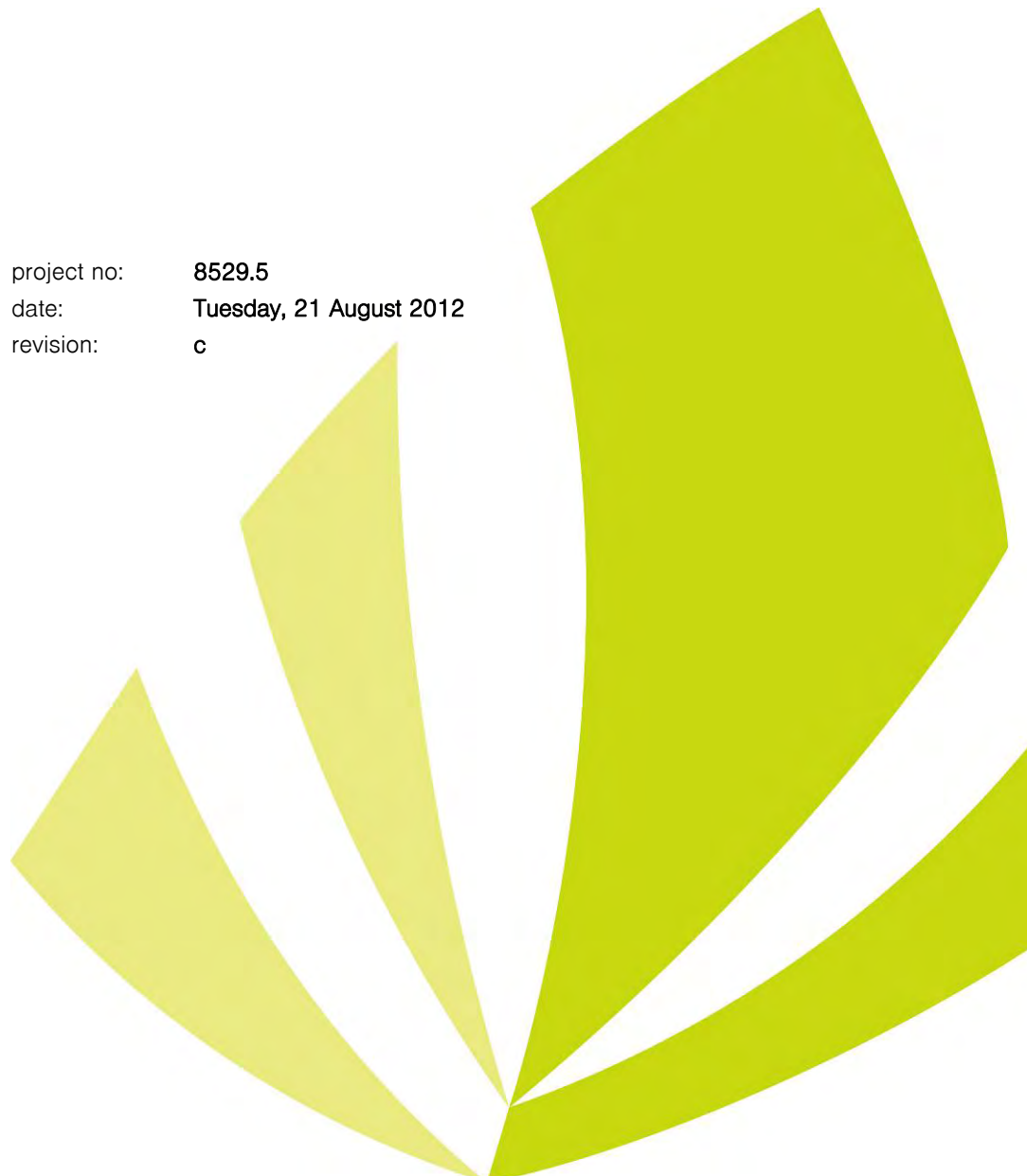




landscape design statement  
**northbank enterprise hub, tomago**

project no: 8529.5  
date: Tuesday, 21 August 2012  
revision: c





date: Tuesday, 21 August 2012  
project no: 8529.5  
to: Northbank Enterprise Hub Pty Ltd, C/- ADW Johnson  
address: 7/335 Hillsborough Road, Warners Bay, 2282  
attention: Mr Craig Mahler

# landscape design statement

## northbank enterprise hub, tomago

### 1. introduction

Terras Landscape Architects was commissioned by ADW Johnson on behalf of Northbank Enterprise Hub Pty Ltd to provide landscape design services for the Northbank Enterprise Hub.

This work has involved undertaking initial site investigations, assisting in the development of the master plan and addressing specific landscape design issues to ensure that environmental and site amenity considerations were integrated into the design process.

The overall aim of the project is to create an industrial subdivision of high quality to serve the growing needs of the local economy and to address the objectives of the Lower Hunter Regional Strategy (DoP, 2006).

This design statement seeks to give a brief overview of the landscape design features of the master plan and to demonstrate compliance with the Director-General's Requirements for Northbank Enterprise Hub (20/10/2010).

### 2. existing site description

The site occupies Lot 1001, DP 1127780, Tomago Road, Tomago and has an approximate area of 239 hectares.

The site is located between the Hunter River, to the west and the new Westrac Facility to the east. The proposed master plan also incorporates an area of land which was the subject of a previous Project Application, referred to as the Redlake Site.

A section of the Tomago Road frontage is taken up by Tomago House, a property owned by the National Trust of Australia (NSW) and which has been listed on the State Heritage Register including an associated chapel and surrounding lands and landscape elements.

The majority of the site is low lying and is described as being an estuarine flat associated with the Tomago Coastal Plain (Matthei, 1995). It once would have been

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covered by a Casuarina/Melaleuca Swamp, however, the vegetation has been substantially removed initially to create improved pastures for grazing and some limited market gardening, although now much of the property has been left without proper management allowing a range of weeds to take over. In addition to clearing, drainage channels were also constructed, many of which still remain, albeit overgrown and congested with grass and weeds. In its current state, this land is subject to inundation arising from its proximity to the Hunter River and the presence of a high water table. There is also a risk of acid-sulphate soils occurring within this area.

The remainder of the site, running parallel to Tomago Road, is elevated being a remnant of a beach ridge and is comprised of free-draining sands. This area contains scattered development and remnant native vegetation and exotic plantings.

### **3. landscape master plan**

The proposed landscape treatment for the site is addressed in Drawings L01-L06 (Terras Landscape Architects, 2012).

The site has been broken into a number of co-ordinated landscape components seeking to provide a cohesive treatment for the subdivision with the aim of creating a strong landscape character that unifies with site and forms an attractive environment for future property owners and users of the site.

#### **entrances**

Three entrances have been created off Tomago Road. These will be required to accommodate the turning movements of large vehicles. In addition to the use of entry features, which will be the subject of future approvals, avenues of *Agathis robusta* (Queensland Kauri Pine) have been used to designate the entries and create a sense of arrival. The trees have been set back from the intersections to allow for essential visibility. The trees will also have supplementary planting of *Doryanthes excelsa* (Gynea Lily) and *Lomandra spp.* (Mat Rush) at ground level to increase the landscape presence at these locations. *Agathis robusta*, although an Australian native, will be the only tree species used that is not locally occurring. (Refer Dwgs L01, L05 and L06.)

#### **street trees**

Street trees have been used to designate a road hierarchy within the subdivision with tall, gum trees (e.g. *Eucalyptus robusta*, *E. punctata*) used for the major ring roads and smaller gums and paperbarks (e.g. *Corymbia gummifera*, *Melaleuca quinquenervia*) being used for the internal roads. In some instances, street trees are located within designated power easements and as such smaller, alternate species such as *Corymbia ficifolia* (Red-flowering Gum) and *Tristaniopsis laurina* (Water Gum) are proposed to reduce long-term maintenance and address statutory requirements. (Refer Dwgs L02, L05 and L06.)

### **northbank riverside park**

This reserve, located between building lots and the Hunter River, is intended to be the major open space for the subdivision providing a range of spaces for active (e.g. soccer, touch football, cricket) and passive (e.g. picnics, reading, sitting) recreational activities. Two major open spaces are created through the use of scattered tree plantings that gradually become more formal forming radiating rings as they move towards the river. To assist in defining these spaces, concrete paths are used to set the limits to these spaces and so encouraging others to keep to the edges when moving from one space to the other and so allowing the activities to remain uninterrupted.

A floating pontoon and connecting ramp is used as the focus for the park enabling visitors to gain access to the Hunter River whilst protecting the fragile riverbank and regenerating mangroves. These structures will be the subject of future engineering and other technical investigations.

Tree species will be a continuation of those used as street trees and along the drainage corridors so as to create a strong link to the more developed parts of the site.

Access to the park is either via a road leading from the first western roundabout or connecting paths that are located along the drainage corridors allowing pedestrians and cyclists traffic-free routes through the subdivision. (Refer Dwgs L03 and L06.)

### **gunner heritage park**

The treatment of this park is governed by the constraints arising from the need to conserve and interpret the significance of the heritage items. To this end the treatment within the park has been kept simple to reflect how the spaces between the gun emplacements and command post would have been established.

The actual treatment of the heritage items and their respective curtilages will need to be developed as part of a conservation management plan for the area, however, it is anticipated that tree planting will be required to the edges to screen views of modern development whilst improving the amenity of the park. If possible, water within the nearby creek will be held to create a water feature further increasing the recreational benefits of the reserve.

As existing levels will need to be maintained, a retaining wall and stairs are proposed which will lead people down and into the park from the ring road. The wall will offer an opportunity to incorporate interpretive material and so conveying the purpose and appearance of the former structures and artillery. (Refer Dwgs L04 and L06.)



SUGGESTED TREATMENT FOR THE WALL



### **drainage corridors**

Generally, the drainage corridors have been located where existing drains have been previously constructed. Their widths have been increased to handle peak flows to cater for 1 in 100 year storm events. This has created an opportunity to provide landscaping to these areas that assists in improving the appearance of the subdivision whilst creating a network of traffic-free, circulation paths for pedestrians and cyclists. It is proposed that local wetland species will be planted in the base of each corridor using rocks to create a creek-like appearance with the low-flow path varying in width and direction. Tree planting will be incorporated into the upper embankments so as not to impede flows and to create a green-belt between allotments. A two metre wide shared cycleway will be provided to one side and located above the 1 in 100 year storm level. Tree and shrub planting will be kept clear of the shared cycleway to enable maintenance vehicles to use the tracks on an occasional basis. (Refer Dwgs L05 and L06.)

### **4. conclusion**

The proposed subdivision should make an important contribution to the local and regional economy providing large areas of developable land for industrial development that is well-located to existing infrastructure and developing markets.

Street landscaping, public reserves and drainage corridors have been designed such that the landscaping integrates all areas and improves the amenity of the development whilst providing a connection to the adjoining natural areas of the Hunter River and Kooragang Wetlands.

### **references**

NSW Department of Planning	<i>Lower Hunter Regional Strategy 2006-2030</i> NSW State Government, 2006
Matthei, L.E.	<i>Soil Landscapes of the Newcastle 1:100 000 Sheet</i> Report, Dept of Land & Water Conservation, Sydney, 1995

# NORTHBANK ENTERPRISE HUB

## LANDSCAPE MASTER PLAN

### CONTENTS

L01 - Landscape Principles & Circulation Diagram

L02 - Landscape Master Plan

L03 - Northbank Riverside Park

L04 - Gunner Heritage Park

L05 - Typical Sections

L06 - Major Plant Selections

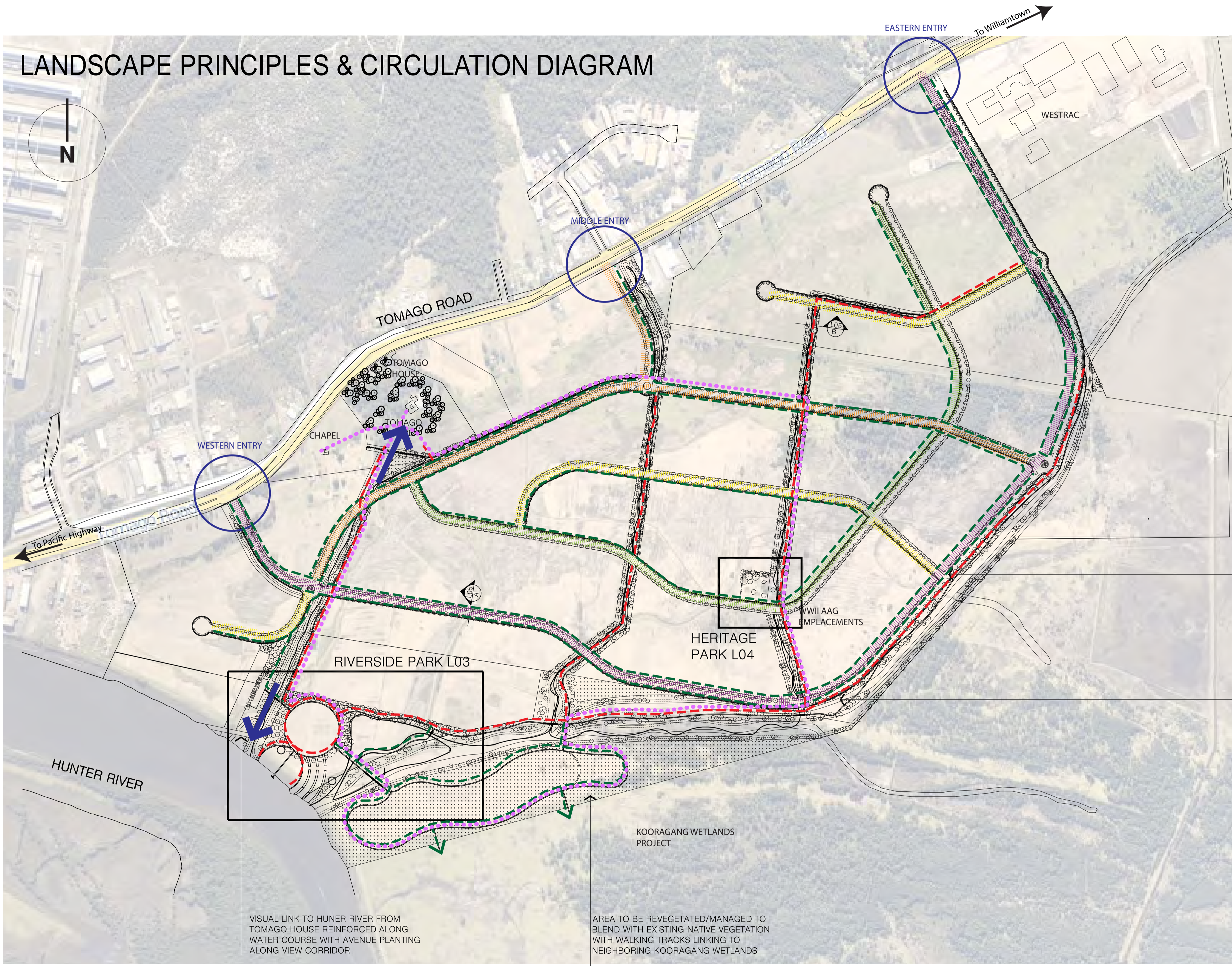
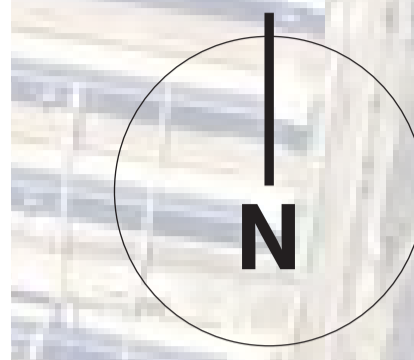
CLIENT: NORTHBANK ENTERPRISE HUB PTY LTD  
PROJECT #: 8529.5  
DATE: 20.08.2012  
REVISION: C



**NORTHBANK**  
ENTERPRISE HUB

2012 08 20 10:00 AM

# LANDSCAPE PRINCIPLES & CIRCULATION DIAGRAM



**LEGEND**

- Estate entries to include signage and feature landscaping (Eg. *Agathis robusta*)
- PRIMARY LINK ROAD: *Eucalyptus robusta*
- SECONDARY LINK ROAD: *Eucalyptus punctata*
- INTERNAL ROAD: *Corymbia gummifera*
- MINOR INTERNAL ROAD: *Melaleuca quinquenervia*

NOTE: All street trees are locally occurring except for entry trees.

- 2m wide recreational cycleway/pedestrian path.
- 1.2m wide pedestrian path.
- Heritage Walk: Linking items of European & natural heritage including directional markers & interpretive signage.

← EXISTING ENVIRONMENTAL AREA TO REMAIN UNALTERED.

← STREET HEIRACHY DETERMINED WITH STREET PLANTING (REF L01)

← DRAINAGE CORRIDORS WITH DRY CREEKS AND AREAS OF STANDING WATER WITH WETLAND PLANTINGS, CYCLEWAYS AND ACCESS PATHS (REF DETAIL A L05)

VISUAL LINK TO HUNTER RIVER FROM TOMAGO HOUSE REINFORCED ALONG WATER COURSE WITH AVENUE PLANTING ALONG VIEW CORRIDOR

AREA TO BE REVEGETATED/MANAGED TO BLEND WITH EXISTING NATIVE VEGETATION WITH WALKING TRACKS LINKING TO NEIGHBORING KOORAGANG WETLANDS

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C	REVISED DA	20/08/12	KM	PW
B	DA SUBMISSION	13/12/10	KS	PW
A	CONSULTANT REVIEW	10/12/10	KS	PW

**NORTHBANK ENTERPRISE HUB**  
TOMAGO, NEW SOUTH WALES

Project	NORTHBANK MASTERPLAN		
	TOMAGO RD TOMAGO		
Client	NORTHBANK ENTERPRISE HUB PTY LTD		

Drawing	LANDSCAPE PRINCIPLES & CIRCULATION DIAGRAM		
Scale	AS SHOWN	Date Printed	2012-08-20
Drawn	KS		
File Name	8529.5-L01-C		
Project Number	8529.5	Drawing Number	L01
Issue			C

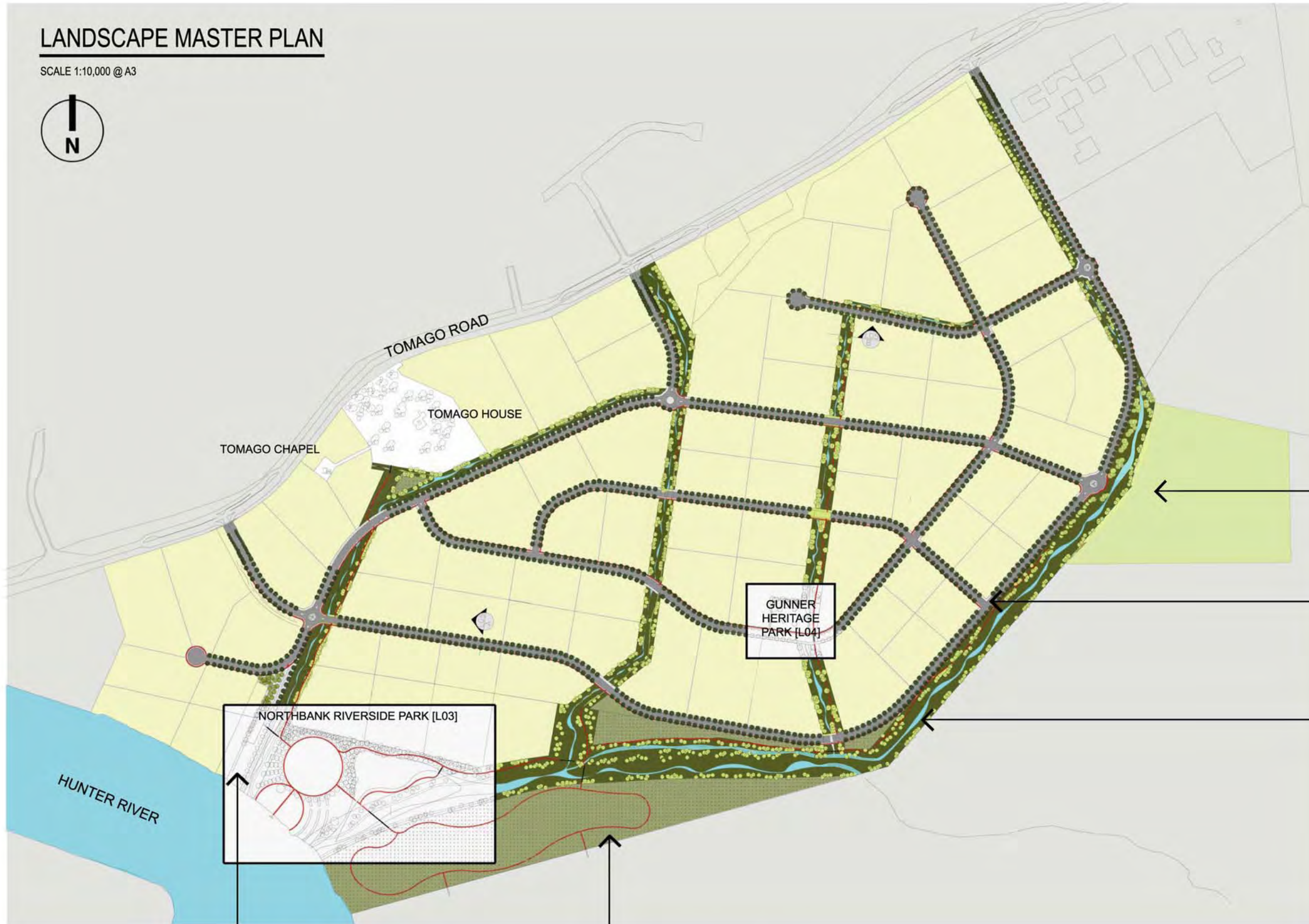
# LANDSCAPE MASTER PLAN

SCALE 1:10,000 @ A3



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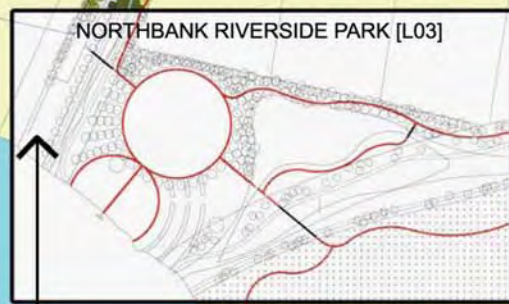
- STREET TREES (REFER L01 FOR SPECIES SELECTIONS)
- DRAINAGE CORRIDORS
- AREAS OF REVEGETATION
- NON-VEHICULAR PATHWAYS
- WATER COURSES



EXISTING ENVIRONMENTAL AREA TO REMAIN UNALTERED.

STREET HEIRARCHY REINFORCED BY TYPE OF STREET TREE PLANTINGS. (REFER L01)

DRAINAGE CORRIDORS COMPRISED OF SIMULATED CREEK BEDS INCLUDING AREAS OF STANDING WATER, SHARED CYCLEWAYS AND MAINTENANCE TRACKS. (REFER DETAIL B/L05)



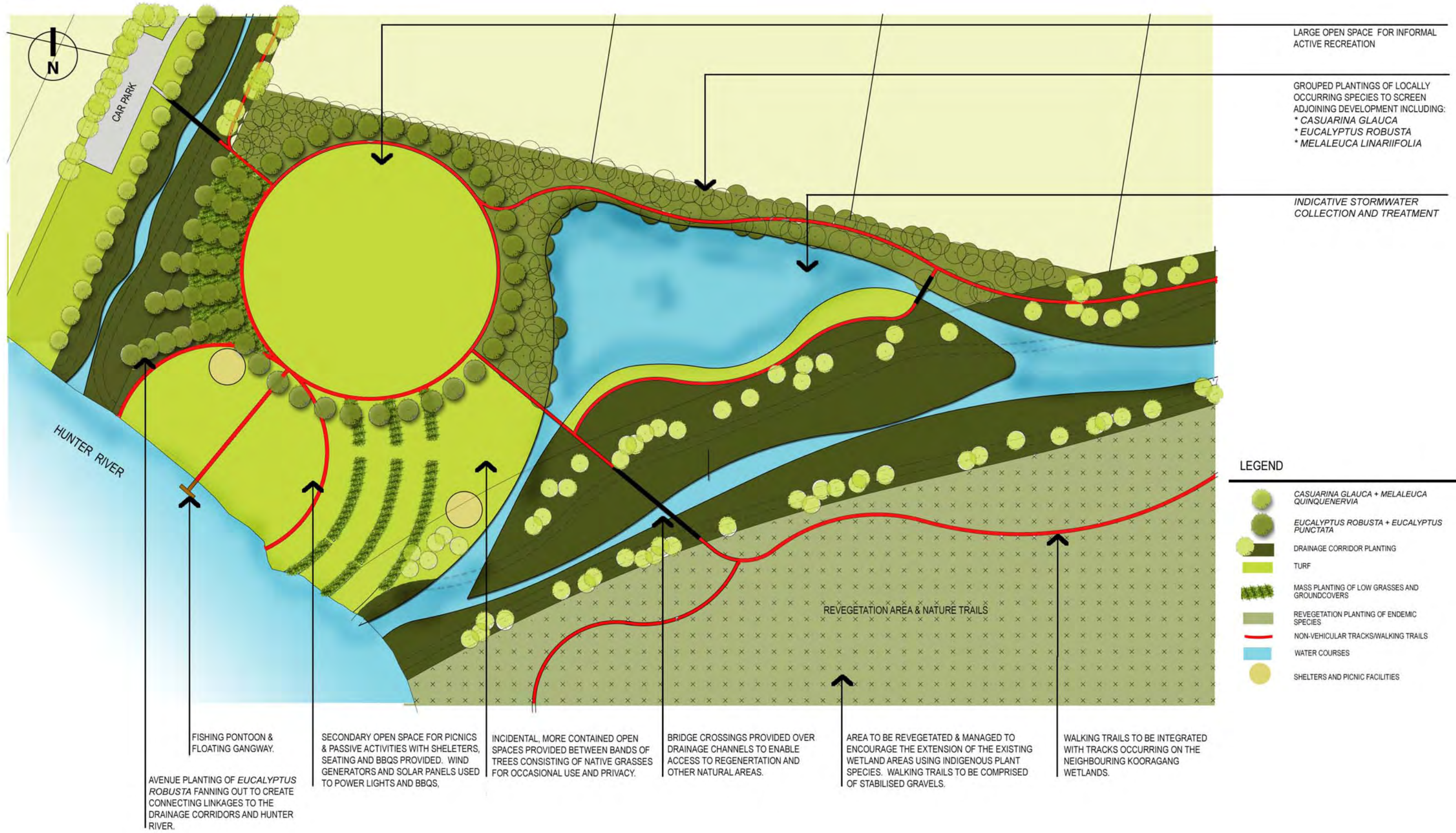
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C	REVISED DA	20/08/12	KM	PW
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A	CONSULTANT REVIEW	10/12/10	KS	PW

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	Drawn KN
	File Name 8529.5-L02-C
	Project Number N21618/8529.5
	Drawing Number L02
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# NORTHBANK RIVERSIDE PARK



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	File Name 8259-5-L03-C	Project Number N21618/8529.5	Issue C
		Drawing Number L03	

**LEGEND**

-  CORYMBIA GUMMIFERA
-  FICUS RUBIGINOSA
-  DRAINAGE CORRIDOR PLANTING
-  MAINTAINED TURF
-  2m WIDE SHARED PATHWAY  
[PEDESTRIANS/CYCLISTS/MAINTENANCE WORKERS]
-  1.2m FOOTPATH/WALKING TRAIL
-  WATERCOURSE/DRAINAGE CHANNEL
-  BOARDED CONC. RETAINING WALL  
[WITH ORDINANCE-STYLE FENCING (ABOVE)  
IN KEEPING WITH HERITAGE THEME]



BATTER DOWN TO LOWER LEVEL TO MAINTAIN EXISTING LEVELS AROUND THE HERITAGE ITEMS WITH SCREEN PLANTING AT THE BOUNDARY TO BLOCK VIEWS OF FUTURE DEVELOPMENT

SHARED PATHWAY MEANDERS ALONG UPPER EDGE OF THE DRAINAGE CORRIDOR EMBANKMENT

LOW FLOW CREEK WITH ROCK EDGING VARIES IN WIDTH AND LOCATION WITHIN THE DRAINAGE CORRIDOR TO CREATE A MORE NATURAL EFFECT

THE CREEK WIDENS AT THIS POINT TO FORM POOLS OF PERMANENT WATER TO IMPROVE THE AMENITY OF THE PARK

REMOVAL OF OVERGROWTH AND CONSERVATION OF HERITAGE ITEMS FOR PUBLIC DISPLAY

OPEN TURF AREA KEPT SIMPLE TO CONVEY HOW THE ORIGINAL SETTING FOR THE GUN EMPLACEMENTS WOULD HAVE OCCURRED

BOARDED CONCRETE RETAINING WALL WITH COARSE AGGREGATE TO MIMIC THE STYLE OF CONCRETE USED DURING WORLD WAR 2 WITH THE AIM OF ESTABLISHING THE FEEL OF AN ARCHAEOLOGICAL DIG.

ORDINANCE-STYLE TIMBER FENCING IN KEEPING WITH THE HERITAGE VALUES OF PARK

DISABLED ACCESS AND MAINTENANCE RAMP

WIDE PEDESTRIAN STAIRS TO ALLOW EASY ACCESS INTO PARK MADE FROM BOARDED CONCRETE TO MATCH THE WALLS. INTERPRETIVE SIGNAGE USED TO CONVEY THE SIGNIFICANCE OF THE SITE.



**GUNNER HERITAGE PARK**



1. EXAMPLE OF ORDINANCE-STYLE FENCING

2. & 3. SUGGESTED WALL TREATMENT TO ROAD BOUNDARY WITH INLAY ELEMENTS AND SILHOUETTES TO CONVEY FORMER USE OF THE SITE.

NOTE:  
INTERPRETIVE SIGNAGE AND DEVELOPMENT OF HERITAGE THEMES ARE TO BE DEVELOPED AS PART OF THE DESIGN DEVELOPMENT PHASE IN COLLABORATION WITH THE PROJECT HERITAGE ADVISER.

PARTS OF THE SITE WILL REQUIRE ADDITIONAL DRAINAGE ESPECIALLY ASSOCIATED WITH THE COMMAND POST BUILDING TO MAKE SAFE AND IMPROVE PUBLIC ACCESS.

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Project NORTHBANK MASTERPLAN TOMAGO RD TOMAGO	Drawing GUNNER HERITAGE PARK - LANDSCAPE PLAN
Client NORTHBANK ENTERPRISE HUB PTY LTD	Scale AS SHOWN
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	Drawn KN
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	Project Number N21618/8529.5
	Drawing Number L04
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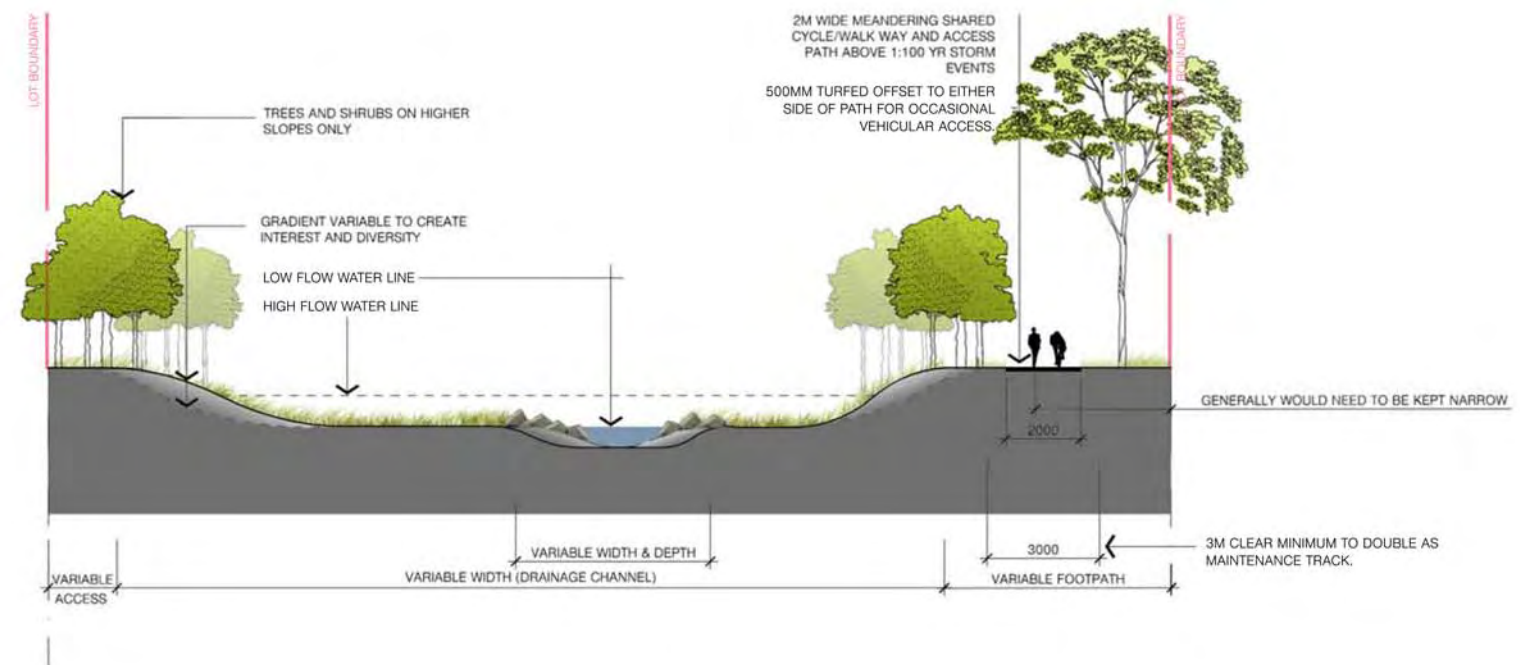
# SECTION AA

## TYPICAL ROADWAY SECTION



# SECTION BB

## TYPICAL DRAINAGE CORRIDOR



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		NTS	2012.08.20
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