary
	Building overhang / canopy / awning
	Proposed shrub planting. Refer to planting plans, detail 02/501 and specification
	Proposed groundcover planting. Refer to detail 04/501 and spec
	Planting in Pots. Refer to planting plans, detail 05/501 and spec

Key Plan



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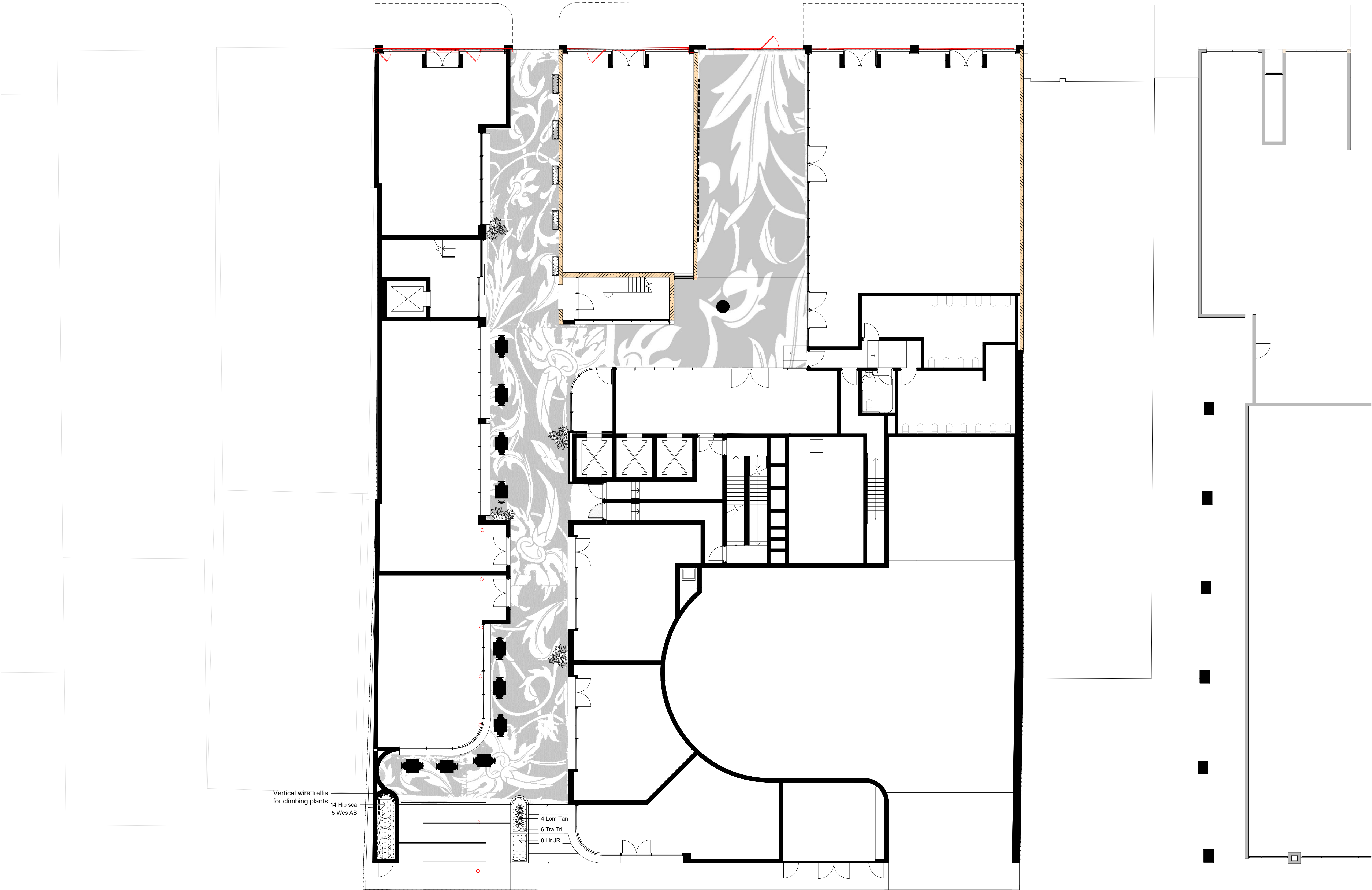
DEVELOPMENT APPLICATION

Drawing Name
Ground Floor - Planting Plan

Scale 1:125 @ A1
Job Number
SS24-5299

Drawing Number
201

Issue
C



NOT FOR CONSTRUCTION

Legend

- Property boundary
- Building overhang / canopy / awning
- Proposed tree / fern planting. Refer to planting plans, detail 01/501 and specification
- Proposed shrub planting. Refer to planting plans, detail 02/501 and specification
- Proposed groundcover planting. Refer to detail 04/501 and spec
- Planting in Pots. Refer to planting plans, detail 05/501 and spec
- Diagonal wire trellis system.

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Drawing Name
Level Two - Planting Plan

Scale 1:125 @ A1

Job Number SS24-5299

Drawing Number 202

Issue D



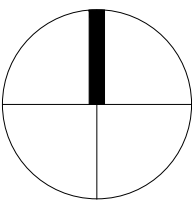
A1

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Drawing Name
Level 18 - Planitng Plan

Scale 1:125 @ A1

Job Number

SS24-5299

Drawing Number

203

Issue

C

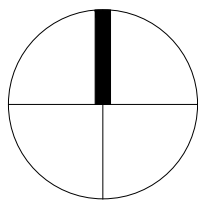
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DEVELOPMENT APPLICATION

Drawing Name
Lower Rooftop - Planting Plan

Scale 1:125 @ A1

Job Number
SS24-5299

Drawing Number
204

Issue
D

NOT FOR CONSTRUCTION

SPECIFICATION NOTES

References

All plans and details included in the project documents shall be read in conjunction with this specification. All structural and civil works components of the landscape design shall be referenced to engineers' details and specifications. Read this specification in conjunction with the plant and materials schedules on the drawings. If in doubt about any detail or if conflicts are found in the documents, seek advice.

Workmanship and Materials

The whole of the landscape works shall be carried out by a competent, trained and qualified landscape contractor who is experienced in horticultural practices, landscape construction and planting techniques. The landscape contractor shall hold a current Building Contractors License and/or be a financial member of LNA Landscape Association NSW & ACT or equivalent organisations in other states.

EARTHWORKS

Excavation, Trimming and Filling

Except as otherwise noted in the contract, bulk excavation is excluded from the landscape works. After the completion of bulk excavation by others, trim and fill the excavated ground surfaces to achieve design levels to accommodate finish materials as detailed. Prepare the sub-grade surface as required for the various finished ground treatments.

Sub-soil Drainage

Keep the excavated works drained and free of standing water. Allow to supply and install sub-soil drainage pipes as required for the new works to ensure that all gardens are well drained. Connect the sub-soil drainage pipes to the nearest downstream stormwater pits. Include pipe filter socks and course sharp aggregate backfilling of trenches.

HARDWORKS

Furniture, Handrails, Balustrades

Supply and install the scheduled items in accordance with the manufacturer's recommendations, as detailed and in the locations shown on plan. Provide all footings and fixings required for the items to be stable and in accordance with applicable codes and standards.

Garden Walls, Fences, Steps, TGSi and Edging

Construct garden walls, fences, steps, TGSi and edging as shown on plan, as detailed and of the material scheduled. Provide footings, step nosings, tactile surfaces to comply with Australian Standards and applicable legislation. Refer to engineer's details for structural retaining walls, concrete stairs, concrete strength, reinforcing and joint placement.

Continuous, Unit and Loose Pavement

Install the scheduled material pavement to the locations shown on plan. Ensure that all subgrade/subsurface works are complete prior to commencing paving. Confer with the engineer to ensure the structural integrity of the subgrade. Ensure that the base course under paved surfaces is a continuous plane offering a constant depth of bedding material not exceeding 50mm. If laying unit pavers in a cement mortar bed on a concrete sub-base ensure that joints in paving match the location of joints in the concrete. Refer to engineer's details for heavy duty slabs, concrete stairs, concrete strength, reinforcing, and joint type and placement.

SOFTWARES

Subsoil

Excavate and/or fill all garden beds to bring the top of subsoil to at least 300mm below finished design soil levels. Excavate all turf areas to bring the subsoil to at least 100mm below finished design levels. In all areas shape the subsoil to fall to subsoil drains where applicable. Do not excavate within the drip line of trees and shrubs to be retained. Cultivate or rip the subsoil to a further depth of 100mm before placing top soil. Remove stones of size exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Do not disturb services or existing tree roots. If necessary cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil, as recommended in the soil testing results and to manufacturer's recommendations. Trim the surface to design levels again after cultivation.

Topsoil

Import topsoil for the garden and turf areas, unless the topsoil can be provided from material recovered from the site, as recommended in the soil testing results. Spread the topsoil on the prepared subsoil and grade evenly, compact lightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which has the following characteristics:

- Finished to design levels, allowing for mulch or turf, which is to finish flush with adjoining hard surfaces such as paths and edges;
- Smooth and free from inorganic matter, stones or clods of soil;
- Graded to drain freely, without ponding, to catchment and/or sub-soil drains;
- Graded evenly to adjoining surfaces; and
- Ready for planting.

Compost

Provide, in accordance with AS 4454, well rotted vegetative material or animal manure, free from harmful chemicals, inorganic matter, grass, weeds and the reproductive parts of unwanted plants.

Fertiliser

Provide proprietary fertilisers, delivered to the site in sealed containers marked to show manufacturer or vendor, weight, fertiliser type, N:P:K ratio, recommended uses, application rates and safety procedures. Apply appropriate fertiliser suited to the provenance of plants (indigenous or exotic) included in the design.

Plants

Supply plants in accordance with the landscape design drawings and schedules, which have the following characteristics:

- Large healthy root systems, with no evidence of root curl, restriction or damage;
- Vigorous, well established, free from disease and pests, of good form consistent with the species/variety;
- Hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site in full sun, partial shade or full shade conditions;
- Grown in final containers for not less than twelve weeks;
- Trees, unless required to be multi-stemmed, shall have a single leading shoot; and
- Containers shall be free from weeds and of appropriate size in relation to the specified plant size.

Plant Installation

Following excavation of the planting hole, place and spread 15gms of wetting agent pre-mixed with one (1) litre of water. Place the plant correctly orientated to north or for best presentation. Backfill the planting holes with specified topsoil mixture. Lightly tamp and water to eliminate air pockets. Ensure that the backfill soil is not placed over the top of the root ball and that the root ball is not higher than the soil in which it is planted. Apply fertiliser, as specified around the plants in the soil at the time of planting.

Root Barrier

Supply and install root control barriers to all new tree plantings adjacent to walls, paths, kerbs and all service trenches, where their proximity poses a threat to the stability of the built infrastructure. Install in accordance with manufacturer's recommendations.

Mulch

Unless noted otherwise, mulch shall be approved proprietary recycled wood fibre or pine bark material. Place mulch in all garden beds to a depth of 75mm after all specified plants are installed. Keep mulch clear of all plant stems and rake to an even plane, flush with the surrounding surfaces evenly graded between design surface levels. Over fill to allow mulch to settle to the specified depth.

Stakes and Ties

Stakes shall be durable hardwood, straight, free of knots and twists, pointed at one end, in the following quantities and sizes for each of the various plant pot sizes:

- Plants >25 lt: 1 off 38 x 38 x 1200mm;
- Semi-advanced plants >75 lt: 2 off 50x50x 1800mm;
- Advanced plants ≥100 lt: 3 off 50 x 50 x 2400mm.

Turf

Turf shall be delivered to site as 25mm minimum thick cut rolls. Obtain turf from a specialist grower of cultivated turf. Turf shall have an even thickness, free from weeds and other foreign matter. Deliver turf to the site within 24 hours of being cut and lay it within 24 hours of delivery. Prevent it from drying out between cutting and laying. Lay the turf in the following manner:

- In stretcher pattern, joints staggered and close butted;
- Parallel long sides of level areas, with contours on slopes; and
- To finish flush, after lightly tamping, with adjacent finished surfaces and design levels.

Species: *Stenotaphrum secundatum* Sir Walter Soft-leaf Buffalo.

IRRIGATION

Scope: Unless otherwise noted or instructed irrigate all planted areas shown on plans including planters, tubs, gardens, turf and the like.

The irrigation system shall be an automatic permanent system, with an irrigation controller self operated via a soil moisture sensor. The system shall be calibrated to deliver the optimum rate and volume of water appropriate to the type of plants in the design. The system shall be adjustable and fully serviceable. The layout of the entire irrigation system shall focus on delivering the required amount of water to maintain healthy and vigorous growth. The irrigation system shall be such that, component theft, vandalism, over-spray and wetting of paths shall be reduced to a minimum or completely eliminated by the use of drip, pop-up sprinklers and judiciously placed fixed spray emitters. Generally do not use fine mist emitters that provide a drifting mist that may wet paths and the buildings unless specifically required by the design.

LANDSCAPE MAINTENANCE

The Landscape Contractor shall rectify defects during installation and that become apparent in the works under normal use for the duration of the contract Defects Liability Period. Unless contracted otherwise, the Landscape Contractor shall maintain the contract areas by the implementation of industry accepted horticultural practices for 52 weeks from Practical Completion of the works. The landscape maintenance works shall include, but not be limited to:

- Replacing failed plants;
- Pruning;
- Insect and pest control;
- Fertilising;
- Maintaining and removing stakes and ties;
- Maintaining mulch;
- Mowing and top dressing;
- Irrigation and watering;
- Erosion control; and
- Weeding and rubbish removal.

Maintenance Log Book

Implement and keep a maintenance log book recording when and what maintenance work has been undertaken and what materials, actions and decisions have been used, implemented and concluded to keep the landscape always looking its best. Enter data daily and review information every 2 weeks. Observe trends and develop a maintenance regime around seasonal and observed event occurrences.

Maintenance Activities

During the defects maintenance period schedule the following activities to occur on a timely basis.

- **Plant replacement** - Replace plants that have failed to mature, die or are damaged. Replacement plants shall be in a similar size and quality and identical species or variety to the plant that has failed. Replacement of plants shall be at the cost of the landscape contractor unless advised otherwise. If the cause of the failure is due to a controllable situation then correct the situation prior to replacing plants. Observe and replace failed plants within 2 weeks of observation.

- **Pruning** - Prune dead wood, broken limbs, dead or infected foliage and as needed to develop strong, healthy plants to achieve the shape and form expected of the plant type. Observe daily and prune plants on a needs basis.

- **Insect, disease and pest control** - Avoid spraying:
 - if ever possible;
 - in wet weather or if wet weather is imminent;
 - if target plants are still wet after rain;
 - in windy weather; and
 - if non-target species are too close.

Immediately report to the Project Manager any evidence of intensive weed infestation, insect attack or disease amongst plant material. Submit all proposals to apply chemicals and obtain approval before starting this work. When approved, spray with herbicide, insecticide, fungicide as appropriate in accordance with the manufacturers' recommendations. Observe daily and act as necessary to control any infestation or disease. Record in the logbook all relevant details of spraying activities including:

- Product brand / manufacturer's name,
- Chemical / product name,
- Chemical contents,
- Application quantity and rate,
- Date of application and location,
- Results of application, and
- Use approval authority.

- **Fertilising** - Fertilise gardens with a proprietary slow release fertiliser applied in accordance with the manufacturer's directions and recommendations. Apply 6-12 monthly. Record in the logbook all relevant details of fertilising including:
 - Product brand / manufacturer's name,
 - Fertiliser / product name,
 - Application quantity and rate, and
 - Date of application and location.

- **Stakes and ties** - Adjust and replace as required to ensure plants remain correctly staked. Remove those not required at the end of the planting establishment period (Defects Liability Period). Inspect and act at least every 2 weeks.

- **Maintaining mulch** - Maintain the surface in a clean, tidy and weed free condition and reinstate the mulch as necessary to ensure correct depth as specified. Observe weekly and replenish mulch as required.

- **Mowing and top dressing** - Mow the turf to maintain a grass height of between 30-50mm. Do not remove more than one third of the grass height at any one time. Remove grass clippings from the site after each mowing. Top dress to a maximum of 10mm to fill depressions and hollows in the surface. Mow weekly/fortnightly in warmer months. Mow monthly or as required in cooler months. Top dress at approximately 6 monthly intervals.

- **Irrigation and watering** - Maintain the irrigation system to sure that each individual plant receives the required amount of water to maintain healthy and vigorous growth. Adjust and calibrate as required. Provide additional watering, if necessary but inspect irrigation weekly and make repairs as necessary.

- **Erosion control** - Where necessary, maintain the erosion control fabric in a tidy and weed free condition and reinstate as necessary to ensure control measures are effective where deemed necessary. Inspect every 2 weeks and act to repair any damage as soon as possible.

- **Weeding and rubbish removal** - During the plant establishment period remove by hand, rubbish and weed growth that may occur or re-occur throughout all planted, mulched and paved areas. The contractor shall target weeds that are capable of producing a major infestation of unwanted plants by seed distribution. Whenever possible, time weed removal to precede flowering and seed set. Constant observation and removal of weeds is essential.

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B	Issue for Development Application	BS	RS	23.04.2024
A	Issue for Approval	BS	RS	14.03.2024
Issue	Revision Description	Drawn	Check	Date

Client

TQM DM

Project

Mixed-Use Development
131 Crown Street, Wollongong

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Landscape Architects

DEVELOPMENT APPLICATION

Drawing Name

Landscape Specification Notes

Scale n/a

Job Number

SS24-5299

Drawing Number

500

Issue

B

131 Crown Street, Wollongong
Plant Schedule

CODE	BOTANIC NAME	COMMON NAME	MATURE HEIGHT	Pot	Density	Quantity
			MATURE SPREAD	Size	m ² / Lm	

TREES						
Ban int	<i>Banksia integrifolia</i>	Coast Banksia	6 x 4	100L	As Shown	
Cup ana	<i>Cupaniopsis anacardioides</i>	Tuckeroo	10 x 4	100L	As Shown	
Dic ant-1	<i>Dicksonia antarctica</i>	Soft Tree Fern	5 x 2	1.5m Clear Trunk	As Shown	
Dic ant-2	<i>Dicksonia antarctica</i>	Soft Tree Fern	5 x 2	2m Clear Trunk	As Shown	
Ela PD	<i>Elaeocarpus reticulatus</i> 'Prima Donna'	Blueberry Ash	8 x 3	200L	As Shown	
Hib Rub	<i>Hibiscus tiliaceus</i>	Cottonwood Tree	4 x 3	200L	As Shown	
How for	<i>Howea forsteriana</i>	Kentia Palm	6 x 3	3m Clear Trunk	As Shown	
Lag Nat	<i>Lagerstroemia indica</i> 'Natchez'	White Crepe Myrtle	6 x 4	100L	As Shown	
Mag LG	<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia	8 x 6	100L	As Shown	
Ole eur	<i>Olea europaea</i>	Common Olive	4 x 2	100L	As Shown	
Ole TU	<i>Olea europaea</i> 'Tolley's Upright'	Tolley's Upright Olive Tree	7 x 4	200L	As Shown	
Plu acu	<i>Plumeria acutifolia</i>	White Frangipani	5 x 8	100L	As Shown	
Tri Lus	<i>Tristaniopsis laurina</i> 'Luscious'	Water Gum	7 x 4	100L	As Shown	
Wat flo	<i>Waterhousea floribunda</i>	Weeping Lilly Pilly	6 x 5	100L	As Shown	

ACCENTS / SHRUBS						
Acm AM	<i>Acmena smithii</i> 'Allyn Magic'	Dwarf Lilly Pilly	0.6 x 0.8	200mm	As Shown	
Acm Min	<i>Acmena smithii</i> 'Minor'	Minor Lilly Pilly	3.0 x 2.0	300mm	As Shown	
Aga att	<i>Agave attenuata</i>	Century Plant	1.5 x 1.5	300mm	As Shown	
Aga BG	<i>Agave</i> 'Blue Glow'	Mexican Lily	0.5 x 0.5	300mm	As Shown	
Aga gem	<i>Agave geminiflora</i>	Twin Flowering Agave	1.0 x 1.0	200mm	As Shown	
Alc Rub	<i>Alcantarea imperialis</i> 'Rubra'	Imperial Bromeliad	1.2 x 1.5	300mm	As Shown	
Alp nut	<i>Alpinia nutans</i>	Dwarf Cardamom	1.0 x 1.0	200mm	As Shown	
Alp zer	<i>Alpinia zerumbet</i>	Variegated Shell Ginger	1.5 x 1.0	300mm	As Shown	
Alo AR	<i>Aloe</i> 'Always Red'	Always Red Aloe Vera	0.4 x 0.3	200mm	As Shown	
Asp aus	<i>Asplenium australasicum</i>	Birds Nest Fern	1.0 x 1.5	300mm	As Shown	
Ban BC	<i>Banksia spinulosa</i> 'Birthday Candles'	Birthday Candles	0.5 x 0.8	200mm	As Shown	
Ble nud	<i>Blechnum nudum</i>	Fishbone Water Fern	1.0 x 1.0	300mm	As Shown	
Ble SL	<i>Blechnum</i> 'Silver Lady'	Silver Lady Fern	1.0 x 1.0	200mm	As Shown	
Cal BJ	<i>Callistemon</i> 'Better John'	Better John Bottlebrush	0.6 x 0.6	200mm	As Shown	
Cor alb	<i>Correa alba</i>	White Correa	1.5 x 1.5	300mm	As Shown	
Cra MC	<i>Crassula undulatifolia</i> 'Max Cook'	Max Cooke Crassula	1.0 x 1.0	200mm	As Shown	
Esc PP	<i>Escallonia rubra</i> 'Pink Pixie'	Pink Escallonia	0.8 x 0.8	200mm	As Shown	
Gar Flo	<i>Gardenia augusta</i> 'Florida'	Gardenia	1.2 x 1.2	300mm	As Shown	
Hym GN	<i>Hymenosporum flavum</i> 'Gold Nugget'	Native Frangipani	0.7 x 0.7	200mm	As Shown	
Kal SS	<i>Kalanchoe</i> 'Silver Spoons'	Silver Spoons	1.2 x 1.2	200mm	As Shown	
Lep For	<i>Leptospermum laevigatum</i> 'Foreshore'	Dwarf Coastal Tea Tree	0.5 x 0.8	300mm	As Shown	
Mel CT	<i>Melaleuca linariifolia</i> 'Claret Tops'	Honey Myrtle	1.0 x 0.8	300mm	As Shown	
Met Tah	<i>Metrosideros collina</i> 'Tahiti'	Dwarf NZ Christmas Bush	1.0 x 1.0	300mm	As Shown	
Phi xan	<i>Philodendron xanadu</i>	Xanadu	0.8 x 1.0	300mm	As Shown	
Pit MM	<i>Pittosporum</i> 'Miss Muffet'	Miss Muffet Pittosporum	0.8 x 0.6	200mm	As Shown	
Rap CP	<i>Raphiolepis indica</i> 'Cosmic Pink'	Raphiolepis Cosmic Pink	0.8 x 0.8	200mm	As Shown	
Rha exc	<i>Rhapis excelsa</i>	Lady Palm	2.0 x 1.5	45L	As Shown	
Rap SM	<i>Raphiolepis</i> 'Snow Maiden'	Snow Maiden	0.8 x 0.5	300mm	As Shown	
Str jun	<i>Strelitzia reginae</i>	Bird of Paradise	1.5 x 1.0	300mm	As Shown	
Syz BB	<i>Syzygium australe</i> 'Backyard Bliss'	Lilly Pilly	3.0 x 1.5	300mm	As Shown	
Wes GB	<i>Westringia fruticosa</i> 'Aussie Box'	Coastal Rosemary	0.8 x 0.8	300mm	As Shown	
Wes GB	<i>Westringia fruticosa</i> 'Grey Box'	Coastal Rosemary	0.4 x 0.4	300mm	As Shown	
Wes WG	<i>Westringia fruticosa</i> 'Jervis Gem'	Jervis Gem	1.5 x 1.5	300mm	As Shown	
Zam fur	<i>Zamia furfuracea</i>	Cardboard Palm	1.5 x 1.5	200mm	As Shown	

GROUNDCOVERS						
Art cir	<i>Arthropodium cirratum</i>	New Zealand Rock Lily	0.5 x 0.5	150mm	5/m ²	
Asp ela	<i>Aspidistra elatior</i>	Cast Iron Plant	0.6 x 0.6	300mm	5/m ²	
Car gla	<i>Carpobrotus glaucescens</i>	Pig Face	0.2 x 2.0	150mm	5/m2	
Cas CI	<i>Casuarina glauca</i> 'Cousin It'	Cousin It She-Oak	0.2 x 1.0	150mm	5/m ² or 2/LM	
Dia Bre	<i>Dianella caerulea</i> 'Breeze'	Dianella Breeze	0.6 x 0.6	150mm	5/m ²	
Dic rep	<i>Dichondra repens</i>	Kidney Weed	0.1 x 0.5	150mm	5/m ²	
Dic SF	<i>Dichondra argentea</i> 'Silver Falls'	Dichondra Silver Falls	0.1 x Spreading	150mm	5/m ²	
Hib sca	<i>Hibbertia scandens</i>	Snake Vine	0.3 x 1.0	200mm	5/m ²	
Lib SS	<i>Libertia paniculata</i> 'Shadow Star'	Grass Flag	0.4 x 0.5	200mm	5/m ²	
Lir JR	<i>Liriope muscari</i> 'Just Right'	Lily Turf	0.5 x 0.5	150mm	5/m ²	
Lom Tan	<i>Lomandra longifolia</i> 'Tanika'	Tanika Mat Rush	0.8 x 0.8	200mm	5/m ²	
Myo Yar	<i>Myoporum parvifolium</i> 'Yareena'	Yareena Myoporum	0.1 x 1.0	150mm	5/m ²	
Oph jap	<i>Ophiopogon japonicus</i>	Mondo Grass	0.2 x 0.2	300mm	9/m ²	
Pen alo	<i>Pennisetum alopecuroides</i> 'Pennstripe'	Pennstripe Pennisetum	0.45 x 0.45	150mm	5/m ²	
Phi xan	<i>Philodendron xanadu</i>	Xanadu	0.7 x 0.7	300mm	4/m ²	
Ros lre	<i>Rosmarinus officinalis</i> 'Irene'	Prostrate Rosemary	0.3 x 1.5	200mm	5/m ² or 2/LM	
San cha	<i>Santolina chamaecyparissus</i>	Cotton Lavender	0.6 x 0.6	200mm	5/m ²	
San tri	<i>Sansevieria trifasciata</i>	Mother-In-Law's Tongue	0.6 x 0.5	150mm	5/m ²	
Sca aem	<i>Scaevola aemula</i> 'Aussie Crawl'	Aussie Crawl Fan Flower	0.5 x 1.0	140mm	5/m ²	
Sen ser	<i>Senecio serpens</i>	Blue Chalksticks	0.3 x 0.6	200mm	5/m ²	
Tra Tri	<i>Trachloespermum jasminoides</i> 'Tricolour'	Star Jasmine	0.3 x 1.5	200mm	5/m ² or 2/LM	
Vio hed	<i>Viola hederacea</i>	Native Violet	0.2 x 1.0	150mm	9/m ²	
Wes Mun	<i>Westringia fruticosa</i> 'Mundi'	Coastal Rosemary	0.3 x 1.0	200mm	5/m ²	

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C	Issue for Development Application	BS	RS	23.04.2024
B	Issue for Review	BS	RS	02.04.2024
A	Issue for Approval	BS	RS	14.03.2024
Issue	Revision Description	Drawn	Check	Date

Client
TQM DM

Project
Mixed-Use Development
131 Crown Street, Wollongong

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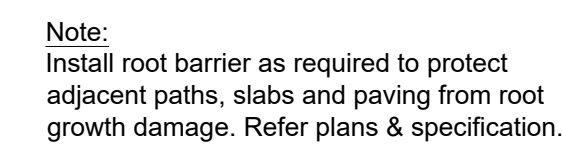


DEVELOPMENT APPLICATION

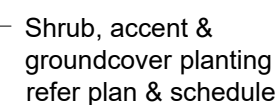
Drawing Name
Indicative Plant Schedule

Scale: n/a
Job Number: SS24-5299
Drawing Number: 501
Issue: C

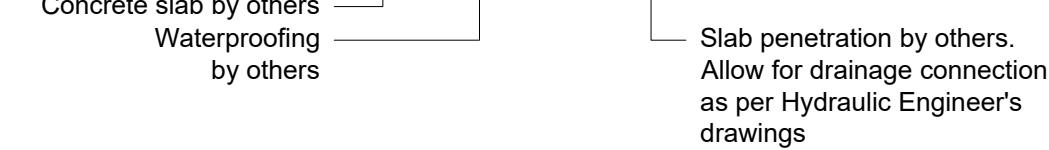
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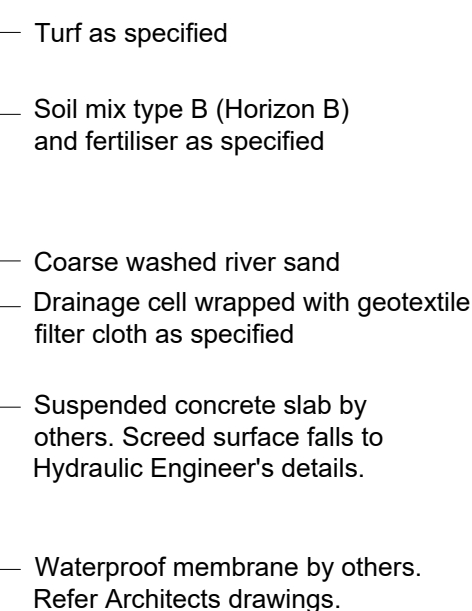
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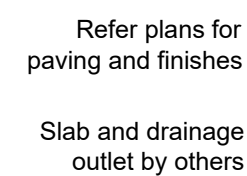
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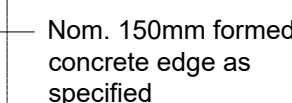
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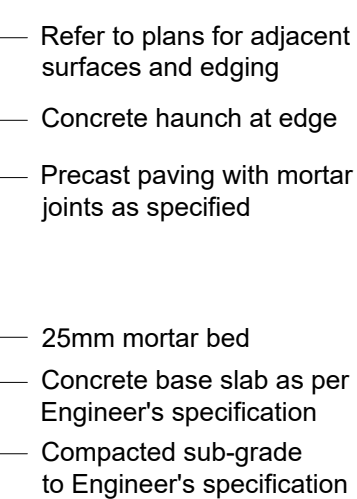
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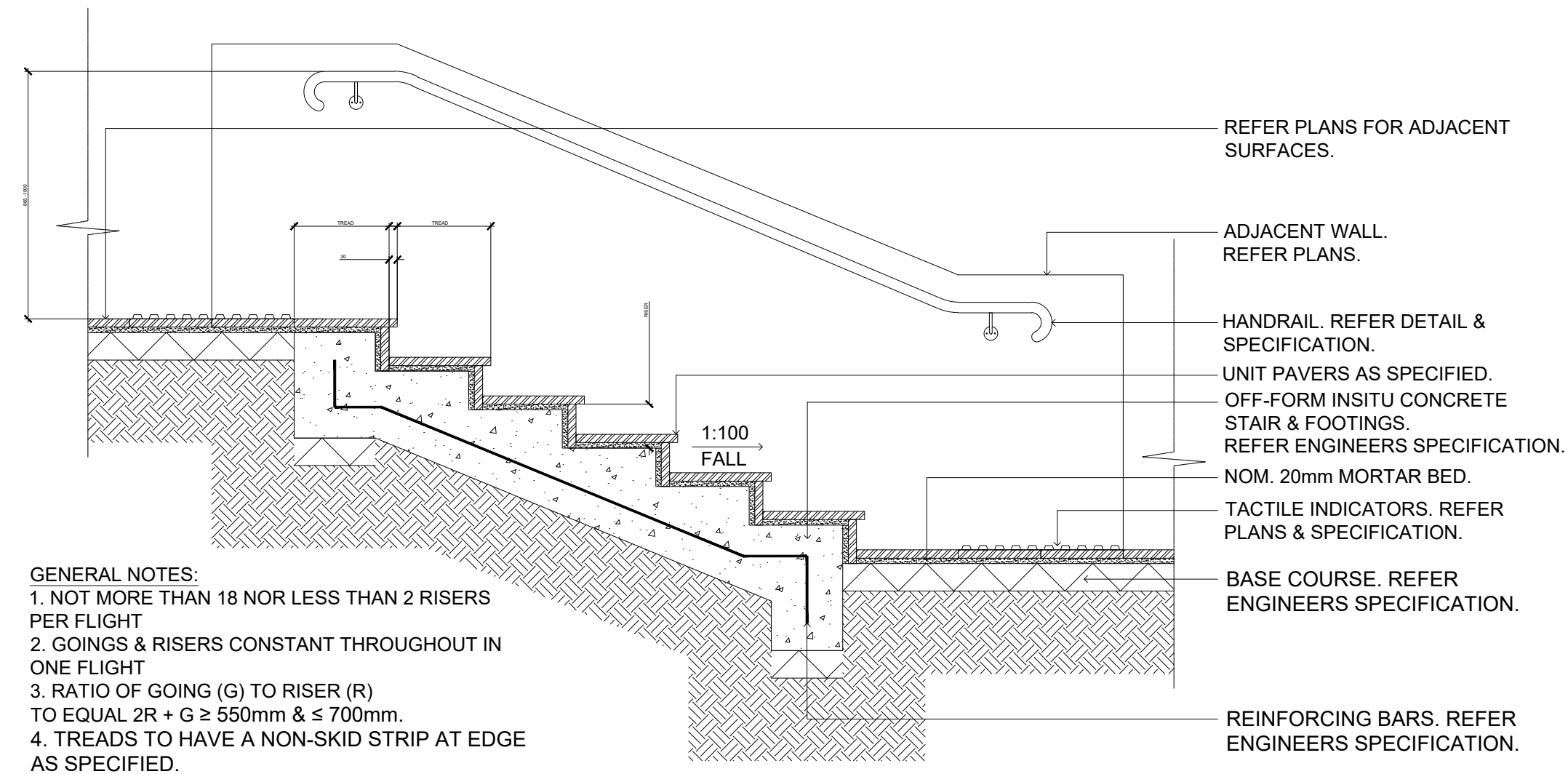
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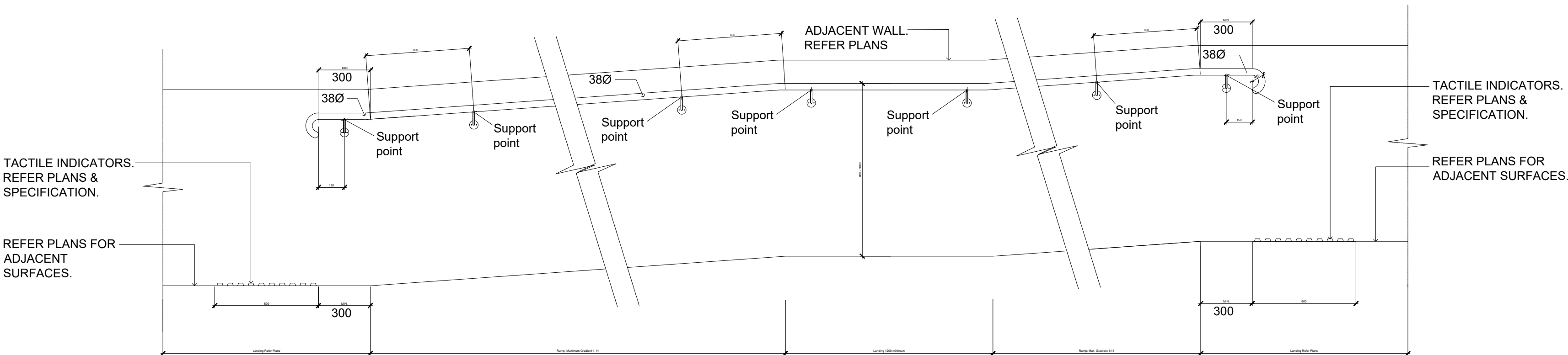
501 1:10



501 1:16



01 Typical Unit Paver Stairs
502 1:20



02 Wall Mounted Handrail - Ramp
502 1:20

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DEVELOPMENT APPLICATION

Drawing Name
Landscape Details - 02

Scale: as shown @ A1
Job Number Drawing Number Issue
SS24-5299 503 B

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