

FINAL REPORT

Assessment of Environmental Condition Bank Street Commercial Wharf 5-11 Bank Street Pyrmont NSW

Date:

31 May 2017

Prepared for:

**UrbanGrowth NSW
Level 12, 19 Martin Place
Sydney NSW**

Prepared by:

CONSARA Pty Ltd
ABN: 27 161 027 881
ACN: 161 027 881
Suite 2, Level 2, Unit 6, 10 Rodborough Road Frenchs Forest NSW
PO Box 7360 Warringah Mall NSW 2100
admin@consara.com.au

WWW.CONSARA.COM.AU

FINAL REPORT

Assessment of Environmental Condition Bank Street Commercial Wharf 5-11 Bank Street Pyrmont NSW

Date:

31 May 2017

Prepared for:

**UrbanGrowth NSW
Level 12, 19 Martin Place
Sydney NSW**

Author:

**Rebecca Organo
Principal Environmental Scientist**

Distribution of copies:

1 x pdf via email – Haydn Dayes, UrbanGrowth NSW

CONTENTS

1	INTRODUCTION	1
1.1	Objective	1
1.2	Scope of Work	2
1.3	Site Description	2
1.4	Proposed Development.....	2
2	PREVIOUS REPORTS.....	3
2.1	Reports and Documents Reviewed	3
2.2	Assessment of Reliance	3
2.3	Summary of Previous Reports	4
2.3.1	Purpose and Scope of Previous Reports.....	4
2.3.2	Results of Previous Reports.....	4
2.4	Adequacy of Previous Reports	5
3	SITE INFORMATION	6
3.1	Site Condition and Surrounding Environment.....	6
3.1.1	Site Identification and Description	6
3.1.2	Site History	6
3.1.3	Current Use and Proposed Use	6
3.1.4	Surrounding Land Use	7
3.1.5	Topography, Surface Water, Drainage and Flood Potential.....	7
3.1.6	Soils, Geology and Hydrogeology	7
3.2	Potential Areas and Contaminants of Concern	8
4	ASSESSMENT OF SUITABILITY	9
4.1	Suitability of the Site	9
4.2	Requirements during Construction	10
4.3	Compliance with SEPP 55	10
5	LIMITATIONS.....	11
6	REFERENCES	12

LIST OF TABLES

Body report

Table 1: Current Use and Proposed Use 6

LIST OF APPENDICES

Appendix A: Proposed Development Plans

1 INTRODUCTION

CONSARA Pty Ltd (CONSARA) has been commissioned by UrbanGrowth NSW (UrbanGrowth) to provide an assessment of the environmental condition of an area along the northern end of Blackwattle Bay located at 5-11 Bank Street Pyrmont (the Site). UrbanGrowth is proposing to submit a modification application to an earlier Part 3A approval that was granted for Sydney Heritage Fleet facilities at 5 Bank Street, Pyrmont (MP 11_0001). The proposed modification comprises the relocation of a Roads and Maritime Services (RMS) licenced commercial operator from a property on Pyrmont Bridge Road, Glebe NSW to the Site to enable the development of the New Sydney Fish Market. The modification will effect a decanting of water-based operations within Blackwattle Bay and allows a working harbour use to continue in generally the same location with similar operational parameters to its current use. As part of this proposal the Site is to be utilised for temporary maritime support facilities and publically accessible open space.

The proposed development plans for the temporary facilities, open space areas and the location of wharf/marina facility are presented on the figures included as Appendix A. For the purpose of this report 'the Site' comprises the area on which the temporary facilities are to be located, shown shaded in purple as the "Land Facility", and the area on which the open space area is to be located, as shown shaded in green as "Open Space", on drawing S75W-04 in Appendix A.

CONSARA understands that the Section 75W application for the proposed development on the Site is referred to as MP11_0001 – Sydney Heritage Fleet – Proposed Modification 3 , 5-19 Bank Street Pyrmont (the Mod 3) and that the Secretary's Environmental Assessment Requirements (SEARs) for the Mod 3 were issued on the 12 April 2017. Item 15 of the SEARs requires that contamination on the Site be addressed, including demonstration that the relevant requirements of State Environmental Planning Policy 55 (SEPP 55) have been appropriately considered and addressed. This report has been prepared to satisfy Item 15 of the SEARs to demonstrate that consideration has been applied to whether the Site is contaminated and to provide an assessment on the suitability of the Site for the proposed development.

UrbanGrowth have developed a framework for the approach to taken with respect to the redevelopment of contaminated land within the wider Bays Precinct which is set out in '*Management Strategy for Impacted Land within the Bays Precinct Urban Transformation Program*' dated January 2015.(the MSIL). The approach set out in the MSIL is noted to be consistent with NSW EPA policy and guidelines for the development on contaminated land in NSW. This report has been prepared with respect to the framework set out in the MSIL and to be consistent with the MSIL.

UrbanGrowth have also provided to CONSARA a number of reports of environmental assessment that have been completed on the Site and surrounding areas since 2000. In preparing this report CONSARA has conducted a detailed review of these reports in order to provide an understanding of the environmental condition of the Site and has subsequently based the assessment of the Site on the information presented in these reports.

This report has been developed with reference to the relevant requirements of the NSW Office of Environment and Heritage (NSW OE&H) (2011) *Guidelines for Consultants Reporting on Contaminated Sites*, the National Environment Protection Council (NEPC) (1999 and as amended 2013) *National Environment Protection Measures –Assessment of Site Contamination (NEPM)*, the NSW DEC (2006) *Guidelines for the NSW Site Auditor Scheme – 2nd Edition* and other relevant guidance made or endorsed by NSW EPA and on the information presented in documents provided to CONSARA by UrbanGrowth.

1.1 Objective

The objective of this report is to demonstrate that the requirements of SEPP 55 have been appropriately considered and addressed by providing an assessment of the environmental condition and the suitability of the Site for the proposed development.

1.2 Scope of Work

The scope of works completed to meet the objectives set out above is as follows:

- Complete a detailed review of the reports on previous environmental assessments conducted on the Site and surrounding areas on Blackwattle Bay with respect to the relevant requirements of the current guidelines endorsed by NSW EPA to assess the reliance that can be placed on the data presented for the purpose of this report;
- Based on the outcomes of the detailed review, utilise the reliable information presented in the previous reports to provide a summary of the environmental condition of the Site and the surrounding areas (where relevant);
- Provide an assessment on the environmental condition of the Site and its suitability for the uses proposed for the Site and the requirements, if any, for remediation or management; and
- Demonstrate satisfaction of the requirements of SEPP 55 as they relate to the Site and the proposed development.

1.3 Site Description

The Site is located in Pyrmont approximately 1km west of Sydney CBD and directly adjoins Blackwattle Bay. The Site is located in the northern to central part of the property known as 5-11 Bank Street, Pyrmont.

1.4 Proposed Development

The proposed development on the Site comprises the following:

- **Land Facility** (as shown on drawing S75W-04 in Appendix A) - Temporary placement of a series of demountable office buildings, single stacked shipping containers and an area dedicated to carparking, waste bins, gas bottles and cylinders and storage of other minor equipment required for the use of the Site as a marina support facility. A chain-wire mesh fence will be established along the boundaries of this facility, to preclude public access. The areas not occupied by buildings, carparking or other structures will be covered with concrete, gravel aggregate or asphalt pavements, with a small area at the frontage to Bank Street to contain garden beds. Once completed the Site will be utilised as marina support facility to facilitate the accommodation of businesses that will be utilising the wharf/marina that is to be constructed on over water areas to the west and south-west of the Site.
- **Open Space** (as shown on drawing S75W-04 in Appendix A) – Installation of garden beds at the frontage to Bank Street and within the Open Space area. Pavements with gravels and concrete surface treatments (stairs, pavements, driveways, pathways) are also to be installed across a large majority of the surface area. This publically accessible open space will provide access for the public from Bank Street to the waterfront of Blackwattle Bay.

2 PREVIOUS REPORTS

2.1 Reports and Documents Reviewed

UrbanGrowth have provided CONSARA with the following reports and documents that have been considered to be relevant to gaining an understanding of the environmental condition of the Site:

- Parsons Brinkerhoff Australia Pty Ltd (PB) '*Environmental Site Investigation Blackwattle Bay Maritime Precinct Blackwattle Bay Maritime Precinct, NSW*' March 2009 (the PB ESA Report);
- SLR Consulting Australia Pty Ltd (SLR) '*Preliminary Contaminated Land Assessment Sydney Heritage Fleet, Pyrmont NSW 2009*' 16 December 2011 (the Stage 1 ESA SHFS Report);
- E3 '*Limited Phase 2 Environmental Site Assessment 5 Bank Street, Pyrmont NSW*' 16 July 2012 (the Stage 2 ESA 5 Bank Street Report);
- CDM Smith Australia Pty Ltd (CDM Smith) '*Long-term Environmental Management Plan 5 Banks Street Pyrmont NSW*' 30 October 2012 (the LTEMP 5 Bank Street Report); and
- JBS&G Australia Pty Ltd (JBS&G) '*Preliminary Site Investigation DRAFT Bays Precinct*' October 2014 (the Stage 1 ESA Bays Precinct Report).

2.2 Assessment of Reliance

CONSARA has conducted a detailed review of the reports listed above with respect to the relevant requirements of the current guidelines endorsed by NSW EPA to assess the reliance that can be placed on the data presented for the purpose of this report. The outcomes of this assessment of reliance for each report are as follows:

- **PB ESA Report-** The PB ESA Report appears to be a comprehensive report on the environmental condition of an area of land along the head of Blackwattle Bay and the sediments in the seabed of over water areas directly adjacent to the land areas that was stated to be used for mooring of vessels. The scope of the works completed included a desktop review and a detailed assessment of the surface and sub-surface conditions at the locations assessed on the land and on the sediments to a limited depth into the seabed at the over water locations assessed. An appropriately completed assessment on the quality of the field and laboratory data was presented in the report and the copy of the report provided to CONSARA was complete. It is considered that the results reported in the PB ESA Report can be quantitatively relied upon for the purpose of this report;
- **Stage 1 ESA SHFS Report** – The Stage 1 ESA SHFS Report appears to be a preliminary or desktop assessment of the potential for contamination to be present in the surface and sub-surface environment on a parcel of land that appears to extend across the southern part of 1 Bank Street and the northern part of 5 Bank Street. It was stated that this report was prepared as part of a development application for the proposed redevelopment of this area for the Sydney Heritage Fleet. The copy of the report provided to CONSARA was missing the appendices that were stated in the body of the report to contain the supporting documentation. It is considered that the information provided in the body of the report on the historical use of these properties and the potential for contamination to be present can only be relied on qualitatively for the purpose of this report;
- **Stage 2 ESA 5 Bank Street Report** – The Stage 2 ESA 5 Bank Street Report appears to be a comprehensive report on the environmental condition of the property known as 5 Bank Street. The scope of the works completed comprised a detailed assessment of the surface and sub-surface conditions at the locations assessed, including the sampling and laboratory analysis of soil and groundwater samples (where present). An appropriately completed assessment on the quality of the field and laboratory data was presented in the report and the copy of the report provided to CONSARA was complete. The scope of works completed and results reported appears to meet the requirements of a Stage 1 ESA that are set out in the NSW OEH (2011) guidelines. It is considered that the results reported in the Stage 2 ESA 5 Bank Street Report can be quantitatively relied upon for the purpose of this report;

- **LTEMP 5 Bank Street Report** – The LTEMP 5 Bank Street Report sets out management and monitoring requirements for the property known as 5 Bank Street in order to mitigate any risk of harm to the health of users of the property due to the presence of contaminated fill materials present in the sub-surface. The report presents information on the environmental condition of the property as reported in the Stage 2 ESA 5 Bank Street Report. No new data sets are presented or new information on the environmental condition of the property is included. The copy of the report provided to CONSARA was complete and appears to have been prepared to meet the requirements of a long-term environmental management plan that are set out in the NSW DEC (2006). It is considered that the LTEMP 5 Bank Street Report can be quantitatively relied upon for the purpose of this report;
- **Stage 1 ESA Bays Precinct Report** – The Stage 1 ESA Bays Precinct Report appears to be a comprehensive report on a preliminary or desktop assessment of the potential for contamination to be present in the surface and sub-surface environment on numerous properties located across a region referred to as the Bays Precinct. The copy of the report provided to CONSARA was complete but was a Draft version. The scope of works completed and results reported appears to meet the requirements of a Stage 1 ESA that are set out in the NSW OEH (2011) guidelines. It is considered that the results reported in the Stage 1 ESA Bays Precinct Report can be qualitatively relied upon for the purpose of this report.

2.3 Summary of Previous Reports

2.3.1 Purpose and Scope of Previous Reports

Previous investigations conducted on the Site comprise the completion of a number of Stage 1 ESAs, being preliminary or desktop assessments on the potential for contamination to be present on 5 Bank Street with a Stage 2 ESA, being intrusive investigations, also completed on 5 Bank Street. A Long-term Environmental Management Plan for 5 Bank Street has been prepared that appears to be current and applies for the current condition and existing use of this property.

2.3.2 Results of Previous Reports

A summary of the results of the investigations conducted on or relevant to the Site as presented in the reports listed above, with reference to the outcomes of the assessment of reliance, is provided below.

- The area from the end of the current Jacksons Landing Promenade extending across to part of 5 Bank Street was likely to have been partially subject to extensive quarrying for sandstone in the mid to late 1800s and then partially subject to reclamation in the late 1800s as part of the construction of the first Glebe Island Bridge structure. It is reported that reclamation activities undertaken during this period were likely to utilise dredged sediments from the adjacent bay and fill materials from industrial and residential development sites;
- It is understood that in the late 1800s the local area was occupied by heavy industries with parts of the land based areas of the Site likely to have been historically owned and operated on by the Colonial Sugar Refinery (CSR), fishing and produce companies and timber merchants. The surrounding areas are reported to have been occupied by tanneries, abattoirs, incinerators, ship builders, power stations, wool stores, railway yards, wharfs and mills;
- Part of 5 Bank Street is also reported to have been reclaimed in the late 1980s to early 1990s as part of the preliminary works for the construction of the ANZAC bridge. It was reported that the nature of the materials used for reclamation at this time would be unlikely to have been significantly contaminated;
- Surface and sub-surface conditions on 5 Bank Street have been subject to a number of investigations which reported the following:
 - Surface materials on 5 Bank Street were reported to be primarily gravels comprised of crushed sandstone and concrete with a small section of bitumen pavement and grassed area on the southern boundary leading to the existing boat ramp;

- Surface materials were reported to be directly underlain by gravelly sandy fill materials that variably contained crushed sandstone and were present to depths of between 0.75 metres below ground surface (m bgs) and 4 m bgs. It was reported that some ash, coke, fragments of slag and '*black materials-possibly dried tar*' were present at a limited number of locations at depths ranging between approximately 0.5 m bgs and 2 m bgs, however, no other foreign materials or significant staining or was identified in the fill materials across the property. Slight hydrocarbon odours were reported in the fill materials at one location at a depth of approximately 0.5 m bgs;
- Concentrations of PAHs and heavy fraction TPH in fill materials were reported to be greater than the assessment criteria that were applicable at the time that the investigations were completed. It is noted that the concentrations reported are noted to be generally less than the currently applicable criteria. Concentrations of metals, BTEX, OCPs and PCBs were reported at either less than the laboratory detection limits or less than the assessment criteria in all samples analysed;
- Perched groundwater was encountered in some fill materials at depths of approximately 2 m bgs. Concentrations of lead and copper were reported to be greater than the adopted criteria at one location on 5 Bank Street with concentrations of the remaining metals, TPH, BTEX, PAHs reported at less than the laboratory detection limits and less than the adopted criteria;
- The fill materials were reported to be directly underlain at all borehole locations completed on 5 Bank Street by weathered sandstone bedrock ;
- The Stage 2 ESA 5 Bank Street Report stated that based on the existing use of 5 Bank Street for dragon boat storage and launching and the associated limited use of the Site and the restrictions of public access to the Site it was considered that the identified contamination present in the fill materials on the Site were not likely to pose a risk of harm to the health of the current users of the Site under the current uses and that this property was suitable for continued existing use if a Long-term Environmental Management Plan (LT EMP) was prepared and implemented;
- The LTEMP 5 Bank Street Report presented the LT EMP for 5 Bank Street and set out the measures to be undertaken under the existing conditions and land use to manage identified risks to users of the property due to the presence of contaminated fill materials in the sub-surface of the property. This report stated that if the existing use or conditions were to change for a more sensitive use then the LT EMP would require revision.

2.4 Adequacy of Previous Reports

Given the proposed development of the Site and the current uses of the Site it is considered that the information provided in the previous reports, as summarised above, provides sufficient information on the environmental condition of the Site and the likely nature and extent of contamination present in the surface and sub-surface environment on the Site such that the objectives of this report can be met without the requirement for further intrusive investigations to be undertaken. This is primarily due to the likelihood that any contamination that maybe present in the sub-surface will be diffuse and that the uses that currently exists and are proposed for the Site do not create exposure pathways to the sub-surface such that further detailed information is necessary to determine suitability. It is also noted that the suitability of the Site is already managed via a containment approach where exposure of users of these properties to the presence and potential presence of contamination is prevented by the physical surface coverings and via the implementation of a long term management plan.

3 SITE INFORMATION

3.1 Site Condition and Surrounding Environment

3.1.1 Site Identification and Description

The Site is located in Pyrmont approximately 1km west of Sydney CBD and directly adjoins Blackwattle Bay. The Site consists of the northern to central section of a property known as 5 Bank Street, Pyrmont.

The property at 5 Bank Street is noted to be primarily unsealed and covered with gravels comprised of crushed sandstone and concrete. A seawall forms the boundary of the property with Blackwattle Bay and a boat launching ramp is also present. There is a narrow area covered with grass near the seawall that forms the boundary of the property with Blackwattle Bay and a small section of bitumen pavement is also present on the southern boundary leading to the existing boat ramp. No buildings are present on this property and the property is fenced and secured by a locked gate at Bank Street. Storage of Dragon Boats was noted to be undertaken on the southern end of the property.

3.1.2 Site History

The Site is located within a local region that between the mid 1800s to the 1960s was occupied by a large range of industrial activity that included power stations, wool stores, railway yards, wharfs, abattoirs, tanneries and mills. Large scale infilling of the area now known as Wentworth Park, previously a large swamp referred to as Blackwattle Cove, commenced in the late 1870s to form Blackwattle Bay. Historical reports indicate that sediments dredged from the harbour were used as the filling materials along with waste and ballast materials.

In the vicinity of the Site it is understood that significant dredging and reclamation and infilling activities were undertaken in the late 1800s as part of the construction of the first Glebe Island Bridge with some further reclamation undertaken in the late 1980s as part of the preliminary works for the construction of the ANZAC Bridge. Historical reports indicate that the areas surrounding the bridge were primarily utilised for maritime related activities and light industrial activities.

3.1.3 Current Use and Proposed Use

The current and proposed uses of the Site are summarised in the table below.

Table 1: Current Use and Proposed Use

Area of Site	Current Use	Proposed Use
Entire 5 Bank Street	Dragon boat storage and use otherwise generally vacant, no buildings present, surface covering comprises primarily large gravels with some minor areas of grassed or bitumen surface cover adjacent to the seawall that forms the boundary of the property with Blackwattle Bay. Buttresses of ANZAC Bridge pylons present in north-western area. Boat ramp exists to provide vessel access and launch to Blackwattle Bay.	The Site is located within the northern to central area of 5 Bank Street. The area to be occupied by the temporary marina facility (Land Facility) will be covered by proposed demountable buildings, storage containers and other minor structures, equipment and carparking for the proposed marina support facilities. In areas not occupied by buildings or other structures, the existing surface covering will either be maintained or be improved via the installation of a new asphalt pavement and minor garden beds at frontage to Bank Street. The area to be occupied as publically accessible open space will primarily be covered with

Area of Site	Current Use	Proposed Use
		surface treatments comprising concrete hardstand or compacted gravels. Some garden bed areas are to be established at the frontage to Bank Street and within the Open Space area. As identified on the drawings provided in Appendix A, wherever garden beds are to be installed a marker layer must be placed between retained sub-surface soils and the garden bed surface treatment. The marker layer is to be installed to provide a physical barrier to the underlying retained soils and should be selected to ensure that drainage is maintained. A geotextile such as Bidum would be suitable. Prior to construction the nature and installation of the marker layer and overlying garden beds must be approved by the Architect.

3.1.4 Surrounding Land Use

The land uses surrounding the Site are as follows:

- North –Light commercial, High Density Residential and Open Space Recreational uses;
- East – Roadways and High Density Residential
- South – Light industrial and commercial land use
- West – Blackwattle Bay

3.1.5 Topography, Surface Water, Drainage and Flood Potential

The topography of the land based areas of the Site is moderately sloping with an elevation of approximately 7 to 9 m Australian Height Datum (m AHD) on the level areas proximal to Bank Street and then slopes from Bank Street downwards to elevations of approximately 3 to 4 m AHD at Blackwattle Bay. Constructed seawalls form the western boundary of the land based areas of the Site with Blackwattle Bay with the exception of the existing ramp from 5 Bank Street to the bay.

A constructed stormwater system comprising surface pits and sub-surface pipes is present along Bank Street and stormwater present in this system is expected to discharge to Blackwattle Bay. It is understood that no constructed stormwater system is present on the 5 Bank Street property and that surface water drainage from this land based area of the Site would flow into Blackwattle Bay. However, given the slope and current and proposed surface coverings on 5 Bank Street it is unlikely that sheet flows to Blackwattle Bay would be generated.

Given that Blackwattle Bay is part of Sydney Harbour it is tidally influenced and it is considered that the risk of flooding is low to negligible.

3.1.6 Soils, Geology and Hydrogeology

The Site is located in an area that is the result of significant dredging and reclamation activities that commenced in the late 1800s. The Soils Landscapes of the Sydney 1:100000 Sheet (SCS, 2009) indicates that the natural soils on the Site have been subject to significant disturbance by human activity and that filling materials comprising rocks, building and waste materials are likely to be present. Prior to filling, the soil landscape of the Site is likely to have been comprised

of rugged rolling to very steep hills and rocky outcrops dominated by shallow lithosols and siliceous sands with some podzolic soils present in less exposed areas (SCS, 2009).

The fill materials and soils at the Site and surrounding area are underlain by Middle Triassic aged Hawkesbury Sandstone of the Wianamatta Group (DMR, 1991). The Hawkesbury Sandstone consists of medium to coarse-grained quartz sandstone, very minor shale, siltstone and laminite lenses.

The 1:25 000 Prospect/Parramatta River Acid Sulfate Soil Risk Map (DLWC, 1997) indicates that there is a high probability of the occurrence of acid sulfate soils within the soil profile located on the Site. Given the presence of sediments, dredged materials or similar on the Site, it is considered that there is a moderate to high potential for acid sulphate soils to be present on the Site.

Regional groundwater is expected to be present at depth within the Hawkesbury Sandstone underlying the Site and is likely to be present as flow through fractures such as joints and bedding plane partings or via permeable lenses of siltstone or laminate. Thus, the transmissivity of the sandstone aquifer is dependent on the frequency, openness and orientation of the fracturing present. Groundwater present sandstone is expected to be generally of reasonable quality with low salinity, whilst groundwater present in any siltstone and laminite lenses is expected to be of higher salinity (Pells 1985). Groundwater in the local region is not known to have been extracted for any beneficial use likely due to salinity and the presence of a reticulated water system. Based on local topography and surface drainage, groundwater in the bedrock is expected to flow to the west to north-west toward Blackwattle Bay.

Previous investigations identified that some limited groundwater was present perched within the fill materials at some locations at depths of between 2 to 4 metres below ground surface (m bgs), however, this perched groundwater was found to be very limited in its extent, had low to negligible recharge and appeared to be present within horizons of more permeable fill materials.

Given that no excavation works are required for the proposed development on the Site, neither perched groundwaters nor potential acid sulphate soils are not expected to be encountered during the construction of the proposed development.

3.2 Potential Areas and Contaminants of Concern

The results of previous investigations on the Site (namely 5 Bank Street) have identified the presence and potential presence of fill materials in the surface and sub-surface. Where intrusive investigations have been undertaken the fill materials have been reported to contain ash, coke, coal tars and slag. These fill materials have been identified, in some locations, to be contaminated and potentially contaminated with polycyclic aromatic hydrocarbons, petroleum hydrocarbons and heavy metals. No fibrous asbestos (FA) and asbestos-containing materials (ACM) has been previously identified, however, given the history of filling activities conducted at the Site there is the potential for these materials to be present in surface and sub-surface soils.

It is noted that the contamination present or potentially present on the Site is classified as diffuse contamination and maybe heterogeneous in its nature and extent. Given the history of the area it is expected that such contamination or potential for contamination is not unique to the Site and would be present underlying the properties directly surrounding the Site and is likely to extend across the majority of properties that adjoin Blackwattle Bay.

4 ASSESSMENT OF SUITABILITY

The results of previous investigations on the Site have identified the presence of materials in the sub-surface of the land based areas of the Site and within the sediments located within over water areas of the Site that potentially could be contaminated with Polycyclic Aromatic Hydrocarbons (PAHs), petroleum hydrocarbons (TPH), heavy metals and asbestos (land based areas of Site only). Given the results of previous investigations and what is understood about the history of the Site it is considered that there is a low likelihood of gross or significant contamination or point source contamination being present on the Site, rather the contamination is likely to be present as diffuse contamination and its nature and distribution is likely to be variable.

The assessment of the suitability of the Site for the proposed development is provided below

4.1 Suitability of the Site

On the Site the identified contamination and potential contamination is considered to be of a nature that does not pose a risk of harm to human health under the current land uses or for the proposed development as the current surface coverings, which are subject to improvements or change under the proposed development (as set out in Section 3.1.3), are considered to provide an effective physical barrier between the sub-surface soils and the current users of the land, subject to the implementation of a Long-term Environmental Management Plan (LT EMP). It is noted that the LTEMP 5 Bank Street Report currently ensures the suitability of 5 Bank Street for its current use and that the development works will be undertaken to comply with the requirements of the LT EMP in order to maintain the ongoing suitability of this property for the current and proposed use.

The proposed development works on the Site that affect the existing surface coverings are as follows:

- The area to be occupied by the temporary marina facility (Land Facility) will be covered by proposed demountable buildings, storage containers and other minor structures, equipment and carparking for the proposed marina support facilities. In areas not occupied by buildings or other structures, the existing surface covering will either be maintained or be improved via the installation of a new asphalt pavement and minor garden beds at frontage to Bank Street;
- The area to be occupied as publically accessible open space will primarily be covered with surface treatments comprising concrete hardstand or compacted gravels. Some garden bed areas are to be established at the frontage to Bank Street and within the Open Space area. As identified on the drawings provided in Appendix A, wherever garden beds are to be installed a marker layer must be placed between retained sub-surface soils and the garden bed surface treatment. Prior to construction the nature and installation of the marker layer must be approved by the Architect.

Given that the nature and extent of the proposed development works on the Site includes the maintenance, improvement or installation of suitable surface cover and the ongoing implementation of a LT EMP (as already exists for 5 Bank Street) it is considered that the Land Facility area of the Site will be suitable for the proposed temporary marina support facilities and that the Open Space area of the Site will be suitable for the proposed publically accessible open space.

It is noted that the existing and currently applicable Long-term Environmental Management Plan (LT EMP) for 5 Bank Street (the LTEMP 5 Bank Street Report) will remain in place and will be updated to reflect the changes on the property once the development works have been completed. The updated LT EMP will set out the procedures that are required to be implemented to manage identified risks to users of 5 Bank Street to ensure that users are not exposed to potentially contaminated materials located beneath the surface coverings and that works that require disturbance of the any surface coverings are undertaken in a manner that protects the health of the workers and users of the Site. The LT EMP will be updated in accordance with the requirements of NSW DEC (2006), will be made legally enforceable and will be written in plain English to be understood by non-professionally trained personnel.

4.2 Requirements during Construction

Given that the construction works will require some minor disturbance of contaminated or potentially contaminated materials on the Site there is a potential of risk to the surrounding environment, associated with the potential exposure of the potentially contaminated materials, the potential for the migration of any contamination that may be present off-site or within the Site, as well as to construction personnel. During construction of the proposed development these potential risks will be managed via the implementation of a Construction Environmental Management Plan. It is noted that with respect to 5 Bank Street this approach is consistent with and meets the requirements of the LTEMP 5 Bank Street Report.

The CEMP will set out the environmental management measures that are required to be implemented during construction works in order to manage identified risks to Site personnel and the environment to ensure that:

- Comprehensive control measures are implemented to prevent the migration of potentially contaminated materials or waters off-site or within the Site;
- Works that require disturbance of natural soils, sandstone bedrock or potentially contaminated fill materials are undertaken in a manner that protects the health of the workers and users of the Site; and
- Any potentially contaminated materials excavated from the Site are appropriately stored, handled and, where required, either beneficially re-used on the Site or disposed of off-Site.

4.3 Compliance with SEPP 55

The purpose of SEPP 55 is to provide a statewide planning approach to the remediation of contaminated land. SEPP 55 defines remediation as *'removing, dispersing, destroying, reducing, mitigating or containing the contamination of any land, or eliminating or reducing any hazard arising from the contamination of any land (including by preventing the entry of persons or animals on the land)'*. SEPP 55 specifies when remediation work does and does not require development consent from the consent authority. Remediation works that require development consent are classified as Category 1 remediation works and remediation works that do not require development consent are Category 2 remediation works.

The proposed development works on the Site ensures the establishment of suitable surface coverings that will continue to provide a physical barrier that prevents exposure of the future users to the underlying potentially contaminated materials. This work will be completed in accordance with the existing LT EMP (for 5 Bank Street) and with a CEMP developed for the works. As such the proposed development works on the Site do not satisfy the SEPP 55 definition of *'remediation'* and as such do not require *'remediation'* to be suitable for the proposed uses and are not subject to the requirements of SEPP 55.

5 LIMITATIONS

This report has been prepared for the sole purpose of providing an assessment of the environmental condition of the Site and the suitability of the Site for the proposed development in accordance with generally accepted consulting practice. No other warranty or guarantee, expressed or implied is made as to the advice indicated in this report.

This report should not be used for any other purpose without our prior written consent. Accordingly, neither CONSARA nor any member or employee of CONSARA accepts responsibility or liability in any way whatsoever for the use of this report for any purpose other than that for which it has been prepared.

This report should not be released to any other party, in whole or in part, without the express written consent of CONSARA. CONSARA accepts no liability or responsibility whatsoever for or in respect of any use or reliance upon this report by any third party.

CONSARA has relied upon and presumed accurate information provided by UrbanGrowth NSW and/or any third party (or absence thereof) in making the assumptions made in this report. Nothing in this report should be taken to imply that CONSARA has verified or audited any of the information supplied to us other than as expressly stated in this report. We have assumed this information to be both adequate and accurate for the purposes of this report.

Where findings, observations and conclusions are based solely upon information provided by UrbanGrowth NSW and/or a third party and CONSARA do not accept, to the maximum extent permitted by law, any liability for any losses, claims, costs, expenses, damages (whether in statute, in contract or tort for negligence or otherwise) suffered or incurred by UrbanGrowth NSW or any third party as a result of or in connection with CONSARA's reliance on any such the information to the extent that such information is false, misleading or incomplete and CONSARA give no warranty or guarantee, express or implied as to such findings, observations and conclusions.

If further information becomes available, or additional assumptions need to be made, CONSARA reserves its right to amend any statements or opinions made in this report.

6 REFERENCES

ASTM Standard Practice D2488-90 *Description and Identification of Soils (Visual-Manual Procedure)*. American Society for Testing and Materials.

AS1726-1993. *Geotechnical site investigations Australian Standard*.

AS4964-2004. *Australian Standard Method for the Qualitative Identification of asbestos in bulk samples*.

Australian and New Zealand Environment Conservation Council and Agriculture Resource Management Council of Australia and New Zealand (ANZECC/ARMCANZ) 2000. *Australian and New Zealand Guidelines for Fresh and Marine Water Quality*, October 2000.

CDM Smith Australia Pty Ltd (CDM Smith) 2012. *Long-term Environmental Management Plan 5 Banks Street Pyrmont NSW* 30 October 2012

E3 Consulting Australia Pty Ltd (E3) 2012a. *Stage 1 Preliminary Site Investigation 1 Bank Street, Pyrmont NSW* 27 June 2012

E3 2012b *Limited Phase 2 Environmental Site Assessment 5 Bank Street, Pyrmont NSW* 16 July 2012

JBS&G Australia Pty Ltd (JBS&G) 2014 *Preliminary Site Investigation DRAFT Bays Precinct* October 2014

Land and Property Information NSW (LPI) 2001. *Sydney 1:100 000 Topographic Sheet 9130*.

National Health and Medical Research Council & Natural Resource Management Ministerial Council (NHMRC & NRMCC) (2011 and as updated 2013). *Australian Drinking Water Guidelines*

National Health and Medical Research Council. (NHMRC) 2008. *Guidelines for managing risk in recreational water*.

NEPC, 2013. *National Environment Protection (Assessment of Site Contamination) Measure (NEPM) – Schedule B*. National Environment Protection Council .

NSW DEC, 2006. *Guidelines for the NSW Site Auditor Scheme (2nd edition)*. NSW Department of Environment and Conservation.

NSW DEC, 2007. *Guidelines for the Assessment and Management of Groundwater Contamination*. NSW Department of Environment and Conservation.

NSW Department of Land and Water Conservation (DLWC) 1997. *Prospect/Parramatta River Acid Sulfate Soil Risk Map 1:25 000, 2nd ed.*.

NSW Department of Mineral Resources (DMR), 1983. *Sydney Geological Series Sheet 9130 1:100 000*.

NSW Department of Mineral Resources (DMR). 1980. *A Guide to the Sydney Basin*. Ed Chris Herbert and Robin Helby.

NSW Department of Mineral Resources (DMR). 1991. *Sydney 1:100,000 Geological Series Sheet 9130*. DMR, Geological Survey of NSW.

NSW EPA, 1994. *Contaminated Sites: Guidelines for Assessing Service Station Sites*. NSW Environment Protection Authority.

UrbanGrowth NSW | Assessment of Environmental Condition, Bank Street Commercial Wharf 5-11 Bank Street Pyrmont NSW

C151008_REPORT_31May17.docx | CONSARA Pty Ltd

NSW EPA, 1995. *Contaminated Sites: Sampling Design Guidelines*. NSW Environment Protection Authority.

NSW EPA 2015. *Guidelines on the Duty to Report Contamination under the Contaminated Land Management Act*. NSW Environment Protection Authority

NSW OEH, 2011. *Contaminated Sites: Guidelines for Consultants Reporting on Contaminated Sites*. NSW Office of Environment and Heritage.

Parsons Brinkerhoff Australia Pty Ltd (PB) 2009a *Environmental Site Investigation Blackwattle Bay Maritime Precinct Blackwattle Bay Maritime Precinct, NSW* March 2009

PB 2009b. *Environmental Site Investigation of the waterway west of the Hanson Site Concrete Batching Plant, Western End of Blackwattle Bay, NSW* July 2009

Patterson Britton & Partners Pty Ltd (PBP) 2000. *Blackwattle Bay Sydney Waterfront Infrastructure Development Design and Construction for the Upgrading of Wharves – Assessment of Soil and Sediment Conditions* May 2000

Soil Conservation Service of NSW (SCS), 2009. *Sydney Soil Landscape Series Sheet 9130 1:100 00*.

SLR Consulting Australia Pty Ltd (SLR) 2011. *Preliminary Contaminated Land Assessment Sydney Heritage Fleet, Pyrmont NSW 2009* 16 December 2011

UrbanGrowth NSW 2015. *Management Strategy for Impacted Land (MSIL) within the Bays Precinct Urban Transformation Program*. January 2015

USBR 5005-86. *Procedure for Determining Unified Soil Classification (Visual Method)*, United States Department of the Interior, Bureau of Reclamation

USEPA, 2000. *Guidance for the Data Quality Objectives Process, EPAC QA/G-4 DEC/600/r-96/055*, United States Environmental Protection Agency Office of Environmental Information, Washington DC

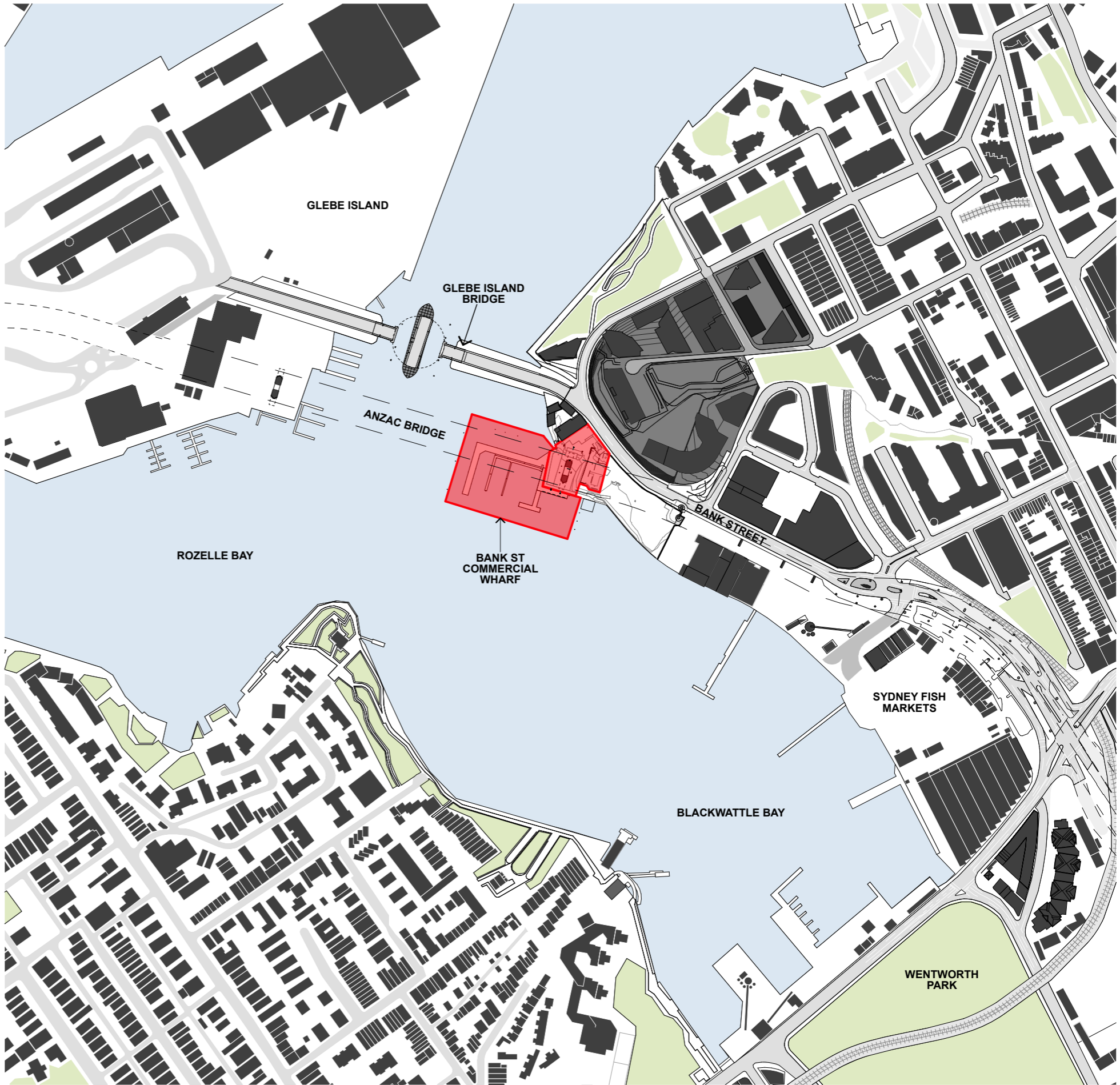
Western Australian Department of Health (WA DoH), 2009. *Guidelines for the Assessment, Remediation and Management of Asbestos-Contaminated Sites in Western Australia*.

APPENDIX A: PROPOSED DEVELOPMENT PLANS

BANK STREET COMMERCIAL WHARF S75W APPLICATION

Drawing No:

S75W-01	CONTEXT
S75W-02	SITE ANALYSIS
S75W-03	CONSTRAINTS PLAN
S75W-04	SITE PROGRAM
S75W-05	SITE PLAN
S75W-06	SITE PLAN 1:200
S75W-07	SITE PLAN 1:200
S75W-08	LANDSCAPE PLAN
S75W-09	ADMINISTRATION PLAN
S75W-10	ADMINISTRATION ROOF PLAN
S75W-11	BANK STREET ELEVATION
S75W-12	ELEVATIONS 1
S75W-13	ELEVATIONS 2
S75W-14	SECTIONS
S75W-15	SHADOW DIAGRAMS
S75W-16	SHADOW DIAGRAMS
S75W-17	SHADOW DIAGRAMS
S75W-18	SHADOW DIAGRAMS
S75W-19	SHADOW DIAGRAMS
S75W-20	SHADOW DIAGRAMS
S75W-21	VIEWS
S75W-22	VIEWS
S75W-23	VIEW ANALYSIS BOWMAN STREET
S75W-24	VIEW ANALYSIS 1 DISTILARY DRIVE
S75W-25	VIEW ANALYSIS 120 SAUNDERS STREET
S75W-26	VIEW ANALYSIS BANK STREET
S75W-27	VIEW ANALYSIS ANZAC BRIDGE RAMP
S75W-28	VIEW ANALYSIS GLEBE FORESHORE 1
S75W-29	VIEW ANALYSIS GLEBE FORESHORE 2
S75W-30	VIEW ANALYSIS BLACKWATTLE BAY
S75W-31	VIEW ANALYSIS GLEBE ISLAND BRIDGE
S75W-32	CUT AND FILL PLAN



1 CONTEXT PLAN
1:5000

BENNETT AND TRIMBLE
L2, 333 GEORGE STREET
SYDNEY NSW 2000
+612 8065 8766
BENNETTANDTRIMBLE.COM

INTELLECTUAL PROPERTY
COPYRIGHT BENNETT AND TRIMBLE PTY LTD. UNLESS
OTHERWISE AGREED IN WRITING, ALL RIGHTS TO THE
USE OF THIS DOCUMENT ARE SUBJECT TO PAYMENT IN
FULL OF ALL BENNETT AND TRIMBLE CHARGES. THIS
DOCUMENT MAY ONLY BE USED FOR THE EXPRESS
PURPOSE AND PROJECT FOR WHICH IT HAS BEEN
CREATED AND DELIVERED. AS NOTED IN WRITING BY
BENNETT AND TRIMBLE, AND THIS DOCUMENT MAY NOT
BE OTHERWISE USED, OR COPIED, ANY UNAUTHORISED
USE OF THIS DOCUMENT IS AT THE USER'S SOLE RISK,
AND WITHOUT LIMITING BENNETT AND TRIMBLE'S
RIGHTS TO THE USER RELEASES AND INDEMNIFIES
BENNETT AND TRIMBLE FROM AND AGAINST ALL LOSS
SO ARISING.

ISSUE DATE FOR
1 26.05.17 S75W

GENERAL NOTES

- ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, AND WITH MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS.
- CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR SET OUT.
- CONTRACTOR TO CONFIRM STRUCTURAL INTEGRITY OF ALL MEMBERS AND CONNECTIONS PRIOR TO FABRICATION.
- SHOP DRAWINGS TO BE PROVIDED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
- DETAIL FOR GRADEN BEDS TO INCLUDE MARKER LAYER AND MUST BE PROVIDED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.

PROJECT NUMBER
160316

CLIENT
URBAN GROWTH NSW

PROJECT NAME
**Bank St Commercial Wharf
S75W Application
5-11 Bank Street Pyrmont**

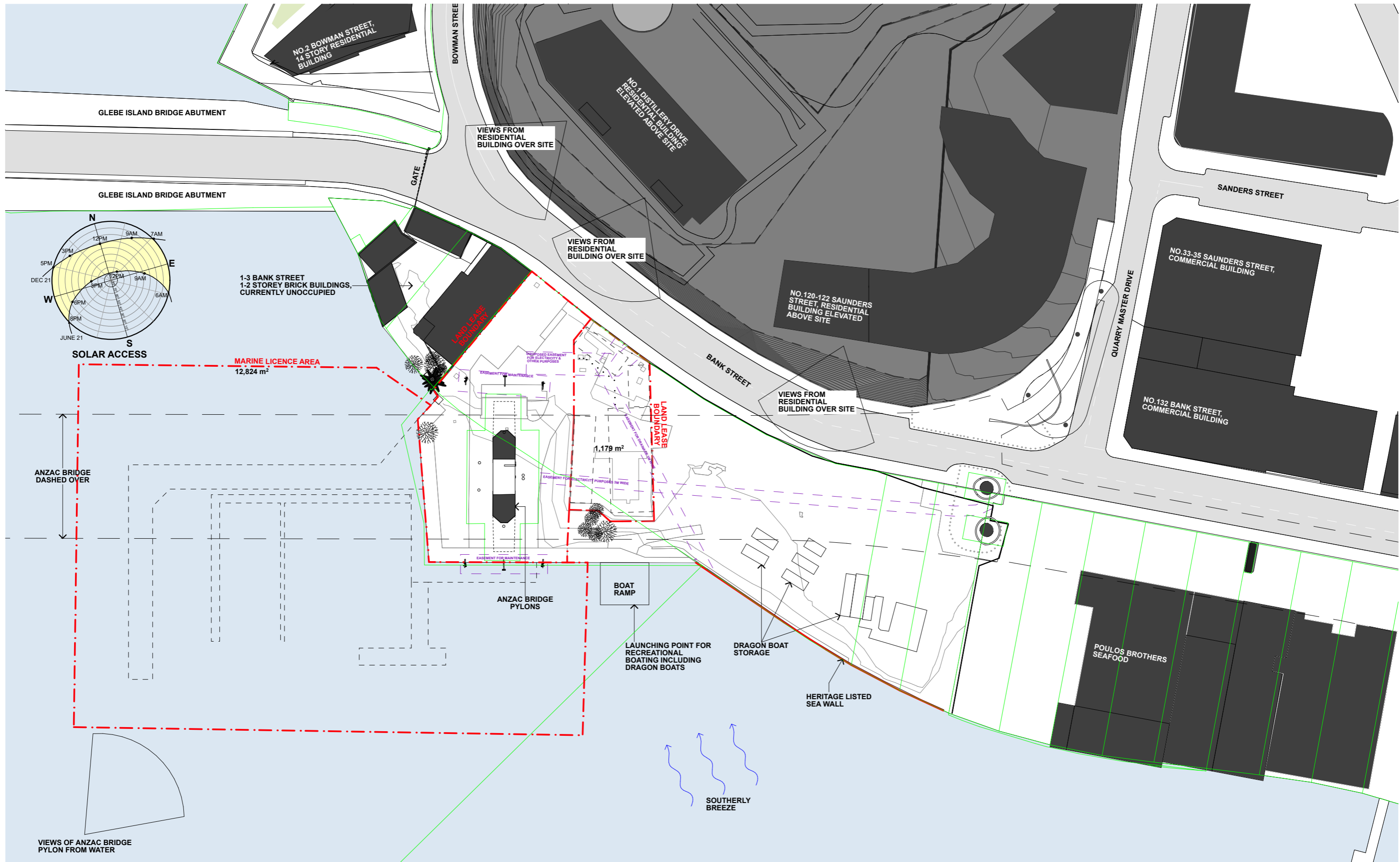
PROJECT NORTH
1

SCALE:
1:5000 @A3 1:2500 @A1

STATUS
PRELIMINARY

DRAWING TITLE
CONTEXT

DRAWING NUMBER REVISION
S75W-01 1



1 SITE ANALYSIS 1:1000

BENNETT AND TRIMBLE
L2, 333 GEORGE STREET
SYDNEY NSW 2000
+612 8065 8766
BENNETTANDTRIMBLE.COM

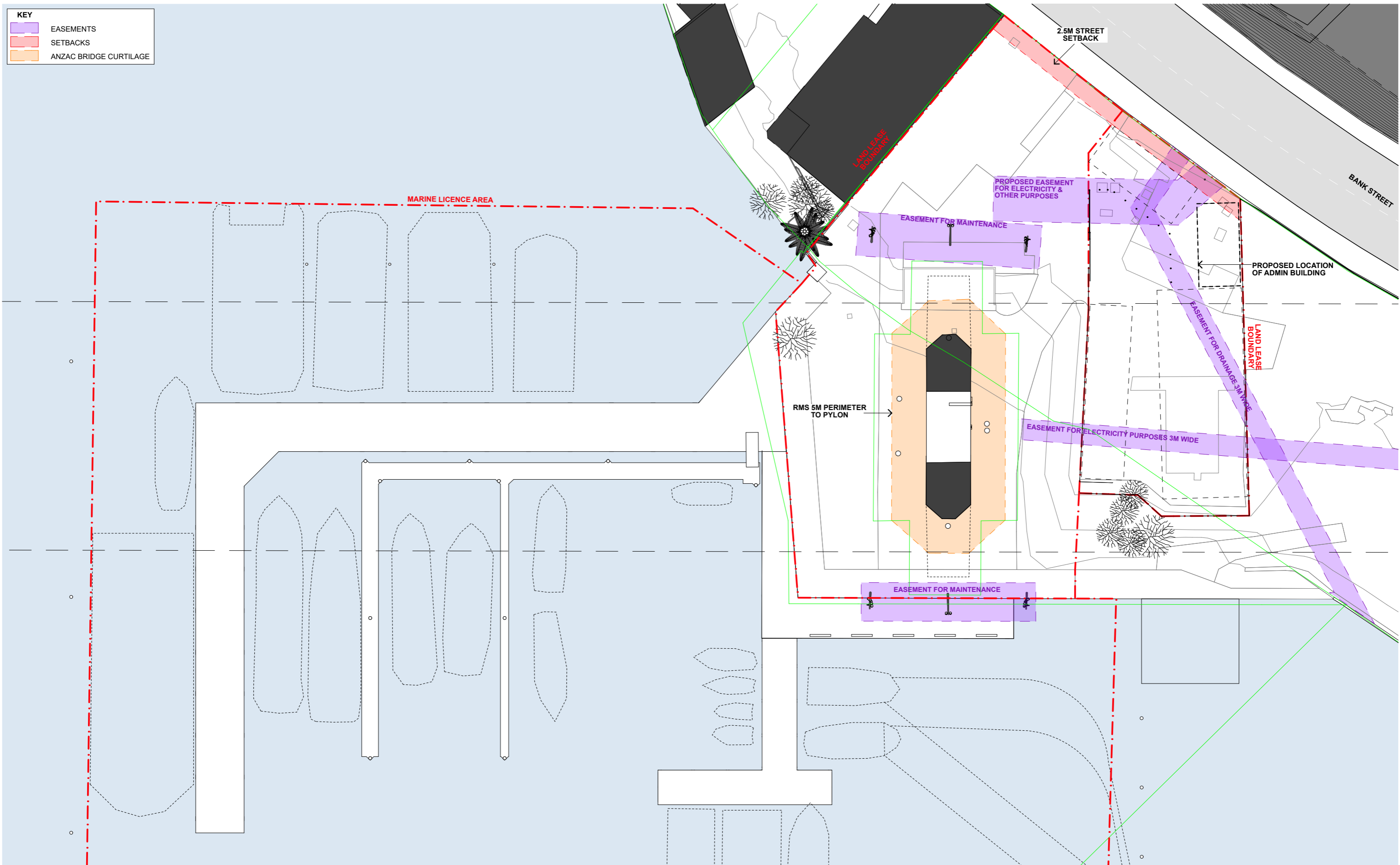
INTELLECTUAL PROPERTY
 COPYRIGHT BENNETT AND TRIMBLE PTY LTD. UNLESS OTHERWISE AGREED IN WRITING, ALL RIGHTS TO THE USE OF THIS DOCUMENT ARE SUBJECT TO PAYMENT IN FULL OF ALL BENNETT AND TRIMBLE CHARGES. THIS DOCUMENT MAY ONLY BE USED FOR THE EXPRESS PURPOSE AND PROJECT FOR WHICH IT HAS BEEN CREATED AND DELIVERED. AS NOTED IN WRITING BY BENNETT AND TRIMBLE, AND THIS DOCUMENT MAY NOT BE OTHERWISE USED, OR COPIED, ANY UNAUTHORISED USE OF THIS DOCUMENT IS AT THE USER'S SOLE RISK, AND WITHOUT LIMITING BENNETT AND TRIMBLE'S RIGHTS TO THE USER RELEASES AND INDEMNIFIES BENNETT AND TRIMBLE FROM AND AGAINST ALL LOSS SO ARISING.

ISSUE DATE FOR
1 26.05.17 S75W

- GENERAL NOTES**
1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, AND WITH MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS.
 2. CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR SET OUT.
 3. CONTRACTOR TO CONFIRM STRUCTURAL INTEGRITY OF ALL MEMBERS AND CONNECTIONS PRIOR TO FABRICATION.
 4. SHOP DRAWINGS TO BE PROVIDED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
 5. DETAIL FOR GRADEN BEDS TO INCLUDE MARKER LAYER AND MUST BE PROVIDED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.

CLIENT URBAN GROWTH NSW	PROJECT NORTH N	DRAWING TITLE SITE ANALYSIS
PROJECT NAME Bank St Commercial Wharf S75W Application	SCALE 1:1000 @A3 1:500 @A1	DRAWING NUMBER S75W-02
PROJECT NUMBER 160316	STATUS PRELIMINARY	REVISION 1

KEY	
	EASEMENTS
	SETBACKS
	ANZAC BRIDGE CURTLAGE



1 **CONSTRAINTS PLAN**
1:500

BENNETT AND TRIMBLE
L2, 333 GEORGE STREET
SYDNEY NSW 2000
+612 8065 8766
BENNETTANDTRIMBLE.COM

INTELLECTUAL PROPERTY
COPYRIGHT BENNETT AND TRIMBLE PTY LTD. UNLESS
OTHERWISE AGREED IN WRITING, ALL RIGHTS TO THE
USE OF THIS DOCUMENT ARE SUBJECT TO PAYMENT IN
FULL OF ALL BENNETT AND TRIMBLE CHARGES. THIS
DOCUMENT MAY ONLY BE USED FOR THE EXPRESS
PURPOSE AND PROJECT FOR WHICH IT HAS BEEN
CREATED AND DELIVERED. AS NOTED IN WRITING BY
BENNETT AND TRIMBLE, AND THIS DOCUMENT MAY NOT
BE OTHERWISE USED, OR COPIED, ANY UNAUTHORISED
USE OF THIS DOCUMENT IS AT THE USER'S SOLE RISK,
AND WITHOUT LIMITING BENNETT AND TRIMBLE'S
RIGHTS THE USER RELEASES AND INDEMNIFIES
BENNETT AND TRIMBLE FROM AND AGAINST ALL LOSS
SO ARISING

ISSUE	DATE	FOR
1	26.05.17	S75W

GENERAL NOTES

1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, AND WITH MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS.
2. CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR SET OUT.
3. CONTRACTOR TO CONFIRM STRUCTURAL INTEGRITY OF ALL MEMBERS AND CONNECTIONS PRIOR TO FABRICATION.
4. SHOP DRAWINGS TO BE PROVIDED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
5. DETAIL FOR GRADEN BEDS TO INCLUDE MARKER LAYER AND MUST BE PROVIDED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION

PROJECT NUMBER
160316

CLIENT
URBAN GROWTH NSW

PROJECT NAME
**Bank St Commercial Wharf
S75W Application
5-11 Bank Street Pyrmont**

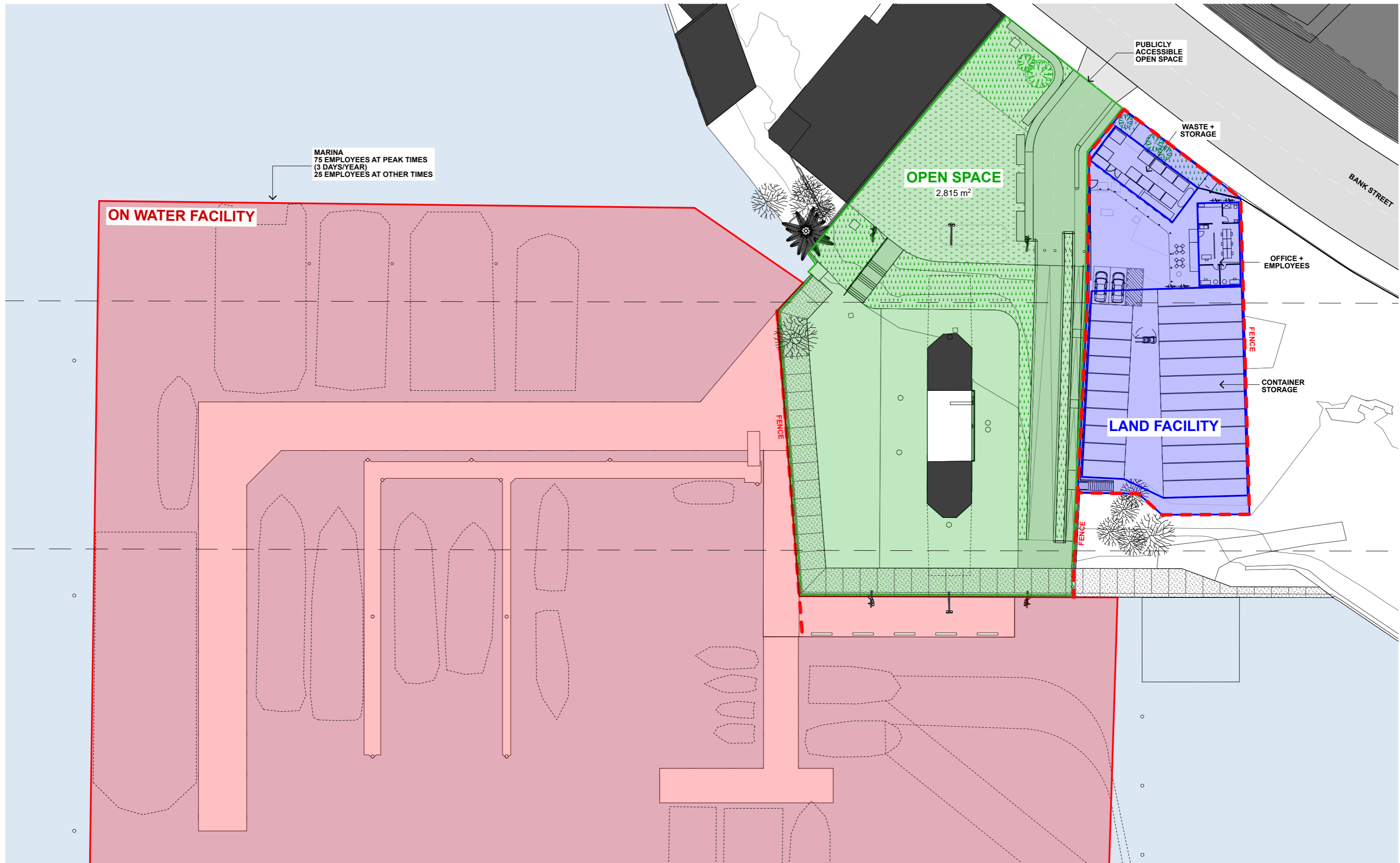
PROJECT NORTH

SCALE:
1:500 @A3 1:250 @A1

STATUS
PRELIMINARY

DRAWING TITLE
CONSTRAINTS PLAN

DRAWING NUMBER REVISION
S75W-03 1



1 PROGRAM
1:500

BENNETT AND TRIMBLE
L2, 333 GEORGE STREET
SYDNEY NSW 2000
+612 8065 8766
BENNETTANDTRIMBLE.COM

INTELLECTUAL PROPERTY
COPYRIGHT BENNETT AND TRIMBLE PTY LTD. UNLESS
OTHERWISE AGREED IN WRITING, ALL RIGHTS TO THE
USE OF THIS DOCUMENT ARE SUBJECT TO PAYMENT IN
FULL OF ALL BENNETT AND TRIMBLE CHARGES. THIS
DOCUMENT MAY ONLY BE USED FOR THE EXPRESS
PURPOSE AND PROJECT FOR WHICH IT HAS BEEN
CREATED AND DELIVERED. AS NOTED IN WRITING BY
BENNETT AND TRIMBLE, AND THIS DOCUMENT MAY NOT
BE OTHERWISE USED, OR COPIED, ANY UNAUTHORISED
USE OF THIS DOCUMENT IS AT THE USER'S SOLE RISK,
AND WITHOUT LIMITING BENNETT AND TRIMBLE'S
RIGHTS THE USER RELEASES AND INDEMNIFIES
BENNETT AND TRIMBLE FROM AND AGAINST ALL LOSS
SO ARISING

ISSUE DATE FOR
1 26.05.17 S75W

GENERAL NOTES

1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, AND WITH MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS.
2. CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR SET OUT.
3. CONTRACTOR TO CONFIRM STRUCTURAL INTEGRITY OF ALL MEMBERS AND CONNECTIONS PRIOR TO FABRICATION.
4. SHOP DRAWINGS TO BE PROVIDED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
5. DETAIL FOR GRADEN BEDS TO INCLUDE MARKER LAYER AND MUST BE PROVIDED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION

PROJECT NUMBER
160316

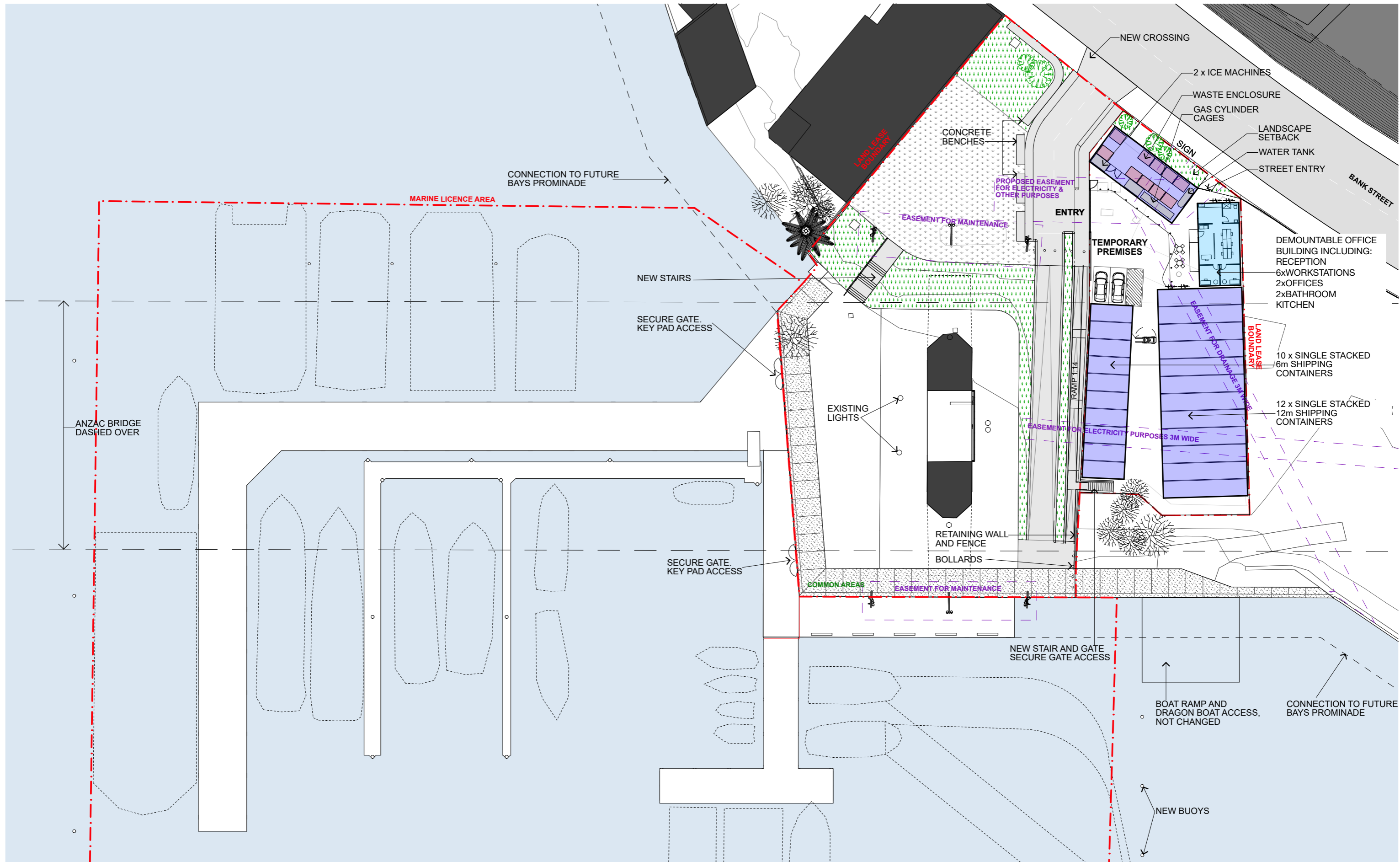
CLIENT
URBAN GROWTH NSW

PROJECT NAME
**Bank St Commercial Wharf
S75W Application
5-11 Bank Street Pyrmont**

PROJECT NORTH
SCALE:
1:500 @A3 1:250 @A1
STATUS
PRELIMINARY

DRAWING TITLE
SITE PROGRAM

DRAWING NUMBER REVISION
S75W-04 1



1 **SITE PLAN**
1:500

BENNETT AND TRIMBLE
L2, 333 GEORGE STREET
SYDNEY NSW 2000
+612 8065 8766
BENNETTANDTRIMBLE.COM

INTELLECTUAL PROPERTY
COPYRIGHT BENNETT AND TRIMBLE PTY LTD. UNLESS OTHERWISE AGREED IN WRITING, ALL RIGHTS TO THE USE OF THIS DOCUMENT ARE SUBJECT TO PAYMENT IN FULL OF ALL BENNETT AND TRIMBLE CHARGES. THIS DOCUMENT MAY ONLY BE USED FOR THE EXPRESS PURPOSE AND PROJECT FOR WHICH IT HAS BEEN CREATED AND DELIVERED. AS NOTED IN WRITING BY BENNETT AND TRIMBLE, AND THIS DOCUMENT MAY NOT BE OTHERWISE USED, OR COPIED, ANY UNAUTHORISED USE OF THIS DOCUMENT IS AT THE USER'S SOLE RISK, AND WITHOUT LIMITING BENNETT AND TRIMBLE'S RIGHTS TO THE USER RELEASES AND INDEMNIFIES BENNETT AND TRIMBLE FROM AND AGAINST ALL LOSS SO ARISING.

ISSUE DATE FOR
1 **26.05.17** **S75W**

- GENERAL NOTES**
1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, AND WITH MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS.
 2. CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR SET OUT.
 3. CONTRACTOR TO CONFIRM STRUCTURAL INTEGRITY OF ALL MEMBERS AND CONNECTIONS PRIOR TO FABRICATION.
 4. SHOP DRAWINGS TO BE PROVIDED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
 5. DETAIL FOR GRADEN BEDS TO INCLUDE MARKER LAYER AND MUST BE PROVIDED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.

PROJECT NUMBER
160316

CLIENT
URBAN GROWTH NSW

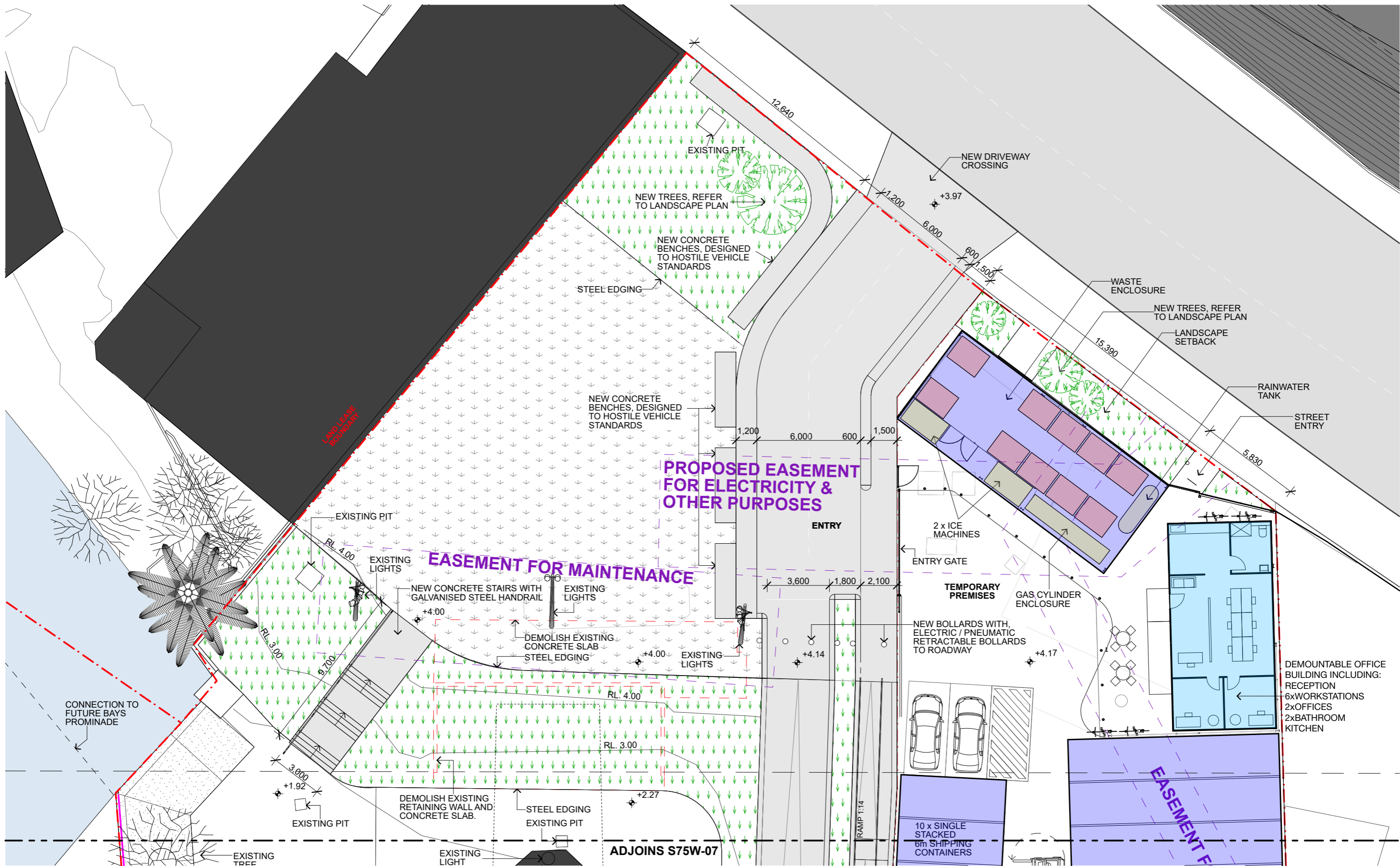
PROJECT NAME
Bank St Commercial Wharf S75W Application
5-11 Bank Street Pyrmont

PROJECT NORTH
SCALE:
1:500 @A3 **1:250 @A1**

STATUS
PRELIMINARY

DRAWING TITLE
SITE PLAN

DRAWING NUMBER REVISION
S75W-05 **1**



1 SITE PLAN 1:200
1:200

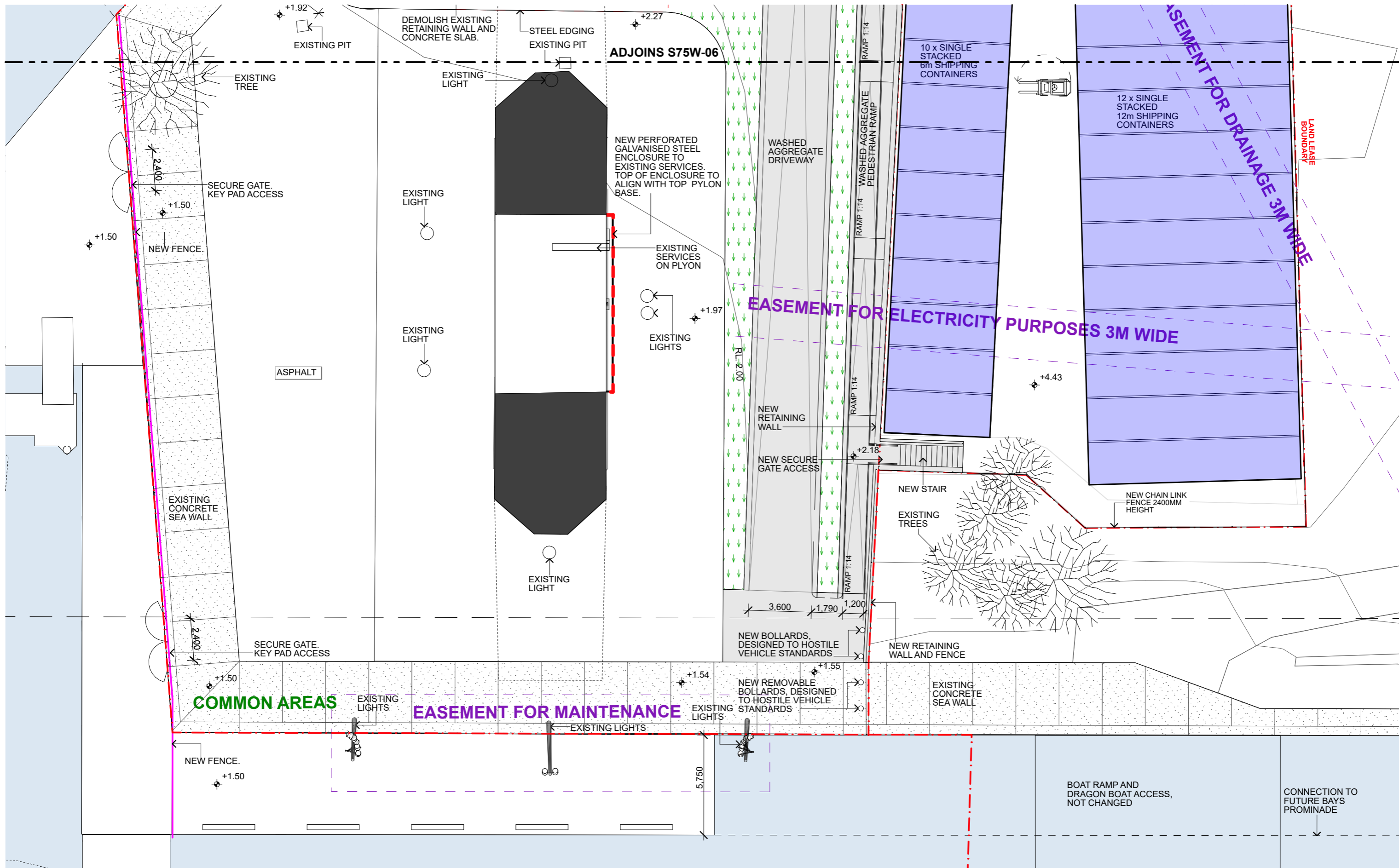
BENNETT AND TRIMBLE
L2, 333 GEORGE STREET
SYDNEY NSW 2000
+612 8065 8766
BENNETTANDTRIMBLE.COM

INTELLECTUAL PROPERTY
COPYRIGHT BENNETT AND TRIMBLE PTY LTD. UNLESS OTHERWISE AGREED IN WRITING, ALL RIGHTS TO THE USE OF THIS DOCUMENT ARE SUBJECT TO PAYMENT IN FULL OF ALL BENNETT AND TRIMBLE CHARGES. THIS DOCUMENT MAY ONLY BE USED FOR THE EXPRESS PURPOSE AND PROJECT FOR WHICH IT HAS BEEN CREATED AND DELIVERED. AS NOTED IN WRITING BY BENNETT AND TRIMBLE, AND THIS DOCUMENT MAY NOT BE OTHERWISE USED, OR COPIED, ANY UNAUTHORISED USE OF THIS DOCUMENT IS AT THE USER'S SOLE RISK, AND WITHOUT LIMITING BENNETT AND TRIMBLE'S RIGHTS TO THE USER RELEASES AND INDEMNIFIES BENNETT AND TRIMBLE FROM AND AGAINST ALL LOSS SO ARISING.

ISSUE	DATE	FOR
1	26.05.17	S75W

- GENERAL NOTES**
1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, AND WITH MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS.
 2. CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR SET OUT.
 3. CONTRACTOR TO CONFIRM STRUCTURAL INTEGRITY OF ALL MEMBERS AND CONNECTIONS PRIOR TO FABRICATION.
 4. SHOP DRAWINGS TO BE PROVIDED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
 5. DETAIL FOR GRADEN BEDS TO INCLUDE MARKER LAYER AND MUST BE PROVIDED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.

CLIENT URBAN GROWTH NSW	PROJECT NORTH 	DRAWING TITLE SITE PLAN 1:200
PROJECT NAME Bank St Commercial Wharf S75W Application	SCALE 1:200 @A3 1:100 @A1	DRAWING NUMBER S75W-06
PROJECT NUMBER 160316	STATUS PRELIMINARY	REVISION 1



1 SITE PLAN 1:200
1:200

BENNETT AND TRIMBLE
L2, 333 GEORGE STREET
SYDNEY NSW 2000
+612 8065 8766
BENNETTANDTRIMBLE.COM

INTELLECTUAL PROPERTY
COPYRIGHT BENNETT AND TRIMBLE PTY LTD. UNLESS
OTHERWISE AGREED IN WRITING, ALL RIGHTS TO THE
USE OF THIS DOCUMENT ARE SUBJECT TO PAYMENT IN
FULL OF ALL BENNETT AND TRIMBLE CHARGES. THIS
DOCUMENT MAY ONLY BE USED FOR THE EXPRESS
PURPOSE AND PROJECT FOR WHICH IT HAS BEEN
CREATED AND DELIVERED. AS NOTED IN WRITING BY
BENNETT AND TRIMBLE, AND THIS DOCUMENT MAY NOT
BE OTHERWISE USED, OR COPIED, ANY UNAUTHORISED
USE OF THIS DOCUMENT IS AT THE USER'S SOLE RISK,
AND WITHOUT LIMITING BENNETT AND TRIMBLE'S
RIGHTS TO THE USER RELEASES AND INDEMNIFIES
BENNETT AND TRIMBLE FROM AND AGAINST ALL LOSS
SO ARISING.

ISSUE DATE FOR
1 26.05.17 S75W

- GENERAL NOTES**
1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, AND WITH MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS.
 2. CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR SET OUT.
 3. CONTRACTOR TO CONFIRM STRUCTURAL INTEGRITY OF ALL MEMBERS AND CONNECTIONS PRIOR TO FABRICATION.
 4. SHOP DRAWINGS TO BE PROVIDED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
 5. DETAIL FOR GRADEN BEDS TO INCLUDE MARKER LAYER AND MUST BE PROVIDED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.

CLIENT URBAN GROWTH NSW	PROJECT NORTH 	DRAWING TITLE SITE PLAN 1:200
PROJECT NAME Bank St Commercial Wharf S75W Application	SCALE 1:200 @A3 1:100 @A1	DRAWING NUMBER S75W-07
PROJECT NUMBER 160316	STATUS PRELIMINARY	REVISION 1