

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 1 of 4 sheet(s)

Office Use Only	Office Use Only
Registered: Title System: Purpose:	
PLAN OF SUBDIVISION OF LOT 11 DP270729.	LGA: PARRAMATTA Locality: EPPING Parish: FIELD OF MARS County: CUMBERLAND
<p style="text-align: center;">Crown Lands NSW/Western Lands Office Approval</p> I, (Authorised Officer) in approving this plan certify that all necessary approvals in regard to the allocation of the land shown herein have been given. Signature:..... Date:..... File Number:..... Office:.....	<p style="text-align: center;">Survey Certificate</p> I, WAYNE ALLEN DIVER-TUCK of JBW Surveyors Pty Ltd ACN 001 149 373 a surveyor registered under the <i>Surveying and Spatial Information Act 2002</i> , certify that: *(a) The land shown in the plan was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2012</i>, is accurate and the survey was completed on: *(b) The part of the land shown in the plan being Lot 12 and the parts of Lot 13 denoted 'C'-'D'-'E' & 'F'-'G'-'H'-'I' was surveyed in accordance with the <i>Surveying and Spatial Information Regulation 2012</i> , is accurate and the survey was completed on, 18/7/2014, the part not surveyed was compiled in accordance with that Regulation. *(c) The land shown in the plan was compiled in accordance with the <i>Surveying and Spatial Information Regulation 2012</i>, Signature Dated: 18/7/2014 Surveyor ID: 941 Datum Line: "X"-"Y" MGA Type: Urban/Rural The terrain is *Level-Undulating/*Steep-Mountainous * Strike through if inapplicable. ^Specify the land actually surveyed or specify any land shown in the plan that is not the subject of the survey.
<p style="text-align: center;">Subdivision Certificate</p> I, *Authorised Person/*General Manager/*Accredited Certifier, certify that the provisions of s.109J of the <i>Environmental Planning and Assessment Act 1979</i> have been satisfied in relation to the proposed subdivision, new road or reserve set out herein. Signature: Accreditation number: Consent Authority: Date of Endorsement: Subdivision Certificate number: File number: * Strike through if inapplicable.	
Statements of intention to dedicate public roads, public reserves and drainage reserves.	Plans used in the preparation of survey/compilation DP 1170138 DP 1170858 DP 1171095 DP 270729 DP 286422 DP 1183877 DP 1187327 If space is insufficient continue on PLAN FORM 6A
SIGNATURES, SEALS and 88B STATEMENTS should appear on PLAN FORM 6A	SURVEYOR'S REFERENCE: 124607-Epping-STG3-CPS

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 2 of 4 sheet(s)

Office Use Only	Office Use Only
Registered: PLAN OF SUBDIVISION OF LOT 11 DP270729.	Signatures and Consents, a schedule of lots and addresses and statements relating to a section 88B instrument should be provided on Plan Form 6A
Subdivision Certificate No: Date of Endorsement:	

Name of Development (Optional) "EPPING PARK"	Address for Service of Notices MERITON STRATA MANAGEMENT LEVEL 11 528 KENT STREET, SYDNEY NSW 2000
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<p style="text-align: center;">WARNING STATEMENT (Approved Form 7)</p> <p>This document shows an initial schedule of unit entitlements for the Community, Precinct or Neighbourhood Scheme which is liable to be altered, as the scheme is developed or on completion of the scheme, in accordance with the provisions of section 30 Community Land Development Act 1989.</p> <p>Any changes will be recorded in a replacement schedule.</p>	<p style="text-align: center;">VALUER'S CERTIFICATE (Approved Form 9)</p> <p>I, of being a Valuer registered under the Valuers Registration Act 1975, certify that</p> <p>*(a) The unit entitlements shown in the schedule herewith are based upon valuations made by me on ^.....</p> <p>*(b) The unit entitlements shown in the schedule herewith, for the new lots created by the subdivision, are based upon their market value on ^..... being the date of the valuer's certificate lodged with the original initial schedule or the revised schedule.</p> <p>Signature Dated:</p>
<p style="text-align: center;">UPDATE NOTE (Approved Form 8)</p> <p>This document contains *updated/*revised Schedule of Unit Entitlements and replaces the existing schedule registered on ^.....</p> <p><i>* Strike through if inapplicable</i> <i>^ Insert registration date of previous schedule</i></p>	<p><i>* Strike through if inapplicable</i> <i>^ Insert date of valuation</i></p>

SCHEDULE OF UNIT ENTITLEMENT

LOT	UNIT ENTITLEMENT	SUBDIVISION
1	COMMUNITY PROPERTY	
2	6,382	
3	SUBD. INTO LOTS 4 & 5	SEE ADDITIONAL SHEETS 6,7 & 8
4	439	
5	SUBD. INTO LOTS 6 - 9	SEE ADDITIONAL SHEETS 9-12
6	535	
7	1	
8	1	
9	SUBD. INTO LOTS 10 & 11	SEE ADDITIONAL SHEETS 13-17
10	5,077	
11	SUBD. INTO LOTS 12 & 13	SEE ADDITIONAL SHEETS 18-23
12	7,562	
13	3	

AGGREGATE 20,000

If space is insufficient use annexure sheet-Plan Form 6A

SURVEYOR'S REFERENCE: 124607-Epping-STG3-CPS

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 3 of 4 sheet(s)

Office Use Only

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Registered:

PLAN OF

SUBDIVISION OF LOT 11 DP270729.

This sheet is for the provision of the following information as required:

- A schedule of lots and addresses-See 60(c) SSI Regulation 2012
- Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919
- Signatures and seals-see 195D Conveyancing Act 1919
- Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.

Subdivision Certificate No:

Date of Endorsement:

PURSUANT TO SECTION 88B OF THE CONVEYANCING ACT (1919), AS AMENDED, IT IS INTENDED TO CREATE:-

1. EASEMENT FOR LIGHT & AIR 0.5,1.4 & 3 WIDE
2. EASEMENT FOR SERVICES (ENTIRE LOT)
3. EASEMENT FOR PEDESTRIAN ACCESS (ENTIRE LOT)
4. EASEMENT FOR VEHICULAR ACCESS (ENTIRE LOT)

LOT	STREET No.	STREET NAME	STREET TYPE	LOCALITY
12	5-11 & 16-20	EPPING PARK	DRIVE	EPPING
13	N/A	N/A	N/A	EPPING

If space is insufficient use additional annexure sheet

SURVEYOR'S REFERENCE: 124607-Epping-STG3-CPS

\\Epping-STG3-CPS

DEPOSITED PLAN ADMINISTRATION SHEET

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PLAN OF

SUBDIVISION OF LOT 11 DP270729.

This sheet is for the provision of the following information as required:

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Subdivision Certificate No:

Date of Endorsement:

If space is insufficient use additional annexure sheet

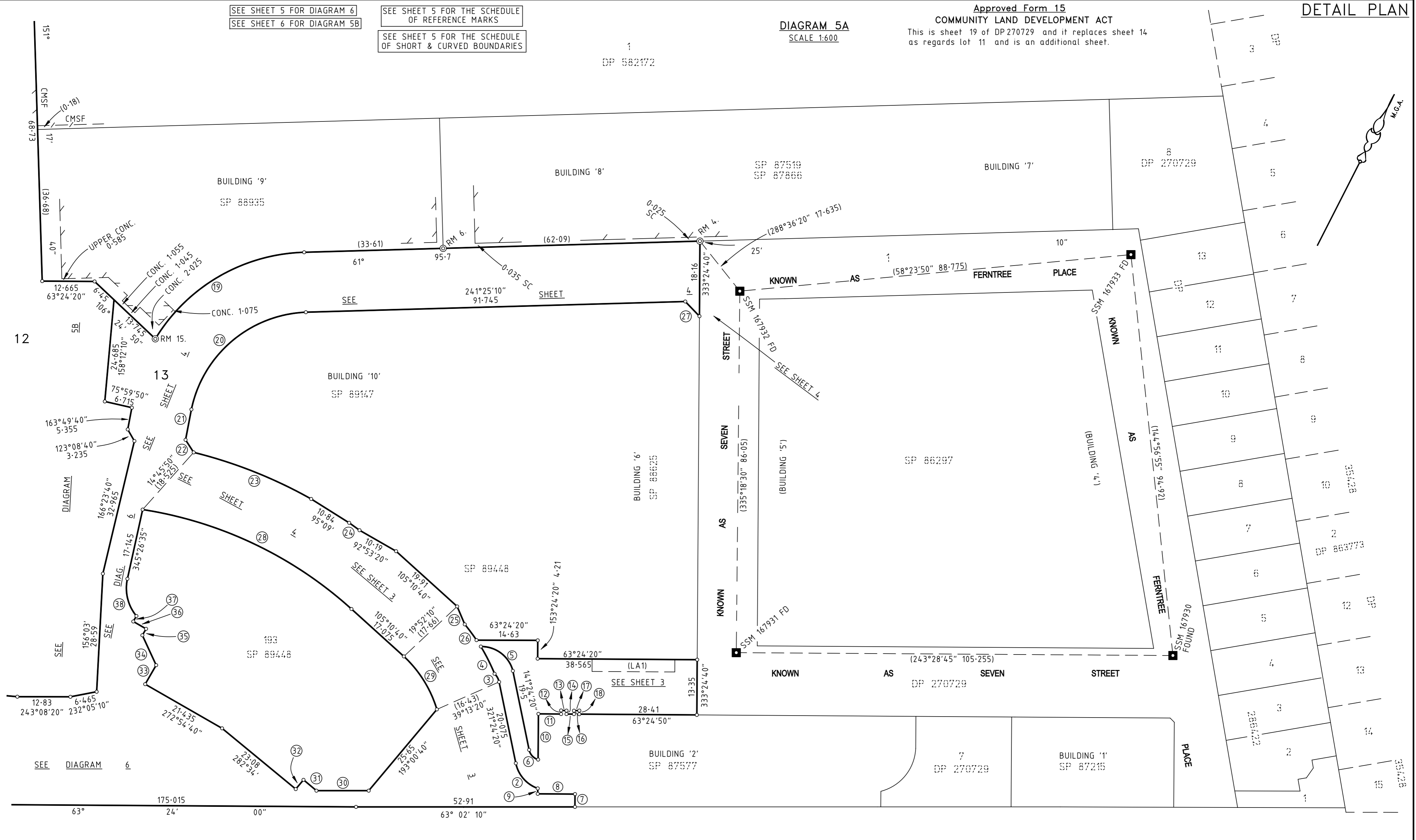
SEE SHEET 5 FOR DIAGRAM 6
SEE SHEET 6 FOR DIAGRAM 5B

SEE SHEET 5 FOR THE SCHEDULE
OF REFERENCE MARKS
SEE SHEET 5 FOR THE SCHEDULE
OF SHORT & CURVED BOUNDARIES

DIAGRAM 5A
SCALE 1:600

Approved Form 15
COMMUNITY LAND DEVELOPMENT ACT
This is sheet 19 of DP270729 and it replaces sheet 14
as regards lot 11 and is an additional sheet.

DETAIL PLAN



CMSF DENOTES CHAIN MESH SECURITY FENCE
SC DENOTES STONE CLADDING

(LA1) EASEMENT FOR LIGHT & AIR 3 WIDE (DP270729)

Surveyor: Wayne Allen Diver-Tuck
Date of Survey: 18/7/2014
Surveyor's Ref: 124607-Epping-STG3-CPS

PLAN OF
SUBDIVISION OF LOT 11 DP270729.

LGA: PARRAMATTA
Locality: EPPING
Subdivision No:

Registered

ADDITIONAL SHEET 19
DP

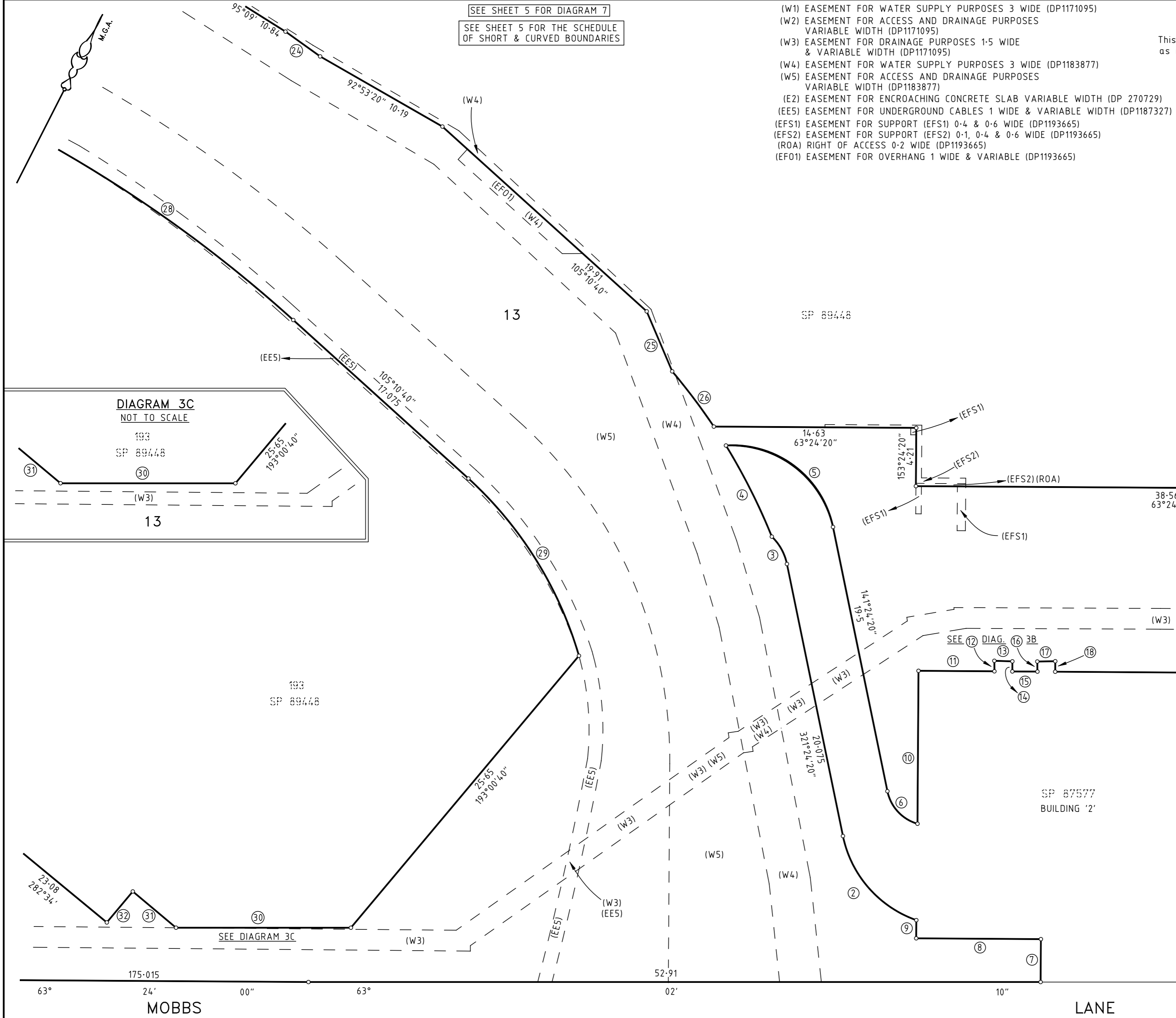
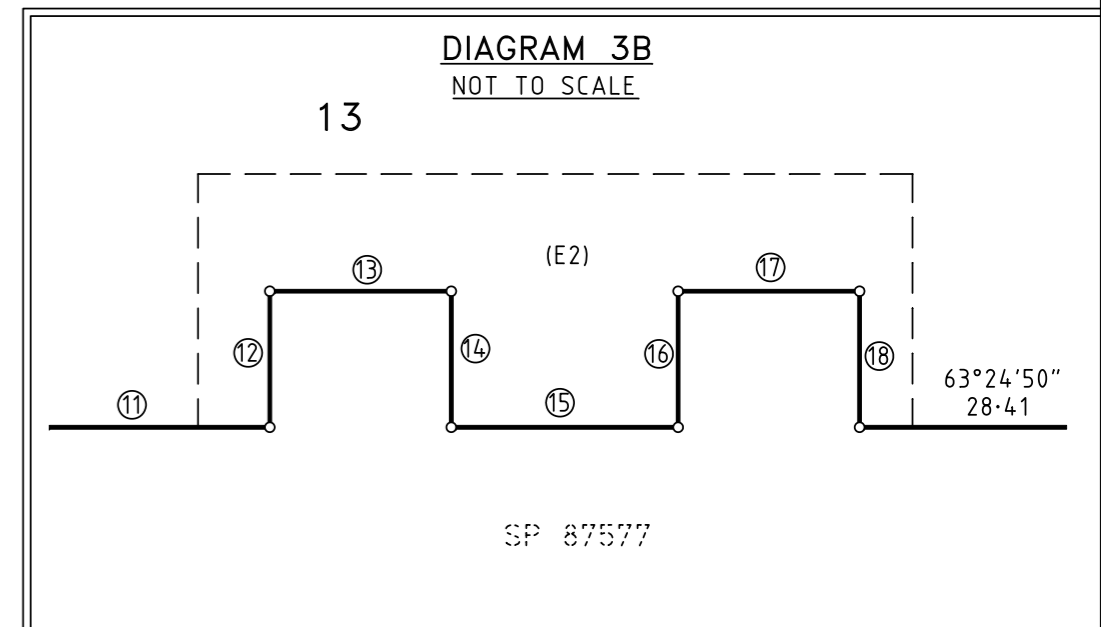
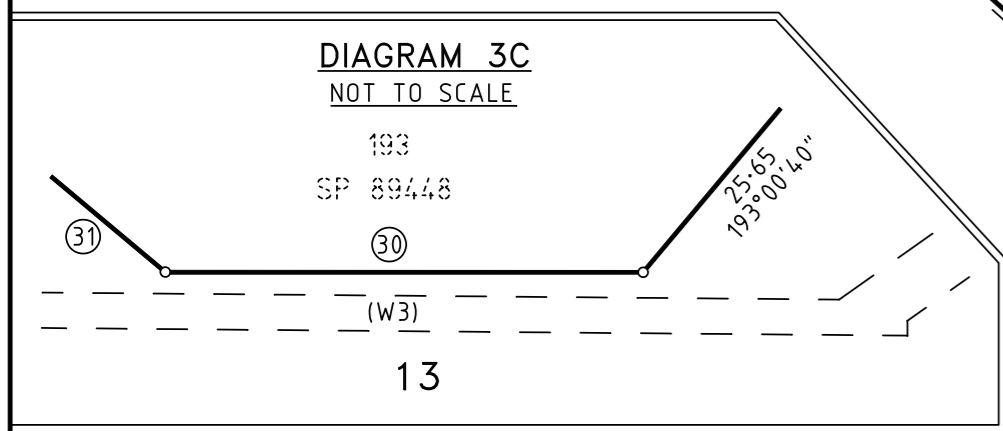
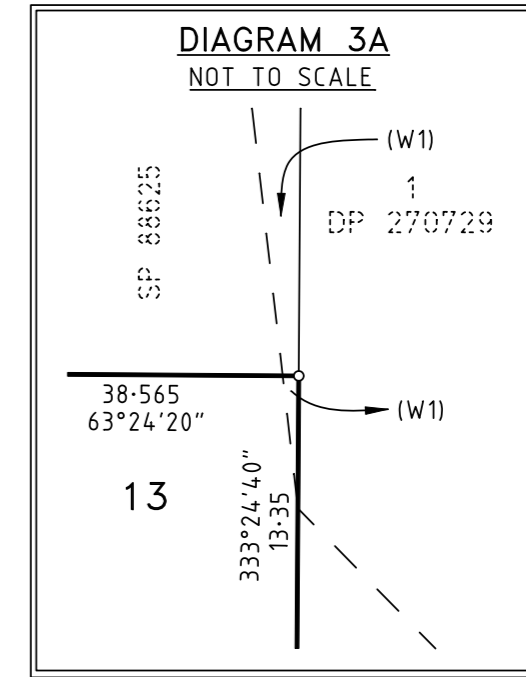
Lengths are in metres. Reduction Ratio SEE SHEET

10	20	30	40	50	Table of mm	90	100	110	120	130	140
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Approved Form 15
COMMUNITY LAND DEVELOPMENT ACT
This is sheet 20 of DP270729 and it replaces sheet 15 as regards lot 11 and is an additional sheet.

SEE SHEET 5 FOR DIAGRAM 7
SEE SHEET 5 FOR THE SCHEDULE OF SHORT & CURVED BOUNDARIES

- (W1) EASEMENT FOR WATER SUPPLY PURPOSES 3 WIDE (DP1171095)
- (W2) EASEMENT FOR ACCESS AND DRAINAGE PURPOSES VARIABLE WIDTH (DP1171095)
- (W3) EASEMENT FOR DRAINAGE PURPOSES 1-5 WIDE & VARIABLE WIDTH (DP1171095)
- (W4) EASEMENT FOR WATER SUPPLY PURPOSES 3 WIDE (DP1183877)
- (W5) EASEMENT FOR ACCESS AND DRAINAGE PURPOSES VARIABLE WIDTH (DP1183877)
- (E2) EASEMENT FOR ENCROACHING CONCRETE SLAB VARIABLE WIDTH (DP 270729)
- (EE5) EASEMENT FOR UNDERGROUND CABLES 1 WIDE & VARIABLE WIDTH (DP1187327)
- (EFS1) EASEMENT FOR SUPPORT (EFS1) 0-4 & 0-6 WIDE (DP1193665)
- (EFS2) EASEMENT FOR SUPPORT (EFS2) 0-1, 0-4 & 0-6 WIDE (DP1193665)
- (ROA) RIGHT OF ACCESS 0-2 WIDE (DP1193665)
- (EF01) EASEMENT FOR OVERHANG 1 WIDE & VARIABLE (DP1193665)



Surveyor: Wayne Allen Diver-Tuck
Date of Survey: 18/7/2014
Surveyor's Ref:124607-Epping-STG3-CPS

PLAN OF
SUBDIVISION OF LOT 11 DP270729.

LGA: PARRAMATTA
Locality: EPPING
Subdivision No:

Registered

ADDITIONAL SHEET 20
DP

Lengths are in metres. Reduction Ratio 1:200

- (W1) EASEMENT FOR WATER SUPPLY PURPOSES 3 WIDE (DP1171095)
- (W2) EASEMENT FOR ACCESS AND DRAINAGE PURPOSES VARIABLE WIDTH (DP1171095)
- (W4) EASEMENT FOR WATER SUPPLY PURPOSES 3 WIDE (DP1183877)
- (W5) EASEMENT FOR ACCESS AND DRAINAGE PURPOSES VARIABLE WIDTH (DP1183877)
- (W6) EASEMENT FOR DRAINAGE PURPOSES 1.5 WIDE & VARIABLE WIDTH (DP1183877)
- (EE5) EASEMENT FOR UNDERGROUND CABLES 1 WIDE & VARIABLE WIDTH (DP1187327)
- (EE6) EASEMENT FOR PADMOUNT SUBSTATION 5.6 WIDE (DP1187327)
- (EE7) RESTRICTION ON THE USE OF LAND (DP1187327)

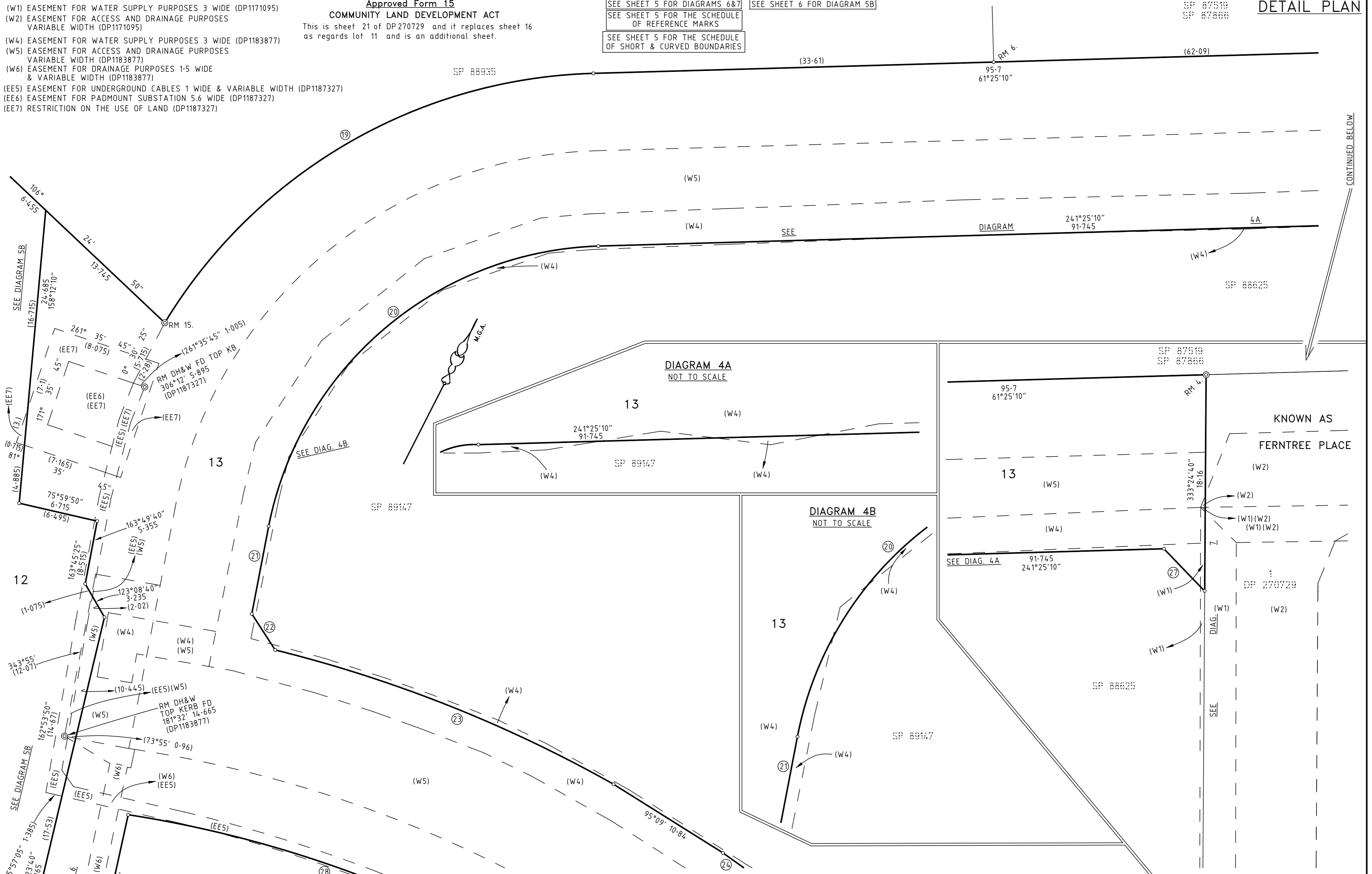
Approved Form 15
 COMMUNITY LAND DEVELOPMENT ACT
 This is sheet 21 of DP270729 and it replaces sheet 16 as regards lot 11 and is an additional sheet.

SEE SHEET 5 FOR DIAGRAMS 6&7
 SEE SHEET 5 FOR THE SCHEDULE OF REFERENCE MARKS
 SEE SHEET 5 FOR THE SCHEDULE OF SHORT & CURVED BOUNDARIES

SEE SHEET 6 FOR DIAGRAM 5B

SP 87519
SP 87866

DETAIL PLAN



CONTINUED BELOW

Surveyor: Wayne Allen Diver-Tuck
 Date of Survey: 18/7/2014
 Surveyor's Ref: 124607-Epping-STG3-CPS

PLAN OF
 SUBDIVISION OF LOT 11 DP270729.

LGA: PARRAMATTA
 Locality: EPPING
 Subdivision No:

Registered

ADDITIONAL SHEET 21

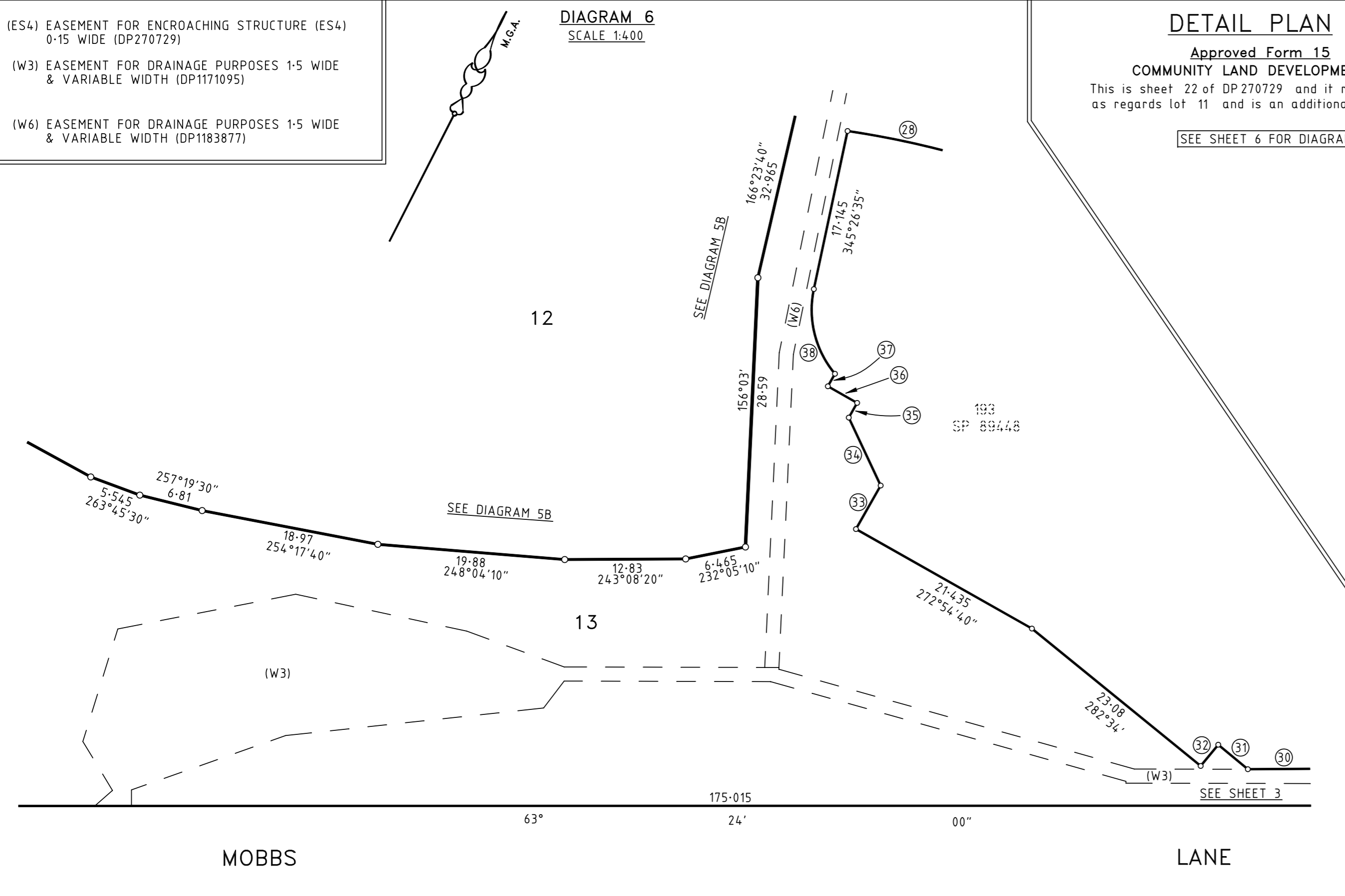
DP

Lengths are in metres. Reduction Ratio 1:200

10	20	30	40	50	Table of mm	90	100	110	120	130	140
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(ES4) EASEMENT FOR ENCRANCHING STRUCTURE (ES4) 0.15 WIDE (DP270729)
 (W3) EASEMENT FOR DRAINAGE PURPOSES 1.5 WIDE & VARIABLE WIDTH (DP1171095)
 (W6) EASEMENT FOR DRAINAGE PURPOSES 1.5 WIDE & VARIABLE WIDTH (DP1183877)

DIAGRAM 6
SCALE 1:400



DETAIL PLAN

Approved Form 15
 COMMUNITY LAND DEVELOPMENT ACT
 This is sheet 22 of DP270729 and it replaces sheet 17 as regards lot 11 and is an additional sheet.

SEE SHEET 6 FOR DIAGRAM 5B

SURVEYING AND SPATIAL INFORMATION REGULATION 2012: CLAUSE 61 (2)					
MARK	MGA CO-ORDINATES		CLASS	ORDER	SOURCE
	EASTING	NORTHING			
SSM 67481	321 543.432	6 260 338.913	C	4	SCIMS 14/7/14
SSM 50488	321 437.889	6 260 293.724	C	4	SCIMS 14/7/14
SSM 83258	320 990.862	6 260 661.226	B	2	SCIMS 14/7/14
SSM 88610	321 151.105	6 260 139.378	C	4	SCIMS 14/7/14
SSM 112655	321 040.115	6 260 084.951	C	4	SCIMS 14/7/14
TS 12047	312 919.848	6 249 236.646	A	1	SCIMS 14/7/14
TS 12095	330 336.155	6 281 393.630	A	1	SCIMS 14/7/14
SSM 167930	321 420	6 260 339	U	U	SCIMS 14/7/14
SSM 167931	321 325	6 260 292	U	U	SCIMS 14/7/14
SSM 167932	321 289	6 260 369	U	U	SCIMS 14/7/14
SSM 167933	321 365	6 260 416	U	U	SCIMS 14/7/14

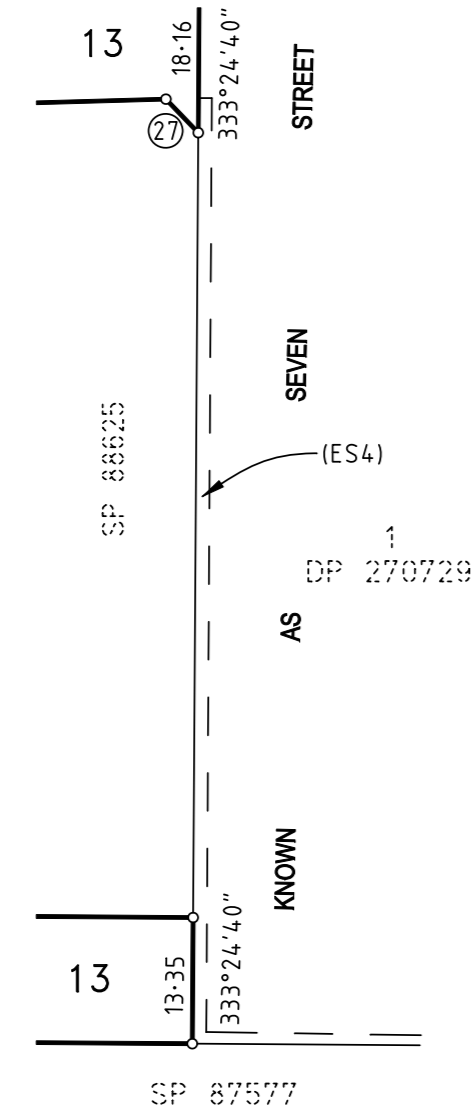
COMBINED SCALE FACTOR 0.999977

SSM CONNECTIONS		
FROM	TO	CONNECTION
SSM 50488	SSM 167930	337°47'15" 48.39
SSM 67481	SSM 167933	293°26'20" 194.39

SCHEDULE OF REFERENCE MARKS (VIDE DP 270729)		
RM	REF. TO CORNER	MARK
4	288°36'20" 17.635	SSM 167932 FD
6	339°11' 5.41	DH&W TOP KB FD
15	261°35'50" 12.015	DH&W TOP KB FD

SCHEDULE OF SHORT & CURVED BOUNDARIES				
LINE	BEARING	DISTANCE	ARC	RADIUS
2	CH.291°56'	8.065	8.435	8.2
3	CH.304°07'	2.26	2.295	3.8
4	CH.306°19'	7.375	7.385	43.5
5	CH.100°19'	9.72	10.605	7.4
6	CH.290°17'	3.205	3.365	3.1
7	333°24'50"	3.1		
8	243°24'50"	9.01		
9	333°24'50"	1.315		
10	333°24'50"	11.055		
11	63°24'50"	5.485		
12	332°30'	0.76		
13	64°44'	1.305		
14	153°14'	0.73		
15	63°24'50"	1.815		
16	332°14'	0.73		
17	62°05'	1.3		
18	153°24'50"	0.76		
19	CH.212°50'35"	41.615	43.39	43.5
20	CH.22°40'15"	36.305	39.225	29.0
21	343°55'20"	7.49		
22	120°07'	3.61		
23	CH.84°40'35"	30.55	30.645	113.5
24	98°40'	3.08		
25	130°00'30"	4.71		
26	CH.116°01'30"	5.00	5.005	43.5
27	289°05'20"	4.935		
28	CH.88°30'55"	55.91	56.705	97.5
29	CH.121°06'20"	15.095	15.29	27.5
30	243°02'40"	12.64		
31	283°00'40"	4.075		
32	193°00'40"	2.92		
33	3°00'40"	5.31		
34	308°16'30"	7.96		
35	3°00'40"	1.79		
36	273°00'40"	3.57		
37	3°00'40"	1.525		
38	CH.319°25'20"	9.255	9.58	10.55

DIAGRAM 7
SCALE 1:800



Surveyor: Wayne Allen Diver-Tuck
 Date of Survey: 18/7/2014
 Surveyor's Ref: 124607-Epping-STG3-CPS

PLAN OF
 SUBDIVISION OF LOT 11 DP270729.

LGA: PARRAMATTA
 Locality: EPPING
 Subdivision No:

Registered

ADDITIONAL SHEET 22

DP

Lengths are in metres. Reduction Ratio SEE SHEET

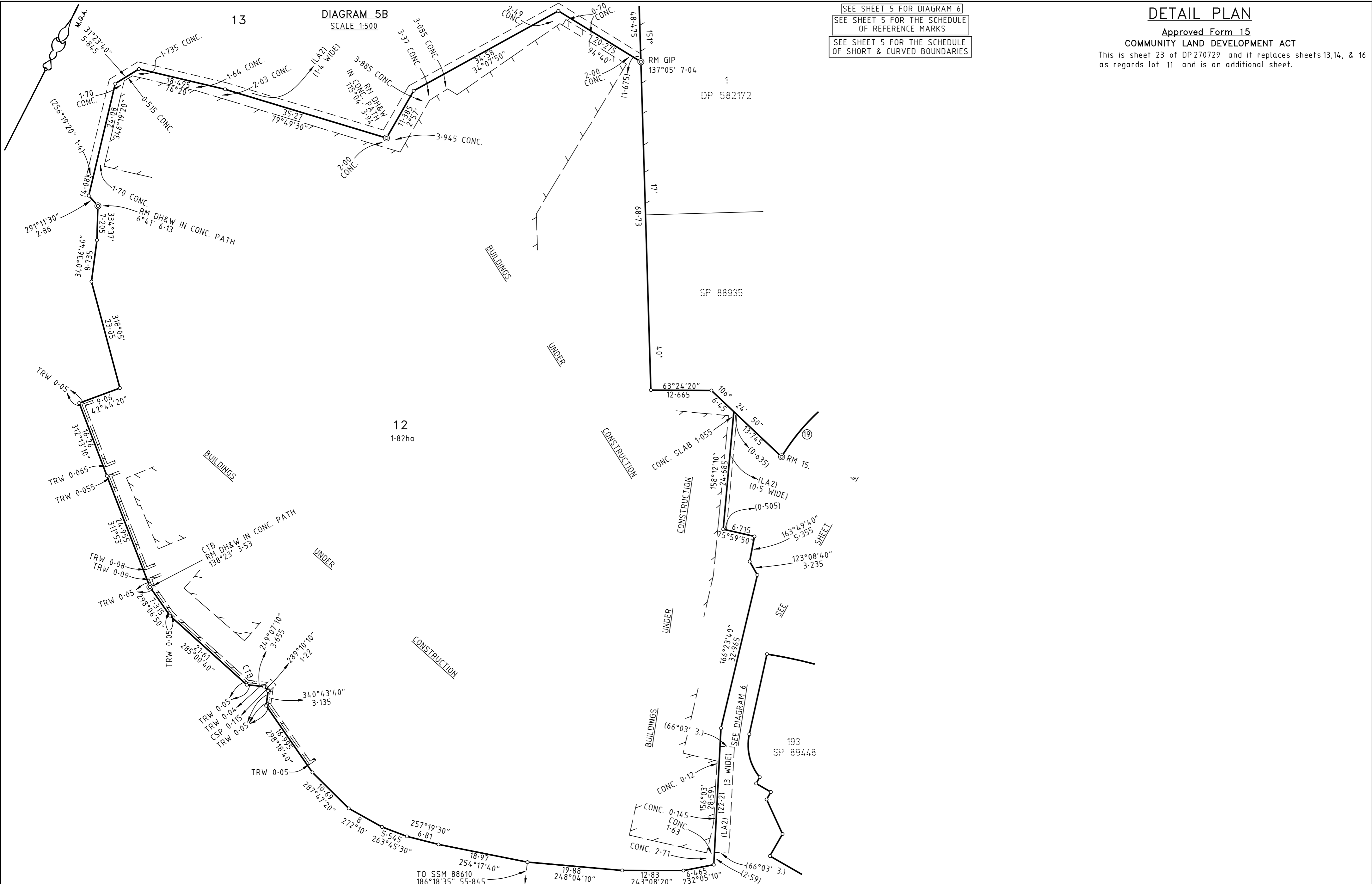


DIAGRAM 5B
SCALE 1:500

SEE SHEET 5 FOR DIAGRAM 6
 SEE SHEET 5 FOR THE SCHEDULE OF REFERENCE MARKS
 SEE SHEET 5 FOR THE SCHEDULE OF SHORT & CURVED BOUNDARIES

DETAIL PLAN

Approved Form 15
 COMMUNITY LAND DEVELOPMENT ACT
 This is sheet 23 of DP270729 and it replaces sheets 13, 14, & 16 as regards lot 11 and is an additional sheet.

(LA2) EASEMENT FOR LIGHT & AIR 0.5, 1.4 & 3 WIDE

CSP DENOTES CONCRETE STORMWATER PIT
 CTB DENOTES CLOUT IN TIMBER BASE
 TRW DENOTES TIMBER RETAINING WALL

Surveyor: Wayne Allen Diver-Tuck
 Date of Survey: 18/7/2014
 Surveyor's Ref: 124607-Epping-STG3-CPS

PLAN OF
 SUBDIVISION OF LOT 11 DP270729.

LGA: PARRAMATTA
 Locality: EPPING
 Subdivision No:

Registered

ADDITIONAL SHEET 23

DP

Lengths are in metres. Reduction Ratio SEE SHEET

10	20	30	40	50	Table of mm	90	100	110	120	130	140
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