

**SCOPING REPORT  
FOR  
GRUNDY WASTE SOLUTIONS**

**Prepared for:** Department of Planning and Environment  
NSW EPA  
Penrith City Council

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*Engineering a Sustainable Future for Our Environment*

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Appendix A : Summary of Scoping Report

## **Attachments**

Attachment 1: Site Plans  
Attachment 2: Environment Protection Licence  
Attachment 3: Historical Development Application  
Attachment 4: ECOSYST Brochure  
Attachment 5: Concept Plans





## 1. INTRODUCTION

The purpose of this document is to provide information to assist Regulatory Authorities with the scope of the studies required for an Environmental Impact Statement (EIS), to by outlining details of the proposed development and identifying potential environmental impacts. The proposed development is a resource recovery facility to process an estimated 60,000 tonnes per year of C&I and C&D waste, together with approximately 100,000 tonnes per year of wastewater – waste oils separation, grease trap waste, sewerage/septic wastewater/sludge, stormwater cleanout waste, residual wastewater from industrial waste, surfactants and liquid destruction, and approximately 10,000 tonnes per year of medical (clinical) waste. This is a total of 170,000 tonnes per annum of waste material processing.

The proposed development would be located on a parcel of land containing 3 lots:

- Lot 45 DP 1185482, 72 Links Road,
- Lot 603 DP706751, 7 Dunheved Circuit,
- Lot 605 DP 706751, 68 Links Road

Within St Marys NSW 2760.

This is also the location of the existing facility. The existing facility is operated undertaking waste transport business (EPL 7406) and the site specifically is used as transport company and deliver bins. The company's core function involves collecting waste from various sources and transporting it either to other waste facilities or landfills. Consequently, no waste is received or processed at the site itself.

The subject site is situated in E4 and surrounded by industrial facilities. The facility would be installed within several purpose-built factory industrial building on land within the established industrial area of St Mary's.

The objectives of this development are as follows:

- Increase the resource recovery capability of the Proposal site to assist in meeting state government resource recovery targets and to provide recycled materials back into the manufacturing sector along with other industries;
- Improve the efficiency and operational capacity of the RRF through the timely and efficient handling, processing and recovery of waste;
- Provide necessary waste management infrastructure to meet Sydney's future waste management requirements;
- To continue to grow and improve the recovery and recycling efforts in the Penrith City Council areas;
- Provide a long-term sustainable recycling service and facility
- Assist the NSW Government to meet its future targets to divert waste from landfill
- Increased employment opportunities for local residents.
- Service the local community with solid waste recycling activities;
- Enable the ongoing economic sustainability of the resource recovery and recycling industry in NSW.



## 1.1 PROPONENT DETAIL SUMMARY

The following table summarises the details of the proponent:

Table 1-1: Proponent Detail Summary

|                                   |  |
|-----------------------------------|--|
| <b>Proponent</b>                  | Grundy's Waste Solutions   |
| <b>ABN Number</b>                 | 86 072 333 503   |
| <b>Lot and DP Numbers</b>         | <ul style="list-style-type: none"> <li>• Lot 45 DP 1185482;</li> <li>• Lot 603 DP706751;</li> <li>• Lot 605 DP 706751</li> </ul> |
| <b>Site Address</b>               | 72 Links Road, St Marys, NSW 2760  |
| <b>Approximate Site Area (ha)</b> | 1.8 ha   |
| <b>Local Government Area</b>      | Penrith City Council   |
| <b>Current Land Zoning</b>        | E4 (IN1) – General Industrial  |
| <b>Latitude;</b>                  | -33.737839   |
| <b>Longitude</b>                  | 150.766039   |

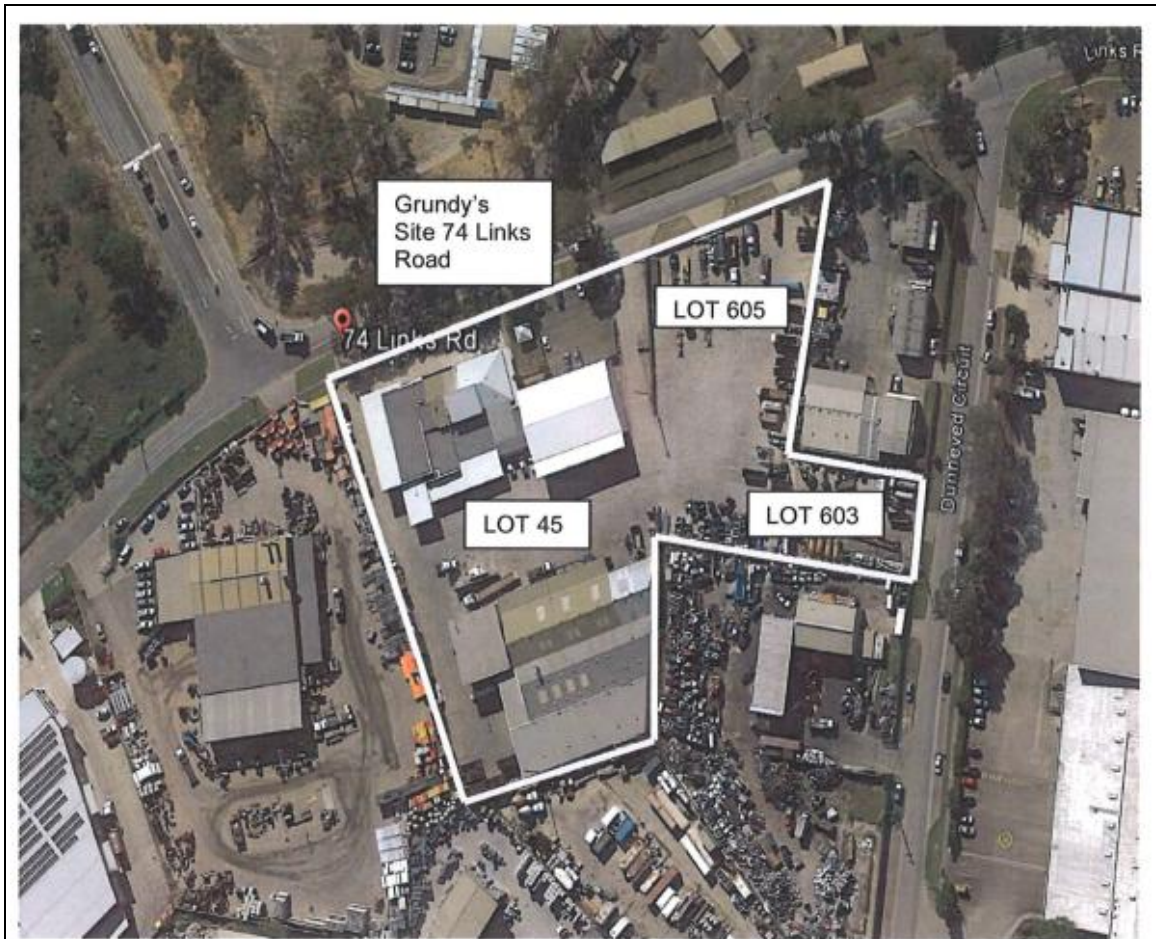
## 1.2 SITE LOCATION

The proposed development would be located at 72 Links Road, St Marys, 2760 and legally known as Lot 45 DP 1185482, Lot 603 DP706751 and Lot 605 DP 706751. The site is located within an industrial area, which is surrounded by other industrial buildings to the west, east and south, a large expanse of flora, fauna to the north-west and north.

The site has an area of approximately 1.8 ha and is accessed from Links Road. The site is situated in E4 – General Industrial land use zoning under the Penrith Local Environmental Plan 2010.

The site location in local context is shown in Figure 1-1 and in regional context is shown in Figure 1-2.

Figure 1-1: Site Location in Local Context



Source:

|   |   |  |
|---|---|--|
|  | <p>LEGEND:</p> <p> Site border</p> |  <p>Benbow Environmental<br/>25-27 Sherwood Street,<br/>Northmead NSW 2152</p> |
|---|---|--|



Figure 1-2: Site Location in Regional Context

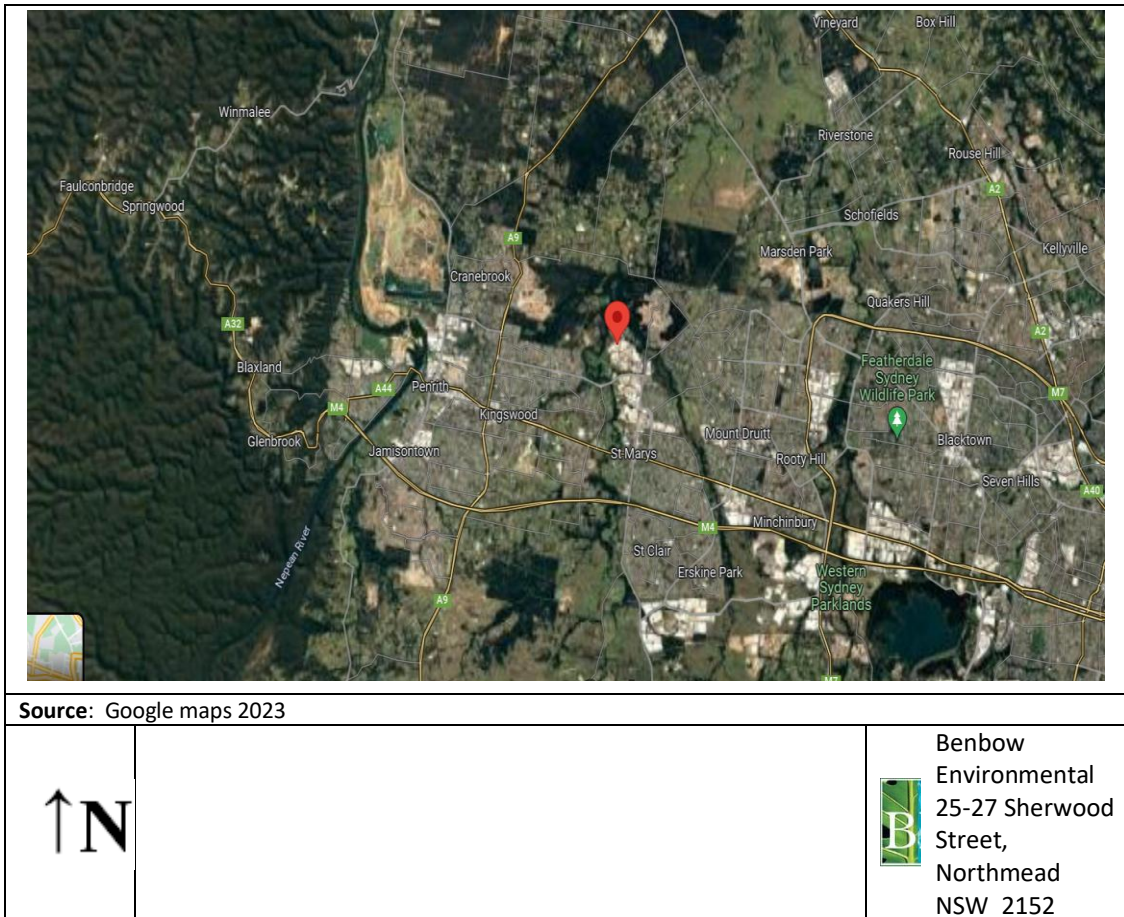
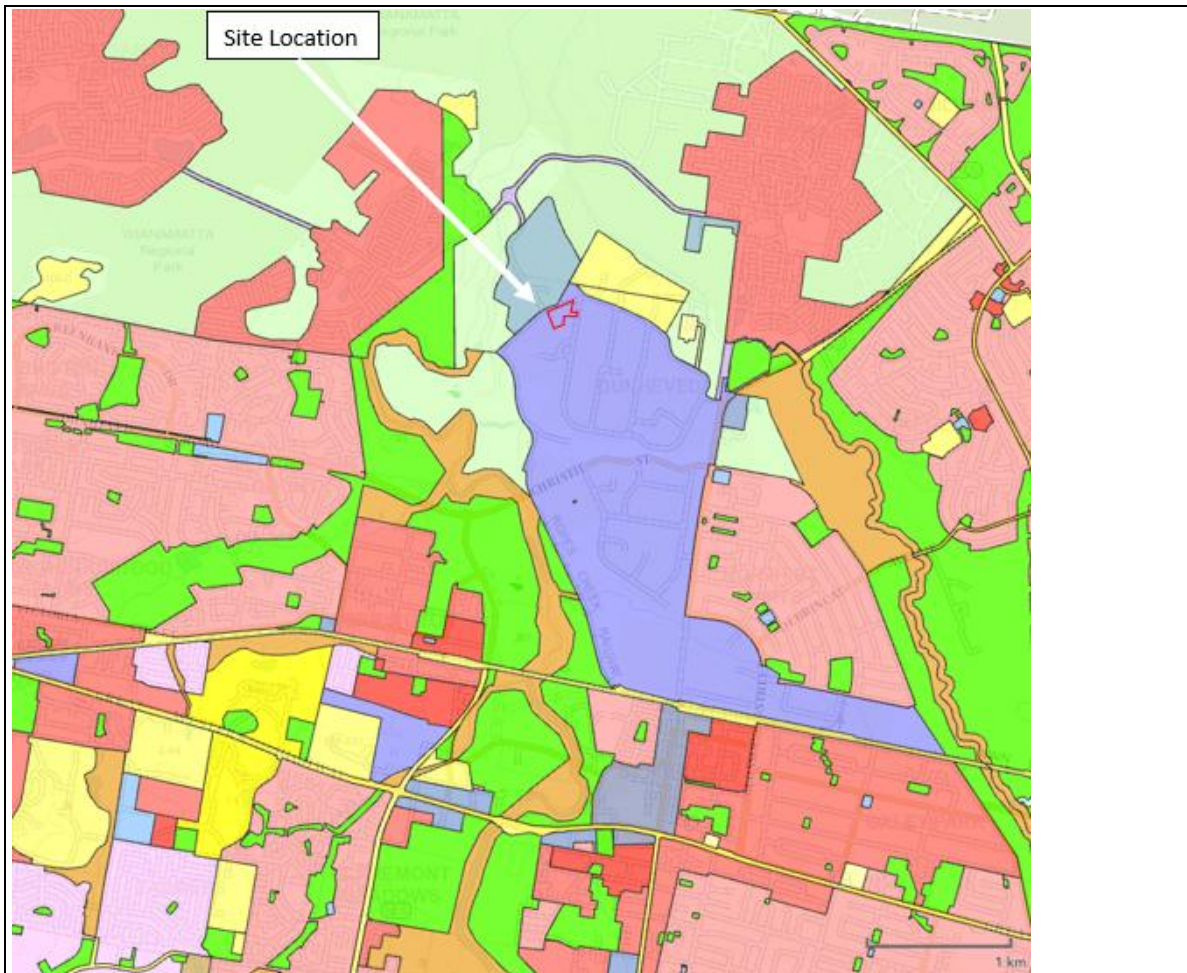


Figure 1-3: Land Zoning Map



Source: NSW Government ePlanning Spatial Viewer

|                             |  |   |
|-----------------------------|--|---|
| <p>↑ N<br/>Not to scale</p> | <p><b>LEGEND:</b></p> <p><span style="border: 1px solid red; display: inline-block; width: 15px; height: 10px; margin-right: 5px;"></span> Site boundary (approx.)</p> <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> B1 Neighbourhood Centre</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> B2 Local Centre</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> B3 Commercial Core</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> B4 Mixed Use</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> B5 Business Development</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> B6 Enterprise Corridor</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> B7 Business Park</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> B8 Metropolitan Centre</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> E1 National Parks and Nature Reserves</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> E2 Environmental Conservation</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> E3 Environmental Management</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> E4 Environmental Living</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> IN1 General Industrial</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> IN2 Light Industrial</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> IN3 Heavy Industrial</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> IN4 Working Waterfront</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> RT1 General Residential</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> R2 Low Density Residential</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> R3 Medium Density Residential</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> R4 High Density Residential</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> R5 Large Lot Residential</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> RE1 Public Recreation</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> RE2 Private Recreation</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> RU1 Primary Production</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> RU2 Rural Landscape</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> RU3 Forestry</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> RU4 Primary Production Small Lots</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> RU5 Village</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> RU6 Transition</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> SP1 Special Activities</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> SP2 Infrastructure</li> <li><span style="display: inline-block; width: 10px; height: 10px; background-color: #d9ead3; border: 1px solid #ccc; margin-right: 5px;"></span> SP3 Tourist</li> </ul> | <p>Benbow Environmental<br/>                 25-27 Sherwood Street,<br/>                 Northmead NSW 2152</p> |
|-----------------------------|--|---|



### **1.3 HISTORY OF THE PROPONENT**

Grundy's Waste Solutions has been in operation at the St Marys site since 1996. Grundy's is a family-owned and run waste management company specializing in transport and off-site disposal services. The family has been in the transport industry for nearly 70 years from the first business which commenced operations in 1957, trading as Grundy's Industrial and Trade Waste.

A new waste collection business was started in 1976 in Bendigo, Victoria. In 1978, the new technology of front lift bodies fitted to trucks were incorporated into the business. The business expanded, and included front lift, rear lift, bulk and liquid services to local government and commercial clients. As it continued expanding, Grundy's Industrial and Trade Waste was sold to Cleanaway in 1986. This business continued operating and moved to Sydney in 1988.

In 1996, a new business, Grundy's Waste Solution was started in Mulgoa. This business expanded and had to relocate to St Marys in 1998. At this point, this business offered front lift, rear lift and liquid services. Grundy's Waste has maintained an excellent reputation within the industry and local community during this time. Grundy's operates through contracts with a large number of existing customers. It desires to add benefits to its customers by resource recovery and recycling rather than its current operations of collection, transport and offsite disposal.

Attachment 3 contains all Development Approvals (DAs) granted during the period from 1986 to 1991. These are mainly to do with building approvals rather than uses. The transport activities are an existing use of the site and its facilities.

### **1.4 EXISTING OPERATION**

Grundy's Waste provides total waste transport solutions to both small and large businesses throughout the Sydney region. Grundy's collects more than 30,000 tonnes per annum of commercial and industrial waste which is taken to various waste recycling facilities for further processing. It should be noted that there is no waste processing on the existing site and all waste collected from contractors is directly delivered to either other waste facilities or landfill. The waste transport company operates under EPL 7406 provided in Attachment 2.

The existing site operates as a hub for trucks and empty bins. At the core of its operations are waste collection and transportation, where a fleet of specialized trucks efficiently gathers waste from various sources, including commercial establishments, and industrial sites.

The existing Grundy's site operations are:

- Truck parking
- Empty bins storage
- Truck maintenance workshop
- Head office for administration and sales
- Truck wash bay
- Manufacturing and maintenance of bins and skips



Collection vehicles on site comprise of:

- Rear lift units- suited for commercial and industrial low volumes of waste;
- Front lift units- Suited for light to medium density waste for generators of small to medium volumes of waste;
- Hook lift bins- suited for dense bulky non-compactable waste (timber, steel, crates, etc.)
- Liquid waste- suited for following liquid waste: grease traps waste, industrial liquid, sludge, oily water etc.
- On-site storage pressure vessels for muddy water, drill slurry, concrete slurry etc.

The existing facility is operated undertaking transport operations and activities associated with trucks. In general, the site consists of carparks and offices which is used mainly for administration purposes and sales. Any truck maintenance is conducted in the workshop and truck repair area which is located at the southern side of the site. The workshop also maintains an inventory of spare parts and consumables required for maintenance and repairs. A big area at the east of this site is designated for truck parking and storage bins. After completing waste collection and delivery tasks, the trucks proceed to a dedicated area adjacent to the workshop for washing and cleaning. This designated washing area ensures that the trucks are properly maintained and presentable for their next operations. An existing site plan is shown in Figure 1-4.

Grundy's pride themselves in the professional appearance of their transport fleet and waste collection vehicles.

Certain buildings on the site will be demolished (can be seen in orange in Figure 1-4) and several purpose-built industrial buildings will be constructed (can be seen in blue in Figure 1-5). These can be seen in existing and preliminary proposed site plan figures. The building on the southwest will house the proposed C&I and C&D waste processing and the eastern building will house the proposed medical waste and liquid waste facility. A preliminary proposed site plan is shown in Figure 1-5.

The preliminary proposed site plans with existing site plan are attached as Attachment 1.



Figure 1-4: Existing Site Plan

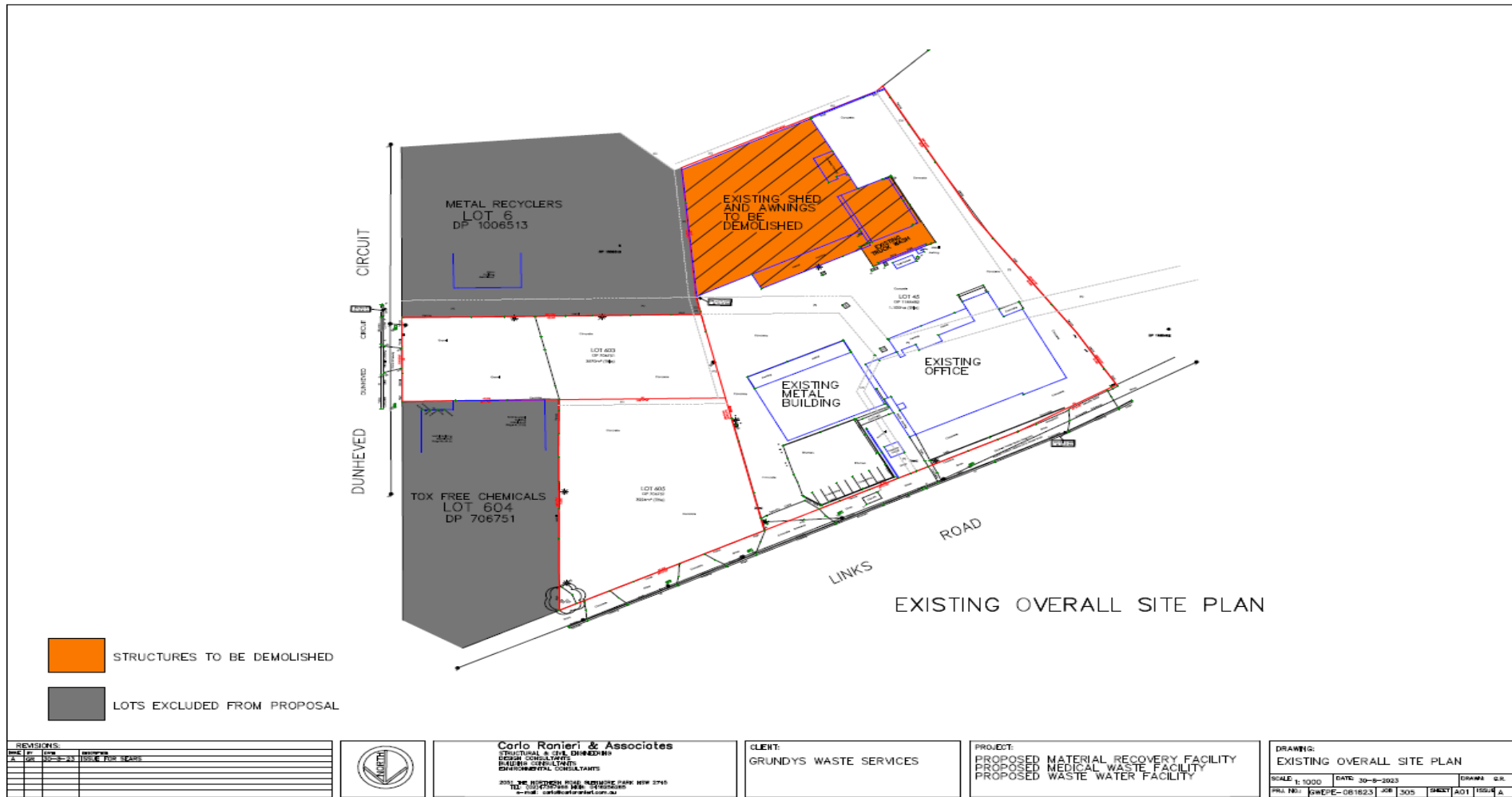
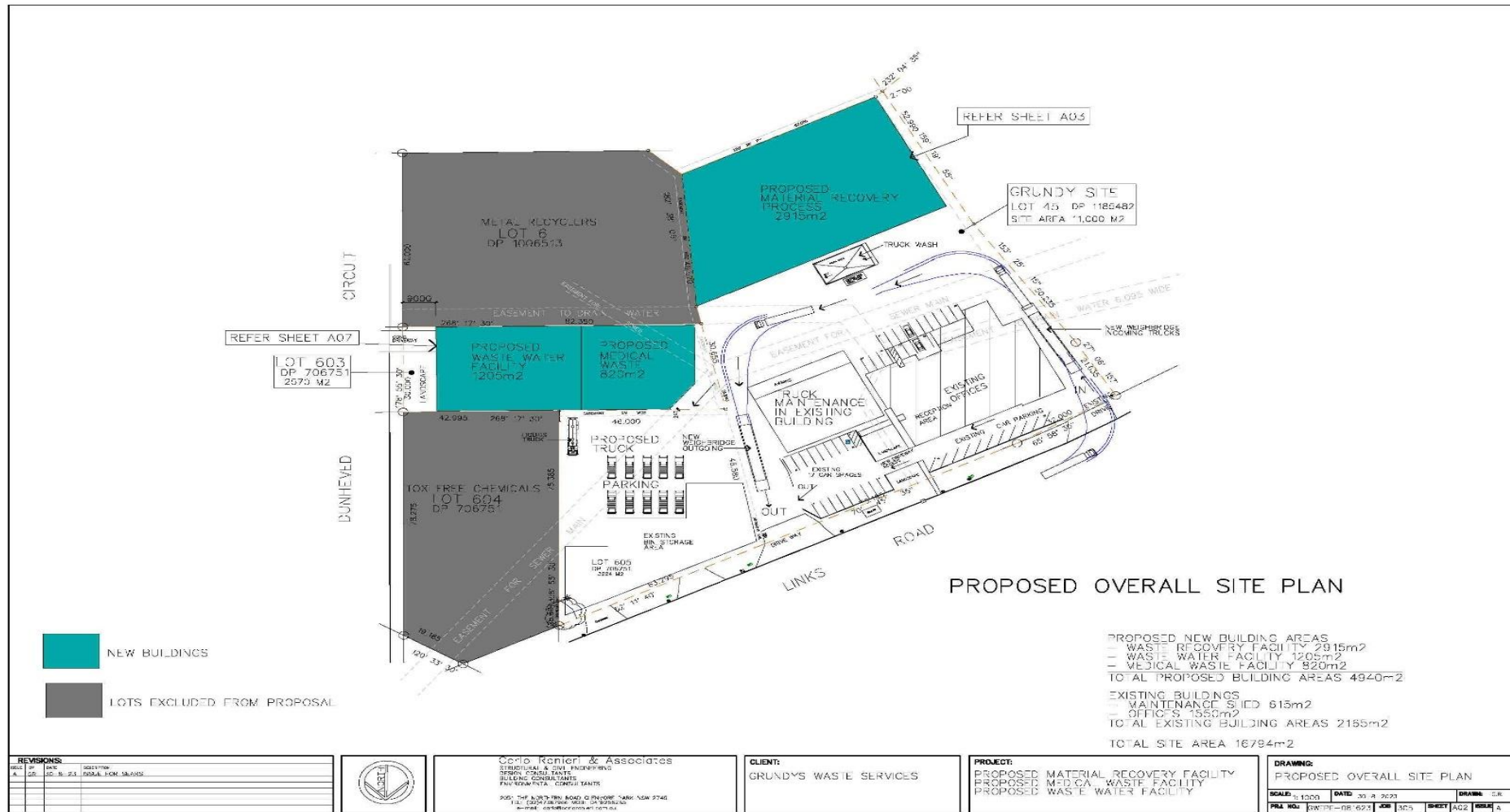




Figure 1-5: Preliminary Proposed Site Plan





## 1.5 NEAREST SENSITIVE RECEPTORS

Table 1-1 lists the location of representative potentially affected receivers that are considered in this report. The locations are shown in Figure.

Table 1-2: Nearest Sensitive Receptors

| Receptor ID | Address                           | Lot & DP          | Approx. Distance from Proposed Development | Direction from Site | Type of Receptor |
|-------------|-----------------------------------|-------------------|--|---------------------|------------------|
| I1          | 75-103 LINKS ROAD ST MARYS        | 1/<br>DP1132380   | 90 m                                       | N                   | Industrial       |
| I2          | 73 LINKS ROAD ST MARYS            | 100/<br>DP1202567 | 91 m                                       | N                   | Industrial       |
| I3          | 33-71 LINKS ROAD ST MARYS         | 101/<br>DP1202567 | 220 m                                      | NE                  | Industrial       |
| I4          | 8-24 DUNHEVED CIRCUIT ST MARYS    | 1/<br>DP1096144   | 156 m                                      | E                   | Industrial       |
| I5          | 54-60 LINKS ROAD ST MARYS         | Null/<br>SP78582  | 189 m                                      | E                   | Industrial       |
| I6          | 2 DUNHEVED CIRCUIT ST MARYS       | 11/<br>DP1090461  | 120 m                                      | E                   | Industrial       |
| I7          | 50-52 LINKS ROAD ST MARYS         | 14/<br>DP1090461  | 280 m                                      | E                   | Industrial       |
| I8          | 9 CHARLES STREET ST MARYS         | 19/<br>DP1090461  | 286 m                                      | SE                  | Industrial       |
| I9          | 11 CHARLES STREET ST MARYS        | 20/<br>DP1090461  | 288 m                                      | SE                  | Industrial       |
| I10         | 15-17 CHARLES STREET ST MARYS     | Null/<br>SP100679 | 328 m                                      | SE                  | Industrial       |
| I11         | 26-30 DUNHEVED CIRCUIT ST MARYS   | 4/<br>DP1090461   | 263 m                                      | S                   | Industrial       |
| I12         | 9-11 DUNHEVED CIRCUIT ST MARYS    | 6/<br>DP1006513   | 61 m                                       | S                   | Industrial       |
| I13         | 66 LINKS ROAD ST MARYS            | 604/<br>DP706751  | 71 m                                       | NE                  | Industrial       |
| I14         | 15 DUNHEVED CIRCUIT ST MARYS      | 81/<br>DP632592   | 92 m                                       | S                   | Industrial       |
| I15         | 21 DUNHEVED CIRCUIT ST MARYS      | 9/<br>DP31908     | 148 m                                      | SW                  | Industrial       |
| I16         | 25 DUNHEVED CIRCUIT ST MARYS      | 143/<br>DP1013185 | 187 m                                      | SW                  | Industrial       |
| I17         | 92-96 LINKS ROAD ST MARYS         | 5/<br>DP1292653   | 194m                                       | W                   | Industrial       |
| I18         | 84 LINKS ROAD ST MARYS            | 44/<br>DP1185482  | 100 m                                      | W                   | Industrial       |
| R19         | WIANAMATTA PARKWAY JORDAN SPRINGS | 6/<br>DP1248480   | 435 m                                      | NW                  | Residential      |

Figure 1-6: Location of nearest sensitive receptors





## 2. STRATEGIC CONTEXT

### 2.1 PROJECT JUSTIFICATION

The proposed resource recovery facility is justified by several factors, of which will be covered within this subsection.

The Proposal aims to enhance the resource recovery capacity at the site, aligning with state government targets and contributing recycled materials to the manufacturing sector. It focuses on optimizing the efficiency and operational capabilities of the Resource Recovery Facility (RRF) for timely waste handling and recovery. The initiative also addresses Sydney's future waste management needs, fostering growth in recovery and recycling efforts within the Penrith City Council areas.

With a commitment to long-term sustainability, the Proposal supports the NSW Government in achieving landfill diversion targets, creates local employment opportunities, services the community through solid waste recycling activities, and contributes to the economic sustainability of the resource recovery and recycling industry in NSW.

In Australia, the construction and demolition sector has experienced significant growth in recent decades, resulting in the substantial generation of waste. Among the various available strategies, the establishment of end markets for construction and demolition (C&D) waste materials is considered a sustainable approach for addressing challenges related to their handling and disposal. Commercial and Industrial (C&I) waste remains a major challenge with recycling rates in the sector remaining relatively low.

The *Waste Avoidance and Resource Recovery Act 2001* (WARR Act) promotes waste avoidance and resource recovery to achieve a continual reduction in waste generation. Among other miscellaneous provisions, the WARR Act sets out provisions for waste strategies and programs, and industry actions for waste reduction.

Resource recovery and waste management would be actively practised as part of Grundy's Waste Solutions' commitment to the principles of Ecologically Sustainable Development and the *Waste Avoidance and Resource Recovery Act 2001* (WARR Act). With the proposed development being a resource recovery facility, resource recovery practices implemented at the site would also be in accordance with the primary goal of the *NSW Waste Avoidance and Resource Recovery Strategy 2041 – Stage 1: 2021-2027*, which is to “create a circular economy by designing out materials that end up in landfill or as litter, reusing or repairing products before they are thrown out, and recycling material so it can be used multiple times in manufacturing or building.”



## **2.2 REGIONAL OR LOCAL LAND USE PLANNING CONTEXT**

### **2.3 KEY FEATURES**

#### **2.3.1 Local and Regional Community**

The site is situated in E4 – General Industrial land use zoning under the Penrith Local Environmental Plan 2010, which is surrounded by other industrial buildings to the west, east and south, a large expanse of flora, fauna to the north-west and north.

The zoning of the land reflects the intended uses and development objectives of the areas i.e. promotion of industrial activities in E4 zones and environmental conservation in C2 zones. These zones are used to manage and regulate land use and development in a way that is consistent with the overall planning goals of the local government area.

#### **2.3.2 Natural or Built Features**

A key feature of the Proposal is a state-of-the-art resource recovery facility with the capacity to receive and process up to 170,000 tonnes of different wastes per annum and divert the majority of this material away from landfill.

There are very few such facilities of this type and scale in NSW at present.

The site consists of three steel framed metal buildings with concrete block or corrugated metal walls and roofs. The buildings are positioned at the boundaries with large flat hardstand area between these and to the east. An area used for storage of skip bins, shipping containers and some heavy vehicles (lot 603) is partially unsealed with an earthen surface.

There are various waterways close to the site, with none on site. They are all within 600 m of the site and are connected to the north of the site. The closest one to the site is first tributary of South Creek and located in western side of the site.

#### **2.3.3 Key Hazards**

The key hazards associated with the proposed development are as follows:

- improper waste management;
- noise from equipment;
- release of odour from the wastewater treatment plant;
- fire within the warehouse;
- chemical spills and;
- transport-related hazards.

These hazards will be addressed in this EIS through various assessments conducted by BE, such as the Waste Management Plan (WMP), Noise Impact Assessment (NIA) and Air Quality Impact Assessment (AQIA) reports. Other potential hazards to be addressed in the EIS include potential contamination and potential impacts on biodiversity. The EIS will also evaluate the environmental management safeguards to ensure they are sufficient to mitigate any potential environmental harms.



## **2.4 CUMULATIVE IMPACTS**

Cumulative impacts stemming from the proposed development from Grundy's Waste have been assessed against the Department's *Cumulative Impact Assessment Guidelines for State Significant Projects*.

The proposed development will deliver significant benefits to the surrounding community and is not expected to give rise to any unacceptable environmental impacts that cannot be appropriately managed.

Cumulative impacts of the proposed development would be assessed in the EIS. Cumulative impacts are included in several assessment methodologies such as air quality, noise, Soil and water and any environmental/social or economic areas of concern. The cumulative impact assessment would determine whether the project is likely to cause significant or unacceptable change to an environmental, social or economic aspect in combination with impacts from other sources in the area.

## **2.5 AGREEMENTS**

Grundy's Waste has not entered into any agreements with other parties, such as voluntary planning agreements, negotiated agreements with landowners, or benefit-sharing schemes to mitigate or offset the impacts of the project.



### **3. PROJECT DESCRIPTION**

#### **3.1 PROJECT AREA**

The site occupies an area of approximately 1.8 ha which can be accessed from Links Road. It is located in industrial area. Adjacent receptors are industrial, residential and environmental.

#### **3.2 SITE DESCRIPTION**

The Site is situated within an industrial area of North St Marys. The site consists of three steel framed metal buildings with concrete block or corrugated metal walls and roofs. The buildings are positioned at the boundaries with large flat hardstand area between these and to the east. An area used for storage of skip bins, shipping containers and some heavy vehicles (lot 603) is partially unsealed with an earthen surface.

The site is relatively flat with its elevation approx. 21.4 m – 22.0 m across the site (AHD). Entry and exit are from Links Road. Two driveways allow heavy vehicles to enter via the northern driveway and to exit from the south. The reception is reached from the northern driveway with a parking area immediately to the right of the driveway entry. The site's reception and administration building fronts Links Road. The front of site is secured by a wire fence. Other boundaries are marked by buildings to set to the boundary and a Colorbond™ fence.

There is sewage and stormwater easements bearing approx. east to west, located approx. in the middle of the site. Land uses currently surrounding the Site includes:

- North: Commercial premises (State Asphalt NSW Pty Ltd)
- East: Commercial premises (Cleanaway and Super Metal Recycling).
- South: Commercial premises (reDirect Recycling and Generators Australia)
- West: Commercial premises (Access Hire and Access Services Group).

#### **3.3 MAIN ACTIVITIES**

The Proposal involves two key integrated components, being:

- Construction and operation of a resource recovery facility on the subject site (Lots:45 DP 1185482, 603 DP706751 and 605 DP 706751), including consolidation of existing waste transport activities within the site:
- Processing different streams of waste within a facility in western Sydney area

#### **3.4 WASTE PROCESS DESCRIPTION**

As there are different waste streams, these have been broken up into separate lists.

##### **3.4.1 C&I and C&D waste**

The proposed waste facility proposes to receive C&I waste from institutions and business including waste from schools, restaurants, offices, retail and wholesale businesses and C&D waste from construction companies.



Grundy's currently operate a large number of waste collection and disposal contracts.

- Then: Trucks will bring the waste to site, going over the weighbridge and recording type and quantity. The first visual screening will occur here, to determine if any non-acceptable wastes are within the load. If some is found, the truck will be turned away.
- The acceptable loads will be brought onsite, and unloaded into the receival area, material will be checked and separated via grab excavator and pre-sorted into stockpiles.
- Trucks will go into the truck wash, then over another weighbridge and off site.
- Larger items will be removed during the pre-sort process.
- Material will be put into a feed hopper, where it will be conveyed up to the screening system.
  - ▶ Long items are removed.
  - ▶ Electrical magnet will remove steel.
  - ▶ Waste screen separates small heavy fraction from light large fractions (under and over 130 mm).
- Heavy item stream
  - ▶ C&I waste is diverted.
  - ▶ A Nihot Air Separator removes the light material, the rest of the material goes into the picking station.
  - ▶ Picking station will sort into wood, non-ferrous metals, cables and other.
  - ▶ An electrical magnet will remove ferrous metals.
  - ▶ Anything left is designated as general solid waste.
- Light item stream
  - ▶ An electrical magnet will remove ferrous metals.
  - ▶ An IFE Fines screen will remove materials under 8 mm diameter.
  - ▶ A cobra air separator will remove light material.
  - ▶ Waste then goes to a 2-man picking station where non-ferrous metals and wood are removed.
  - ▶ Flip flow 2 removes materials under 22 mm diameter.
  - ▶ Flip flow 3 removed materials under 32 mm diameter.
  - ▶ The rest of the material (between 32 – 130 mm diameter) goes into a JONO tracked crusher where this material is crushed to a size of 22 mm.
  - ▶ Sorted light materials are sent to a baler and prepared for dispatch. These bales are stacked in a storage area and then picked up by a truck, which is weighed and dispatched.
- Recyclable material will be made up of:
  - ▶ C&I: cardboard, paper, plastic, steel, aluminium and wood.
  - ▶ C&D: Cardboard, wood, gyprock (plasterboard), concrete/brick/aggregates and steel.
- Cardboard, paper and plastic will be stored in stacked bales and other types of material will be stored in bunkers in the facility. The goal is to dispatch products promptly upon completion of the processing.

A process flow diagram is shown below.



It's important to clarify that the quantity information displayed in the following diagram, which is 350 tonnes per hour, represents the designed processing capacity (efficiency of the processing system) and not the actual quantity of waste.

Figure 3-1: C&I and C&D Waste Process Flow Diagram

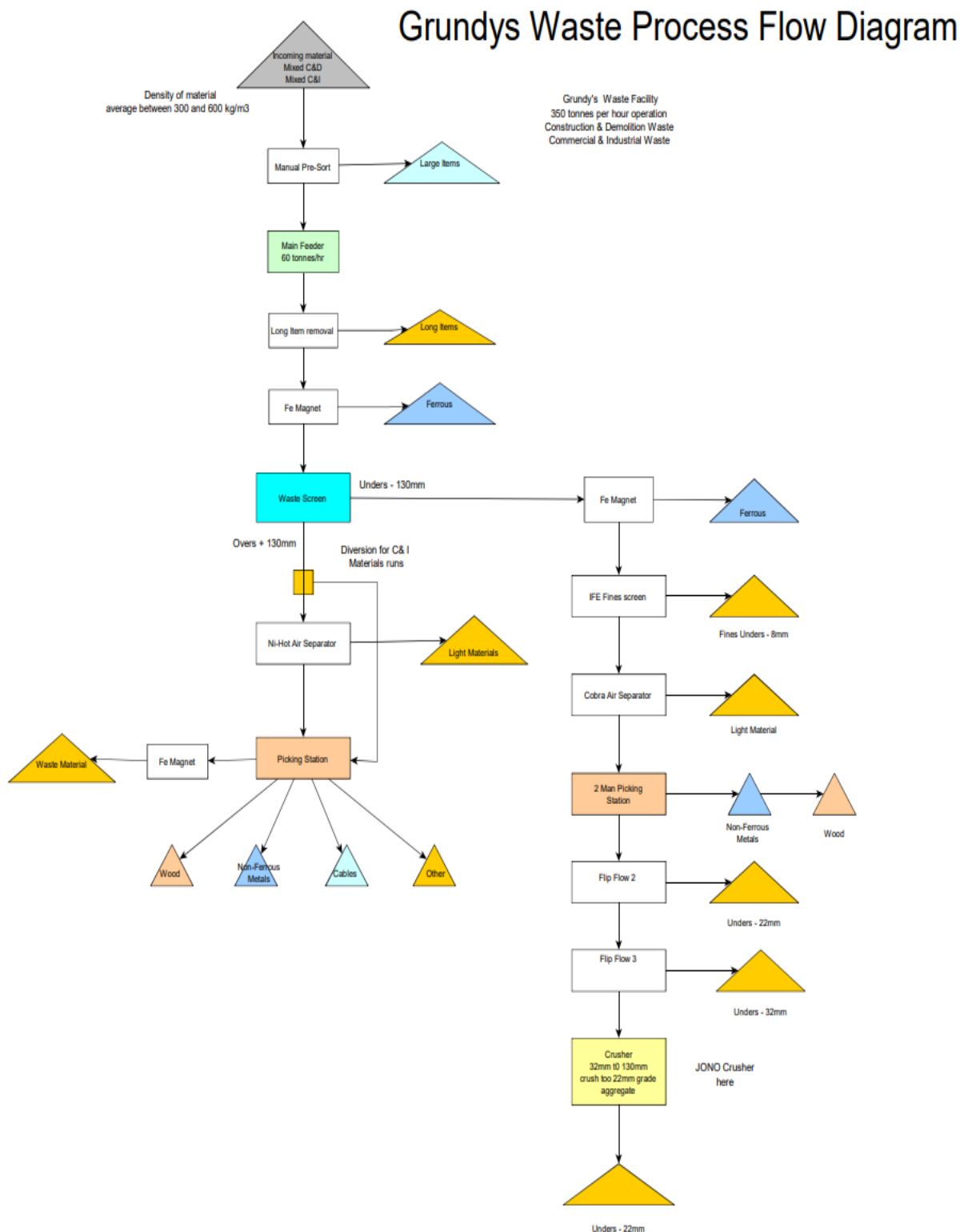
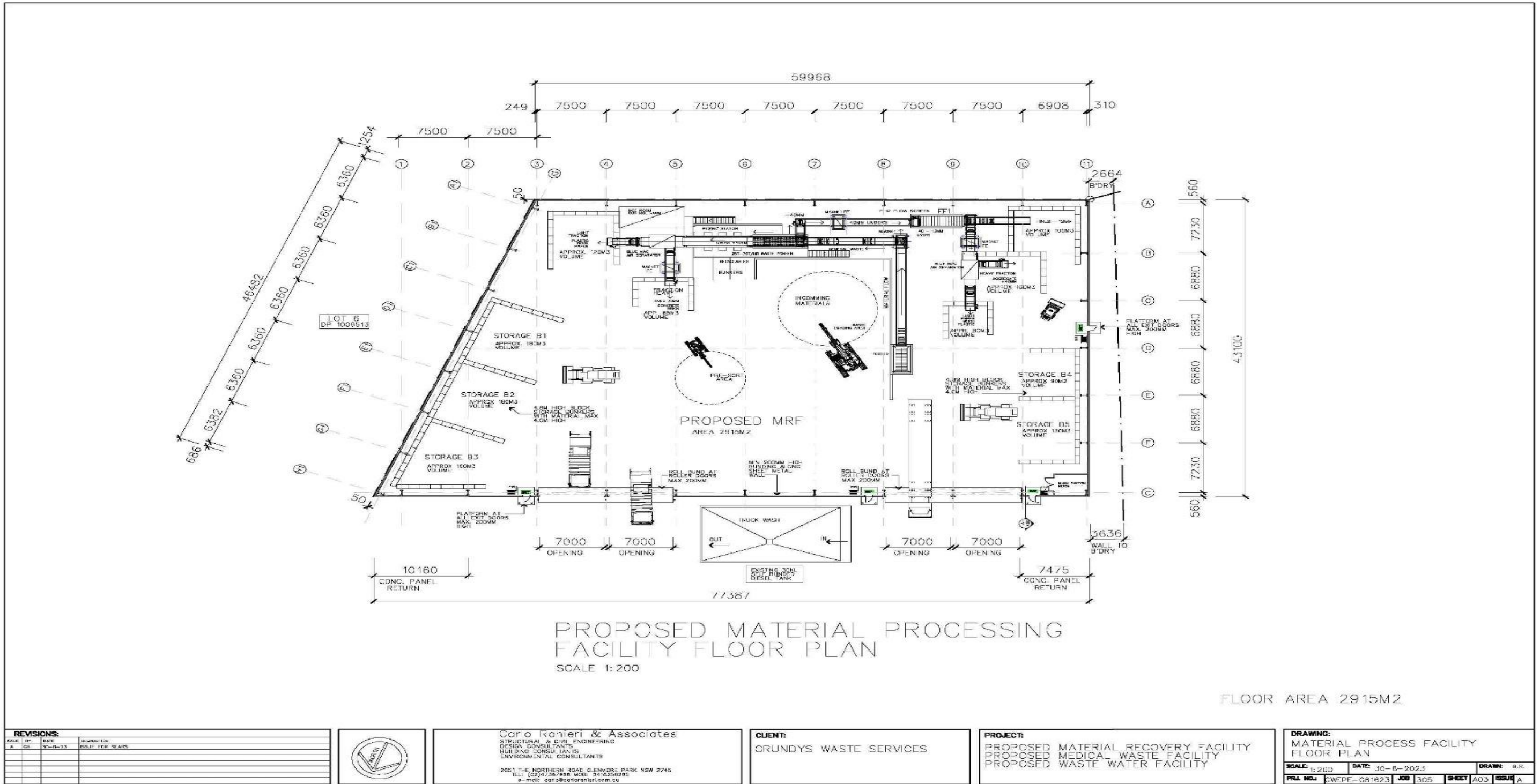




Figure 3-2: Material Process Facility Floor Plan





### 3.4.2 Liquid Waste

- Trucks will bring the waste including oily or greasy waste waters from businesses such as motor vehicle workshops, restaurants, food halls, canteens and food processing facilities, as these types of waste are not treatable by public sewage treatment plants (STPs) to site, going over the weighbridge and recording type and quantity. The initial confirmation of the waste type will occur here, to determine if any non-acceptable wastes are within the load. If some is found, the truck will be turned away.
- Liquid waste trucks will drive into the proposed liquid/medical waste building and enter a bunded loading area.
- Liquids are then pneumatically transferred to above ground vertical storage tanks based on waste type:
  - ▶ Grease trap waste/Oily water/Wastewater/Surfactants.
- Grease trap stream:
  - ▶ The grease waste will go through a primary screen to remove any solids.
  - ▶ The waste goes into a grease separator where it separated into water (for reuse offsite) and grease (for recycling offsite).
- Oily water stream:
  - ▶ All types of wastewater are put through a primary and secondary filter screen to remove solids.
  - ▶ Water is put through a dissolved air floatation system to separate into sludge (removed offsite), tradewaste (discharged to Sydney Water) and treated water (reused offsite).
- Liquid waste destruction stream:
  - ▶ Waste trucks will drive into the proposed liquid/medical waste building and enter a bunded loading area.
  - ▶ Containers are manually sorted into those suitable for shredding or not.
  - ▶ The containers suitable have their liquids removed and are shredded recycled offsite.
  - ▶ The non-suitable containers have their liquids removed and recycled offsite.
  - ▶ The liquids removed are poured into a liquid storage tank, then pumped into a treatment plant. The liquid will be reused offsite.
- Sorted materials are sent to a baler and prepared for dispatch. These bales are stacked in a storage area and then picked up by a truck, which is weighed and dispatched.
- Liquid waste destruction will destroy soft drink bottles and cans, juice bottles and alcohol.

Process flow diagrams are shown below.

Figure 3-3: Wastewater Process Flow Diagram

### Grundy's Recycling Project – DRAFT - Wastewater process flow diagram

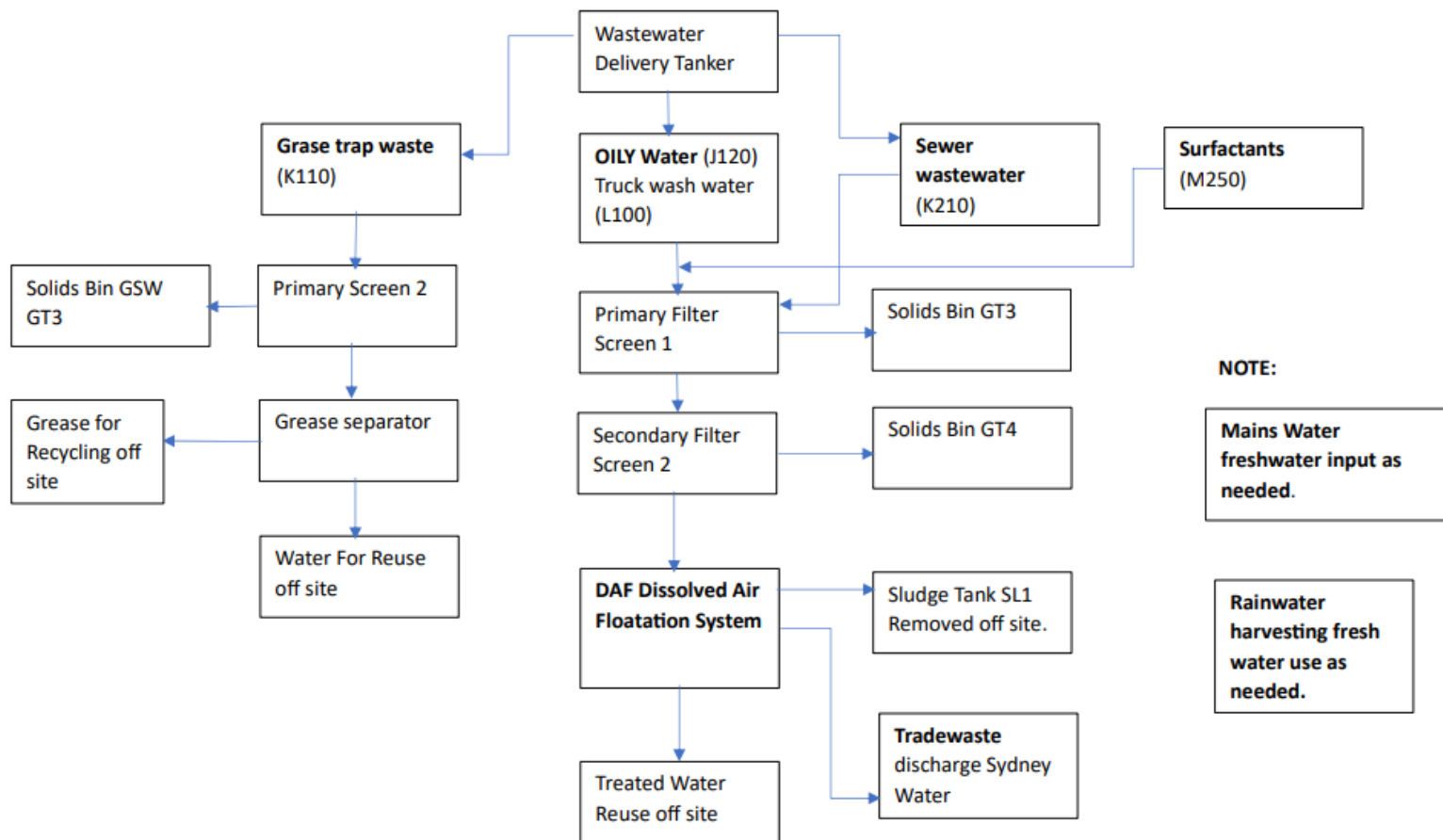
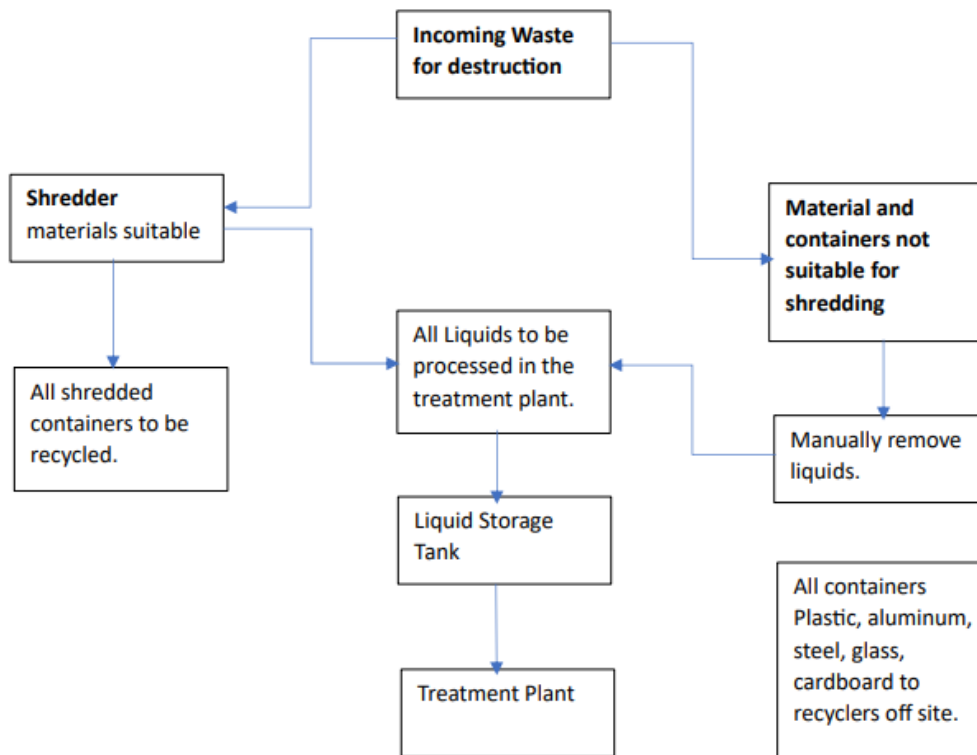


Figure 3-4: Liquid Destruction Process Flow Diagram

## Grundy's Recycling Project – DRAFT - Wastewater process flow diagram

### Product Destruction System Process Flow





### 3.4.3 Clinical waste

There are different types of clinical waste which are listed as follows:

- **Cytotoxic Waste:**  
Cytotoxic waste is made up of restricted drugs and intravenous solutions intended primarily for the treatment of cancer. **Pharmaceutical Waste:**  
Pharmaceutical waste includes drugs, remedies or medicine that have expired or are no longer required to treat a patient, and equipment and substances rejected by the manufacturer due to quality control concerns.
- **Anatomical Waste:**  
Any identifiable body part including pathological specimens, biopsy specimens and tissue taken during surgery or autopsy. Anatomical waste is a subtype of pathological waste, the difference is that anatomical waste is recognisably human.
- **Sharp Waste:**  
Sharps are treated as separate waste type because they need to be collected and disposed of separately from other waste, common sharp types are needles, syringes, lancets, scalpels, razors, ampules and broken Glass.
- **Infectious Waste:**  
Any clinical waste that poses a risk of infection to humans and animals such as: gloves, aprons, masks or visors, as well as dressings and IV tubings that have come into contact with infectious bodily fluids such as blood, saliva, phlegm, bile, urine or faeces. This also includes waste generated from the care of a patient diagnosed with any type of communicable disease.
- **Radioactive Waste:**  
Radioactive waste is any waste containing radioactive material. Besides just waste generated from nuclear medicine treatments though, other common radioactive waste generators and types include. These are includes: cancer therapies, radiotherapy liquid, medical equipment using radioactive isotopes and ect.

**Among the wastes listed above, Grundy's Waste will specifically process pharmaceutical, anatomical, sharp and infectious wastes. Grundy's Waste will not receive Cytotoxic Waste or Radioactive Waste.**

#### 3.4.3.1 Disposing of Medical Waste:

There are multiple methods of disposing of medical waste, but because the different types of medical waste are all required to be treated differently it is important to start the disposal by separating medical waste first at the source.

These methods are:

1. Incineration – Typically used for pathological & pharmaceutical waste – never plastics.
2. Autoclaving – Typically used for infectious waste, sharps and other hazardous waste.
3. Microwaving – Alternative to autoclave for infectious waste, sharps and other hazardous waste.
4. Chemical – Typically used for chemical and liquid waste (ie, Laboratory cleaning waste)
5. Biological – Experimental and rarely used, method for hazardous and infectious waste



It is important to note that the proposed process will be autoclaving and no other process. Any items necessitating different process will be directed to specialized facilities for their treatment.

The autoclaving Process will be as follow:

- Trucks will bring clinical waste which is generated by healthcare service providers such as GP surgeries, independent doctors and clinics or centres, and dental practices to site, going over the weighbridge and recording type and quantity. The first visual screening will occur here, to determine if any non-acceptable wastes are within the load. If some is found, the truck will be turned away. Clinical waste trucks with acceptable loads will drive into the proposed liquid/medical waste building and enter a bunded loading area.
- The collected clinical waste is then segregated from other types of waste. This separation is essential to prevent the contamination of regular waste with potentially hazardous clinical waste materials. Clinical waste is initially collected in specially designated bins, which are usually color-coded to distinguish them from regular waste. These bins are typically labeled to clearly indicate that they contain clinical waste. The colour-code for clinical waste in Australia is yellow.
- The clinical and related waste is weighed and lifted into the inlet bin/trolley. The inlet bin is lifted and tipped into the hopper.
- Shredding of the material occurs with a 4-axis knife, refusal is discharged below the shredder through a grid that ensures the correct size. A sodium hypochlorite solution sanitises the hopper and reduces dust emissions.
- The shredded waste is deposited into a storage compartment which feeds the transfer screw to the sterilisation chamber. The storage compartments homogenises the size of the material to be shredded and regulates new waste inserted into the hopper.
- The transfer screw transports the waste from the storage compartments to the sterilisation chamber. In regard to sterilisation, ECO-S SERIES machine will be used to treat medical waste. To sterilise, the sterilization chamber can be closed by means of a specially designed shutoff valve and the thermal cycle can start. The saturated steam produced by the steam generator is fluxed into the waste, where the waste are kept in motion by a spiral stirrer. The combination of fluxing and penetration allows the saturated steam to penetrate throughout the whole mass under treatment. Through the said system it is possible to reach, within the mass of treated waste, the maximum conditions obtainable, equal to 165°C with a pressure of 6 bar, allowing a reduction of the bacterial load such as to guarantee a S.A.L. (Sterility Assurance Level) not lower than 10<sup>-6</sup>, as evidenced by the efficiency test issued by the University of Bari. The time / temperature conditions of the automatic cycle are defined during the configuration of each individual single system according to: type of treated waste, humidity level, operating potential, etc.

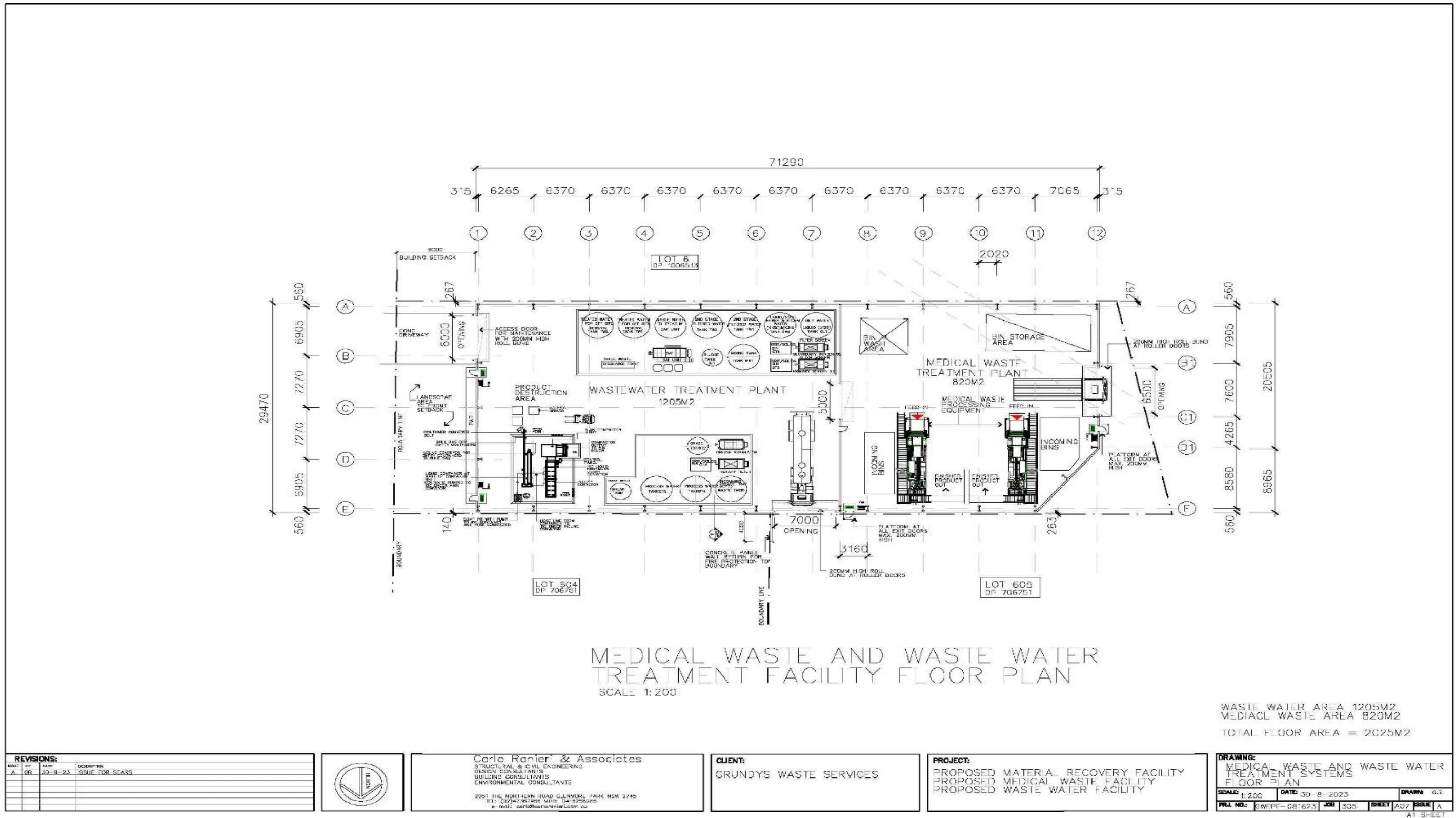
Moreover, within the sterilization chamber, a housing is provided where the bio-indicators will be introduced in the form of vials containing a strip of spores of *Geobacillus Stearothermophilus* useful to comply with the provisions of UNI 10384/94. After the sterilization phase, the chamber is returned to atmospheric pressure through a valve suitable for the steam outlet, which is recovered and condensed by means of a chiller. This allows the re-use in the following cycles. Subsequently, a depression is created allowing the evaporation of residual moisture. This evaporation also implies a cooling of the waste. More information is provided in Attachment 4. After sterilisation, the chamber is brought back to atmospheric



pressure. The steam goes through a valve and condensed using a chiller, for reuse in following cycles. Evaporation of residual moisture also occurs.

- The waste product is transferred into a final container via an auger.
- The waste is transferred mechanically from the final container onto a conveyor system.
- Waste plastic is collected (recycled offsite) and the rest of the material is collected in a container (sent to landfill).

Figure 3-5: Medical and Wastewater Treatment Plant Floor Plan



### 3.5 CAPACITY

The proposed development would process an estimated:

- 60,000 tonnes per year of C&I and C&D waste;
  - ▶ Approximately 42,000 tonnes per annum of C&I waste will be processed.
  - ▶ Approximately 18,000 tonnes per annum of C&D waste will be processed.
- 100,000 tonnes per year of wastewater:
  - ▶ 3,500 tonnes per annum waste oil/hydrocarbons mixtures/emulsions in water (J120);
  - ▶ 17,000 tonnes per annum grease trap waste (K110);
  - ▶ 35,000 tonnes per annum sewage/septic waste water and sludge(K130);
  - ▶ 5,500 tonnes per annum Stormwater cleanout waste;
  - ▶ 5,500 tonnes per annum residual waste water from industrial waste (N205);
  - ▶ 17,000 tonnes per annum surfactants (M250)
  - ▶ Up to 10,000 – 16,500 tonnes per annum liquid destruction; and
- 10,000 tonnes per year of medical (clinical) waste.

This totals 170,000 tonnes per annum of waste processed.

### 3.6 HOURS OF OPERATION

The proposed development would operate on a 24/7 basis. It would need routine maintenance as well as twice yearly, a maintenance shutdown period.

### 3.7 EMPLOYMENT

The proposal is expected to provide employment for 40 full-time employees, and also to generate employment for trucking contractors.

### 3.8 NEED FOR THE PROPOSED DEVELOPMENT

There are several factors to be considered as part of addressing the need for the proposed development. These factors are addressed below:

- **Population:**

Greater Western Sydney (GWS) is located in the western part of the Sydney metropolitan area, Australia, and is a growing region of economic opportunity, community aspiration and environmental diversity. GWS is recognised as an area of growing national importance and has one of the fastest growing populations in Australia. Its population is 2.5 million people and is projected to reach 3 million by 2036 and to absorb two thirds of the population growth in the Sydney region – making the region one of the largest growing urban populations in Australia.

In addition, the demographic profile in NSW is undergoing a significant transformation. The population is on the rise and aging, and this trend is projected to intensify in the



coming decade. This increasing elderly population exerts greater demands on healthcare facilities, residential aged care services, and community support systems, necessitating corresponding adjustments. Furthermore, the increasing preference for retirement in scenic and tranquil areas, often referred to as a 'tree' or 'sea' change, has led to regions experiencing a surge in demand from this particular demographic group. The continuously rising utilization of the NSW health system by the community places a commensurate strain on the collection and management of the growing volume of clinical waste produced by numerous health facilities throughout the state.

- **Market development:**

In Australia, the construction and demolition sector has experienced significant growth in recent decades, resulting in the substantial generation of waste. Among the various available strategies, the establishment of end markets for construction and demolition (C&D) waste materials is considered a sustainable approach for addressing challenges related to their handling and disposal. Commercial and Industrial (C&I) waste remains a major challenge with recycling rates in the sector remaining relatively low.

The NSW EPA's WARR Strategy targets a 70% recycling rate for C&I waste by 2021-22. The 2016 National Waste Report<sup>10</sup> reported that only 56% of C&I waste was recovered in 2014-15. This amounts to approximately 1.85 million tonnes currently being recovered in Sydney. By 2021-2022, approximately 3.7 million tonnes of C&I waste will be generated in Sydney. To meet the 70% target, 2.59 million tonnes must be recovered in 2021-22. There are only three small C&I MRFs in Sydney (SUEZ Camellia, Waste Free and Doyle Bros) sorting mixed commercial waste into reusable products for sale. The combined processing capacity of these facilities is approximately 100,000 tonnes per annum.

- **Avoiding Landfill**

Encouraging and establishing waste facility centres plays a crucial role in our collective effort to reduce reliance on landfills. By promoting these centres, we not only divert substantial amounts of waste away from landfills but also foster responsible waste management practices. These facilities serve as hubs where recyclables, organic materials, and other recoverable resources are sorted, processed, and reused or repurposed.

Grundy's mission is clear: to significantly reduce the amount of waste that ultimately ends up in landfills. Apart of cardboard which transfers to other waste facilities, majority of waste delivers to landfills. Moreover, the recent closure of Bingo, a neighbouring waste facility, positions Grundy as the exclusive waste management provider for a substantial portion of Western Sydney businesses. This underscores Grundy's unwavering dedication to offering sustainable waste solutions, contributing to a more environmentally friendly waste management system, and reinforcing the region's commitment to sustainability.

## **3.9 STAGE OF PROJECT**

### **3.9.1 Demolition**



Minimal demolition will be required on site and limited to the existing shed with awning which is located on south of the site. Anticipated impacts from this demolition are expected to be minimal, requiring no specific measures or efforts to mitigate the effects.

### **3.9.2 Construction**

It is estimated that 25 people will be engaged to undertake the construction of the waste facility. The project site is already partly developed for industrial purposes, however, the additional works will be required in order to facilitate the Project, including construction of the following:

- Proposed waste water facility building
- proposed medical waste facility
- Proposed material recovery facility
- Installation of additional fire hydrants on the site,
- Waste and product bays.
- Weigh bridges and associated wash bays.
- Marking traffic/pedestrian circulation and parking bays.
- Signage at the site entry and internal to the site, including directional signage.

The site is already connected to mains water, sewer, electricity and telecommunications.

### **3.10 TIMING**

The demolition and construction work is expected to span a period of 1-2 years.

## 4. STATUTORY CONTEXT

### 4.1 POWER TO GRANT CONSENT

#### 4.1.1 State Significant Development

Under Clause 2.6 (1) of the *State Environmental Planning Policy (Planning Systems) 2021*, development is State Significant Development (SSD) if it is specified in Schedule 1 (general) or Schedule 2 (identified sites). Clause 23(3), 23(5) and 23(6)(b) of Schedule 1 is relevant to the proposed activities:

#### **23 Waste and resource management facilities**

*(1) Development for the purpose of regional putrescible landfills or an extension to a regional putrescible landfill that:*

- (a) has a capacity to receive more than 75,000 tonnes per year of putrescible waste, or*
- (b) has a capacity to receive more than 650,000 tonnes per year of putrescible waste over the life of the site, or*
- (c) is located in an environmentally sensitive area of State significance.*

*(2) Development for the purpose of waste or resource transfer stations in metropolitan areas of the Sydney region that handle more than 100,000 tonnes per year of waste.*

***(3) Development for the purpose of resource recovery or recycling facilities that handle more than 100,000 tonnes per year of waste.***

*(4) Development for the purpose of waste incineration that handles more than 1,000 tonnes per year of waste.*

***(5) Development for the purpose of hazardous waste facilities that transfer, store or dispose of solid or liquid waste classified in the Australian Dangerous Goods Code or medical, cytotoxic or quarantine waste that handles more than 1,000 tonnes per year of waste.***

*(6) Development for the purpose of any other liquid waste depot that treats, stores or disposes of industrial liquid waste and:*

- (a) handles more than 10,000 tonnes per year of liquid food or grease trap waste, or*
- (b) handles more than 1,000 tonnes per year of other aqueous or non-aqueous liquid industrial waste.***

The proposed development is **state significant** as it involves the handling of more than 100,000 tonnes per year of waste, the processing and storage of more than 1,000 tonnes of medical waste and more than 1,000 tonnes per year of liquid waste.

## 4.2 ENVIRONMENTAL PLANNING AND ASSESSMENT REGULATION, 2021

Schedule 3 of the Environmental Planning and Assessment Regulation, 2021 defines designated development which requires the preparation of an EIS. Clause 45 relates to waste management facilities or works:

### **45 Waste management facilities or works**

*(1) Development for the purposes of a waste management facility or works is designated development if—*

*(a) the facility or works dispose of solid or liquid waste by landfilling, thermal treatment, storing, placing or other means, and*

*(b) the waste —*

*(i) includes a substance classified in the ADG Code or medical, cytotoxic or quarantine waste, or*

*(ii) comprises more than 100,000 tonnes of clean fill in a way that, in the consent authority's opinion, is likely to cause significant impacts on drainage or flooding, or*

***(iii) comprises more than 1,000 tonnes per year of effluent or sludge, or***

*(iv) comprises more than 200 tonnes per year of other waste material.*

*(2) Development for the purposes of a waste management facility or works is designated development if—*

*(a) the facility or works sorts, consolidates or temporarily stores waste at a transfer station or material recycling facility for transfer to another site for final disposal, permanent storage, reprocessing, recycling, use or reuse, and*

*(b) the facility or works—*

***(i) handle substances classified in the ADG Code or medical, cytotoxic or quarantine waste, or***

*(ii) have an intended handling capacity of more than 10,000 tonnes per year of waste containing food or livestock, agricultural or food processing industries waste or similar substances, or*

***(iii) have an intended handling capacity of more than 30,000 tonnes per year of waste such as glass, plastic, paper, wood, metal, rubber or building demolition material.***

*(3) Development for the purposes of a waste management facility or works that purify, recover, reprocess or process more than 5,000 tonnes per year of solid or liquid organic materials is designated development.*

*(4) Development for the purposes of a waste management facility or works is designated development if the facility or works are located—*

*(a) in or within 100 metres of a natural waterbody, wetland, coastal dune field or environmentally sensitive area of State significance, or*

*(b) in an area of high water table, highly permeable soils, acid sulfate, sodic or saline soils, or*

*(c) in a drinking water catchment, or*

*(d) in a catchment of an estuary where the entrance to the sea is intermittently open, or*

*(e) on a floodplain, or*

*(f) within 500 metres of a residential zone or 250 metres of a dwelling not associated with the development and, in the consent authority's opinion, considering topography and local meteorological conditions, are likely to significantly affect the amenity of the neighbourhood because of noise, visual impacts, vermin, traffic or air pollution, including odour, smoke, fumes or dust.*

*(4A) Despite subsection (4)(f), development for the purposes of waste or resource transfer stations carried out by or on behalf of a public authority is not designated development if the development is carried out—*

*(i) within 500m of a residential zone or 250m of a dwelling not associated with the development, and*



*(ii) under State Environmental Planning Policy (Exempt and Complying Development Codes) 2008, Part 5A.*

*(5) This section does not apply to—*

*(a) development comprising or involving the use of effluent or sludge if—*

*(i) the dominant purpose is not waste disposal, and*

*(ii) the development is carried out in a location other than a location specified in subsection (4), or*

*(b) an artificial waterbody located on relevant irrigation land, or*

*(c) development comprising or involving waste management facilities or works specifically referred to elsewhere in this Schedule.*

*(6) In this section—*

*waste management facility or works means a facility or works that—*

*(a) stores, treats, purifies or disposes of waste, or*

*(b) sorts, processes, recycles, recovers, uses or reuses material from waste.*

The proposed development is a resource recovery facility to process an estimated 60,000 tonnes per year of C&I and C&D waste, together with approximately 100,000 tonnes per year of wastewater, and approximately 6,000 tonnes per year of medical (clinical) waste. This is a total of approximately 170,000 tonnes per annum of waste processed. Therefore an EIS is required.

#### 4.2.1 Integrated Development

Part 4, Division 4.8, Section 4.46 of the EP&A Act defines what constitutes an “Integrated Development”. Integrated Development is development (not being State Significant Development or Complying Development) that requires development consent and one or more of the following licenses or approvals, as listed in Table 5-4-1.

Table 5-4-1: Licence/Approval Requirements

| Legislation  | Require License or Approval |
|--|-----------------------------|
| Coal Mine Subsidence Compensation Act 2017               | No                          |
| Fisheries Management Act 1994                            | No                          |
| Heritage Act 1977  | No                          |
| Mines Subsidence Compensation Act 1961                   | No                          |
| Mining Act 1992  | No                          |
| National Parks and Wildlife Act 1974                     | No                          |
| Petroleum (Onshore) Act 1991                             | No                          |
| <b>Protection of the Environment Operations Act 1997</b> | <b>Yes</b>                  |
| Roads Act 1993   | No                          |
| Rural Fires Act 1997                                     | No                          |
| Water Management Act 2000                                | No                          |

The proposal is state significant so is therefore not integrated. However, it does require an EPL.

The relevant clauses under schedule 1 of the POEO act are as follows.

### **34 Resource recovery**

*"recovery of general waste", meaning the receiving of waste (other than hazardous waste, restricted solid waste, liquid waste or special waste) from off site and its processing, otherwise than for the recovery of energy.*

*recovery of hazardous and other waste, meaning the receiving of hazardous waste, restricted solid waste or special waste (other than asbestos waste or waste tyres) from off site and its processing, otherwise than for the recovery of energy.*

Comment:

Under Clause 34, the resource recovery of commercial and industrial as well as construction and demolition waste is a scheduled activity under 34(3) as it meets the criteria in column 2 of the table (being storage of more than 1,000 tonnes of waste on site at any one time and processing more than 6,000 tonnes of waste per year) and less than 50% by weight of the waste received in any year would require disposal after processing.

### **41 Waste processing (non-thermal treatment)**

*"non-thermal treatment of liquid waste" , meaning the receiving of liquid waste (other than waste oil) from off-site and its processing otherwise than by thermal treatment.*

Comment:

Under Clause 41, the proposed wastewater treatment to be undertaken at the site is a scheduled activity under 41(1) as it meets the criteria in column 2 of the table (being storage of more than 1,000 tonnes of waste on site at any one time and processing more than 6,000 tonnes of waste per year).

### **42 Waste storage**

*"waste storage" , meaning the receiving from off site and storing (including storage for transfer) of waste.*

Comment:

The waste will be temporarily stored prior to being sorted and after being baled. Once it has been baled, it will be dispatched.

## **4.3 PERMISSIBILITY**

### **4.3.1 Penrith City Local Environment Plan (LEP) 2013**

The land zoning for the subject land is described as E4 – General Industrial under the provisions of the Penrith City Local Environment Plan (LEP) 2010, which applies to the subject site. The proposed development is permitted with consent under the LEP under 'general industries'. It is also, permitted under State Environmental Planning Policy (Transport and Infrastructure) 2021.

### 4.3.2 State Environmental Planning Policy (Transport and Infrastructure) 2021

*Division 23 Waste of resource management facilities* under the State Environmental Planning Policy (Transport and Infrastructure) 2021 states:

#### 2.152 Definitions

*In this Division—*

*prescribed zone means any of the following land use zones or a land use zone that is equivalent to any of those zones—*

- (a) RU1 Primary Production,*
- (b) RU2 Rural Landscape,*
- (b1) E4 General Industrial,***
- (b2) E5 Heavy Industrial,*
- (c) IN1 General Industrial,*
- (d) IN3 Heavy Industrial,*
- (e) SP1 Special Activities,*
- (f) SP2 Infrastructure.*

***resource recovery facility, waste disposal facility, waste or resource management facility and waste or resource transfer station* have the same meanings as in the Standard Instrument.**

#### 2.153 Development permitted with consent

*(1) Development for the purpose of waste or resource management facilities, other than development referred to in subsection (2), may be carried out by any person with consent on land in a prescribed zone.*

*(2) Development for the purposes of a waste or resource transfer station may be carried out by any person with consent on—*

- (a) land in a prescribed zone, or*
- (b) land in any of the following land use zones or equivalent land use zones—*
  - (ia) E3 Productivity Support,*
  - (i) B5 Business Development,*
  - (ii) B6 Enterprise Corridor,*
  - (iii) IN2 Light Industrial,*
  - (iv) IN4 Working Waterfront,*
  - (v) W4 Working Waterfront, or*

*(c) land on which development for any of the following purposes is permitted with consent under any environmental planning instrument—*

- (i) industry,*
- (ii) business premises or retail premises,*
- (iii) freight transport facilities.*

*(3) Development for the purpose of the recycling of construction and demolition material, or the disposal of virgin excavated natural material (within the meaning of Schedule 1 to the Protection of the Environment Operations Act 1997) or clean fill, may be carried out by any person with consent on land on which development for the purpose of industries, extractive industries or mining may be carried out with consent under any environmental planning instrument.*

The site is zoned E4 – general industrial and is therefore a prescribed zone where waste and resource recovery facilities are permissible with consent under the State Environmental Planning Policy (Transport and Infrastructure).

#### 4.4 NSW HEALTH CLINICAL AND RELATED WASTE MANAGEMENT FOR HEALTH SERVICES POLICY 2020

Section 2.7 *Waste transport and disposal* under *NSW Health Clinical and Related Waste Management for Health Services Policy 2020* states that:

*While external transporters obligations are covered by the NSW Government waste contract, the requirements of the ADG Code may apply to the contractor for the transport of Division 6.2 Infectious Substances. When triggered, there may be requirements to supply the transporter with appropriate transport documents. Transport documents must describe the dangerous goods being transported, and appropriate emergency information for those goods. The ADG Code requirements commonly apply for the packing and transport of the following waste categories:*

- *UN 2814 (Category A Infectious Substances): Infectious substances affecting humans*
- *UN 3291 (Category B Infectious Substances): Infectious substances which do not meet the criteria for inclusion in Category A, which includes clinical wastes which are reasonably believed to have a low probability of containing infectious substances. (Refer to Chapter 2.6.3 of the ADG Code for further information on classification).*

All medical waste will be collected and transported by appropriate transport document and appropriate emergency information and according to NSW health requirement.

Section 4 *Training and information* of this policy states that:

*All workers need to know how to handle waste safely and notify incidents, including casual staff, contractors and volunteers. It is the responsibility of each health service to identify all workers that require training and ensure that the training is undertaken to the standards required by this Policy. This includes providing a waste management education module as part of the orientation for all new relevant staff.*

*The Health Education and Training Institute NSW (HETI) offers online learning and training modules on waste processes through My Health Learning. Specific training in all procedures associated with the implementation of the WMP is to be provided to:*

- *waste generators*
- *handlers, collectors*
- *transporters*
- *key management staff.*

All responsible employees will be trained according to The Health Education and Training Institute NSW (HETI) module.



## 5. COMMUNITY ENGAGEMENT

Community consultation for the proposed facility will be undertaken. The consultation will be comprised of local residents, as well as members of organisations from surrounding suburbs. In addition, a community consultation sheet has been prepared by BE and will be distributed in the area and surrounding. In addition, the Environmental Impact Statement (EIS) pertaining to the development will be made accessible on the Major Projects website for a period of 28 days. This timeframe has been allocated to facilitate public review and provide an opportunity for individuals to submit their comments.

During the preparation of the SSD EIS, BE would undertake further consultation with relevant authorities to provide an updated description of the Project, and to gauge what aspects of the project the community are most interested in or wish to seek clarification on. The results of this consultation will feed into the SSD EIS issues prioritisation and subsequently the levels of investigation afforded to the environmental assessment.

### 5.1.1 Consultation

A project of this type will require a consultation programme with the various stakeholders:

- Nearest Identified Residents to the Site;
- Adjoining Industrial Premises;
- Penrith City Council;
- Fire and Rescue NSW;
- NSW Environmental Protection Authority;
- Transport for NSW;
- Office of Environment and Heritage; and
- Service providers.

## **6. PROPOSED ASSESSMENT OF IMPACTS**

The proposed operations would have the potential to impact the following environmental aspects, which will be assessed in detail throughout the EIS:

### **6.1 WASTE MANAGEMENT**

A Waste Management Plan will be prepared for the EIS. This will involve a full assessment of the waste generated by the proposed development, detailing how waste will be stored and managed on site, and address any applicable resource recovery exemptions and orders. IT will make recommendations about the storage and processing operations if necessary.

### **6.2 AIR QUALITY**

Air quality impacts will be addressed in the EIS. An Air Quality Impact Assessment will be prepared in accordance with the EPA's Approved Methods for the Modelling and Assessment of Air Pollutants in New South Wales, which involves a desktop analysis of air dispersion using AERMOD. This will determine the pathways and strengths of the wind in the area and identify areas of particular pollutant impact issues. This will include odour from liquid wastes, chemical compounds (e.g. volatile organic compounds (VOCs), vapours, noxious fumes) and dust or particulate matter.

An Odour Impact Assessment would be included as part of the AQIA.

### **6.3 NOISE**

A Noise Impact Assessment would be prepared in accordance with the EPA's Noise Policy for Industry, and would include assessment of road traffic noise in accordance with the NSW Road Noise Policy. The contribution of noise of the demolition and construction works, as well as operational noise and road traffic noise will be determined in the EIS. Background unattended monitoring and attended noise monitoring will occur. These results would be modelled in the SoundPLAN program, where they will be assessed. Recommendations for controls and mitigation methods will be put forth. This will be addressed in a Noise impact Assessment.

### **6.4 SOIL AND WATER**

Impacts to soil are expected to be minimal as the site will be fully sealed and appropriately banded.

A full Water Impact Assessment will be undertaken to determine the impacts on water resources, water balance, stormwater and wastewater management controls on-site and assessment of total impacts on overall hydrology. This will be included in the EIS. It will also discuss the conservation of water in regard to harvesting rainwater and reusing treated water offsite.

## **6.5 ENVIRONMENTAL RISKS AND HAZARDS**

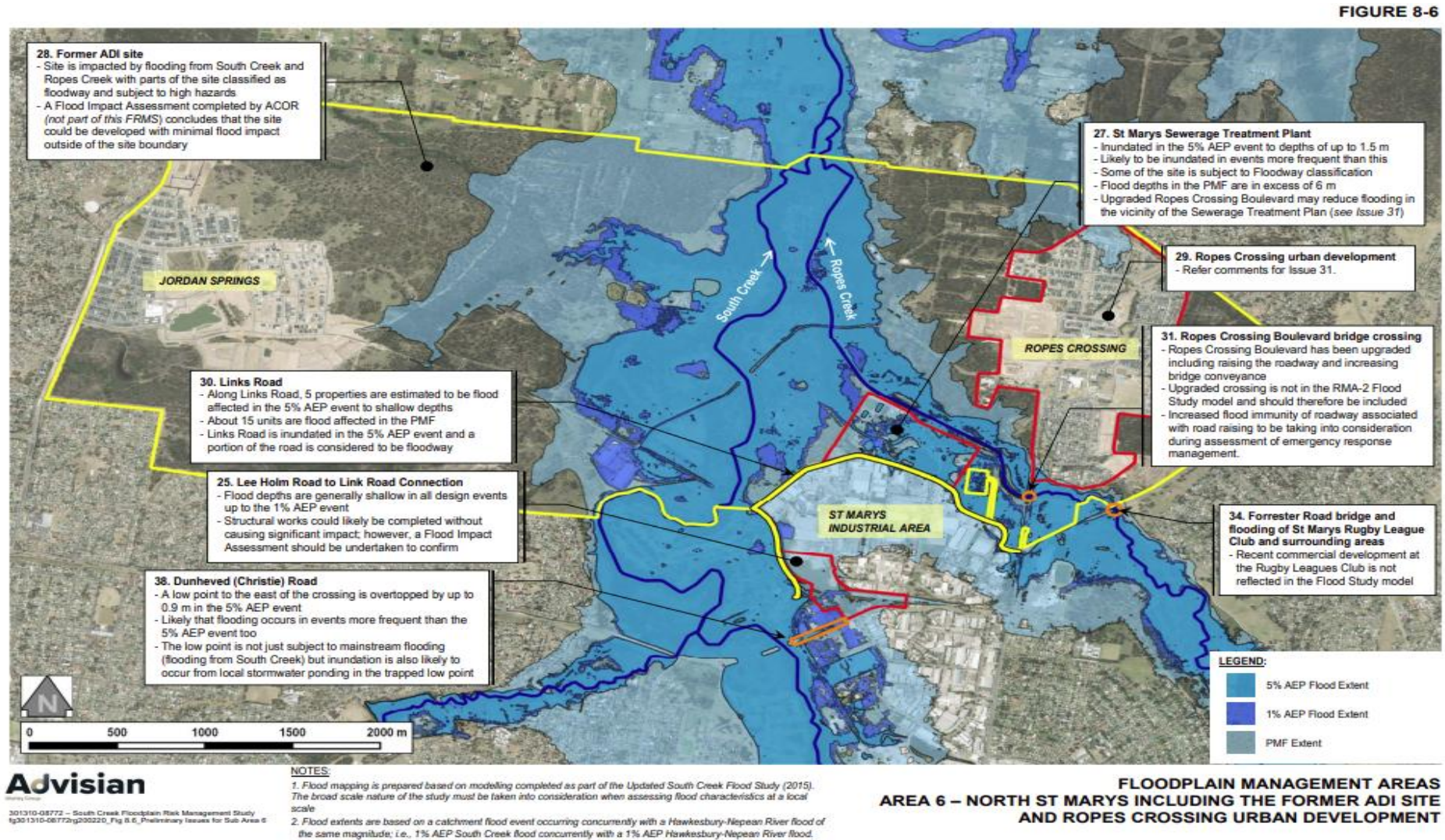
### **6.5.1 Bushfires**

This section in the EIS will identify the bushfire risk and any associated fire protection measures necessary. While the site itself is not classed as bushfire-prone, the adjacent land directly to the north is.

### **6.5.2 Flooding**

The access point into the industrial estate from Forrester Road is affected by the 1% AEP storm event according to Council's Overland Overview Study 2006 with flood depths of up to 0.5m. In this regard, a Flood Emergency Response Plan / Flood Evacuation Strategy shall be prepared in consultation with the SES considering all flood events up to and including the PMF and it should be accepted / approved by SES. The land is located within the Probable Maximum Flood zone, however, is above the 1% AEP flood extent. The following figure presents the flood plain management areas from the South Creek Floodplain Risk Management Plan.

Figure 6-1: Flooding





### **6.5.3 Chemical Storage and Handling**

Minor quantities of chemicals would be stored on site. This will be addressed in the SEPP (Resilience and Hazards) 2021 Screening Report. It includes a preliminary risk screening and discussion on the management of existing chemicals, with recommendations to be made if necessary. It also provides details on the type and quantity of those proposed to be used and stored at the site, which includes fuels and gases for the maintenance of the equipment.

## **6.6 HERITAGE**

There are no Aboriginal or European heritage items on or around the site. An Aboriginal Cultural Heritage Assessment (ACHA) will be obtained by a sub-consultant for the EIS.

## **6.7 BIODIVERSITY (FLORA AND FAUNA)**

The impact of the plant on site and surrounding biodiversity will be included in EIS. It is expected to be minimal.

## **6.8 LANDSCAPING**

This will be addressed in the EIS. It is noted that Penrith City Council are keen on making industrial areas visually pleasing by utilising the front areas of land for landscaping purposes.

## **6.9 INFRASTRUCTURE AND ENERGY**

This will be addressed in the EIS.

## **6.10 TRAFFIC AND TRANSPORT**

This will be addressed in the EIS. It will include a discussion on the additional truck movements associated with the proposed development, how access to the site will change, and how parking will increase. This will be undertaken by a sub-consultant.

Swept path diagrams would be provided.

## **6.11 SOCIOECONOMIC ISSUES**

A basic discussion of if the plant will further exacerbate or address socioeconomic issues in the area will be included in the EIS.

## **6.12 HEALTH ISSUES**

A basic discussion of how the new plant will impact on worker and resident health will be included in the EIS.



### **6.13 VISUAL AMENITY**

A basic discussion of the impacts of the plant on visual amenity will be included in the EIS. It is not expected to impact the landscape as it is within an already established industrial area. It is noted that Penrith City Council are keen on making industrial areas visually pleasing by utilising the front areas of land for landscaping purposes.

### **6.14 CUMULATIVE IMPACTS**

The cumulative impacts of the potential environmental harms will be addressed in the EIS.

### **6.15 ENVIRONMENTAL MANAGEMENT SAFEGUARDS**

An evaluation of the environmental safeguards as a whole will be included. This will assess the quality of safeguards and will recommend any that are necessary.

The following environmental aspects would also be assessed in respects to potential impacts from the proposed development, however based on previous studies of the existing operations at the site, significant and/or negative impacts are considered highly unlikely:

- Flora and Fauna: No threatened or endangered flora or fauna populations or sightings listed on the site is within an established industrial area. A biodiversity development assessment report (BDAR) waiver application will be undertaken.
- Health: Expected air emissions (odour from liquid wastes, chemical compounds (e.g. volatile organic compounds (VOCs), vapours, noxious fumes) and dust or particulate matter.) will likely have minimal off-site health impacts due to the presence of emission control equipment such as enclosures, scrubber and filters. The development would have to comply with Occupational Health & Safety Regulations in order to safeguard health of workers on site.
- Visual: The proposed use would not change the visual amenity of the site, as the site is located within an already established industrial area.
- Heritage: The site is not listed as being a heritage item or containing heritage items. The nearest heritage item is located approximately 900 m south-east from the site and are not likely to be affected by any of the proposed activities.
- Traffic: A Traffic Impact Assessment would be prepared to assess the increased traffic and the capability of the surrounding roads to accept them while maintaining a high Level of Service.
- Ecologically Sustainable Development (ESD) / Greenhouse gas (GHG) emissions: A water recycling plant will be constructed on site and GHG emissions would be reduced by centralising production on one site.



## 6.16 MATTERS REQUIRING NO FURTHER ASSESSMENT

The following table outlines the matters that although will be addressed and presented within the EIS, are ultimately not relevant to the proposed development or are at a small enough scale to not warrant further assessment within the context of the EIS.

Table 6-1: Matters Requiring No Further Assessment

| Matter   | Reasoning   |
|--|---|
| <b>Amenity</b> – <i>Visual</i>   | <p>The proposed development is not expected to impact the landscape as the facility is within an already established industrial area.</p> <p>A basic discussion of the development impacts on visual amenity will be included within the EIS.</p>   |
| <b>Built Environment</b> – <i>Public land; public infrastructure/</i>  | <p>As the site is already established and proposed structures will be built within the established site, the built form of the environment will not be altered.</p> <p>The EIS will address potential impacts on the surrounding public land and associated infrastructure from the proposed development. They are anticipated to be minor.</p>                   |
| <b>Economic</b> – <i>Natural resource use; livelihood; opportunity cost</i>  | <p>A basic discussion of the potential economic impact from the proposed development during operation will be included within the EIS.</p> <p>This discussion will include any mitigation measures that may be relevant to the project.</p>   |
| <b>Hazards and Risk</b> – <i>Bushfire;</i>   | <p>While the site itself is not classed as bushfire-prone, the adjacent land directly to the north is.</p> <p>A dedicated section within the EIS will identify and briefly discuss the bushfire risk and any associated fire protection measures necessary.</p>   |
| <b>Social</b> – <i>Way of Life; community; accessibility; culture; health and wellbeing; surroundings; livelihoods; decision-making systems.</i> | <p>A basic discussion of the potential social impact from the proposed development during operation will be included in the EIS. This discussion will include any mitigation measures that may be relevant to the project.</p> <p>Further, a basic discussion of how the development will impact worker and resident health will also be included in the EIS.</p> |

## 7. JUSTIFICATION AND CONCLUDING REMARKS

This site has been selected for several reasons:

- The site has ample room available to cater for the proposed development.
- The site is located in a well-established industrial area with adequate services.
- The site is not in a sensitive land use area.
- The development is a permitted use with consent.
- The development is a beneficial use as it would minimise the distance and amount of traffic movements required when compared to having to establish the site elsewhere. This would minimise transport costs and would achieve the principles of ecologically sustainable development, which is to be encouraged.
- The development will generate additional local employment.

Benbow Environmental would like to request the Secretary's Environmental Assessment Requirements (SEARs) applicable to the described proposed development.

This concludes the Scoping Report.



R T Benbow  
Principal Consultant



## 8. LIMITATIONS

Our services for this project are carried out in accordance with our current professional standards for site assessment investigations. No guarantees are either expressed or implied.

This report has been prepared solely for the use of Department of Planning and Environment, EPA, Penrith City Council, as per our agreement for providing environmental services. Only Department of Planning and Environment, EPA, Penrith City Council is entitled to rely upon the findings in the report within the scope of work described in this report. Otherwise, no responsibility is accepted for the use of any part of the report by another in any other context or for any other purpose.

Although all due care has been taken in the preparation of this study, no warranty is given, nor liability accepted (except that otherwise required by law) in relation to any of the information contained within this document. We accept no responsibility for the accuracy of any data or information provided to us by Department of Planning and Environment, EPA, Penrith City Council for the purposes of preparing this report.

Any opinions and judgements expressed herein, which are based on our understanding and interpretation of current regulatory standards, should not be construed as legal advice.

## **APPENDICES**

Appendix A : Summary of Scoping Report

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| Level of Assessment | Matter   | CIA | Engagement | Relevant Government Plans and Guidelines  | Scoping Report Reference |
|---------------------|--|-----|------------|---|--------------------------|
| Standard            | Hazards and risks - waste                          | N   | General    | <ul style="list-style-type: none"> <li>Waste Classification Guidelines (DECCW, 2009)</li> </ul>   | Section 6.1              |
| Standard            | Air – atmospheric emissions and particulate matter | N   | General    | <ul style="list-style-type: none"> <li>The Approved Methods for the Modelling and Assessment of Air Pollutants in NSW (EPA 2022)</li> </ul>   | Section 6.2              |
| Standard            | Amenity - Noise                                    | N   | General    | <ul style="list-style-type: none"> <li>Noise Policy for Industry (2017);</li> <li>Approved Methods for the Measurement and Analysis of Environmental Noise in NSW; and</li> <li>NSW Road Noise Policy (2011).</li> </ul>  | Section 6.3              |
| Standard            | Soil and water                                     | N   | General    | <ul style="list-style-type: none"> <li>Guidelines on the Duty to report land contamination, NSW EPA;</li> <li>National environment protection (assessment of site contamination) measure, National environment Protection Council.</li> <li>Acid Sulfate Soils Manual;</li> <li>Soil and Land Survey Handbooks;</li> <li>NSW Water Sharing Plans;</li> <li>Guidelines for Groundwater Protection in Australia;</li> <li>ANZECC Guidelines.</li> </ul> | Section 6.4              |
| Standard            | Hazard and Risk- Flooding                          | N   | General    | <ul style="list-style-type: none"> <li>Managing Urban Stormwater: Soils and Construction Volume 1 (Landcom 2004) and Volume 2 (A. Installation of Services; B. Waste Landfills; C. Unsealed Roads; D. Main Roads; E. Mines and Quarries) (DECC 2008)</li> <li>NSW Government’s Floodplain Development Manual (2005).</li> </ul>   | Section 6.5.2            |

|          |   |   |          |  |               |
|----------|---|---|----------|--|---------------|
| Standard | Hazards and Risks – Chemical storage and handling | N | General  | <ul style="list-style-type: none"> <li>• State Environmental Planning Policy (SEPP) (Resilience and Hazards) 2021.</li> <li>• Storage and Handling of Dangerous Goods Code of Practice (WorkCover, 2005).</li> </ul>   | Section 6.5.3 |
| Detailed | Heritage – historic (NAH)                         | Y | Specific | <ul style="list-style-type: none"> <li>• Commonwealth EPBC 1.1 Significant Impact Guidelines – Matters of National Environmental Significance</li> <li>• Commonwealth of Australia, 2013)</li> <li>• Commonwealth EPBC 1.2 Significant Impact Guidelines – Actions on, or Impacting upon, Commonwealth Land and Actions by Commonwealth Agencies (Commonwealth of Australia, 2013)</li> <li>• NSW Skeletal Remains: Guidelines for Management of Human Remains (Heritage Office, 1998)</li> <li>• Criteria for the Assessment of Excavation Directors (NSW Heritage Council, 2011).</li> </ul> | Section 6.6   |
| Standard | Biodiversity (Flora and fauna)                    | N | Standard | <ul style="list-style-type: none"> <li>• Biodiversity Conservation Act 2016</li> </ul>   | Section 6.7   |
| Standard | Access – <i>Traffic and Parking</i>               | N | General  | <ul style="list-style-type: none"> <li>• Guide to Traffic Generating Developments; and</li> <li>• Austroads Guide to Traffic Management.</li> </ul>  | Section 6.10  |
| Standard | Social – community                                | N | Standard | <ul style="list-style-type: none"> <li>• Social Impact Assessment Guidelines for State Significant Projects (Department of Planning Industry and Environment, 2021)</li> </ul>   | Section 6.11  |
| Standard | Health issue                                      | N | Standard | <ul style="list-style-type: none"> <li>• <i>NSW Health Clinical and Related Waste Management for Health Services Policy 2020</i></li> </ul>  | Section 6.12  |

## **ATTACHMENTS**

Attachment 1: Site Plans

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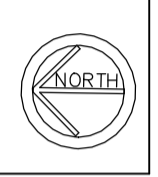


EXISTING OVERALL SITE PLAN

- STRUCTURES TO BE DEMOLISHED
- LOTS EXCLUDED FROM PROPOSAL

**REVISIONS:**

| ISSUE NO. | DATE    | DESCRIPTION     |
|-----------|---------|-----------------|
| A         | 30-8-23 | ISSUE FOR SEARS |
|           |         |                 |
|           |         |                 |
|           |         |                 |
|           |         |                 |
|           |         |                 |



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 ENVIRONMENTAL CONSULTANTS  
 2051 THE NORTHERN ROAD GLENMORE PARK NSW 2745  
 TEL: (02) 97567968 MOB: 0418256285  
 e-mail: carlo@cranieri.com.au

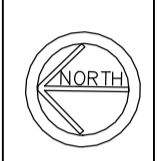
**CLIENT:**  
 GRUNDYS WASTE SERVICES

**PROJECT:**  
 PROPOSED MATERIAL RECOVERY FACILITY  
 PROPOSED MEDICAL WASTE FACILITY  
 PROPOSED WASTE WATER FACILITY

**DRAWING:**

|                            |                 |             |           |
|----------------------------|-----------------|-------------|-----------|
| EXISTING OVERALL SITE PLAN |                 |             |           |
| SCALE: 1:1000              | DATE: 30-8-2023 | DRAWN: G.R. | ISSUED: A |
| PRL NO.: SWEP-081623       | JOB: 305        | SHEET: A01  | A1 SHEET  |

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
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 TEL: (02)7367986 MOB: 0418256285  
 e-mail: carlo@carloromieri.com.au

**CLIENT:**  
 GRUNDYS WASTE SERVICES

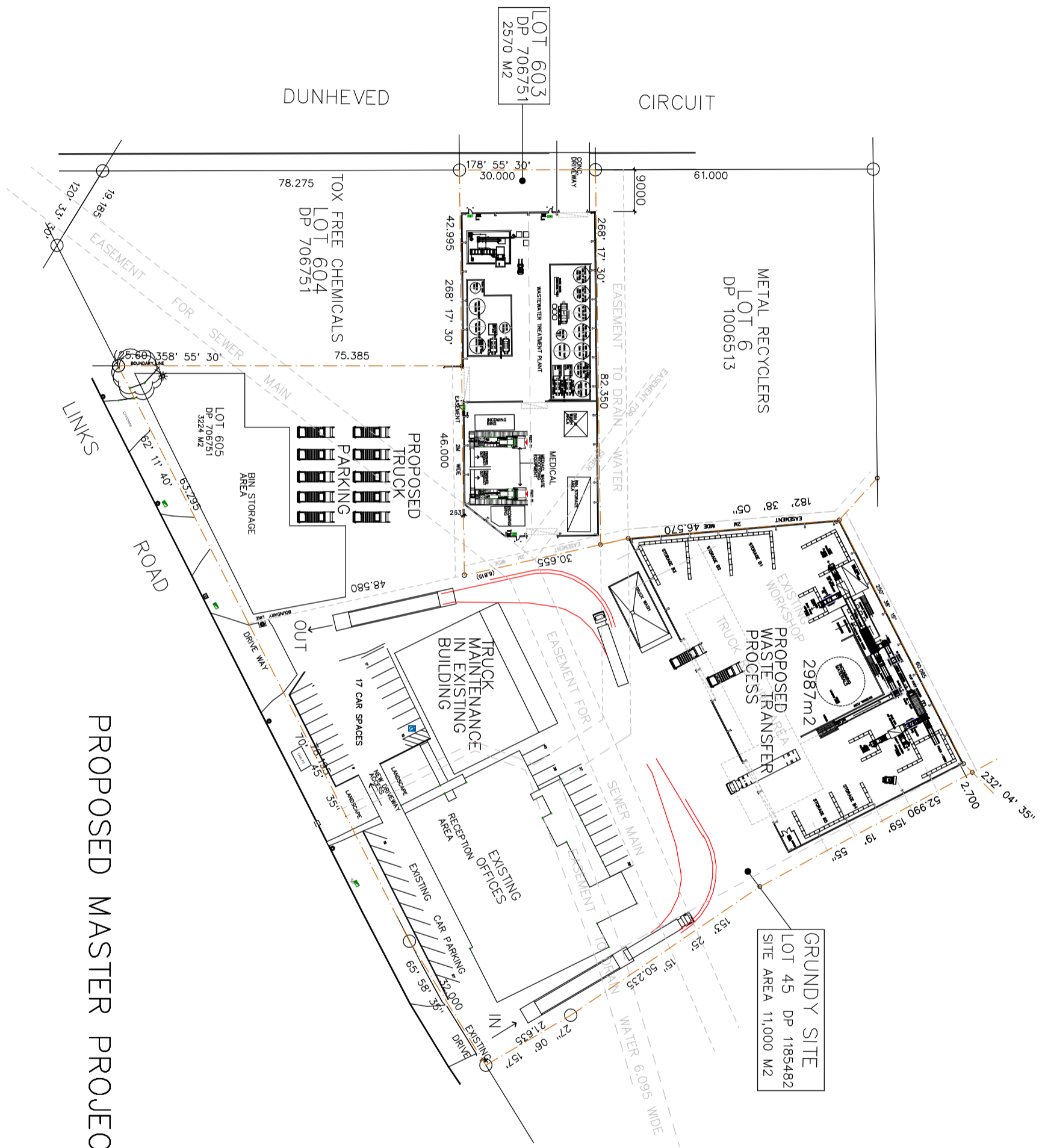
**PROJECT:**  
 PROPOSED MATERIAL RECOVERY FACILITY  
 PROPOSED MEDICAL WASTE FACILITY  
 PROPOSED WASTE WATER FACILITY

**DRAWING:**  
 OVERALL SITE PLAN

SCALE: 1:1000 DATE: PRL NO.: GWEPF-081623 JOB 305 SHEET A02 ISSUED A

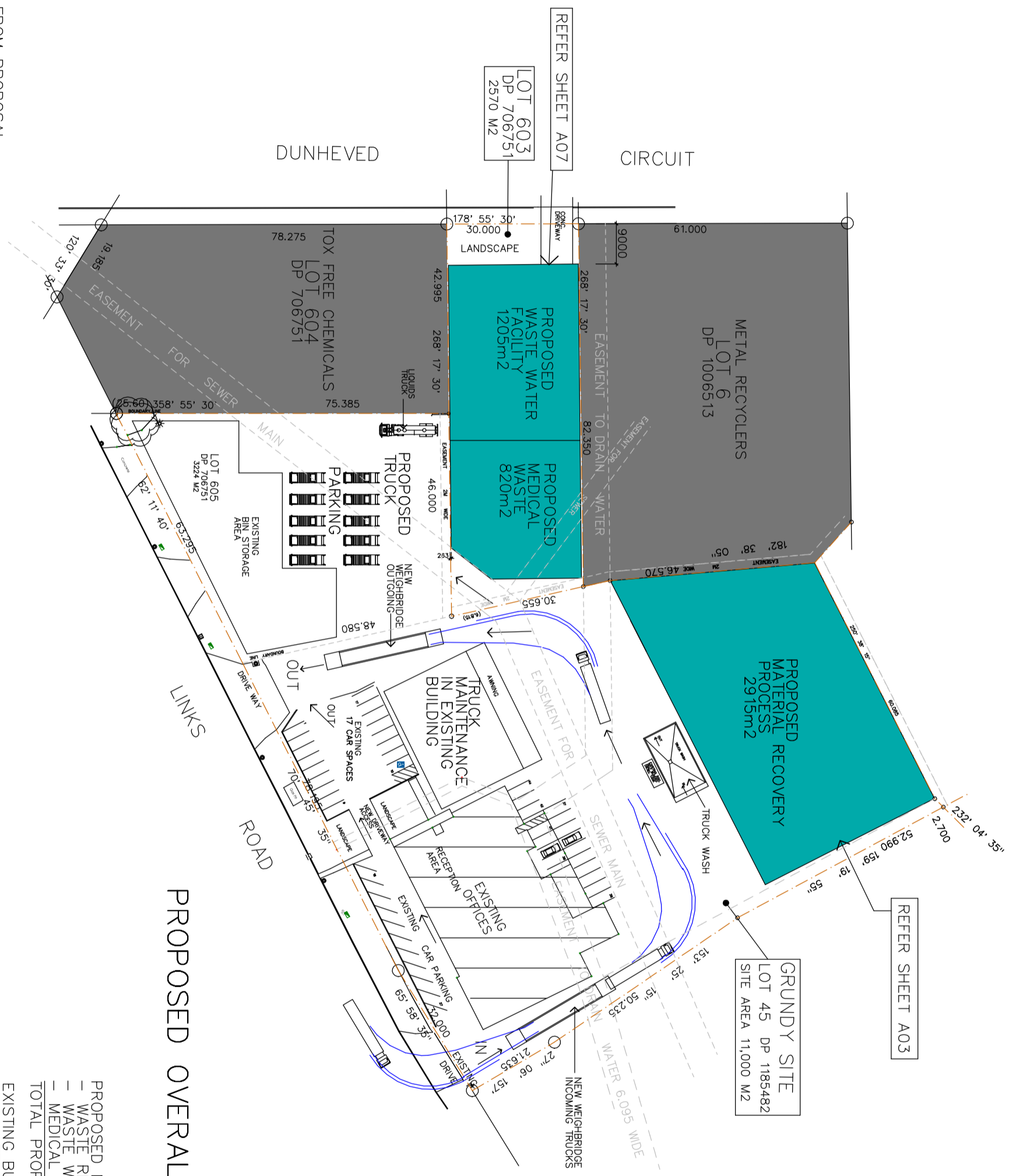
DRAWN: C.R.

CONCEPT



PROPOSED MASTER PROJECTS SITE PLAN

- NEW BUILDINGS
- LOTS EXCLUDED FROM PROPOSAL

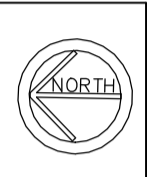


## PROPOSED OVERALL SITE PLAN

- PROPOSED NEW BUILDING AREAS**
- WASTE RECOVERY FACILITY 2915m<sup>2</sup>
  - WASTE WATER FACILITY 1205m<sup>2</sup>
  - MEDICAL WASTE FACILITY 820m<sup>2</sup>
- TOTAL PROPOSED BUILDING AREAS 4940m<sup>2</sup>**
- EXISTING BUILDINGS**
- MAINTENANCE SHED 615m<sup>2</sup>
  - OFFICES 1550m<sup>2</sup>
- TOTAL EXISTING BUILDING AREAS 2165m<sup>2</sup>**
- TOTAL SITE AREA 16794m<sup>2</sup>**

**REVISIONS:**

| NO. | DATE    | DESCRIPTION     |
|-----|---------|-----------------|
| A   | 30-8-23 | ISSUE FOR SEARS |
|     |         |                 |
|     |         |                 |
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 e-mail: carlo@carloranieri.com.au

**CLIENT:**  
 GRUNDY'S WASTE SERVICES

**PROJECT:**  
 PROPOSED MATERIAL RECOVERY FACILITY  
 PROPOSED MEDICAL WASTE FACILITY  
 PROPOSED WASTE WATER FACILITY

**DRAWING:**

PROPOSED OVERALL SITE PLAN

| SCALE:   | DATE:       | DRAWN: |
|----------|-------------|--------|
| 1:1000   | 30-8-2023   | G.R.   |
| PKL NO.: | GWEP-081623 | JOB    |
|          | 305         | SHEET  |
|          |             | A02    |
|          |             | ISSUE  |
|          |             | A      |

Attachment 2: Environment Protection Licence

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# Environment Protection Licence

Licence - 7406



Environment,  
Climate Change  
& Water

**Licence Details**

|                   |              |
|-------------------|--------------|
| Number:           | 7406         |
| Anniversary Date: | 02-September |

**Licensee**

IAN'S TRANSPORT PTY LTD  
PO BOX 421  
KINGSWOOD NSW 2747

**Licence Type**

Transporter of Waste

**Scheduled Activity**

Transport of trackable waste

**Fee Based Activity**

Transport of category 1 trackable waste  
Transport of category 2 trackable waste

**Scale**

0 - All (Vehicles)  
0 - All (Vehicles)

**Region**

Waste Operations  
59-61 Goulburn Street  
SYDNEY NSW 2000  
Phone: 02 9995 5000  
Fax: 02 9995 5999

PO Box A290 SYDNEY SOUTH  
NSW 1232

# Environment Protection Licence

Licence - 7406



Environment,  
Climate Change  
& Water

|   |          |
|---|----------|
| <b>INFORMATION ABOUT THIS LICENCE</b> .....                         | <b>3</b> |
| Dictionary.....   | 3        |
| Responsibilities of licensee.....                                   | 3        |
| Variation of licence conditions .....                               | 3        |
| Duration of licence .....   | 3        |
| Licence review .....  | 3        |
| Fees to be sent to the EPA.....                                     | 3        |
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## Information about this licence

### Dictionary

A definition of terms used in the licence can be found in the dictionary at the end of this licence.

### Responsibilities of licensee

Separate to the requirements of this licence, general obligations of licensees are set out in the Protection of the Environment Operations Act 1997 ("the Act") and the Regulations made under the Act. These include obligations to:

- ensure persons associated with you comply with this licence, as set out in section 64 of the Act;
- control the pollution of waters and the pollution of air (see for example sections 120 - 132 of the Act); and
- report incidents causing or threatening material environmental harm to the environment, as set out in Part 5.7 of the Act.

### Variation of licence conditions

The licence holder can apply to vary the conditions of this licence. An application form for this purpose is available from the EPA.

The EPA may also vary the conditions of the licence at any time by written notice without an application being made.

Where a licence has been granted in relation to development which was assessed under the Environmental Planning and Assessment Act 1979 in accordance with the procedures applying to integrated development, the EPA may not impose conditions which are inconsistent with the development consent conditions until the licence is first reviewed under Part 3.6 of the Act.

### Duration of licence

This licence will remain in force until the licence is surrendered by the licence holder or until it is suspended or revoked by the EPA or the Minister. A licence may only be surrendered with the written approval of the EPA.

### Licence review

The Act requires that the EPA review your licence at least every 5 years after the issue of the licence, as set out in Part 3.6 and Schedule 5 of the Act. You will receive advance notice of the licence review.

### Fees to be sent to the EPA

For each licence fee period you must pay an administrative fee. The fee is due for payment within 60 days after the licence anniversary date.

**Transfer of licence**

The licence holder can apply to transfer the licence to another person. An application form for this purpose is available from the EPA.

**Public register and access to monitoring data**

Part 9.5 of the Act requires the EPA to keep a public register of details and decisions of the EPA in relation to, for example:

- licence applications;
- licence conditions and variations;
- statements of compliance;
- load based licensing information; and
- load reduction agreements.

Under s320 of the Act application can be made to the EPA for access to monitoring data which has been submitted to the EPA by licensees.

**This licence is issued to:**

|                         |
|-------------------------|
| IAN'S TRANSPORT PTY LTD |
| PO BOX 421              |
| KINGSWOOD NSW 2747      |

subject to the conditions which follow.

**1 Administrative conditions****A1 What the licence authorises and regulates**

A1.1 This licence authorises the transport of waste.

A1.2 The activities are listed according to their scheduled activity classification, fee-based activity classification and the scale of the operation (if relevant).

Unless otherwise further restricted by a condition of this licence, the scale at which the activity is carried out must not exceed the maximum scale specified in this condition.

**Scheduled Activity**

Transport of trackable waste

| Fee Based Activity                      | Scale              |
|---|--------------------|
| Transport of category 1 trackable waste | 0 - All (Vehicles) |
| Transport of category 2 trackable waste | 0 - All (Vehicles) |

**A2 Information supplied to the EPA**

A2.1 Works and activities must be carried out in accordance with the proposal contained in the licence application, except as expressly provided by a condition of this licence.

In this condition the reference to "the licence application" includes a reference to:

- (a) the applications for any licences (including former pollution control approvals) which this licence replaces under the Protection of the Environment Operations (Savings and Transitional) Regulation 1998; and
- (b) the licence information form provided by the licensee to the EPA to assist the EPA in connection with the issuing of this licence.

**2 Discharges to air and water and applications to land**

P1 Not applicable.

**3 Limit conditions**

L1 Not applicable.

**4 Operating conditions****O1 Activities must be carried out in a competent manner**

O1.1 Licensed activities must be carried out in a competent manner.

This includes:

- (a) the processing, handling, movement and storage of materials and substances used to carry out the activity; and
- (b) the treatment, storage, processing, reprocessing, transport and disposal of waste generated by the activity.

**O2 Maintenance of plant and equipment**

- O2.1 All plant and equipment installed at the premises or used in connection with the licensed activity:
- (a) must be maintained in a proper and efficient condition; and
  - (b) must be operated in a proper and efficient manner.

## 5 Monitoring and recording conditions

### M1 Recording of pollution complaints

- M1.1 The licensee must keep a legible record of all complaints made to the licensee or any employee or agent of the licensee in relation to pollution arising from any activity to which this licence applies.
- M1.2 The record must include details of the following:
- (a) the date and time of the complaint;
  - (b) the method by which the complaint was made;
  - (c) any personal details of the complainant which were provided by the complainant or, if no such details were provided, a note to that effect;
  - (d) the nature of the complaint;
  - (e) the action taken by the licensee in relation to the complaint, including any follow-up contact with the complainant; and
  - (f) if no action was taken by the licensee, the reasons why no action was taken.
- M1.3 The record of a complaint must be kept for at least 4 years after the complaint was made.
- M1.4 The record must be produced to any authorised officer of the EPA who asks to see them.

## 6 Reporting conditions

### R1 Notification of environmental harm

Note: The licensee or its employees must notify the EPA of incidents causing or threatening material harm to the environment as soon as practicable after the person becomes aware of the incident in accordance with the requirements of Part 5.7 of the Act.

- R1.1 Notifications must be made by telephoning the Environment Line service on 131 555.
- R1.2 The licensee must provide written details of the notification to the EPA within 7 days of the date on which the incident occurred.

### R2 Written report

Licence - 7406

- R2.1 Where an authorised officer of the EPA suspects on reasonable grounds that:
- (a) where this licence applies to premises, an event has occurred at the premises; or
  - (b) where this licence applies to vehicles or mobile plant, an event has occurred in connection with the carrying out of the activities authorised by this licence,
- and the event has caused, is causing or is likely to cause material harm to the environment (whether the harm occurs on or off premises to which the licence applies), the authorised officer may request a written report of the event.
- R2.2 The licensee must make all reasonable inquiries in relation to the event and supply the report to the EPA within such time as may be specified in the request.
- R2.3 The request may require a report which includes any or all of the following information:
- (a) the cause, time and duration of the event;
  - (b) the type, volume and concentration of every pollutant discharged as a result of the event;
  - (c) the name, address and business hours telephone number of employees or agents of the licensee, or a specified class of them, who witnessed the event;
  - (d) the name, address and business hours telephone number of every other person (of whom the licensee is aware) who witnessed the event, unless the licensee has been unable to obtain that information after making reasonable effort;
  - (e) action taken by the licensee in relation to the event, including any follow-up contact with any complainants;
  - (f) details of any measure taken or proposed to be taken to prevent or mitigate against a recurrence of such an event; and
  - (g) any other relevant matters.
- R2.4 The EPA may make a written request for further details in relation to any of the above matters if it is not satisfied with the report provided by the licensee. The licensee must provide such further details to the EPA within the time specified in the request.

## General conditions

### G1 Copy of licence kept

- G1.1 The licence must be produced to any authorised officer of the EPA who asks to see it.
- G1.2 The licence must be available for inspection by any employee or agent of the licensee operating the vehicle.

## Pollution studies and reduction programs

## Special conditions

## Dictionary

### General Dictionary

In this licence, unless the contrary is indicated, the terms below have the following meanings:

|  |  |
|--|--|
| <b>3DGM [in relation to a concentration limit]</b> | Means the three day geometric mean, which is calculated by multiplying the results of the analysis of three samples collected on consecutive days and then taking the cubed root of that amount. Where one or more of the samples is zero or below the detection limit for the analysis, then 1 or the detection limit respectively should be used in place of those samples |
| <b>Act</b>   | Means the Protection of the Environment Operations Act 1997  |
| <b>activity</b>                                    | Means a scheduled or non-scheduled activity within the meaning of the Protection of the Environment Operations Act 1997  |
| <b>actual load</b>                                 | Has the same meaning as in the Protection of the Environment Operations (General) Regulation 1998  |
| <b>AMG</b>   | Australian Map Grid  |
| <b>anniversary date</b>                            | The anniversary date is the anniversary each year of the date of issue of the licence. In the case of a licence continued in force by the Protection of the Environment Operations Act 1997, the date of issue of the licence is the first anniversary of the date of issue or last renewal of the licence following the commencement of the Act.                            |
| <b>annual return</b>                               | Is defined in R1.1   |
| <b>Approved Methods Publication</b>                | Has the same meaning as in the Protection of the Environment Operations (General) Regulation 1998  |
| <b>assessable pollutants</b>                       | Has the same meaning as in the Protection of the Environment Operations (General) Regulation 1998  |
| <b>BOD</b>   | Means biochemical oxygen demand  |
| <b>COD</b>   | Means chemical oxygen demand   |
| <b>composite sample</b>                            | Unless otherwise specifically approved in writing by the EPA, a sample consisting of 24 individual samples collected at hourly intervals and each having an equivalent volume.   |
| <b>cond.</b>                                       | Means conductivity   |
| <b>environment</b>                                 | Has the same meaning as in the Protection of the Environment Operations Act 1997   |
| <b>environment protection legislation</b>          | Has the same meaning as in the Protection of the Environment Administration Act 1991   |
| <b>EPA</b>   | Means Environment Protection Authority of New South Wales.   |
| <b>fee-based activity classification</b>           | Means the numbered short descriptions in Schedule 1 of the Protection of the Environment Operations (General) Regulation 1998.   |
| <b>flow weighted composite sample</b>              | Means a sample whose composites are sized in proportion to the flow at each composites time of collection.   |
| <b>general solid waste (non-putrescible)</b>       | Has the same meaning as in Part 3 of Schedule 1 of the Protection of the Environment Operations Act 1997   |
| <b>general solid waste</b>                         | Has the same meaning as in Part 3 of Schedule 1 of the Protection of the Environment Operations Act  |

# Environment Protection Licence



Licence - 7406

|  |  |
|--|--|
| <b>(putrescible)</b>   | 1997   |
| <b>grab sample</b>   | Means a single sample taken at a point at a single time  |
| <b>hazardous waste</b>   | Has the same meaning as in Part 3 of Schedule 1 of the Protection of the Environment Operations Act 1997   |
| <b>licensee</b>  | Means the licence holder described at the front of this licence  |
| <b>liquid waste</b>  | Has the same meaning as in Part 3 of Schedule 1 of the Protection of the Environment Operations Act 1997   |
| <b>load calculation protocol</b>                                     | Has the same meaning as in the Protection of the Environment Operations (General) Regulation 1998  |
| <b>local authority</b>   | Has the same meaning as in the Protection of the Environment Operations Act 1997   |
| <b>material harm</b>   | Has the same meaning as in section 147 Protection of the Environment Operations Act 1997   |
| <b>MBAS</b>  | Means methylene blue active substances   |
| <b>Minister</b>  | Means the Minister administering the Protection of the Environment Operations Act 1997   |
| <b>mobile plant</b>  | Has the same meaning as in Part 3 of Schedule 1 of the Protection of the Environment Operations Act 1997   |
| <b>motor vehicle</b>   | Has the same meaning as in the Protection of the Environment Operations Act 1997   |
| <b>O&amp;G</b>   | Means oil and grease   |
| <b>percentile [in relation to a concentration limit of a sample]</b> | Means that percentage [eg.50%] of the number of samples taken that must meet the concentration limit specified in the licence for that pollutant over a specified period of time. In this licence, the specified period of time is the Reporting Period unless otherwise stated in this licence.   |
| <b>plant</b>   | Includes all plant within the meaning of the Protection of the Environment Operations Act 1997 as well as motor vehicles.  |
| <b>pollution of waters [or water pollution]</b>                      | Has the same meaning as in the Protection of the Environment Operations Act 1997   |
| <b>premises</b>  | Means the premises described in condition A2.1   |
| <b>public authority</b>  | Has the same meaning as in the Protection of the Environment Operations Act 1997   |
| <b>regional office</b>   | Means the relevant EPA office referred to in the Contacting the EPA document accompanying this licence   |
| <b>reporting period</b>  | For the purposes of this licence, the reporting period means the period of 12 months after the issue of the licence, and each subsequent period of 12 months. In the case of a licence continued in force by the Protection of the Environment Operations Act 1997, the date of issue of the licence is the first anniversary of the date of issue or last renewal of the licence following the commencement of the Act. |
| <b>restricted solid waste</b>  | Has the same meaning as in Part 3 of Schedule 1 of the Protection of the Environment Operations Act 1997   |
| <b>scheduled activity</b>  | Means an activity listed in Schedule 1 of the Protection of the Environment Operations Act 1997  |
| <b>special waste</b>   | Has the same meaning as in Part 3 of Schedule 1 of the Protection of the Environment Operations Act 1997   |
| <b>TM</b>  | Together with a number, means a test method of that number prescribed by the <i>Approved Methods for the Sampling and Analysis of Air Pollutants in New South Wales</i> .  |
| <b>TSP</b>   | Means total suspended particles  |

Licence - 7406

|                         |   |
|-------------------------|---|
| <b>TSS</b>              | Means total suspended solids  |
| <b>Type 1 substance</b> | Means the elements antimony, arsenic, cadmium, lead or mercury or any compound containing one or more of those elements                               |
| <b>Type 2 substance</b> | Means the elements beryllium, chromium, cobalt, manganese, nickel, selenium, tin or vanadium or any compound containing one or more of those elements |
| <b>utilisation area</b> | Means any area shown as a utilisation area on a map submitted with the application for this licence   |
| <b>waste</b>            | Has the same meaning as in the Protection of the Environment Operations Act 1997  |
| <b>waste type</b>       | Means liquid, restricted solid waste, general solid waste (putrescible), general solid waste (non-putrescible), special waste or hazardous waste      |

Mr Bernie Weir

Environment Protection Authority

(By Delegation)

Date of this edition - 08-Oct-2009

## End Notes

- 1 Licence varied by 9800 (ALaN) s.58 Notice, issued on 11-Apr-2000, which came into effect on 06-May-2000.
- 2 Licence varied by notice 1011975, issued on 05-Oct-2001, which came into effect on 05-Oct-2001.
- 3 Licence varied by notice 1025016, issued on 18-Feb-2003, which came into effect on 15-Mar-2003.
- 4 Licence varied by notice 1055903, issued on 03-Feb-2006, which came into effect on 28-Feb-2006.
- 5 Licence varied by notice 1071408, issued on 23-Mar-2007, which came into effect on 23-Mar-2007.
- 6 Licence varied by notice 1079481, issued on 25-Oct-2007, which came into effect on 25-Oct-2007.
- 7 Licence varied by notice 1082971, issued on 26-Feb-2008, which came into effect on 26-Feb-2008.

## End Notes

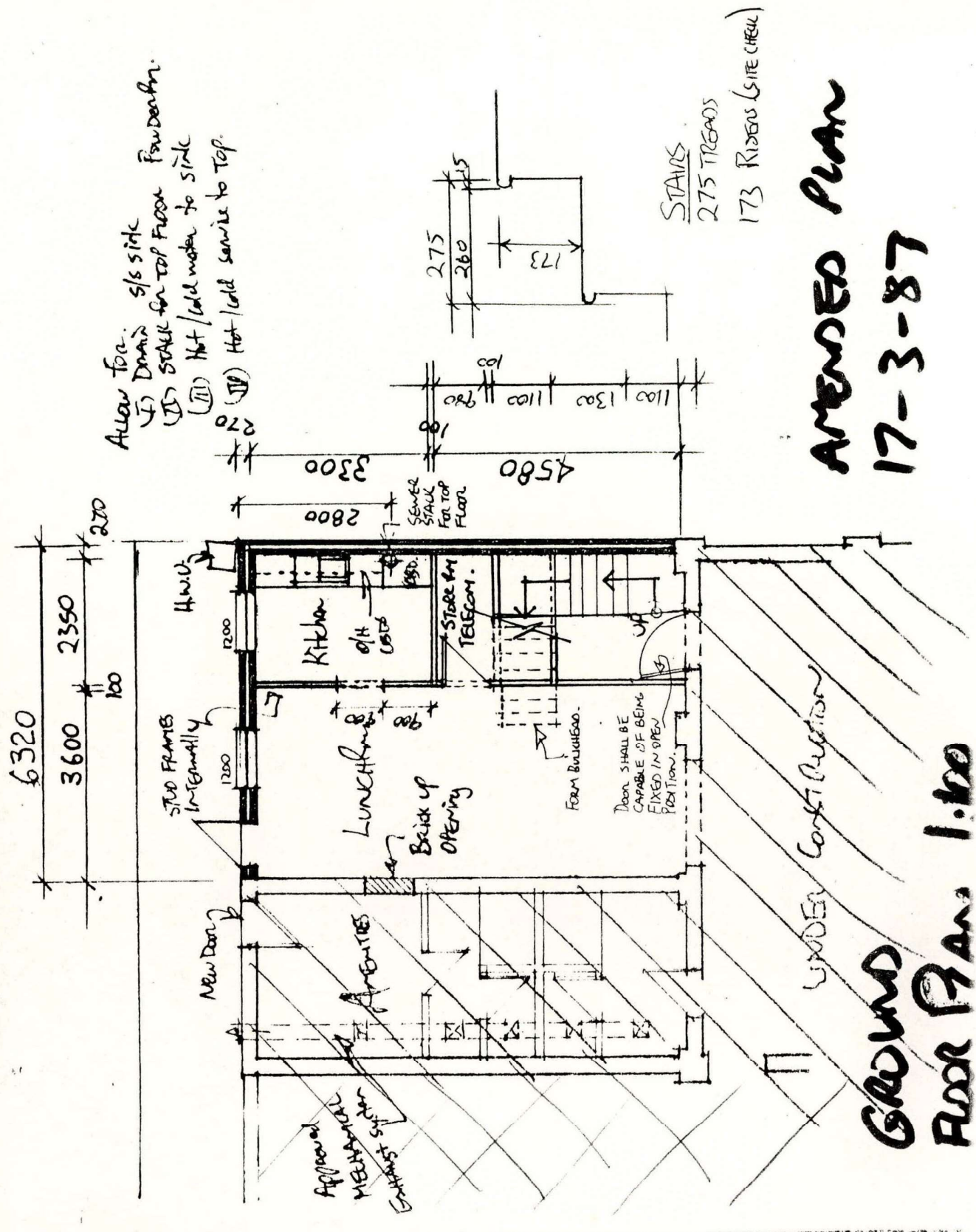
- |   |   |
|---|---|
| 8 | Licence varied by notice 1087572, issued on 21-May-2008, which came into effect on 21-May-2008. |
| 9 | Licence varied by notice 1105287, issued on 08-Oct-2009, which came into effect on 08-Oct-2009. |

Attachment 3: Historical Development Application

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**AMENDED KITCHEN LAYOUT**  
**LINES NO. ST. MARKS**

**A.H.F.**

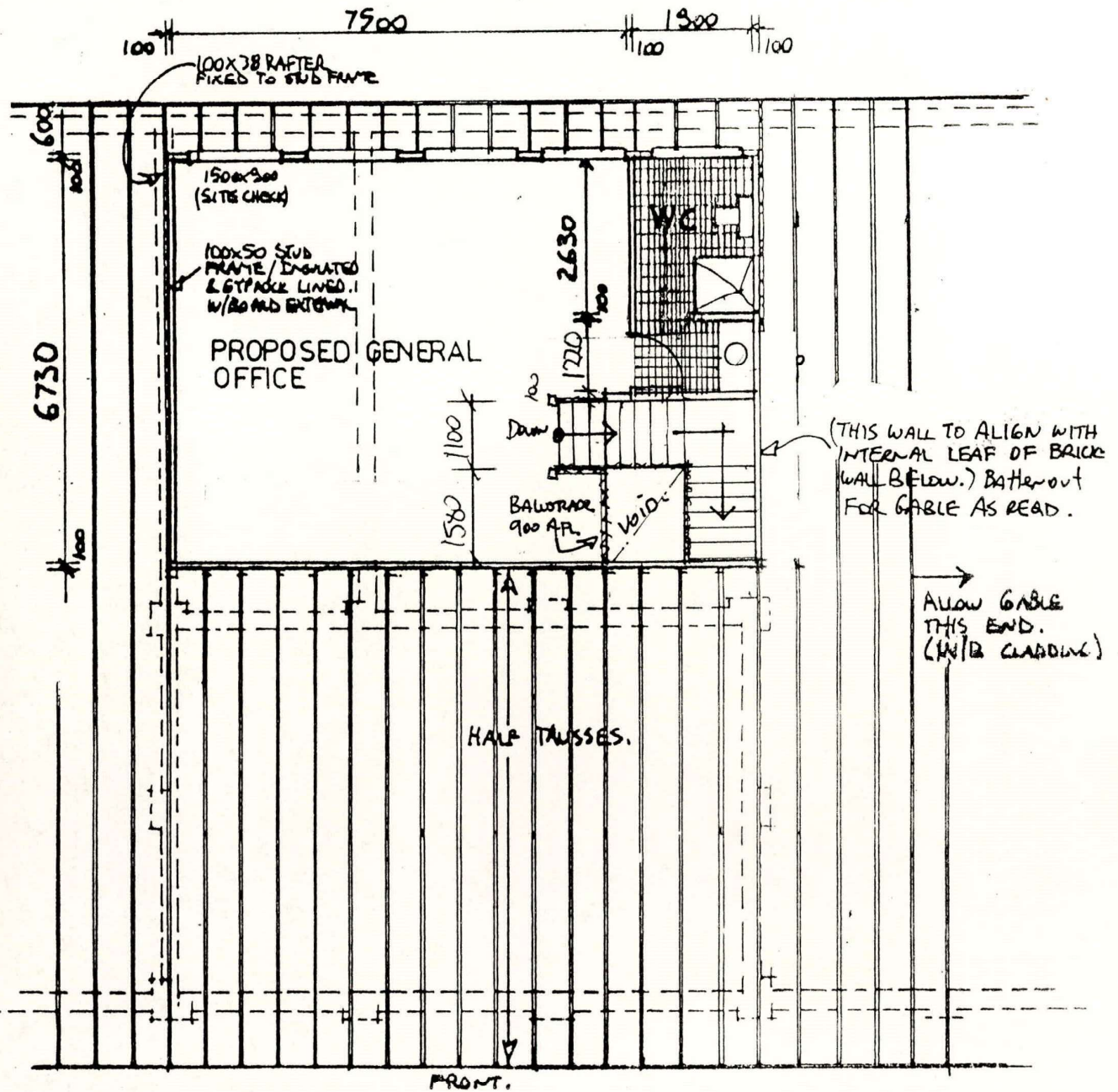


**AMENDED PLAN**  
**17-3-87**

**GROUND**  
**Floor Plan 1:100**

A.H.C.

AMENDED PLAN.  
LOT 5 LINKS ROAD. ST. MARKS.  
OFFICE BUILDING.



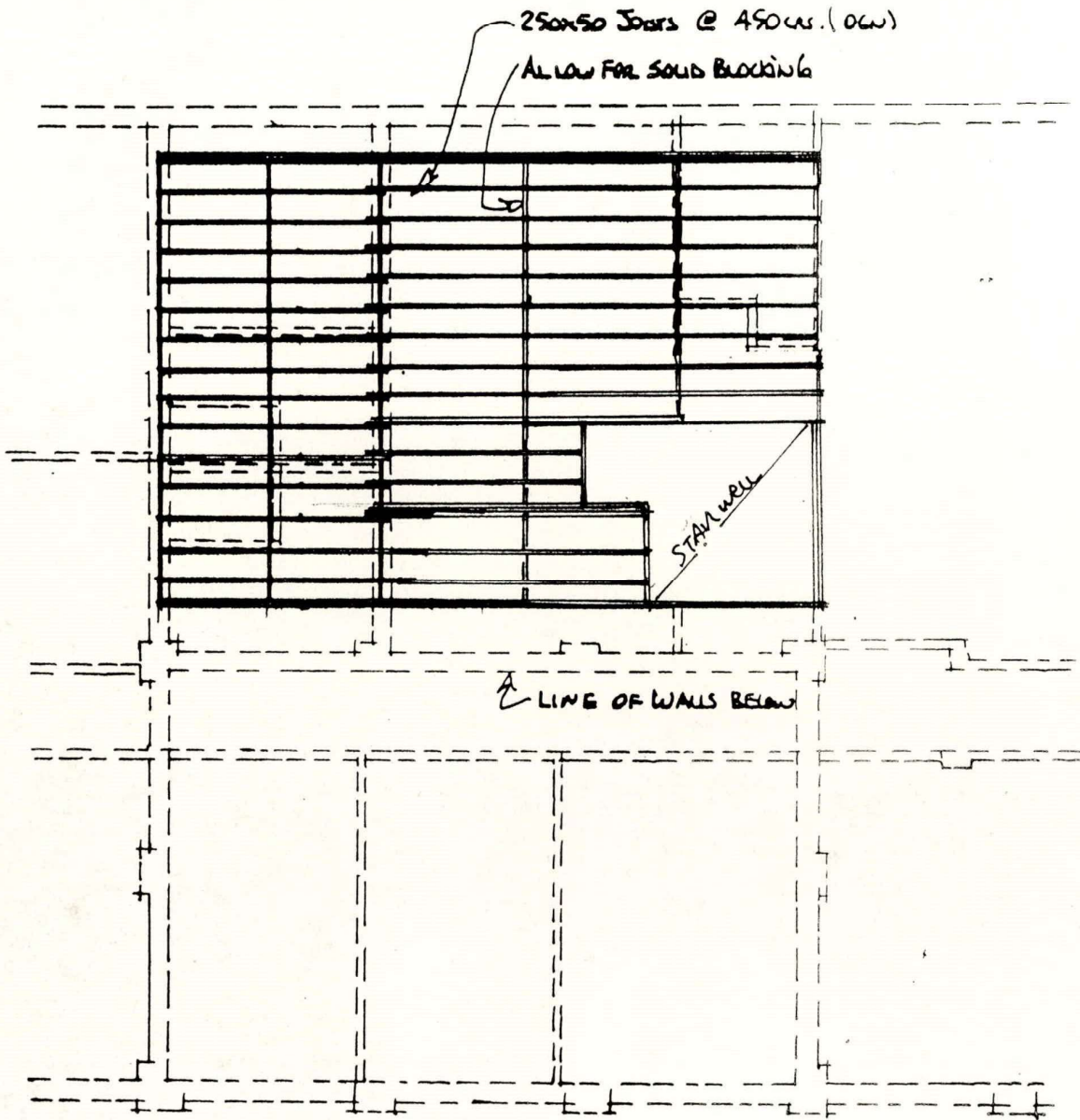
PROPOSED TOP FLOOR PLAN.

SCALE 1:100.

AMENDED PLAN. 17.3.87.

A.H.C.

AMENDED PLAN. ~~25-2-87~~  
LOT 5 LINKS ROAD ST. MARTS.  
OFFICE BUILDING



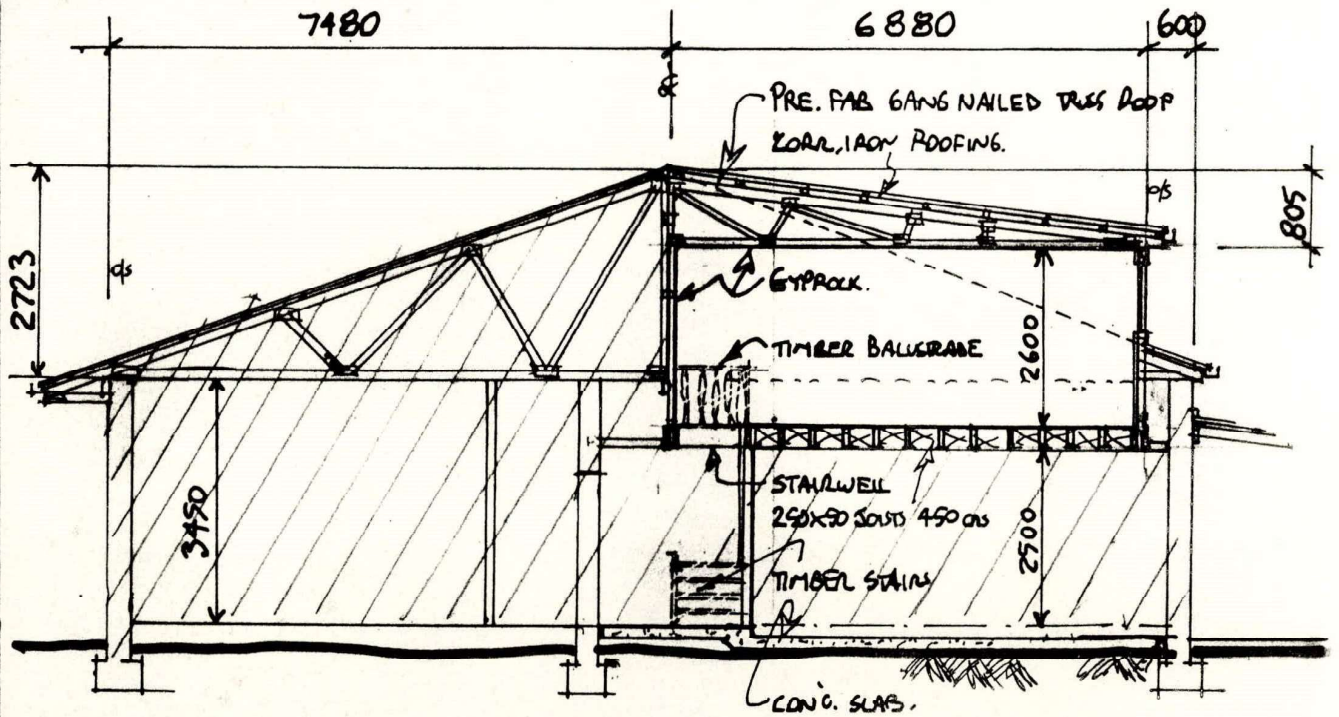
TOP FLOOR JOIST LAYOUT

1:100

AMENDED PLAN. 17-3-87.

A.H.C.

AMENDED PLAN. 26-2-87  
LOT 5 LINKS ROAD ST. MARKS  
OFFICE BUILDING.



SECTION CC

SPECIFICATION

AMENDED PLANS

SCOPE OF WORK Generally, allowance shall be made for the construction of top floor general office areas with amenities, over existing amenities, lunch room and tea room.

WALLS 100x50 stud. frame ogn. 2 rows noggings with galvanized steel, angle bracing, gyprock lined internally ~~arch~~ AND insulated; weatherboard lined externally.  
150x100 lintel over 1.5m windows.

WINDOWS <sup>CEDAR</sup> ~~Cedar~~ framed - allow for 1500x900 double hung (site check before ordering).

FLOOR 250x50 joists @ 450crs, solid blocking as indicated on plan - ogn.  
18m structural ply flooring

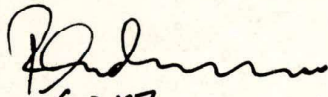
STAIRS Allow for hardwood. Treads 270mm plus 15mm nosing.  
Rises 173mm.

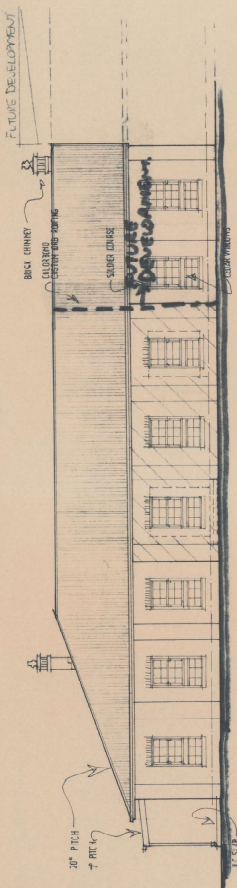
|           |   |          |
|-----------|---|----------|
| Stringers | - | 250 x 38 |
| Treads    | - | 285 x 38 |
| Risers    | - | 173 x 25 |

ROOFING Pre-fabricated gang nailed timber trasses @ 600crs  
Corrigated iron.  
75mm mineral wall insulation.  
Ceiling shall be gyprock lined.

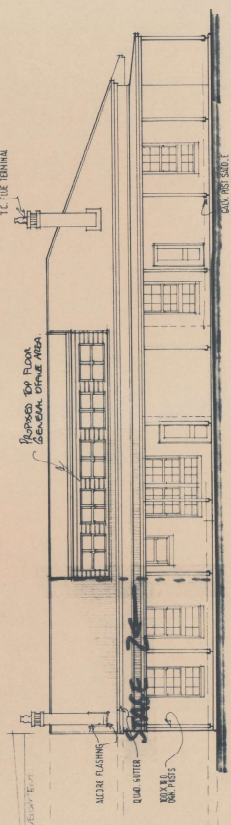
ELECTRICAL To SAA codes and as directed by proprietor

OTHER Do all other work necessary to complete the works.

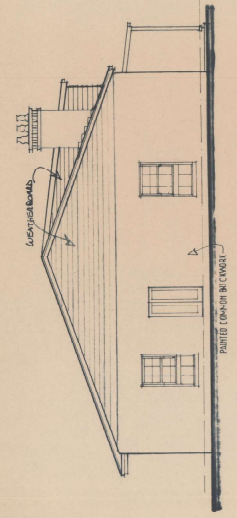
  
26.287.



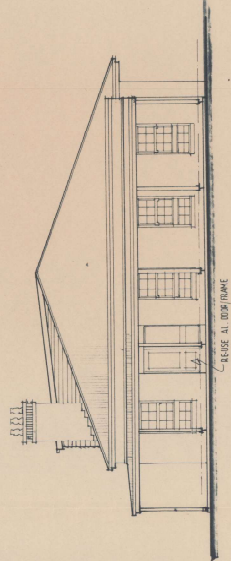
**SIDE 1**



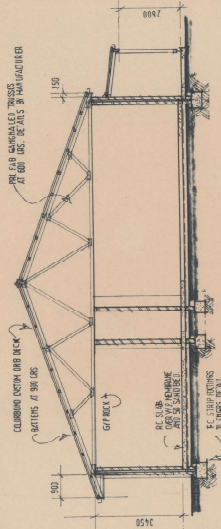
**SIDE 2**



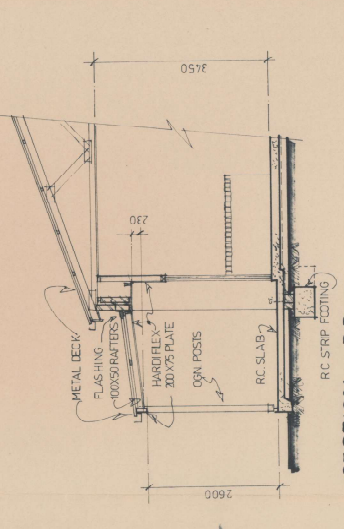
**SIDE 3**



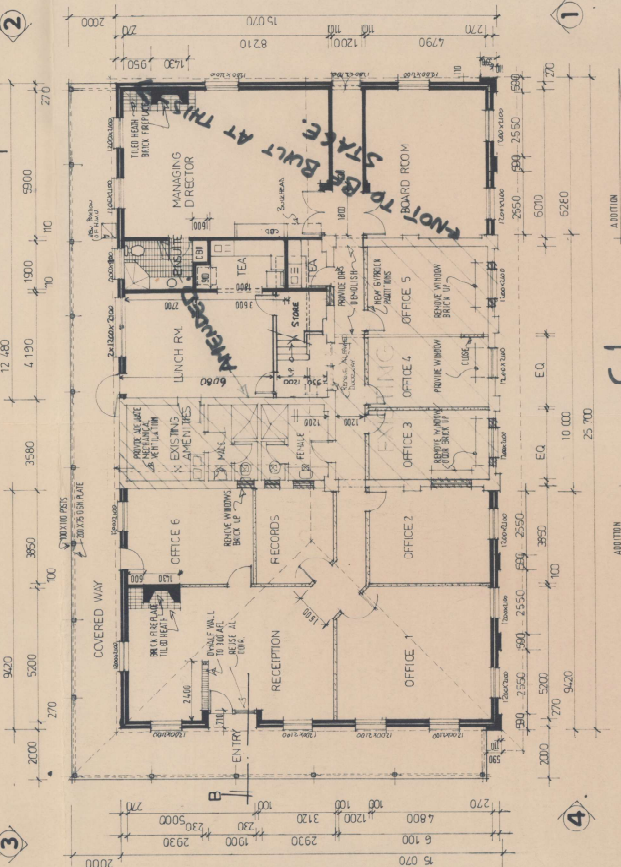
**SIDE 4**



**SECTION AA**

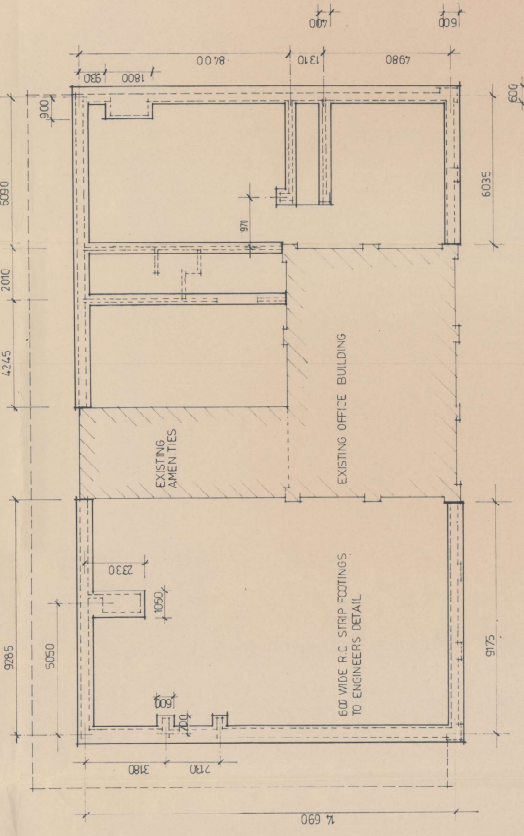


**SECTION BB**  
scale 1:50



**FLOOR PLAN**  
scale 1:100  
dim in mm

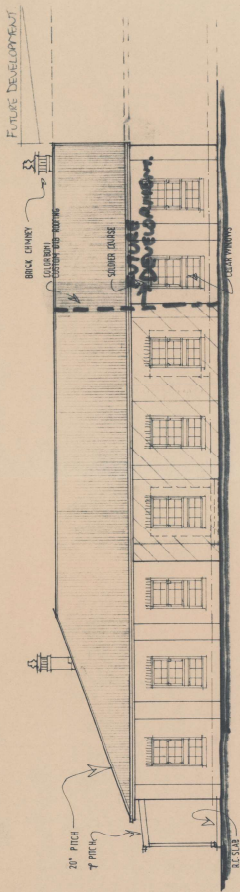
NOTE: REPOSITION ELECTRICITY METERS TO COMPLY WITH THE REQUIREMENTS OF THE SUPPLY AUTHORITY. RELOCATE AIR CONDITIONING UNIT TO REAR OF BUILDING AS REQD.



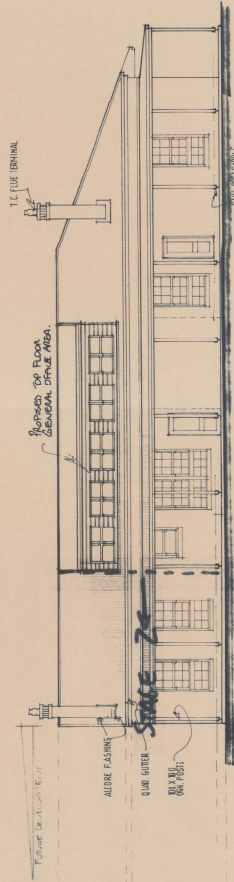
**FOOTING PLAN**

**AMENED PLAN**  
26-2-87  
ALIGN FOR TOP FLOOR OFFICE SPACE OVER AREN TIES AREA

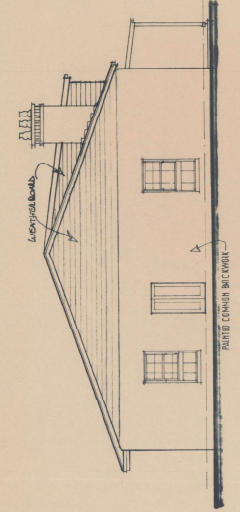
|   |                |              |
|---|----------------|--------------|
| PLANS SECTIONS ELEVATIONS   | DATE: 11/01/87 | SCALE: 1:100 |
|   | BY: A.H.       | BY: A.H.     |
| <b>ALBERT HUNT CONSTRUCTIONS</b><br>Professional Constructors<br>673 4894               |                |              |
| <b>PROPOSED ADDITIONS/ALTERATIONS TO EXISTING BRICK OFFICE BUILDING &amp; AMENITIES</b> |                |              |
| AT LOT 5 N <sup>o</sup> 74 LINKS ROAD<br>ST. MARYS PENRITH<br>FOR: ALBERT HUNT GROUP    |                |              |



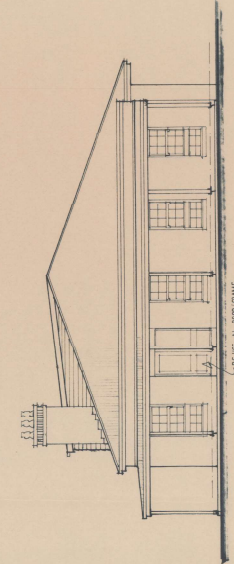
**SIDE 1**



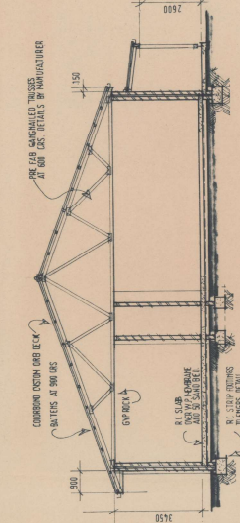
**SIDE 2**



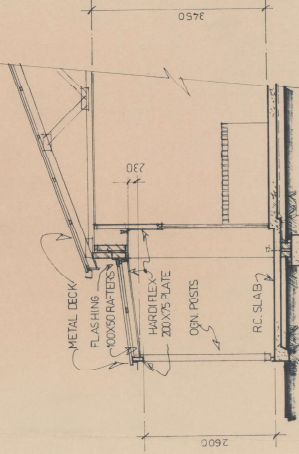
**SIDE 3**



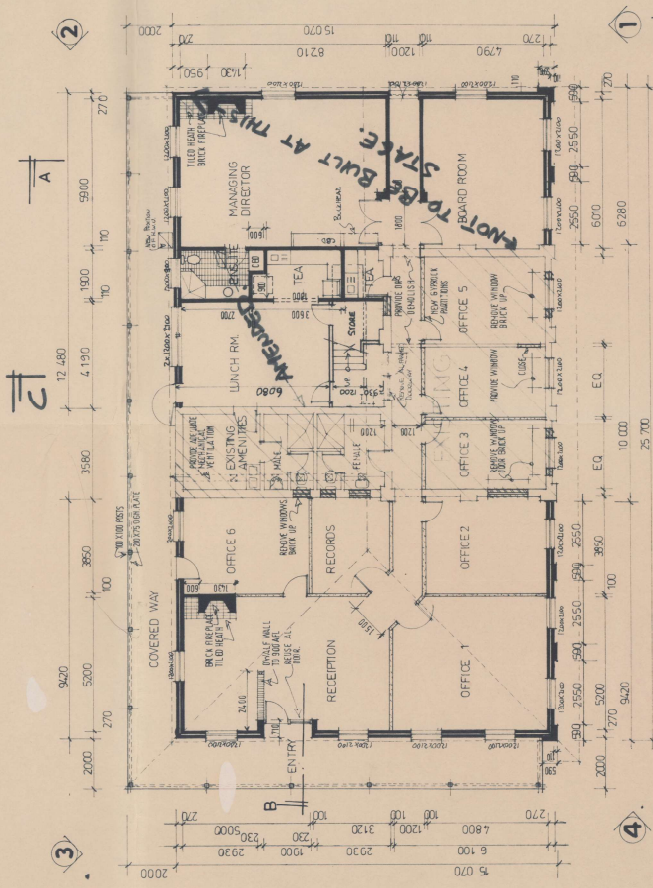
**SIDE 4**



**SECTION AA**

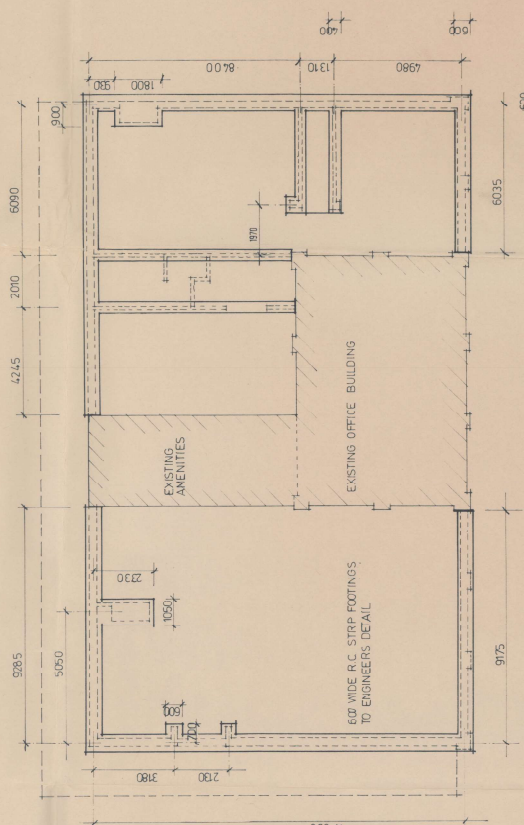


**SECTION BB**  
scale 1:50



**FLOOR PLAN**  
scale 1:100  
dim in mm

NOTE: REPOSITION ELECTRICITY METERS TO REQUIREMENTS  
A COMMENT LOCATION TO THE REQUIREMENTS  
OF THE SUPPLY AUTHORITY  
RELOCATE AIR CONDITIONING UNIT TO REAR  
OF BUILDING AS REQD

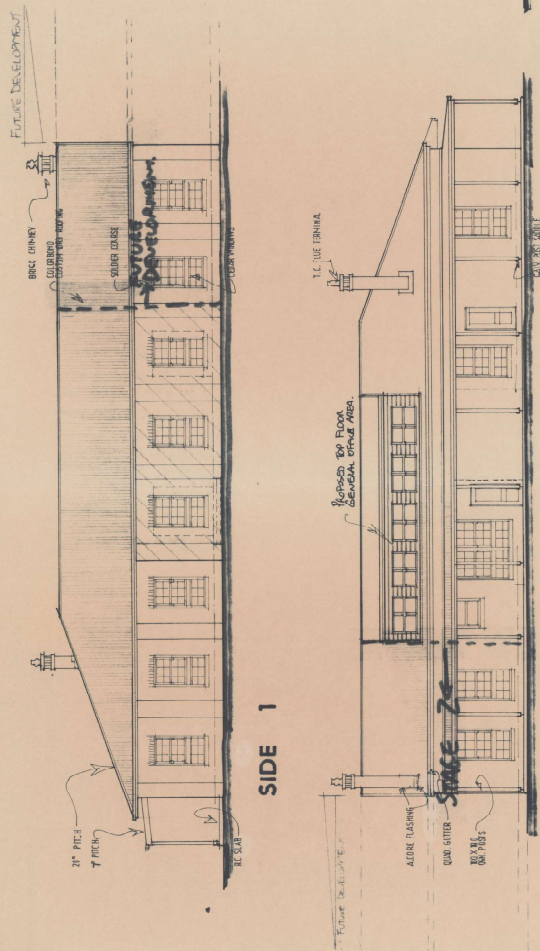


**FOOTING PLAN**

**AMENITIES PLAN**  
26-2-87  
ALUMINUM FINISHING  
GENERAL AREA

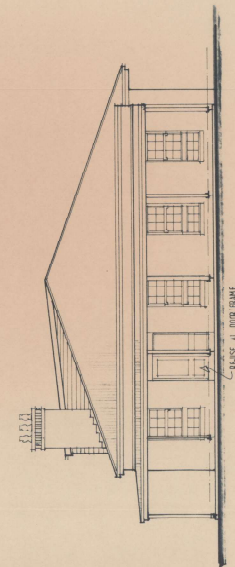
|                           |      |       |      |
|---------------------------|------|-------|------|
| PLANS SECTIONS ELEVATIONS | DATE | SCALE | NO.  |
|                           | 1/87 | 1:100 | 1/10 |
|                           | 1/87 | 1:100 | 1/10 |
|                           | 1/87 | 1:100 | 1/10 |

**ALBERT HUNT CONSTRUCTIONS**  
PROPOSED ADDITIONS/ALTERATIONS TO EXISTING BRICK OFFICE BUILDING & ANENITIES  
AT LOTS 74 & 75 LINKS ROAD ST. MARYS PEVRITH FOR ALBERT HUNT GROUP



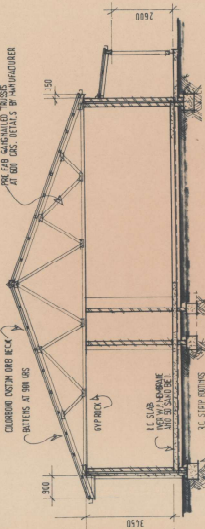
**SIDE 1**

**SIDE 2**

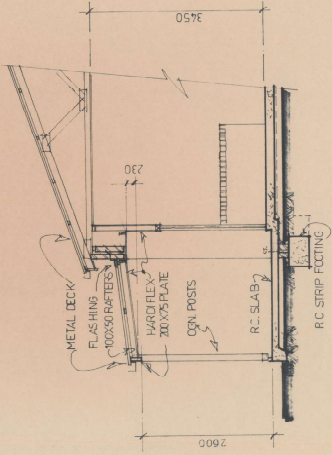


**SIDE 3**

**SIDE 4**

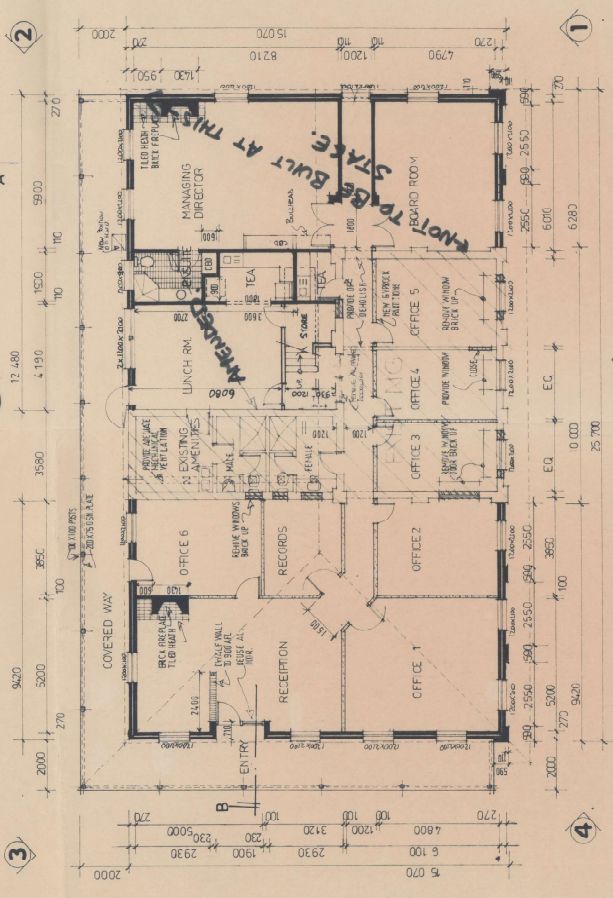


**SECTION AA**



**SECTION BB**

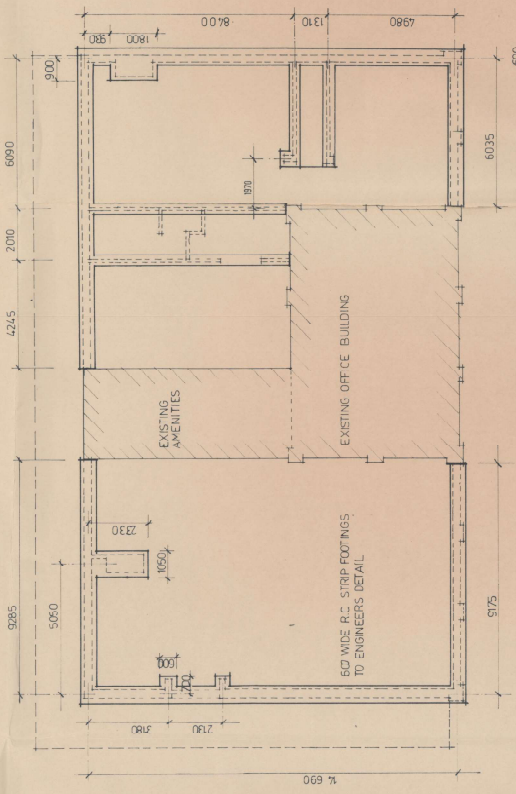
scale 1:50



**FLOOR PLAN**

Scale 1:100  
dim in m/m

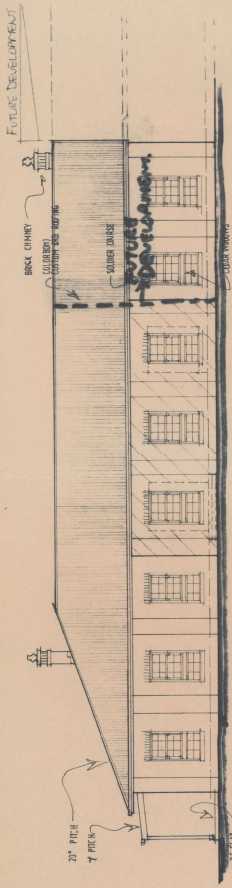
NOTE: REPOSITION ELECTRICITY METERS TO ADJACENT LOCATION TO THE REQUIREMENTS OF THE SUPPLY AUTHORITY. RELOCATE AIR CONDITIONING UNIT TO BL4R OF BUILDING AS NOTED.



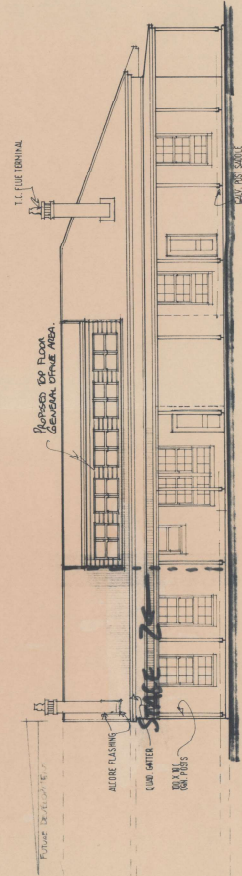
**FOOTING PLAN**

**ANNEX PLAN**  
26-2-87  
ALLOW FOR 10% PLANT OFFICE SPACE  
OVER AMENITIES AREA

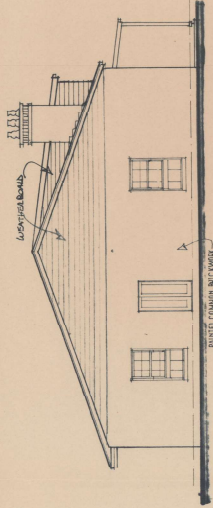
|   |             |            |
|---|-------------|------------|
| PLANS SECTIONS ELEVATIONS   | DATE JAN 87 | SCALE 1:50 |
|   |             |            |
| <b>PROPOSED ADDITIONS/ALTERATIONS TO EXISTING BRICK OFFICE BUILDING &amp; AMENITIES</b> |             |            |
| AT LOTS 1 & 74 LINKS ROAD ST. MARYS PENRITH FOR ALBERT HUNT GROUP                       |             |            |



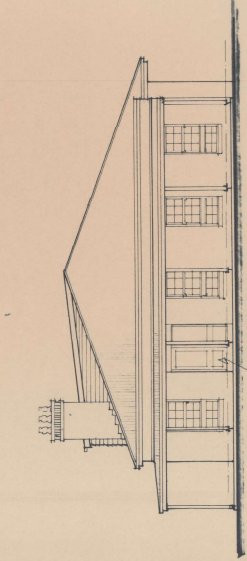
**SIDE 1**



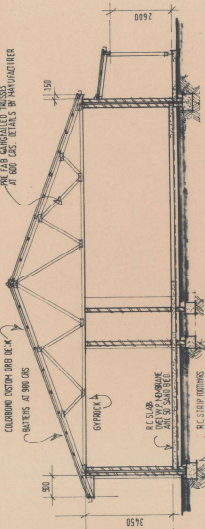
**SIDE 2**



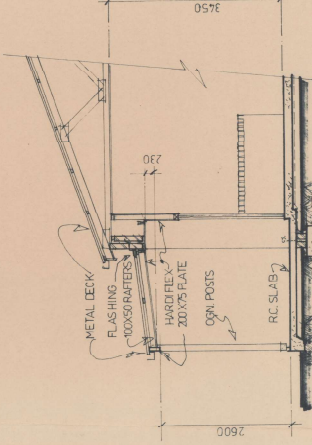
**SIDE 3**



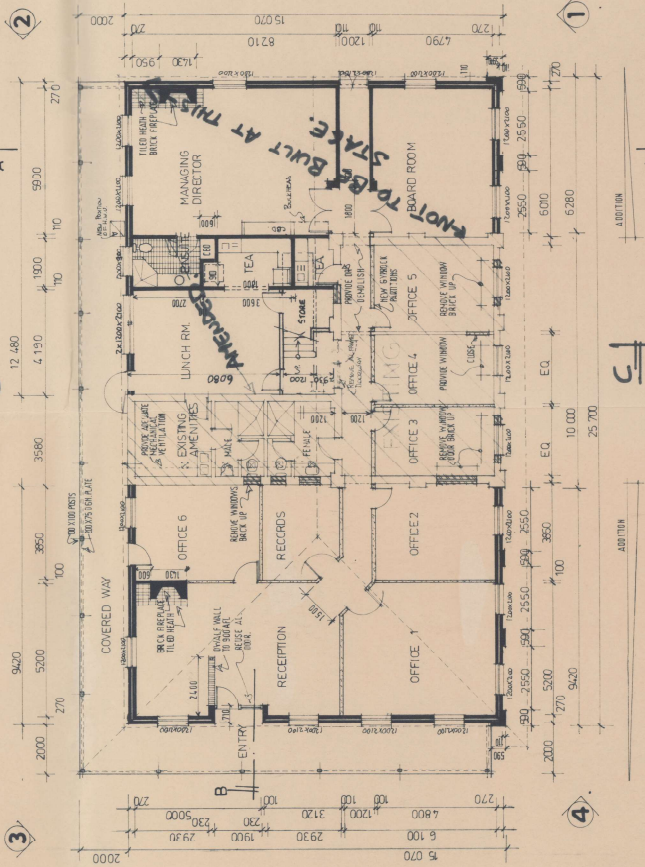
**SIDE 4**



**SECTION AA**

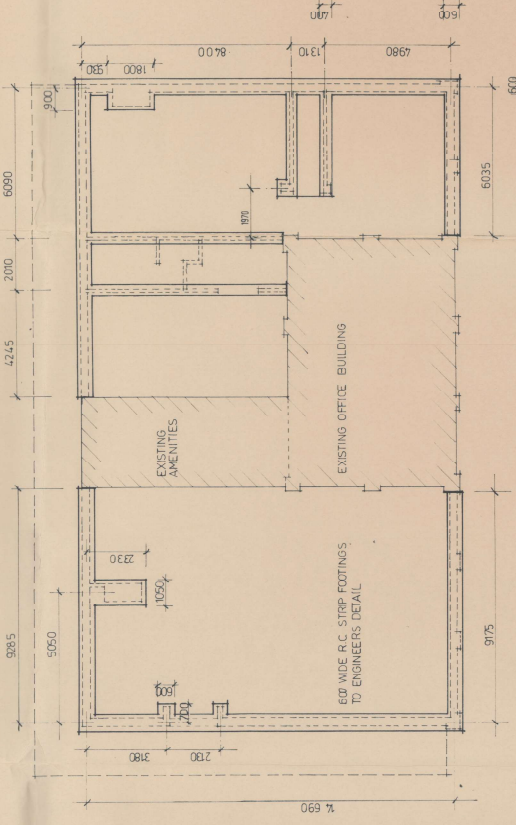


**SECTION BB**



**FLOOR PLAN**

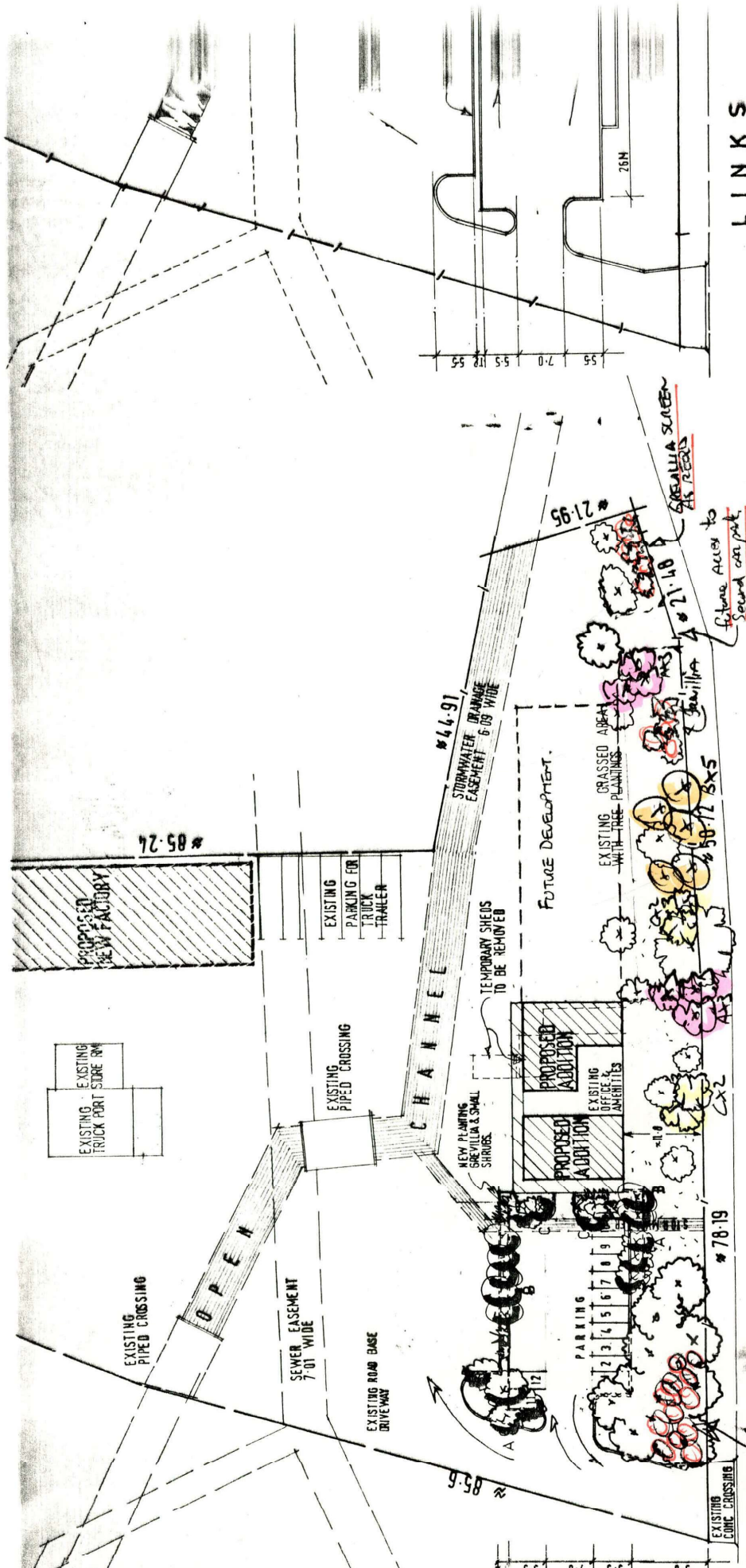
Scale: 1:100  
dim in mm



**FOOTING PLAN**

**APPROVED PLAN**  
26-2-87  
ALLOW FOR TOP FLOOR OFFICE SPACE OVER AMENITIES AREA.

|  |      |     |          |
|--|------|-----|----------|
| PLANS SECTIONS ELEVATIONS  | DATE | NO. | REVISION |
|  | 1/87 | 1   | AT       |
|  | 2/87 | 2   | AT       |
|  | 3/87 | 3   | AT       |
| <b>ALBERT HUNT CONSTRUCTIONS</b><br>Farmwork Contractors                             |      |     |          |
| 873, 499A  |      |     |          |
| PROPOSED ADDITIONS/ALTERATIONS<br>TO EXISTING BRICK OFFICE BUILDING<br>& AMENITIES   |      |     |          |
| AT LOT 5 N <sup>o</sup> 74 LINKS ROAD<br>ST. MARYS PENRITH<br>FOR: ALBERT HUNT GROUP |      |     |          |



LINKS

note:  
All stormwater drainage to channel.

| Landscaping |                        |
|-------------|------------------------|
| Type        | Species                |
| A           | EUCALYPTUS SCORPARIA   |
| B           | LEPTOSPERMUM PETERSONI |
| C           | ACACIA WATTLE          |
|             | GREVILLEA BANKSIA      |
|             | GREVILLEA HOOKERIANA   |
|             | MULCH GROUND COVER     |

PENRITH CITY COUNCIL  
ISSUED IN CONJUNCTION  
WITH BUILDING PERMIT  
No. 9511

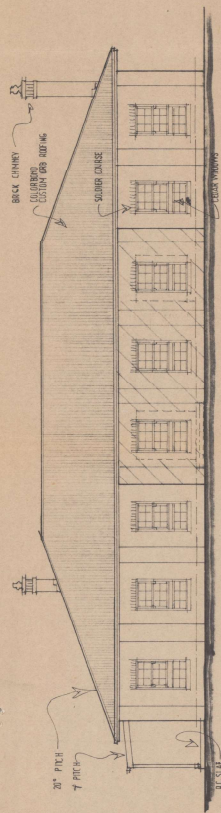
**SITE PLAN**  
scale 1:500  
dimensions in metres  
landscape details.

AMENDED LANDSCAPE PLAN  
17-2-87  
RON. CARDINA.

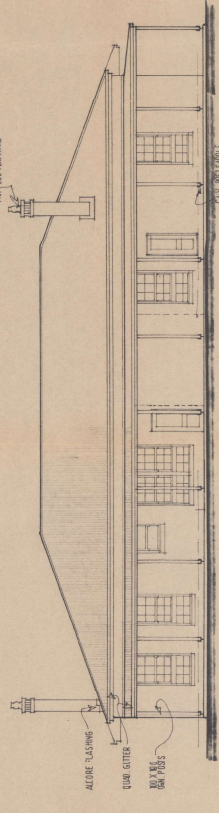
**SITE PLAN**  
Stormwater drainage  
scale 1:500

ALBERT HUNT FARMWORK  
LOT 5 LINKS RD  
ST. MARYS

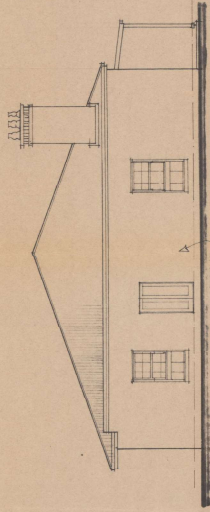




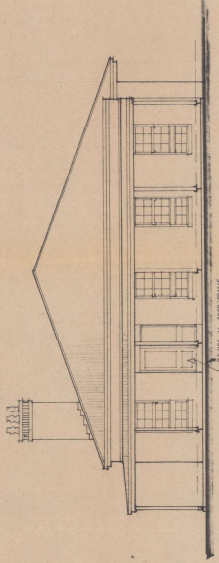
SIDE 1



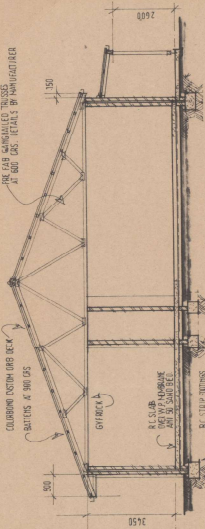
SIDE 3



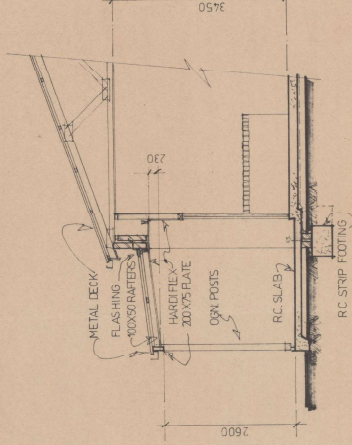
SIDE 2



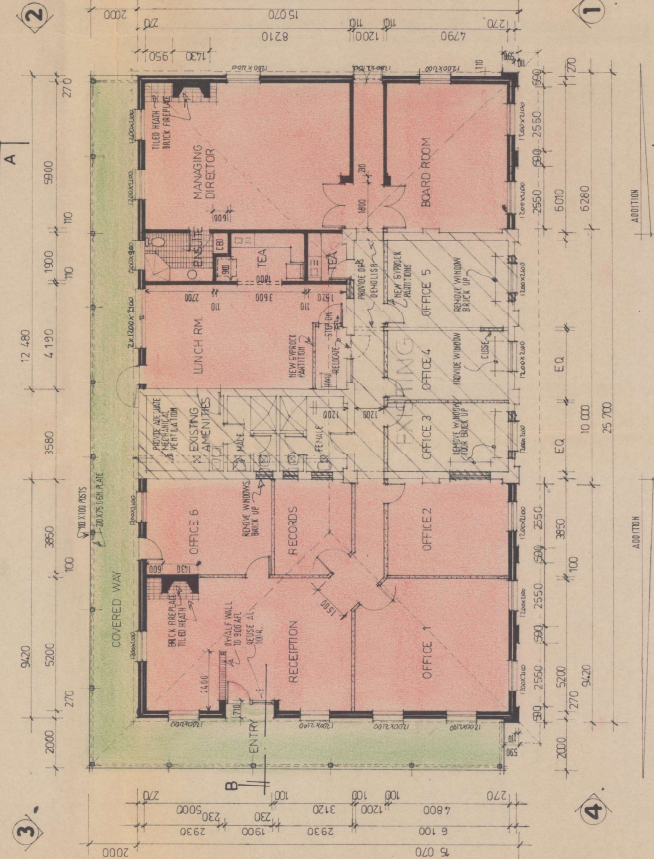
SIDE 4



SECTION AA

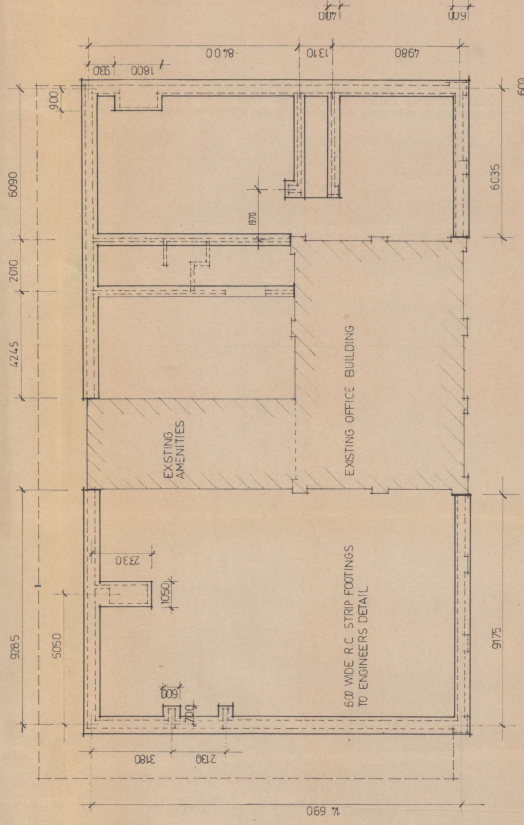


SECTION BB  
Scale 1:50



FLOOR PLAN  
Scale 1:100  
dim in mm

NOTE: REPOSITION ELECTRICITY METERS TO A CONVENIENT LOCATION TO THE REQUIREMENTS OF THE SUPPLY AUTHORITY. RELOCATE AIR CONDITIONING UNIT TO REAR OF BUILDING AS REQD.



FOOTING PLAN

PLANS SECTIONS ELEVATIONS  
 Ref: AN87/10  
 Ref: AN87/11  
 Ref: AN87/12  
 Ref: AN87/13

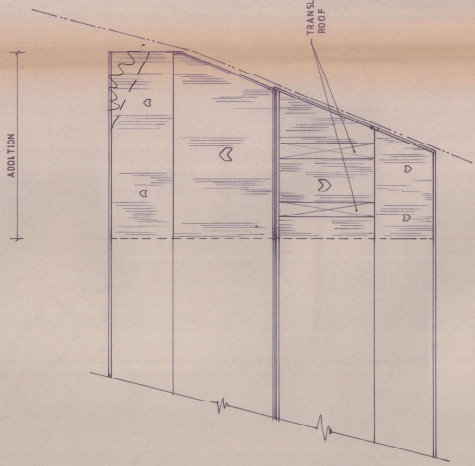
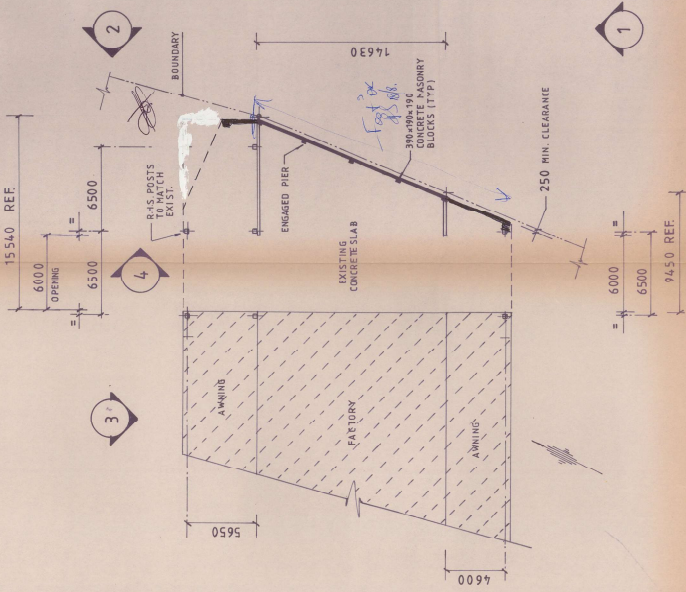
**ALBERT HUNT CONSTRUCTIONS**  
 Commercial Contractors  
 673 J.9.94.

PROPOSED ADDITIONS/ALTERATIONS  
 TO EXISTING BRICK OFFICE BUILDING  
 & AMENITIES  
 AT  
 LOT 5 1/2 LINKS ROAD  
 ST. MARK'S  
 PENRITH  
 FOR: ALBERT HUNT GROUP

PENRITH CITY COUNCIL  
 State of New South Wales  
 2017

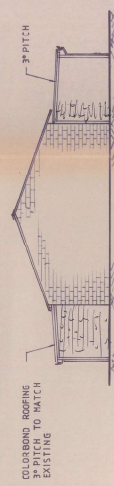
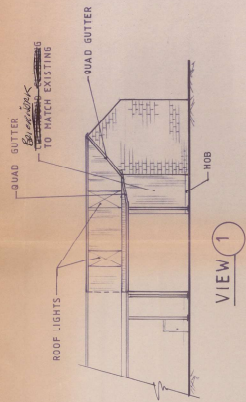




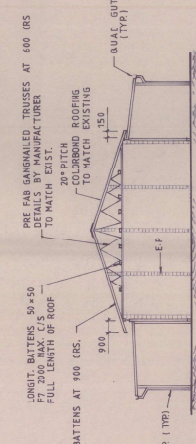
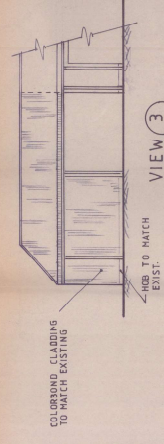


**ROOF PLAN**

**PLAN**



**VIEW 3**

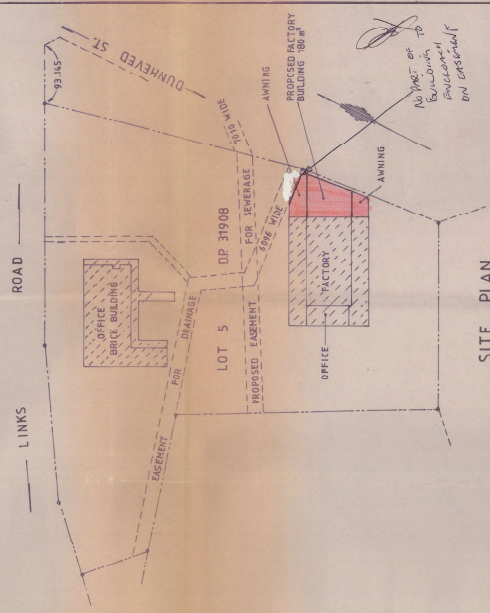


**SECT. VIEW 4**

**VIEW 2**

**GENERAL NOTE:**

- ALL WORK IS TO BE IN ACCORDANCE WITH ORDINANCE NO. 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
- ALL DIMENSIONS IN MILLIMETRES, U.O.S.
- DIMENSIONS NOT TO BE SCALE DRAWING.
- SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE BUILDER AND SHALL BE HIS RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND ALL RELEVANT BODIES BEFORE COMMENCING ANY WORK.
- ALL MATERIALS TO BE USED SHALL BE OF THE HIGHEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
- ANY WORK ORDERED OUT ON SUBCONTRACT SHALL BE SUBJECT TO THE SAME CONDITIONS AND CHALLENGE AS THE MAIN CONTRACT.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE LOCAL AUTHORITY.



**NOTE:** THIS DRAWING TO BE READ IN CONJUNCTION WITH DRG. N° HUNT-031 STRUCTURAL PLANS AND DETAILS

**PENRITH CITY COUNCIL**  
2179  
Approved as part of Building Form 100 Development Application for completion of a new structure and site. Conditions may apply on the form and site plan.  
Approved by the Council on 11/11/19  
11/11/19

|  |                      |  |                          |
|--|----------------------|--|--------------------------|
| <b>Shavar Pty. Ltd.</b>  |                      | 10 MARSDEN ROAD, JARVISVILLE, NEW SOUTH WALES, AUSTRALIA<br>P.O. BOX 100, JARVISVILLE, NSW 2179<br>TELEPHONE (02) 9871 4218 FAX (02) 9871 4218 |                          |
| Let us help you with your drafting, design and engineering needs |                      | DATE: 21.7.19  | SCALE: 1:800 1:800       |
| DRAWN: V.B.  | CHECKED: [Signature] | APPROVED: [Signature]  | REV: 0                   |
| <b>TITLE: PROPOSED FACTORY BUILDING PLANS AND ELEVATIONS</b>     |                      |  | <b>DRG. N°: HUNT-030</b> |
| AT LOT 5, N° 74, LINKS ROAD, ST. MARYS                           |                      |  | Sheet 1 of 2 Sheets      |
| FOR: A. BERT HUNT GROUP  |                      |  |                          |



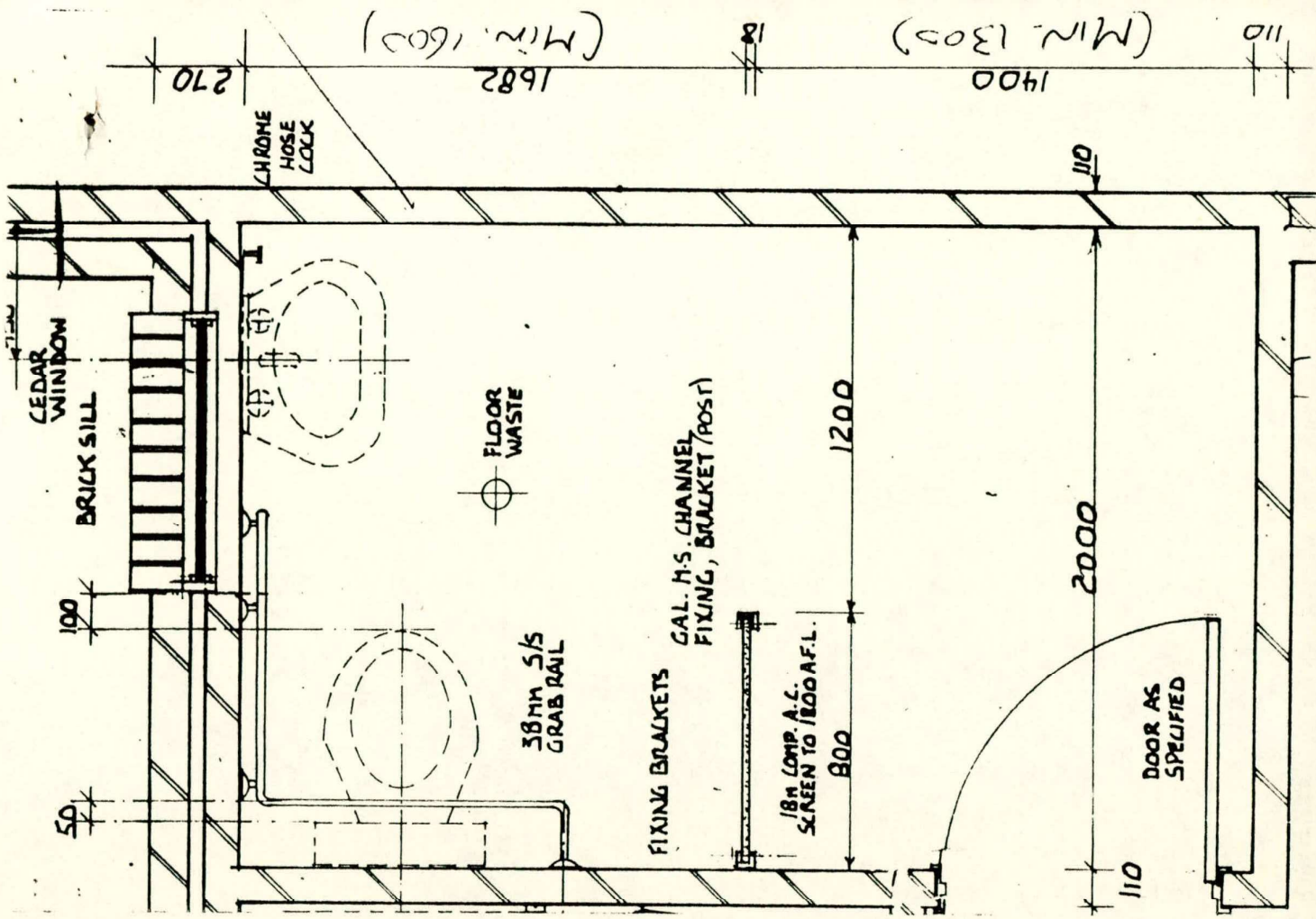
FACILITIES FOR THE DISABLED  
TOILET ACCOMADATION

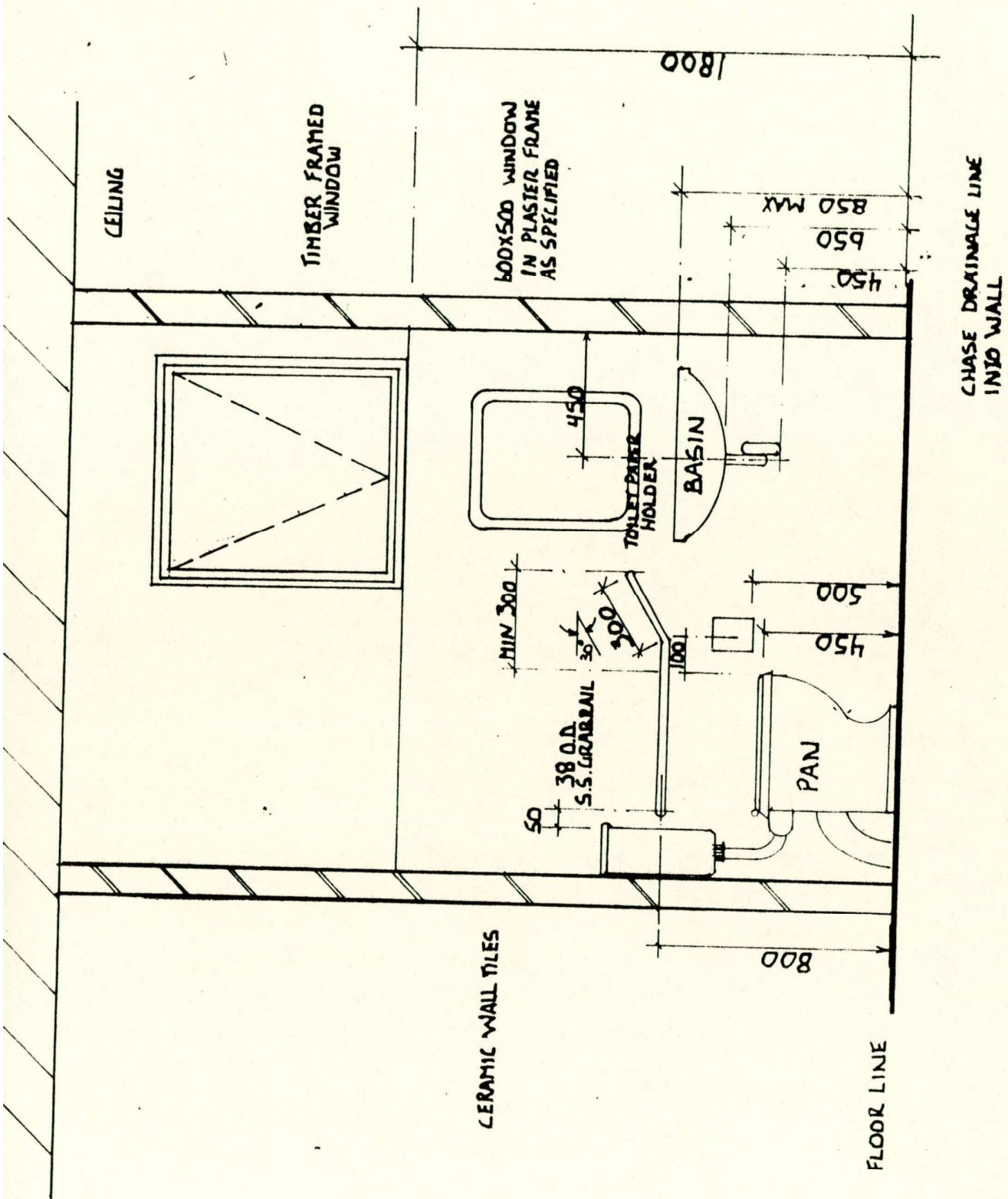
NOTE: LAYOUT & FITTINGS SUBJECT TO COUNCIL APPROVAL.

GRAB RAIL DETAILS.

**TYPICAL LAYOUT.**

REFER TO WORKING DRAWINGS  
FOR REQUIRED LAYOUT & DIMENSIONS.





**CROSS SECTION**  
 SCALE 1:20



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750 Telephone: (047) 32 2422 (C.D.E. 8017, Penrith)

YOUR REF:

OUR REF: 011016  
CONTACT: MR D. VRH

BUILDING PERMIT  
-----

PERMIT NO: 11016  
REF:

ISSUED TO: THE ALBERT HUNT GROUP  
74 LINKS ROAD  
ST. MARYS 2760

OF  
  
IN RESPECT OF

LOT NO: 4/5 D.P: 31908 HOUSE NO: 0000 STREET: LINKS RD  
LOCALITY: ST. MARYS

<-----OWNER'S NAME AND ADDRESS----->

THE ALBERT HUNT GROUP  
74 LINKS ROAD  
ST. MARYS 2760

<-----BUILDER'S NAME AND ADDRESS----->

THE ALBERT HUNT GROUP  
74 LINKS ROAD  
ST. MARYS 2760

APPROVED SUBJECT TO COMPLIANCE WITH THE LOCAL GOVERNMENT ACT, RELEVANT ORDINANCES ISSUED THEREUNDER AND CONDITIONS NUMBERED; 14, 16, 18, 20, 24, 136, 172, 173, 176, 180, 194, 202, 234, 274, 286, 338, 501, 502, 503, 504, 505, 506, 507, 508, 620, 651, 652, 804, 808, 816, 820, 901,

HEREUNDER FOR THE ERECTION OF  
A INDUSTRIAL/FACTORY - STEEL PORTAL FRAME, FOR THE VALUE OF \$75000.

THIS APPROVAL LAPSES ON THE EXPIRATION OF 12 MONTHS AFTER THE DATE HEREOF.

ATTENTION IS DRAWN TO THE PROVISIONS OF SECTION/S 317L (AND 288C IN REGARD TO FENCING OF SWIMMING POOLS) OF THE LOCAL GOVERNMENT ACT, 1919, AS AMENDED, GIVING A RIGHT OF APPEAL AGAINST THE DECISION OF COUNCIL. APPEAL FORMS ARE AVAILABLE AT COUNCIL'S OFFICE.

DATE: 19/6/87

SIGNED: P.J. ANSOUL, per: *[Signature]*  
(HEALTH AND BUILDING SERVICES MANAGER)

DATE: / /

SIGNED: *[Signature]*  
(PERSON COLLECTING PLANS)

CONDITIONS:  
-----

14. THAT 48 HOURS' NOTICE IN WRITING BE GIVEN TO COUNCIL FOR INSPECTION:-
  - (A) OF TRENCHES BEFORE FOOTINGS ARE LAID;
  - (B) OF FOOTINGS BEFORE TRENCHES ARE FILLED;
  - (C) WHEN THE BUILDING HAS BEEN ERECTED TO FLOOR LEVEL AND DAMPCOURSES ARE LAID;
  - (D) OF FLASHING AND DAMP-PROOFING OF WET AREAS (VIZ. BATHROOMS, LAUNDRIES, ENSUITES AND W.C.) PRIOR TO CLADDING.

CONTINUED....



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 2422

(C.D.E. 8017, Penrith)

APPLICATION NO: 011016

PERMIT NO: 011016

FOLIO NO: 2

- (E) WHEN STEEL FOR REINFORCED STRUCTURAL CONCRETE WORK IS IN POSITION PRIOR TO POURING OF CONCRETE;
  - (F) WHEN THE BUILDING HAS BEEN ERECTED TO ROOF FRAMING;
  - (G) OF DRAINS BEFORE THEY ARE COVERED IN; AND
  - (H) WHEN THE BUILDING IS COMPLETED AND READY FOR OCCUPATION.
16. BUILDING SHALL NOT BE USED OR OCCUPIED UNTIL APPROVAL IS GRANTED BY COUNCIL.
18. STAMPED PLANS, SPECIFICATION AND PERMIT SHALL BE KEPT ON SITE AT ALL TIMES.
20. APPROVED IN COMPLIANCE WITH THE CONDITIONS OF THE METROPOLITAN WATER, SEWERAGE AND DRAINAGE BOARD AS STAMPED ON PLANS.
24. A SPECIAL INSPECTION BY THE WATER BOARD SHALL BE OBTAINED ON ALL INTERNAL/EXTERNAL DRAINAGE.
136. DETAILS PREPARED BY AN APPROVED PRACTISING STRUCTURAL ENGINEER SHALL BE SUBMITTED FOR ALL STRUCTURAL CONCRETE AND STEEL WORK FOR COUNCIL'S CONSIDERATION AND APPROVAL PRIOR TO COMMENCEMENT OF THE WORK.
- \* 172. HOSE REELS SHALL BE DESIGNED AND INSTALLED WITHIN THE BUILDING IN ACCORDANCE WITH THE RELEVANT CLAUSES OF PART 27 OF ORDINANCE 70. THE REQUIRED HOSE REELS SHALL NOT BE INSTALLED IN THE BUILDING UNTIL A REPORT ISSUED BY THE BOARD OF FIRE COMMISSIONERS IN ACCORDANCE WITH PART 27 OF ORDINANCE 70 HAS BEEN SUBMITTED TO COUNCIL.
173. NO PART OF THE BUILDING SHALL BE MORE THAN 90M FROM A HYDRANT SITUATED:  
(A) IN THE ROAD TO WHICH THE SITE HAS FRONTAGE, OR  
\* (B) IN THE BUILDING, OR  
(C) WITHIN THE SITE, BUT EXTERNAL TO THE BUILDING  
DETAILS INCLUDING DESIGN CRITERIA OF THE PROPOSED METHOD OF COMPLYING WITH THIS CONDITION SHALL BE SUBMITTED AND APPROVED PRIOR TO COMMENCEMENT OF THE INSTALLATION OF ANY PLUMBING SERVICES.
176. DETAILS OF CONNECTION TO THE WATER SUPPLY AUTHORITY'S MAIN, PIPE WORK INCLUDING JUNCTIONS, BENDS, VALVES, PUMPS AND THE LIKE, AND TYPE OF HOSE REEL AND/OR HYDRANT SHALL BE SUBMITTED AND APPROVED BY COUNCIL PRIOR TO COMMENCEMENT OF INSTALLATIONS.
180. SATISFACTORY ARRANGEMENTS SHALL BE MADE WITH THE COUNCIL'S HEALTH AND BUILDING SURVEYOR FOR AN INSPECTION OF ALL PIPEWORK: INCLUDING CONNECTIONS, BENDS, VALVES AND ANCILLIARY EQUIPMENT PRIOR TO BACKFILLING, ENCLOSING OR ENCASEMENT OF PIPES.
194. THE SMOKE DEVELOPED, SPREAD OF FLAME AND FLAMMABILITY INDEXES OF THE SARKING AND BUILDING MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT CLAUSES OF PART 16 OF ORDINANCE 70. DETAILS OF THE EARLY FIRE HAZARD PROPERTIES OF THE SARKING AND BUILDING MATERIALS SHALL BE

CONTINUED....



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 2422

(C.D.E. 8017, Penrith)

APPLICATION NO: 011016

PERMIT NO: 011016

FOLIO NO: 3

SUBMITTED TO THE H/B SERVICES MANAGER FOR CONSIDERATION & APPROVAL PRIOR TO INSTALLATION OF THE MATERIALS.

202. ALL REQUIRED EXIT DOORS OR DOORS FORMING PART OF A REQUIRED EXIT SHALL BE READILY OPENABLE WITHOUT A KEY AND BY A SINGLE HANDED ACTION FROM THE SIDE THAT WOULD FACE ANY PERSON SEEKING EGRESS FROM THE BUILDING. ✓
234. REQUIRED DOORWAYS SHALL HAVE A CLEAR OPENING OF NOT LESS THAN 1980MM IN HEIGHT AND 760MM IN WIDTH. EVERY EXIT AND PATH OF TRAVEL TO AN EXIT SHALL, EXCEPT FOR DOORWAYS, HAVE A MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE THROUGHOUT OF 2030MM AND A MINIMUM UNOBSTRUCTED WIDTH THROUGHOUT OF 1020MM. ✓
274. THE APPLICANT SHOULD CONSULT WITH THE DEPARTMENT OF INDUSTRIAL RELATIONS CONCERNING ANY REQUIREMENTS THAT AUTHORITY MAY WISH TO IMPOSE. ✓
286. THE BUILDING SHALL BE COMPLETED IN ALL RESPECTS AND A CERTIFICATE OF CLASSIFICATION SHALL BE ISSUED BY COUNCIL'S H/B SURVEYOR PRIOR TO OCCUPATION OF ANY PART OF THE BUILDING. \*
338. ACCESS AND FACILITIES FOR THE DISABLED SHALL BE PROVIDED IN ACCORDANCE WITH THE RELEVANT CLAUSES OF PARTS 46 AND 53 AND SPECIFICATION NO. 9 OF ORDINANCE 70. *For Mem B/A for B/A To be included in condensation.*
501. PORTABLE FIRE EXTINGUISHERS HAVING AT LEAST THE PROTECTION EFFECTIVENESS OF A 5.5KG CO2 EXTINGUISHER, SHALL BE INSTALLED WITHIN THE BUILDING IN ACCORDANCE WITH THE REQUIREMENT OF PT. 27 OF ORDINANCE 70. IT WILL BE NECESSARY FOR THE APPLICANT TO CONSULT WITH THE HEALTH AND BUILDING DEPARTMENT TO DETERMINE THE LOCATION OF EXTINGUISHERS. \*
502. THE APPLICANT SHALL CONTACT THE TRADE WASTE INSPECTOR POLLUTION CONTROL SUB BRANCH, M.W.S. & D.B., LEABONS LANE, SEVEN HILLS (02 6222244) IN ORDER TO DETERMINE THE BOARD'S REQUIREMENTS FOR THE NECESSITY TO INSTALL A GREASE ARRESTOR. *collected in drums.*
503. ALL EXISTING CONCRETE SLABS AND BUILDINGS OR PARTS THEREOF TO BE USED AS PARTS OF THE WORKSHOP DEVELOPMENT SHALL BE CERTIFIED BY A PRACTISING STRUCTURAL ENGINEER AS BEING ADEQUATE TO SUPPORT ALL IMPOSED LOAD PRIOR TO THE COMMENCEMENT OF WORK. ✓
504. UNLESS OTHERWISE APPROVED, ALL FIRE HOSE REELS SHALL BE LOCATED WITHIN 3 METRES OF A REQUIRED EXIT. THE REEL SHALL NOT INTERFERE WITH THE OPERATION OF THE EXIT OR DIMINISH THE WIDTH OF THE PATH OF TRAVEL TO THE EXIT. ✓
505. EXTERNAL FINISHES OF THE PROPOSED BUILDING ARE TO MATCH OR COMPLIMENT THE APPROVED FACTORY BUILDING - B.A. 10076. IF THE LATER, SAMPLES ARE TO BE PROVIDED PRIOR TO COMMENCEMENT OF WORK.
506. SEVEN EXTRA CAR PARKING SPACES ARE TO BE PROVIDED ADJOINING SPACE NO.13

CONTINUED....



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750 Telephone: (047) 32 2422 (C.D.E. 8017, Penrith)

APPLICATION NO: 011016 PERMIT NO: 011016 FOLIO NO: 4

IN THE PARKING AREA.

507. APPROVED LANDSCAPING IS TO BE PROVIDED IN ACCORDANCE WITH APPROVED PLANS ON B.A. 10076.
508. ALL TIMBER AND STEEL FRAMEWORK IS TO BE DESIGNED BY A PRACTISING STRUCTURAL ENGINEER AND DETAILS SUBMITTED TO THE COUNCIL FOR APPROVAL PRIOR TO THE COMMENCEMENT OF WORK. IN THIS RESPECT CONNECTION DETAILS TO THE SLAB ARE ALSO TO BE DESIGNED BY THE PRACTISING STRUCTURAL ENGINEER.
620. ALL LAND REQUIRED FOR VEHICULAR ACCESS WITHIN THE SITE IS TO BE STABILISED IN A MANNER SATISFACTORY TO COUNCIL. ✓
651. THE CARPARK AND ACCESSWAY TO A POINT LEVEL WITH THE SOUTHERN BOUNDARY OF THE CARPARK IS TO BE CONCRETED OR SEALED WITH A BITUMINOUS PAVEMENT TO THE SATISFACTION OF THE CITY ENGINEER. ✓
652. THE OPEN DRAIN THROUGH THE SITE IS TO BE PIPED TO A CAPACITY TO CATER FOR THE FLOW ONTO THE SITE AT THE EASTERN BOUNDARY. PROVISION IS TO BE MADE FOR AN OVERLAND FLOWPATH OVER THE SYSTEM TO ACCOMODATE THE 1:100 YEAR EVENT. — *pipe work not yet completed.*
804. LANDSCAPED AREAS ARE TO BE MAINTAINED TO COUNCIL'S SATISFACTION AT ALL TIMES, AND ANY DIRECTION GIVEN BY COUNCIL IS TO BE GIVEN IMMEDIATE COMPLIANCE.
808. ALL SECURITY FENCING IS TO BE ESTABLISHED BEHIND THE AREAS REQUIRED TO BE LANDSCAPED AND NOT ON THE ROAD ALIGNMENTS.
816. VEHICLES MUST BE DRIVEN FORWARD ONTO AND AWAY FROM, THE SITE.
820. SEPARATE APPLICATION IS TO BE MADE FOR ALL ADVERTISING MATERIAL.

## REQUIREMENTS OF OTHER AUTHORITIES

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901. WARNING : THESE BUILDING PLANS MUST BE SUBMITTED TO THE METROPOLITAN WATER, SEWERAGE AND DRAINAGE BOARD, 140 HENRY STREET, PENRITH PHONE: 047 32 8177, AT LEAST 14 DAYS BEFORE THE COMMENCEMENT OF WORK.
- THE APPLICANT WILL NEED TO COMPLETE A BUILDING APPLICATION ON WHICH THE FOLLOWING INFORMATION IS REQUIRED:-
- 1) THE ADDRESS OF THE PROPERTY (INCLUDING LOT NO. AND DEPOSITED PLAN NO.) AND ITS LOCATION IN RELATION TO THE NEAREST CROSS-STREET. IF THESE PARTICULARS ARE NOT KNOWN, A SKETCH WILL NEED TO BE SUPPLIED.
  - 2) THE NAME AND ADDRESS OF THE OWNER AND THE BUILDER.
  - 3) THE TYPE OF BUILDING AND TYPE OF CONSTRUCTION, THE ESTIMATED COST AND THE PROBABLE DATE OF COMPLETION.
- THE PLAN AND APPLICATION WILL BE SUBMITTED ON THE FIRST FLOOR, FIRSTLY TO THE BUILDING PLAN SECTION TO ENSURE THAT THE PROPOSED STRUCTURE MEETS

CONTINUED....



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 2422

(C.D.E. 8017, Penrith)

APPLICATION NO: 011016

PERMIT NO: 011016

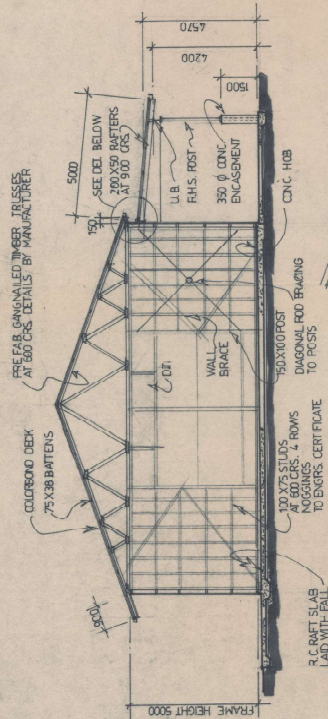
FOLIO NO: 5

WITH THE REQUIREMENTS OF THE BOARD'S BY-LAWS CONCERNING --

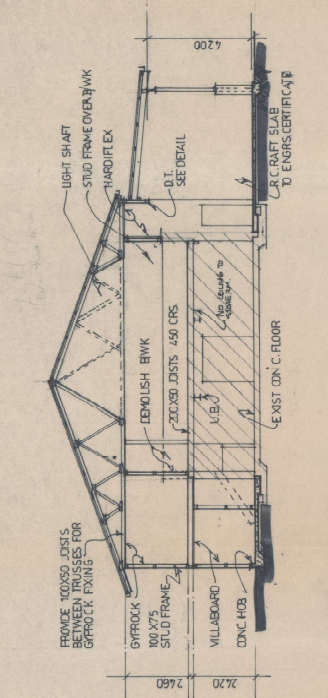
- I. LOCATION OF SANITARY FIXTURES;
- II. RELATIONSHIP OF THE BUILDING TO WATER MAINS, SEWERS AND STORMWATER CHANNELS.

AND SECONDLY, TO THE VALUATIONS SECTION FOR VALUING PURPOSES IN CONNECTION WITH SECTION 97(4) AND (7) OF THE BOARD'S ACT, AND FOR THE CALCULATION OF A BUILDING FEE IN ACCORDANCE WITH BY-LAW 7 (1) (B) OF THE BOARD'S ACT.

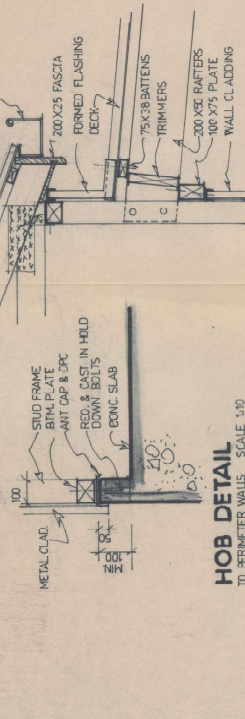
FAILURE TO SUBMIT THESE PLANS BEFORE COMMENCING WORK WILL RENDER THE OWNER LIABLE TO A PENALTY AND MAY RESULT IN THE DEMOLITION OF THE WORK AT THE BUILDERS EXPENSE.



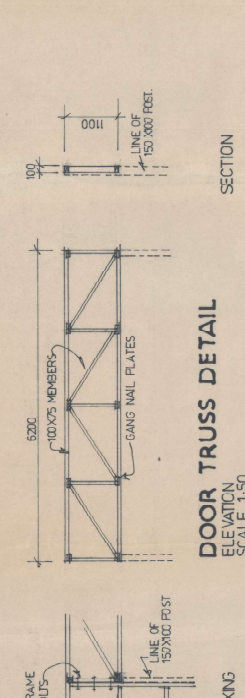
**SECTION AA**



**SECTION BB**

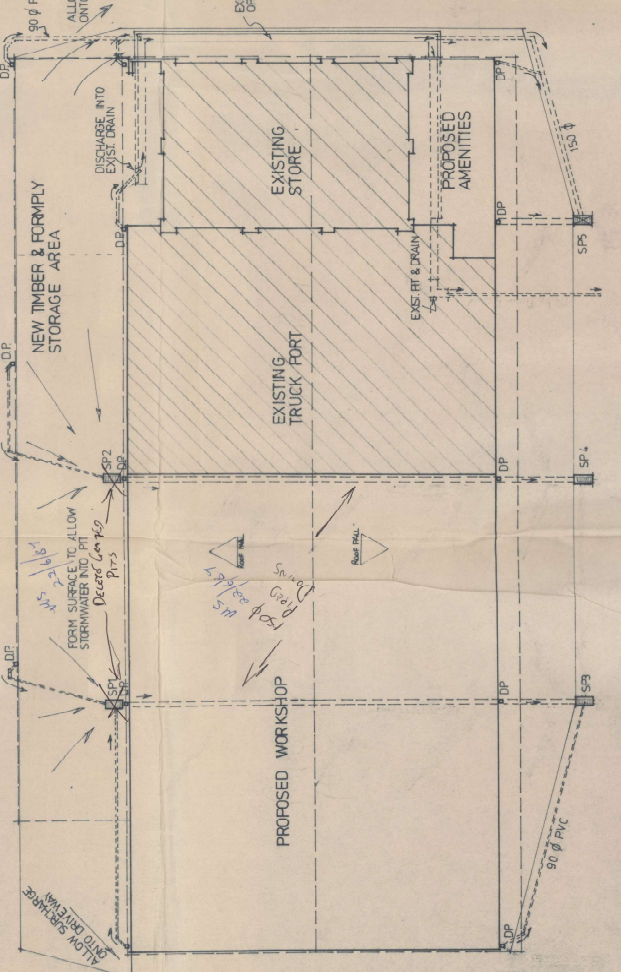


**HOB DETAIL**

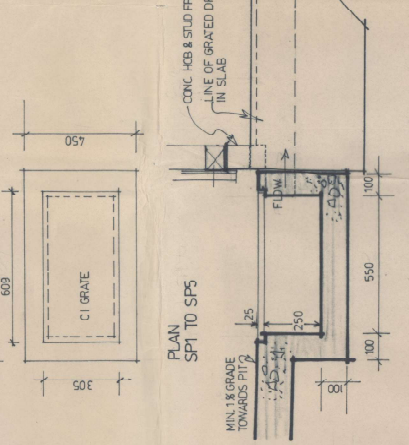


**DOOR TRUSS DETAIL**

**ELEVATION SCALE 1:50**



**DRAINAGE PLAN (stabs shown)**



**SECTION SP1, SP2**

**STORMWATER PITS**

**SCALE 1:40**

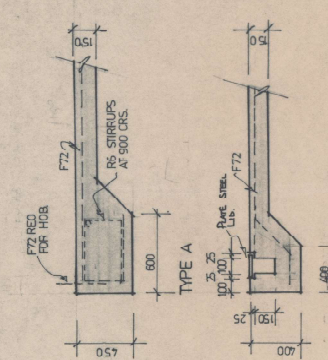
**SECTION SP3, SP4**

**AMENDED PLAN**  
DATE: ... CHECK: ...  
PENRITH CITY COUNCIL  
1778 HUNTERS ROAD  
PENRITH NSW 2150

**ALBERT HUNT CONSTRUCTIONS**  
Penrith NSW 2150  
673-4222

**PROPOSED ADDITIONS TO EXISTING STORE ROOM & TRUCK FORT COMPRISING WORKSHOP AMENITIES & STORAGE**

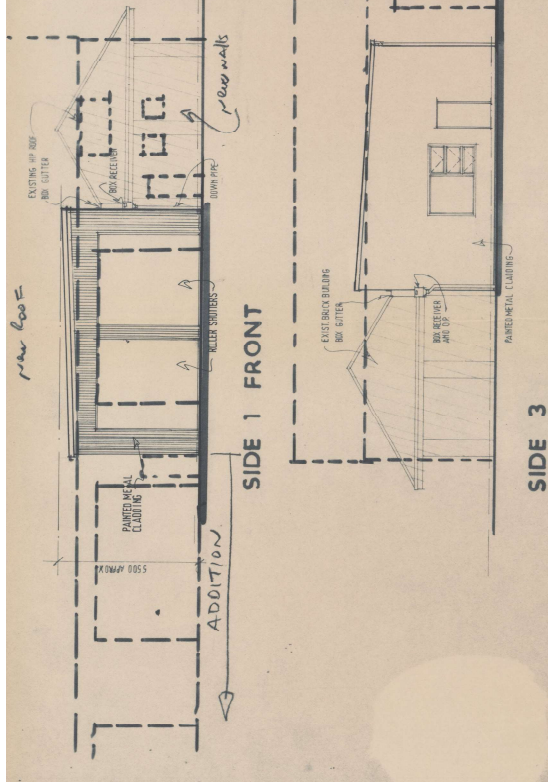
AT: LOT 5 N874 LINKS ROAD  
PENRITH  
FOR: ALBERT HUNT GROUP



**FOOTING DETAILS**

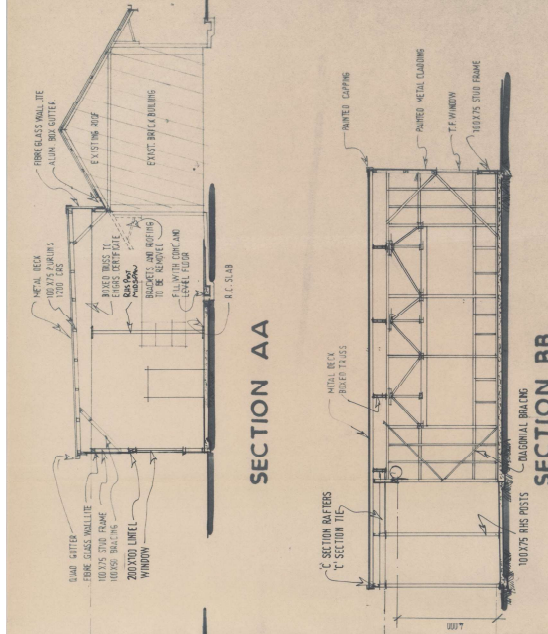
**SCALE 1:20**

**TO ENGRS. CERTIFICATE**



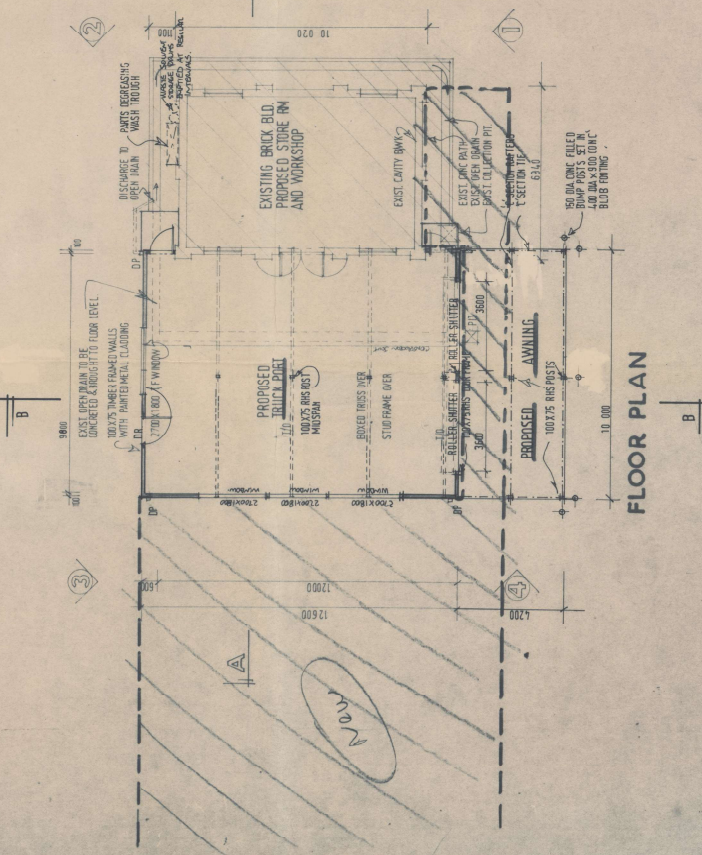
SIDE 1 FRONT

SIDE 2

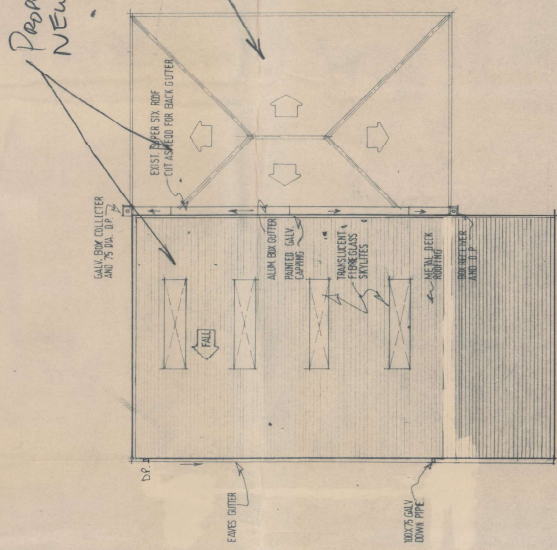


SECTION AA

SECTION BB



FLOOR PLAN



ROOF PLAN

AMENDED PLAN 28-4-87  
 PLAN OF EXISTING BUILDING.  
 WITH INDICATION OF PROPOSED  
 ADDITIONS.

AMENDED PLAN  
 DATE... CHECK...

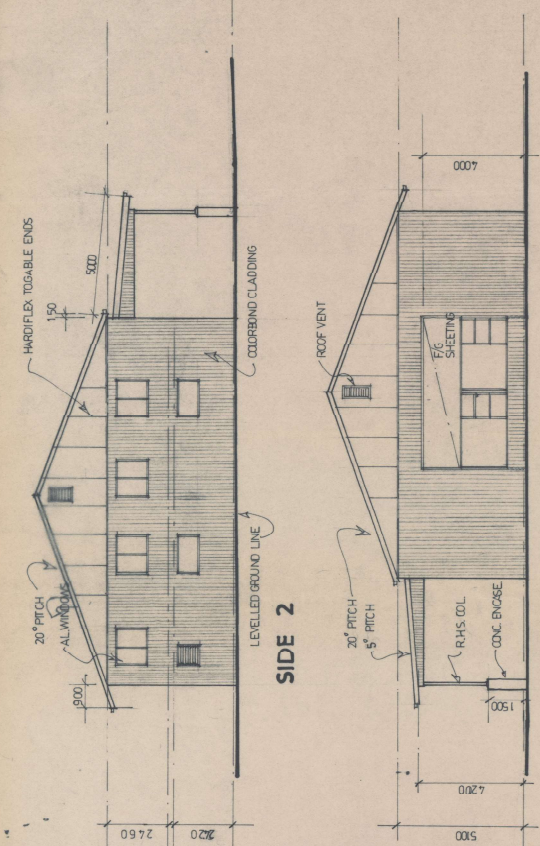
**ALBERT HUNT CONSTRUCTIONS**  
 Professional Construction  
 673-4322

**ALBERT HUNT CONSTRUCTIONS**  
 Proposed Addition to Existing  
 Store Room, Comprising, Truck  
 Port and Pre Fab Store Room.  
 AT: LOT 5 11874 LINKS ROAD  
 PENRITH  
 FOR: ALBERT HUNT GROUP

**ALBERT HUNT CONSTRUCTIONS**  
 Building Planners & Architects  
 487 The Horsley Drive  
 FAIRFIELD, 2165.  
 Telephone: 728 7581  
 Fax: 728 7581  
 Website: www.alberthunt.com.au

PLANS ELEVATIONS  
 DETAILS SECTIONS  
 1:10  
 1:10  
 A1:05-A1

AMENDED PLAN 3-3-86

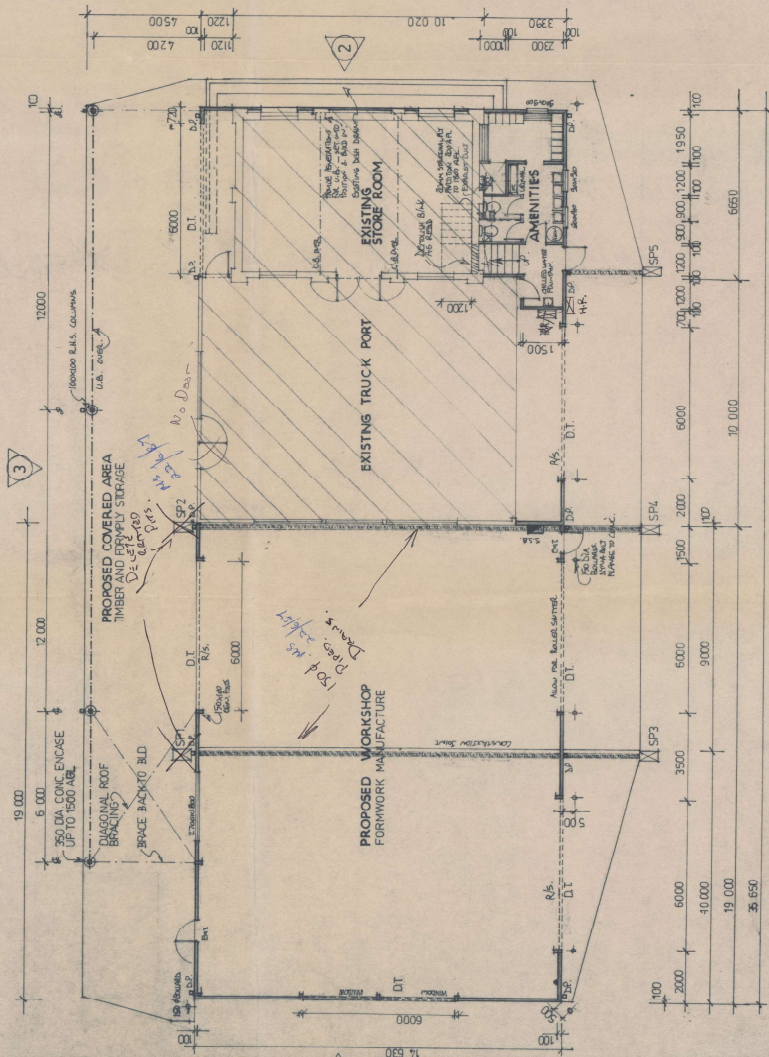


SIDE 1

SIDE 2

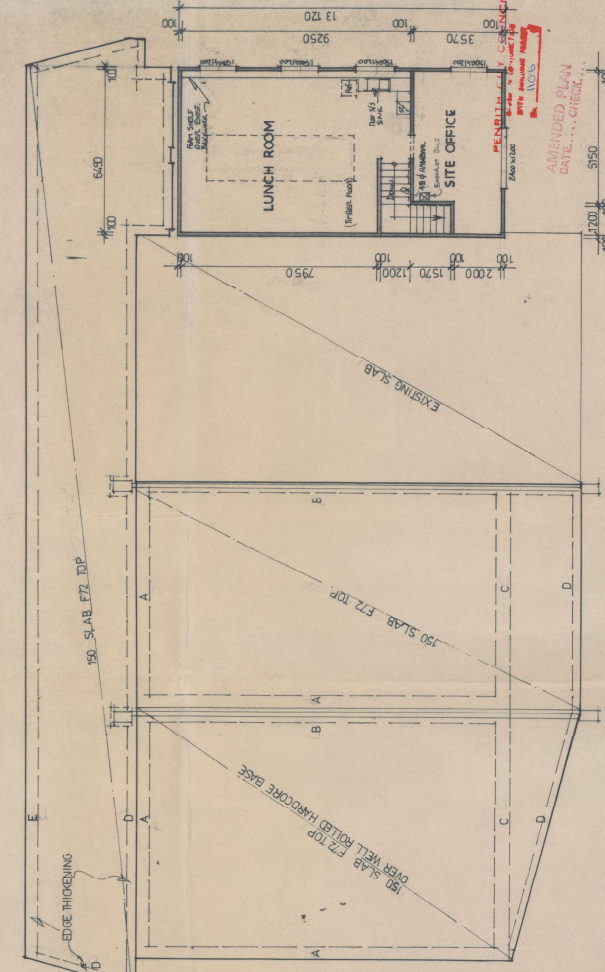
SIDE 3

SIDE 4



FLOOR PLAN

D.T. = DOOR TRUSS OVER REFER DETAILS.



SLAB PLAN  
SHOWING PROPOSED LUNCH ROOM & OFFICE  
OVER EXISTING STORE RM. & AMENITIES.

PLANS ELEVATIONS  
SCALE: 1:100  
DATE: 14/05/12

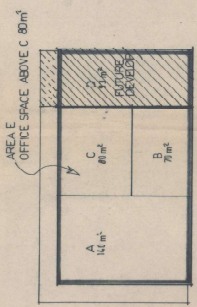
ALBERT HUNT CONSTRUCTIONS  
Formwork Contractors  
673 4322

PROPOSED ADDITIONS TO EXISTING  
STORE ROOM AND TRUCK PORT COMP-  
WORKSHOP AMENITIES & STORAGE.

AT: LOT 5 1874 LINKS ROAD  
PENRITH

AMENDED PLAN  
DATE: ... CHECK...

| DRAIN SECTION | SUBAREA TIME OF CONCENTRATION |         |               | RUN-OFF DATA     |                            |           | PIT DESIGN |        |        | PIPE DESIGN |        |          | REMARKS |         |
|---------------|-------------------------------|---------|---------------|------------------|----------------------------|-----------|------------|--------|--------|-------------|--------|----------|---------|---------|
|               | LENGTH                        | SURFACE | OVERLAND FLOW | AREA OF SUB-AREA | COEFFICIENT OF RUN-OFF (C) | INTENSITY | TYPE       | NUMBER | GRADE  | BR-PASS     | AMOUNT | VELOCITY |         | GRAVITY |
| DP-1          | 18.97                         | 19.21   | 19.37         | 19.42            | 19.55                      | 19.63     | 19.75      | 19.825 | 19.875 | 19.925      | 19.975 | 20.025   | 20.075  | 20.125  |
| DP-2          | 19.02                         | 19.15   | 19.28         | 19.41            | 19.54                      | 19.67     | 19.80      | 19.93  | 20.06  | 20.19       | 20.32  | 20.45    | 20.58   | 20.71   |
| DP-3          | 19.07                         | 19.20   | 19.33         | 19.46            | 19.59                      | 19.72     | 19.85      | 19.98  | 20.11  | 20.24       | 20.37  | 20.50    | 20.63   | 20.76   |
| DP-4          | 19.12                         | 19.25   | 19.38         | 19.51            | 19.64                      | 19.77     | 19.90      | 20.03  | 20.16  | 20.29       | 20.42  | 20.55    | 20.68   | 20.81   |
| DP-5          | 19.17                         | 19.30   | 19.43         | 19.56            | 19.69                      | 19.82     | 19.95      | 20.08  | 20.21  | 20.34       | 20.47  | 20.60    | 20.73   | 20.86   |
| DP-6          | 19.22                         | 19.35   | 19.48         | 19.61            | 19.74                      | 19.87     | 20.00      | 20.13  | 20.26  | 20.39       | 20.52  | 20.65    | 20.78   | 20.91   |
| DP-7          | 19.27                         | 19.40   | 19.53         | 19.66            | 19.79                      | 19.92     | 20.05      | 20.18  | 20.31  | 20.44       | 20.57  | 20.70    | 20.83   | 20.96   |
| DP-8          | 19.32                         | 19.45   | 19.58         | 19.71            | 19.84                      | 19.97     | 20.10      | 20.23  | 20.36  | 20.49       | 20.62  | 20.75    | 20.88   | 21.01   |
| DP-9          | 19.37                         | 19.50   | 19.63         | 19.76            | 19.89                      | 20.02     | 20.15      | 20.28  | 20.41  | 20.54       | 20.67  | 20.80    | 20.93   | 21.06   |
| DP-10         | 19.42                         | 19.55   | 19.68         | 19.81            | 19.94                      | 20.07     | 20.20      | 20.33  | 20.46  | 20.59       | 20.72  | 20.85    | 20.98   | 21.11   |
| DP-11         | 19.47                         | 19.60   | 19.73         | 19.86            | 19.99                      | 20.12     | 20.25      | 20.38  | 20.51  | 20.64       | 20.77  | 20.90    | 21.03   | 21.16   |
| DP-12         | 19.52                         | 19.65   | 19.78         | 19.91            | 20.04                      | 20.17     | 20.30      | 20.43  | 20.56  | 20.69       | 20.82  | 20.95    | 21.08   | 21.21   |
| DP-13         | 19.57                         | 19.70   | 19.83         | 19.96            | 20.09                      | 20.22     | 20.35      | 20.48  | 20.61  | 20.74       | 20.87  | 21.00    | 21.13   | 21.26   |
| DP-14         | 19.62                         | 19.75   | 19.88         | 20.01            | 20.14                      | 20.27     | 20.40      | 20.53  | 20.66  | 20.79       | 20.92  | 21.05    | 21.18   | 21.31   |
| DP-15         | 19.67                         | 19.80   | 19.93         | 20.06            | 20.19                      | 20.32     | 20.45      | 20.58  | 20.71  | 20.84       | 20.97  | 21.10    | 21.23   | 21.36   |
| DP-16         | 19.72                         | 19.85   | 19.98         | 20.11            | 20.24                      | 20.37     | 20.50      | 20.63  | 20.76  | 20.89       | 21.02  | 21.15    | 21.28   | 21.41   |
| DP-17         | 19.77                         | 19.90   | 20.03         | 20.16            | 20.29                      | 20.42     | 20.55      | 20.68  | 20.81  | 20.94       | 21.07  | 21.20    | 21.33   | 21.46   |
| DP-18         | 19.82                         | 19.95   | 20.08         | 20.21            | 20.34                      | 20.47     | 20.60      | 20.73  | 20.86  | 20.99       | 21.12  | 21.25    | 21.38   | 21.51   |
| DP-19         | 19.87                         | 20.00   | 20.13         | 20.26            | 20.39                      | 20.52     | 20.65      | 20.78  | 20.91  | 21.04       | 21.17  | 21.30    | 21.43   | 21.56   |
| DP-20         | 19.92                         | 20.05   | 20.18         | 20.31            | 20.44                      | 20.57     | 20.70      | 20.83  | 20.96  | 21.09       | 21.22  | 21.35    | 21.48   | 21.61   |
| DP-21         | 19.97                         | 20.10   | 20.23         | 20.36            | 20.49                      | 20.62     | 20.75      | 20.88  | 21.01  | 21.14       | 21.27  | 21.40    | 21.53   | 21.66   |
| DP-22         | 20.02                         | 20.15   | 20.28         | 20.41            | 20.54                      | 20.67     | 20.80      | 20.93  | 21.06  | 21.19       | 21.32  | 21.45    | 21.58   | 21.71   |
| DP-23         | 20.07                         | 20.20   | 20.33         | 20.46            | 20.59                      | 20.72     | 20.85      | 20.98  | 21.11  | 21.24       | 21.37  | 21.50    | 21.63   | 21.76   |
| DP-24         | 20.12                         | 20.25   | 20.38         | 20.51            | 20.64                      | 20.77     | 20.90      | 21.03  | 21.16  | 21.29       | 21.42  | 21.55    | 21.68   | 21.81   |
| DP-25         | 20.17                         | 20.30   | 20.43         | 20.56            | 20.69                      | 20.82     | 20.95      | 21.08  | 21.21  | 21.34       | 21.47  | 21.60    | 21.73   | 21.86   |
| DP-26         | 20.22                         | 20.35   | 20.48         | 20.61            | 20.74                      | 20.87     | 21.00      | 21.13  | 21.26  | 21.39       | 21.52  | 21.65    | 21.78   | 21.91   |
| DP-27         | 20.27                         | 20.40   | 20.53         | 20.66            | 20.79                      | 20.92     | 21.05      | 21.18  | 21.31  | 21.44       | 21.57  | 21.70    | 21.83   | 21.96   |
| DP-28         | 20.32                         | 20.45   | 20.58         | 20.71            | 20.84                      | 20.97     | 21.10      | 21.23  | 21.36  | 21.49       | 21.62  | 21.75    | 21.88   | 22.01   |
| DP-29         | 20.37                         | 20.50   | 20.63         | 20.76            | 20.89                      | 21.02     | 21.15      | 21.28  | 21.41  | 21.54       | 21.67  | 21.80    | 21.93   | 22.06   |
| DP-30         | 20.42                         | 20.55   | 20.68         | 20.81            | 20.94                      | 21.07     | 21.20      | 21.33  | 21.46  | 21.59       | 21.72  | 21.85    | 21.98   | 22.11   |
| DP-31         | 20.47                         | 20.60   | 20.73         | 20.86            | 20.99                      | 21.12     | 21.25      | 21.38  | 21.51  | 21.64       | 21.77  | 21.90    | 22.03   | 22.16   |
| DP-32         | 20.52                         | 20.65   | 20.78         | 20.91            | 21.04                      | 21.17     | 21.30      | 21.43  | 21.56  | 21.69       | 21.82  | 21.95    | 22.08   | 22.21   |
| DP-33         | 20.57                         | 20.70   | 20.83         | 20.96            | 21.09                      | 21.22     | 21.35      | 21.48  | 21.61  | 21.74       | 21.87  | 22.00    | 22.13   | 22.26   |
| DP-34         | 20.62                         | 20.75   | 20.88         | 21.01            | 21.14                      | 21.27     | 21.40      | 21.53  | 21.66  | 21.79       | 21.92  | 22.05    | 22.18   | 22.31   |
| DP-35         | 20.67                         | 20.80   | 20.93         | 21.06            | 21.19                      | 21.32     | 21.45      | 21.58  | 21.71  | 21.84       | 21.97  | 22.10    | 22.23   | 22.36   |
| DP-36         | 20.72                         | 20.85   | 20.98         | 21.11            | 21.24                      | 21.37     | 21.50      | 21.63  | 21.76  | 21.89       | 22.02  | 22.15    | 22.28   | 22.41   |
| DP-37         | 20.77                         | 20.90   | 21.03         | 21.16            | 21.29                      | 21.42     | 21.55      | 21.68  | 21.81  | 21.94       | 22.07  | 22.20    | 22.33   | 22.46   |
| DP-38         | 20.82                         | 20.95   | 21.08         | 21.21            | 21.34                      | 21.47     | 21.60      | 21.73  | 21.86  | 21.99       | 22.12  | 22.25    | 22.38   | 22.51   |
| DP-39         | 20.87                         | 21.00   | 21.13         | 21.26            | 21.39                      | 21.52     | 21.65      | 21.78  | 21.91  | 22.04       | 22.17  | 22.30    | 22.43   | 22.56   |
| DP-40         | 20.92                         | 21.05   | 21.18         | 21.31            | 21.44                      | 21.57     | 21.70      | 21.83  | 21.96  | 22.09       | 22.22  | 22.35    | 22.48   | 22.61   |
| DP-41         | 20.97                         | 21.10   | 21.23         | 21.36            | 21.49                      | 21.62     | 21.75      | 21.88  | 22.01  | 22.14       | 22.27  | 22.40    | 22.53   | 22.66   |
| DP-42         | 21.02                         | 21.15   | 21.28         | 21.41            | 21.54                      | 21.67     | 21.80      | 21.93  | 22.06  | 22.19       | 22.32  | 22.45    | 22.58   | 22.71   |
| DP-43         | 21.07                         | 21.20   | 21.33         | 21.46            | 21.59                      | 21.72     | 21.85      | 21.98  | 22.11  | 22.24       | 22.37  | 22.50    | 22.63   | 22.76   |
| DP-44         | 21.12                         | 21.25   | 21.38         | 21.51            | 21.64                      | 21.77     | 21.90      | 22.03  | 22.16  | 22.29       | 22.42  | 22.55    | 22.68   | 22.81   |
| DP-45         | 21.17                         | 21.30   | 21.43         | 21.56            | 21.69                      | 21.82     | 21.95      | 22.08  | 22.21  | 22.34       | 22.47  | 22.60    | 22.73   | 22.86   |
| DP-46         | 21.22                         | 21.35   | 21.48         | 21.61            | 21.74                      | 21.87     | 22.00      | 22.13  | 22.26  | 22.39       | 22.52  | 22.65    | 22.78   | 22.91   |
| DP-47         | 21.27                         | 21.40   | 21.53         | 21.66            | 21.79                      | 21.92     | 22.05      | 22.18  | 22.31  | 22.44       | 22.57  | 22.70    | 22.83   | 22.96   |
| DP-48         | 21.32                         | 21.45   | 21.58         | 21.71            | 21.84                      | 21.97     | 22.10      | 22.23  | 22.36  | 22.49       | 22.62  | 22.75    | 22.88   | 23.01   |
| DP-49         | 21.37                         | 21.50   | 21.63         | 21.76            | 21.89                      | 22.02     | 22.15      | 22.28  | 22.41  | 22.54       | 22.67  | 22.80    | 22.93   | 23.06   |
| DP-50         | 21.42                         | 21.55   | 21.68         | 21.81            | 21.94                      | 22.07     | 22.20      | 22.33  | 22.46  | 22.59       | 22.72  | 22.85    | 22.98   | 23.11   |
| DP-51         | 21.47                         | 21.60   | 21.73         | 21.86            | 21.99                      | 22.12     | 22.25      | 22.38  | 22.51  | 22.64       | 22.77  | 22.90    | 23.03   | 23.16   |
| DP-52         | 21.52                         | 21.65   | 21.78         | 21.91            | 22.04                      | 22.17     | 22.30      | 22.43  | 22.56  | 22.69       | 22.82  | 22.95    | 23.08   | 23.21   |
| DP-53         | 21.57                         | 21.70   | 21.83         | 21.96            | 22.09                      | 22.22     | 22.35      | 22.48  | 22.61  | 22.74       | 22.87  | 23.00    | 23.13   | 23.26   |
| DP-54         | 21.62                         | 21.75   | 21.88         | 22.01            | 22.14                      | 22.27     | 22.40      | 22.53  | 22.66  | 22.79       | 22.92  | 23.05    | 23.18   | 23.31   |
| DP-55         | 21.67                         | 21.80   | 21.93         | 22.06            | 22.19                      | 22.32     | 22.45      | 22.58  | 22.71  | 22.84       | 22.97  | 23.10    | 23.23   | 23.36   |
| DP-56         | 21.72                         | 21.85   | 21.98         | 22.11            | 22.24                      | 22.37     | 22.50      | 22.63  | 22.76  | 22.89       | 23.02  | 23.15    | 23.28   | 23.41   |
| DP-57         | 21.77                         | 21.90   | 22.03         | 22.16            | 22.29                      | 22.42     | 22.55      | 22.68  | 22.81  | 22.94       | 23.07  | 23.20    | 23.33   | 23.46   |
| DP-58         | 21.82                         | 21.95   | 22.08         | 22.21            | 22.34                      | 22.47     | 22.60      | 22.73  | 22.86  | 22.99       | 23.12  | 23.25    | 23.38   | 23.51   |
| DP-59         | 21.87                         | 22.00   | 22.13         | 22.26            | 22.39                      | 22.52     | 22.65      | 22.78  | 22.91  | 23.04       | 23.17  | 23.30    | 23.43   | 23.56   |
| DP-60         | 21.92                         | 22.05   | 22.18         | 22.31            | 22.44                      | 22.57     | 22.70      | 22.83  | 22.96  | 23.09       | 23.22  | 23.35    | 23.48   | 23.61   |
| DP-61         | 21.97                         | 22.10   | 22.23         | 22.36            | 22.49                      | 22.62     | 22.75      | 22.88  | 23.01  | 23.14       | 23.27  | 23.40    | 23.53   | 23.66   |
| DP-62         | 22.02                         | 22.15   | 22.28         | 22.41            | 22.54                      | 22.67     | 22.80      | 22.93  | 23.06  | 23.19       | 23.32  | 23.45    | 23.58   | 23.71   |
| DP-63         | 22.07                         | 22.20   | 22.33         | 22.46            | 22.59                      | 22.72     | 22.85      | 22.98  | 23.11  | 23.24       | 23.37  | 23.50    | 23.63   | 23.76   |
| DP-64         | 22.12                         | 22.25   | 22.38         | 22.51            | 22.64                      | 22.77     | 22.90      | 23.03  | 23.16  | 23.29       | 23.42  | 23.55    | 23.68   | 23.81   |
| DP-65         | 22.17                         | 22.30   | 22.43         | 22.56            | 22.69                      | 22.82     | 22.95      | 23.08  | 23.21  | 23.34       | 23.47  | 23.60    | 23.73   | 23.86   |
| DP-66         | 22.22                         | 22.35   | 22.48         | 22.61            | 22.74                      | 22.87     | 23.00      | 23.13  | 23.26  | 23.39       | 23.52  | 23.65    | 23.78   | 23.91   |
| DP-67         | 22.27                         | 22.40   | 22.53         | 22.66            | 22.79                      | 22.92     | 23.05      | 23.18  | 23.31  | 23.44       | 23.57  | 23.70    | 23.83   | 23.96   |
| DP-68         | 22.32                         | 22.45   | 22.58         | 22.71            | 22.84                      | 22.97     | 23.10      | 23.23  | 23.36  | 23.49       | 23.62  | 23.75    | 23.88   | 24.01   |
| DP-69         | 22.37                         | 22.50   | 22.63         | 22.76            | 22.89                      | 23.02     | 23.15      | 23.28  | 23.41  | 23.54       | 23.67  | 23.80    | 23.93   | 24.06   |
| DP-70         | 22.42                         | 22.55   | 22.68         | 22.81            | 22.94                      | 23.07     | 23.20      | 23.33  | 23.46  | 23.59       | 23.72  | 23.85    | 23.98   | 24.11   |
| DP-71         | 22.47                         | 22.60   | 22.73         | 22.86            | 22.99                      | 23.12     | 23.25      | 23.38  | 23.51  | 23.64       | 23.77  | 23.90    | 24.03   | 24.16   |

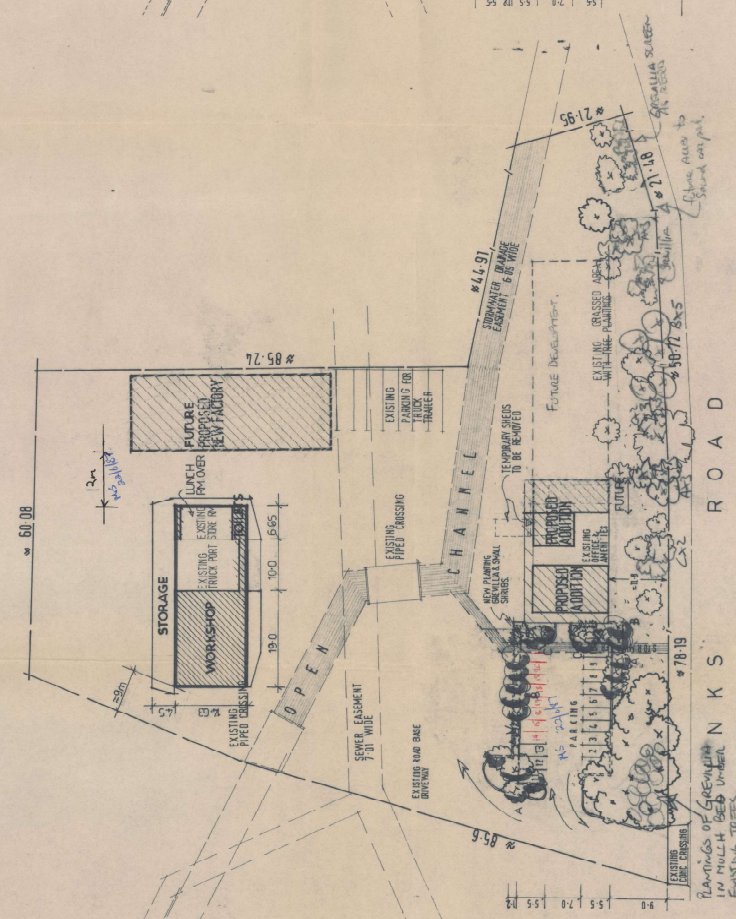
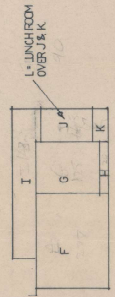


AREA'S OFFICE BLD.  
OFFICE AREA A+B+E 280 m<sup>2</sup>  
PLUS AMENITIES 80m<sup>2</sup>  
370 m<sup>2</sup>  
PARKING 3.8 spaces per 75m<sup>2</sup>  
REQUIRED 280/75 4 spaces  
PROVIDED

OFFICE BUILDING

AREAS WORKSHOP  
WORKSHOP F 277 m<sup>2</sup>  
TRUCK PORT G+H 145 m<sup>2</sup>  
STORAGE I+J 230 m<sup>2</sup>  
AMENITIES K-L 632 m<sup>2</sup>  
TOTAL 1133 m<sup>2</sup>  
725 m<sup>2</sup>  
PARKING 8-4 spaces  
REQUIRED 632/75 9 spaces  
PROVIDED  
TOTAL PARKING PROVIDED 13 SPACES

WORKSHOP, TRUCK PORT



able to  
to channel  
Landscaping  
Type species  
A EUCALYPTUS SCORPARIANA  
B LEPTOSPERMUM PETERSONI  
C ACACIA - WATTLE  
GREVILLE BANKSA  
GREVILLE HOEKERIANA  
MULCH-GROUND COVER

**SITE PLAN**  
Scale 1500  
dimensions in metres  
landscape details

**PERMIT CITY LINKS**  
10/15  
Approved by the City of Perth, 10/15  
subject to conditions and the latest amendments  
to the City of Perth Act, 1991  
Conditions: 1. To be used for the purposes  
of the City of Perth Act, 1991  
2. To be used for the purposes  
of the City of Perth Act, 1991  
3. To be used for the purposes  
of the City of Perth Act, 1991

AMENDED PLAN  
DATE: 10/15/15

|   |                |              |
|---|----------------|--------------|
| SITELANDSCAPE PLANS   | DATE: 10/15/15 | SCALE: 1:500 |
| DRAINAGE PLANS  | DATE: 10/15/15 | SCALE: 1:500 |
| <b>ALBERT HUNT CONSTRUCTIONS</b>  |                |              |
| 1000 Lakeside Road, Perth, WA 6000  |                |              |
| 677 4322  |                |              |
| PROPOSED ADDITIONS TO EXISTING STORE RM. & TRUCK PORT COMPRISING WORKSHOP/AMENITIES & STORE ROOM. |                |              |
| AT: LOT 5 N874 LINKS ROAD ST. MARYS. PENRITH  |                |              |
| FOR ALBERT HUNT GROUP   |                |              |



# Penrith City Council

BA 016636  
D. URH

## BUILDING APPLICATION

LOCAL GOVERNMENT ACT, 1919 (Ordinance 70)

The Town Clerk,

I, the undersigned, hereby make application to the Penrith City Council for the approval of plans and specifications of a building which I propose to substantially commence within TWELVE (12) MONTHS from the date of approval.

I hereby agree to comply with the requirements of the Council and the Local Government Act, 1919 and Ordinance No. 70.

Particulars are as follows. ( PLEASE PRINT )

A minimum of THREE (3) COPIES of plans and specifications shall be submitted.

INCOMPLETE OR INCORRECT DETAIL ON THE APPLICATION MAY PREVENT OR DELAY IT BEING APPROVED  
PROPERTY DETAILS

|                                   |                       |                               |                   |
|-----------------------------------|-----------------------|-------------------------------|-------------------|
| House No.<br>Unit No. 74<br>Name. | Street<br>LINKS ROAD, | Town<br>ST MARYS              | Post Code<br>2760 |
| Lot or Por. No.<br>5              | Section               | D.P., S.P. or Estate<br>31908 |                   |
| Frontage (m)                      | Depth (m)             | Parish<br>RootyHill           |                   |

APPLICANT (Tick where applicable)

|  |   |                        |
|--|---|------------------------|
| Mr Ms<br>Mrs<br>Miss   | <del>Christian</del> Names<br>CATCH 400 T/as<br>ALBERT HUNT TRANSPORT | Surname<br>XXXXXXXX    |
| Address<br>74 LINKS ROAD, ST MARYS   |   | Post Code<br>2760      |
|  |   | Phone<br>(02) 673-4322 |
| State whether: Owner <input type="checkbox"/> Builder <input type="checkbox"/> Architect <input type="checkbox"/> Structural Engineer <input type="checkbox"/> Other <input type="checkbox"/>                    |   |                        |
| Owner/Builder <input checked="" type="checkbox"/>  |   |                        |
| Signature<br><i>Albert Hunt</i>  |   | Date<br>7 June 1988    |
| Deposit/Fees paid by : Owner <input checked="" type="checkbox"/> Builder <input type="checkbox"/> Architect <input type="checkbox"/> Structural Engineer <input type="checkbox"/> Other <input type="checkbox"/> |   |                        |

OWNER

|  |   |                        |
|--|---|------------------------|
| Mr Ms<br>Mrs<br>Miss   | <del>Christian</del> Names<br>CATCH 400 T/as<br>ALBERT HUNT TRANSPORT | Surname                |
| Address<br>74 LINKS ROAD, ST MARYS<br>("As above" if same address) |   | Post Code<br>2760      |
|  |   | Phone<br>(02) 673-4322 |

BUILDER

|   |                 |           |
|---|-----------------|-----------|
| Mr Ms<br>Mrs<br>Miss                    | Christian Names | Surname   |
| Address<br>("As above" if same address) |                 | Post Code |
|   |                 | Phone     |

|  |  |   |
|--|--|---|
| Builders Licensing Insurance paid to Licensing Board | Yes <input type="checkbox"/> No <input type="checkbox"/>   | Licence No. _____<br>or<br>O/B Permit No. _____ |
| State whether:                                       | New <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> |   |

Purpose for which building is to be used: Residential Occupation  Industrial  Garage  Recreational  Commercial

Total new or additional floor area (sq.m.): 213 m<sup>2</sup>

No. of new or additional self-contained dwelling units: NONE

No. of rooms this application: 6

No. of bedrooms this application: OFFICES & WORKSHED

No. and description of existing buildings on allotment: \_\_\_\_\_

Type of Building: Dwelling  Home Units  Town Houses  Screen Enclosure   
 Flats  Garage  Factory  Carport   
 Shop  Offices  Swimming Pool  Other

Commercial/Industrial Properties: No. of Courts (Squash) \_\_\_\_\_ No. of Car Parking Spaces 34

Is concrete footpathing or kerbing or guttering laid in front of the property? Yes  No   
 Is it damaged? Yes  No

No. of sets of plans and specifications lodged: Plans: 3 Specifications: ENG. 3

State whether the materials are new or secondhand: New  Secondhand

Materials of floor/s: Concrete  Timber  Other   
 Materials of outer walls: Brick Veneer  Double Brick  Concrete Block   
 Timber  Fibro  Other   
 Materials of roof: Tiles  Steel  Fibro   
 Aluminium  Corrugated Iron  Other

Builders Sanitary Required: Yes  No

Contract price or Council's valuation of work: \$ 20,000

Locality Sketch: (Indicate North Point and nearest cross street)

FOR OFFICE USE ONLY

Value assessed \_\_\_\_\_ Signature P. M. M. Date \_\_\_\_\_  
 Contract sighted: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

| Assessment No. | Building Type | Quantity | Floor area          | Ward | Accepted by               |
|----------------|---------------|----------|---------------------|------|---------------------------|
| 0550           |               | 1        | 213m <sup>2</sup> . | N.   | <u>P. M. M.</u><br>9-6-88 |



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750 Telephone: (047) 32 2422 (C.D.E. 8017, Penrith)

YOUR REF:

OUR REF: 016636  
CONTACT: MR. D. VRH

BUILDING PERMIT  
-----

PERMIT NO: 16636  
REF:

ISSUED TO: CATCH 400 T/ASHUNT TRANSPORT OF  
74 LINKS ROAD  
ST MARYS 2760 IN RESPECT OF

LOT NO: 5 D.P: 31908 HOUSE NO: 00074 STREET: LINKS RD  
LOCALITY: ST. MARYS

<-----OWNER'S NAME AND ADDRESS----->  
CATCH 400 T/ASHUNT TRANSPORT  
74 LINKS ROAD  
ST MARYS 2760

<----BUILDER'S NAME AND ADDRESS---->  
CATCH 400 T/ASHUNT TRANSPORT  
74 LINKS ROAD  
ST MARYS 2760

APPROVED SUBJECT TO COMPLIANCE WITH THE LOCAL GOVERNMENT ACT, RELEVANT ORDINANCES ISSUED THEREUNDER AND CONDITIONS NUMBERED; 14, 18, 20, 64, 72, 172, 184, 186, 202, 206, 234, 242, 262, 274, 286, 501, 502, 503, 504, 505, 506, 851, 852, 901.

HEREUNDER FOR THE ERECTION OF  
A OFFICES (NOT IN CLASS 6 - 9) ./OFFICE REN FOR THE VALUE OF \$20000.

THIS APPROVAL LAPSES ON THE EXPIRATION OF 12 MONTHS AFTER THE DATE HEREOF.

ATTENTION IS DRAWN TO THE PROVISIONS OF SECTION/S 317L (AND 288C IN REGARD TO FENCING OF SWIMMING POOLS) OF THE LOCAL GOVERNMENT ACT, 1919, AS AMENDED, GIVING A RIGHT OF APPEAL AGAINST THE DECISION OF COUNCIL. APPEAL FORMS ARE AVAILABLE AT COUNCIL'S OFFICE.

DATE: 21/7/88

SIGNED: P.J. ANSOUL, per: *Small*

(HEALTH AND BUILDING SERVICES MANAGER)

DATE: 28/7/88

**POSTED TO  
APPLICANT**

SIGNED:

*J. Buckton*  
(PERSON COLLECTING PLANS)

CONDITIONS:  
-----

14. THAT 48 HOURS' NOTICE IN WRITING BE GIVEN TO COUNCIL FOR INSPECTION:-
- (A) OF TRENCHES BEFORE FOOTINGS ARE LAID;
  - (B) OF FOOTINGS BEFORE TRENCHES ARE FILLED;
  - (C) WHEN THE BUILDING HAS BEEN ERECTED TO FLOOR LEVEL AND DAMPCOURSES ARE LAID;
  - (D) OF FLASHING AND DAMP-PROOFING OF WET AREAS (VIZ. BATHROOMS, LAUNDRIES, ENSUITES AND W.C.) PRIOR TO CLADDING.

CONTINUED....



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 2422

(C.D.E. 8017, Penrith)

APPLICATION NO: 016636

PERMIT NO: 016636

FOLIO NO: 2

- (E) WHEN STEEL FOR REINFORCED STRUCTURAL CONCRETE WORK IS IN POSITION PRIOR TO POURING OF CONCRETE;
- (F) WHEN THE BUILDING HAS BEEN ERECTED TO ROOF FRAMING;
- (G) OF DRAINS BEFORE THEY ARE COVERED IN; AND
- (H) WHEN THE BUILDING IS COMPLETED AND READY FOR OCCUPATION.

- 18. STAMPED PLANS, SPECIFICATION AND PERMIT SHALL BE KEPT ON SITE AT ALL TIMES.
- 20. APPROVED IN COMPLIANCE WITH THE CONDITIONS OF THE METROPOLITAN WATER, SEWERAGE AND DRAINAGE BOARD AS STAMPED ON PLANS.
- 64. FLOOR SURFACE OF INTERNAL W.C./LAUNDRY/BATHROOM/ENSUITE AND THE LIKE SHALL BE GRADED AND DRAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 47.8(1) OF ORDINANCE 70.
- 72. A VEHICULAR GUTTER CROSSING SHALL BE PROVIDED TO FACILITATE ACCESS OF A MOTOR VEHICLE BEHIND THE ADOPTED BUILDING LINE TO COUNCIL'S SATISFACTION.
- 172. HOSE REELS SHALL BE DESIGNED AND INSTALLED WITHIN THE BUILDING IN ACCORDANCE WITH THE RELEVANT CLAUSES OF PART 27 OF ORDINANCE 70. THE REQUIRED HOSE REELS SHALL NOT BE INSTALLED IN THE BUILDING UNTIL A REPORT ISSUED BY THE BOARD OF FIRE COMMISSIONERS IN ACCORDANCE WITH PART 27 OF ORDINANCE 70 HAS BEEN SUBMITTED TO COUNCIL.
- 184. ILLUMINATED EXIT SIGNS AND DIRECTIONAL SIGNS COMPLYING WITH THE RELEVANT PROVISIONS OF PART 24 AND PART 55 OF ORDINANCE 70 SHALL BE INSTALLED THROUGHOUT THE BUILDING IN LOCATIONS APPROVED BY THE HEALTH AND BUILDING SERVICES MANAGER. CONSULTATION SHALL TAKE PLACE WITH THE HEALTH AND BUILDING SURVEYOR AND APPROVAL OBTAINED PRIOR TO THE INSTALLATION OF ANY FITTINGS.
- 186. EMERGENCY LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 55.12 OF ORDINANCE 70. CONSULTATION SHALL TAKE PLACE WITH THE H/B SURVEYOR AND APPROVAL SHALL BE OBTAINED PRIOR TO THE INSTALLATION OF ANY FITTINGS.
- 202. ALL REQUIRED EXIT DOORS OR DOORS FORMING PART OF A REQUIRED EXIT SHALL BE READILY OPENABLE WITHOUT A KEY AND BY A SINGLE HANDED ACTION FROM THE SIDE THAT WOULD FACE ANY PERSON SEEKING EGRESS FROM THE BUILDING.
- 206. ANY REQUIRED EXIT DOOR THAT SWINGS AGAINST THE DIRECTION OF EGRESS SHALL BE FITTED WITH AN APPROVED MEANS OF FIXING IT IN THE FULLY OPEN POSITION.
- 234. REQUIRED DOORWAYS SHALL HAVE A CLEAR OPENING OF NOT LESS THAN 1980MM IN HEIGHT AND 760MM IN WIDTH. EVERY EXIT AND PATH OF TRAVEL TO AN EXIT SHALL, EXCEPT FOR DOORWAYS, HAVE A MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE THROUGHOUT OF 2030MM AND A MINIMUM UNOBSTRUCTED WIDTH THROUGHOUT OF 1020MM.
- 242. ALL SOUND PRODUCING PLANT, MACHINERY, OR FITTINGS SHALL BE SOUND

CONTINUED....



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750 Telephone: (047) 32 2422 (C.D.E. 8017, Penrith)

APPLICATION NO: 016636 PERMIT NO: 016636 FOLIO NO: 3

INSULATED AND/OR ISOLATED SO AS TO CONTROL EMISSION OF NOISE FROM THE PREMISES, WITHIN THE LIMITS PRESCRIBED UNDER THE NOISE CONTROL ACT, 1975 AND REGULATIONS.

262. THE ERECTION OF ANY ADVERTISING STRUCTURE OR DISPLAY OF ANY SIGN IS NOT PERMITTED WITHOUT THE PRIOR APPROVAL OF COUNCIL.
274. THE APPLICANT SHOULD CONSULT WITH THE DEPARTMENT OF INDUSTRIAL RELATIONS AND EMPLOYMENT, CONCERNING ANY REQUIREMENTS THAT AUTHORITY MAY WISH TO IMPOSE.
286. THE BUILDING SHALL BE COMPLETED IN ALL RESPECTS AND A CERTIFICATE OF CLASSIFICATION SHALL BE ISSUED BY COUNCIL'S H/B SURVEYOR PRIOR TO OCCUPATION OF ANY PART OF THE BUILDING.
501. MECHANICAL VENTILATION SHALL BE PROVIDED TO THE "OFFICE OF MANAGING DIRECTORS SECRETARY" AND THE "EXECUTIVE RECEPTION AREA". FULL DESIGN DETAILS SHALL BE SUBMITTED TO COUNCIL FOR CONSIDERATION AND APPROVAL PRIOR TO INSTALLATION.
502. FIRE EXTINGUISHERS SHALL BE INSTALLED WITHIN THE BUILDING IN ACCORDANCE WITH PART 27 OF ORDINANCE 70.
503. THE PROPOSED ADDITION/NEW BUILDING SHALL COMPLY WITH PART 59 OF ORDINANCE 70 WITH REGARD TO THE FOLLOWING ESSENTIAL SERVICES:
- | ESSENTIAL SERVICES                                  | MINIMUM MAINTENANCE STANDARD   |
|---|--|
| EMERGENCY LIGHTING (AS REQ'D BY CL.55.12)           | AS.2293.2 - 1987 EMERGENCY EVACUATION LIGHTING IN BUILDING - INSPECTION AND MAINTENANCE.       |
| EXIT SIGNS (AS REQ'D BY CL.24.29)                   | AS.2293.2 - 1987 EMERGENCY EVACUATION LIGHTING IN BUILDINGS - INSPECTION AND MAINTENANCE.      |
| HOSE REELS (AS REQ'D BY CL 27.2)                    | AS.1851 - PART 2 - 1981 MAINTENANCE OF FIRE PROTECTION EQUIPMENT - FIRE HOSE REELS.            |
| PORTABLE FIRE EXTINGUISHERS (AS REQ'D BY CL.27.4.1) | AS.1851 - PART 1 - 1985 MAINTENANCE OF FIRE PROTECTION EQUIPMENT - PORTABLE FIRE EXTINGUISHER. |
504. ON COMPLETION OF THE ERECTION OF THE PROPOSED BUILDING WORK, THE OWNER OF THE BUILDING SHALL PROVIDE COUNCIL WITH A CERTIFICATE FROM A COMPETENT PERSON WITH RESPECT TO EACH ESSENTIAL SERVICE INSTALLED IN THE BUILDING. THIS CERTIFICATE SHALL BE IN THE EFFECT OF FORM 6 OF PART 59 OF ORDINANCE 70.
505. AT LEAST ONCE IN EACH PERIOD OF 12 MONTHS AFTER A CERTIFICATE IS REQUIRED TO HAVE BEEN FURNISHED TO COUNCIL IN RESPECT OF A BUILDING, THE OWNER OF THE BUILDING SHALL PROVIDE COUNCIL WITH A FURTHER CERTIFICATE WITH RESPECT TO EACH ESSENTIAL SERVICE INSTALLED IN THE

CONTINUED....



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 2422

(C.D.E. 8017, Penrith)

APPLICATION NO: 016636

PERMIT NO: 016636

FOLIO NO: 4

BUILDING. THIS CERTIFICATE SHALL BE IN THE EFFECT OF THE FORM 7 OF PART 50 OF ORDINANCE 70.

506. THIS BUILDING SHALL NOT BE USED OR OCCUPIED UNTIL A CERTIFICATE OF CLASSIFICATION IS ISSUED BY COUNCIL.

851. ALL EXTERNAL MATERIALS AND COLOURS USED ARE TO MATCH THE EXISTING BUILDING.

852. ADDITIONAL SUITABLE TREE PLANTING IS TO BE IMPLEMENTED IN THE AREA BETWEEN THE BUILDING AND LINKS ROAD. THE ADDITIONAL PLANTING TO INVOLVE A DOUBLE ROW OF EUCALYPTUS MICROCORYS OR SIDEROXYBN OFF SET AT 6.5 METRE CENTRES.

## REQUIREMENTS OF OTHER AUTHORITIES

---

901. WARNING: THESE BUILDING PLANS MUST BE SUBMITTED TO ANY BUSINESS OFFICE OF THE METROPOLITAN WATER, SEWERAGE AND DRAINAGE BOARD, AT LEAST 14 DAYS BEFORE COMMENCEMENT OF WORK.

THE PLANS AND A BUILDING APPLICATION FORM, AVAILABLE AT BUSINESS OFFICES, NEED TO BE SUBMITTED TO ENSURE THAT THE PROPOSED STRUCTURE MEETS THE REQUIREMENTS OF THE BOARD'S BY-LAWS CONCERNING:-

- 1) LOCATION OF SANITARY FIXTURES,
- 2) RELATIONSHIP OF THE BUILDING TO WATER MAINS, SEWERS AND STORMWATER CHANNELS,

AND FOR VALUING PURPOSES IN CONNECTION WITH SECTION 97 (4) AND (7) OF THE BOARD'S ACT, AND FOR THE CALCULATION OF A BUILDING FEE IN ACCORDANCE WITH BY-LAW 7 (1) (A) OF THE BOARD'S ACT.

FAILURE TO SUBMIT THESE PLANS BEFORE COMMENCEMENT OF WORK WILL RENDER THE OWNER LIABLE TO A PENALTY AND MAY RESULT IN THE DEMOLITION OF THE WORK AT THE BUILDER'S EXPENSE.

BUSINESS OFFICES ARE LOCATED AT:-

|              |                     |            |                        |
|--------------|---------------------|------------|------------------------|
| BLACKTOWN    | 22 MAIN ST.         | ROCKDALE   | 564 PRINCESS HWAY.     |
| CAMPBELLTOWN | 106 QUEEN ST.       | LIVERPOOL  | CNR BIGGE & MOORE STS. |
| CHATSWOOD    | 66-70 ARCHER ST.    | MIRANDA    | 69-73 KIORA RD.        |
| DEE WHY      | 687 PITTWATER RD.   | PARRAMATTA | 136 CHURCH ST.         |
| FAIRFIELD    | 51 SMART ST.        | PENRITH    | 140-142 HENRY ST.      |
| HORNSBY      | CNR EDGEWORTH DAVID | SYDNEY     | 115-123 BATHURST ST.   |
|              | AVE. & HUNTER ST.   | WOLLONGONG | 406 COOMBE ST.         |
| KATOOMBA     | 103 KATOOMBA ST.    | CONISTON   | OLD SPRINGHILL RD.     |



**PENRITH CITY COUNCIL**

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 7777

(C.D.E. 8017, Penrith)

YOUR REF:

OUR REF: 017550

CONTACT: MR. D. VRH

BUILDING PERMIT

PERMIT NO: 17550

REF:

ISSUED TO: CATCH 400 T/ASHUNT TRANSPORT  
74 LINKS RD  
ST MARYS 2760

OF  
IN RESPECT OF

LOT NO: 5 D.P: 31908 HOUSE NO: 0000 STREET: LINKS RD  
LOCALITY: ST MARYS

<-----OWNER'S NAME AND ADDRESS----->  
CATCH 400 T/ASHUNT TRANSPORT  
74 LINKS RD  
ST MARYS 2760

<---BUILDER'S NAME AND ADDRESS---->  
CATCH 400 T/ASHUNT TRANSPORT  
74 LINKS RD  
ST MARYS 2760

APPROVED SUBJECT TO COMPLIANCE WITH THE LOCAL GOVERNMENT ACT, RELEVANT ORDINANCES ISSUED THEREUNDER AND CONDITIONS NUMBERED; 14, 18, 20, 108, 172, 173, 176, 180, 242, 262, 274, 286, 338, 501, 502, 503, 504, 505, 851, 901,

HEREUNDER FOR THE ERECTION OF  
A INDUSTRIAL/FACTORY-WAREHOUSE - BLOCKWORK FOR THE VALUE OF \$9999.

THIS APPROVAL LAPSES ON THE EXPIRATION OF 12 MONTHS AFTER THE DATE HEREOF.

ATTENTION IS DRAWN TO THE PROVISIONS OF SECTION/S 317L (AND 288C IN REGARD TO FENCING OF SWIMMING POOLS) OF THE LOCAL GOVERNMENT ACT, 1919, AS AMENDED, GIVING A RIGHT OF APPEAL AGAINST THE DECISION OF COUNCIL. APPEAL FORMS ARE AVAILABLE AT COUNCIL'S OFFICE.

DATE: 23/19/88

SIGNED: P.J. ANSOUL, per: *[Signature]*

(HEALTH AND BUILDING SERVICES MANAGER)

DATE: 27/2/88

**POSTED TO APPLICANT**

SIGNED:

(PERSON COLLECTING PLANS)

CONDITIONS:

- 14. THAT 48 HOURS' NOTICE IN WRITING BE GIVEN TO COUNCIL FOR INSPECTION:-
  - (A) OF TRENCHES BEFORE FOOTINGS ARE LAID;
  - (B) OF FOOTINGS BEFORE TRENCHES ARE FILLED;
  - (C) WHEN THE BUILDING HAS BEEN ERECTED TO FLOOR LEVEL AND DAMPCOURSES ARE LAID;
  - (D) OF FLASHING AND DAMP-PROOFING OF WET AREAS (VIZ. BATHROOMS, LAUNDRIES, ENSUITES AND W.C.) PRIOR TO CLADDING.

CONTINUED....



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 7777

(C.D.E. 8017, Penrith)

APPLICATION NO: 017550

PERMIT NO: 017550

FOLIO NO: 2

- (E) WHEN STEEL FOR REINFORCED STRUCTURAL CONCRETE WORK IS IN POSITION PRIOR TO POURING OF CONCRETE;
- (F) WHEN THE BUILDING HAS BEEN ERECTED TO ROOF FRAMING;
- (G) OF DRAINS BEFORE THEY ARE COVERED IN; AND
- (H) WHEN THE BUILDING IS COMPLETED AND READY FOR OCCUPATION.

18. STAMPED PLANS, SPECIFICATION AND PERMIT SHALL BE KEPT ON SITE AT ALL TIMES.

20. APPROVED IN COMPLIANCE WITH THE CONDITIONS OF THE METROPOLITAN WATER, SEWERAGE AND DRAINAGE BOARD AS STAMPED ON PLANS.

108. THE BUILDING SHALL BE SET OUT BY A REGISTERED SURVEYOR. A SURVEY CERTIFICATE SHALL BE SUBMITTED WHEN THE BUILDING IS CONSTRUCTED TO GROUND FLOOR SLAB LEVEL AND SHALL NOT PROGRESS BEYOND THAT POINT UNTIL APPROVAL HAS BEEN GRANTED BY THE HEALTH AND BUILDING SURVEYOR.

172. HOSE REELS SHALL BE DESIGNED AND INSTALLED WITHIN THE BUILDING IN ACCORDANCE WITH THE RELEVANT CLAUSES OF PART 27 OF ORDINANCE 70. THE REQUIRED HOSE REELS SHALL NOT BE INSTALLED IN THE BUILDING UNTIL A REPORT ISSUED BY THE BOARD OF FIRE COMMISSIONERS IN ACCORDANCE WITH PART 27 OF ORDINANCE 70 HAS BEEN SUBMITTED TO COUNCIL.

173. NO PART OF THE BUILDING SHALL BE MORE THAN 90M FROM A HYDRANT SITUATED:  
(A) IN THE ROAD TO WHICH THE SITE HAS FRONTAGE, OR  
(B) IN THE BUILDING, OR  
(C) WITHIN THE SITE, BUT EXTERNAL TO THE BUILDING  
DETAILS INCLUDING DESIGN CRITERIA OF THE PROPOSED METHOD OF COMPLYING WITH THIS CONDITION SHALL BE SUBMITTED AND APPROVED PRIOR TO COMMENCEMENT OF THE INSTALLATION OF ANY PLUMBING SERVICES.

176. DETAILS OF CONNECTION TO THE WATER SUPPLY AUTHORITY'S MAIN, PIPE WORK INCLUDING JUNCTIONS, BENDS, VALVES, PUMPS AND THE LIKE, AND TYPE OF HOSE REEL AND/OR HYDRANT SHALL BE SUBMITTED AND APPROVED BY COUNCIL PRIOR TO COMMENCEMENT OF INSTALLATIONS.

180. SATISFACTORY ARRANGEMENTS SHALL BE MADE WITH THE COUNCIL'S HEALTH AND BUILDING SURVEYOR FOR AN INSPECTION OF ALL PIPEWORK: INCLUDING CONNECTIONS, BENDS, VALVES AND ANCILLIARY EQUIPMENT PRIOR TO BACKFILLING, ENCLOSING OR ENCASEMENT OF PIPES.

242. ALL SOUND PRODUCING PLANT, MACHINERY, OR FITTINGS SHALL BE SOUND INSULATED AND/OR ISOLATED SO AS TO CONTROL EMISSION OF NOISE FROM THE PREMISES, WITHIN THE LIMITS PRESCRIBED UNDER THE NOISE CONTROL ACT, 1975 AND REGULATIONS.

262. THE ERECTION OF ANY ADVERTISING STRUCTURE OR DISPLAY OF ANY SIGN IS NOT PERMITTED WITHOUT THE PRIOR APPROVAL OF COUNCIL.

274. THE APPLICANT SHOULD CONSULT WITH THE DEPARTMENT OF INDUSTRIAL RELATIONS

CONTINUED....



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 7777

(C.D.E. 8017, Penrith)

APPLICATION NO: 017550

PERMIT NO: 017550

FOLIO NO: 3

AND EMPLOYMENT, CONCERNING ANY REQUIREMENTS THAT AUTHORITY MAY WISH TO IMPOSE.

286. THE BUILDING SHALL BE COMPLETED IN ALL RESPECTS AND A CERTIFICATE OF CLASSIFICATION SHALL BE ISSUED BY COUNCIL'S H/B SURVEYOR PRIOR TO OCCUPATION OF ANY PART OF THE BUILDING.
338. ACCESS AND FACILITIES FOR THE DISABLED SHALL BE PROVIDED IN ACCORDANCE WITH THE RELEVANT CLAUSES OF PARTS 46 AND 53 AND SPECIFICATION NO.9 OF ORDINANCE 70.
501. THE "TRUCK PORT" SHALL BE USED STRICTLY FOR THE PURPOSE OF WEATHER PROTECTION AND MINOR STORAGE. NO MAINTENANCE OF THE TRUCKS WILL OCCUR WITHOUT PRIOR COUNCIL CONSENT I.E REPAIRS, DEGREADING ETC. IF THIS OCCURS A GREASE AND OIL ARRESTOR WILL BE REQUIRED.
502. THE AWNINGS SHALL NOT BE USED FOR STORAGE WITHOUT PRIOR COUNCIL CONSENT.
503. THE PROPOSED ADDITION/NEW BUILDING SHALL COMPLY WITH PART 59 OF ORDINANCE 70 WITH REGARD TO THE FOLLOWING ESSENTIAL SERVICES
- | ESSENTIAL SERVICES  | MINIMUM MAINTENANCE STANDARD  |
|---|---|
| PORTABLE FIRE EXTINGUISHERS<br>(AS REQUIRED BY CLAUSE 27.4.1) | AS1851 0 PART 1 - 1985 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - PORTABLE FIRE EXTINGUISHERS" |
| HOSE REELS (AS REQUIRED BY CLAUSE 27.2)                       | AS1851 - PART 2 - 1981 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - FIRE HOSE REELS"             |
| HYDRANTS<br>(AS REQUIRED BY CLAUSE 27.3)                      | AS1851 - PART 4 1980 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - FIRE HYDRANT INSTALLATION"     |
504. ON COMPLETION OF THE ERECTION OF THE PROPOSED BUILDING WORK, THE OWNER OF THE BUILDING SHALL PROVIDE COUNCIL WITH A CERTIFICATE FROM A COMPETENT PERSON WITH RESPECT TO EACH ESSENTIAL SERVICE INSTALLED IN THE BUILDING. THIS CERTIFICATE SHALL BE IN THE EFFECT OF FORM 6 OF PART 59 OF ORDINANCE 70.
505. AT LEAST ONCE IN EACH PERIOD OF 12 MONTHS AFTER A CERTIFICATE IS REQUIRED TO HAVE BEEN FURNISHED TO COUNCIL IN RESPECT OF A BUILDING, THE OWNER OF THE BUILDING SHALL PROVIDE COUNCIL WITH A FURTHER CERTIFICATE WITH RESPECT TO EACH ESSENTIAL SERVICE INSTALLED IN THE BUILDING. THIS CERTIFICATE SHALL BE IN THE EFFECT OF FORM 7 OF PART 59 OF ORDINANCE 70.
851. MATERIALS TO BE USED ARE TO BLEND IN WITH EXISTING DEVELOPMENT ON THE SITE.

REQUIREMENTS OF OTHER AUTHORITIES  
-----

901. WARNING: THESE BUILDING PLANS MUST BE SUBMITTED TO ANY BUSINESS OFFICE

CONTINUED...



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 7777

(C.D.E. 8017, Penrith)

APPLICATION NO: 017550

PERMIT NO: 017550

FOLIO NO: 4

OF THE METROPOLITAN WATER, SEWERAGE AND DRAINAGE BOARD, AT LEAST 14 DAYS BEFORE COMMENCEMENT OF WORK.

THE PLANS AND A BUILDING APPLICATION FORM, AVAILABLE AT BUSINESS OFFICES, NEED TO BE SUBMITTED TO ENSURE THAT THE PROPOSED STRUCTURE MEETS THE REQUIREMENTS OF THE BOARD'S BY-LAWS CONCERNING:-

- 1) LOCATION OF SANITARY FIXTURES,
- 2) RELATIONSHIP OF THE BUILDING TO WATER MAINS, SEWERS AND STORMWATER CHANNELS,

AND FOR VALUING PURPOSES IN CONNECTION WITH SECTION 97 (4) AND (7) OF THE BOARD'S ACT, AND FOR THE CALCULATION OF A BUILDING FEE IN ACCORDANCE WITH BY-LAW 7 (1) (A) OF THE BOARD'S ACT.

FAILURE TO SUBMIT THESE PLANS BEFORE COMMENCEMENT OF WORK WILL RENDER THE OWNER LIABLE TO A PENALTY AND MAY RESULT IN THE DEMOLITION OF THE WORK AT THE BUILDER'S EXPENSE.

BUSINESS OFFICES ARE LOCATED AT:-

|              |  |            |                        |
|--------------|--|------------|------------------------|
| BLACKTOWN    | 22 MAIN ST.                              | ROCKDALE   | 564 PRINCESS HWAY.     |
| CAMPBELLTOWN | 106 QUEEN ST.                            | LIVERPOOL  | CNR BIGGE & MOORE STS. |
| CHATSWOOD    | 66-70 ARCHER ST.                         | MIRANDA    | 69-73 KIORA RD.        |
| DEE WHY      | 687 PITTWATER RD.                        | PARRAMATTA | 136 CHURCH ST.         |
| FAIRFIELD    | 51 SMART ST.                             | PENRITH    | 140-142 HENRY ST.      |
| HORNSBY      | CNR EDGEWORTH DAVID<br>AVE. & HUNTER ST. | SYDNEY     | 115-123 BATHURST ST.   |
| KATOOMBA     | 103 KATOOMBA ST.                         | WOLLONGONG | 406 COOMBE ST.         |
|              |  | CONISTON   | OLD SPRINGHILL RD.     |





# Penrith City Council

|    |        |
|----|--------|
| BA | 017550 |
|    | D. Urh |

## BUILDING APPLICATION

LOCAL GOVERNMENT ACT, 1919 (Ordinance 70)

The Town Clerk,

I, the undersigned, hereby make application to the Penrith City Council for the approval of plans and specifications of a building which I propose to substantially commence within TWELVE (12) MONTHS from the date of approval. I hereby agree to comply with the requirements of the Council and the Local Government Act, 1919 and Ordinance No. 70.

Particulars are as follows. ( PLEASE PRINT )

A minimum of THREE (3) COPIES of plans and specifications shall be submitted.

INCOMPLETE OR INCORRECT DETAIL ON THE APPLICATION MAY PREVENT OR DELAY IT BEING APPROVED

|                                   |                      |                               |                   |
|-----------------------------------|----------------------|-------------------------------|-------------------|
| House No.<br>Unit No. 74<br>Name. | Street<br>LINKS ROAD | Town<br>ST. MARYS             | Post Code<br>2760 |
| Lot or Por. No.<br>5              | Section              | D.P., S.P. or Estate<br>31908 |                   |
| Frontage (m)                      | Depth (m)            | Parish<br>ROOTY HILL          |                   |

### APPLICANT (Tick where applicable)

|  |  |   |
|--|--|---|
| Mr Ms<br>Mrs<br>Miss   | Christian Names<br>CATCH 400 T/as<br>ALBERT HUNT TRANSPORT | Surname   |
| Address<br>74 LINKS ROAD, ST. MARYS  |  | Post Code<br>2760                                 |
|  |  | Phone<br>(02) 673-4322                            |
| State whether: Owner <input type="checkbox"/>  |  | Builder <input type="checkbox"/>                  |
| Architect <input type="checkbox"/>   |  | Structural Engineer <input type="checkbox"/>      |
|  |  | Owner/Builder <input checked="" type="checkbox"/> |
|  |  | Other <input type="checkbox"/>                    |
| Signature  | <u>WARREN ALLEN,</u><br>Director.                          | Date 15/8/88                                      |
| Deposit/Fees paid by : Owner <input checked="" type="checkbox"/> Builder <input type="checkbox"/> Architect <input type="checkbox"/> Structural Engineer <input type="checkbox"/> Other <input type="checkbox"/> |  |   |

### OWNER

|   |  |                        |
|---|--|------------------------|
| Mr Ms<br>Mrs<br>Miss  | Christian Names<br>CATCH 400 T/as<br>ALBERT HUNT TRANSPORT | Surname                |
| Address<br>74 LINKS ROAD, ST. MARYS<br>( "As above" if same address ) |  | Post Code<br>2760      |
|   |  | Phone<br>(02) 673-4322 |

### BUILDER

|   |                 |           |
|---|-----------------|-----------|
| Mr Ms<br>Mrs<br>Miss                    | Christian Names | Surname   |
| Address<br>("As above" if same address) |                 | Post Code |
|   |                 | Phone     |

|  |  |   |
|--|--|---|
| Builders Licensing Insurance paid to Licensing Board | Yes <input type="checkbox"/> No <input type="checkbox"/>   | Licence No. _____<br>or<br>O/B Permit No. _____ |
| State whether:                                       | New <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> |   |

In accordance with Section 312A of the Local Government Act plans submitted with this application which indicate the height and external configuration of the proposed building may be shown to adjoining land owners or land owners who may be detrimentally affected by the location of the building which is the subject of this application. P.T.O.

PARTICULARS OF PROPOSED BUILDING

(TICK WHERE APPLICABLE)

Purpose for which building is to be used: Residential Occupation  Industrial  Garage  Recreational  Commercial

Total new or additional floor area (sq.m.): 395 SHED AREA

No. of new or additional self-contained dwelling units: -

No. of rooms this application: -

No. of bedrooms this application: -

No. and description of existing buildings on allotment: OFFICES AND WORKSHED

Type of Building: Dwelling  Flats  Shop  Home Units  Garage  Offices  Town Houses  Factory  Swimming Pool  Screen Enclosure  Carport  Other

~~Commercial~~/Industrial Properties: No. of Courts (Squash) \_\_\_\_\_ No. of Car Parking Spaces 34

Is concrete footpathing or kerbing or guttering laid in front of the property? Yes  No   
Is it damaged? Yes  No

No. of sets of plans and specifications lodged: Plans: 3 Specifications: (WITH PLANS)

State whether the materials are new or secondhand: New  Secondhand

Materials of floor/s: Concrete  Timber  Other

Materials of outer walls: Brick Veneer  Timber  Double Brick  Fibro  Concrete Block  Other

Materials of roof: Tiles  Aluminium  Steel  Corrugated Iron  Fibro  Other

Builders Sanitary Required: Yes  No

Contract price or Council's valuation of work: \$ 9,999.00

Locality Sketch: (Indicate North Point and nearest cross street)

FOR OFFICE USE ONLY

Value assessed \_\_\_\_\_ Signature \_\_\_\_\_ Date 15/8/88  
Contract sighted: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

| Assessment No. | Building Type | Quantity | Floor area | Ward | Accepted by |
|----------------|---------------|----------|------------|------|-------------|
|                | 810           | 1        | 395        | E    |             |



**PENRITH CITY COUNCIL**

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 7777

(C.D.E. 8017, Penrith)

YOUR REF:

OUR REF: 020549

CONTACT: MR D. VRH 327515

BUILDING PERMIT

PERMIT NO: 20549

REF:

ISSUED TO: CATCH 400 P/L.,  
74 LINKS ROAD  
ST. MARYS 2760

OF

IN RESPECT OF

LOT NO: 5 D.P: 61908 HOUSE NO: 0000 STREET: LINKS RD  
LOCALITY: ST. MARYS

<---OWNER'S NAME AND ADDRESS----->

CATCH 400 P/L.,  
74 LINKS ROAD  
ST. MARYS 2760

<---BUILDER'S NAME AND ADDRESS----->

CATCH 400 P/L.,  
74 LINKS ROAD  
ST. MARYS 2760

APPROVED SUBJECT TO COMPLIANCE WITH THE LOCAL GOVERNMENT ACT, RELEVANT ORDINANCES ISSUED THEREUNDER AND CONDITIONS NUMBERED; 14, 18, 20, 24, 64, 152, 194, 206, 235, 238, 242, 262, 274, 286, 294, 337, 501, 502, 901, 904,

HEREUNDER FOR THE ERECTION OF  
A OFFICES (NOT IN CLASS 6 - 9) ./SINGLE STO FOR THE VALUE OF \$9800.

THIS APPROVAL LAPSES ON THE EXPIRATION OF 12 MONTHS AFTER THE DATE HEREOF.

ATTENTION IS DRAWN TO THE PROVISIONS OF SECTION/S 317L (AND 288C IN REGARD TO FENCING OF SWIMMING POOLS) OF THE LOCAL GOVERNMENT ACT, 1919, AS AMENDED, GIVING A RIGHT OF APPEAL AGAINST THE DECISION OF COUNCIL. APPEAL FORMS ARE AVAILABLE AT COUNCIL'S OFFICE.

DATE: 18/4/89

SIGNED: G.L. RUMBLE, per:

(HEALTH AND BUILDING SERVICES MANAGER)

DATE: 18 APR 1989

SIGNED:

**POSTED TO APPLICANT**

CONDITIONS:

14. THAT 48 HOURS' NOTICE IN WRITING BE GIVEN TO COUNCIL FOR INSPECTION:-
- (A) OF TRENCHES BEFORE FOOTINGS ARE LAID;
  - (B) OF FOOTINGS BEFORE TRENCHES ARE FILLED;
  - (C) WHEN THE BUILDING HAS BEEN ERECTED TO FLOOR LEVEL AND DAMPCOURSES ARE LAID;
  - (D) OF FLASHING AND DAMP-PROOFING OF WET AREAS (VIZ. BATHROOMS, LAUNDRIES, ENSUITES AND W.C.) PRIOR TO CLADDING.

CONTINUED....



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 7777

(C.D.E. 8017, Penrith)

APPLICATION NO: 020549

PERMIT NO: 020549

FOLIO NO: 2

- (E) WHEN STEEL FOR REINFORCED STRUCTURAL CONCRETE WORK IS IN POSITION PRIOR TO POURING OF CONCRETE;
- (F) WHEN THE BUILDING HAS BEEN ERECTED TO ROOF FRAMING;
- (G) OF DRAINS BEFORE THEY ARE COVERED IN; AND
- (H) WHEN THE BUILDING IS COMPLETED AND READY FOR OCCUPATION.
18. STAMPED PLANS, SPECIFICATION AND PERMIT SHALL BE KEPT ON SITE AT ALL TIMES.
20. APPROVED IN COMPLIANCE WITH THE CONDITIONS OF THE WATER BOARD
24. A SPECIAL INSPECTION BY THE WATER BOARD SHALL BE OBTAINED ON ALL INTERNAL/EXTERNAL DRAINAGE.
64. FLOOR SURFACE OF INTERNAL W.C./LAUNDRY/BATHROOM/ENSUITE AND THE LIKE SHALL BE GRADED AND DRAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 47.8(1) OF ORDINANCE 70.
152. APPROVAL SHALL BE OBTAINED FROM COUNCIL'S CITY ENGINEERS DEPARTMENT PRIOR TO ANY WORK ASSOCIATED WITH COUNCIL'S PROPERTY.
194. THE SMOKE DEVELOPED, SPREAD OF FLAME AND FLAMMABILITY INDEXES OF THE SARKING AND BUILDING MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT CLAUSES OF PART 16 OF ORDINANCE 70. DETAILS OF THE EARLY FIRE HAZARD PROPERTIES OF THE SARKING AND BUILDING MATERIALS SHALL BE SUBMITTED TO THE H/B SERVICES MANAGER FOR CONSIDERATION & APPROVAL PRIOR TO INSTALLATION OF THE MATERIALS.
206. ANY REQUIRED EXIT DOOR THAT SWINGS AGAINST THE DIRECTION OF EGRESS SHALL BE FITTED WITH AN APPROVED MEANS OF FIXING IT IN THE FULLY OPEN POSITION.
235. REQUIRED DOORWAYS SHALL HAVE CLEAR OPENING OF NOT LESS THAN 1980MM IN HEIGHT AND 750MM IN WIDTH. EVERY EXIT AND PATH OF TRAVEL TO AN EXIT SHALL, EXCEPT FOR DOORWAYS, HAVE A MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE THROUGHOUT OF 2030MM AND A MINIMUM UNOBSTRUCTED WIDTH THROUGHOUT OF 1000MM.
238. THE REQUIRED EXIT DOOR SHALL BE HELD FULLY OPEN BY MEANS OF AN APPROVED DEVICE OR THE DOOR SHALL COMPLY WITH THE REQUIREMENTS OF PART 24 OF ORDINANCE 70 AT ALL TIMES DURING WHICH THE BUILDING OR PORTION IS NORMALLY OCCUPIED.
242. ALL SOUND PRODUCING PLANT, MACHINERY, OR FITTINGS SHALL BE SOUND INSULATED AND/OR ISOLATED SO AS TO CONTROL EMISSION OF NOISE FROM THE PREMISES, WITHIN THE LIMITS PRESCRIBED UNDER THE NOISE CONTROL ACT, 1975 AND REGULATIONS.
262. THE ERECTION OF ANY ADVERTISING STRUCTURE OR DISPLAY OF ANY SIGN IS NOT PERMITTED WITHOUT THE PRIOR APPROVAL OF COUNCIL.

CONTINUED....



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 7777

(C.D.E. 8017, Penrith)

APPLICATION NO: 020549

PERMIT NO: 020549

FOLIO NO: 3

274. THE APPLICANT SHOULD CONSULT WITH THE DEPARTMENT OF INDUSTRIAL RELATIONS AND EMPLOYMENT, CONCERNING ANY REQUIREMENTS THAT AUTHORITY MAY WISH TO IMPOSE.
286. THE BUILDING SHALL BE COMPLETED IN ALL RESPECTS AND A CERTIFICATE OF CLASSIFICATION SHALL BE ISSUED BY COUNCIL'S H/B SURVEYOR PRIOR TO OCCUPATION OF ANY PART OF THE BUILDING.
294. "GLAZING MATERIALS USED IN THE BUILDING SHALL BE SELECTED AND INSTALLED IN ACCORDANCE WITH THE RELEVANT REQUIREMENTS OF PART 53 OF ORDINANCE 70, AS 1288 "SAA. GLASS INSTALLATION CODE" AND AS 2208 "SAFETY GLAZING MATERIALS FOR USE IN BUILDINGS (HUMAN IMPACT CONSIDERATIONS)". A CERTIFICATE STATING THAT GLASS HAS BEEN INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF AS 1288 "SAA GLASS INSTALLATION CODE" SHALL BE SUBMITTED TO COUNCIL BY THE GLAZING INSTALLATION CONTRACTOR PRIOR TO OCCUPATION OF THE BUILDING OR ISSUE OF CERTIFICATE OF COMPLIANCE, WHICH EVER OCCURS FIRST.
337. THE APPLICANT SHALL CONSULT WITH THE STATE POLLUTION CONTROL COMMISSION IN ORDER TO DETERMINE THAT AUTHORITY'S REQUIREMENTS UNDER THE PROVISIONS OF THE CLEAN AIR ACT, CLEAN WATERS ACT AND NOISE CONTROL ACT.
501. ALL WASTE AND WASTE CONTAINERS SHALL BE STORED WITHIN THE CONFINES OF THE BUILDING ON NON-COLLECTION DAYS. IF THIS CANNOT BE ACHIEVED A SCREENED WASTE STORAGE AREA WILL BE CONSTRUCTED TO THE SATISFACTION OF THE HEALTH AND BUILDING SERVICES MANAGER.
502. STORMWATER IS TO BE CONNECTED TO THE EXISTING SYSTEM.

## REQUIREMENTS OF OTHER AUTHORITIES

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901. WARNING: THESE BUILDING PLANS MUST BE SUBMITTED TO ANY BUSINESS OFFICE OF THE METROPOLITAN WATER, SEWERAGE AND DRAINAGE BOARD, AT LEAST 14 DAYS BEFORE COMMENCEMENT OF WORK.
- THE PLANS AND A BUILDING APPLICATION FORM, AVAILABLE AT BUSINESS OFFICES, NEED TO BE SUBMITTED TO ENSURE THAT THE PROPOSED STRUCTURE MEETS THE REQUIREMENTS OF THE BOARD'S BY-LAWS CONCERNING:-
- 1) LOCATION OF SANITARY FIXTURES,
  - 2) RELATIONSHIP OF THE BUILDING TO WATER MAINS, SEWERS AND STORMWATER CHANNELS,
- AND FOR VALUING PURPOSES IN CONNECTION WITH SECTION 97 (4) AND (7) OF THE BOARD'S ACT, AND FOR THE CALCULATION OF A BUILDING FEE IN ACCORDANCE WITH BY-LAW 7 (1) (A) OF THE BOARD'S ACT.
- FAILURE TO SUBMIT THESE PLANS BEFORE COMMENCEMENT OF WORK WILL RENDER THE OWNER LIABLE TO A PENALTY AND MAY RESULT IN THE DEMOLITION OF THE WORK AT THE BUILDER'S EXPENSE.
- BUSINESS OFFICES ARE LOCATED AT:-
- |              |                  |           |                        |
|--------------|------------------|-----------|------------------------|
| BLACKTOWN    | 22 MAIN ST.      | ROCKDALE  | 564 PRINCESS HWAY.     |
| CAMPBELLTOWN | 106 QUEEN ST.    | LIVERPOOL | CNR BIGGE & MOORE STS. |
| CHATSWOOD    | 66-70 ARCHER ST. | MIRANDA   | 69-73 KIORA RD.        |

CONTINUED....



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 7777

(C.D.E. 8017, Penrith)

APPLICATION NO: 020549

PERMIT NO: 020549

FOLIO NO: 4

|           |                     |            |                      |
|-----------|---------------------|------------|----------------------|
| DEE WHY   | 687 PITTWATER RD.   | PARRAMATTA | 136 CHURCH ST.       |
| FAIRFIELD | 51 SMART ST.        | PENRITH    | 140-142 HENRY ST.    |
| HORNSBY   | CNR EDGEWORTH DAVID | SYDNEY     | 115-123 BATHURST ST. |
|           | AVE. & HUNTER ST.   | WOLLONGONG | 406 COOMBE ST.       |
| KATOOMBA  | 103 KATOOMBA ST.    | CONISTON   | OLD SPRINGHILL RD.   |

904. PROSPECT ELECTRICITY REQUIREMENTS ARE TO BE SOUGHT PRIOR TO COMMENCEMENT OF WORK IN RESPECT TO:- I) UNIMPEDED ACCESS AT ALL TIMES TO METER AND METERING EQUIPMENT; II) ANY CONSTRUCTION ADJACENT TO ANY ELECTRICAL EASEMENT; III) INSTALLATION OF ANY METALLIC OR CONDUCTIVE FENCING OR STRUCTURE WITHIN A FOUR METRE RADIUS (MEASURED FROM EXTREMITIES OF A PADMOUNTED SUBSTATION); IV) INSTALLATION OF CONDUITS ACROSS FOOTPATH APRON.



# Penrith City Council

BA 020549

## BUILDING APPLICATION

LOCAL GOVERNMENT ACT, 1919 (Ordinance 70)

The Town Clerk,

I, the undersigned, hereby make application to the Penrith City Council for the approval of plans and specifications of a building which I propose to substantially commence within TWELVE (12) MONTHS from the date of approval. I hereby agree to comply with the requirements of the Council and the Local Government Act, 1919 and Ordinance No. 70.

Particulars are as follows. ( PLEASE PRINT )

A minimum of THREE (3) COPIES of plans and specifications shall be submitted.

**INCOMPLETE OR INCORRECT DETAIL ON THE APPLICATION MAY PREVENT OR DELAY IT BEING APPROVED**  
**PROPERTY DETAILS**

|                                |            |                      |           |
|--------------------------------|------------|----------------------|-----------|
| House No.<br>Unit No.<br>Name. | Street     | Town                 | Post Code |
| 74                             | LINKS ROAD | ST. MARYS            | 2760      |
| Lot or Por. No.                | Section    | D.P., S.P. or Estate |           |
| 5                              |            | 31908                |           |
| Frontage (m)                   | Depth (m)  | Parish               |           |
|                                |            | ROOBY HILL           |           |

APPLICANT (Tick where applicable)

|                         |                                     |                                     |
|-------------------------|-------------------------------------|-------------------------------------|
| Mr Ms<br>Mrs<br>Miss    | Christian Names                     | Surname                             |
|                         | CATCH 400 P/L                       |                                     |
| Address                 |                                     | Post Code                           |
| 74 LINKS ROAD ST. MARYS |                                     | 2760                                |
| Phone                   |                                     |                                     |
| (02) 673 4322           |                                     |                                     |
| State whether:          |                                     |                                     |
| Owner                   | <input type="checkbox"/>            | Builder                             |
| Architect               | <input type="checkbox"/>            | Structural Engineer                 |
|                         |                                     | Owner/Builder                       |
|                         |                                     | <input checked="" type="checkbox"/> |
|                         |                                     | Other                               |
|                         |                                     | <input type="checkbox"/>            |
| Signature               |                                     | Date                                |
| <i>[Signature]</i>      |                                     | 23/3/89                             |
| Deposit/Fees paid by:   |                                     |                                     |
| Owner                   | <input checked="" type="checkbox"/> | Builder                             |
| Architect               | <input type="checkbox"/>            | Structural Engineer                 |
|                         |                                     | Other                               |
|                         |                                     | <input type="checkbox"/>            |

OWNER

|   |                 |           |
|---|-----------------|-----------|
| Mr Ms<br>Mrs<br>Miss                                    | Christian Names | Surname   |
|   | CATCH 400 P/L   |           |
| Address   |                 | Post Code |
| 74 LINKS ROAD<br>("As above" if same address) ST. MARYS |                 | 2760      |
| Phone   |                 |           |
| (02) 673 4322   |                 |           |

BUILDER

|                              |                 |           |
|------------------------------|-----------------|-----------|
| Mr Ms<br>Mrs<br>Miss         | Christian Names | Surname   |
|                              | OWNER           |           |
| Address                      |                 | Post Code |
| ("As above" if same address) |                 |           |
| Phone                        |                 |           |

|  |                              |                                     |   |
|--|------------------------------|-------------------------------------|---|
| Builders Licensing Insurance paid to Licensing Board | Yes <input type="checkbox"/> | No <input type="checkbox"/>         | Licence No. _____<br>or<br>O/B Permit No. _____ |
| State whether:                                       | New <input type="checkbox"/> | Alteration <input type="checkbox"/> | Addition <input type="checkbox"/>               |

PARTICULARS OF PROPOSED BUILDING

(TICK WHERE APPLICABLE)

Purpose for which building is to be used: Residential Occupation  Industrial  Garage  Recreational  Commercial

Total new or additional floor area (sq.m.): 100 sq.m. OFFICES  
 No. of new or additional self-contained dwelling units: \_\_\_\_\_  
 No. of rooms this application: \_\_\_\_\_  
 No. of bedrooms this application: \_\_\_\_\_  
 No. and description of existing buildings on allotment: OFFICES & WORKSHED

Type of Building: Dwelling  Flats  Shop  Home Units  Garage  Offices  Town Houses  Factory  Swimming Pool  Screen Enclosure  Carport  Other

Commercial/Industrial Properties: No. of Courts (Squash) \_\_\_\_\_ No. of Car Parking Spaces \_\_\_\_\_

Is concrete footpathing or kerbing or guttering laid in front of the property? Yes  No   
 Is it damaged? Yes  No

No. of sets of plans and specifications lodged: Plans: 3 Specifications: (WITH PLANS)

State whether the materials are new or secondhand: New  Secondhand

Materials of floor/s: Concrete  Timber  Other   
 Materials of outer walls: Brick Veneer  Timber  Double Brick  Fibro  Concrete Block  Other   
 Materials of roof: Tiles  Aluminium  Steel  Corrugated Iron  Fibro  Other

Builders Sanitary Required: Yes  No

Contract price or Council's valuation of work: \$ 9800.00

Locality Sketch: (Indicate North Point and nearest cross street)

23 MAR 1989

FOR OFFICE USE ONLY

Value assessed \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_  
 Contract sighted: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

| Assessment No. | Building Type | Quantity | Floor area              | Ward        | Accepted by        |
|----------------|---------------|----------|-------------------------|-------------|--------------------|
|                | <u>0502</u>   | <u>1</u> | <u>100m<sup>2</sup></u> | <u>East</u> | <u>[Signature]</u> |

spoke to Craig Hall - T/P.  
 he said no. DPA is required  
 [Signature] 23/3/89



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 7777

(C.D.E. 8017, Penrith)

YOUR REF:

OUR REF: 021778

CONTACT: D VRH 327515

BUILDING PERMIT

PERMIT NO: 21778

REF:

ISSUED TO: CATCH 400 PTY LTD  
74 LINKS ROAD  
ST MARYS 2760

OF

IN RESPECT OF

LOT NO: 605

D.P: 706751

HOUSE NO: 0000

STREET: LINKS RD

LOCALITY: ST MARYS

<---OWNER'S NAME AND ADDRESS----->

CATCH 400 PTY LTD  
74 LINKS ROAD  
ST MARYS 2760

<---BUILDER'S NAME AND ADDRESS----->

CATCH 400 PTY LTD  
74 LINKS ROAD  
ST MARYS 2760

APPROVED SUBJECT TO COMPLIANCE WITH THE LOCAL GOVERNMENT ACT, RELEVANT ORDINANCES ISSUED THEREUNDER AND CONDITIONS NUMBERED; 14, 16, 18, 20, 24, 26, 28, 56, 64, 108, 136, 172, 174, 175, 176, 194, 202, 206, 230, 235, 242, 262, 274, 338, 526, 528, 530, 532, 501, 502, 622, 624, 632, 800, 802, 804, 806, 808, 816, 818, 820, 851, 901, 904,

HEREUNDER FOR THE ERECTION OF A INDUSTRIAL/FACTORY-WAREHOUSE - BLOCKWORK FOR THE VALUE OF \$174900.

THIS APPROVAL LAPSES ON THE EXPIRATION OF 12 MONTHS AFTER THE DATE HEREOF.

ATTENTION IS DRAWN TO THE PROVISIONS OF SECTION/S 317L (AND 288C IN REGARD TO FENCING OF SWIMMING POOLS) OF THE LOCAL GOVERNMENT ACT, 1919, AS AMENDED, GIVING A RIGHT OF APPEAL AGAINST THE DECISION OF COUNCIL. APPEAL FORMS ARE AVAILABLE AT COUNCIL'S OFFICE.

DATE: 28/9 189

SIGNED: G.L. RUMBLE, per: *G.L. Rumble*

(HEALTH AND BUILDING SERVICES MANAGER)

DATE: / /

SIGNED:

(PERSON COLLECTING PLANS)

CONDITIONS:

14. THAT 48 HOURS' NOTICE IN WRITING BE GIVEN TO COUNCIL FOR INSPECTION:-
  - (A) OF TRENCHES BEFORE FOOTINGS ARE LAID;
  - (B) OF FOOTINGS BEFORE TRENCHES ARE FILLED;
  - (C) WHEN THE BUILDING HAS BEEN ERECTED TO FLOOR LEVEL AND DAMPCOURSES ARE LAID;
  - (D) OF FLASHING AND DAMP-PROOFING OF WET AREAS (VIZ. BATHROOMS, LAUNDRIES, ENSUITES AND W.C.) PRIOR TO CLADDING.

CONTINUED....



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 7777

(C.D.E. 8017, Penrith)

APPLICATION NO: 021778

PERMIT NO: 021778

FOLIO NO: 2

- (E) WHEN STEEL FOR REINFORCED STRUCTURAL CONCRETE WORK IS IN POSITION PRIOR TO POURING OF CONCRETE;
- (F) WHEN THE BUILDING HAS BEEN ERECTED TO ROOF FRAMING;
- (G) OF DRAINS BEFORE THEY ARE COVERED IN; AND
- (H) WHEN THE BUILDING IS COMPLETED AND READY FOR OCCUPATION.

- 16. BUILDING SHALL NOT BE USED OR OCCUPIED UNTIL APPROVAL IS GRANTED BY COUNCIL.
- 18. STAMPED PLANS, SPECIFICATION AND PERMIT SHALL BE KEPT ON SITE AT ALL TIMES.
- 20. APPROVED IN COMPLIANCE WITH THE CONDITIONS OF THE WATER BOARD
- 24. A SPECIAL INSPECTION BY THE WATER BOARD SHALL BE OBTAINED ON ALL INTERNAL/EXTERNAL DRAINAGE.
- 26. ROOFWATER DRAINS SHALL BE DISCHARGED INTO STREET GUTTER OR COMMON LINE.
- 28. SANITARY ACCOMMODATION SHALL BE PROVIDED FOR WORKMEN IN ACCORDANCE WITH THE REQUIREMENTS OF ORDINANCE 44.
- 56. AN EXHAUST FAN SHALL BE PROVIDED TO THE BATHROOM/WC/ENSUITE/LAUNDRY AND SHALL BE SO CONNECTED TO ENABLE SIMULTANEOUS OPERATION WITH THE LIGHT SWITCH AND SHALL EXHAUST TO THE OUTSIDE AIR.
- 64. FLOOR SURFACE OF INTERNAL W.C./LAUNDRY/BATHROOM/ENSUITE AND THE LIKE SHALL BE GRADED AND DRAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 47.8(1) OF ORDINANCE 70.
- 108. THE BUILDING SHALL BE SET OUT BY A REGISTERED SURVEYOR. A SURVEY CERTIFICATE SHALL BE SUBMITTED WHEN THE BUILDING IS CONSTRUCTED TO GROUND FLOOR SLAB LEVEL AND SHALL NOT PROGRESS BEYOND THAT POINT UNTIL APPROVAL HAS BEEN GRANTED BY THE HEALTH AND BUILDING SURVEYOR.
- 136. DETAILS PREPARED BY AN APPROVED PRACTISING STRUCTURAL ENGINEER SHALL BE SUBMITTED FOR ALL STRUCTURAL CONCRETE AND STEEL WORK FOR COUNCIL'S CONSIDERATION AND APPROVAL PRIOR TO COMMENCEMENT OF THE WORK.
- 172. HOSE REELS SHALL BE DESIGNED AND INSTALLED WITHIN THE BUILDING IN ACCORDANCE WITH THE RELEVANT CLAUSES OF PART 27 OF ORDINANCE 70. THE REQUIRED HOSE REELS SHALL NOT BE INSTALLED IN THE BUILDING UNTIL A REPORT ISSUED BY THE BOARD OF FIRE COMMISSIONERS IN ACCORDANCE WITH PART 27 OF ORDINANCE 70 HAS BEEN SUBMITTED TO COUNCIL.
- 174. UNLESS OTHERWISE APPROVED, ALL FIRE HOSE REELS SHALL BE LOCATED WITHIN 3 METRES OF A REQUIRED EXIT. THE REEL SHALL NOT IN ANY WAY, INTERFERE WITH THE OPERATION OF THE EXIT OR DIMINISH THE WIDTH OF THE PATH OF TRAVEL TO THE EXIT.
- 175. (A) PORTABLE FIRE EXTINGUISHERS, HAVING AT LEAST THE PROTECTION

CONTINUED....



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FOLIO NO: 3

EFFECTIVENESS OF A 5.5KG CARBON DIOXIDE EXTINGUISHER SHALL BE INSTALLED WITHIN THE BUILDING IN ACCORDANCE WITH THE REQUIREMENTS OF PART 27 OF ORDINANCE 70. IT WILL BE NECESSARY FOR THE APPLICANT TO CONSULT WITH THE HEALTH AND BUILDING DEPARTMENT TO DETERMINE THE LOCATION OF THE EXTINGUISHERS.

(B) FIRE BLANKETS SHALL BE PROVIDED IN COMMERCIAL KITCHENS, OR OTHER AREAS WHERE SMALL COOKING FIRES ARE LIKELY. THE BLANKETS SHALL COMPLY WITH THE REQUIREMENTS OF AS3504-1987 "FIRE BLANKETS".

176. DETAILS OF CONNECTION TO THE WATER SUPPLY AUTHORITY'S MAIN, PIPE WORK INCLUDING JUNCTIONS, BENDS, VALVES, PUMPS AND THE LIKE, AND TYPE OF HOSE REEL AND/OR HYDRANT SHALL BE SUBMITTED AND APPROVED BY COUNCIL PRIOR TO COMMENCEMENT OF INSTALLATIONS.
194. THE SMOKE DEVELOPED, SPREAD OF FLAME AND FLAMMABILITY INDEXES OF THE SARKING AND BUILDING MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT CLAUSES OF PART 16 OF ORDINANCE 70. DETAILS OF THE EARLY FIRE HAZARD PROPERTIES OF THE SARKING AND BUILDING MATERIALS SHALL BE SUBMITTED TO THE H/B SERVICES MANAGER FOR CONSIDERATION & APPROVAL PRIOR TO INSTALLATION OF THE MATERIALS.
202. ALL REQUIRED EXIT DOORS OR DOORS FORMING PART OF A REQUIRED EXIT SHALL BE READILY OPENABLE WITHOUT A KEY AND BY A SINGLE HANDED ACTION FROM THE SIDE THAT WOULD FACE ANY PERSON SEEKING EGRESS FROM THE BUILDING.
206. ANY REQUIRED EXIT DOOR THAT SWINGS AGAINST THE DIRECTION OF EGRESS SHALL BE FITTED WITH AN APPROVED MEANS OF FIXING IT IN THE FULLY OPEN POSITION.
230. OPENINGS IN EXTERNAL WALLS SHALL BE PROTECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT CLAUSES OF PART 22 OF ORDINANCE 70. DETAILS OF THE MEANS OF ACHIEVING THE PROTECTION SHALL BE SUBMITTED FOR THE CONSIDERATION AND APPROVAL OF THE HEALTH AND BUILDING SERVICES MANAGER PRIOR TO INSTALLATION.
235. REQUIRED DOORWAYS SHALL HAVE CLEAR OPENING OF NOT LESS THAN 1980MM IN HEIGHT AND 750MM IN WIDTH. EVERY EXIT AND PATH OF TRAVEL TO AN EXIT SHALL, EXCEPT FOR DOORWAYS, HAVE A MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE THROUGHOUT OF 2030MM AND A MINIMUM UNOBSTRUCTED WIDTH THROUGHOUT OF 1000MM.
242. ALL SOUND PRODUCING PLANT, MACHINERY, OR FITTINGS SHALL BE SOUND INSULATED AND/OR ISOLATED SO AS TO CONTROL EMISSION OF NOISE FROM THE PREMISES, WITHIN THE LIMITS PRESCRIBED UNDER THE NOISE CONTROL ACT, 1975 AND REGULATIONS.
262. THE ERECTION OF ANY ADVERTISING STRUCTURE OR DISPLAY OF ANY SIGN IS NOT PERMITTED WITHOUT THE PRIOR APPROVAL OF COUNCIL.
274. THE APPLICANT SHOULD CONSULT WITH THE DEPARTMENT OF INDUSTRIAL RELATIONS AND EMPLOYMENT, CONCERNING ANY REQUIREMENTS THAT AUTHORITY MAY

CONTINUED....



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APPLICATION NO: 021778

PERMIT NO: 021778

FOLIO NO: 4

WISH TO IMPOSE.

338. ACCESS AND FACILITIES FOR THE DISABLED SHALL BE PROVIDED IN ACCORDANCE WITH THE RELEVANT CLAUSES OF PARTS 46 AND 53 AND SPECIFICATION NO.9 OF ORDINANCE 70.
526. THE PROPOSED ADDITION/NEW BUILDING SHALL COMPLY WITH PART 59 OF ORDINANCE 70 WITH REGARD TO THE FOLLOWING ESSENTIAL SERVICES CIRCLED:-
- ESSENTIAL SERVICES
- |   |  |
|---|--|
| (I) ACCESS PANELS (AS REQUIRED BY CLAUSE 22.12)   | MINIMUM MAINTENANCE STANDARD<br>AS1851 - PART 7 - 1984 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - FIRE RESISTANT DOOR SETS"                                     |
| (II) AUTOMATIC SPRINKLER SYSTEMS (AS REQUIRED BY CLAUSE 19.2, 19.4, 22.4, 23.1, 24.12, 27.4, 55.17, OR 60.3)        | AS1851 - PART 3 - 1985 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - AUTOMATIC FIRE SPRINKLER SYSTEMS"   |
| DRENCHER SYSTEMS (AS REQUIRED BY CLAUSE 22.4 OR 23.1)   | AS1851 - PART 3 - 1985 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - AUTOMATIC FIRE SPRINKLER SYSTEMS"   |
| (III) EMERGENCY LIFTS (AS REQUIRED BY CLAUSE 55.9)  | AS1735-1975 "SAA LIFT CODE"  |
| (IV) EMERGENCY LIGHTING (AS REQUIRED BY CLAUSE 55.12)   | AS2293.2-1987 "EMERGENCY EVACUATION LIGHTING IN BUILDINGS - INSPECTION & MAINTENANCE"  |
| (V) EMERGENCY POWER SUPPLY (AS REQUIRED BY CLAUSE 55.15)  | AS3009-1985 ELECTRIC INSTALLATIONS - "EMERGENCY POWER SUPPLIES IN HOSPITALS"   |
| (VI) EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEM (AS REQUIRED BY CLAUSE 55.16 OR 60.10)                         | AS2220-1978 RULES FOR EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEMS FOR BUILDINGS   |
| (VII) EXIT SIGNS (AS REQUIRED BY CLAUSE 24.29)  | AS2293.2-1987 "EMERGENCY EVACUATION LIGHTING IN BUILDINGS - INSPECTION AND MAINTENANCE"  |
| (VIII) FIRE ALARM SYSTEMS (AS REQUIRED BY CLAUSE 27.4)  | AS1851 - PART 8 1987 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - AUTOMATIC FIRE DETECTION AND ALARM SYSTEMS"   |
| (IX) FIRE DAMPERS (AS REQUIRED BY CLAUSE 22.13)   | AS1851 - PART 6 - 1983 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - MANAGEMENT PROCEDURES FOR MAINTAINING THE FIRE PRECAUTION FEATURES OF AIR - HANDLING SYSTEMS" |
| (X) FIRE DOORS (AS REQUIRED BY CLAUSE 22.4, 22.6, 22.7, 22.8, 22.9, 22.10, 22.11, 22.12, 23.6, 24.11, 55.5 OR 60.4) | AS1851 - PART 7 - 1984 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - FIRE RESISTANT DOOR SETS"   |
| (XI) FIRE MAINS (AS REQUIRED BY CLAUSE 27.1)  | AS1851 - PART 4 - 1988 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - FIRE HYDRANT INSTALLATIONS"   |
| (XII) FIRE SHUTTERS (AS REQUIRED BY CLAUSE 22.4, 22.6, 23.1 OR 24.11)   | NFPA - NATIONAL FIRE CODE 80, STANDARD FOR FIRE DOORS AND WINDOWS PARTICULARLY CHAPTER 14 "CARE AND  |

CONTINUED....



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FOLIO NO: 5

(XIII) FIRE WINDOWS (AS REQUIRED BY CLAUSE 22.4, 23.1)

(XIV) HOSE REELS (AS REQUIRED BY CLAUSE 27.2)

(XV) HYDRANTS (AS REQUIRED BY CLAUSE 27.3)

(XVI) MECHANICAL SMOKE EXHAUST SYSTEMS (AS REQUIRED BY CLAUSE 60.9)

(XVII) MECHANICAL VENTILATION AND AIR-CONDITIONING SYSTEMS (AS REQUIRED BY CLAUSE 50.12 OR 55.17)

(XVIII) NON-COMBUSTIBLE ROLLER SHUTTERS (AS REQUIRED BY CLAUSE 22.16)

(XIX) PORTABLE FIRE EXTINGUISHERS (AS REQUIRED BY CLAUSE 27.4.1)

(XX) PRESSURISING SYSTEMS (AS REQUIRED BY CLAUSE 21.3)

(XXI) SMOKE DOORS (AS REQUIRED BY CLAUSE 21.3)

(XXII) SOLID-CORE DOORS (AS REQUIRED BY CLAUSE 22.9, 22.10 OR 22.16)

(XXIII) VENTS (AS REQUIRED BY CLAUSE 19.3, 19.4, 19.7 OR 60.9)

NOTE: WHERE IT IS PROPOSED TO ALTER OR EXTEND AN EXISTING BUILDING THE SPECIFIED MAINTENANCE STANDARD APPLIES TO THE SERVICES INSTALLED IN BOTH THE EXISTING BUILDING AND IN THE ALTERATION/EXTENSION.

528. ON COMPLETION OF THE ERECTION OF THE PROPOSED BUILDING WORK, THE OWNER OF THE BUILDING SHALL PROVIDE COUNCIL WITH A CERTIFICATE FROM A COMPETENT PERSON WITH RESPECT TO EACH ESSENTIAL SERVICE INSTALLED IN THE BUILDING. THIS CERTIFICATE SHALL BE IN THE EFFECT OF FORM 6 OF PART 59 OF ORDINANCE 70.

MAINTENANCE"

NFPA - NATIONAL FIRE CODE 80, "STANDARD FOR FIRE DOORS AND WINDOWS" PARTICULARLY CHAPTER 14 "CARE AND MAINTENANCE"

AS1851 - PART 2 1981 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - FIRE HOSE REELS"

AS1851 - PART 4 - 1980 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - FIRE HYDRANT INSTALLATION"

AS1851 - PART 6 - 1983 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - MANAGEMENT PROCEDURES FOR MAINTAINING THE FIRE PRECAUTION FEATURES OF AIRHANDLING SYSTEMS"

AS1851 - PART 6 - 1983 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - MANAGEMENT PROCEDURES FOR MAINTAINING THE FIRE PRECAUTION FEATURES OF AIRHANDLING SYSTEMS"

NFPA - NATIONAL FIRE CODE 80, STANDARD FOR FIRE DOORS & WINDOWS" PARTICULARLY CHAPTER 14 "CARE AND MAINTENANCE"

AS1851 - PART 1 - 1985 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - PORTABLE FIRE EXTINGUISHERS"

AS1851 - PART 6 - 1983 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - MANAGEMENT PROCEDURES FOR MAINTAINING THE FIRE PRECAUTION FEATURES OF AIRHANDLING SYSTEMS"

AS1851 - PART 7 1984 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - FIRE RESISTANT DOOR SETS"

AS1851 - PART 7 - 1984 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - FIRE RESISTANT DOOR SETS"

AS1851 - PART 5 - 1981 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - AUTOMATIC SMOKE/HEAT VENTING SYSTEMS"

CONTINUED....



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APPLICATION NO: 021778

PERMIT NO: 021778

FOLIO NO: 6

530. THIS BUILDING SHALL NOT BE USED OR OCCUPIED UNTIL A CERTIFICATE OF CLASSIFICATION IS ISSUED BY COUNCIL.
532. AT LEAST ONCE IN EACH PERIOD OF TWELVE MONTHS AFTER A CERTIFICATE IS REQUIRED TO HAVE BEEN FURNISHED TO COUNCIL IN RESPECT OF A BUILDING, THE OWNER OF THE BUILDING SHALL PROVIDE COUNCIL WITH A FURTHER CERTIFICATE WITH RESPECT TO EACH ESSENTIAL SERVICE INSTALLED IN THE BUILDING. THE CERTIFICATE SHALL BE IN THE EFFECT OF FORM 7 OF PART 59 OF ORDINANCE 70.
501. ALL TRADE WASTES SHALL BE STORED WITH SUITABLE RECEPTICLES WITHIN THE BUILDING TO COUNCIL'S SATISFACTION.
622. PROVISION OF A GUTTER CROSSING TO THE SATISFACTION OF THE CITY ENGINEER.
624. HEAVY DUTY PAVED VEHICULAR FOOTWAY CROSSINGS ARE TO BE PROVIDED AT ALL POINTS OF INGRESS AND EGRESS TO THE SATISFACTION OF AND UNDER THE SUPERVISION OF THE CITY ENGINEER.
632. ALL LAND REQUIRED FOR VEHICULAR ACCESS AND PARKING IS TO BE CONCRETED OR SEALED WITH A BITUMINOUS PAVEMENT TO COUNCIL'S SATISFACTION.
800. ALL ALTERATIONS TO SERVICES AND MUNICIPAL FACILITIES AS NECESSITATED BY THE DEVELOPMENT SHALL BE THE RESPONSIBILITY OF THE APPLICANT.
802. SUBMISSION OF A SCHEDULE OF PROPOSED EXTERNAL FINISHES INCLUDING SAMPLES OF ALL EXTERNAL MATERIALS TO BE USED FOR COUNCIL'S CONSIDERATION AND APPROVAL PRIOR TO COMMENCEMENT WORK. IN THIS REGARD, IT SHOULD BE NOTED THAT THE USE OF NATURAL CONCRETE BLOCK ON EXTERNAL WALLS IS NOT PERMITTED.
804. LANDSCAPED AREAS ARE TO BE MAINTAINED TO COUNCIL'S SATISFACTION AT ALL TIMES, AND ANY DIRECTION GIVEN BY COUNCIL IS TO BE GIVEN IMMEDIATE COMPLIANCE.
806. NO USE, OTHER THAN FOR LANDSCAPING PURPOSES, IS TO BE MADE OF THE LAND SITUATED BETWEEN THE BUILDING ALIGNMENT AND THE STREET ALIGNMENT.
808. ALL SECURITY FENCING IS TO BE ESTABLISHED BEHIND THE AREAS REQUIRED TO BE LANDSCAPED AND NOT ON THE ROAD ALIGNMENTS.
816. VEHICLES MUST BE DRIVEN FORWARD ONTO AND AWAY FROM, THE SITE.
818. ALL MATERIALS AND GOODS ASSOCIATED WITH THE USE ARE TO BE CONTAINED WITHIN THE BUILDING AT ALL TIMES.
820. SEPARATE APPLICATION IS TO BE MADE FOR ALL ADVERTISING MATERIAL.
851. DRIVEWAY ENTRY WIDTH TO BE 9 METRES AS PER THE AMENDED PLAN.

REQUIREMENTS OF OTHER AUTHORITIES

CONTINUED....



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FOLIO NO: 7

901. WARNING: THESE BUILDING PLANS MUST BE SUBMITTED TO ANY BUSINESS OFFICE OF THE METROPOLITAN WATER, SEWERAGE AND DRAINAGE BOARD, AT LEAST 14 DAYS BEFORE COMMENCEMENT OF WORK.

THE PLANS AND A BUILDING APPLICATION FORM, AVAILABLE AT BUSINESS OFFICES, NEED TO BE SUBMITTED TO ENSURE THAT THE PROPOSED STRUCTURE MEETS THE REQUIREMENTS OF THE BOARD'S BY-LAWS CONCERNING:-

- 1) LOCATION OF SANITARY FIXTURES,
- 2) RELATIONSHIP OF THE BUILDING TO WATER MAINS, SEWERS AND STORMWATER CHANNELS,

AND FOR VALUING PURPOSES IN CONNECTION WITH SECTION 97 (4) AND (7) OF THE BOARD'S ACT, AND FOR THE CALCULATION OF A BUILDING FEE IN ACCORDANCE WITH BY-LAW 7 (1) (A) OF THE BOARD'S ACT.

FAILURE TO SUBMIT THESE PLANS BEFORE COMMENCEMENT OF WORK WILL RENDER THE OWNER LIABLE TO A PENALTY AND MAY RESULT IN THE DEMOLITION OF THE WORK AT THE BUILDER'S EXPENSE.

BUSINESS OFFICES ARE LOCATED AT:-

|              |                                       |            |                        |
|--------------|---------------------------------------|------------|------------------------|
| BLACKTOWN    | 22 MAIN ST.                           | ROCKDALE   | 564 PRINCESS HWAY.     |
| CAMPBELLTOWN | 106 QUEEN ST.                         | LIVERPOOL  | CNR BIGGE & MOORE STS. |
| CHATSWOOD    | 66-70 ARCHER ST.                      | MIRANDA    | 69-73 KIORA RD.        |
| DEE WHY      | 687 PITTWATER RD.                     | PARRAMATTA | 136 CHURCH ST.         |
| FAIRFIELD    | 51 SMART ST.                          | PENRITH    | 140-142 HENRY ST.      |
| HORNSBY      | CNR EDGEWORTH DAVID AVE. & HUNTER ST. | SYDNEY     | 115-123 BATHURST ST.   |
| KATOOMBA     | 103 KATOOMBA ST.                      | WOLLONGONG | 406 COOMBE ST.         |
|              |                                       | CONISTON   | OLD SPRINGHILL RD.     |

904. PROSPECT ELECTRICITY REQUIREMENTS ARE TO BE SOUGHT PRIOR TO COMMENCEMENT OF WORK IN RESPECT TO:- I) UNIMPEDED ACCESS AT ALL TIMES TO METER AND METERING EQUIPMENT; II) ANY CONSTRUCTION ADJACENT TO ANY ELECTRICAL EASEMENT; III) INSTALLATION OF ANY METALLIC OR CONDUCTIVE FENCING OR STRUCTURE WITHIN A FOUR METRE RADIUS (MEASURED FROM EXTREMITIES OF A PADMOUNTED SUBSTATION); IV) INSTALLATION OF CONDUITS ACROSS FOOTPATH APRON.



# Penrith City Council

BA 021778  
D. URH.

## BUILDING APPLICATION

LOCAL GOVERNMENT ACT, 1919 (Ordinance 70)

The Town Clerk,

I, the undersigned, hereby make application to the Penrith City Council for the approval of plans and specifications of a building which I propose to substantially commence within TWELVE (12) MONTHS from the date of approval. I hereby agree to comply with the requirements of the Council and the Local Government Act, 1919 and Ordinance No. 70.

Particulars are as follows. (PLEASE PRINT)

A minimum of THREE (3) COPIES of plans and specifications shall be submitted.

INCOMPLETE OR INCORRECT DETAIL ON THE APPLICATION MAY PREVENT OR DELAY IT BEING APPROVED

### PROPERTY DETAILS

|                                |            |                      |           |
|--------------------------------|------------|----------------------|-----------|
| House No.<br>Unit No.<br>Name. | Street     | Town                 | Post Code |
| 73                             | LINKS ROAD | ST MARYS             | 2760      |
| Lot or Por. No.                | Section    | D.P., S.P. or Estate |           |
| 605                            |            | 706 751 ✓            |           |
| Frontage (m)                   | Depth (m)  | Parish               |           |

### APPLICANT (Tick where applicable)

|                        |                          |                     |                          |               |                                     |                     |                          |       |                          |
|------------------------|--------------------------|---------------------|--------------------------|---------------|-------------------------------------|---------------------|--------------------------|-------|--------------------------|
| Mr Ms<br>Mrs<br>Miss   | Christian Names          | Surname             |                          |               |                                     |                     |                          |       |                          |
|                        | CATCH 400 PTY LTD        |                     |                          |               |                                     |                     |                          |       |                          |
| Address                |                          | Post Code           |                          |               |                                     |                     |                          |       |                          |
| 74 LINKS ROAD ST MARYS |                          | 2760                |                          |               |                                     |                     |                          |       |                          |
| Phone                  |                          | (02) 6734322        |                          |               |                                     |                     |                          |       |                          |
| State whether:         |                          |                     |                          |               |                                     |                     |                          |       |                          |
| Owner                  | <input type="checkbox"/> | Builder             | <input type="checkbox"/> | Owner/Builder | <input checked="" type="checkbox"/> |                     |                          |       |                          |
| Architect              | <input type="checkbox"/> | Structural Engineer | <input type="checkbox"/> | Other         | <input type="checkbox"/>            |                     |                          |       |                          |
| Signature              |                          |                     |                          |               |                                     |                     |                          |       |                          |
| <i>[Signature]</i>     |                          |                     |                          |               |                                     |                     |                          |       |                          |
| Date                   |                          |                     |                          |               |                                     |                     |                          |       |                          |
| 24-7-89                |                          |                     |                          |               |                                     |                     |                          |       |                          |
| Deposit/Fees paid by:  |                          |                     |                          |               |                                     |                     |                          |       |                          |
| Owner                  | <input type="checkbox"/> | Builder             | <input type="checkbox"/> | Architect     | <input type="checkbox"/>            | Structural Engineer | <input type="checkbox"/> | Other | <input type="checkbox"/> |

### OWNER

|                              |                   |           |
|------------------------------|-------------------|-----------|
| Mr Ms<br>Mrs<br>Miss         | Christian Names   | Surname   |
|                              | CATCH 400 PTY LTD |           |
| Address                      |                   | Post Code |
| "AS ABOVE"                   |                   |           |
| ("As above" if same address) |                   | Phone     |

### BUILDER

|                              |                 |           |
|------------------------------|-----------------|-----------|
| Mr Ms<br>Mrs<br>Miss         | Christian Names | Surname   |
|                              | O.B.            |           |
| Address                      |                 | Post Code |
| ("As above" if same address) |                 | Phone     |

|  |                              |                                     |                                   |                |
|--|------------------------------|-------------------------------------|-----------------------------------|----------------|
| Builders Licensing Insurance paid to Licensing Board | Yes <input type="checkbox"/> | No <input type="checkbox"/>         | Licence No.                       | _____          |
| State whether:                                       | New <input type="checkbox"/> | Alteration <input type="checkbox"/> | Addition <input type="checkbox"/> | O/B Permit No. |
|  |                              |                                     |                                   | _____          |

PARTICULARS OF PROPOSED BUILDING

(TICK WHERE APPLICABLE)

Purpose for which building is to be used: Residential Occupation  Industrial  Garage  Recreational  Commercial

Total new or additional floor area (sq.m.): 550 Factory

No. of new or additional self-contained dwelling units: 50 Office and Ammenities

No. of rooms this application: \_\_\_\_\_

No. of bedrooms this application: \_\_\_\_\_

No. and description of existing buildings on allotment: \_\_\_\_\_

Type of Building: Dwelling  Flats  Shop  Home Units  Garage  Offices  Town Houses  Factory  Swimming Pool  Screen Enclosure  Carport  Other

Commercial/Industrial Properties: No. of Courts (Squash) \_\_\_\_\_ No. of Car Parking Spaces \_\_\_\_\_

Is concrete footpathing or kerbing or guttering laid in front of the property? Yes  No   
Is it damaged? Yes  No

No. of sets of plans and specifications lodged: Plans: 3 Specifications: 3

State whether the materials are new or secondhand: New  Secondhand

Materials of floor/s: Concrete  Timber  Other

Materials of outer walls: Brick Veneer  Timber  Double Brick  Fibro  Concrete Block  Other

Materials of roof: Tiles  Aluminium  Steel  Corrugated Iron  Fibro  Other

Builders Sanitary Required: Yes  No

Contract price or Council's valuation of work: \$ ~~9,900~~ \$174,900

Locality Sketch: (Indicate North Point and nearest cross street)

24 JUL 1989

Bldg Fee 459.80  
Dep 850.00  
1309.80

FOR OFFICE USE ONLY

Value assessed \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_  
Contract sighted: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

| Assessment No. | Building Type | Quantity | Floor area | Ward | Accepted by |
|----------------|---------------|----------|------------|------|-------------|
|                | 0810          | 1        | 550        | E.   | KWright.    |

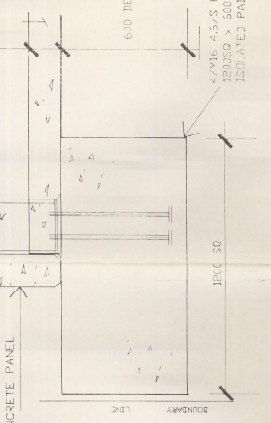






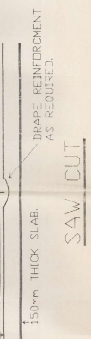


150 THICK SLAB  
152 REIN 30mm COVER



ISOLATED PAD FOOTING

REINFORCEMENT TO BE CONTINUED THROUGH JOINT.



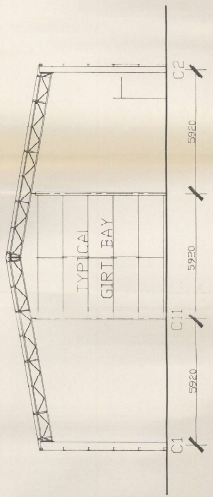
SAW CUT

208mm DIA 350mm LENS AT 300mm CTS BENT BREAKER APPLIED TO ONE SIDE OF JOINT.

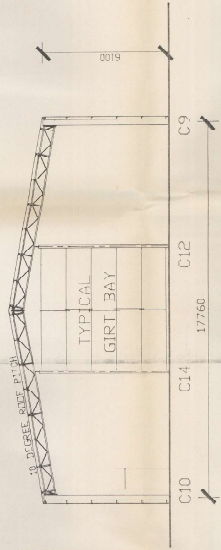
150mm THICK SLAB

150mm THICK SLAB

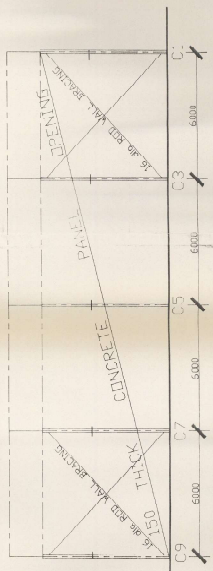
CONTROL CONSTRUCTION JOINT



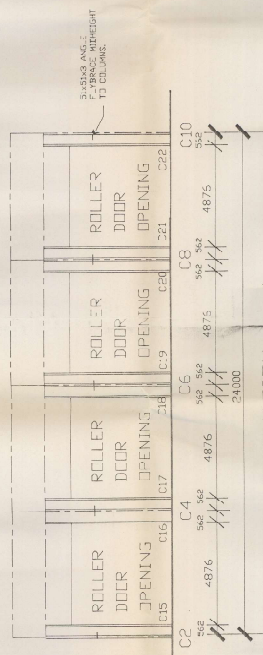
ELEVATION C



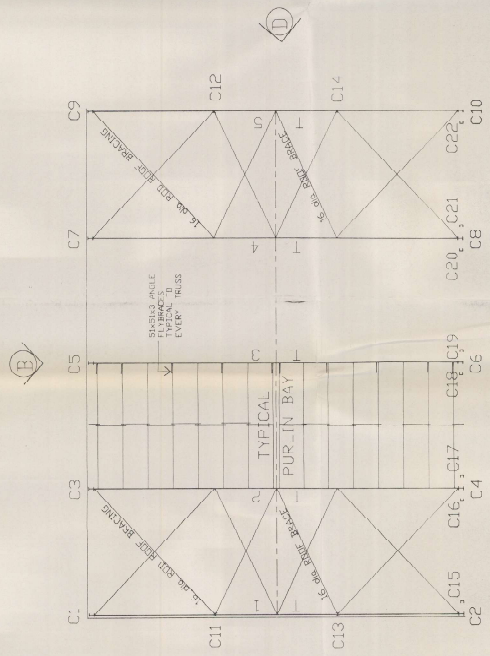
ELEVATION D



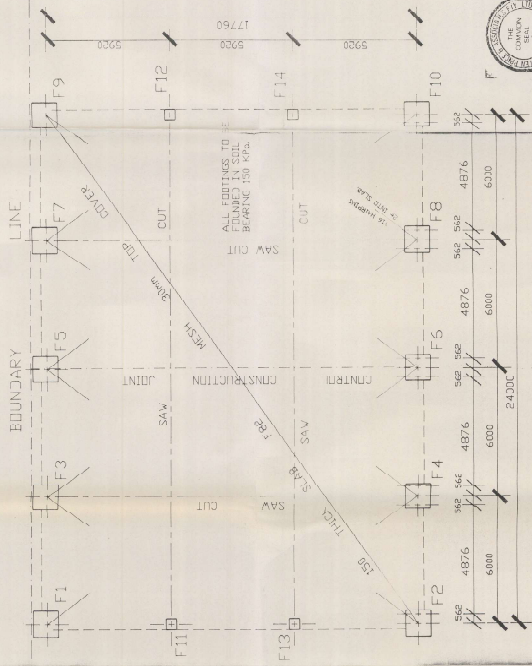
ELEVATION B



ELEVATION A



ROOF PLAN



FOOTING PLAN

| TRUSS SCHEDULE   |                     |
|------------------|---------------------|
| MARK             | DESCRIPTION         |
| T1 - T3          | TRUSS               |
| COLUMN SCHEDULE  |                     |
| MARK             | DESCRIPTION         |
| C1 - C10         | 250 UB 31 W/D LIGHT |
| C11 - C14        | 350 UB 23           |
| C15 - C19        | 350 UB 23           |
| FOOTING SCHEDULE |                     |
| MARK             | DESCRIPTION         |
| F1 - F10         | 1500 x 600          |
| F11 - F14        | 1500 x 600          |
| PURLINS          |                     |
| SIZE             | SPACING             |
| C350 16          | 1200                |
| GIRTS            |                     |
| SIZE             | SPACING             |
| C350 16          | 1200                |

REINFORCEMENT TO BE CONTINUED THROUGH JOINT.

NOTE: PLEASE REFER TO DETAILS FOR EXACT MEASUREMENTS. REINFORCEMENT TO BE CONTINUED THROUGH JOINT.



PROJECT: PROPOSED INDUSTRIAL BUILDING FOR ALBERT HUNT GROUP.  
AT 1603 LINKS RD, ST. MARIES.

STRUCTURAL LAYOUT

Draw No: 50-3-50-80  
Date: 10/08/89  
Scale: 1:100



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39

**CONSTRUCTION NOTES**

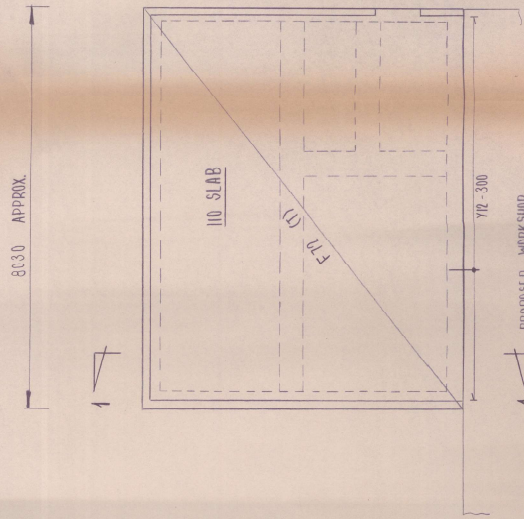
- GENERAL:**
- G1. All dimensions shall be in millimetres unless otherwise stated.
  - G2. All work shall be in accordance with the Australian Standard AS 1100.
  - G3. All work shall be in accordance with the Australian Standard AS 1100.
  - G4. All work shall be in accordance with the Australian Standard AS 1100.
  - G5. All work shall be in accordance with the Australian Standard AS 1100.
  - G6. All work shall be in accordance with the Australian Standard AS 1100.
  - G7. All work shall be in accordance with the Australian Standard AS 1100.
  - G8. All work shall be in accordance with the Australian Standard AS 1100.
  - G9. All work shall be in accordance with the Australian Standard AS 1100.
  - G10. All work shall be in accordance with the Australian Standard AS 1100.

| Element | Shop | Site | Construction | AS 1100 | Admin |
|---------|------|------|--------------|---------|-------|
| ALL     | 80   | 70   | A            | 70      | -     |

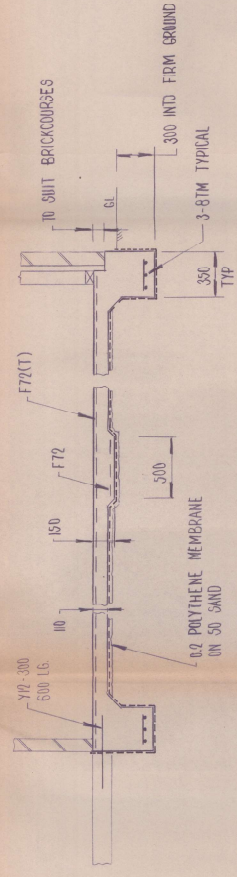
| Element            | Shop | Site | Construction | AS 1100 | Admin |
|--------------------|------|------|--------------|---------|-------|
| AS 1100 Concrete   | 1    | 2    | 3            | 4       | 5     |
| Columns & Partials | 40   | 50   | 60           | 75      | 85    |
| Beams              | 25   | 35   | 45           | 55      | 65    |
| Footings           | 20   | 30   | 40           | 50      | 60    |
| Walls              | 20   | 30   | 40           | 50      | 60    |

- C1. Clear concrete cover to reinforcement shall be as follows:
- C2. Clear concrete cover to reinforcement shall be as follows:
  - C3. Clear concrete cover to reinforcement shall be as follows:
  - C4. Clear concrete cover to reinforcement shall be as follows:
  - C5. Clear concrete cover to reinforcement shall be as follows:
  - C6. Clear concrete cover to reinforcement shall be as follows:
  - C7. Clear concrete cover to reinforcement shall be as follows:
  - C8. Clear concrete cover to reinforcement shall be as follows:
  - C9. Clear concrete cover to reinforcement shall be as follows:
  - C10. Clear concrete cover to reinforcement shall be as follows:
  - C11. Clear concrete cover to reinforcement shall be as follows:
  - C12. Clear concrete cover to reinforcement shall be as follows:
  - C13. Clear concrete cover to reinforcement shall be as follows:
  - C14. Clear concrete cover to reinforcement shall be as follows:
  - C15. Clear concrete cover to reinforcement shall be as follows:
  - C16. Clear concrete cover to reinforcement shall be as follows:
  - C17. Clear concrete cover to reinforcement shall be as follows:
  - C18. Clear concrete cover to reinforcement shall be as follows:
  - C19. Clear concrete cover to reinforcement shall be as follows:
  - C20. Clear concrete cover to reinforcement shall be as follows:

- REINFORCEMENT:**
- R1. All reinforcement shall be in accordance with AS 1100.
  - R2. All reinforcement shall be in accordance with AS 1100.
  - R3. All reinforcement shall be in accordance with AS 1100.
  - R4. All reinforcement shall be in accordance with AS 1100.
  - R5. All reinforcement shall be in accordance with AS 1100.
  - R6. All reinforcement shall be in accordance with AS 1100.
  - R7. All reinforcement shall be in accordance with AS 1100.
  - R8. All reinforcement shall be in accordance with AS 1100.
  - R9. All reinforcement shall be in accordance with AS 1100.
  - R10. All reinforcement shall be in accordance with AS 1100.
  - R11. All reinforcement shall be in accordance with AS 1100.
  - R12. All reinforcement shall be in accordance with AS 1100.
  - R13. All reinforcement shall be in accordance with AS 1100.
  - R14. All reinforcement shall be in accordance with AS 1100.
  - R15. All reinforcement shall be in accordance with AS 1100.
  - R16. All reinforcement shall be in accordance with AS 1100.
  - R17. All reinforcement shall be in accordance with AS 1100.
  - R18. All reinforcement shall be in accordance with AS 1100.
  - R19. All reinforcement shall be in accordance with AS 1100.
  - R20. All reinforcement shall be in accordance with AS 1100.



PROPOSED WORKSHOP FLOOR SLAB PLAN



SECTION 1-1

NOTE: THIS DRAWING TO BE READ IN CONJUNCTION WITH DRG NO HUNT-04/1 PLANS AND ELEVATIONS

FENRITH CITY COUNCIL  
ISSUED IN CONJUNCTION WITH DRG NO HUNT-04/1

CONSULTING STRUCTURAL ENGINEER:

Brian Pratt BE (AUST) 18-5-89

Shavar Pty. Ltd.

10 MARSDEN ROAD, LAKE COVE IN SW 2000 AUSTRALIA  
TELEPHONE 081-28 1087 / 128062

DATE 9/12/89 SCALE 1:100 1:20

TITLE STRUCTURAL PLANS & DETAILS  
PROPOSED OFFICE AND APARTMENTS  
AT LOT 805 LINKS ROAD STIMARIES  
FOR ALBERT HUNT GROUP

REV: HUNT-04/1  
Sheet 6 of 6 Sheets

| ISSUE | CHANGE NO. | ZONE | CHECKED |
|-------|------------|------|---------|
|       |            |      |         |
|       |            |      |         |
|       |            |      |         |
|       |            |      |         |







# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 7777

(C.D.E. 8017, Penrith)

YOUR REF:

OUR REF: 021779  
CONTACT: D. VRH 327515

BUILDING PERMIT

PERMIT NO: 21779  
REF:

ISSUED TO: CATCH 400 PTY LTD  
74 LINKS ROAD  
ST MARYS 2760

OF  
IN RESPECT OF

LOT NO: 5 D.P: 31908 HOUSE NO: 0000 STREET: LINKS RD  
LOCALITY: ST MARYS

<-----OWNER'S NAME AND ADDRESS----->  
CATCH 400 PTY LTD  
74 LINKS ROAD  
ST MARYS 2760

<---BUILDER'S NAME AND ADDRESS--->  
CATCH 400 PTY LTD  
74 LINKS ROAD  
ST MARYS 2760

APPROVED SUBJECT TO COMPLIANCE WITH THE LOCAL GOVERNMENT ACT, RELEVANT ORDINANCES ISSUED THEREUNDER AND CONDITIONS NUMBERED: 14, 16, 18, 20, 26, 28, 108, 117, 172, 174, 175, 314, 526, 528, 530, 532, 501, 502, 503, 504, 800, 804, 806, 816, 818, 820, 901, 904,

HEREUNDER FOR THE ERECTION OF  
A INDUSTRIAL/FACTORY-WAREHOUSE - BLOCKWORK FOR THE VALUE OF \$57240.

THIS APPROVAL LAPSES ON THE EXPIRATION OF 12 MONTHS AFTER THE DATE HEREOF.

ATTENTION IS DRAWN TO THE PROVISIONS OF SECTION/S 317L (AND 288C IN REGARD TO FENCING OF SWIMMING POOLS) OF THE LOCAL GOVERNMENT ACT, 1919, AS AMENDED, GIVING A RIGHT OF APPEAL AGAINST THE DECISION OF COUNCIL. APPEAL FORMS ARE AVAILABLE AT COUNCIL'S OFFICE.

DATE: 17/5/89

SIGNED: G.L. RUMBLE, per: *[Signature]*  
(HEALTH AND BUILDING SERVICES MANAGER)

DATE: / /

SIGNED: *[Signature]*  
(PERSON COLLECTING PLANS)

CONDITIONS:

14. THAT 48 HOURS' NOTICE IN WRITING BE GIVEN TO COUNCIL FOR INSPECTION:-
- (A) OF TRENCHES BEFORE FOOTINGS ARE LAID;
  - (B) OF FOOTINGS BEFORE TRENCHES ARE FILLED;
  - (C) WHEN THE BUILDING HAS BEEN ERECTED TO FLOOR LEVEL AND DAMPCOURSES ARE LAID;
  - (D) OF FLASHING AND DAMP-PROOFING OF WET AREAS (VIZ. BATHROOMS, LAUNDRIES, ENSUITES AND W.C.) PRIOR TO CLADDING.

CONTINUED....



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(C.D.E. 8017, Penrith)

APPLICATION NO: 021779

PERMIT NO: 021779

FOLIO NO: 2

(E) WHEN STEEL FOR REINFORCED STRUCTURAL CONCRETE WORK IS IN POSITION PRIOR TO POURING OF CONCRETE;

(F) WHEN THE BUILDING HAS BEEN ERRECTED TO ROOF FRAMING;

(G) OF DRAINS BEFORE THEY ARE COVERED IN; AND

(H) WHEN THE BUILDING IS COMPLETED AND READY FOR OCCUPATION.

16. BUILDING SHALL NOT BE USED OR OCCUPIED UNTIL APPROVAL IS GRANTED BY COUNCIL.

18. STAMPED PLANS, SPECIFICATION AND PERMIT SHALL BE KEPT ON SITE AT ALL TIMES.

20. APPROVED IN COMPLIANCE WITH THE CONDITIONS OF THE WATER BOARD

26. ROOFWATER DRAINS SHALL BE DISCHARGED INTO STREET GUTTER OR COMMON LINE.

28. SANITARY ACCOMMODATION SHALL BE PROVIDED FOR WORKMEN IN ACCORDANCE WITH THE REQUIREMENTS OF ORDINANCE 44.

108. THE BUILDING SHALL BE SET OUT BY A REGISTERED SURVEYOR. A SURVEY CERTIFICATE SHALL BE SUBMITTED WHEN THE BUILDING IS CONSTRUCTED TO GROUND FLOOR SLAB LEVEL AND SHALL NOT PROGRESS BEYOND THAT POINT UNTIL APPROVAL HAS BEEN GRANTED BY THE HEALTH AND BUILDING SURVEYOR.

117. ALL STORMWATER AND SEWER LINES SHALL BE PHYSICALLY LOCATED BY DIGGING AND PEGGING THE LINE IN RELATION TO THE BUILDING SITE, PRIOR TO COMMENCEMENT OF THE WORK. THE APPLICANT SHALL ENSURE THAT THE STRUCTURE ACCORDS WITH COUNCIL'S POLICY FOR BUILDING OVER SEWERS AND STORMWATER LINES OR BUILDING ADJACENT TO STORMWATER AND SEWER LINES.

172. HOSE REELS SHALL BE DESIGNED AND INSTALLED WITHIN THE BUILDING IN ACCORDANCE WITH THE RELEVANT CLAUSES OF PART 27 OF ORDINANCE 70. THE REQUIRED HOSE REELS SHALL NOT BE INSTALLED IN THE BUILDING UNTIL A REPORT ISSUED BY THE BOARD OF FIRE COMMISSIONERS IN ACCORDANCE WITH PART 27 OF ORDINANCE 70 HAS BEEN SUBMITTED TO COUNCIL.

174. UNLESS OTHERWISE APPROVED, ALL FIRE HOSE REELS SHALL BE LOCATED WITHIN 3 METRES OF A REQUIRED EXIT. THE REEL SHALL NOT IN ANY WAY, INTERFERE WITH THE OPERATION OF THE EXIT OR DIMINISH THE WIDTH OF THE PATH OF TRAVEL TO THE EXIT.

175. (A) PORTABLE FIRE EXTINGUISHERS, HAVING AT LEAST THE PROTECTION EFFECTIVENESS OF A 5.5KG CARBON DIOXIDE EXTINGUISHER SHALL BE INSTALLED WITHIN THE BUILDING IN ACCORDANCE WITH THE REQUIREMENTS OF PART 27 OF ORDINANCE 70. IT WILL BE NECESSARY FOR THE APPLICANT TO CONSULT WITH THE HEALTH AND BUILDING DEPARTMENT TO DETERMINE THE LOCATION OF THE EXTINGUISHERS.

(B) FIRE BLANKETS SHALL BE PROVIDED IN COMMERCIAL KITCHENS, OR OTHER AREAS WHERE SMALL COOKING FIRES ARE LIKELY. THE BLANKETS SHALL COMPLY WITH THE REQUIREMENTS OF AS3504-1987 "FIRE BLANKETS".

314. OPENINGS FOR METAL PIPES, METAL CONDUITS OR THE LIKE PASSING

CONTINUED....



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APPLICATION NO: 021779

PERMIT NO: 021779

FOLIO NO: 3

THROUGH WALLS, FLOORS OR CEILINGS REQUIRED TO HAVE A FIRE RESISTANCE RATING OR RESISTANCE TO THE INCIPIENT SPREAD OF FIRE SHALL BE NO LARGER THAN IS NECESSARY TO PERMIT THEIR INSTALLATION ALL GAPS AROUND SERVICE PIPES SHALL BE PACKED OR OTHERWISE TREATED TO THE FULL THICKNESS OF THE WALL, FLOOR OR CEILING SO THAT THE FIRE RESISTING PERFORMANCE WILL NOT BE IMPAIRED.

526. THE PROPOSED ADDITION/NEW BUILDING SHALL COMPLY WITH PART 59 OF ORDINANCE 70 WITH REGARD TO THE FOLLOWING ESSENTIAL SERVICES CIRCLED:-  
ESSENTIAL SERVICES
- |   |  |
|---|--|
| (I) ACCESS PANELS (AS REQUIRED BY CLAUSE 22.12)   | MINIMUM MAINTENANCE STANDARD<br>AS1851 - PART 7 - 1984 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - FIRE RESISTANT DOOR SETS"                                     |
| (II) AUTOMATIC SPRINKLER SYSTEMS (AS REQUIRED BY CLAUSE 19.2, 19.4, 22.4, 23.1, 24.12, 27.4, 55.17, OR 60.3)        | AS1851 - PART 3 - 1985 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - AUTOMATIC FIRE SPRINKLER SYSTEMS"   |
| DRENCHER SYSTEMS (AS REQUIRED BY CLAUSE 22.4 OR 23.1)   | AS1851 - PART 3 - 1985 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - AUTOMATIC FIRE SPRINKLER SYSTEMS"   |
| (III) EMERGENCY LIFTS (AS REQUIRED BY CLAUSE 55.9)  | AS1735-1975 "SAA LIFT CODE"  |
| (IV) EMERGENCY LIGHTING (AS REQUIRED BY CLAUSE 55.12)   | AS2293.2-1987 "EMERGENCY EVACUATION LIGHTING IN BUILDINGS - INSPECTION & MAINTENANCE"  |
| (V) EMERGENCY POWER SUPPLY (AS REQUIRED BY CLAUSE 55.15)  | AS3009-1985 ELECTRIC INSTALLATIONS - "EMERGENCY POWER SUPPLIES IN HOSPITALS"   |
| (VI) EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEM (AS REQUIRED BY CLAUSE 55.16 OR 60.10)                         | AS2220-1978 RULES FOR EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEMS FOR BUILDINGS   |
| (VII) EXIT SIGNS (AS REQUIRED BY CLAUSE 24.29)  | AS2293.2-1987 "EMERGENCY EVACUATION LIGHTING IN BUILDINGS - INSPECTION AND MAINTENANCE"  |
| (VIII) FIRE ALARM SYSTEMS (AS REQUIRED BY CLAUSE 27.4)  | AS1851 - PART 8 1987 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - AUTOMATIC FIRE DETECTION AND ALARM SYSTEMS"   |
| (IX) FIRE DAMPERS (AS REQUIRED BY CLAUSE 22.13)   | AS1851 - PART 6 - 1983 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - MANAGEMENT PROCEDURES FOR MAINTAINING THE FIRE PRECAUTION FEATURES OF AIR - HANDLING SYSTEMS" |
| (X) FIRE DOORS (AS REQUIRED BY CLAUSE 22.4, 22.6, 22.7, 22.8, 22.9, 22.10, 22.11, 22.12, 23.6, 24.11, 55.5 OR 60.4) | AS1851 - PART 7 - 1984 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - FIRE RESISTANT DOOR SETS"   |
| (XI) FIRE MAINS (AS REQUIRED BY CLAUSE 27.1)  | AS1851 - PART 4 - 1988 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - FIRE HYDRANT INSTALLATIONS"   |
| (XII) FIRE SHUTTERS (AS REQUIRED BY CLAUSE 22.4, 22.6,  | NFPA - NATIONAL FIRE CODE 80, STANDARD FOR FIRE DOORS AND WINDOWS"   |

CONTINUED....



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(C.D.E. 8017, Penrith)

APPLICATION NO: 021779

PERMIT NO: 021779

FOLIO NO: 4

23.1 OR 24.11)

(XIII) FIRE WINDOWS (AS REQUIRED BY CLAUSE 22.4, 23.1)

(XIV) HOSE REELS (AS REQUIRED BY CLAUSE 27.2)

(XV) HYDRANTS (AS REQUIRED BY CLAUSE 27.3)

(XVI) MECHANICAL SMOKE EXHAUST SYSTEMS (AS REQUIRED BY CLAUSE 60.9)

(XVII) MECHANICAL VENTILATION AND AIR-CONDITIONING SYSTEMS (AS REQUIRED BY CLAUSE 50.12 OR 55.17)

(XVIII) NON-COMBUSTIBLE ROLLER SHUTTERS (AS REQUIRED BY CLAUSE 22.16)

(XIX) PORTABLE FIRE EXTINGUISHERS (AS REQUIRED BY CLAUSE 27.4.1)

(XX) PRESSURISING SYSTEMS (AS REQUIRED BY CLAUSE 21.3)

(XXI) SMOKE DOORS (AS REQUIRED BY CLAUSE 21.3)

(XXII) SOLID-CORE DOORS (AS REQUIRED BY CLAUSE 22.9, 22.10 OR 22.16)

(XXIII) VENTS (AS REQUIRED BY CLAUSE 19.3, 19.4, 19.7 OR 60.9)

NOTE: WHERE IT IS PROPOSED TO ALTER OR EXTEND AN EXISTING BUILDING THE SPECIFIED MAINTENANCE STANDARD APPLIES TO THE SERVICES INSTALLED IN BOTH THE EXISTING BUILDING AND IN THE ALTERATION/EXTENSION.

528. ON COMPLETION OF THE ERECTION OF THE PROPOSED BUILDING WORK, THE OWNER OF THE BUILDING SHALL PROVIDE COUNCIL WITH A CERTIFICATE FROM A COMPETENT PERSON WITH RESPECT TO EACH ESSENTIAL SERVICE INSTALLED IN THE BUILDING. THIS CERTIFICATE SHALL BE IN THE EFFECT OF FORM 6 OF PART 59 OF ORDINANCE

PARTICULARLY CHAPTER 14 "CARE AND MAINTENANCE"

NFPA - NATIONAL FIRE CODE 80, "STANDARD FOR FIRE DOORS AND WINDOWS" PARTICULARLY CHAPTER 14 "CARE AND MAINTENANCE"

AS1851 - PART 2 1981 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - FIRE HOSE REELS"

AS1851 - PART 4 - 1980 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - FIRE HYDRANT INSTALLATION"

AS1851 - PART 5 - 1983 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - MANAGEMENT PROCEDURES FOR MAINTAINING THE FIRE PRECAUTION FEATURES OF AIRHANDLING SYSTEMS"

AS1851 - PART 6 - 1983 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - MANAGEMENT PROCEDURES FOR MAINTAINING THE FIRE PRECAUTION FEATURES OF AIRHANDLING SYSTEMS"

NFPA - NATIONAL FIRE CODE 80, "STANDARD FOR FIRE DOORS & WINDOWS" PARTICULARLY CHAPTER 14 "CARE AND MAINTENANCE"

AS1851 - PART 1 - 1985 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - PORTABLE FIRE EXTINGUISHERS"

AS1851 - PART 6 - 1983 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - MANAGEMENT PROCEDURES FOR MAINTAINING THE FIRE PRECAUTION FEATURES OF AIRHANDLING SYSTEMS"

AS1851 - PART 7 1984 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - FIRE RESISTANT DOOR SETS"

AS1851 - PART 7 - 1984 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - FIRE RESISTANT DOOR SETS"

AS1851 - PART 5 - 1981 "MAINTENANCE OF FIRE PROTECTION EQUIPMENT - AUTOMATIC SMOKE/HEAT VENTING SYSTEMS"

CONTINUED....



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 7777

(C.D.E. 8017, Penrith)

APPLICATION NO: 021779

PERMIT NO: 021779

FOLIO NO: 5

70.

530. THIS BUILDING SHALL NOT BE USED OR OCCUPIED UNTIL A CERTIFICATE OF CLASSIFICATION IS ISSUED BY COUNCIL.
532. AT LEAST ONCE IN EACH PERIOD OF TWELVE MONTHS AFTER A CERTIFICATE IS REQUIRED TO HAVE BEEN FURNISHED TO COUNCIL IN RESPECT OF A BUILDING, THE OWNER OF THE BUILDING SHALL PROVIDE COUNCIL WITH A FURTHER CERTIFICATE WITH RESPECT TO EACH ESSENTIAL SERVICE INSTALLED IN THE BUILDING. THE CERTIFICATE SHALL BE IN THE EFFECT OF FORM 7 OF PART 59 OF ORDINANCE 70.
501. ALL WALLS WITHIN 3M OF THE BOUNDARY MUST ACHIEVE A ONE (1) HOUR FIRE RESISTANCE RATING IN ACCORDANCE WITH THE PROVISIONS OF ORDINANCE 70 (IE 110MM BRICKWORK MINIMUM).
502. AN ADDITIONAL HOSE REEL MUST BE INSTALLED WITHIN THE FACTORY TO PROVIDE PROTECTION TO THE ADDITION. THE HOSE REEL MUST BE 36M IN LENGTH AND COMPLY WITH ORDINANCE 70.
503. ALL EXTERNAL FINISHES OF THE EXTENSION IS TO MATCH THE EXISTING BUILDING.
504. THE AWNING ON THE NORTHERN SIDE OF THE ADDITION TO BE ERECTED ON THE LOT IS TO BE RE-DESIGNED SO THAT IT DOES NOT ENCROACH INTO THE DRAINAGE EASEMENT. ALL DETAILS MUST BE SUBMITTED TO COUNCIL PRIOR TO CONSTRUCTION.
800. ALL ALTERATIONS TO SERVICES AND MUNICIPAL FACILITIES AS NECESSITATED BY THE DEVELOPMENT SHALL BE THE RESPONSIBILITY OF THE APPLICANT.
804. LANDSCAPED AREAS ARE TO BE MAINTAINED TO COUNCIL'S SATISFACTION AT ALL TIMES, AND ANY DIRECTION GIVEN BY COUNCIL IS TO BE GIVEN IMMEDIATE COMPLIANCE.
806. NO USE, OTHER THAN FOR LANDSCAPING PURPOSES, IS TO BE MADE OF THE LAND SITUATED BETWEEN THE BUILDING ALIGNMENT AND THE STREET ALIGNMENT.
816. VEHICLES MUST BE DRIVEN FORWARD ONTO AND AWAY FROM, THE SITE.
818. ALL MATERIALS AND GOODS ASSOCIATED WITH THE USE ARE TO BE CONTAINED WITHIN THE BUILDING AT ALL TIMES.
820. SEPARATE APPLICATION IS TO BE MADE FOR ALL ADVERTISING MATERIAL.

## REQUIREMENTS OF OTHER AUTHORITIES

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901. WARNING: THESE BUILDING PLANS MUST BE SUBMITTED TO ANY BUSINESS OFFICE OF THE METROPOLITAN WATER, SEWERAGE AND DRAINAGE BOARD, AT LEAST 14 DAYS BEFORE COMMENCEMENT OF WORK.
- THE PLANS AND A BUILDING APPLICATION FORM, AVAILABLE AT BUSINESS OFFICES,

CONTINUED....



# PENRITH CITY COUNCIL

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(C.D.E. 8017, Penrith)

APPLICATION NO: 021779

PERMIT NO: 021779

FOLIO NO: 6

NEED TO BE SUBMITTED TO ENSURE THAT THE PROPOSED STRUCTURE MEETS THE REQUIREMENTS OF THE BOARD'S BY-LAWS CONCERNING:-

- 1) LOCATION OF SANITARY FIXTURES,
- 2) RELATIONSHIP OF THE BUILDING TO WATER MAINS, SEWERS AND STORMWATER CHANNELS,

AND FOR VALUING PURPOSES IN CONNECTION WITH SECTION 97 (4) AND (7) OF THE BOARD'S ACT, AND FOR THE CALCULATION OF A BUILDING FEE IN ACCORDANCE WITH BY-LAW 7 (1) (A) OF THE BOARD'S ACT.

FAILURE TO SUBMIT THESE PLANS BEFORE COMMENCEMENT OF WORK WILL RENDER THE OWNER LIABLE TO A PENALTY AND MAY RESULT IN THE DEMOLITION OF THE WORK AT THE BUILDER'S EXPENSE.

BUSINESS OFFICES ARE LOCATED AT:-

|              |                     |            |                        |
|--------------|---------------------|------------|------------------------|
| BLACKTOWN    | 22 MAIN ST.         | ROCKDALE   | 564 PRINCESS HWAY.     |
| CAMPBELLTOWN | 106 QUEEN ST.       | LIVERPOOL  | CNR BIGGE & MOORE STS. |
| CHATSWOOD    | 66-70 ARCHER ST.    | MIRANDA    | 69-73 KIORA RD.        |
| DEE WHY      | 687 PITTWATER RD.   | PARRAMATTA | 136 CHURCH ST.         |
| FAIRFIELD    | 51 SMART ST.        | PENRITH    | 140-142 HENRY ST.      |
| HORNSBY      | CNR EDGEWORTH DAVID | SYDNEY     | 115-123 BATHURST ST.   |
|              | AVE. & HUNTER ST.   | WOLLONGONG | 406 COOMBE ST.         |
| KATOOMBA     | 103 KATOOMBA ST.    | CONISTON   | OLD SPRINGHILL RD.     |

904. PROSPECT ELECTRICITY REQUIREMENTS ARE TO BE SOUGHT PRIOR TO COMMENCEMENT OF WORK IN RESPECT TO:- I) UNIMPEDED ACCESS AT ALL TIMES TO METER AND METERING EQUIPMENT; II) ANY CONSTRUCTION ADJACENT TO ANY ELECTRICAL BASEMENT; III) INSTALLATION OF ANY METALLIC OR CONDUCTIVE FENCING OR STRUCTURE WITHIN A FOUR METRE RADIUS (MEASURED FROM EXTREMITIES OF A PADMOUNTED SUBSTATION); IV) INSTALLATION OF CONDUITS ACROSS FOOTPATH APRON.



# Penrith City Council

|    |         |
|----|---------|
| BA | 021779  |
|    | D. Vlt. |

## BUILDING APPLICATION

LOCAL GOVERNMENT ACT, 1919 (Ordinance 70)

The Town Clerk,

I, the undersigned, hereby make application to the Penrith City Council for the approval of plans and specifications of a building which I propose to substantially commence within TWELVE (12) MONTHS from the date of approval. I hereby agree to comply with the requirements of the Council and the Local Government Act, 1919 and Ordinance No. 70.

Particulars are as follows. ( PLEASE PRINT )

A minimum of THREE (3) COPIES of plans and specifications shall be submitted.

INCOMPLETE OR INCORRECT DETAIL ON THE APPLICATION MAY PREVENT OR DELAY IT BEING APPROVED

### PROPERTY DETAILS

|                                |                      |                                |                   |
|--------------------------------|----------------------|--------------------------------|-------------------|
| House No.<br>Unit No.<br>Name. | Street<br>LINKS ROAD | Town<br>ST MARYS               | Post Code<br>2760 |
| Lot or Por. No.<br>5           | Section              | D.P., S.P. or Estate<br>31 908 |                   |
| Frontage (m)                   | Depth (m)            | Parish<br>ROOTY HILL           |                   |

### APPLICANT (Tick where applicable)

|                                   |   |                       |                                     |
|-----------------------------------|---|-----------------------|-------------------------------------|
| Mr Ms<br>Mrs<br>Miss              | <del>Christian Names</del><br>CATCH 400 PTY LTD | Surname               |                                     |
| Address<br>74 LINKS ROAD ST MARYS |   | Post Code<br>2760     |                                     |
|                                   |   | Phone<br>(02) 6734322 |                                     |
| State whether:                    |   |                       |                                     |
| Owner                             | <input type="checkbox"/>                        | Builder               | <input type="checkbox"/>            |
| Architect                         | <input type="checkbox"/>                        | Structural Engineer   | <input type="checkbox"/>            |
|                                   |   | Owner/Builder         | <input checked="" type="checkbox"/> |
|                                   |   | Other                 | <input type="checkbox"/>            |
| Signature <i>[Signature]</i>      |   | Date 24-7-89          |                                     |
| Deposit/Fees paid by:             |   |                       |                                     |
| Owner                             | <input checked="" type="checkbox"/>             | Builder               | <input type="checkbox"/>            |
| Architect                         | <input type="checkbox"/>                        | Structural Engineer   | <input type="checkbox"/>            |
|                                   |   | Other                 | <input type="checkbox"/>            |

### OWNER

|   |   |           |
|---|---|-----------|
| Mr Ms<br>Mrs<br>Miss                                  | <del>Christian Names</del><br>CATCH 400 PTY LTD | Surname   |
| Address<br>"AS ABOVE"<br>("As above" if same address) |   | Post Code |
|   |   | Phone     |

### BUILDER

|   |                             |           |
|---|-----------------------------|-----------|
| Mr Ms<br>Mrs<br>Miss                    | Christian Names<br>AS ABOVE | Surname   |
| Address<br>("As above" if same address) |                             | Post Code |
|   |                             | Phone     |

|  |  |   |
|--|--|---|
| Builders Licensing Insurance paid to Licensing Board | Yes <input type="checkbox"/> No <input type="checkbox"/>   | Licence No. _____<br>or<br>O/B Permit No. _____ |
| State whether:                                       | New <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> |   |

Purpose for which building is to be used: Residential Occupation  Industrial  Garage  Recreational  Commercial

Total new or additional floor area (sq.m.): 180m<sup>2</sup> Factory  
 No. of new or additional self-contained dwelling units: \_\_\_\_\_  
 No. of rooms this application: \_\_\_\_\_  
 No. of bedrooms this application: \_\_\_\_\_  
 No. and description of existing buildings on allotment: OFFICE AND WORKSHOP

Type of Building: Dwelling  Home Units  Town Houses  Screen Enclosure   
 Flats  Garage  Factory  Carport   
 Shop  Offices  Swimming Pool  Other

Commercial/Industrial Properties: No. of Courts (Squash) \_\_\_\_\_ No. of Car Parking Spaces \_\_\_\_\_

Is concrete footpathing or kerbing or guttering laid in front of the property? Yes  No   
 Is it damaged? Yes  No

No. of sets of plans and specifications lodged: Plans: 3 Specifications: \_\_\_\_\_

State whether the materials are new or secondhand: New  Secondhand

Materials of floor/s: Concrete  Timber  Other   
 Materials of outer walls: Brick Veneer  Double Brick  Concrete Block   
 Timber  Fibro  Other   
 Materials of roof: Tiles  Steel  Fibro   
 Aluminium  Corrugated Iron  Other

Builders Sanitary Required: Yes  No

Contract price or Council's valuation of work: \$ 8,200 57,240

Locality Sketch: (Indicate North Point and nearest cross street)

24 JUL 1989

Bldg Fee 181.72  
 Dep 850.00  
\$1031.72

FOR OFFICE USE ONLY

Value assessed \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_  
 Contract sighted: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

| Assessment No. | Building Type | Quantity | Floor area        | Ward | Accepted by |
|----------------|---------------|----------|-------------------|------|-------------|
|                | 0810          | 1        | 180m <sup>2</sup> | E.   | K. Wright.  |

Specs to follow.



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750 Telephone: (047) 32 7777 (DX 8017, Penrith)

YOUR REF:

OUR REF: 027485  
CONTACT: SUMMERGREENE 327513

BUILDING PERMIT

PERMIT NO: 27485  
REF:

ISSUED TO: LUSOM ENGINEERING P/L  
70 DORA STREET  
BLACKTOWN 2148

OF  
  
IN RESPECT OF

LOT NO: 603 D.P: 706751 HOUSE NO: 0007 STREET: DUNHEVED CIR  
LOCALITY: ST MARYS

<---OWNER'S NAME AND ADDRESS----->

LUSOM ENGINEERING P/L  
70 DORA STREET  
BLACKTOWN 2148

<---BUILDER'S NAME AND ADDRESS----->

LUSOM ENGINEERING P/L  
70 DORA STREET  
BLACKTOWN 2148

APPROVED SUBJECT TO COMPLIANCE WITH THE LOCAL GOVERNMENT ACT, RELEVANT ORDINANCES ISSUED THEREUNDER AND CONDITIONS NUMBERED; 14, 16, 18, 20, 24, 26, 28, 72, 551, 552, 553, 554, 555, 622, 624, 901,

A OTHER/OTHER/ HEREUNDER FOR THE ERECTION OF  
FOR THE VALUE OF \$1000.

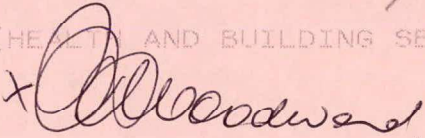
THIS APPROVAL LAPSES ON THE EXPIRATION OF 12 MONTHS AFTER THE DATE HEREOF.

ATTENTION IS DRAWN TO THE PROVISIONS OF SECTION/S 317L (AND 288C IN REGARD TO FENCING OF SWIMMING POOLS) OF THE LOCAL GOVERNMENT ACT, 1919, AS AMENDED, GIVING A RIGHT OF APPEAL AGAINST THE DECISION OF COUNCIL. APPEAL FORMS ARE AVAILABLE AT COUNCIL'S OFFICE.

DATE: 1/2/91

SIGNED: G.L. RUMBLE, per:   
(HEALTH AND BUILDING SERVICES MANAGER)

DATE: 5/2/91

SIGNED:   
(PERSON COLLECTING PLANS)

CONDITIONS:

14. THAT 48 HOURS' NOTICE IN WRITING BE GIVEN TO COUNCIL FOR INSPECTION:-
- (A) OF TRENCHES BEFORE FOOTINGS ARE LAID;
  - (B) OF FOOTINGS BEFORE TRENCHES ARE FILLED;
  - (C) WHEN THE BUILDING HAS BEEN ERECTED TO FLOOR LEVEL AND DAMPCOURSES ARE LAID;
  - (D) OF FLASHING AND DAMP-PROOFING OF WET AREAS (VIZ. BATHROOMS, LAUNDRIES, ENSUITES AND W.C.) PRIOR TO CLADDING.

CONTINUED....



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750 Telephone: (047) 32 7777 (DX 8017, Penrith)

APPLICATION NO: Q27485 PERMIT NO: Q27485 FOLIO NO: 2

- (E) WHEN STEEL FOR REINFORCED STRUCTURAL CONCRETE WORK IS IN POSITION PRIOR TO POURING OF CONCRETE;
- (F) WHEN THE BUILDING HAS BEEN ERECTED TO ROOF FRAMING;
- (G) OF DRAINS BEFORE THEY ARE COVERED IN; AND
- (H) WHEN THE BUILDING IS COMPLETED AND READY FOR OCCUPATION.

- 16. BUILDING SHALL NOT BE USED OR OCCUPIED UNTIL APPROVAL IS GRANTED BY COUNCIL.
- 18. STAMPED PLANS, SPECIFICATION AND PERMIT SHALL BE KEPT ON SITE AT ALL TIMES.
- 20. APPROVED IN COMPLIANCE WITH THE CONDITIONS OF THE WATER BOARD *1 5 di*
- 24. A SPECIAL INSPECTION BY THE WATER BOARD SHALL BE OBTAINED ON ALL INTERNAL/EXTERNAL DRAINAGE.
- 26. ROOFWATER DRAINS SHALL BE DISCHARGED INTO STREET GUTTER OR COMMON LINE.
- 28. SANITARY ACCOMMODATION SHALL BE PROVIDED FOR WORKMEN IN ACCORDANCE WITH THE REQUIREMENTS OF ORDINANCE 44.
- 72. A VEHICULAR GUTTER CROSSING SHALL BE PROVIDED TO FACILITATE ACCESS OF A MOTOR VEHICLE BEHIND THE ADOPTED BUILDING LINE TO COUNCIL'S SATISFACTION.
- 551. THE STEEL RAMP WHICH PROVIDES ACCESS TO THE SUBJECT SITE SHALL BE REMOVED. A VEHICLE ENTRY LAYBACK AND CROSS OVER SHALL BE CONSTRUCTED TO THE SATISFACTION OF COUNCIL'S TECHNICAL SERVICES DEPARTMENT.
- 552. 2 METRES WIDE DRAINAGE EASEMENT INSIDE REAR BOUNDARY.
- 553. THE APPLICANT OR OWNER OF THE LAND ON WHICH THE TEMPORARY BUILDING IS LOCATED SHALL BEFORE THE EXPIRATION OF THE PERIOD OF 3 YEARS, DEMOLISH THE TEMPORARY BUILDING.
- 554. THE BUILDING SHALL BE LOCATED STRICTLY IN ACCORDANCE WITH THE APPROVED SITE PLAN.
- 555. A SUITABLE TOILET FACILITY SHALL BE LOCATED ON SITE. MAINTAINED AND SERVICED TO THE SATISFACTION OF COUNCIL.
- 622. PROVISION OF A GUTTER CROSSING TO THE SATISFACTION OF THE CITY ENGINEER.
- 624. HEAVY DUTY PAVED VEHICULAR FOOTWAY CROSSINGS ARE TO BE PROVIDED AT ALL POINTS OF INGRESS AND EGRESS TO THE SATISFACTION OF AND UNDER THE SUPERVISION OF THE CITY ENGINEER.

REQUIREMENTS OF OTHER AUTHORITIES  
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CONTINUED....



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750 Telephone: (047) 32 7777 (DX 8017, Penrith)

APPLICATION NO: 027485

PERMIT NO: 027485

FOLIO NO: 3

VEHICULAR DRIVEWAYS ARE NOT TO BE PLACED WITHIN 1 METRE OF A BOUNDARY ON WHICH IS LOCATED AN ELECTRICITY PILLAR. FURTHER DETAILS ARE AVAILABLE FROM PROSPECT ELECTRICITY.

901. WARNING: THESE BUILDING PLANS MUST BE SUBMITTED TO ANY BUSINESS OFFICE OF THE METROPOLITAN WATER, SEWERAGE AND DRAINAGE BOARD, AT LEAST 14 DAYS BEFORE COMMENCEMENT OF WORK. THE PLANS AND A BUILDING APPLICATION FORM, AVAILABLE AT BUSINESS OFFICES, NEED TO BE SUBMITTED TO ENSURE THAT THE PROPOSED STRUCTURE MEETS THE REQUIREMENTS OF THE BOARD'S BY-LAWS CONCERNING:-

- 1) LOCATION OF SANITARY FIXTURES,
- 2) RELATIONSHIP OF THE BUILDING TO WATER MAINS, SEWERS AND STORMWATER CHANNELS,

AND FOR VALUING PURPOSES IN CONNECTION WITH SECTION 97 (4) AND (7) OF THE BOARD'S ACT, AND FOR THE CALCULATION OF A BUILDING FEE IN ACCORDANCE WITH BY-LAW 7 (1) (A) OF THE BOARD'S ACT.

FAILURE TO SUBMIT THESE PLANS BEFORE COMMENCEMENT OF WORK WILL RENDER THE OWNER LIABLE TO A PENALTY AND MAY RESULT IN THE DEMOLITION OF THE WORK AT THE BUILDER'S EXPENSE.

BUSINESS OFFICES ARE LOCATED AT:-

|              |  |            |                        |
|--------------|--|------------|------------------------|
| BLACKTOWN    | 22 MAIN ST.                              | ROCKDALE   | 564 PRINCESS HWAY.     |
| CAMPBELLTOWN | 106 QUEEN ST.                            | LIVERPOOL  | CNR BIGGE & MOORE STS. |
| CHATSWOOD    | 66-70 ARCHER ST.                         | MIRANDA    | 69-73 KIORA RD.        |
| DEE WHY      | 687 PITTWATER RD.                        | PARRAMATTA | 136 CHURCH ST.         |
| FAIRFIELD    | 51 SMART ST.                             | PENRITH    | 140-142 HENRY ST.      |
| HORNSBY      | CNR EDGEWORTH DAVID<br>AVE. & HUNTER ST. | SYDNEY     | 115-123 BATHURST ST.   |
| KATOOMBA     | 103 KATOOMBA ST.                         | WOLLONGONG | 406 COOMBE ST.         |
|              |  | CONISTON   | OLD SPRINGHILL RD.     |



FOR PICK-UP. (6230385)

Penrith City Council

PO BOX  
WOODWARD.

BA 027485  
P Summergreen

# BUILDING APPLICATION

LOCAL GOVERNMENT ACT, 1919 (Ordinance 70)

TEMPORARY STRUCTURE

The Town Clerk,

I, the undersigned, hereby make application to the Penrith City Council for the approval of plans and specifications of a building which I propose to substantially commence within TWELVE (12) MONTHS from the date of approval. I hereby agree to comply with the requirements of the Council and the Local Government Act, 1919 and Ordinance No. 70.

Particulars are as follows. (PLEASE PRINT)

A minimum of THREE (3) COPIES of plans and specifications shall be submitted.

INCOMPLETE OR INCORRECT DETAIL ON THE APPLICATION MAY PREVENT OR DELAY IT BEING APPROVED

### PROPERTY DETAILS

|                                |                                   |                                       |                          |
|--------------------------------|-----------------------------------|---------------------------------------|--------------------------|
| House No.<br>Unit No.<br>Name. | Street<br><b>DUNHEVED CIRCUIT</b> | Town<br><b>DUNHEVED</b>               | Post Code<br><b>2760</b> |
| Lot or Per. No.<br><b>603</b>  | Section                           | D.P., S.P. or Estate<br><b>706751</b> |                          |
| Frontage (m)                   | Depth (m)                         | Parish                                |                          |

### APPLICANT (Tick where applicable)

|   |   |  |
|---|---|--|
| Mr Ms<br>Mrs<br>Miss  | Christian Names<br><b>LUSOM ENGINEERING P/L</b> | Surname                                      |
| Address<br><b>70 DORA ST.<br/>BLACK TOWN</b>                    |   | Post Code<br><b>2148</b>                     |
| State whether: Owner <input checked="" type="checkbox"/>        |   | Builder <input type="checkbox"/>             |
| Architect <input type="checkbox"/>                              |   | Structural Engineer <input type="checkbox"/> |
|   |   | Owner/Builder <input type="checkbox"/>       |
|   |   | Other <input type="checkbox"/>               |
| Signature <b>Auto Rickby</b>                                    |   | Date <b>22-11-90</b>                         |
| Deposit/Fees paid by: Owner <input checked="" type="checkbox"/> |   | Builder <input type="checkbox"/>             |
|   |   | Architect <input type="checkbox"/>           |
|   |   | Structural Engineer <input type="checkbox"/> |
|   |   | Other <input type="checkbox"/>               |

### OWNER

|  |                                    |           |
|--|------------------------------------|-----------|
| Mr Ms<br>Mrs<br>Miss                                       | Christian Names<br><b>AS ABOVE</b> | Surname   |
| Address<br><b>AS ABOVE</b><br>("As above" if same address) |                                    | Post Code |
|  |                                    | Phone     |

### BUILDER

|  |                                    |           |
|--|------------------------------------|-----------|
| Mr Ms<br>Mrs<br>Miss                                       | Christian Names<br><b>AS ABOVE</b> | Surname   |
| Address<br><b>AS ABOVE</b><br>("As above" if same address) |                                    | Post Code |
|  |                                    | Phone     |

|  |  |   |
|--|--|---|
| Builders Licensing Insurance paid to Licensing Board | Yes <input type="checkbox"/> No <input type="checkbox"/>   | Licence No. _____<br>or<br>O/B Permit No. _____ |
| State whether:                                       | New <input type="checkbox"/> Alteration <input type="checkbox"/> Addition <input type="checkbox"/> |   |

In accordance with Section 312A of the Local Government Act plans submitted with this application which indicate the height and external configuration of the proposed building may be shown to adjoining land owners or land owners who may be detrimentally affected by the location of the building which is the subject of this application. P.T.O.





# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 2422

(C.D.E. 8017, Penrith)

YOUR REF:

OUR REF: 009811

CONTACT: MR. P. MORGAN

BUILDING PERMIT

PERMIT NO: 9811

REF:

ISSUED TO: THE ALBERT HUNT GROUP  
P.O. BOX 381  
RIVERSTONE 2765

OF

IN RESPECT OF

LOT NO: D.P: 31908 HOUSE NO: 0000 STREET: LINKS RD  
LOCALITY: ST MARYS

<-----OWNER'S NAME AND ADDRESS----->  
THE ALBERT HUNT GROUP  
P.O. BOX 381  
RIVERSTONE 2765

<---BUILDER'S NAME AND ADDRESS---->  
THE ALBERT HUNT GROUP  
P.O. BOX 381  
RIVERSTONE 2765

APPROVED SUBJECT TO COMPLIANCE WITH THE LOCAL GOVERNMENT ACT, RELEVANT ORDINANCES ISSUED THEREUNDER AND CONDITIONS NUMBERED; 14, 16, 18, 20, 24, 28, 62, 64, 86, 152, 184, 202, 262, 274, 286, 338, 501, 502, 503, 504, 505, 901,

A OFFICES (NOT IN CLASS 6 - 9) ./SINGLE STO FOR THE VALUE OF \$70000. HEREUNDER FOR THE ERECTION OF

THIS APPROVAL LAPSES ON THE EXPIRATION OF 12 MONTHS AFTER THE DATE HEREOF.

ATTENTION IS DRAWN TO THE PROVISIONS OF SECTION/S 317L (AND 288C IN REGARD TO FENCING OF SWIMMING POOLS) OF THE LOCAL GOVERNMENT ACT, 1919, AS AMENDED, GIVING A RIGHT OF APPEAL AGAINST THE DECISION OF COUNCIL. APPEAL FORMS ARE AVAILABLE AT COUNCIL'S OFFICE.

DATE: 18/2/87

SIGNED: P.J. ANSOUL, per:

(HEALTH AND BUILDING SERVICES MANAGER)

DATE: / /

SIGNED:

(PERSON COLLECTING PLANS)

CONDITIONS:

14. THAT 48 HOURS' NOTICE IN WRITING BE GIVEN TO COUNCIL FOR INSPECTION:-
- (A) OF TRENCHES BEFORE FOOTINGS ARE LAID;
  - (B) OF FOOTINGS BEFORE TRENCHES ARE FILLED;
  - (C) WHEN THE BUILDING HAS BEEN ERECTED TO FLOOR LEVEL AND DAMPCOURSES ARE LAID;
  - (D) OF FLASHING AND DAMP-PROOFING OF WET AREAS (VIZ. BATHROOMS. LAUNDRIES, ENSUITES AND W.C.) PRIOR TO CLADDING.

CONTINUED....



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750

Telephone: (047) 32 2422

(C.D.E. 8017, Penrith)

APPLICATION NO: 009811

PERMIT NO: 009811

FOLIO NO: 2

- (E) WHEN STEEL FOR REINFORCED STRUCTURAL CONCRETE WORK IS IN POSITION PRIOR TO POURING OF CONCRETE;
  - (F) WHEN THE BUILDING HAS BEEN ERECTED TO ROOF FRAMING;
  - (G) OF DRAINS BEFORE THEY ARE COVERED IN; AND
  - (H) WHEN THE BUILDING IS COMPLETED AND READY FOR OCCUPATION.
16. BUILDING SHALL NOT BE USED OR OCCUPIED UNTIL APPROVAL IS GRANTED BY COUNCIL.
18. STAMPED PLANS, SPECIFICATION AND PERMIT SHALL BE KEPT ON SITE AT ALL TIMES.
20. APPROVED IN COMPLIANCE WITH THE CONDITIONS OF THE METROPOLITAN WATER, SEWERAGE AND DRAINAGE BOARD AS STAMPED ON PLANS.
24. A SPECIAL INSPECTION BY THE WATER BOARD SHALL BE OBTAINED ON ALL INTERNAL/EXTERNAL DRAINAGE.
28. SANITARY ACCOMMODATION SHALL BE PROVIDED FOR WORKMEN IN ACCORDANCE WITH THE REQUIREMENTS OF ORDINANCE 44.
62. MANUFACTURER'S DETAILS OF ROOF TRUSSES ARE TO BE SUBMITTED FOR COUNCIL'S CONSIDERATION AND APPROVAL PRIOR TO THE INSTALLATION OF THE TRUSSES.
64. FLOOR SURFACE OF INTERNAL W.C./LAUNDRY/BATHROOM/ENSUITE AND THE LIKE SHALL BE GRADED AND DRAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 47.8(1) OF ORDINANCE 70.
86. THE SITE SHALL NOT BE CUT WITHOUT THE PRIOR CONSENT OF THE HEALTH AND BUILDING SERVICES MANAGER.
152. APPROVAL SHALL BE OBTAINED FROM COUNCIL'S CITY ENGINEERS DEPARTMENT PRIOR TO ANY WORK ASSOCIATED WITH COUNCIL'S PROPERTY.
184. ILLUMINATED EXIT SIGNS AND DIRECTIONAL SIGNS COMPLYING WITH THE RELEVANT PROVISIONS OF PART 24 AND PART 55 OF ORDINANCE 70 SHALL BE INSTALLED THROUGHOUT THE BUILDING IN LOCATIONS APPROVED BY THE HEALTH AND BUILDING SERVICES MANAGER. CONSULTATION SHALL TAKE PLACE WITH THE HEALTH AND BUILDING SURVEYOR AND APPROVAL OBTAINED PRIOR TO THE INSTALLATION OF ANY FITTINGS.
202. ALL REQUIRED EXIT DOORS OR DOORS FORMING PART OF A REQUIRED EXIT SHALL BE READILY OPENABLE WITHOUT A KEY AND BY A SINGLE HANDED ACTION FROM THE SIDE THAT WOULD FACE ANY PERSON SEEKING EGRESS FROM THE BUILDING.
262. THE ERECTION OF ANY ADVERTISING STRUCTURE OR DISPLAY OF ANY SIGN IS NOT PERMITTED WITHOUT THE PRIOR APPROVAL OF COUNCIL.
274. THE APPLICANT SHOULD CONSULT WITH THE DEPARTMENT OF INDUSTRIAL RELATIONS

CONTINUED....



# PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750 Telephone: (047) 32 2422 (C.D.E. 8017, Penrith)

APPLICATION NO: 009811 PERMIT NO: 009811 FOLIO NO: 3

CONCERNING ANY REQUIREMENTS THAT AUTHORITY MAY WISH TO IMPOSE.

286. THE BUILDING SHALL BE COMPLETED IN ALL RESPECTS AND A CERTIFICATE OF CLASSIFICATION SHALL BE ISSUED BY COUNCIL'S H/B SURVEYOR PRIOR TO OCCUPATION OF ANY PART OF THE BUILDING.
338. ACCESS AND FACILITIES FOR THE DISABLED SHALL BE PROVIDED IN ACCORDANCE WITH THE RELEVANT CLAUSES OF PARTS 46 AND 53 AND SPECIFICATION NO.9 OF ORDINANCE 70.
501. A SEPARATION ISLAND IS TO BE CONSTRUCTED IN THE DRIVEWAY AT THE FRONT BOUNDARY OF THE ALLOTMENT. DETAILS ARE TO BE SUBMITTED TO COUNCIL FOR APPROVAL PRIOR TO APPROVAL OF THE BUILDING APPLICATION FOR THE FACTORY BUILDING.
502. SAMPLES OF EXTERNAL FINISHES ARE TO BE SUBMITTED TO COUNCIL FOR APPROVAL WITHIN SEVEN DAYS OF BUILDING APPROVAL.
503. AMENDED LANDSCAPING PLANS UPGRADING THE FRONTAGE LANDSCAPING AREA ARE TO BE SUBMITTED WITHIN 7 DAYS OF BUILDING APPROVAL.
504. NO OPEN STORAGE IS PERMITTED WITHIN 25 METRES OF LINKS ROAD OR WITHIN AN AREA WHICH WILL OBSTRUCT ACCESS TO THE OPEN DRAIN. STORAGE SHALL BE IN A TIDY MANNER AND TO THE SATISFACTION OF COUNCIL'S BUILDING SURVEYOR.
505. THE OFFICE BUILDING IS TO BE USED IN CONJUNCTION WITH THE FACTORY BUILDING.

## REQUIREMENTS OF OTHER AUTHORITIES

-----

901. WARNING : THESE BUILDING PLANS MUST BE SUBMITTED TO THE METROPOLITAN WATER, SEWERAGE AND DRAINAGE BOARD, 140 HENRY STREET, PENRITH PHONE: 047 32 8177, AT LEAST 14 DAYS BEFORE THE COMMENCEMENT OF WORK.  
THE APPLICANT WILL NEED TO COMPLETE A BUILDING APPLICATION ON WHICH THE FOLLOWING INFORMATION IS REQUIRED:-
  - 1) THE ADDRESS OF THE PROPERTY (INCLUDING LOT NO. AND DEPOSITED PLAN NO.) AND ITS LOCATION IN RELATION TO THE NEAREST CROSS-STREET. IF THESE PARTICULARS ARE NOT KNOWN, A SKETCH WILL NEED TO BE SUPPLIED.
  - 2) THE NAME AND ADDRESS OF THE OWNER AND THE BUILDER.
  - 3) THE TYPE OF BUILDING AND TYPE OF CONSTRUCTION, THE ESTIMATED COST AND THE PROBABLE DATE OF COMPLETION.THE PLAN AND APPLICATION WILL BE SUBMITTED ON THE FIRST FLOOR, FIRSTLY TO THE BUILDING PLAN SECTION TO ENSURE THAT THE PROPOSED STRUCTURE MEETS WITH THE REQUIREMENTS OF THE BOARD'S BY-LAWS CONCERNING --
  - I. LOCATION OF SANITARY FIXTURES;
  - II. RELATIONSHIP OF THE BUILDING TO WATER MAINS, SEWERS AND STORMWATER CHANNELS.AND SECONDLY, TO THE VALUATIONS SECTION FOR VALUING PURPOSES IN CONNECTION WITH SECTION 97(4) AD (7) OF THE BOARD'S ACT, AND FOR THE

CONTINUED....



## PENRITH CITY COUNCIL

Council Chambers, Station Street, Penrith, N.S.W. 2750 Telephone: (047) 32 2422 (C.D.E. 8017, Penrith)

APPLICATION NO: 009811

PERMIT NO: 009811

FOLIO NO: 4

CALCULATION OF A BUILDING FEE IN ACCORDANCE WITH BY-LAW 7 (1) (B) OF THE BOARD'S ACT.  
FAILURE TO SUBMIT THESE PLANS BEFORE COMMENCING WORK WILL RENDER THE OWNER LIABLE TO A PENALTY AND MAY RESULT IN THE DEMOLITION OF THE WORK AT THE BUILDERS EXPENSE.



# Penrith City Council

P. MORGAN

|         |
|---------|
| BA 9811 |
|         |

## BUILDING APPLICATION

LOCAL GOVERNMENT ACT, 1919 (Ordinance 70)

The Town Clerk,

I, the undersigned, hereby make application to the Penrith City Council for the approval of plans and specifications of a building which I propose to substantially commence within TWELVE (12) MONTHS from the date of approval. I hereby agree to comply with the requirements of the Council and the Local Government Act, 1919 and Ordinance No. 70.

Particulars are as follows. ( PLEASE PRINT )

A minimum of THREE (3) COPIES of plans and specifications shall be submitted.

INCOMPLETE OR INCORRECT DETAIL ON THE APPLICATION MAY PREVENT OR DELAY IT BEING APPROVED

|                                |             |                      |           |
|--------------------------------|-------------|----------------------|-----------|
| House No.<br>Unit No.<br>Name. | Street      | Town                 | Post Code |
| 5124<br>74/82                  | LINKS ROAD. | ST. MARYS.           | 2760      |
| Lot or Por. No.                | Section     | D.P., S.P. or Estate |           |
| LOT 5                          |             | 31908.               |           |
| Frontage (m)                   | Depth (m)   | Parish               |           |
| 100.150m                       | 100.107m.   |                      |           |

APPLICANT (Tick where applicable)

|   |  |   |
|---|--|---|
| Mr <input checked="" type="checkbox"/><br>Mrs <input type="checkbox"/><br>Miss <input type="checkbox"/> | Christian Names                              | Surname   |
|   | THE ALBERT HUNT GROUP.                       | ATTEN. [REDACTED]                                 |
| Address   |  | Post Code   |
| P.O. Box 381 RIVESTONE.<br>N.S.W.   |  | 2765  |
| Phone   |  | [REDACTED]  |
| State whether:  |  |   |
| Owner <input type="checkbox"/>  | Builder <input type="checkbox"/>             | Owner/Builder <input checked="" type="checkbox"/> |
| Architect <input checked="" type="checkbox"/>   | Structural Engineer <input type="checkbox"/> | Other <input type="checkbox"/>                    |
| Signature   |  | Date  |
| [REDACTED]  |  | 27/1/87   |
| Deposit/Fees paid by:   |  |   |
| Owner <input type="checkbox"/>  | Builder <input type="checkbox"/>             | Architect <input checked="" type="checkbox"/>     |
| Structural Engineer <input type="checkbox"/>  | Other <input type="checkbox"/>               |   |

OWNER

|  |                        |           |
|--|------------------------|-----------|
| Mr <input type="checkbox"/><br>Mrs <input type="checkbox"/><br>Miss <input type="checkbox"/> | Christian Names        | Surname   |
|  | THE ALBERT HUNT GROUP. |           |
| Address  |                        | Post Code |
| A/A.   |                        |           |
| ("As above" if same address)   |                        |           |
| Phone  |                        |           |

BUILDER

|  |                            |           |
|--|----------------------------|-----------|
| Mr <input type="checkbox"/><br>Mrs <input type="checkbox"/><br>Miss <input type="checkbox"/> | Christian Names            | Surname   |
|  | ALBERT HUNT CONSTRUCTIONS. |           |
| Address  |                            | Post Code |
| A/A  |                            |           |
| ("As above" if same address)   |                            |           |
| Phone  |                            |           |

|  |  |   |
|--|--|---|
| BUILDERS LICENSING INSURANCE paid to Licensing Board | Yes <input type="checkbox"/> No <input type="checkbox"/>   | Licence No. _____<br>or<br>O/B Permit No. _____ |
| State whether:                                       | New <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Addition <input checked="" type="checkbox"/> |   |

PARTICULARS OF PROPOSED BUILDING

(TICK WHERE APPLICABLE)

Purpose for which building is to be used: Residential Occupation  Industrial  Garage  Recreational  Commercial

Total new or additional floor area (sq.m.): 281m<sup>2</sup>  
 No. of new or additional self-contained dwelling units: NA.  
 No. of rooms this application: \_\_\_\_\_  
 No. of bedrooms this application: NA  
 No. and description of existing buildings on allotment: STORAGE SHED / OFFICE BLD.

Type of Building: Dwelling  Home Units  Town Houses  Screen Enclosure   
 Flats  Garage  Factory  Carport   
 Shop  Offices  Swimming Pool  Other

Commercial/Industrial Properties: No. of Courts (Squash) \_\_\_\_\_ No. of Car Parking Spaces 10

Is concrete footpathing or kerbing or guttering laid in front of the property? Yes  No   
 Is it damaged? Yes  No

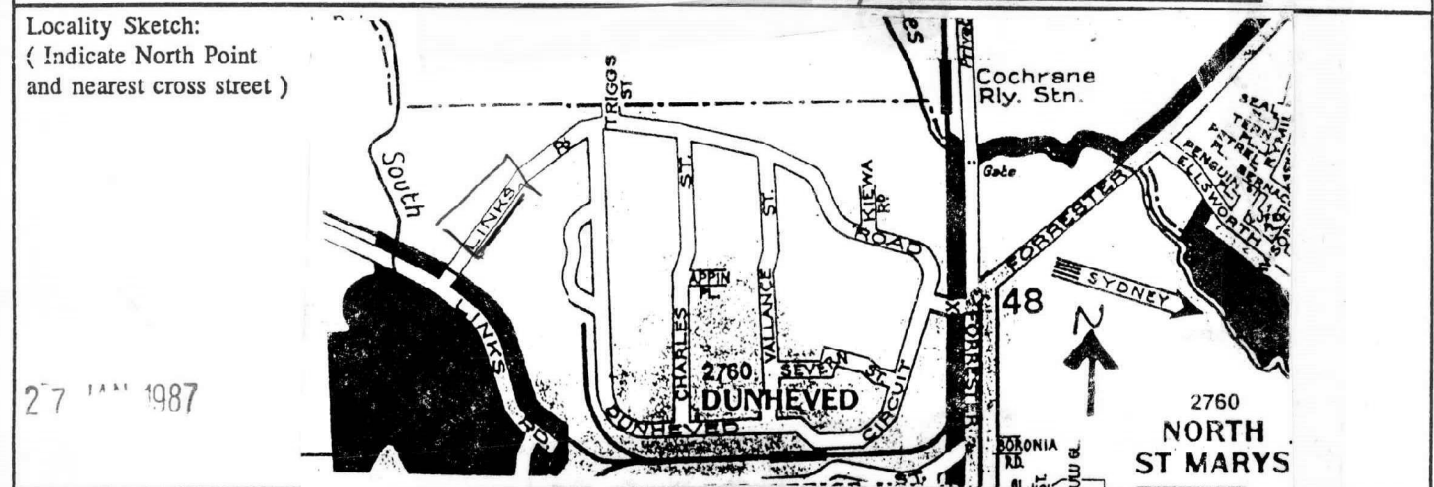
No. of sets of plans and specifications lodged: Plans: 3 Specifications: 2

State whether the materials are new or secondhand: New  Secondhand

Materials of floor/s: Concrete  Timber  Other   
 Materials of outer walls: Brick Veneer  Double Brick  Concrete Block   
 Timber  Fibro  Other   
 Materials of roof: Tiles  Steel  Fibro   
 Aluminium  Corrugated Iron  Other

Builders Sanitary Required: Yes  No

Contract price or Council's valuation of work: \$ 70,000-



FOR OFFICE USE ONLY

Contract sighted: Signature: \_\_\_\_\_ Date: 27-1-87

| Assessment No. | Building Type | Quantity | Floor area                          | Ward | Accepted by |
|----------------|---------------|----------|-------------------------------------|------|-------------|
| 0502           |               | 1        | <del>375</del><br>281m <sup>2</sup> | N.   |             |

27-1-87



# Penrith City Council

BA 011016  
D. Urb.

## BUILDING APPLICATION

LOCAL GOVERNMENT ACT, 1919 (Ordinance 70)

REFER B.A. 8303.

The Town Clerk,

I, the undersigned, hereby make application to the Penrith City Council for the approval of plans and specifications of a building which I propose to substantially commence within TWELVE (12) MONTHS from the date of approval. I hereby agree to comply with the requirements of the Council and the Local Government Act, 1919 and Ordinance No. 70.

Particulars are as follows. ( PLEASE PRINT )

A minimum of THREE (3) COPIES of plans and specifications shall be submitted.

INCOMPLETE OR INCORRECT DETAIL ON THE APPLICATION MAY PREVENT OR DELAY IT BEING APPROVED  
PROPERTY DETAILS

|                                   |                        |                               |                   |
|-----------------------------------|------------------------|-------------------------------|-------------------|
| House No.<br>Unit No.<br>Name. 74 | Street<br>LINKS ROAD.  | Town<br>ST. MARYS.            | Post Code<br>2760 |
| Lot or Por. No.<br>LOT 4/5        | Section                | D.P., S.P. or Estate<br>31908 |                   |
| Frontage (m)<br>IRR. 150m         | Depth (m)<br>IRR. 107m | Parish                        |                   |

APPLICANT (Tick where applicable)

|  |   |   |
|--|---|---|
| Mr Ms<br>Mrs<br>Miss                                     | Christian Names<br>THE ALBERT HUNT GROUP. | Surname<br>CONTACT.                           |
| Address<br>74 LINKS ROAD<br>ST. MARYS.                   |   | Post Code<br>2760                             |
| State whether: Owner <input checked="" type="checkbox"/> |   | Builder <input checked="" type="checkbox"/>   |
| Architect <input type="checkbox"/>                       |   | Structural Engineer <input type="checkbox"/>  |
|  |   | Owner/Builder <input type="checkbox"/>        |
|  |   | Other <input type="checkbox"/>                |
| Signature<br>R. Conrad. (for A.H.)                       |   | Date<br>1/5/87.                               |
| Deposit/Fees paid by: Owner <input type="checkbox"/>     |   | Builder <input type="checkbox"/>              |
|  |   | Architect <input checked="" type="checkbox"/> |
|  |   | Structural Engineer <input type="checkbox"/>  |
|  |   | Other <input type="checkbox"/>                |

OWNER

|                              |   |           |
|------------------------------|---|-----------|
| Mr Ms<br>Mrs<br>Miss         | Christian Names<br>THE ALBERT HUNT GROUP. | Surname   |
| Address<br>AS ABOVE.         |   | Post Code |
|                              |   | Phone     |
| ("As above" if same address) |   |           |

BUILDER

|                              |  |           |
|------------------------------|--|-----------|
| Mr Ms<br>Mrs<br>Miss         | Christian Names<br>ALBERT HUNT CONSTRUCTIONS | Surname   |
| Address<br>A/A               |  | Post Code |
|                              |  | Phone     |
| ("As above" if same address) |  |           |

|  |  |                         |
|--|--|-------------------------|
| Builders Licensing Insurance paid to Licensing Board | Yes <input type="checkbox"/> No <input type="checkbox"/> | Licence No. _____       |
| State whether: New <input type="checkbox"/>          | Alteration <input checked="" type="checkbox"/>           | or O/B Permit No. _____ |
|  | Addition <input checked="" type="checkbox"/>             |                         |

NOTE DEPOSIT ON KEYS ALREADY PAID  
REFER BA 9811

PARTICULARS OF PROPOSED BUILDING

(TICK WHERE APPLICABLE)

Purpose for which building is to be used: Residential Occupation  Industrial  Garage  Recreational  Commercial

Total new or additional floor area (sq.m.): 300m<sup>2</sup>  
 No. of new or additional self-contained dwelling units: NA  
 No. of rooms this application: -  
 No. of bedrooms this application: -  
 No. and description of existing buildings on allotment: 1 Office Buite 1 Bride store Rm

Type of Building: Dwelling  Home Units  Town Houses  Screen Enclosure   
 Flats  Garage  Factory  Carport   
 Shop  Offices  Swimming Pool  Other

Commercial/Industrial Properties: No. of Courts (Squash) - No. of Car Parking Spaces 13

Is concrete footpathing or kerbing or guttering laid in front of the property? Yes  No   
 Is it damaged? Yes  No

No. of sets of plans and specifications lodged: Plans: 3 Specifications: 2

State whether the materials are new or secondhand: New  Secondhand

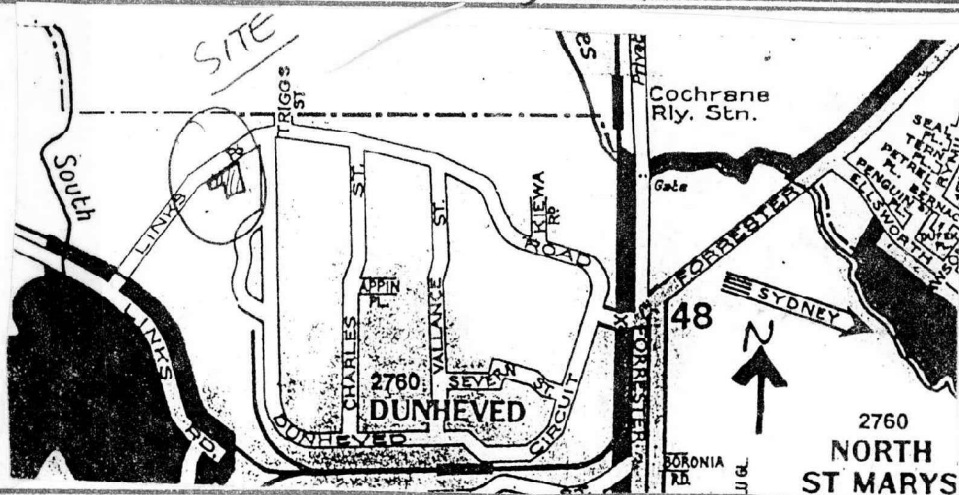
Materials of floor/s: Concrete  Timber  Other   
 Materials of outer walls: Brick Veneer  Double Brick  Concrete Block   
 Timber  (metal clad) Fibro  Other   
 Materials of roof: Tiles  Steel  Fibro   
 Aluminium  Corrugated Iron  Other

Builders Sanitary Required: Yes  No

Contract price or Council's valuation of work: \$ 80,000

Locality Sketch:  
 ( Indicate North Point  
 and nearest cross street )

Damage depos. 7 waived.  
 16/15/87



FOR OFFICE USE ONLY

Contract sighted: Signature: \_\_\_\_\_ Date: \_\_\_\_\_

| Assessment No. | Building Type | Quantity | Floor area        | Ward  | Accepted by |
|----------------|---------------|----------|-------------------|-------|-------------|
|                | 0805          | 1        | 300m <sup>2</sup> | EAST. | 1/5/87      |

AMENDED BUILDING APPLICATION

The Town Clerk,

I, the undersigned, hereby make application for amendment to the approved building plans dated ...27/7/88....., Building Application No. ..16636..... I enclose ...3..... copies of plans and ..... copies of specifications of the proposed amendment.

LOCATION OF PROPOSED BUILDING:

House No. ....74..... Street ...LINKS ROAD.....

Locality (Suburb): .....ST. MARYS.....

Section No.: ..5..... D.P. No. : 31908.....

OWNER: Name: ..CATCH 400 PTY LTD..... Phone No. [REDACTED]

Address: ..74 LINKS ROAD, ST. MARYS..... Postcode 2760.....

BUILDER: Name: ..... Phone No. ....

Address: ..... Postcode .....

PARTICULARS OF PROPOSED AMENDMENT:

..... An added wing- upper floor - managing director.....

..... dressing room.....

Additional Contract Price  
Or Total Valuation of Amendment: \$ .5000.....

APPLICANT: Name: [REDACTED]..... Phone No. ....

Address: [REDACTED]..... Postcode 2760.....

Signature of Applicant ..... Date ..27.7.88.....

FOR OFFICE USE ONLY

Additional Fee Payment: ..... ~~\$2000~~ \$27.00 ..... Date ..28/7/88.....

Receipt No.: [REDACTED].....

28 JUL 1988





# ECOSYST<sup>®</sup>

Tecnologia avanzata dei rifiuti sanitari

## MEDICAL WASTE STERILIZATION SYSTEM



Medical waste treatment system offering complete environmental security at the most competitive prices.

# MEDICAL WASTE STERILIZATION SYSTEM

*We provide a wide range of innovative functions and services, as maintenance monitoring of our systems, telemanagement service, control panel and much more.*



**ECOSYST offers the cheapest prices and guarantees to save your money in 5 ways:**

- 1 Labor**

Automation reduces the hours of work required for handling hazardous waste more than other systems. Our plant is fully automatized and the action of the operator is required for the sole loading of waste into the cart; subsequently an electric system will lift and send the cart into the loading hopper.
- 2 Operator safety**

Several steps in the handling of infected waste like syringes, needles, etc. may be the cause of unpleasant incidents. Our automated system for lifting and loading decreases risk of accidental needle sticks and, primarily prevent from the contact with organic and liquid substances. The results: reduction of lost hours and more safety at cheaper costs.
- 3 Spare parts**

Other alternative systems have high and sometimes hidden costs for spare parts like special bags, chemicals and other supplies available only from authorized dealers. The ECOSYST facility ECO-S series does not require special stocks, but is designed so that you can find spare parts anywhere in the World.
- 4 Disposal**

The waste leaving the ECOSYST facility ECO-S series, turned into sterile and reduced in fine size, can be easily packaged, temporarily stored and directly delivered to RDF/[CSS] facilities. Such facility will exploit its high calorific value to improve the quality of their fuel.
- 5 Compliance with environmental protection**

Our facility eliminates the unforeseen costs linked with environmental protection regulations. Beside, a thorough protection from risks of liability met by waste producers in passing infectious state is avoided, eliminating waste from hand to hand can be achieved. Above all, the use of the INCINERATOR is avoided eliminating atmospheric emissions of hazardous and noxious substances deriving from the combustion process.

*HIGH PRESSURE SATURATED STEAM: the ECO-S SERIES plant complies with the European Union PED directive, as well as the Machinery Directive for moving elements.*



The **SERIES ECO-S** plant does not emit harmful substances to the atmosphere and turns infected waste into a sterilized and unrecognizable material, safer than solid urban waste.

**ECOSYST** represents a complete and technologically innovative solution.

### High convenience and ease use

The system can be installed both indoor and/or outdoor and requires only electrical and hydraulic connections for its operation. The facility is completely automated; the loading cart starts the phase of waste preparation for subsequent transfer to the sterilization phase. The outgoing waste is discharged to the other end of the facility into a container and can be compared to solid urban waste.

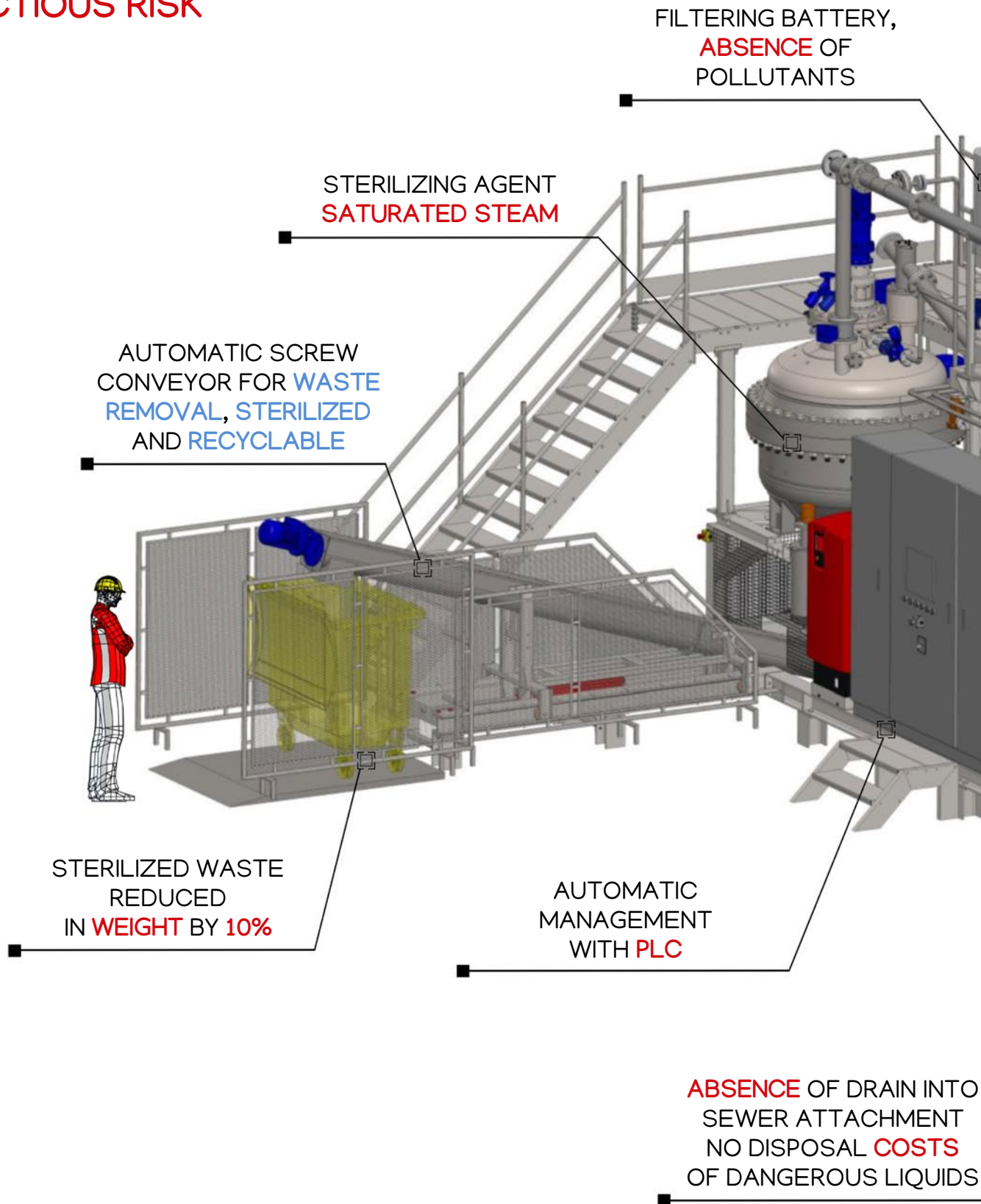
### Reliability

The companies in the medical waste sector are highly demanding due to the fact that their profits depend on the continuous costs of operation, reliability and duration of the treatment systems.

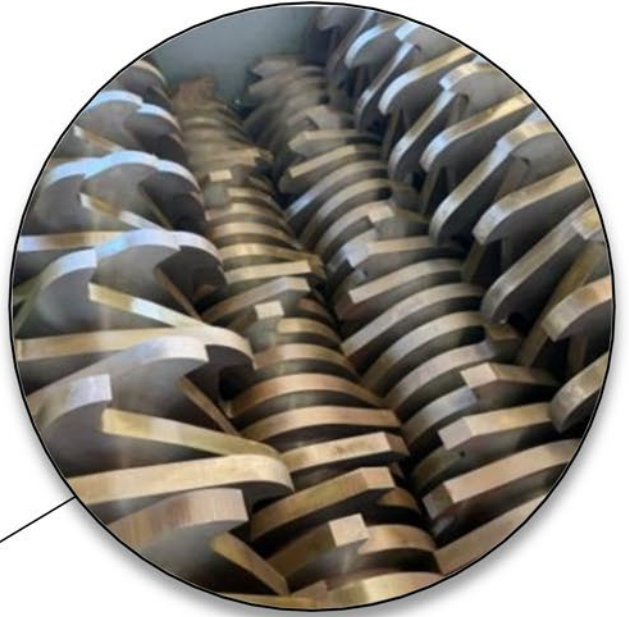


WE DESIGN AND REALIZE  
INNOVATIVE TECHNOLOGY  
FOR THE TREATMENT

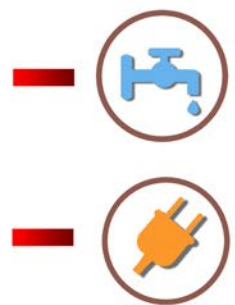
## OF MEDICAL WASTE AT INFECTIOUS RISK



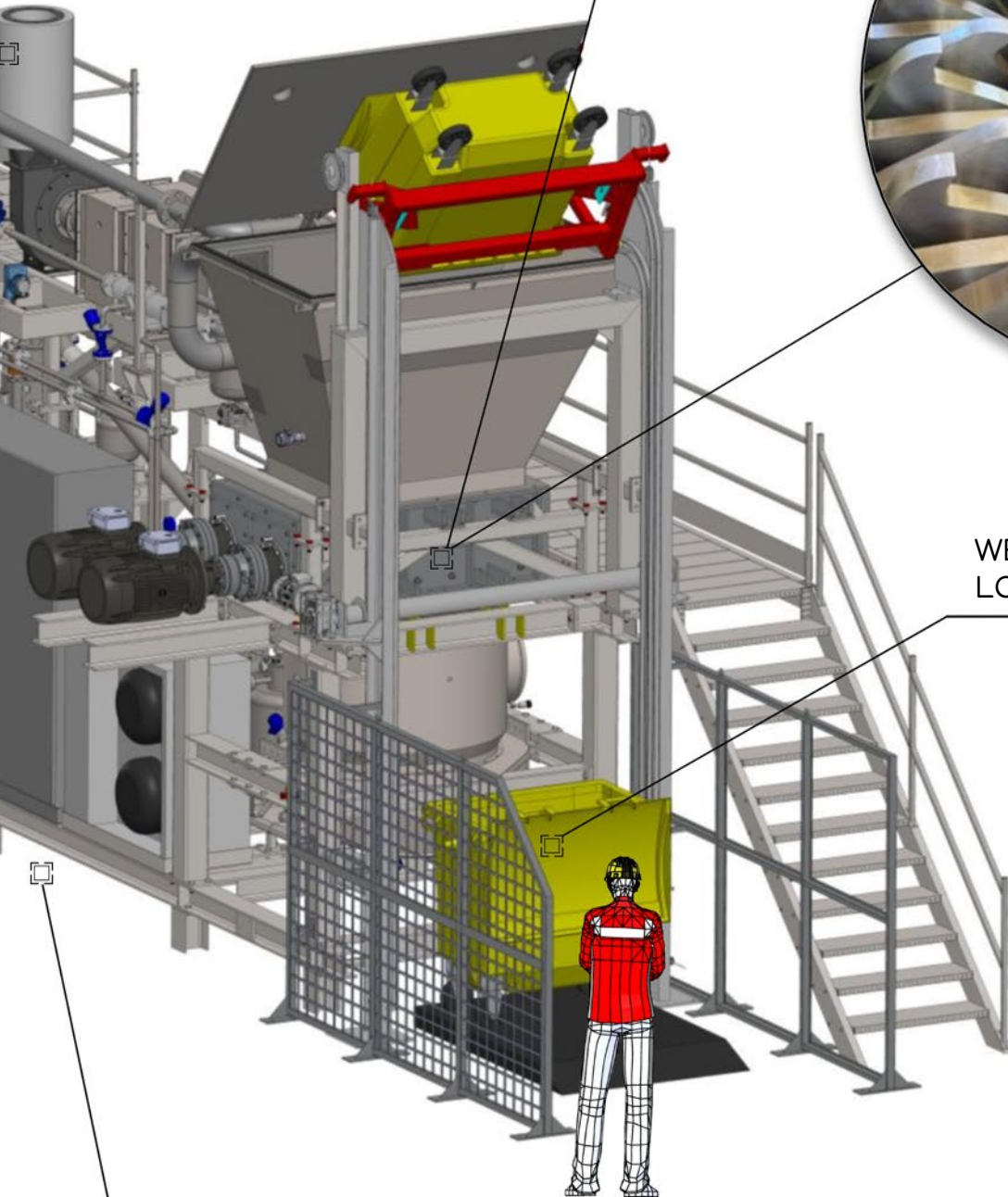
POWERFUL INTEGRATED  
PRE-SHREDDING AND 80%  
VOLUME REDUCTION



WEIGHING AND AUTOMATIC  
LOADING **INFECTED WASTE**

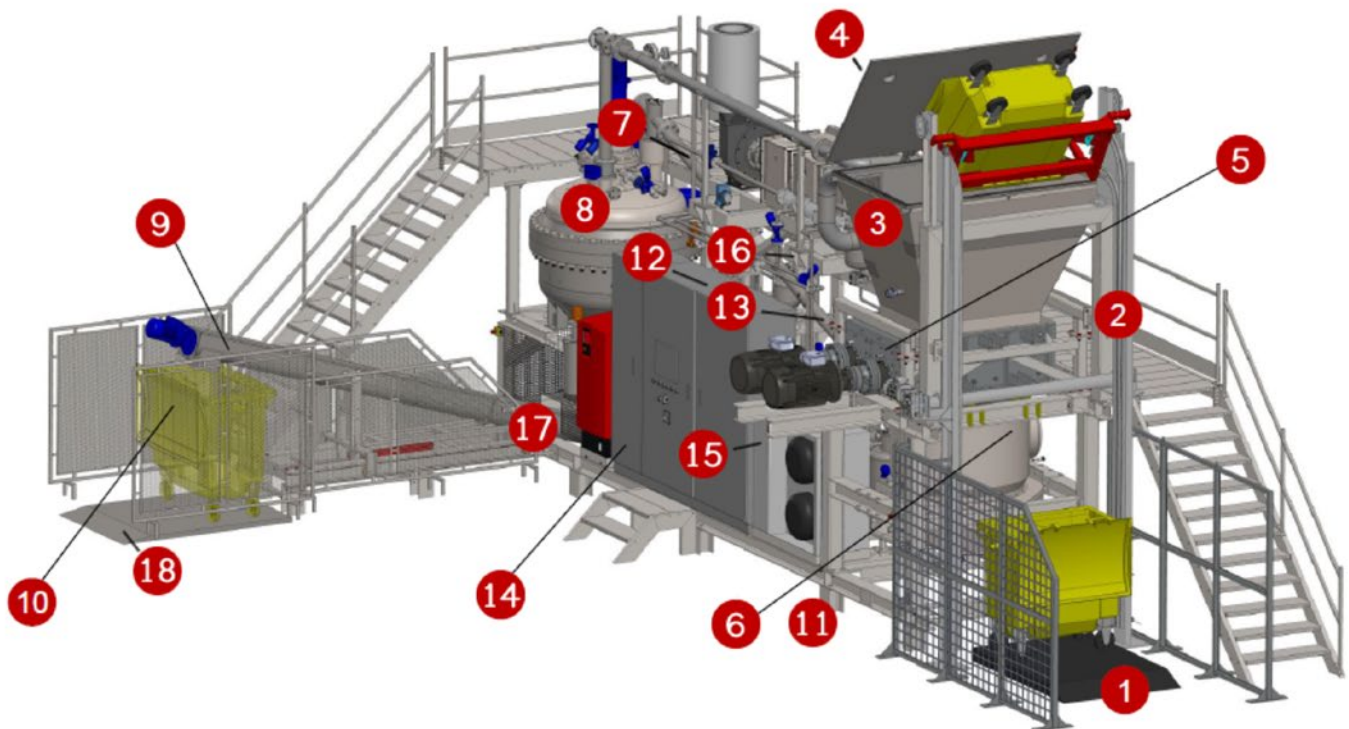


REDUCED  
WATER - ELECTRIC  
CONSUMPTION



# INSIDE THE STERILIZATION PROCESS

*The sterilization treatment process uses **HIGH PRESSURE SATURATED STEAM**, a widely accepted principle for treating infectious medical waste.*



## THE PROCESS: DESCRIPTION OF THE MEDICAL TREATMENT

The facility is equipped with a loading cart that can be loaded from the top cycle automatically, by introducing in the inside “As-is” disposable containers and/or the content of the reusable containers. The loading of the cart starts the **phase of waste preparation** in view of the subsequent transfer to the **sterilization phase**. The two phases are batch processes which can occur simultaneously. In other words, during the process of sterilization it is possible to start the preparation of a new waste loading phase.

## THE AUTOMATED CYCLE OF WASTE PREPARATION

### LOADING

The infected waste, loaded inside the entering cart (2) following to an initial weighing (1), is lifted and overturned (3) into the hopper (4). After the loading operation, the hopper is closed before the starting of the subsequent phase.

### SHREDDING

The shredding takes place by using a 4-axis knives shredder (5) equipped with an automatic anti-blocking system. The waste is discharged under the shredder through a grid that allows to obtain the desired size. During the operation, a sodium hypochlorite solution is sprayed inside the loading hopper to sanitize the hopper itself and to reduce rising of dust.

### ACCUMULATION

The shredded waste is accumulated into a storage compartment (6) that feeds the transfer screw (7) to the sterilization chamber (8). The storage compartment, in addition to homogenising the shredded load, regulates, through filling sensors, the introduction of new waste to the hopper.

## FILTERING BATTERY

The automatic preparation cycle is obtained by keeping the loading hopper in depression state so as to avoid the escape of emissive components. The flow aspirated by the filter group (10) is treated through:

- Pre-filter
- HEPA filter
- Activated carbon filter
- Centrifugal compressor

This emission treatment system allows to obtain a flow complying with the standards set for having air in the workplace. Since the said standards are more restrictive than those required for emissions into the atmosphere, the flow can take place both in the environment where the system is installed and outside.

## THE STERILIZATION AUTOMATED CYCLE

### TRANSFER

The waste accumulated inside the store compartment is transferred to the sterilization chamber via screw conveyor. The screw has been designed in order to carry the entering waste. The filling sensors, connected to the storage compartment, allow the complete emptying to be verified by a control PLC (14) which allows the management of the solenoid valves through a pneumatic circuit driven by a compressor (17).

### STERILIZATION

Once the waste transfer process ends, the sterilization chamber can be closed by means of a specially designed shut-off valve and the thermal cycle can start. The saturated steam produced by the steam generator (12) is fluxed into the waste, where the waste are kept in motion by a spiral stirrer. The combination of fluxing and penetration allows the saturated steam to penetrate throughout the whole mass under treatment. Through the said system it is possible to reach, within the mass of treated waste, the maximum conditions obtainable, equal to 165°C with a pressure of 6 bar, allowing a reduction of the bacterial load such as to guarantee a S.A.L. (Sterility Assurance Level) not lower than 10<sup>-6</sup>, as evidenced by the efficiency test issued by the University of Bari. The time / temperature conditions of the automatic cycle are defined during the configuration of each individual single system according to: type of treated waste, humidity level, operating potential, etc.

Moreover, within the sterilization chamber, a housing is provided where the bio-indicators will be introduced in the form of vials containing a strip of spores of *Geobacillus Stearothermophilus* useful to comply with the provisions of UNI 10384/94. After the sterilization phase, the chamber is returned to atmospheric pressure (13) through a valve suitable for the steam outlet, which is recovered and condensed (16) by means of a chiller (15). This allows the re-use in the following cycles. Subsequently, a depression is created allowing the evaporation of residual moisture. This evaporation also implies a cooling of the waste.

### STERILIZED REFUSAL DISCHARGE

Before proceeding with the discharge of the sterilized waste, an appropriately designed auger (9) is located automatically, by means of PLC management, under the sterilization chamber to receive the waste in exit. The auger is then activated to transfer the waste into a final container. Once the unloading phase is complete, the auger returns to the initial position. The process is completely managed by a PLC.

The plant is installed on a self-supporting frame (11) made of steel sections, allowing a simple and quick installation. It has a size of about 1170W x 710D x 600H (cm), with a consumption for a variable treatment cycle depending on the types and amount of waste treated.

*ECOSYST is committed to research every day, to reduce the environmental impact to ZERO, using an innovative and safe process for medical waste management.*

## SAFETY

- Plants complying CE regulations
- Cross and automatic checks eliminate the dangers
- Automatic lifting eliminates accidents
- Sterilization level higher than microwaves

## BENEFITS

- Easy to install
- Hydraulic and electric connections only
- Reinforcement of the eco – sustainability image
- Life of the facility: over 10 years

## TECHNOLOGY

- Powerful shredding technology
- Ideal technology for hospitals and commercial facilities
- Fully automated plant (PLC)
- Air treated with absolute filtration

## ECONOMY

- Competitive investment for high productivity
- Low operating costs
- Reduction of storage and handling costs
- Only one operator can check more plants

## EFFICIENCY

- Sterility level not less than 10<sup>-6</sup>
- 80% volume reduction
- 30% weight reduction
- Dry and potentially reusable waste

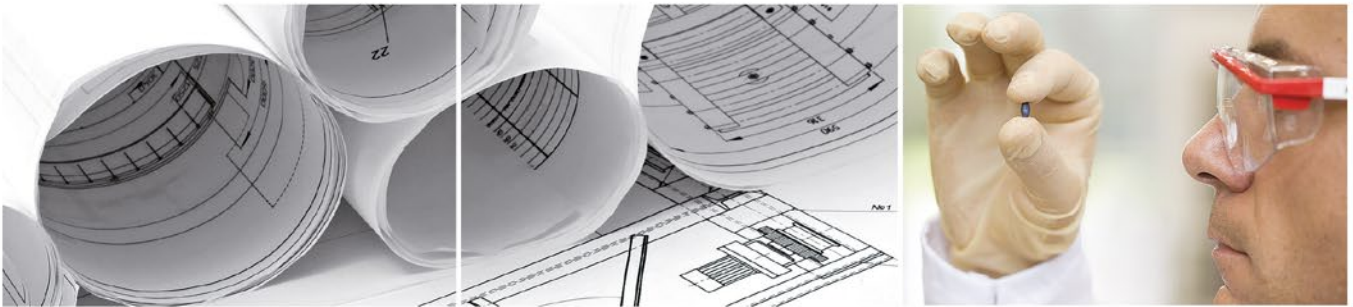
## ENVIRONMENT

- No atmospheric pollution
- No contaminated liquid
- No waste liquid at the end of the cycle
- No odours





*In many Countries there are several existing laws, which must be respected when potentially infected waste is processed. Italian legislation keeps one of the strictest regulations in the world in the field of infectious-risk medical waste.*



## PURPOSE

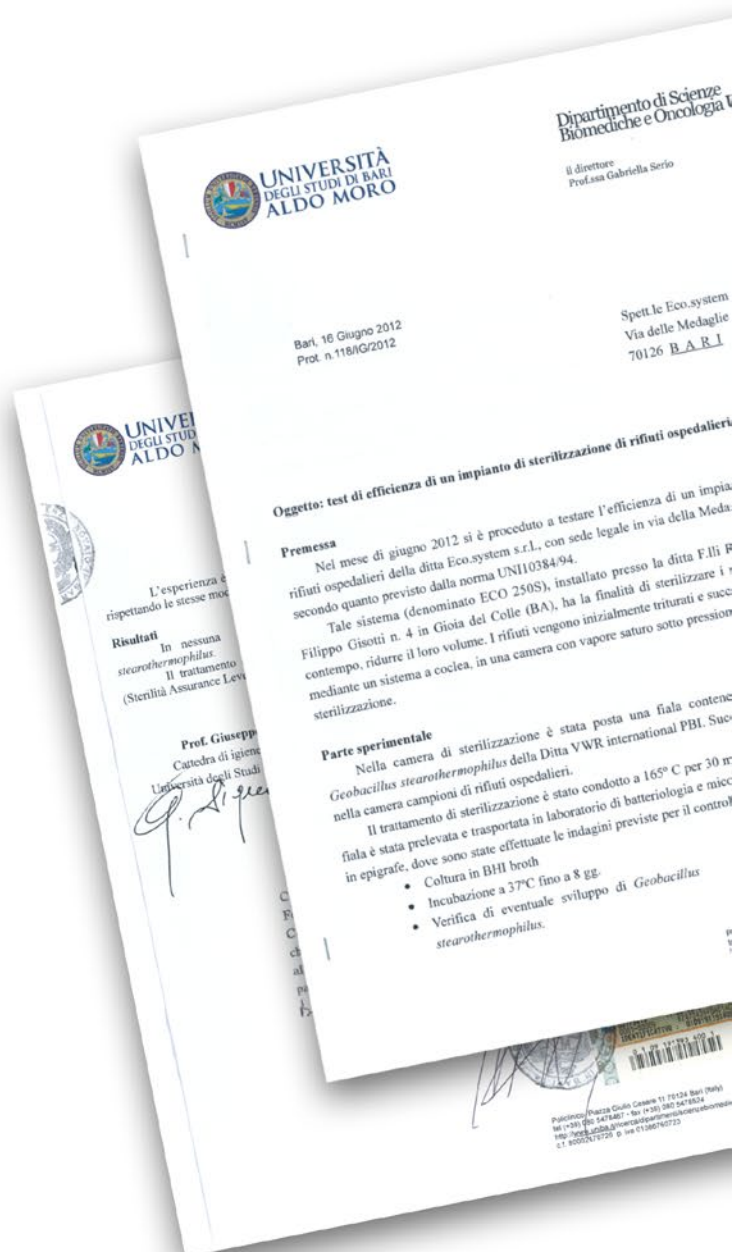
The ECO-S SERIES facility has the strategic target of responding to the stringent regulations on the management of medical waste belonging to the European Waste Catalog (EWC), using modern technology applied to a highly automated technological process.

## TESTS CARRIED OUT AND CONFORMITY

The facility, in addition to its compliance with the provisions of the D.P.R. 254/2003 and the associated UNI 10384/94 norm, has been subjected to:

- **Advice** by the Institute for Environmental Protection and Research (ISPRA – Italian research body which is used in the Ministry of the Environment) in which it is highlighted that the only treatment with high pressure saturated steam is sufficient for the sterilization of medical waste with an infectious risk.
- **Test** carried out by the Department of Biomedical Sciences and Human Oncology of the University of Bari “Aldo Moro”, which confirmed compliance with the provisions of the law UNI 10384/94.
- **Test** by the Laboratory “Environment Center” of Bari.

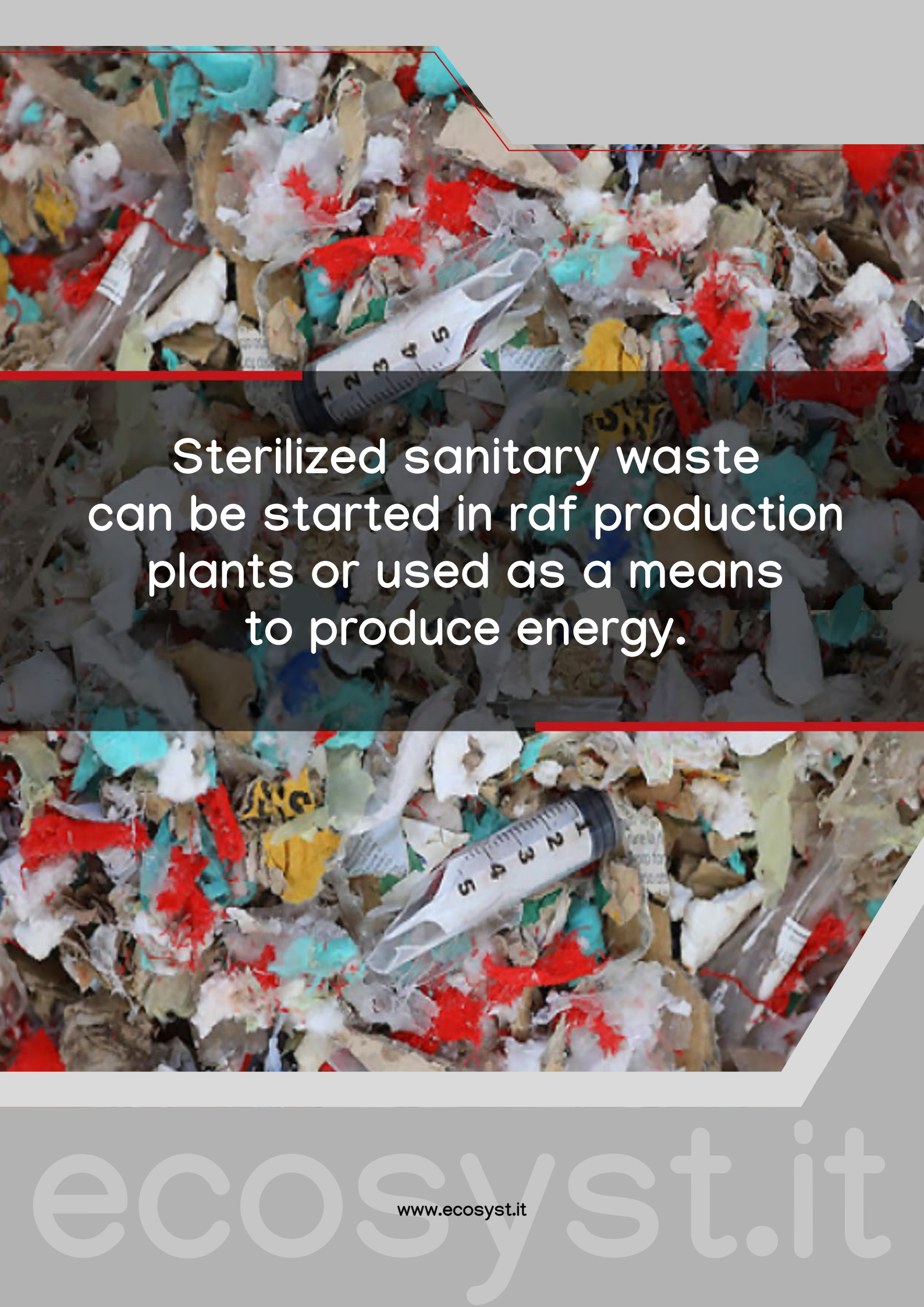
Beside the aspects strictly linked to the effectiveness of the sterilization process, the sterilization chamber complies with the Directive 2014/68 / EU – PED for pressure equipment and the whole facility complies with the 2006/42 / EC Directive – Machinery Directive.



# ANOTHER TECHNOLOGY INSTALLED CALLED ECOSYST GV SERIES

*Some images that recover the easy assembly  
of the mechanical components on site by the  
customer.*





Sterilized sanitary waste  
can be started in rdf production  
plants or used as a means  
to produce energy.

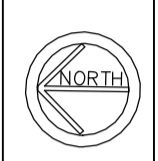
[www.ecosyst.it](http://www.ecosyst.it)  
ecosyst.it



Eco.system reserves the right to make technical changes or product improvements without prior notice.



| REVISIONS: |      |
|------------|------|
| NO.        | DATE |
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**Carlo Romieri & Associates**  
 STRUCTURAL & CIVIL ENGINEERING  
 DESIGN CONSULTANTS  
 BUILDING CONSULTANTS  
 ENVIRONMENTAL CONSULTANTS

2051 THE NORTHERN ROAD GLENMORE PARK NSW 2745  
 TEL: (02)7367986 MOB: 0418256285  
 e-mail: carlo@crromieri.com.au

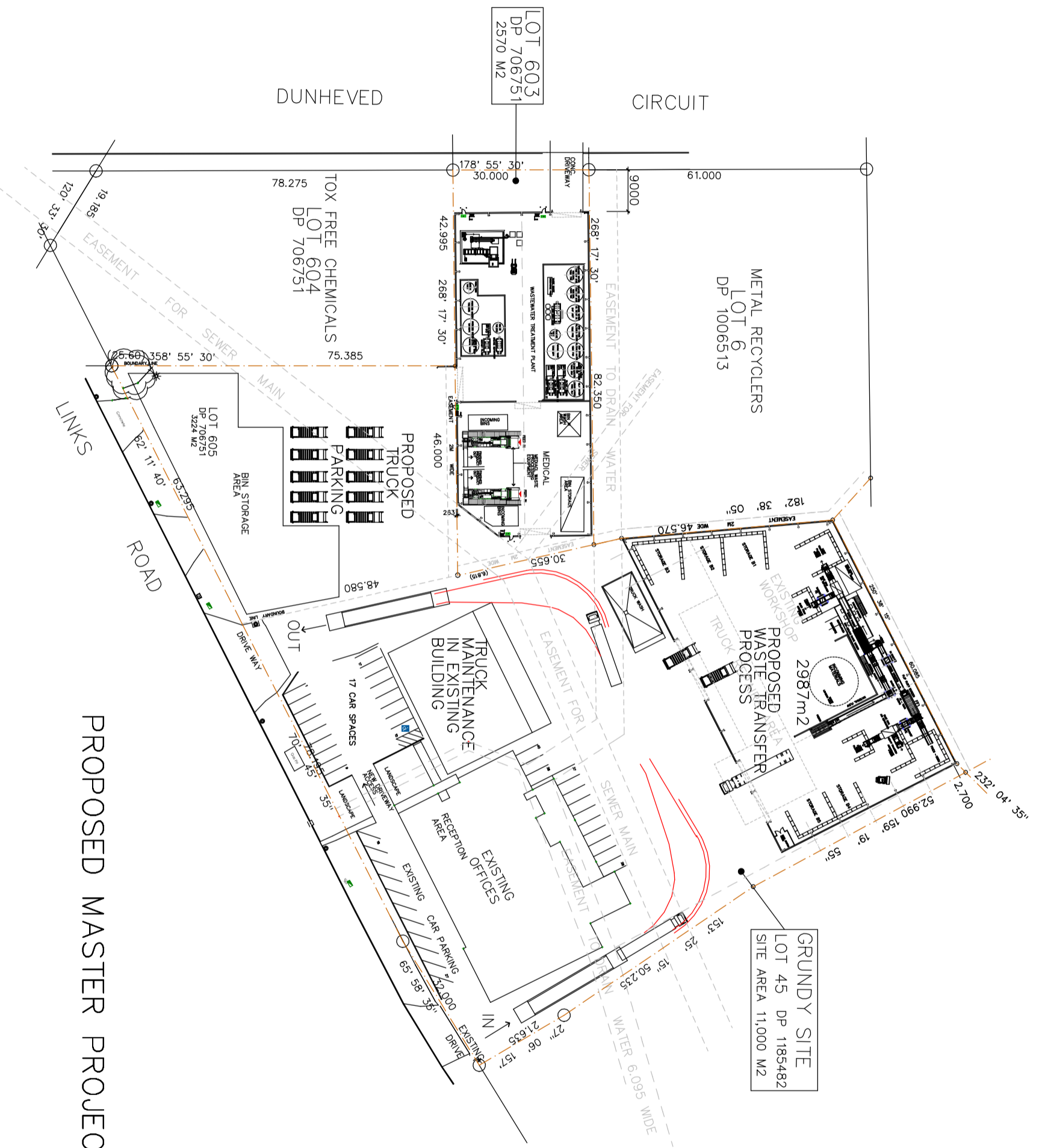
**CLIENT:**  
 GRUNDYS WASTE SERVICES

**PROJECT:**  
 PROPOSED MATERIAL RECOVERY FACILITY  
 PROPOSED MEDICAL WASTE FACILITY  
 PROPOSED WASTE WATER FACILITY

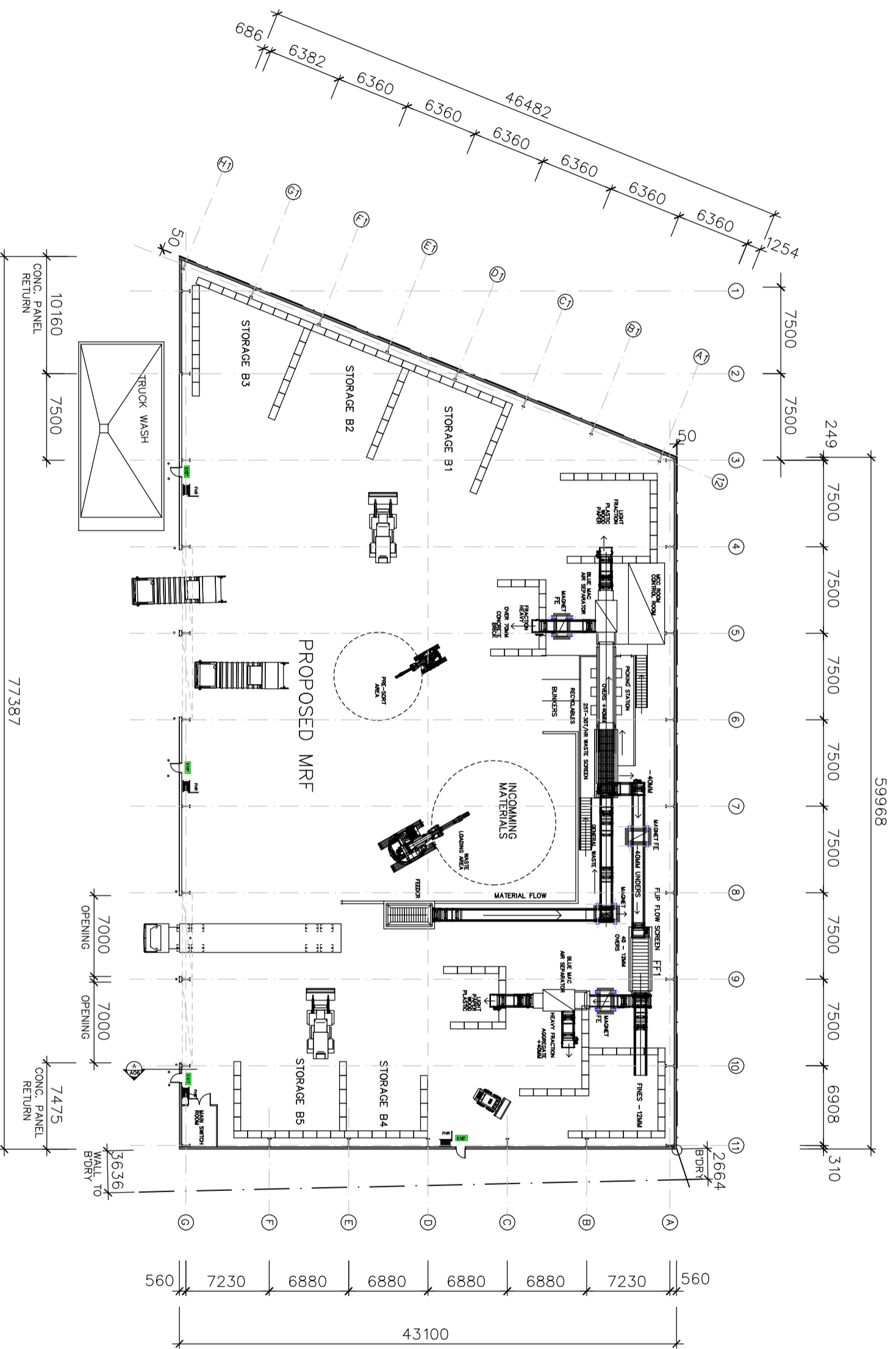
**DRAWING:**  
 OVERALL SITE PLAN

SCALE: 1:1000 DATE:      DRAWN: C.R.  
 PRL NO.: GWEPF-081623 JOB 305 SHEET A02 ISSUED A

# CONCEPT



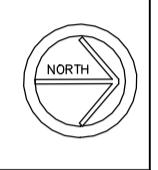
## PROPOSED MASTER PROJECTS SITE PLAN



**PROPOSED MATERIAL PROCESSING  
 FACILITY FLOOR PLAN**  
 SCALE 1:200

CONCEPT

| REVISIONS: | ISSUE BY | DATE | DESCRIPTION |
|------------|----------|------|-------------|
|            |          |      |             |
|            |          |      |             |
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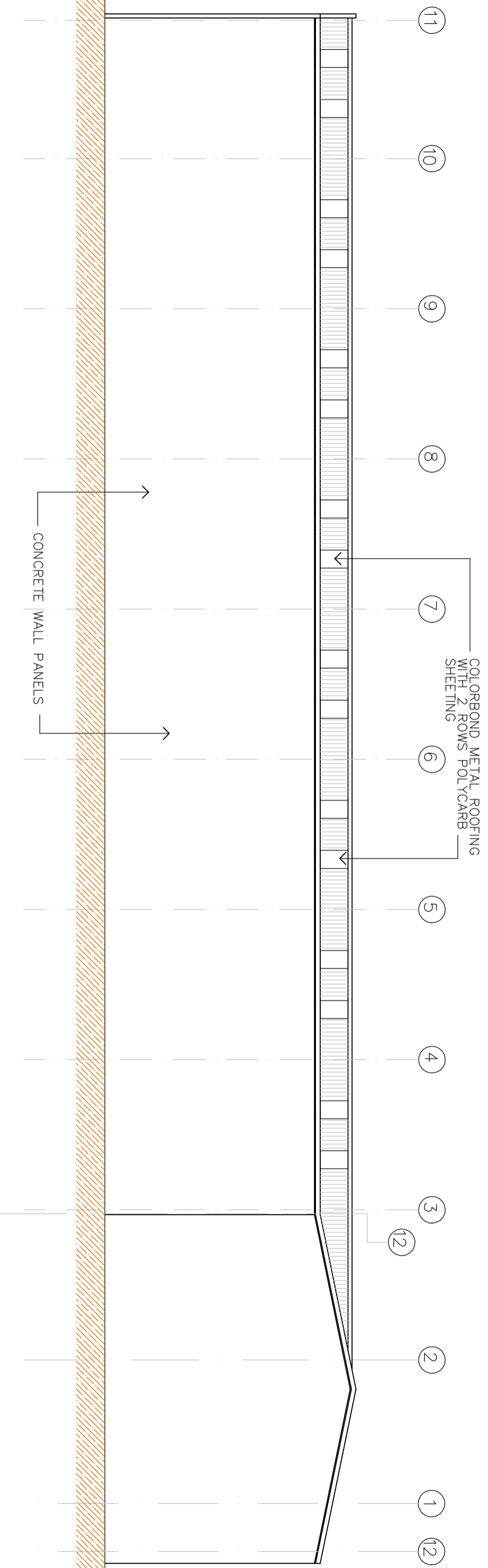


**Carlo Ranieri & Associates**  
 STRUCTURAL & CIVIL ENGINEERING  
 DESIGN CONSULTANTS  
 ENVIRONMENTAL CONSULTANTS  
 2051 THE NORTHERN ROAD GLENMORE PARK NSW 2745  
 TEL: (02) 47387966 MOB: 04 18265295  
 e-mail: carlo@carloranieri.com.au

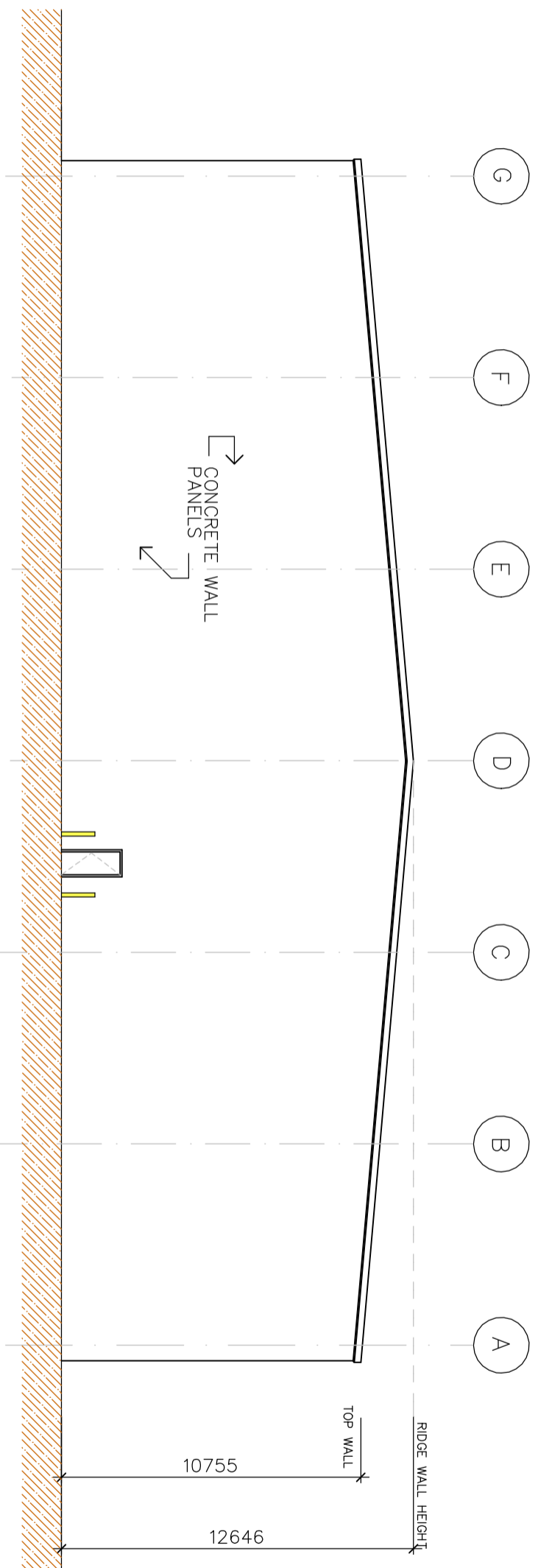
**CLIENT:**  
 GRUNDYS WASTE SERVICES

**PROJECT:**  
 PROPOSED MATERIAL RECOVERY FACILITY  
 PROPOSED MEDICAL WASTE FACILITY  
 PROPOSED WASTE WATER FACILITY

| DRAWING:                             |         |
|--------------------------------------|---------|
| MATERIAL PROCESS FACILITY FLOOR PLAN | DATE:   |
| SCALE: 1:200                         | DATE:   |
| PKL NO.: GWEP-081623                 | JOB 305 |
| SHEET A03                            | ISSUE A |
| DRAWN: G.R.                          |         |



SOUTH ELEVATION  
SCALE 1:100

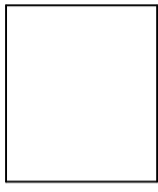


WEST ELEVATION  
SCALE 1:100

CONCEPT

REVISIONS:

| ISSUE BY | DATE | DESCRIPTION |
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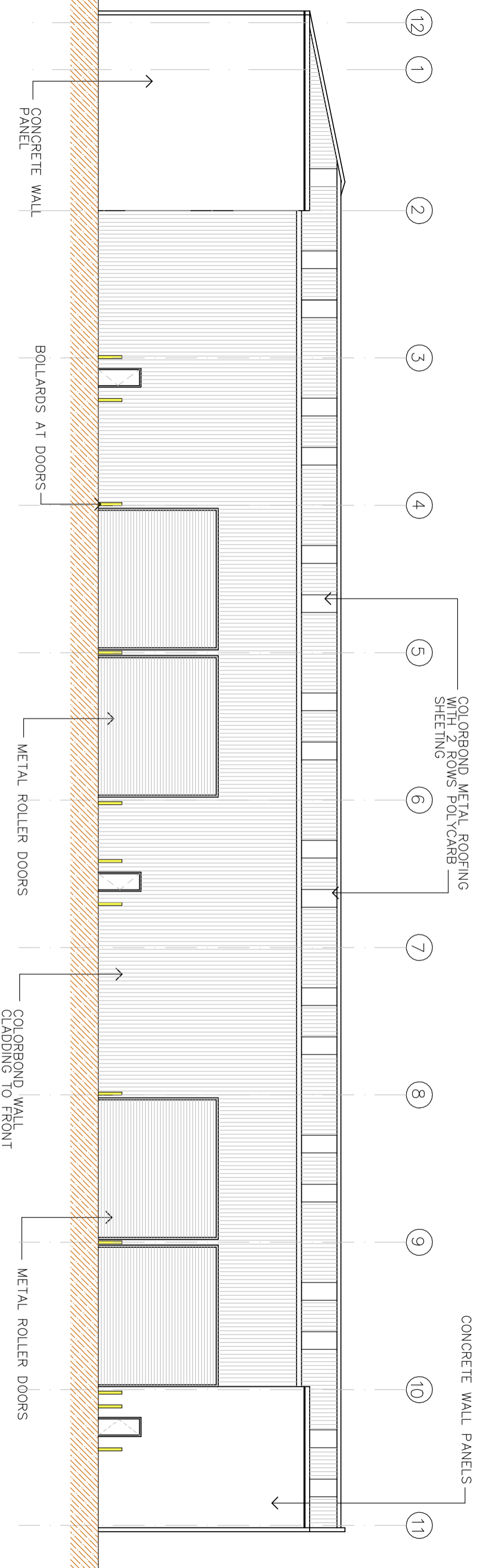
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BUILDING CONSULTANTS  
ENVIRONMENTAL CONSULTANTS  
2051 THE NORTHERN ROAD GLENMORE PARK NSW 2745  
TEL: (02) 9736 9666 MOB: 0418286285  
e-mail: carlo@carloranieri.com.au

CLIENT:  
GRUNDY'S WASTE SERVICES

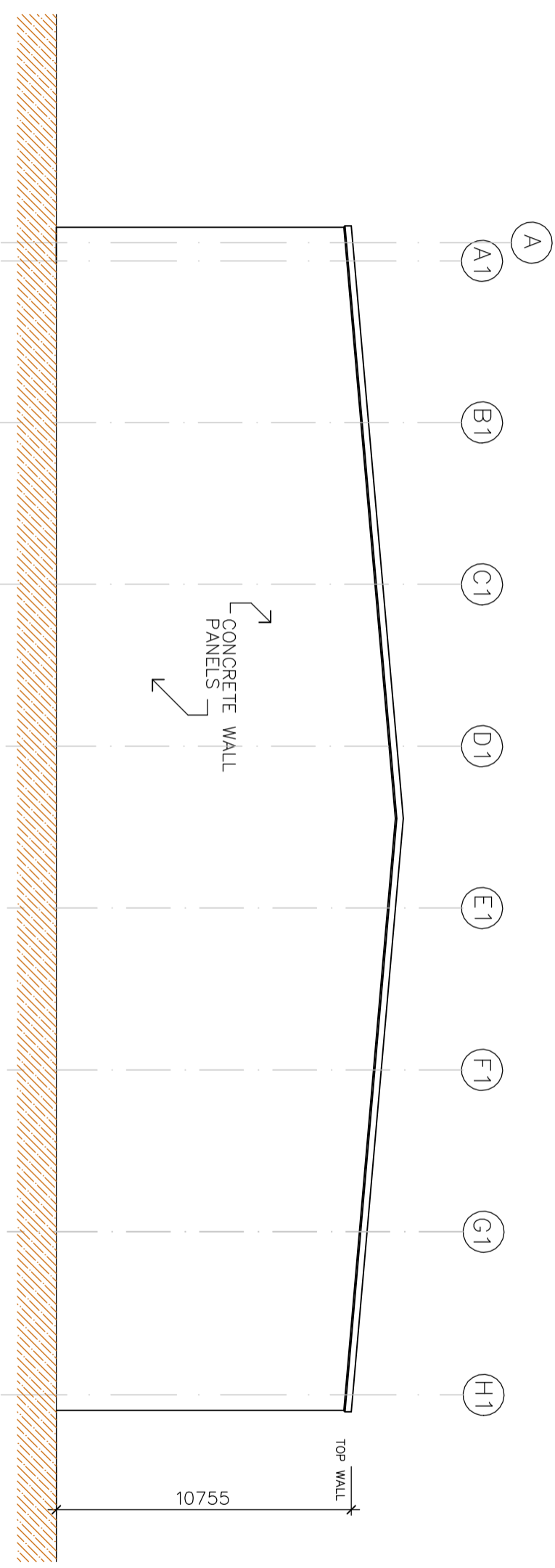
PROJECT:  
PROPOSED MATERIAL RECOVERY FACILITY  
PROPOSED MEDICAL WASTE FACILITY  
PROPOSED WASTE WATER FACILITY

DRAWING:

|                                      |          |             |
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| MATERIAL PROCESS BUILDING ELEVATIONS |          | DRAWN: G.R. |
| SCALE: 1:100                         | DATE:    | ISSUED: A   |
| PRJ. NO.: [W]EPE-081623              | JOB: 305 | SHEET: AQ4  |



NORTH ELEVATION



EAST ELEVATION

CONCEPT

**REVISIONS:**

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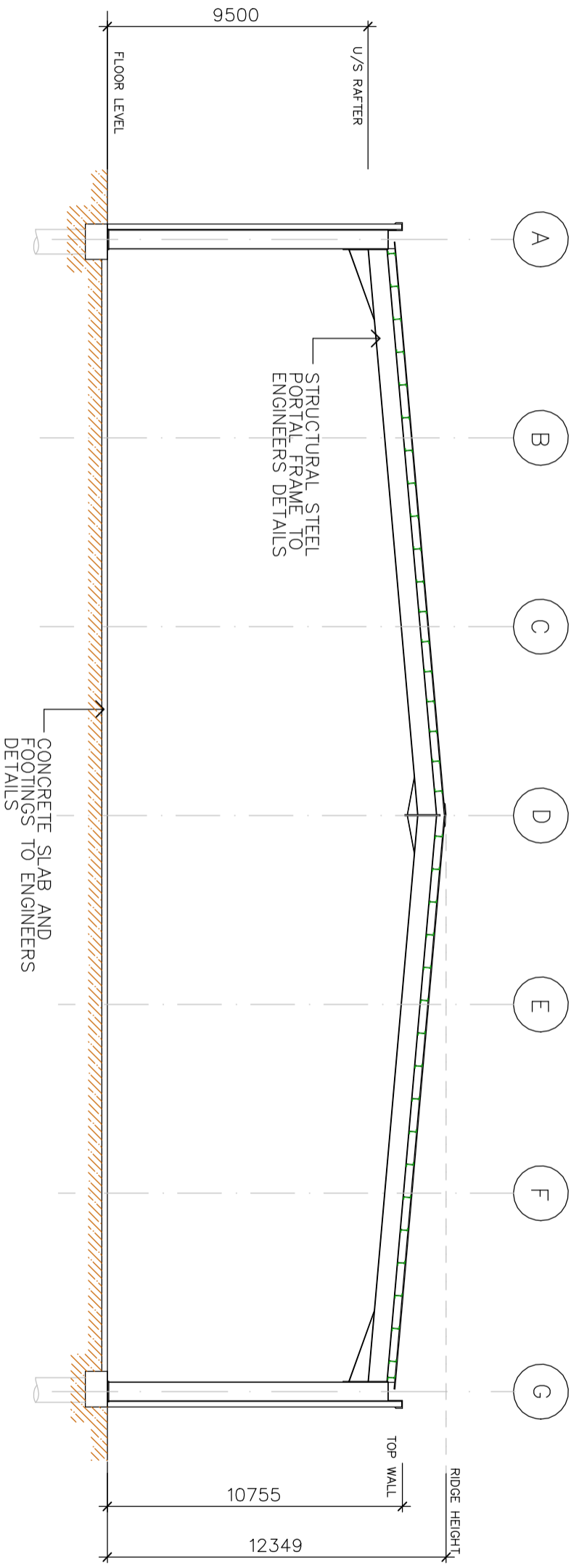
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**CLIENT:**  
 GRUNDY'S WASTE SERVICES

**PROJECT:**  
 PROPOSED MATERIAL RECOVERY FACILITY  
 PROPOSED MEDICAL WASTE FACILITY  
 PROPOSED WASTE WATER FACILITY

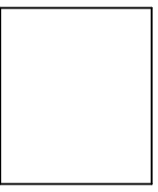
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| <b>DRAWING:</b><br>MATERIAL PROCESS BUILDING ELEVATIONS | <b>SCALE:</b> 1:1000 | <b>DATE:</b>      | <b>DRAWN:</b> G.R. |
| <b>PRL NO.:</b> [3]MEPE-081623                          | <b>JOB:</b> 305      | <b>SHEET:</b> A05 | <b>ISSUE:</b> A    |



SECTION A  
SCALE 1:100  
A03

CONCEPT

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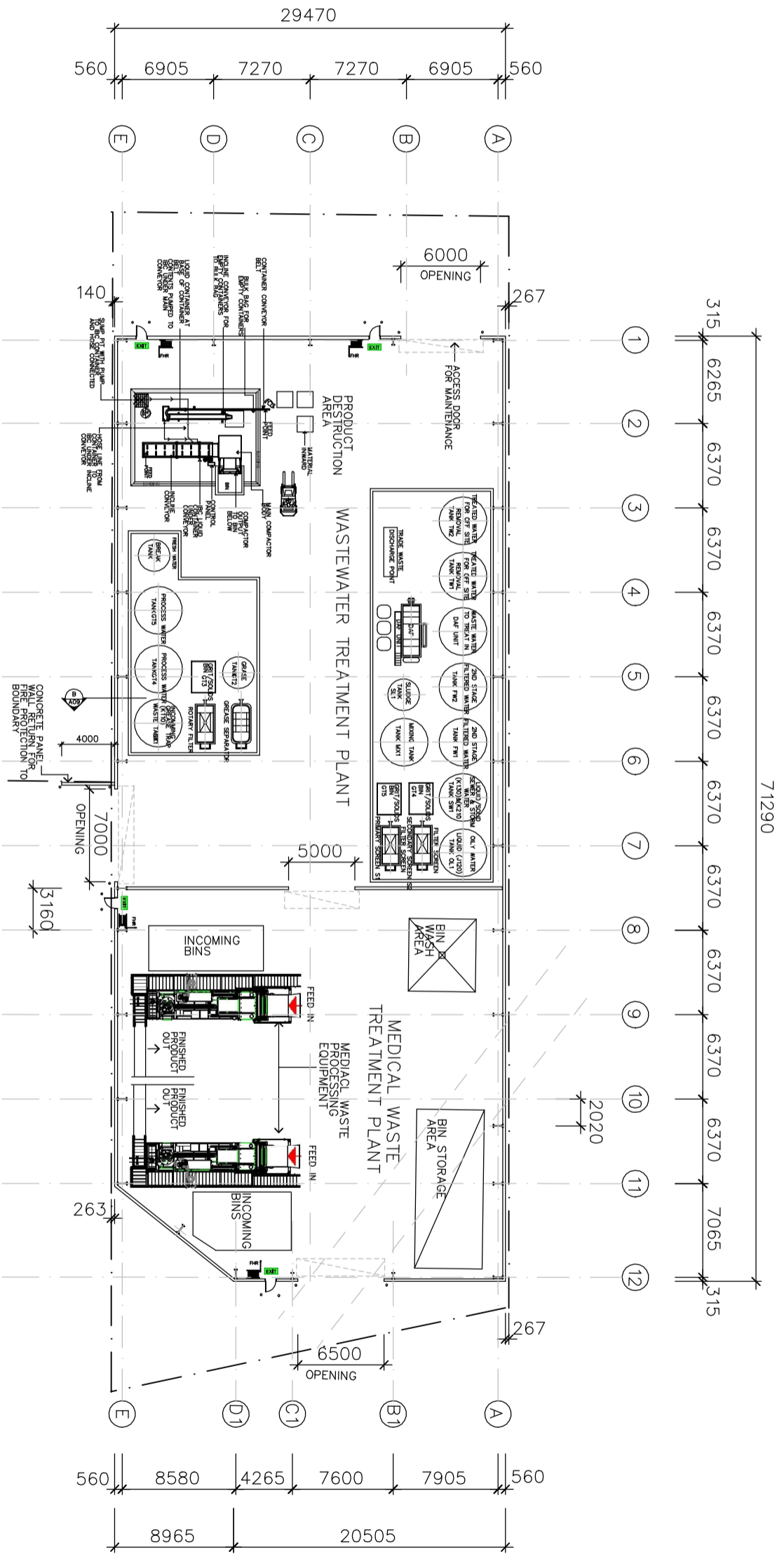


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**CLIENT:**  
 GRUNDY'S WASTE SERVICES

**PROJECT:**  
 PROPOSED MATERIAL RECOVERY FACILITY  
 PROPOSED MEDICAL WASTE FACILITY  
 PROPOSED WASTE WATER FACILITY

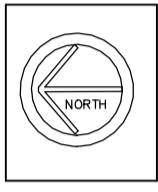
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| <b>DRAWING:</b>       |       | MATERIAL PROCESS BUILDING |             |
| SECTION               |       | SECTION                   |             |
| SCALE: 1:100          | DATE: | JOB: 305                  | SHEET: A06  |
| PRJ. NO.: 3WEP-081623 |       |                           | DRAWN: G.R. |
|                       |       |                           | ISSUE: A    |



**MEDICAL WASTE AND WASTE WATER  
 TREATMENT FACILITY FLOOR PLAN**  
 SCALE 1:200

CONCEPT

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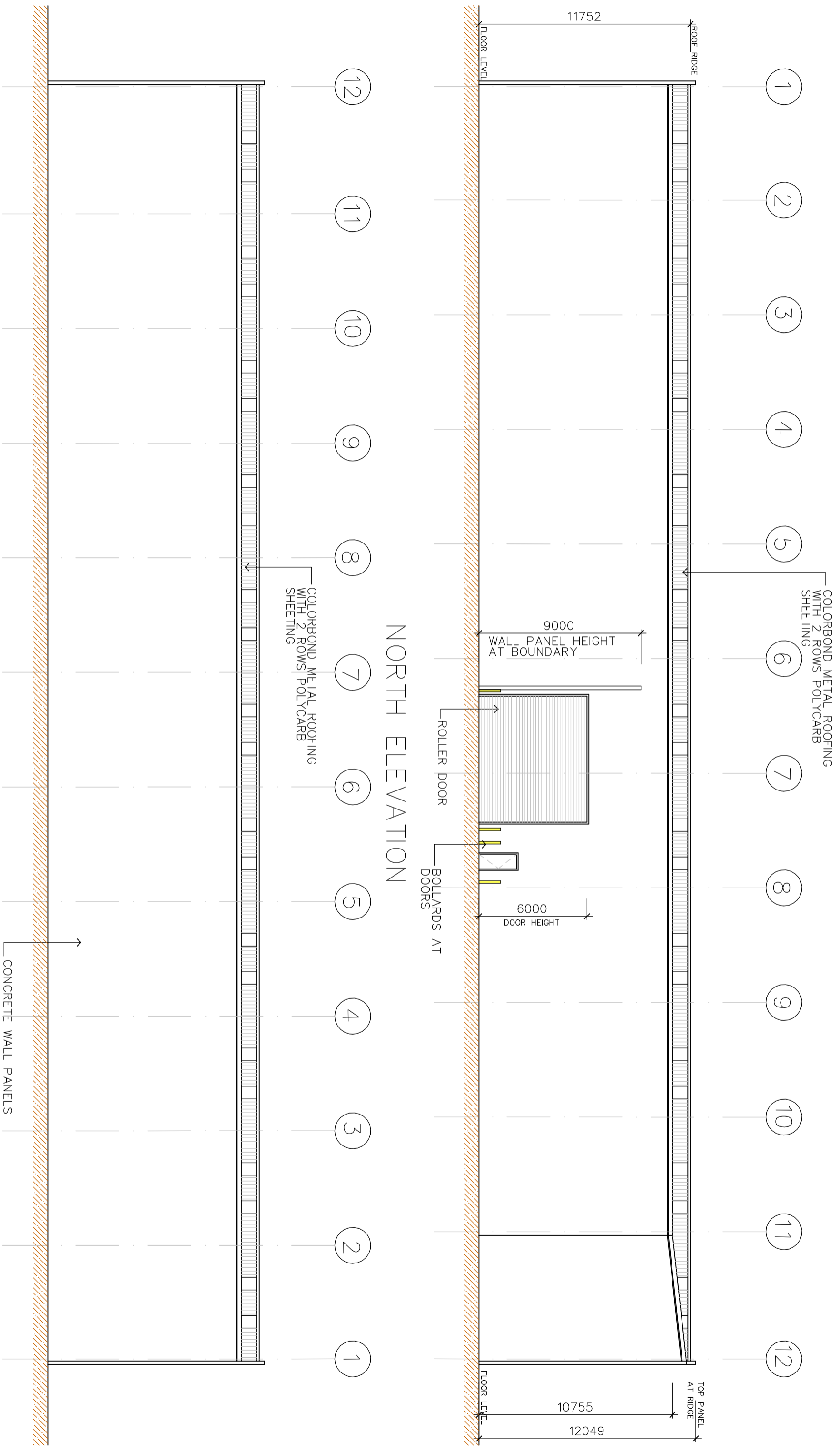


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**CLIENT:**  
 GRUNDY'S WASTE SERVICES

**PROJECT:**  
 PROPOSED MATERIAL RECOVERY FACILITY  
 PROPOSED MEDICAL WASTE FACILITY  
 PROPOSED WASTE WATER FACILITY

| DRAWING:   |         | DATE:     | DRAWN:  |
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| MEDICAL WASTE AND WASTE WATER TREATMENT SYSTEMS FLOOR PLAN |         |           | G.R.    |
| SCALE: 1:200   |         |           |         |
| PRJ. NO.: [W]EPE-081623                                    | JOB 305 | SHEET A07 | ISSUE A |



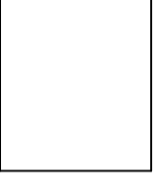
CONCEPT

SOUTH ELEVATION  
SCALE 1:100

NORTH ELEVATION

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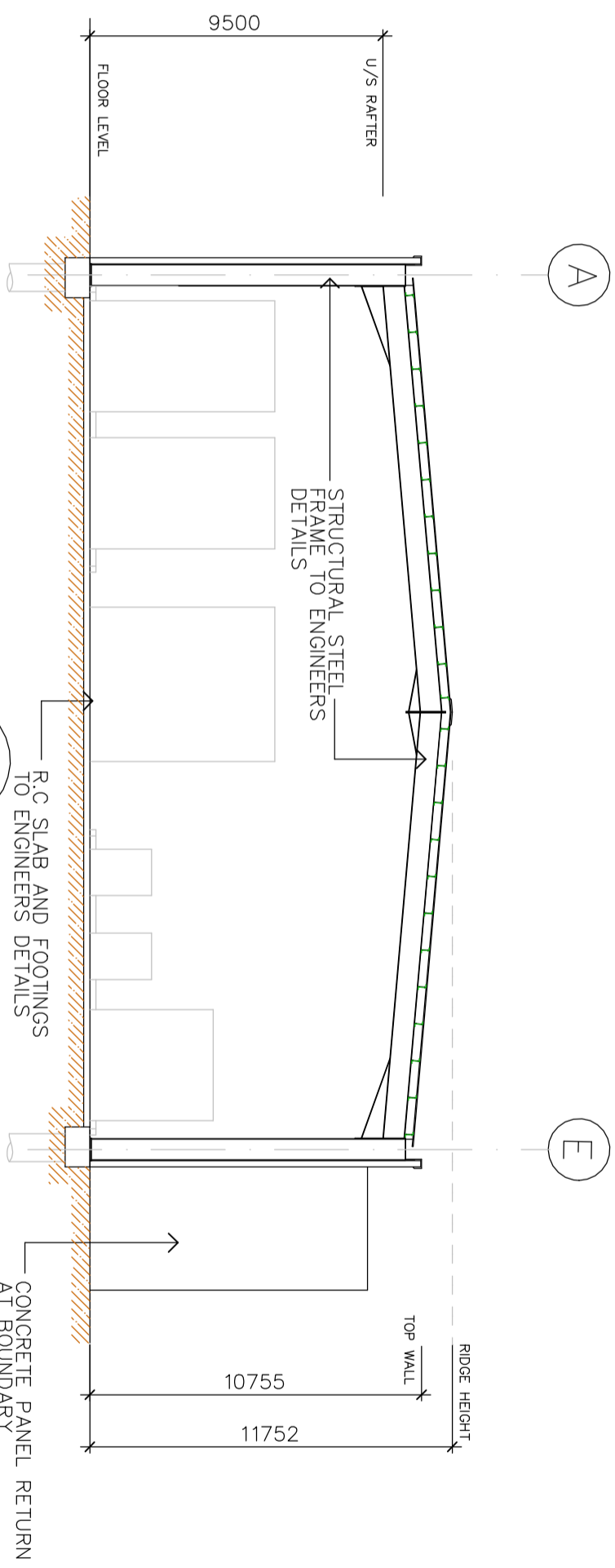
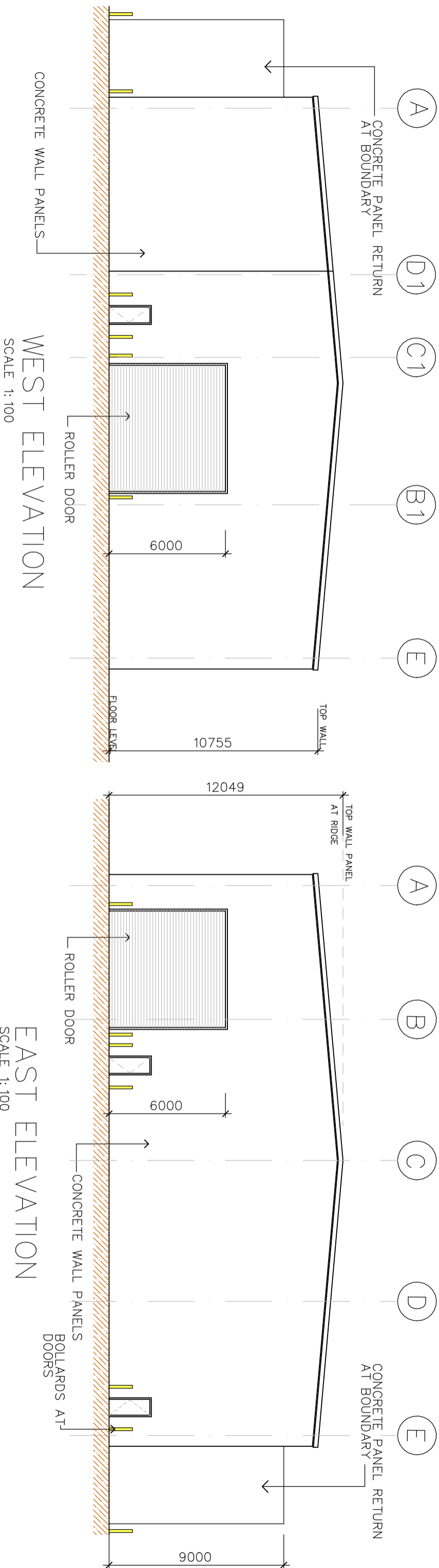
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 E-MAIL: carlo@carloranieri.com.au

CLIENT:  
 GRUNDYS WASTE SERVICES

PROJECT:  
 PROPOSED MATERIAL RECOVERY FACILITY  
 PROPOSED MEDICAL WASTE FACILITY  
 PROPOSED WASTE WATER FACILITY

DRAWING:  
 MEDICAL AND WASTE WATER  
 BUILDING ELEVATIONS

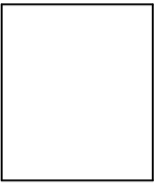
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| SCALE: 1:1000          | DATE:    | DRAWN: G.R. |
| PRJ. NO.: GWEPF-081623 | JOB: 305 | SHEET: A08  |
|                        |          | ISSUE: A    |



CONCEPT

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CLIENT:  
 GRUNDY'S WASTE SERVICES

PROJECT:  
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 PROPOSED MEDICAL WASTE FACILITY  
 PROPOSED WASTE WATER FACILITY

DRAWING:  
 MEDICAL AND WASTE WATER  
 BUILDING ELEVATIONS

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| SCALE: 1:1000          | DATE:    | DRAWN: G.R. |
| PRJ. NO.: CMEPE-081623 | JOB: 305 | SHEET: A09  |
|                        |          | ISSUE: A    |