

WAGGA WAGGA BASE HOSPITAL PHASE 1

SECTION 75W MODIFICATION REQUEST REPORT

27 August 2012



Prepared by LFA (Pacific) Pty Ltd for:



Health
Infrastructure



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In Conjunction with

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1 INTRODUCTION

On 15 May 2012, the Minister issued Project Approval to NSW Health for the Wagga Wagga Base Hospital Redevelopment – Phase 1 (MP11_0087) under Section 75J in Part 3A of the Environmental Planning and Assessment Act (EP&A Act).

Despite the repeal of Part 3A in April 2011, the proponent may request the Minister to modify the Minister's approval for a project carried out under Part 3A under Schedule 6A of the EP&A Act.

Schedule 6A provides that section 75W continues to apply for the purpose of the modification of a project applications and concept plan approved before or after the repeal of Part 3A of the Act. Under section 75W, Clause (1) states:

... **Modification of approval** means changing the terms of a Minister's approval, including:

- (a) revoking or varying a condition of the approval or imposing an additional condition of the approval, and
- (b) changing the terms of any determination made by the Minister under Division 3 in connection with the approval.

This report constitutes an application made pursuant to Schedule 6A of the Environmental Planning and Assessment Act (EP&A Act) seeking modification of the approval issued to NSW Health by the Minister for Planning on 15 May 2012 in respect of Major Project Application MP11_0087 – Wagga Wagga Base Hospital Redevelopment.

1.1 BACKGROUND

In January 2011, the Minister determined that the Wagga Wagga Base Hospital Redevelopment – Phase 1 (WWBHR Phase 1) was a project to which Part 3A of the EP&A Act applied. On 23 June 2011 the Department of Planning and Infrastructure (the Department) issued the Director General's Requirements (DGRs) and in September 2011 the Project Application and Environmental Assessment were lodged. In November 2011, following a request from the Department, additional information was submitted. On 15 May 2012, the Minister approved the project, granting consent to the following:

- A new three storey hospital building accommodating the mental health facility;
- Revised landscaped areas and soft landscaping;
- Provision of 14 additional car parking spaces (including 2 disabled);
- New pedestrian routes and pedestrian entry; and
- Associated utility services, and the like.

Refer to Figure 1.

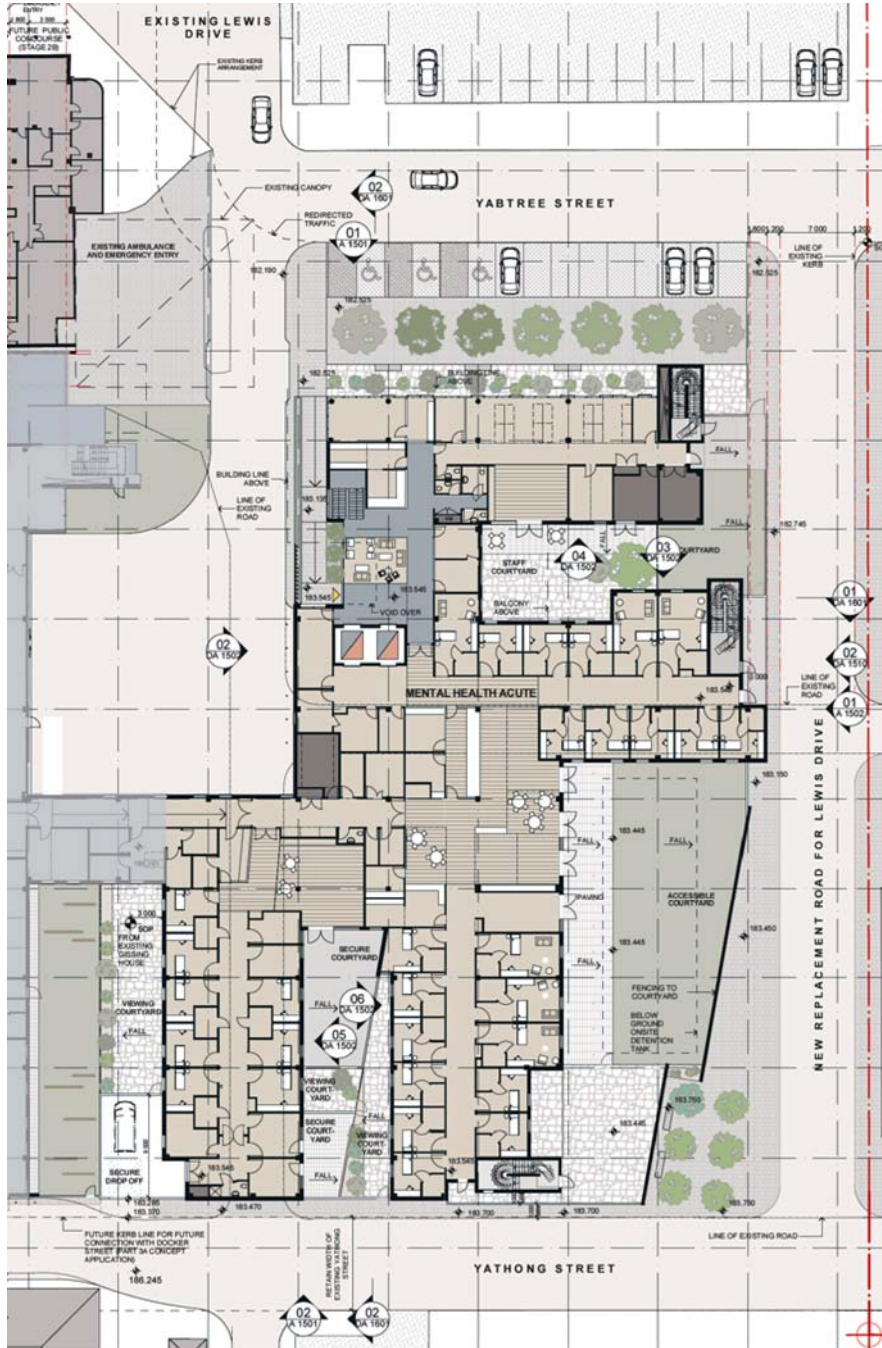


Figure 1: Approved Mental Health Facility (Source: Rice Daubney)

This modification request seeks approval to amend the proposed Mental Health Facility and associated landscape, stormwater and services infrastructure elements.



1.2 NEED FOR MODIFICATION REQUEST

The modification of the approved Mental Health Facility stems from the following:

- The need to accommodate additional functional areas to provide an operational facility that is compliant with the Health Facilities Guidelines (HFG), the Building Code of Australia (BCA) and acknowledges the modified functional brief;
- The desire for a building that has greater contextual reference in terms of materials and massing composition;
- Rationalisation of the plant requirements aligning with a precinct wide strategy; and
- The need to rectify building siting following further detailed survey which identified an anomaly with the southern interface of the approved building and the property boundary to the Yathong Street road easement.

An assessment of environmental impacts is provided in Section 3 of this report to demonstrate that the proposed changes will not have an adverse impact on the environment.

Landowners consent has been granted for the modification of the project approval and is included in Appendix G.

1.3 COUNCIL CONSULTATION

NSW Health has consulted with Wagga Wagga City Council (WWCC) with regard to the proposed changes to the approved development. WWCC has indicated its support for the proposed changes to the development proposal, and is provided in Appendix A.

2 CHANGES TO THE PROPOSED DEVELOPMENT

2.1 APPROVED DEVELOPMENT

The proposed modification relates to the approved development listed in *Schedule 2, Terms of Approval, A1. Development Description*, specifically:

- *A new three storey hospital building accommodating the mental health facility; and*
- *Revised landscape areas and soft landscaping.*

The approved hospital building provides for approximately 4,763m² GFA of new accommodation for acute and non-acute mental health services. The building volume is arranged in a series of wings that emanate from a central core and which overlook landscaped courtyards. It has a maximum three storey limit, comprising two storeys of inpatient accommodation and a third storey of plant with a total building height of RL 197.930. The third storey plant room is substantially set back from the lower levels to minimise overshadowing impact. The roofscape comprises a series of pitched roofs at differing angles that incorporate clerestorey glazing to allow daylight access.

The approved building required the reconfiguration of Lewis Drive and consequently the redirection of traffic flow on both Lewis Drive and Yabtree Street, which has been approved under a separate application under State Environmental Planning Policy (Infrastructure) 2007 (ISEPP).

The existing approved documentation is provided in Appendix B.



Figure 2: 3D Visualisation of approved Mental Health Building entry (Source: Rice Daubney)

2.2 CHANGES TO PROPOSED DEVELOPMENT

NSW Health seeks to modify the architectural design of the approved Mental Health Facility as well associated landscape, stormwater and services infrastructure elements. There are no changes proposed to the approved parking provision and layout, pedestrian routes or pedestrian entry. Section 1.2 provided the reasons for the need to modify the approved development.

Revised architectural drawings are provided in Appendix C and a Design Statement is provided in Appendix D.

The changes to the approved development include:

- Minor variations to the building footprint and siting;
- Variation in roof form and heights;
- Changes to colour and material palette;
- Landscape design; and
- Stormwater management.

The proposed modifications have resulted in an increase in total GFA, from the approved 4,763m² to 5,163m², and an increase in capital investment value in the order of \$1.8m as a result of additional construction costs.



Figure 3: 3D Visualisation of the modified building design. (Source: Woods Bagot)

2.2.1 Building siting and footprint

Further survey information highlighted an anomaly in the southern alignment of the approved building, indicating that the approved building encroached on the Yathong Street road easement. Accordingly, the entire building footprint has been shifted 900mm northward to align with the boundary. The location of the parking area along Yabtree Street has not been altered.

The general structure of the approved building design has been maintained, however the internal configuration has been modified to accommodate additional functional requirements in accordance with Health Facilities Guidelines, BCA and a modified functional brief. This has resulted in minor variations to the building footprint (as shown in Figure 4), including:

- Additional 54m² floorspace to the Western Wing (on the northern side).
- The fire stair in the north-eastern corner of the building has been rotated and contains additional risers, in response to the adjustment of street levels to allow for overland flow and to ensure accordance with BCA.
- Addition of a single storey gym and activity room (approximately 42.5m²) in the eastern courtyard.

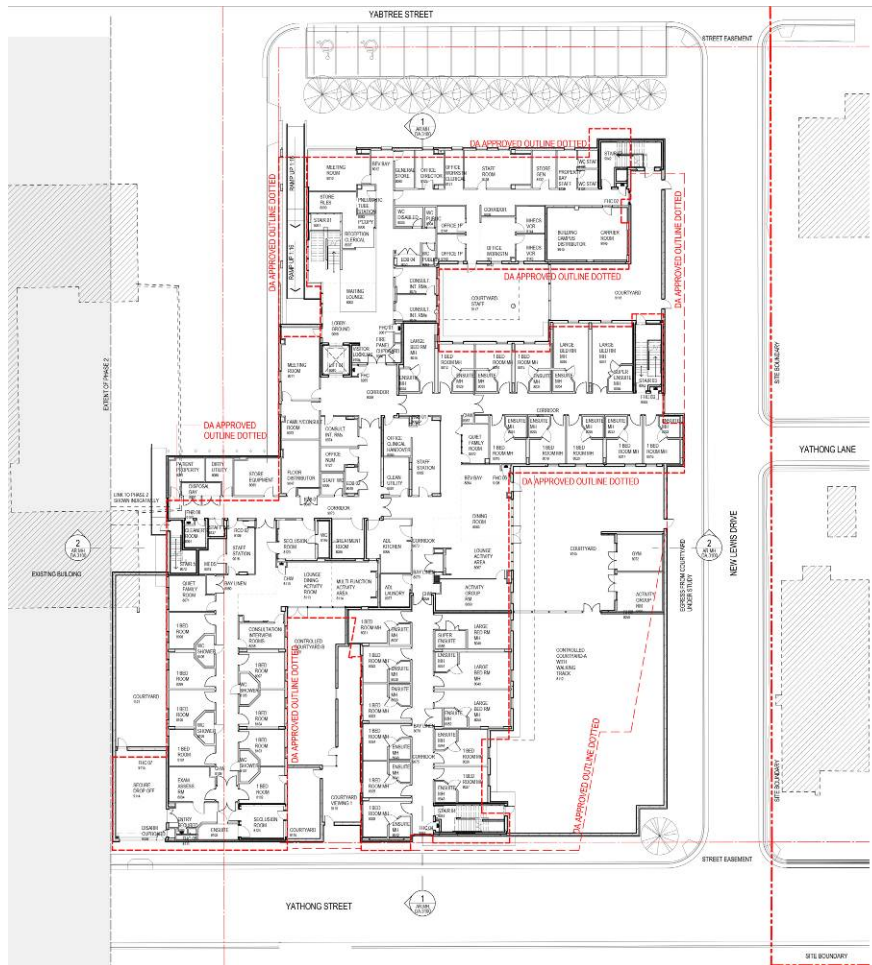


Figure 4: Modified Ground Floor Plan overlaid with approved building footprint (Source: Woods Bagot)

2.2.2 Building Height and Roof Form

The approved development is for a three storey building with a maximum building height of RL 197.930 with pitched roof forms.

The modified building design has a building height of RL 197.900 with a combined skillion roof extending from the second to third storey.

The skillion roof form was chosen in response to the need to house temporary plant equipment (as the Central Energy Plant will not be available at the completion of the Mental Health facility), and reflected a simpler response than amending the approved roof form to accommodate the revised plant arrangement. As a consequence, the second storey rooftop height on the northern façade has increased by 3.2m.

The roof height of the western wing has increased by 3m, due to the addition of a partial level. The approved building indicated a future expansion zone atop Level 1 of the western wing in the order of 420m². The modified building design includes approximately 208m² of the approved expansion zone for offices and staff facilities.

The roof height of the eastern wing has increased by 2.7m, and is consistent with the roof height of the western wing.

The change in rooftop heights and massing is indicated Appendix B and in the following figures.

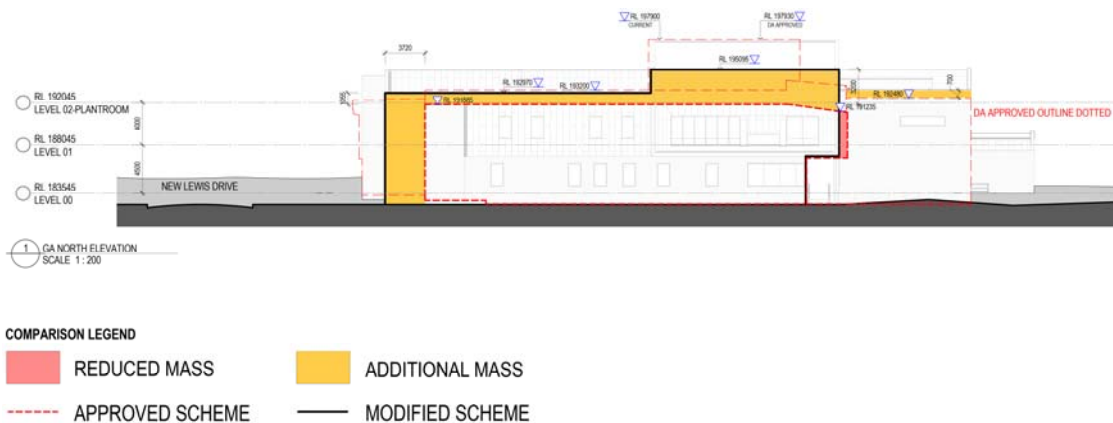


Figure 5: North Elevation comparison drawing (Source: Woods Bagot)

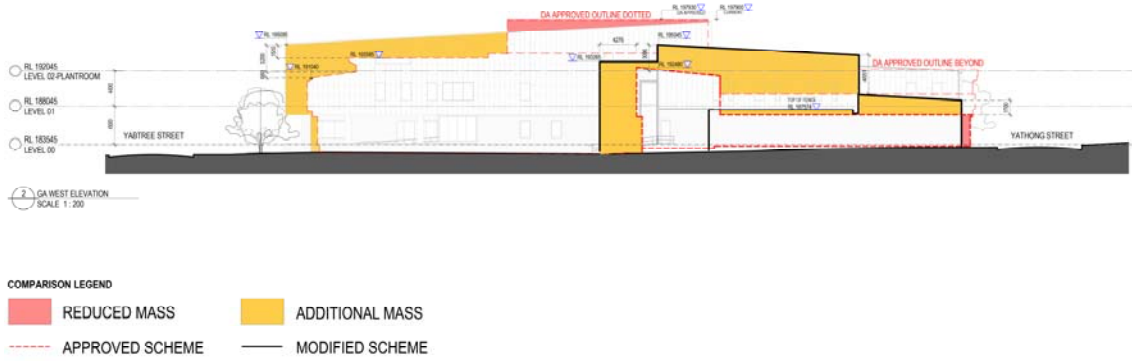


Figure 6: West Elevation comparison drawing (Source: Woods Bagot)



Figure 7: East Elevation comparison drawing (Source: Woods Bagot)

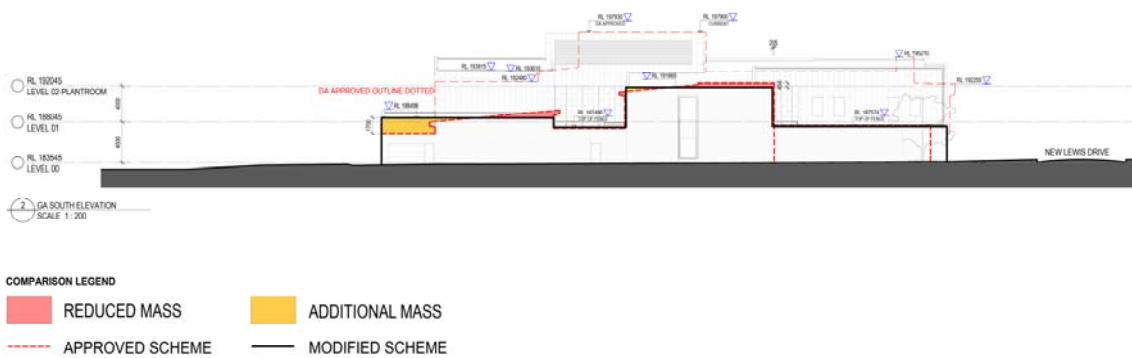


Figure 8: South Elevation comparison drawing (Source: Woods Bagot)

2.2.3 Changes to Colour and Materials Palette

A palette of brick, cladding and perforated metal screening was adopted for the approved building design to reflect the materials exhibited within the local context. It featured red brick for the first storey and white cladding on the second storey, with grey cladding for gable ends to give the appearance of floating roofs. The upper level plant was to be enveloped in grey cladding with louvres.

The modified building design utilises a palette of face brickwork and panelling in response to the rural and immediate built form context. Colours have been drawn from images of the Australian rural landscape, specifically rusty red from corrugated rural sheds and the green and grey tones from the bark of gum trees. Refer to Figure 9 below.

The northern façade utilises a predominantly red palette which is to relate to the surrounding face brick residential dwellings. The internal façades utilise a cool palette of greens and greys adhering to the premise of a calming and soothing environment.

The most notable change is in the eastern façade, which is predominantly face brick work including the courtyard fencing.



Figure 9: Contextual references for colour and material palette (Source: Woods Bagot)

2.2.4 Landscape Design

The approved landscape masterplan features an entry garden, a series of internal courtyards and public domain works around the periphery of the facility. The approved masterplan is shown in Figure 10 below.

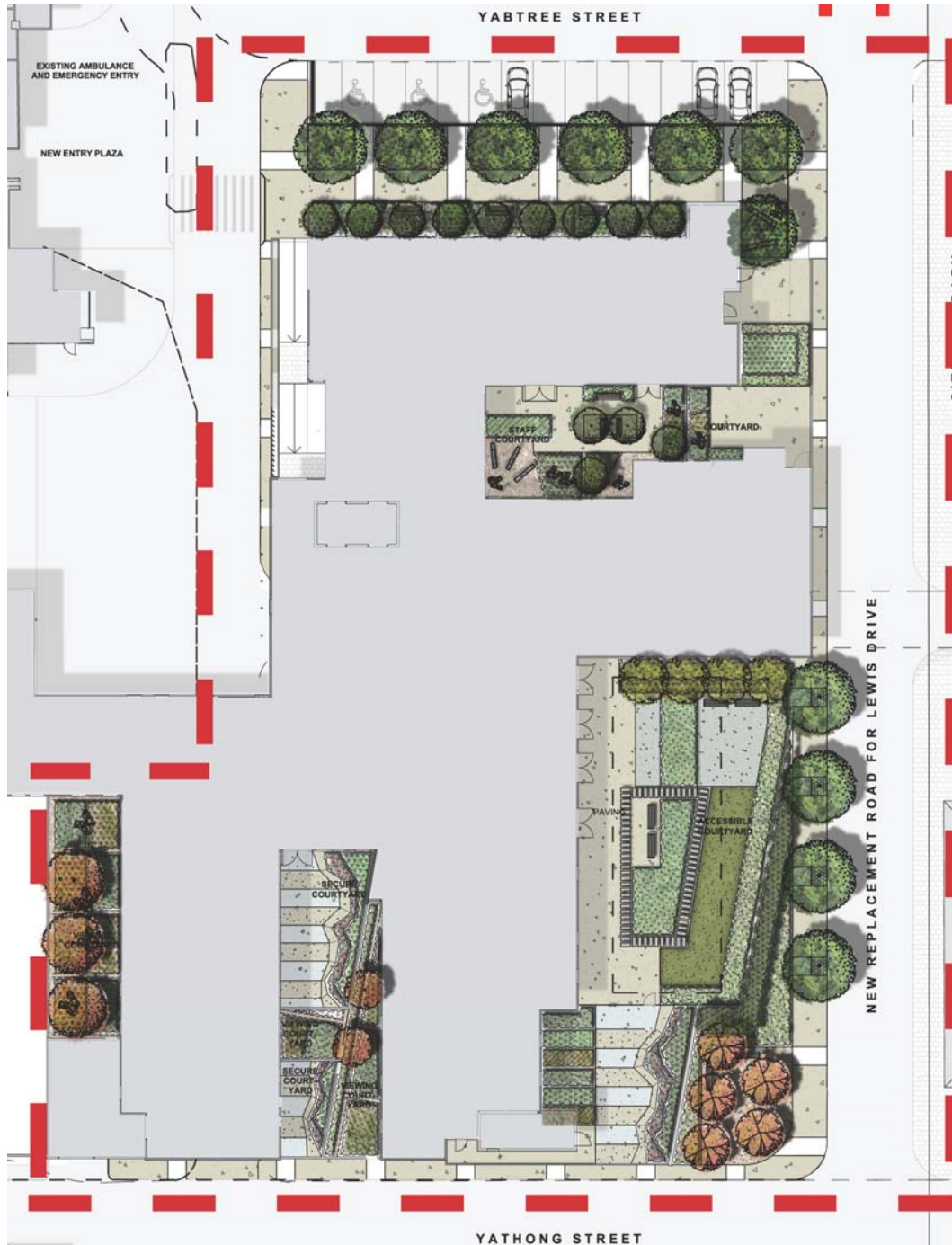


Figure 10: Approved Landscape Masterplan (Source: Site Image)

The modified Landscape Masterplan is shown in Figure 12 and provided in Appendix E. Key changes to the Landscape Masterplan include:

- Minor reduction in the extent of public domain landscaping at the entry of the building, as a result of the modified building siting. The avenue of trees in the approved landscape masterplan has been reduced to a single, denser row of trees along the row of car parking;
- The size of the south-eastern courtyard has been maximised by removing the splay at the south-eastern corner and extending the courtyard walls to the building alignment;
- Changes to landscaping details (such as paving design, furniture details, etc.) in response to the modified built form design, colours and materials;
- Inclusion of a lighting strategy; and
- Simplified plant list, incorporating both native and exotic species.

Figure 11 below provides an indication of the landscape treatment of an internal courtyard in the modified building.



Figure 11: Internal courtyard (Source: Woods Bagot)

2.2.5 Stormwater Management

The revised Stormwater Report is contained in Appendix F and is summarised below.

The approved stormwater strategy looked to split the flows created by the upstream catchment at the new intersection with Yathong Street and the new Council road. As shown in Figure 13, 0.71Ha of the total 3.33ha catchment was to be redirected west at the intersection between the existing Lewis Drive and Yathong Street and then be conveyed as overland flow through the hospital development towards Docker Street. The remaining 2.62ha catchment was to be directed north down the new Council road towards Yabtree Street. This would involve the implementation of an in ground stormwater drainage system below New Lewis Drive to convey the 10 year design storm flows underground through the existing car park to the north of Yabtree Street and connect to Council's in ground infrastructure below Edward Street. Flows in excess of the capacity of the in ground system would flow as overland flow north down the New Lewis Drive and through the existing car park, over the existing Edward Street footpath and onto Edward Street.

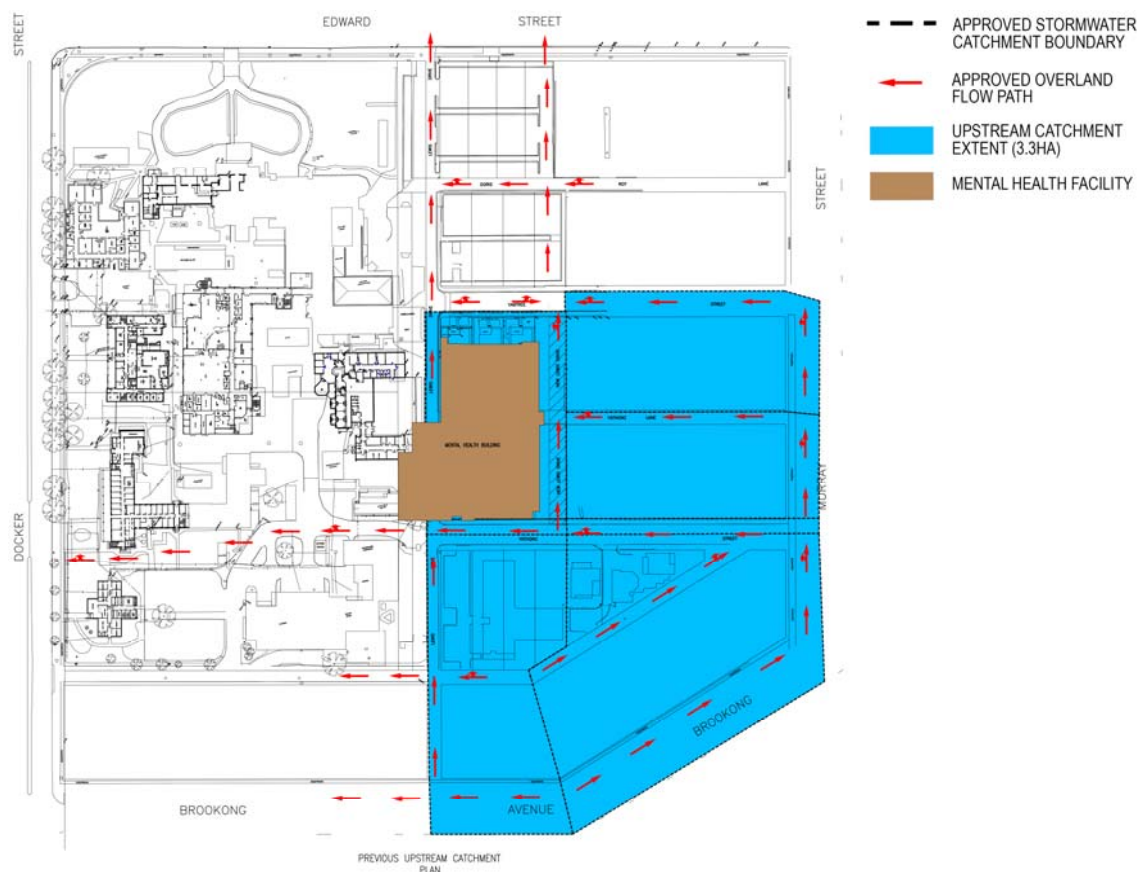


Figure 13: Approved stormwater plan

The modified infrastructure design follows a similar philosophy to the approved design but looks to retain the overland flows within Council's road reserves. The overland flow will not be split as it was previously, but rather it will be directed towards the intersection between Yathong Street and New Lewis Drive where it will be conveyed north towards Yabtree Street.

The proposed design involves regrading Lewis Drive, Yathong Street and Yabtree Street and similar to the approved scheme, a 10 year in ground drainage system would be installed below New Lewis Drive.

Unlike the approved scheme, the overland flow will not be discharged across the existing car park to the north of Yabtree Street but instead will be directed west along Yabtree Street where it will connect to Lewis Drive and discharge, as it currently does, north along Lewis Drive to Edward Street.

Refer to Figure 14.

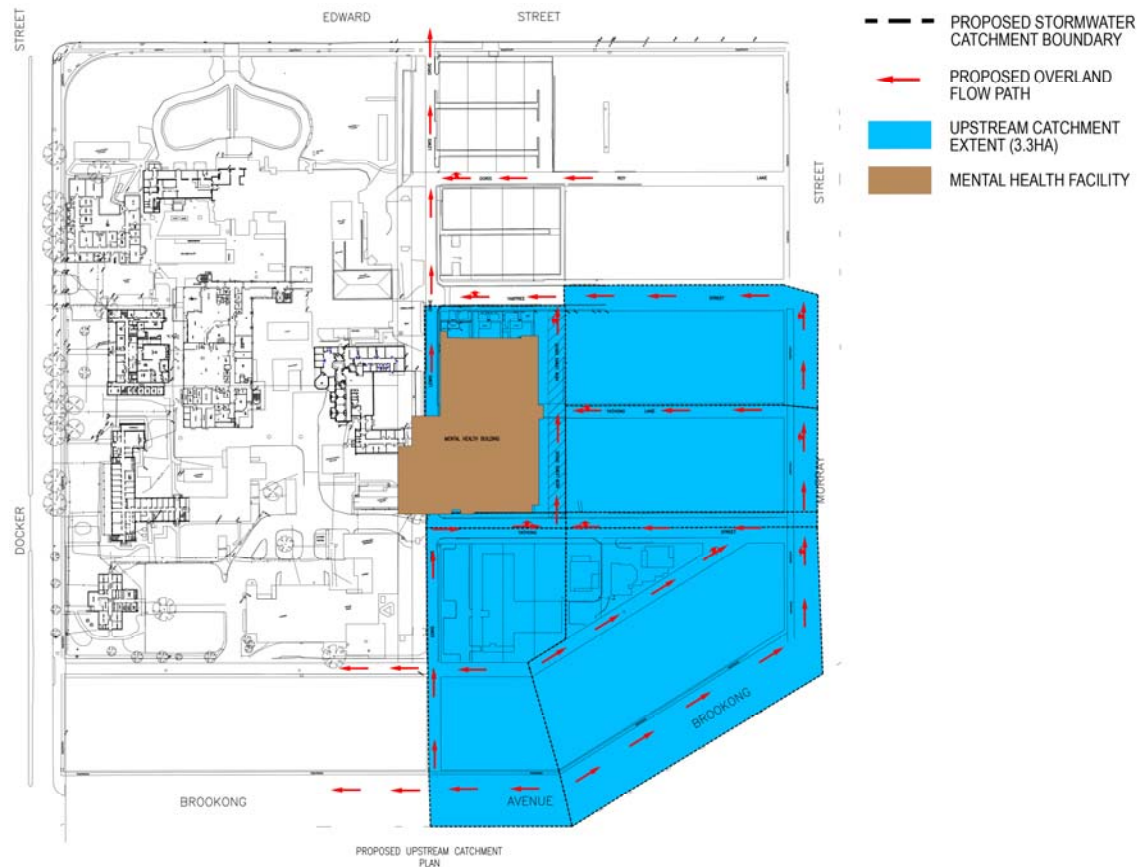


Figure 14: Proposed stormwater plan

3 ASSESSMENT OF ENVIRONMENTAL IMPACTS

3.1 BUILT FORM

3.1.1 Height, Bulk and Scale

The elevation drawings contained in Appendix A illustrate the quantum of change to the height, bulk and scale of the building.

The height of the modified building is consistent with the approved building height. However, as a consequence of the change in roof form and the addition of a partial level on the western wing, additional height has been added to the second storey, effectively creating additional bulk on the northern and western sectors of the building and to a lesser extent on the eastern sector.

The majority of additional bulk is located in the northern and western sectors of the building, which interface with surface car parking and future hospital uses (which are likely to be accommodated in a future 8 storey building complex) respectively. Given the openness of the hospital site to the north and the foreshadowed scale of future development to the west, there will be no additional impacts on the surrounding areas to the north and west.

The additional height, bulk and scale in the eastern sector of the building is generally limited to the central portion of the façade faces onto New Lewis Drive and Yathong Lane. Although the adjacent residential buildings face either Yabtree or Yathong Street, there will be minimal additional overshadowing impact on such properties. Refer to Section 3.2.1.

3.1.2 Setbacks and Building Articulation

The modified building has zero setback from the Yathong Street, consistent with the approved building (despite the minor boundary anomaly).

The articulation of the modified building is generally consistent with the approved building in terms of building footprint. The articulation of the building elevation varies from the approved design, given the change in roof form, colours and materials, but respects the surrounding context.

It is noted that the extent of solid fencing surrounding the building defines the interface between the Mental Health Facility and the wider hospital / public domain, given the required 4m height for patient safety and security. The expansion of the south-eastern courtyard and associated fence / wall follows the general building alignment and more clearly defines New Lewis Drive, providing a simpler interface to Yathong Street and New Lewis Drive than the approved design.

3.1.3 Colours, Materials and Finishes

While the colours and materials palette of the modified architectural design departs from that of the approved building façade, they are consistent with the surrounding built form.

As shown in Drawing AR.MH.DA.9001, the choice of colours and materials respects the surrounding built fabric whilst defining the facility as a new built form element in the locality.

3.2 AMENITY

3.2.1 Overshadowing

Shadow diagrams demonstrating the impact of the modified building design versus the approved design during summer solstice (December 21), winter solstice (June 21) and equinox (March 21) are shown in Figures 15, 16 and 17 and in Appendix B.

The diagrams indicate minor additional overshadowing over roadways and internal courtyards during equinox and summer solstice. During winter solstice there will also be some additional overshadowing impact on the adjacent residential properties to the east, particularly at 3pm. Refer to Figure 17 / Drawing AR.MH.DA.9002, which illustrates the quantum of change in overshadowing impact from the approved facility. As shown in the drawings, the most affected property will be No. 7 Yathong Street in both the approved and modified building overshadowing scenarios. However, No. 7 Yathong Street is currently occupied by hospital uses, being the Nursing Services Building.

Therefore, the additional overshadowing caused by the modified design will not impact on any existing habitable rooms of neighbouring properties and accordingly will not adversely impact residential amenity.

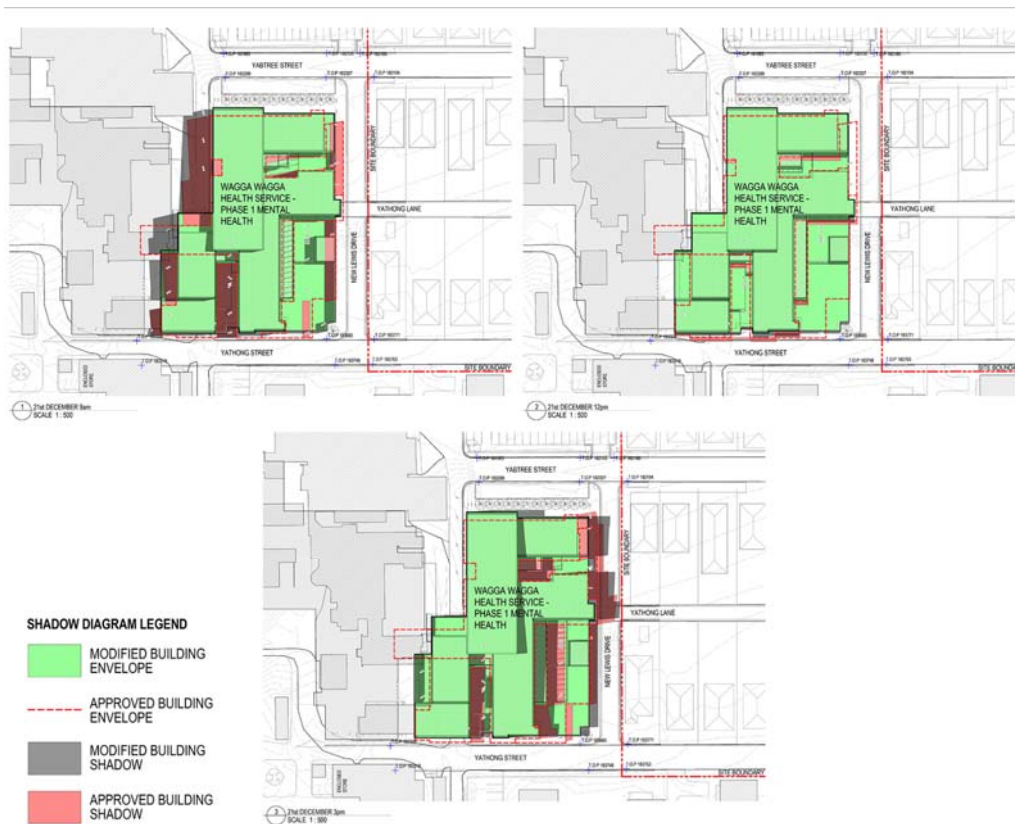


Figure 15: Shadow impact during summer solstice (December 21) (Source: Woods Bagot)

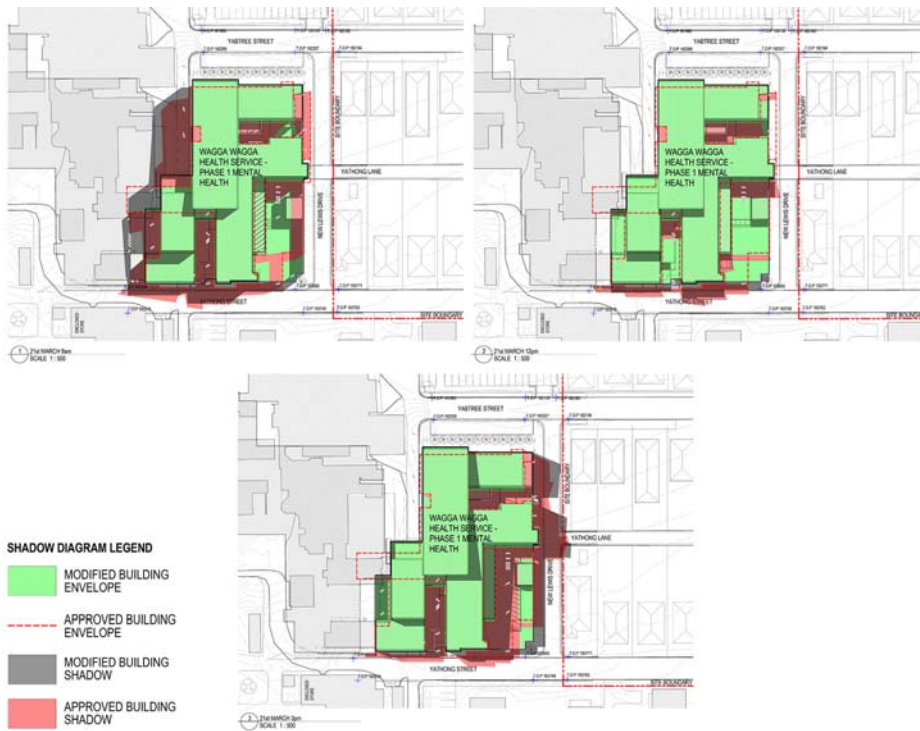


Figure 16: Shadow impact during equinox (March 21) (Source: Woods Bagot)

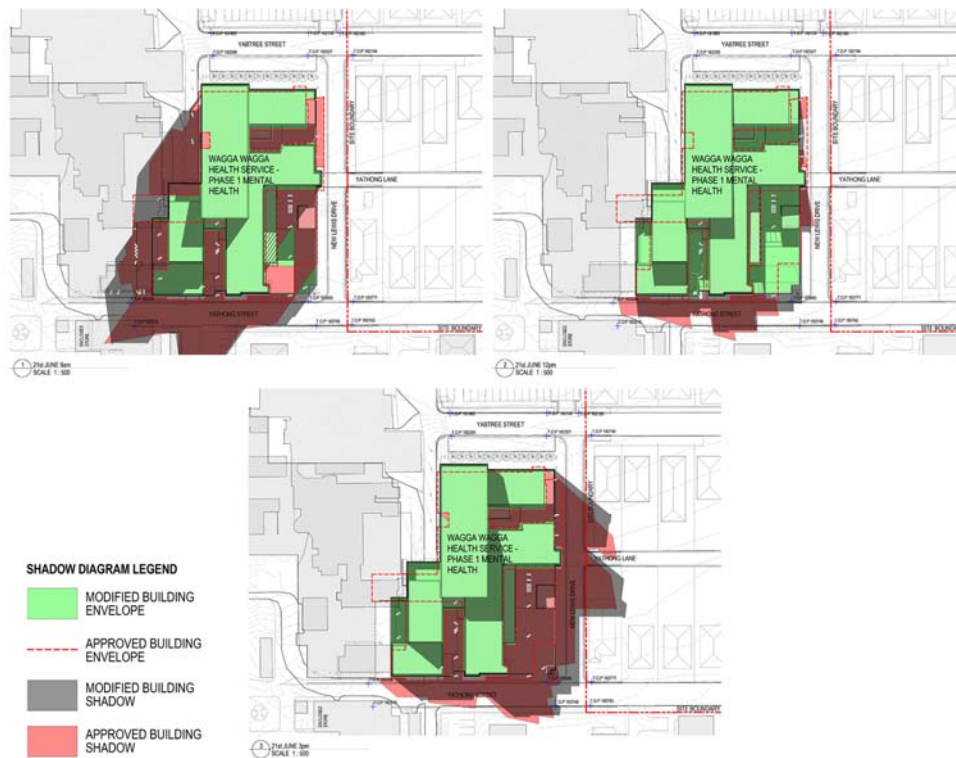


Figure 17: Shadow impact during winter solstice (June 21) (Source: Woods Bagot)

3.2.2 Visual Impact

The approved building design was demonstrated to have a minor visual impact on sightlines to and from surrounding buildings by virtue of its height, scale and colours and materials palette.

The most important views and sightlines to be assessed for the modified building are from Yabtree Street looking west toward New Lewis Drive, given that it will be the main access route to the Main Hospital entry from the east. Accordingly, Figures 13 and 14 demonstrate the visual impact of the modified building as seen from Yabtree Street.

As shown in Figure 18, the Yabtree Street streetscape is dominated by the existing Hospital Building at Lewis Drive, which in part mitigates any visual impact created by the modified building. Notwithstanding, the modified building represents a minor increase in building height at the end of the street and the overhanging entry defines the street edge in a manner that does not adversely interrupt the roofline established by the dwellings on the southern side of Yabtree Street.



Figure 18: View to the west on Yabtree Street (Source: Woods Bagot)

While the colours and materials adopted for the modified building vary from the approved scheme (refer to Figure 19), the palette is consistent with the existing streetscape.



Figure 19: View looking towards the entry of the Mental Health Facility from northern side of Yabtree Street (Source: Woods Bagot)

Given that the modifications to the western and southern sectors of the Mental Health facility interface with hospital uses, and that there are no properties fronting onto the eastern sector of the facility, there will be no adverse visual impact on the surrounding areas to the south, east and west of the facility stemming from the proposed modification.

Accordingly, the modified building will not adversely impact the visual character of the locality.

3.2.3 Privacy

The internal layout and fenestration of the building has been designed to maximise outlook over the various courtyard spaces associated with the facility. The extent of secure fencing and minimal window openings along the eastern edge of the proposed development will serve to ensure the visual and acoustic privacy of patients, staff and neighbouring residents.

Accordingly, there are no additional visual or acoustic privacy impacts associated with the modified building design.

3.3 PUBLIC DOMAIN AND LANDSCAPE

As described in Section 2.2.4, the Landscape Masterplan for the Mental Health Facility has been revised in response to the modified built form and functional requirements.

There will be a very minor reduction in the area of landscaping to the north along Yabtree Street, stemming from the modified building siting together with the overhang of the northern façade (which precludes planting directly along the northern façade as per the approved scheme). Given that the northern face of the development addresses hospital uses (existing car parking), changes proposed to the landscaping in this area will not have any additional or adverse impact on the public domain. It is noted however, that the proposed single tree row along the car parking area is consistent with the front setback planting of adjacent residential properties on Yabtree Street, thus reinforcing to the local streetscape.

The expansion of the south-eastern courtyard has resulted in a reduction of public domain/feature planting at the corner of the Yathong Street and New Lewis Drive. However, a continuous screen of planting and paving banding has been created along the western side of the entire length of New Lewis Drive, providing for a more consistent edge treatment than in the approved design.

Accordingly, the modified Landscape Masterplan offers an improved public domain interface to the surrounding residential areas to the east compared with the approved design.

3.4 TRAFFIC AND ACCESS

The modified building design maintains the traffic and access arrangements of the approved development and therefore will not create any additional environmental impact.

3.5 STORMWATER

The approved stormwater plan, which sought to split the flows created by the upstream catchment at the new intersection with Yathong Street and New Lewis Drive, required the creation of drainage easements through the Hospital campus, which would restrict the ability to develop the site in the future and also the ability to park vehicles, resulting in a loss of car spaces in the existing car park.

The regrading works associated with the approved stormwater plan also conflicted with the proposed future development of the Hospital, as it directed large overland flows to the future ambulance bay area. Given the importance of ensuring unrestricted access for ambulances in times of emergency, this created an unacceptable constraint.

The modified stormwater plan seeks to retain the overland flows within Council's road reserves, thus removing development constraints imposed by drainage easements. Council has however indicated that a drainage easement for maintenance purposes would be required, over which vehicles will be permitted to park, and which would no longer require the removal of existing parking spaces.

The incorporation of the 10 year in ground drainage along New Lewis Drive in the modified plan will also assist in reducing the overland flows passing toward the future ambulance bay, avoiding the potential limitations on ambulance access.

The modified design represents a beneficial change to the approved design, allowing greater flexibility for the future development of the hospital campus, no loss in car parking spaces and reduction in overland flow down Yabtree Street and onto Lewis Drive.

3.6 HERITAGE

The approved building design reflected a contemporary architectural style which was found to have minimal and acceptable impact on the significance of existing buildings and a minimal and manageable impact on the nearby Conservation Area.

Given that the modified building design is generally consistent with the approved building design in terms of bulk, scale and contemporaneity, there will be no additional heritage impact.

3.7 UTILITIES AND SERVICES

As noted in Section 2.2.1, the modification of the roof form stemmed from the need to house temporary plant equipment given that the Central Energy Plant would not be completed to serve the Mental Health Facility. Notwithstanding, the implications of the modified building design will be minimal in terms of building engineering.

The following temporary building services equipment will be provided:

- Provision of pole mount substations and main switch board for temporary power supply
- Provision of external generator for temporary backup power supply
- Addition of temporary cooling tower (located on the podium slab directly to the west of the level 2 plant room).

The structural arrangement and the principles of the building services system configurations are consistent with the approved development, although redesigned to suit the new layout.

4 PROPOSED MODIFICATION TO CONSENT

Following a careful review of the Project Approval instrument issued by the Department of Planning & Infrastructure on 15 May 2012, and considering the extent of change proposed for the approved development, it is recommended that Condition A2 be amended as follows:

A2. Development in Accordance with Plans and Documentation

The development shall be carried in accordance with the following plans and documentation:

- (a) Environmental Assessment Report Wagga Wagga Base Hospital Phase 1 prepared by LFA (Pacific) Pty Ltd, dated 06 September 2011, as amended;
- (b) Preferred Project Report prepared by LFA (Pacific) Pty Ltd, dated 08 March, 2012;
- (c) Wagga Wagga Base Hospital Phase 1 Section 75W Modification Request Report, dated # August, 2012;
- (d) The following plans prepared by Woods Bagot (Project No.120059):

Architectural (or Design) Drawings			
Drawing No.	Revision	Name of Plan	Date
AR.MH.DA.1000	4	Location Plan and Site Plan	14.08.12
AR.MH.DA.2000	4	Ground Floor General Arrangement Plan	14.08.12
AR.MH.DA.2001	4	Level 1 General Arrangement Plan	14.08.12
AR.MH.DA.2002	4	Level 2 & Roof General Arrangement Plan	14.08.12
AR.MH.DA.3000	4	Site Context Elevations	14.08.12
AR.MH.DA.3010	4	GA North & South Elevations	14.08.12
AR.MH.DA.3011	4	GA East & West Elevations	14.08.12
AR.MH.DA.3100	4	General Arrangement Sections	14.08.12
AR.MH.DA.9000	4	Shadow Diagrams March	14.08.12
AR.MH.DA.9001	4	Shadow Diagrams December	14.08.12
AR.MH.DA.9002	4	Shadow Diagrams June	14.08.12
AR.MH.DA.9900	2	External Finishes Sample Board	14.08.12
AR.MH.DA.9901	1	Street View 1	14.08.12
AR.MH.DA.9902	1	Street View 2	14.08.12
Landscape Drawings			
Package No.	Revision	Title and number of pages	Date
SS09-1846	J	Landscape Package – 9 pages	8/8/2012



5 CONCLUSION

This s75W modification request report supports proposed changes to the Minister for Planning's determination of Major Project No. 11_0087 granting approval of Wagga Wagga Base Hospital Phase 1 Redevelopment.

The proposed changes mainly relate to the architectural design of the facility, as set out in the detailed drawings provided in Appendix B. The modified design will address the Health Facilities Guidelines, have the capacity to comply with BCA requirements and provide a better stormwater management outcome for the Hospital. NSW Health Infrastructure has consulted about the proposed changes with Wagga Wagga City Council, and has received Council's support for the modified development (refer to Appendix A).

The modified facility will not cause any adverse environmental impact and is generally consistent with the intent of the approved Wagga Wagga Base Hospital Phase 1 Redevelopment. Accordingly, the Minister's favourable consideration of this s75W modification is sought.