



To: Bennett & Trimble

Project: Bank Street Commercial Wharf

Report: Access Assessment Report

Reference No: 108077-Access-r1.1

Date: 25 May 2017

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DOCUMENT CONTROL

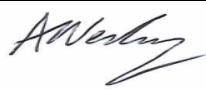
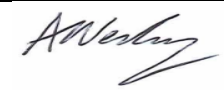
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108077-Access-r1	18.05.17	Description:	Access Assessment Report		
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1 BASIS OF ASSESSMENT

1.1 Location

The building development, the subject of this report, is located at Bank Street, Pyrmont and is situated underneath the Anzac Bridge. The development consists of a Land Facility which includes an office, office parking, storage containers and waste and storage area. The on-water facility includes fixed and floating pontoons for mooring of commercial vessels.

1.2 Purpose

The purpose of this report is to assess the proposed building against the following Deemed-to-Satisfy provisions of the Building Code of Australia 2016 (BCA2016) to clearly outline those areas where compliance is not achieved and provide recommendations to upgrade such areas to achieve relevant compliance:

- Disability Access to Premises Standards 2010 (Premises Standards);
- Building Code of Australia 2016 (BCA2016) – Part D3 and Clauses E3.6 and F2.4;
- Applicable Australian Standards AS 1428.1:2009, AS/NZS 1428.4.1:2009 and AS/NZS 2890.6:2009.

The purpose of the report is to accompany a S75W application to modify an existing application

1.3 Limitations

This report is limited to an assessment of the access and amenity provisions for people with a disability against the provisions of the BCA2016 as outlined in 1.2 above. It is not an assessment of the proposal against all provisions of the BCA2016 and if this is required, a separate report will be necessary.

This report does not include nor imply any detailed assessment for design, compliance or upgrading for:

- The structural adequacy or design of the building;
- The inherent derived fire-resistance ratings of any existing or proposed structural elements of the building (unless specifically referred to); and
- The design basis and/or operating capabilities of any existing or proposed electrical, mechanical or hydraulic fire protection services.

This report does not include, or imply compliance with:

- The Disability Discrimination Act (it cannot be guaranteed that that a complaint under the DDA will not be made, however should the building comply with BCA2016 and the Premises Standard then those responsible for the building cannot be subject to a successful complaint);
- BCA2016 Sections B, C, E, F, G, H, I, J, Parts D1 and D2;
- Demolition Standards not referred to by the BCA2016;
- Work Health and Safety Act;
- Construction Safety Act;
- Requirements of other Regulatory Authorities including, but not limited to, Telstra, Telecommunications Supply Authority, Water Supply Authority, Electricity Supply Authority, Work Cover, Roads and Maritime Services (RMS), Roads and Transport Authority, Local Council, ARTC, Department of Planning and the like;
- Conditions of Development Consent issued by the Local Consent Authority; and
- This report does not assess the safety of the particular aspects of the building but merely the minimum standards called up by the Access provisions of BCA2016.

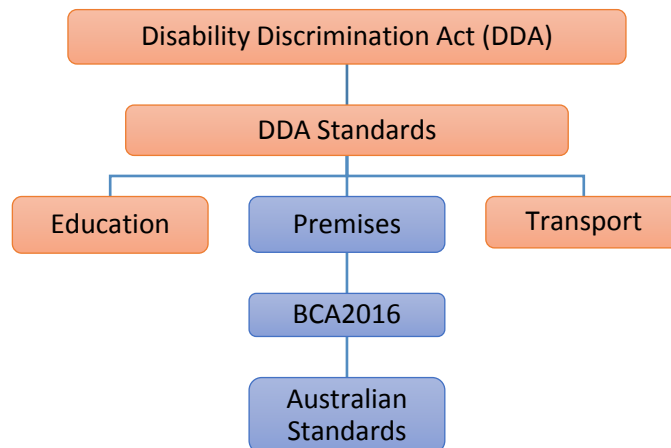
1.4 Federal Disability Discrimination Act (DDA)

Disability is broadly defined and includes disabilities which are physical, intellectual, psychiatric, neurological, cognitive or sensory (a hearing or vision impairment), learning difficulties, physical disfigurement and the presence in the body of disease causing organisms.

All organisations have a responsibility, under the DDA, to provide equitable, dignified access to goods and services and to premises used by the public. Premises are broadly defined and would include all areas included within the subject development.

The DDA applies nationally and is complaint based. While the BCA2016 is recognised as a design standard to satisfy certain aspects of the DDA, compliance with the BCA2016 and the referenced standards does not guarantee that a complaint will not be lodged.

The graph below indicates the current relationship of the BCA2016 to the DDA.



1.5 Disability Access to Premises Standards (Premises Standards)

The aim of the Premises Standards is to provide the building and design industry with detailed information regarding the required access provisions associated with the design and construction of new buildings and upgrade to existing buildings. They do not apply to existing buildings that are not undergoing upgrade. They will only apply to elements addressed within the Standards. All other elements related to premises will still be subject to the existing provisions of the DDA.

The Premises Standards generally align with the BCA2016 and reference a range of Australian Standards relating to access and other associated matters. The Premises Standards aim to provide certainty for the building industry in relation to meeting the requirements for access in new and upgraded buildings.

The relevant provisions of the Premises Standards will apply to a new building if the building is Class 1b, Class 2 (if a new and short term rent accommodation is available) and Classes 3, 5, 6, 7, 8, 9 or 10 buildings.

As a new Class 5 & 7b building are included within this development, the Premises Standards will apply to this building. However, with the requirements of the Premises Standards mirroring the requirements of the BCA2016, compliance under BCA2016 will be equivalent to achieve compliance with the Premises Standards.

1.6 Design Documentation

This report has been based on the Design plans listed in Annexure A of this Report and the Secretary's Environmental Assessment Requirements including Item 20.

2 BUILDING DESCRIPTION

For the purposes of the BCA2016 and Access Code for Buildings (Premises Standards – Schedule 1) the development may be described as follows.

2.1 Classification

Under the provisions of Clause A3.2 of BCA2016, the building has been classified as follows:

Class	Level	Description
5	Single Storey	Office Building
7b	Single Storey	Storage containers
10b	Single storey	Roof structure over waste bins/freezers/gas storage
10b	On water	Pontoons

2.2 Areas Required to be Accessible

Under the provisions of Clause D3.1 of BCA2016, the following areas of the building are required to be accessible:

Level	Area / Room	Description
Single Storey	Class 5 Office	To and within all areas normally used by the occupants
Ground Level	Car Parking	To and within any level containing accessible car parking spaces
On-water	Fixed Pontoon	To and along the pontoon
Single Storey	Class 7b storage	The storage containers are considered exempt under D3.4 therefore no access is required.

Note: The limitations and exemptions of Clauses D3.2, D3.3 and D3.4 of the BCA2016 have been considered where applicable in the process of developing the above table.

3 ACCESS REQUIREMENTS FOR PEOPLE WITH DISABILITIES

3.1 Introduction

The table below is a summary of all the individual elements that relate directly to the ability of a person with a disability to access all the portions of the building required to be accessible as outlined in Part 2.2 of this report.

Accessibility has been assessed against the relevant portions of the BCA2016 & Access Code for Buildings (Premises Standards) and the related Australian Standards for each item listed below.

Compliance has been indicated by using the following symbols:

Symbol	Description
✓	Compliance is achieved, and no further information is required.
✓	Specific details are not provided, but compliance can be readily achieved.
✗	From the documentation provided, compliance is not achieved.

3.2 Building Code of Australia 2016 Assessment Summary (BCA2016)

CLAUSE		COMMENT	STATUS
SECTION D: ACCESS AND EGRESS			
PART D3 - ACCESS FOR PEOPLE WITH A DISABILITY			
D3.0	Deemed To Satisfy Provisions	Noted	-
D3.1	General Building Access Requirements	Class 5 Office: To and within all areas normally used by the occupants. Accessible path of travel is provided to and within the office. Class 7a Car parking: One accessible parking space is provided. Accessible Path of travel is provided to the office building. Class 7b Storage Containers: Refer to D3.4 below. Class 10b Fixed Pontoon: Accessible path of travel is provided from the entry down a series of ramps to the fixed pontoon.	✓
D3.2	Access to Buildings	Class 5 Office: To and within all areas normally used by the occupants. Accessible path of travel is provided from allotment boundary to and within the office. Class 7a Car parking: One accessible parking space is provided. Accessible Path of travel is provided to the office building. Class 10b Fixed Pontoon: Accessible path of travel is provided from the entry down a series of ramps to the pontoon.	✓
D3.3	Parts of Buildings to be Accessible	- Walkways and ramps must comply with clause 10 of AS 1428.1-2009. Ramp to office can readily achieve compliance. - Door circulation space to office entry door can comply with AS 1428.1 subject to modification of ramp to ensure handrail extensions do not	✓

SECTION D: ACCESS AND EGRESS		
	encroach into door latchside clearance (660mm). 1500mm x 1500mm turning space is required to the base of the ramp. This will require removal of FHR. - Door circulation space to all doors within the office can comply with AS 1428.1 subject to modification to reception area. - Accessways must have turning spaces (1540 mm x 2070 mm) within 2m of the end of the accessway and at maximum 20 m intervals along the accessway. Note: Turning spaces must be provided clear of fixtures and fittings. - Ground surfaces are assumed to be concrete or asphalt on the accessible path of travel to and from office and accessible parking space which can readily comply with AS 1428.1. If pavers or the like are proposed, ensure compliance with Clause 7 of AS 1428.1 is achieved. Note: The Access to Premises Standards do not provide the concessions provided in sub-clauses (g) and (h) in this clause, hence compliance with the Access to Premises Standards will require the floor covering (carpet) in the accessible areas to strictly comply with Clause 7.4.1(a) of AS1428.1-2009.	
D3.4	Exemptions Certain areas can be exempted under this clause if pose a health and safety risk for people with disability and /or access would be inappropriate because the particular purpose for which this area is used (e.g. plant rooms, service areas, heavy / toxic item storage, etc.) The following areas within this development have been identified as potential excepted areas, subject to certifier's approval: - Bin storage area and gas bottle storage / ice machines - Storage containers are considered exempt as they are accessed by forklift for movement of heavy/bulky items. - As the storage containers do not require access, the stairs at the bottom of the lease area are not required to be accessible. - The stairs to the loose gravel area are not required to be accessible.	Noted
D3.5	Accessible Parking Car One accessible carparking space to be in compliance with this Clause and AS/NZS 2890.6-2009. Accessible carparking spaces compliant with AS/NZS 2890.6 will require 2400x5400mm plus an adjacent shared zone of 2400x5400mm. Demarcation and accessible signage to comply with AS2890.6. Note: In this instance, as the shared space is in the location of an area used by a forklift and persons accessing the storage containers (similar to a vehicular aisle), the requirement for a bollard is not required. If need be a Crown Certification stage, a Performance Solution can be provided.	✓

SECTION D: ACCESS AND EGRESS			
D3.6	Signage	Braille and tactile signage complying with Specification D3.6 and incorporating the international symbols as appropriate must identify each accessible sanitary facility.	✓
D3.7	Hearing Augmentation	Not applicable.	N/A
D3.8	Tactile Indicators	a) For a building required to be accessible, tactile ground surface indicators must be provided to warn people who are blind or have a vision impairment that they are approaching— (i) a stairway, other than a fire-isolated stairway; and (ii) an escalator; and (iii) a passenger conveyor or moving walk; and (iv) a ramp other than a fire-isolated ramp, step ramp, kerb ramp or swimming pool ramp; and except for areas exempted by D3.4. (b) b) Tactile ground surface indicators required by (a) must comply with sections 1 and 2 of AS/NZS 1428.4.1. TGSI's to be provided in compliance with this Clause, AS1428.4.1-2009 and AS4586 at bottom and top of accessible ramp to office. Ensure installed full tread width, colour contrasting with adjacent surface, slip resistance and 300mm from the ramp edge of stair riser in accordance with AS1428.4.1.	✓
D3.9	Wheelchair seating spaces in Class 9b Assembly Buildings	Not applicable.	N/A
D3.10	Swimming Pools	Not applicable.	N/A
D3.11	Ramps	On an accessway a series of connected ramps must not have a combined vertical rise of 3.6m. Ramps down to waterfront comply.	✓
D3.12	Glazing on an Accessway	On an accessway, where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS 1428.1.	✓
SPECIFICATION D3.6 – BRAILLE AND TACTILE SIGNS			
1.	Scope	Noted	-
2.	Location of Braille and Tactile Signs	The location of braille and tactile signs shall be in accordance with AS1428.1 and Specification D3.6.	✓
3.	Braille and Tactile Sign Specification	All accessible signage to comply with this clause and AS1428.1. Tactile characters to be raised in sentence case with matt finish.	✓
4.	Luminance-contrast	All accessible signage to comply with this clause and AS1428.1. The sign background to have at least 30% luminance contrast with the 5mm width border, tactile characters and braille. Luminance contrast to be measured on the location once installed.	✓

SECTION D: ACCESS AND EGRESS			
5.	Lighting	Braille and tactile signs to be appropriate illuminated, in compliance with this Clause and AS1428.1. The access pathway must have a minimum luminance contrast of 30%, in accordance with AS1428.1.	✓
6.	Braille	Braille must be in accordance with the criteria set out by the Australian Braille Authority.	✓

SECTION F: HEALTH AND AMENITY			
PART F2 – SANITARY AND OTHER FACILITIES			
F2.0	Deemed-to-Satisfy Provisions	Noted	-
F2.4	Accessible Sanitary Facilities (including Table F2.4)	Provide one unisex accessible sanitary facility in the office compliant with AS1428.1 Clause 15 and Figures 43 & 50. An accessible shower is not required however the accessible bathroom with toilet and shower can readily comply with AS 1428.1.	✓

4 STATEMENT OF COMPLIANCE

4.1 General

The design documentation as referred to in this report has been assessed against the applicable provisions of the BCA2016 as outlined in Part 1.2 of this report and it is considered that such documentation complies or is capable of complying (as outlined in Part 3 of this Report) with those documents.

Note: Part 3 of this report provides a detailed assessment of the proposal against all relevant Deemed-to-Satisfy Provisions of the BCA2016. It is important that Part 3 of this report is read and the minor recommendations required to ensure compliance are incorporated into the detailed design stage.

4.2 Dimensions and Tolerances

The BCA contains the minimum standards for building construction and safety, and therefore generally stipulates minimum dimensions which must be met. BCA Logic's assessment of the plans and specifications has been undertaken to ensure the minimal dimensions have been met.

The designer and builder should ensure that the minimum dimensions are met onsite and consideration needs to be given to construction tolerances for wall set outs, applied finishes and skirtings to corridors and bathrooms for example, tiling bed thicknesses and the like which can adversely impact on critical matters such as access for people with disabilities, stair and corridor widths and balustrade heights

4.3 Design Certification

Further due to the level of detail provided at this stage the following items are to form part of a design statement or specification:

General

- 1 Tactile ground surface indicators will be installed at the top and bottom of ramps. Tactile ground surface indicators will comply with Sections 1 and 2 of AS1428.4.1.
- 2 On an accessway where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights or glazing capable of being mistaken for a doorway or opening will be clearly marked and comply with Clause 6.6 of AS1428.1-2009. A solid non-transparent contrasting line not less than 75mm wide is to extend across the full width of the glazing panel. The lower edge of the contrasting line is to be located between 900-1000mm above the plane of the finished floor level. The contrasting line is to provide a minimum of 30% luminance contrast when viewed against the floor surface or surfaces within 2 metres of the glazing on the opposite side.
- 3 All office doorways will have a minimum luminance contrast of 30% in accordance with Clause 13.1 of AS1428.1-2009.
- 4 Fixtures and fittings in accessible sanitary facilities will be provided and installed in accordance Clause 15 of AS1428.1-2009.
- 5 Walkways will comply with Clause 10 of AS1428.1-2009.
- 6 For the walkways, the floor or ground surface abutting the sides of the walkway will be firm and level of a different material to that of the walkway at the same level and follow the grade of the walkway and extend horizontally for a minimum of 600mm, or be provided with a kerb or kerb rail in accordance with Clause 10.2 of AS1428.1-2009.
- 7 Handrails will comply with Clause 12 of AS1428.1-2009.
- 8 Grabrails will comply with Clause 17 of AS1428.1-2009.
- 9 Demarcation will be provided in the accessible car space and adjacent shared zone in accordance with Clause 3.1 and 3.2 of AS2890.6. Refer to Annexure B1 for a diagrammatic explanation.
- 10 Switches and power points in the office will comply with Clause 14 of AS1428.1-2009.
- 11 Floor and ground floor surfaces on accessible paths and circulation spaces including the external areas will comply with Clause 7 of AS1428.1-2009. Any level difference over 3mm must be ramped according AS1428.1 Clause 10.5.

- 12 Braille and tactile signage will comply with BCA2016 Clause D3.6.
- 13 Signage will to comply with Clause 8 of AS1428.1-2009.
- 14 The unobstructed height of a continuous accessible path of travel will be a minimum of 2000mm and 1980mm at doorways.
- 15 Door handles in the office will be in accordance with Clause 13.5 of AS1428.1-2009.

Annexure A**Design Documentation**

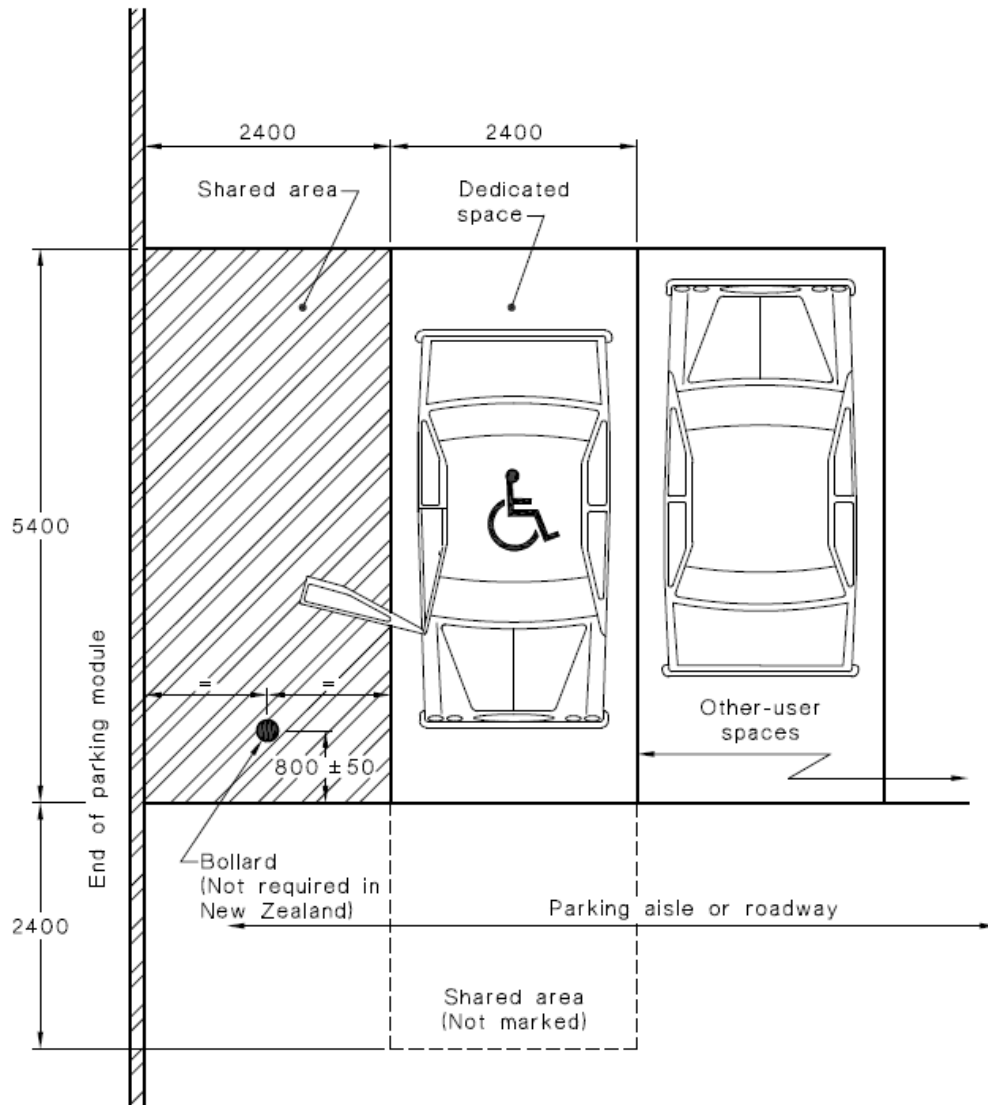
This report has been based on the following design documentation.

Architectural Plans Prepared by Bennett & Trimble, dated 10.05.2017, Project No. 160316		
Drawing No	Revision	Title
S75W-01	-	Context
S75W-02	-	Site Analysis
S75W-03	-	Constraints Plan
S75W-04	-	Site Program
S75W-05	-	Site Plan
S75W-06	-	Landscape Plan
S75W-07	-	Administration Plan
S75W-08	-	Administration Roof Plan
S75W-09	-	North Site Elevation
S75W-10	-	Elevations 1
S75W-11	-	Elevations 2
S75W-12	-	Sections

Annexure B

Figures and Drawings Sample

B 1

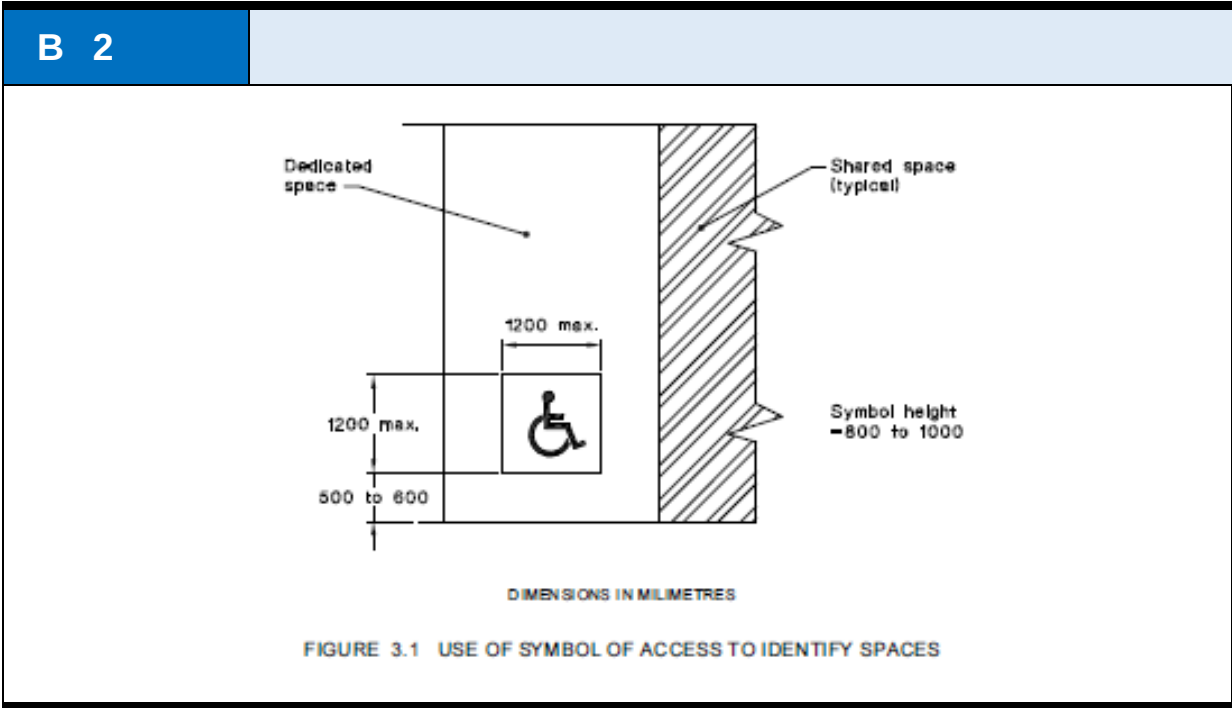


DIMENSIONS IN MILLIMETRES

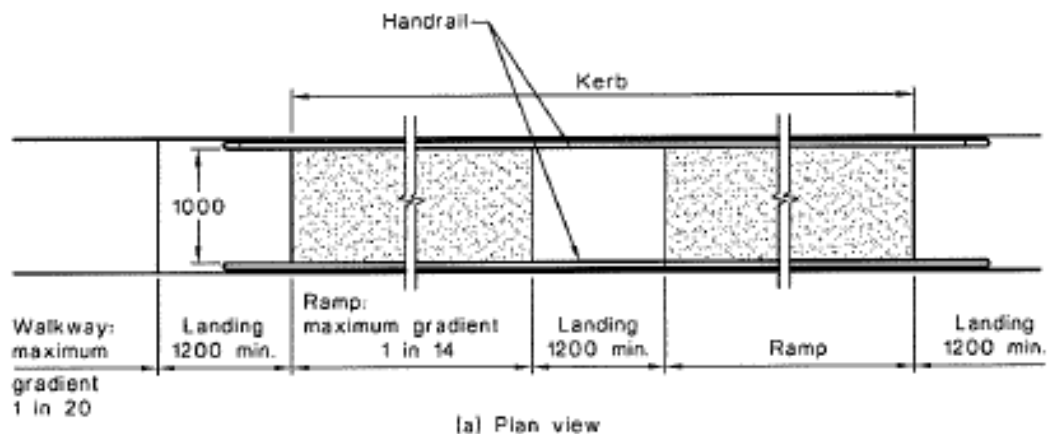
FIGURE 2.2 EXAMPLE OF AN ANGLE PARKING SPACE WITH SHARED AREA ON ONE SIDE ONLY—DIMENSIONS FOR AUSTRALIA ONLY*

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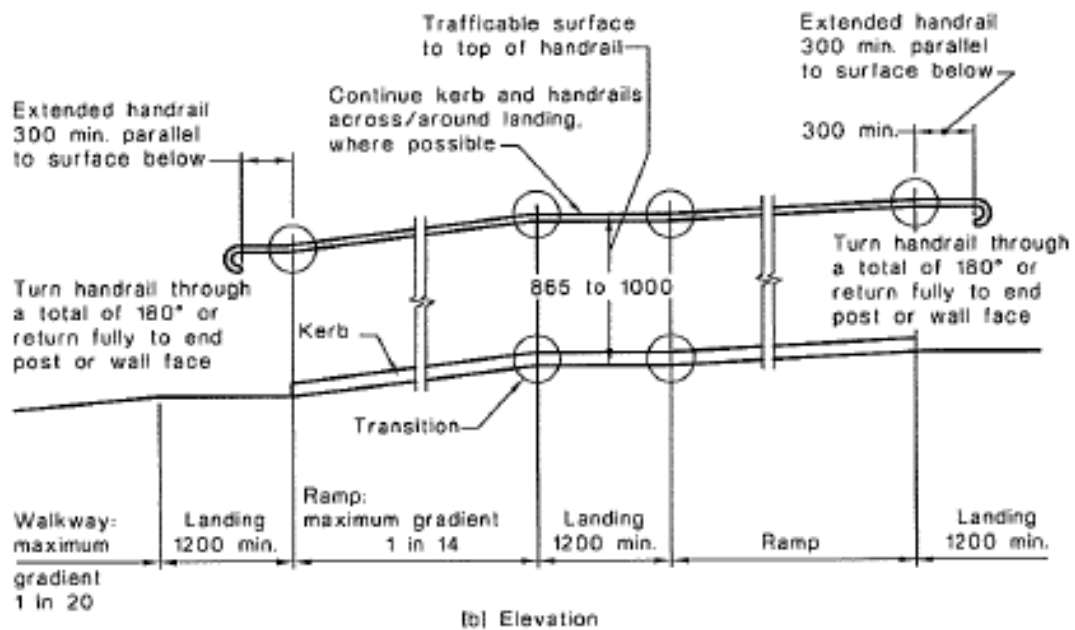
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B 3



(a) Plan view



(b) Elevation

DIMENSIONS IN MILLIMETRES

FIGURE 14 RAMP HANDRAILS

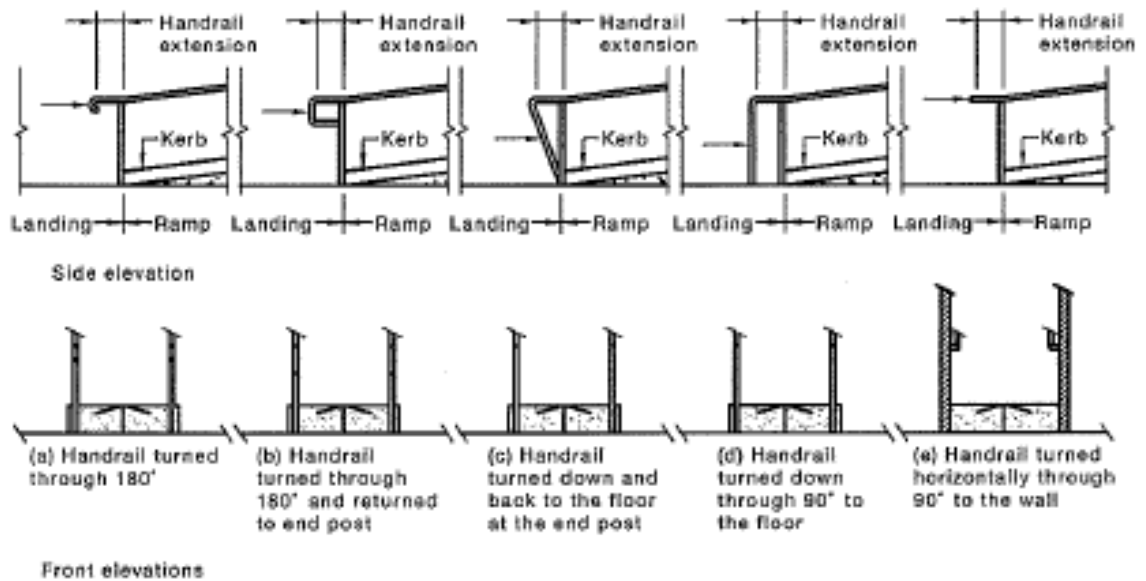
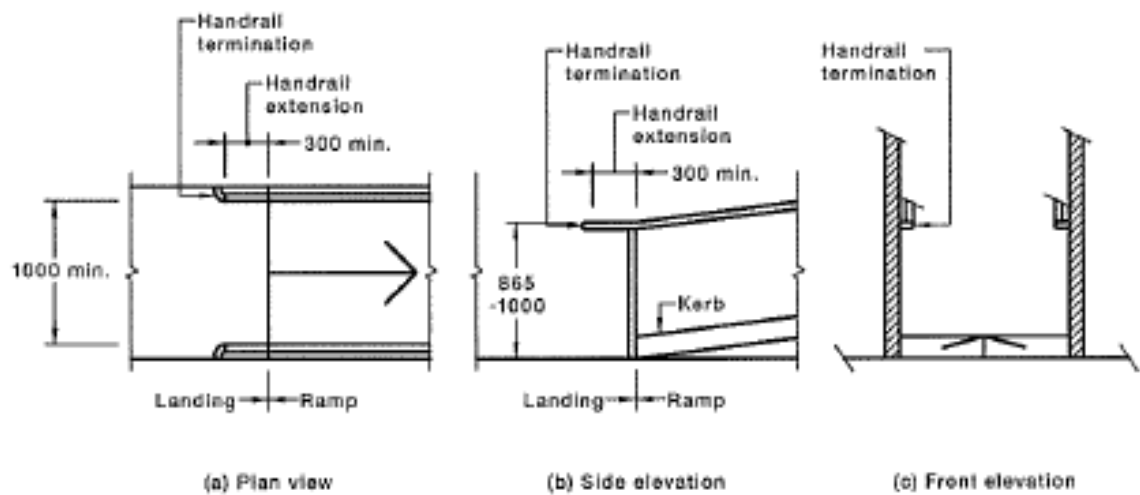
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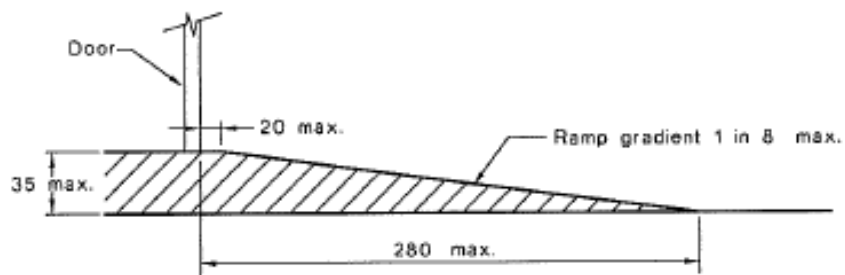
FIGURE 15(A) RAMP HANDRAILS—EXAMPLES OF HANDRAIL TERMINATIONS



DIMENSIONS IN MILLIMETRES

FIGURE 15(B) RAMP HANDRAILS—DETAIL FOR HANDRAILS TERMINATED BY TURNING HORIZONTALLY THROUGH 90° TO THE WALL

B 5



DIMENSIONS IN MILLIMETRES

FIGURE 21 THRESHOLD RAMP