



## **Graythwaite Rehabilitation Centre Fourth Avenue, Denistone**

### **Section 75W Modification**

June 2012


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TABLE	DESCRIPTION
1	Proposed Modifications

Job No/ Document No	Description of Issue	Prepared By/ Date	Reviewed by Project Manager/Director	Approved by Project Manager/Director
10171/75W	Draft	MF/12.06.12	CO/13.06.12	  Name: Chris Outtersides Manager - Development
10171/75W	Final	MF/15.06.12	CO/15.06.12	
<b>Note:</b> This document is preliminary unless it is approved by a Project Manager or Director of City Plan Strategy & Development				

## 1 INTRODUCTION

This Report has been prepared by City Plan Strategy and Development Pty Ltd on behalf of Aurora Projects for Health Infrastructure for an amendment to Project Approval MP 10\_0179 pursuant to Section 75W of the *Environmental Planning and Assessment Act 1979* ("EP&A Act"). MP 10\_0179 permits the construction of the Graythwaite Rehabilitation Centre, including:-

- *"Construction of a 3-4 storey, 64 bed rehabilitation centre including ground floor parking for 79 vehicles;*
- *External at-grade parking for 26 vehicles;*
- *New driveways;*
- *Associated landscape works and removal of one street tree; and*
- *Boundary adjustment between Lots 1 and 2 in DP 1137800."*

The application is for modifications to the approved scheme, as outlined in **Section 3** of this report.

The purpose of this report is to describe the above amendments in detail; review the applicable planning regime relating to the proposal; assess the degree of compliance; and where impacts are identified, propose appropriate measures to mitigate any harm to environmental amenity.

**Section 2** of this report provides a detailed description of the site and background information in relation to the existing approval for the site.

**Sections 3 and 4** outline the proposed modifications to the approved Project Application.

**Section 5** assesses the environmental impacts of the proposal, addressing where relevant the applicable statutory context.

**Section 6** concludes that the proposed modifications are reasonable and appropriate and it is recommended that the application be approved.

This report has been prepared in conjunction with the architectural drawings prepared by Nettleton Tribe which can be found at **Appendix 1**.



## 2 SITE DETAILS

### 2.1 The Locality

The site is located within the Ryde Hospital Campus, which is located in the suburb of Denistone, approximately 15 kilometres north-west of the Sydney CBD and within the Ryde Local Government Area. Denistone is predominantly characterised by residential development and pockets of dense bushland.

The locality immediately surrounding the site predominantly consists of low density residential dwellings with a few medium density “villa” style residential developments evident. Refer to **Figure 1** below for an aerial image of the Ryde Hospital locality.



**Figure 1: Locality Plan, Ryde Hospital site outlined in red**

Source: Nearmaps

### 2.2 The Site

The site is located within the Ryde Hospital Campus, which is located in the block bounded by Denistone Road to the east, Florence Avenue to the South, Ryedale Road to the West and Fourth Avenue to the North. The campus is legally described as Lots 1 and 2 in Deposited Plan 113780 and has a total site area of 3,956.20m<sup>2</sup>.

The Ryde Hospital Campus is characterised by a range of institutional buildings of varying styles and scales, with two (2) heritage items located on the site (Denistone House and the "Stables"). The south-western part of the site comprises bushland (refer to **Figure 1**) with buildings concentrated in the north and north-eastern part of the site.

The approved Graythwaite Rehabilitation Centre will be constructed in the northern part of the site, on Lot 1 in Deposited Plan 113780 and will have frontage to Fourth Avenue. All of the existing buildings, the car park and most of the trees shown in the aerial photo in the location of the proposed centre, have been demolished or removed under earlier approvals.

## 2.3 The Surrounding Area

As stated above, the immediate locality is characterised generally by residential development, predominantly detached dwellings with pockets of medium density "villa" style developments.

Immediately adjoining the site to the north is Fourth Avenue, which is a local road. On the northern side of Fourth Avenue are detached dwelling houses. To the west of the Graythwaite site is the Ryde Medical Centre. To the east and south are existing Ryde Hospital Campus buildings.

## 2.4 Existing Approvals

The most relevant approval for the site is the approved Project Application MP 10\_0179 to which this modification application relates. MP 10\_0179 permits the construction of the Graythwaite Rehabilitation Centre, including:-

- *"Construction of a 3-4 storey, 64 bed rehabilitation centre including ground floor parking for 79 vehicles;*
- *External at-grade parking for 26 vehicles;*
- *New driveways;*
- *Associated landscape works and removal of one street tree; and*
- *Boundary adjustment between Lots 1 and 2 in DP 1137800."*

Refer to **Appendix 2** for a copy of this approval.

Demolition of the existing buildings and car park and tree removal on the Graythwaite site were undertaken on the site in 2011 under a separate approval. These works constituted "development without consent" under the provisions of Clause 58 of the ISEPP. The assessment of these works was carried out under Part 5 of the EP&A Act.

Other previous approvals relevant to the site are the two development consents issued by Ryde Council in respect of the Ryde Medical Centre adjoining the site to the west. These consents conditioned the provision of 10 parking spaces for the Ryde Medical Centre, to be provided within the Ryde Hospital Campus, and on the approved Graythwaite site.

### 3 PROPOSED MODIFICATION

#### 3.1 Overview

The application seeks to modify the approved Project Application MP 10\_0179 as detailed in the table below. We note that the following table includes extracts from the modification statement prepared by Nettleton Tribe.

**Table 1 - Proposed Modifications**

Floor / Aspect of the Development	Proposed Modification	Plan reference	Reason for Modification	Cdns to be Modified
Ground floor entry doors and ambulance parking	<ul style="list-style-type: none"> <li>Ambulance parking will now be in a separate bay.</li> <li>Slight modification to the entry driveway to facilitate the new ambulance bay and drop off arrangements.</li> </ul>	Ground floor plan 3717_011 D	The proposed modification will improve pedestrian safety and is considered to result in a better OH&S outcome for patient transfers to and from the Centre. To facilitate the change in the proposed new drop off arrangements, the entry driveway has been slightly reconfigured. These particular modifications are proposed as a result of a request by the hospital user group.	A2
Ground Floor Reception and Admission	Relocated reception and administration from ground level to level 1.	Ground floor plan 3717_011 D & 3717_012 C Level 1 Floor Plan	The glass line at the back of the new ambulance bay has been moved back to accommodate the ambulance off the main driveway.	A2
Ground floor awning	Awning further setback from the street by an additional 2050mm.	Ground floor plan 3717_011 D (although note that this change is	To allow for an easement for drainage from the Ryde Hospital Campus site over the Graythwaite site. Further setback is to	A2

		marked on all of the floor plans)	avoid running the stormwater pipe under the footing for the blade wall.	
Reception desk and patient administration	<ul style="list-style-type: none"> <li>Reception desk and patient administration area has been moved from the ground floor to level 1.</li> <li>The void previously in this location has therefore been filled in and the floor area extended to align with the glass line of the main stair.</li> </ul>	3717_012 C Level 1 Floor Plan	A larger waiting area and a place for patient transfers and admissions was requested by the hospital users to improve functionality. The main stair remains as the architectural focal point and connects all levels of the building. The stair also enables users at level 1 to have a visual connection with the entry doors.	A2
Waiting area at level 1	Extension of the roof over the waiting / reception area at level 1.	3717_013 C Level 2 Floor Plan	To align with the northern face of the stair.	A2
Southern plant room at level 3	The southern plant room layout and size has been amended to better suit the plant and equipment required. The <i>"hot water heaters plant"</i> room has been setback further from the south, and the <i>"air handling plant"</i> room has been extended further south. This brings the two (2) plant rooms into one continuous building line. The whole southern plant has	3717_014 C Level 3 Floor Plan 3717_015 C Roof Plan 3717_021 B Elevations Sheet 1 3717_022 B Elevations Sheet 2	To cater for a larger space required by the large air handling units.	A2

	been subsequently moved slightly north and closer to the northern "pool A/C plant".			
Plant roof	The level of the main plant roof has been raised to match the height of the stair shaft and lift elements. The change in height is from RL 105 to RL 106.7.	3717_015 C Roof Plan 3717_021 B Elevations Sheet 1 3717_022 B Elevations Sheet 2	Raising the roof level of the plant has allowed for plant and equipment height clearances required. Where possible, the parapet has been stepped down to reduce the overall impact of this increase in height.	A2

The proposed modification will not result in any change to the approved development statistics for the project, aside from a minor change to the total GFA, as follows:-

- Approved GFA 4,309.45m<sup>2</sup>.
- Proposed GFA 4,324.25m<sup>2</sup>.

As can be seen in the figures above, the proposed modifications will result in an increase in the total GFA of the Centre by 14.8m<sup>2</sup>. This increase is considered to be minor and not of any material consequence as discussed in **Section 5** of this report.

In addition to the above, we note that whilst the height of the plant will be increased to RL 106.7, the overall height of the development will remain unchanged at RL 106.7.

Furthermore, we note that the proposed modifications will not result in any change to the Statement of Commitments outlined in Schedule 3 of Project Approval MP 10\_0179.

### 3.2 Documentation

This report has been prepared with regard to the architectural drawings prepared by Nettleton Tribe, which accompany the application at **Appendix 1**. As the changes are minor and do not result in any material change to the assessment undertaken by the specialist consultants for MP 10\_0179, no additional supporting documentation is considered to be necessary for this application.



## 4 MODIFIED CONDITIONS

To give effect to the amendments identified in **Section 3** above, the only condition of consent MP 10\_0179 that requires modification is Condition A2, Part A of Schedule 2 - Administrative Conditions.

Condition A2 is quoted below, with the relevant changes marked in red text.

### **"SCHEDULE 2**

#### **PART A. ADMINISTRATIVE CONDITIONS**

##### **A2. Development in Accordance with Plans and Documentation**

*The development will be undertaken in accordance with MP No. 10\_0179 and the Environmental Assessment dated October 2011, prepared by City Plan Services, except where amended by the Response to Submissions and Preferred Project Report dated February 2012, prepared by City Plan Services, and the following drawings:-*

<b>Drawing No.</b>	<b>Revision</b>	<b>Name of Plan</b>	<b>Date</b>
<b>Architectural Drawings prepared by Nettleton Tribe</b>			
AR_3717-DA-001	C	Site Plan	17.02.2012
AR_3717-DA-002	B	Site Analysis	17.02.2012
AR_3717-DA-011	D	Ground Floor Plan	06.06.2012
AR_3717-DA-012	C	Level 1 Floor Plan	06.06.2012
AR_3717-DA-013	C	Level 2 Floor Plan	06.06.2012
AR_3717-DA-014	C	Level 3 Floor Plan	06.06.2012
AR_3717-DA-015	C	Roof Plan	06.06.2012
AR_3717-DA-021	B	Elevations - Sheet 1	06.06.2012
AR_3717-DA-022	B	Elevations - Sheet 2	06.06.2012
AR_3717-DA-031	B	Sections - Sheet 1	06.06.2012
AR_3717-DA-081	B	External Finishes	06.06.2012
<b>Landscape Plan prepared by Site Design Landscape Architects</b>			
11-0282 LP01	D	Landscape Plan	28.07.2011
<b>Civil Drawings prepared by Taylor Thompson Whitting</b>			
101642 SKC01	P4	Site Works Plan	25.05.2011
101642 SKC03	P4	Erosion and Sediment Control Plan	24.06.2011

*except for:*

- *any modifications which are 'Exempt and Complying Development' as identified in State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 or as many be necessary for the purpose of compliance with the BCA and any Australian Standards incorporated in the BCA; and*
- *otherwise provided by the conditions of this approval."*

There are no other conditions that require modification.



## **5 STATUTORY CONTEXT**

### **5.1 Continuing Operation of Part 3A to Modify Approvals**

In accordance with Clause 3 of Schedule 6A of the Environmental Planning and Assessment Act 1979 (*the Act*), Section 75W of the Act as in force immediately before its repeal on 1 October 2011, and as modified by Schedule 6A, continues to apply to transitional Part 3A projects. As the DGR's were issued in respect of this project prior to 8 April 2011 (issued on 1 December 2010), the project is considered to be a transitional Part 3A project.

To this end, this report has been prepared in accordance with the requirements of Part 3A and associated regulations, and approval may be granted under Section 75W of the Act.

### **5.2 Modification of the Minister's Approval**

The modification application is lodged with the Director General pursuant to Section 75W of the Act. Section 75W provides for the modification of a Minister's approval including *"revoking or varying a condition of the approval or imposing an additional condition of the approval"*.

The Minister's approval of a modification is not required if the project as modified will be consistent with the existing approval. However, in this instance, the proposal seeks to modify terms of the approval imposed on the Project Approval, and therefore, approval to modify the application is required.

### **5.3 Environmental Assessment Requirements**

We consider that sufficient information has been provide with this application to enable assessment to be undertaken. The application remains consistent with the key assessment requirements addressed in the original DGR's for MP 10\_0179.

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## 6 ENVIRONMENTAL ASSESSMENT

### 6.1 Overview

The relevant statutory context addressed in the original EA and subsequent PPR and the Director General's assessment report remains largely unchanged. Where any changes to the assessment undertaken are relevant, discussion is provided in the following sections of this report.

We consider that the following outlines the key issues for the proposed modifications:-

- Building height;
- Visual Impact;
- Overshadowing;
- Heritage; and
- Parking.

### 6.2 Building Height

The proposal includes an increase in height of the northern and southern plant rooms located at Level 3 of the Centre from RL 105 to RL 106.7. This will result in an increase in height of these plant rooms by an additional 1.7 metres.

Increasing the height of the plant rooms will allow for the required clearances for the plant and equipment that will be accommodated within. The proposed height of these rooms will match the approved height of the stair shaft and lift overrun at RL 106.7. To this end, the overall height of the Centre will not be increased. Rather, the perceived "bulk and scale" of Level 3 will be increased, by virtue of the plant room changes. Consideration of the potential impacts of this increase in bulk and scale of Level 3 is undertaken in the following sections of this report.

### 6.3 Visual Impact

As discussed in **Section 6.2** above, the height of the main plant roof has been increased to RL 106.7 to match the approved height of the stair shaft and lift overrun.

The issue of visual impact as a result of "height" was raised by the Council and two (2) residents in the original application and was subsequently responded to in the PPR submission. The height of the Centre at a maximum of RL 106.7 was considered to be appropriate for the site and its context in the determination of MP 10\_0179.

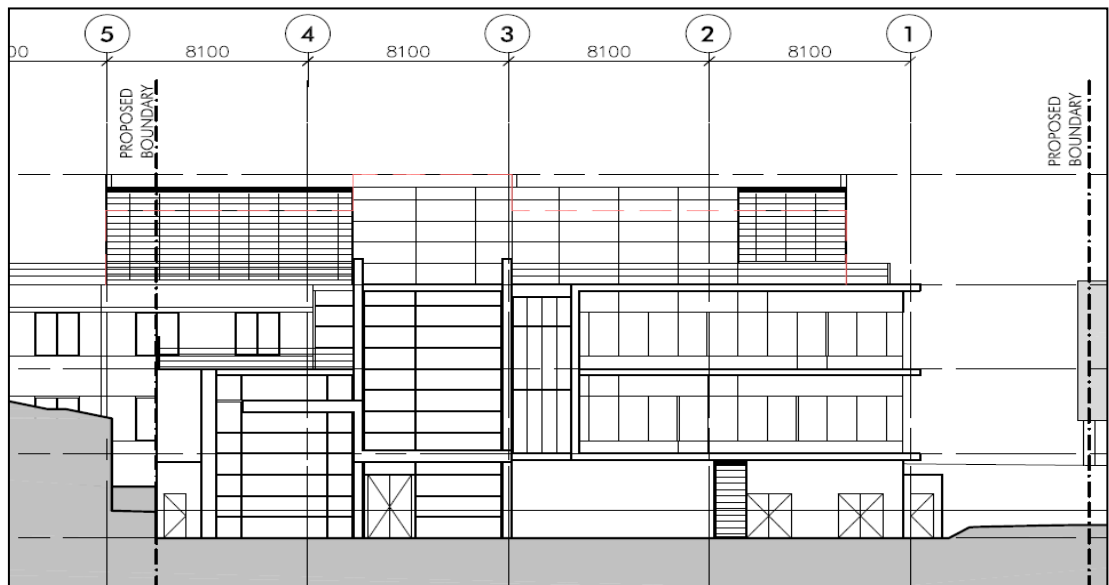
Whilst the overall height of the Centre will remain unchanged, the bulk and scale of level 3 will be marginally increased to accommodate the enlarged plant. To this end, consideration of the potential visual impact of these changes is undertaken below:-

- There are no height controls applicable to the site and the hospital campus includes buildings ranging in height of up to four (4) storeys in scale, at a height greater than RL 106.7.
- The proposed height of the plant at RL 106.7 has already been set as a precedent for the Centre by the approved height of the stair shaft and lift overrun.
- As can be seen in the figures below, the proposed changes to the approved plant will not result in any material change in the Centre when viewed from Fourth Avenue / the north.



**Figure 2 - Northern Elevation (Approved)**

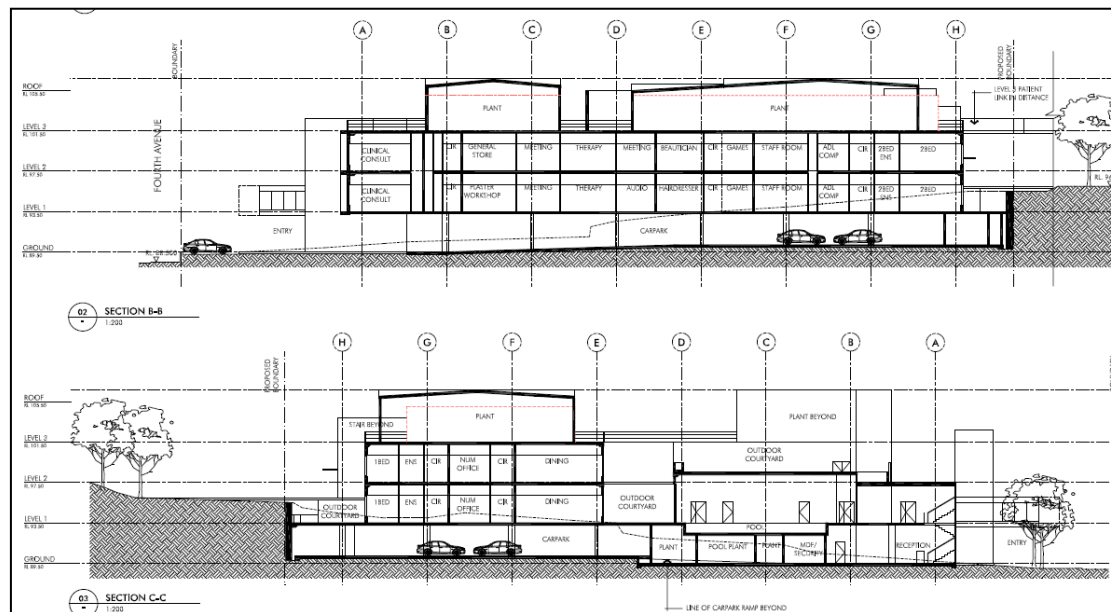
Source: Nettleton Tribe, Appendix 1



**Figure 3 - Northern Elevation (Proposed)**

Source: Nettleton Tribe, Appendix 1

- The eaves gutter line to the plant is some 600mm below the plant ridge line at RL 106.1 due to the fall in the roof. The visual bulk and scale of the enlarged plant is minimised in this respect. Refer to **Figure 4** below.



**Figure 4 - Sections (outlined of approved plant illustrated by red line)**

Source: Nettleton Tribe, Appendix 1

- Where possible, the parapet has been stepped down to further reduce the visual bulk and scale of the enlarged plant (refer to west and east elevations at **Appendix 1**).
- The enlarged plant will not result in any significant increase in the "appearance" of a fourth level to the Centre with the plant maintaining the additional five (5) metre setback from the northern building line of level 2 below. The Centre will still maintain a part 3, part 4 storey appearance when viewed externally from the site.
- The portion of the plant that is proposed to be enlarged is setback from Fourth Avenue and maintains a smaller footprint than level 2 below and setbacks to all site boundaries.

Further to the above, we refer to the photomontages prepared by Nettleton Tribe which clearly demonstrate that the visual impact of the proposed modifications is minor. The reduction in the size of the awning will result in a minor reduction in the "scale" of the Centre when viewed from Fourth Avenue. The enlarged plant will be partially screened by mature trees that will be implemented as a result of the landscape plan approved under MP 10\_0179 and the setback of the plant from "level 2" will aid in mitigating the potential visual impact of the enlarged plant, when viewed from street level.





**Figure 5 - Approved Centre - Photomontage 1**

Source: Nettleton Tribe



**Figure 6 - Proposed Photomontage 1, changes circled in red**

Source: Nettleton Tribe, Appendix 1



**Figure 7 - Approved Centre - Photomontage 2**

Source: Nettleton Tribe



**Figure 8 - Proposed Photomontage 2, changes circled in red**

Source: Nettleton Tribe, Appendix 1

For the reasons identified above, we consider that the proposed modifications will not result in any material change to the bulk and scale of the approved Centre and will therefore not result in any adverse visual impact on the surrounding locality.

#### 6.4 Overshadowing

To assess the potential impact of the increased height and change in layout / size of the plant rooms, shadow diagrams have been prepared by Nettleton Tribe at **Appendix 1**.

The shadow diagrams clearly demonstrate the additional shadow that will be cast as a result of the proposed modifications. Refer below for an extract of these shadows:-





**Figure 9 - Shadows - Winter Solstice (additional shadow cast by proposed modifications in red)**

Source: Nettleton Tribe, Appendix 1



**Figure 10 - Shadows - Equinox (additional shadow cast by proposed modifications in red)**

Source: Nettleton Tribe, Appendix 1



With regard to the above, we comment as follows:-

- Due to the location of the site and the orientation and siting of the Centre, the proposed enlarged plant will not result in any overshadowing on any residential allotments.
- The additional shadow during the equinox period is negligible.
- The additional shadow during mid-winter is considered to be minor due to the orientation of the Centre and the fast moving nature of shadows. Whilst a slight additional shadow will be cast to the Ryde Medical Centre at 9:00am, this shadow will be gone by midday. Equally, the additional shadows cast on the surrounding Ryde Hospital Campus site will move swiftly, with an appropriate level of solar access maintained during mid-winter. The northern outdoor terraces to the Centre will maintain solar access at all hours between 9:00am and 3:00pm.
- With regards to internal solar access, we understand that the proposed modifications will not result in any reduction in solar access to the sleeping areas ("beds") of the Centre.

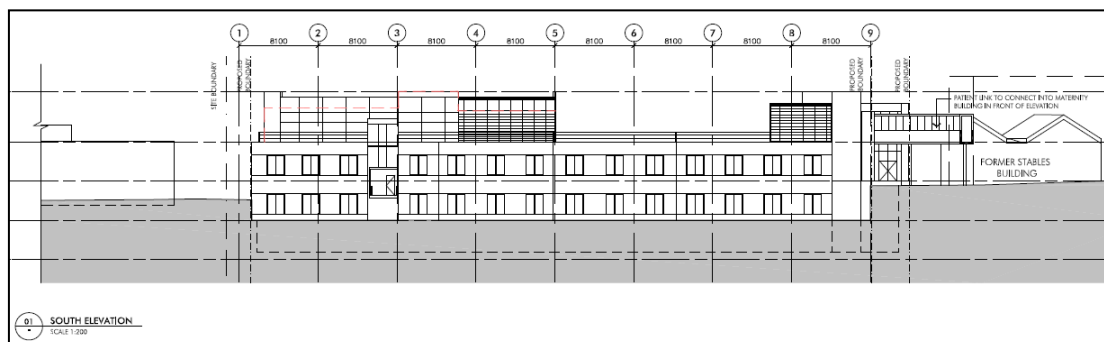
Having regard to the above, we consider that the proposal will not give rise to any adverse overshadowing impacts, with no overshadowing to surrounding residential premises and no unacceptable overshadowing impacts to surrounding health buildings.

Refer to **Appendix 1** for a copy of the shadow diagrams prepared by Nettleton Tribe.

## 6.5 Heritage

As discussed in **Section 2.2** of this report, the site contains two (2) heritage items, being Denistone House and the former "Stables" building.

The approved Centre will be constructed to the west of the Stables and to the north-west of Denistone House. As the Stables building is the item in closest proximity to the Centre, we refer to the following figure which depicts the relationship between the Stables and the Centre.



**Figure 11 - Southern Elevation**

Source: Nettleton Tribe

In assessing the impact of the proposed modifications on these heritage items, we would comment as follows:-

- The heritage impact assessment undertaken by Graham Brooks and Associates for the original application did not raise any objection to the Graythwaite Rehabilitation Centre in relation to Denistone House, due to its physical and visual separation from the Centre by a series of intervening buildings. As the overall height of the Centre will not be increased, and the siting and general bulk and scale of the Centre will remain largely unchanged, we consider that the physical and visual separation of the heritage item to the Centre will be maintained and therefore, do not anticipate that the heritage significance or setting of Denistone House will be adversely impacted upon.
- Despite the fact that the Centre will be seen as a background element in views to the former Stables from the east, the aforementioned assessment did not consider the views from the former Stables building to be *"an inherent part of the heritage significance of this item"* and considered the scale to be *"sympathetic"* as it *"is consistent with that of the existing hospital development in the vicinity of the former Stables"*. The distance of the part of the building that is sought to be amended under this application is separated from the former Stables building by at least 40 metres and will not result in any building height above that of other approved elements. The additional plant area will be visible when viewing the former Stables building from the east, but this change will not dominate the heritage item, nor its setting. The relationship between the item and the Centre will remain largely unchanged. To this end, we consider that the proposed modifications to the plant will not result in any adverse impact on the former Stables building or its setting.

With regards to the above, we consider that the proposed modifications are appropriate and will not result in any adverse impact on the heritage significance of the items on the Ryde Hospital site or their setting.

## **6.6 Traffic and Parking**

The proposal will result in a minor change to the approved driveway from Fourth Avenue, the drop off configuration at the frontage of the Centre, and a separate ambulance bay will be provided at the frontage. These changes are minor and will result in an increased functionality of this area. No further consideration of traffic and parking matters is considered necessary.

## 7 CONCLUSION

The proposed modifications involve relatively minor changes to the approved Centre, with the most significant change being the enlargement of the approved plant rooms at level 3. This report has addressed the potential impacts that may arise from the modifications and it is concluded that no adverse impact will result.

The proposed modifications represent a considered response to the spatial requirements of the plant and equipment for the Centre and the feedback from the hospital user group and ultimately improve the functionality of the Centre.

The proposed modifications are generally consistent with the terms of approval, does not change the site's suitability for the development and have been adequately justified in this report in response to the site constraints and practicalities of the construction of the development.

The assessment of the modified proposal does not reveal anything that materially alters the conclusions of the assessment undertaken in the Project Application, EA and PPR for this project and the Department's assessment of the original application. We therefore conclude that it is reasonable and appropriate for this application to be approved.

In light of the above benefits of this project and in the absence of the any adverse environmental impacts the application is recommended for approval.

## **APPENDIX 1**

### Architectural Plans

1 PROPOSED DRIVEWAY CROSSING

3 LANDSCAPING TO LANDSCAPE ARCHITECT'S DETAILS

4 PROPOSED DRIVEWAY CROSSING

5

6

7

8

9

TREE TO BE REMOVED  
PROPOSED DRIVEWAY CROSSING  
EXISTING DRIVEWAY

EXIT FOR RMC

EXIT

LANDSCAPING TO LANDSCAPE ARCHITECT'S DETAILS

PROPOSED DRIVEWAY CROSSING

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING DRIVEWAY

4 EXTERNAL CAR SPACES  
SHARED  
5400  
2400

ENTRY

AWNING ABOVE

outline of previous  
existing shown dotted

EXIT

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING DRIVEWAY

COMMUNITY MENTAL HEALTH

BUILDING OUTLINE ABOVE

MAIN SWITCH ROOM

GENERATOR ROOM

STAIR

LOBBY

SPRINKLER VALVE ROOM

POOL PLANT ROOM

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LOBBY

POOL PLANT ROOM

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1:20 RAMP

1:40 RAMP

STAIR

LOBBY

SPRINKLER VALVE ROOM

POOL PLANT ROOM

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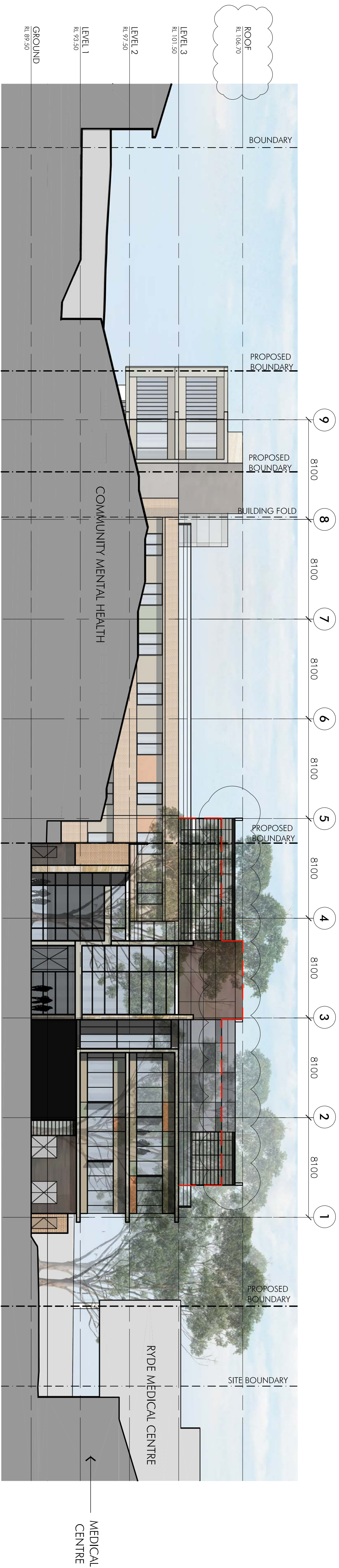




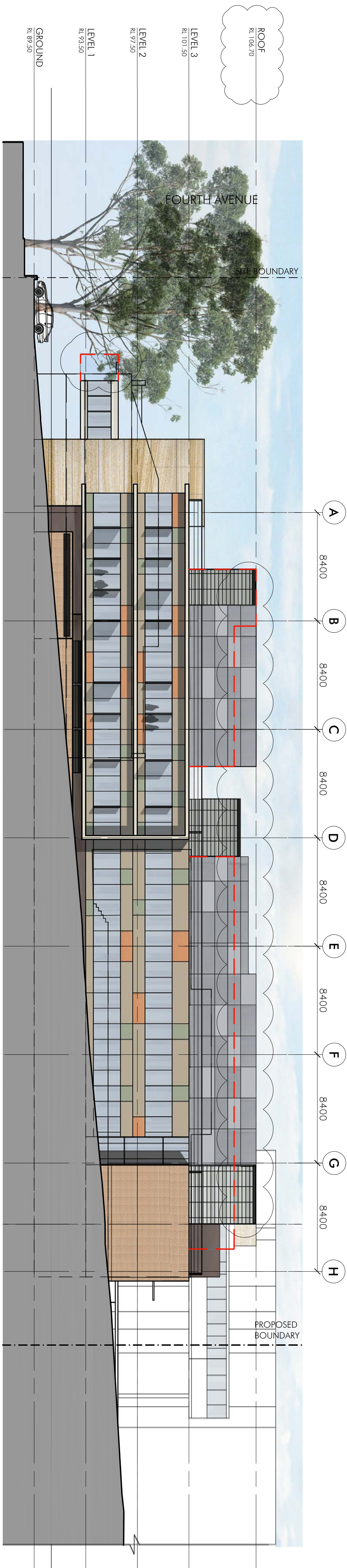








01 NORTH ELEVATION  
SCALE 1:200

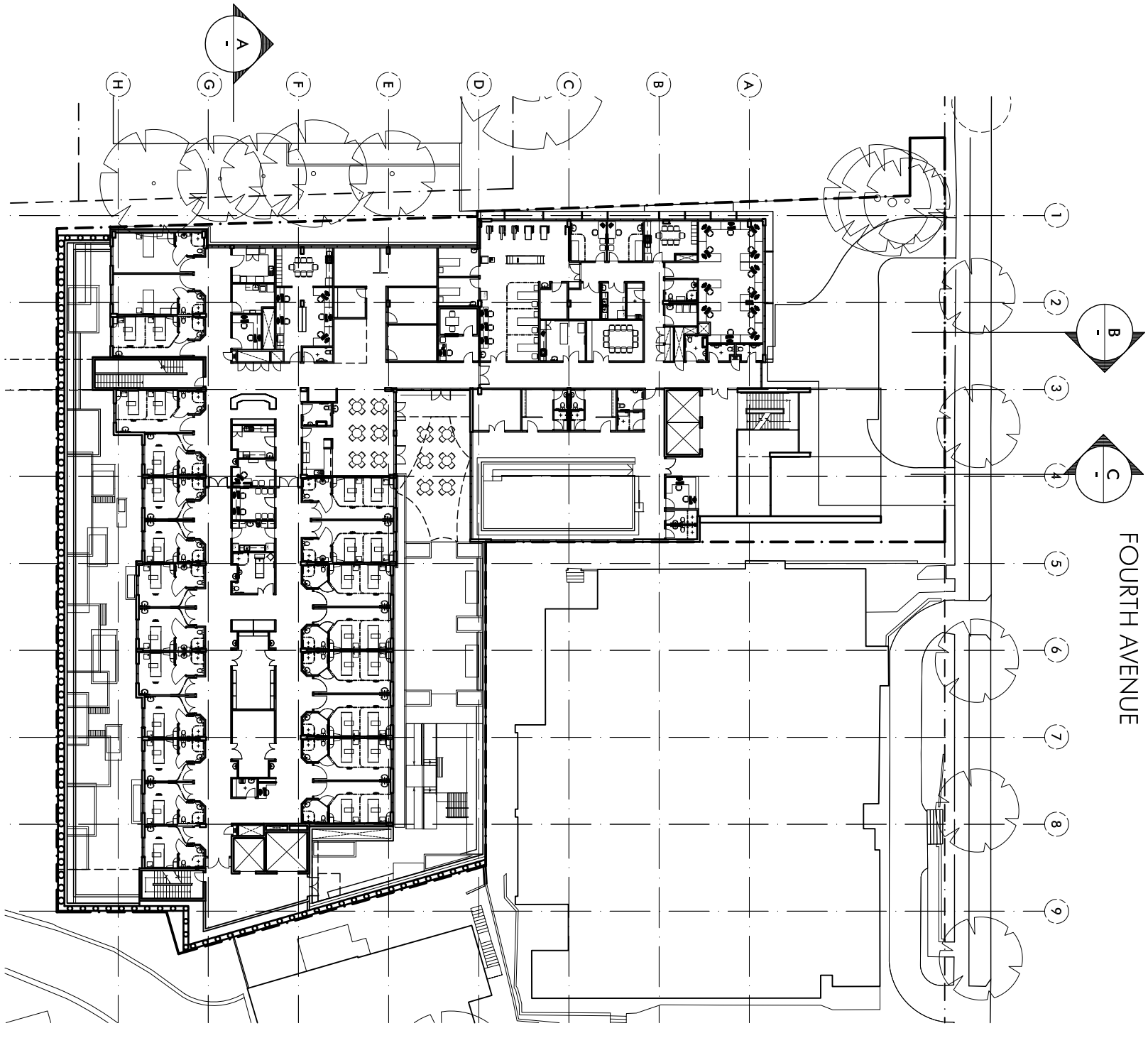
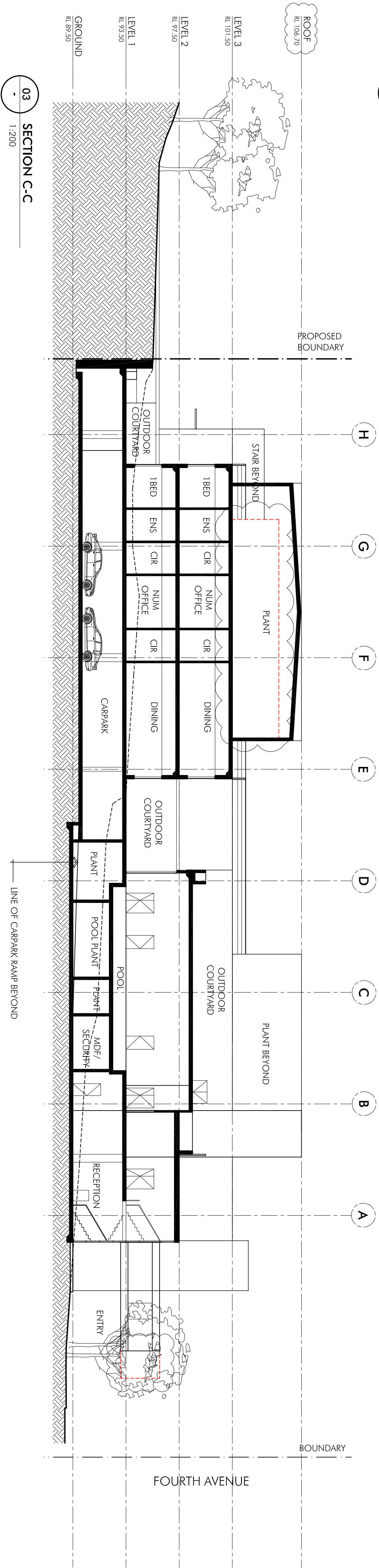
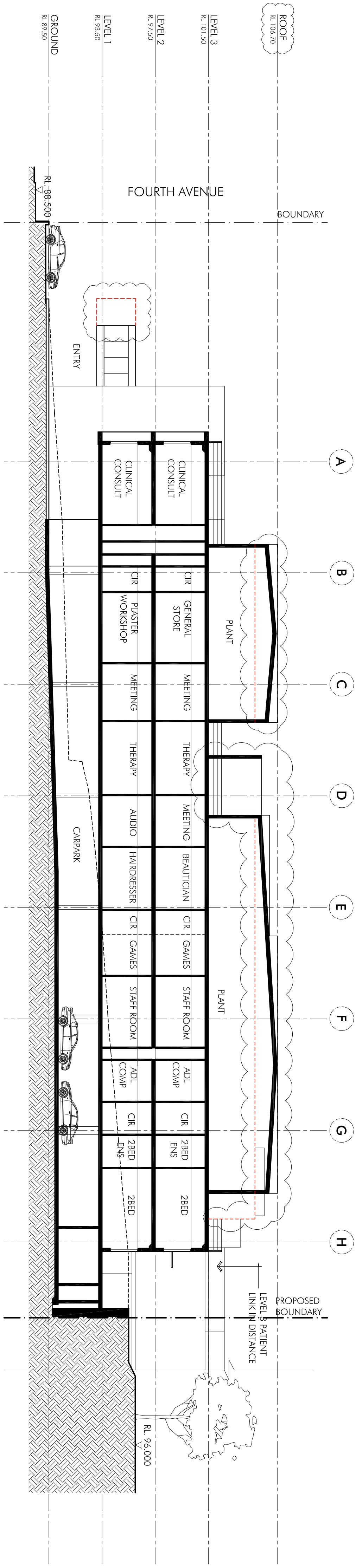
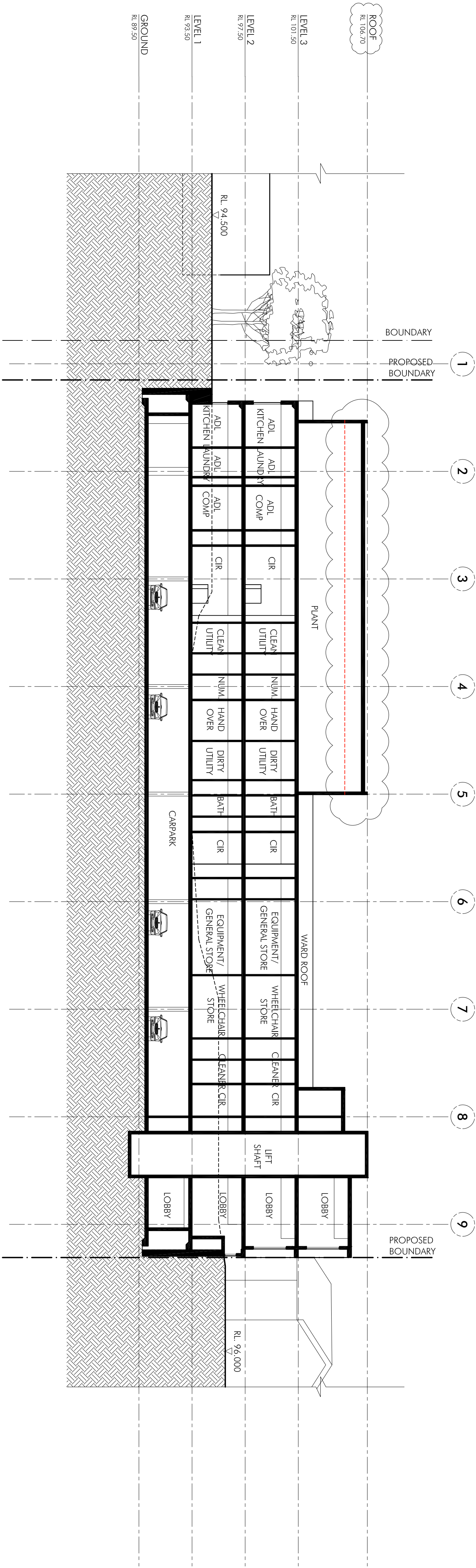


02 WEST ELEVATION  
SCALE 1:200









1 Reference Plan - Level 1  
1:500



Grayhwaite Rehabilitation Centre  
Ryde Hospital  
Sydney, NSW

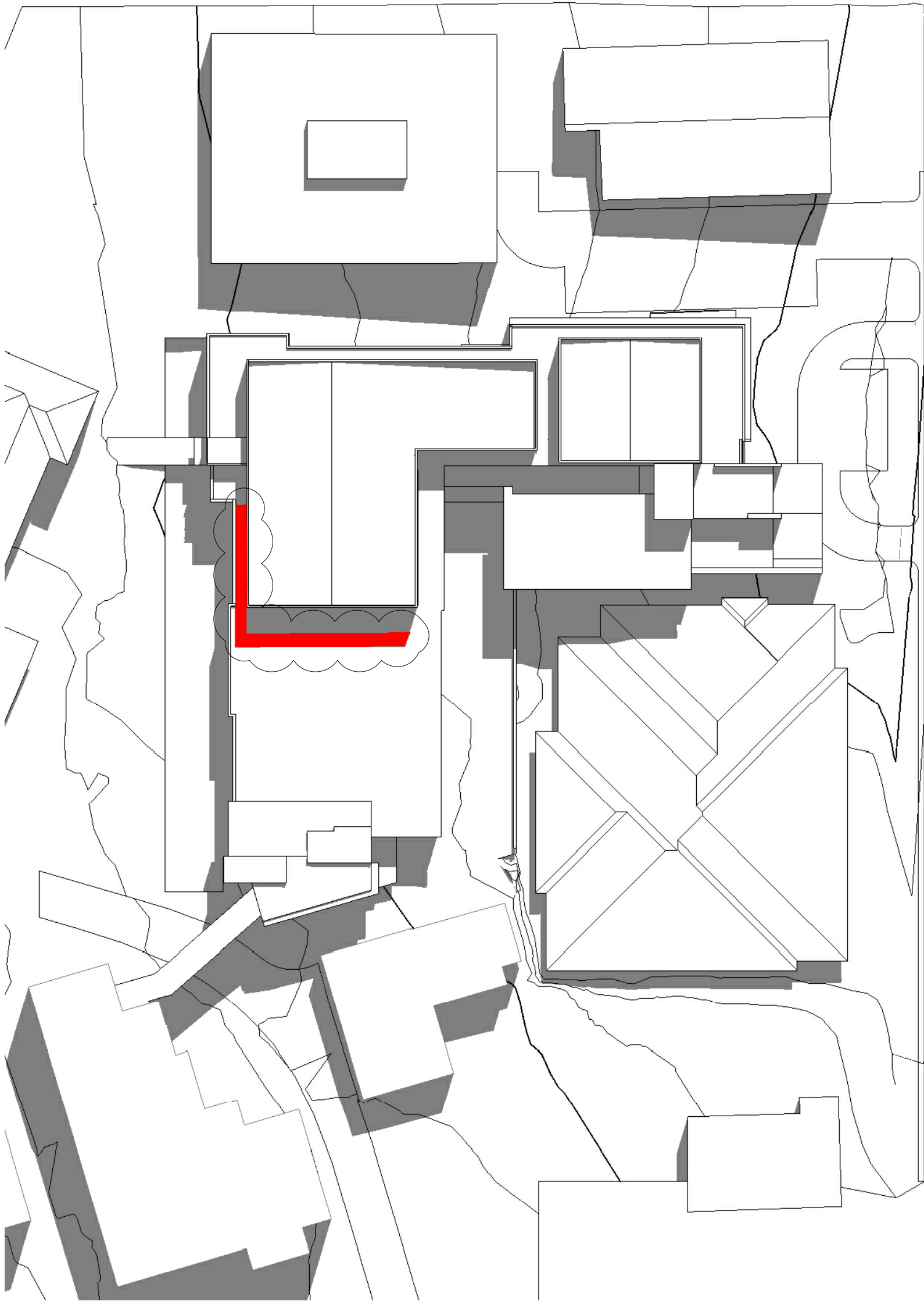
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3717-DA-031

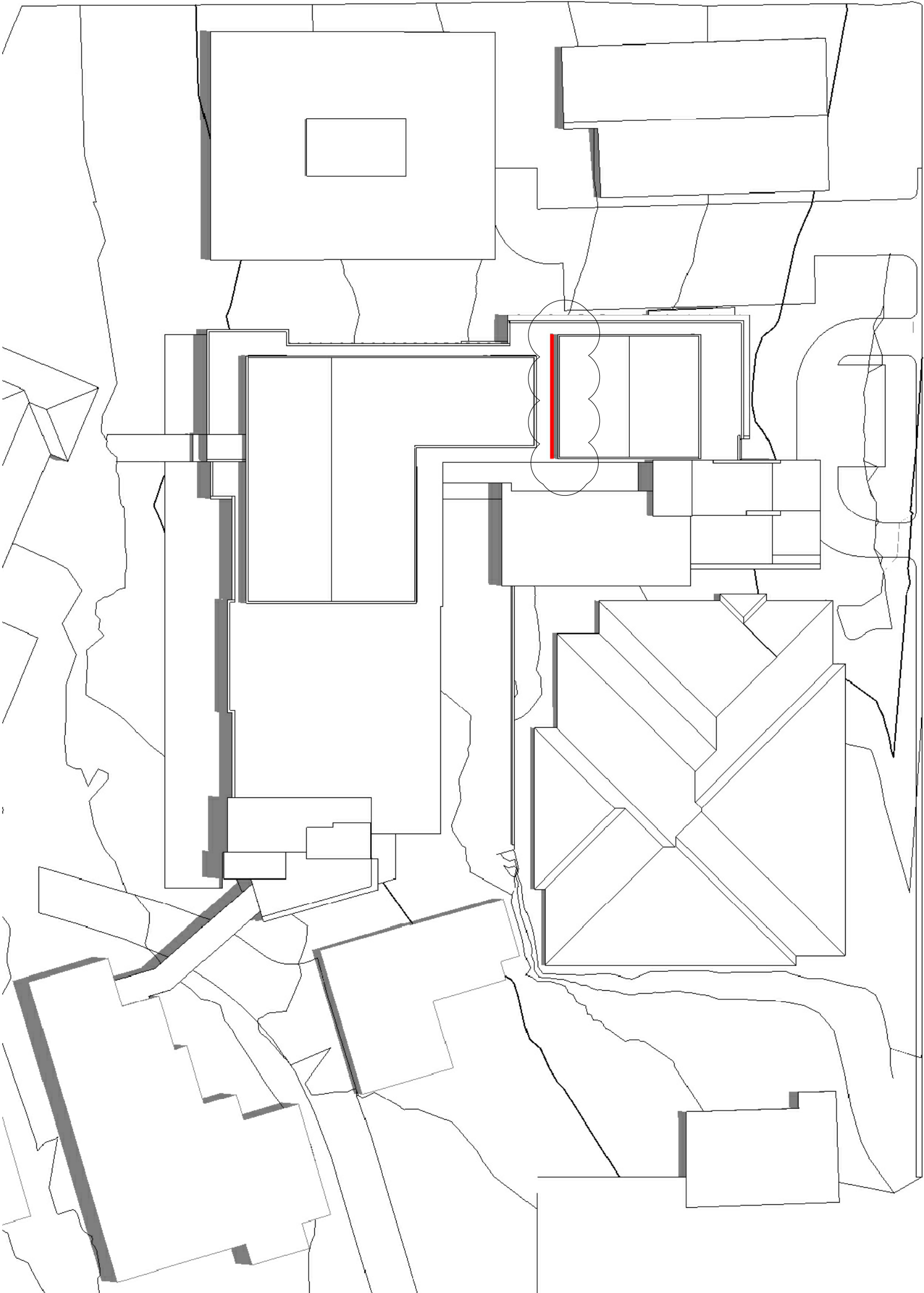




01 SHADOWS SUMMER SOLSTICE-9AM  
- NTS



03 SHADOWS SUMMER SOLSTICE-3PM  
- NTS



02 SHADOWS SUMMER SOLSTICE-12PM  
- NTS



Grayhwaite Rehabilitation Centre  
Ryde Hospital  
Sydney, NSW

Revisions		Date
01	Initial design	31.05.11
A	Final 3D View	10.06.11
B	Final Room/Viewing Arrangements	06.06.12

Shadows - Summer Solstice

nts @A1

06.06.12

3717-DA-041

50m

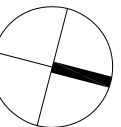
Title

Scale

Date

Number

0 5 10



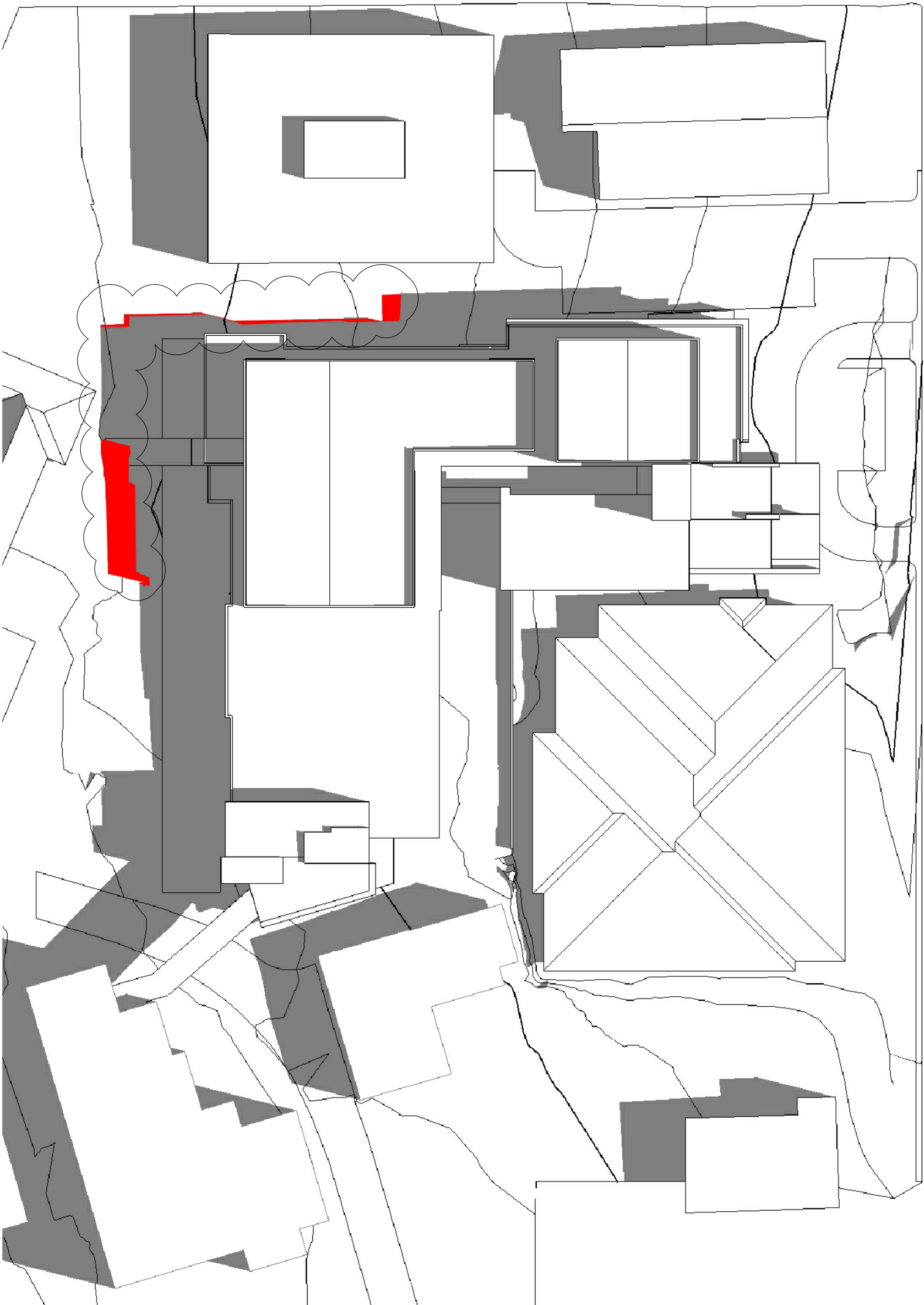




01  
-  
NTS  
WINTER SOLSTICE-9AM



03  
-  
NTS  
WINTER SOLSTICE-3PM



02  
-  
NTS  
WINTER SOLSTICE-12PM



Grayhwaite Rehabilitation Centre  
Ryde Hospital  
Sydney, NSW

Issue		Revisions	Date
P1	Refinement	Issue	31.05.11
A	Final SA Issue		10.06.11
B	Minor Revisions/Amendments		08.06.12

Shadows- Winter Solstice

nts @A1

23.05.12

3717-DA-042

Title

Scale

Date

Number

0

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10

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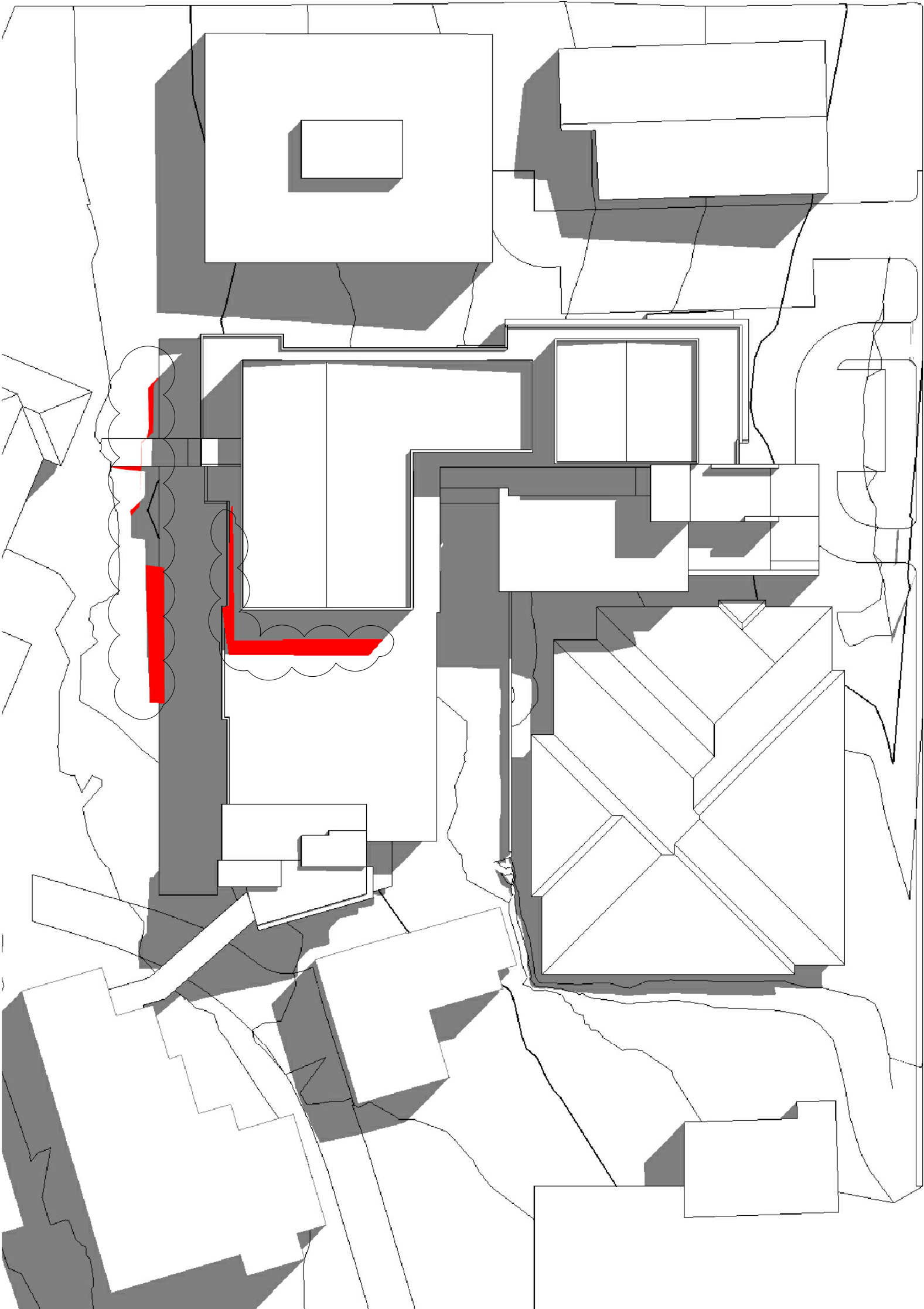
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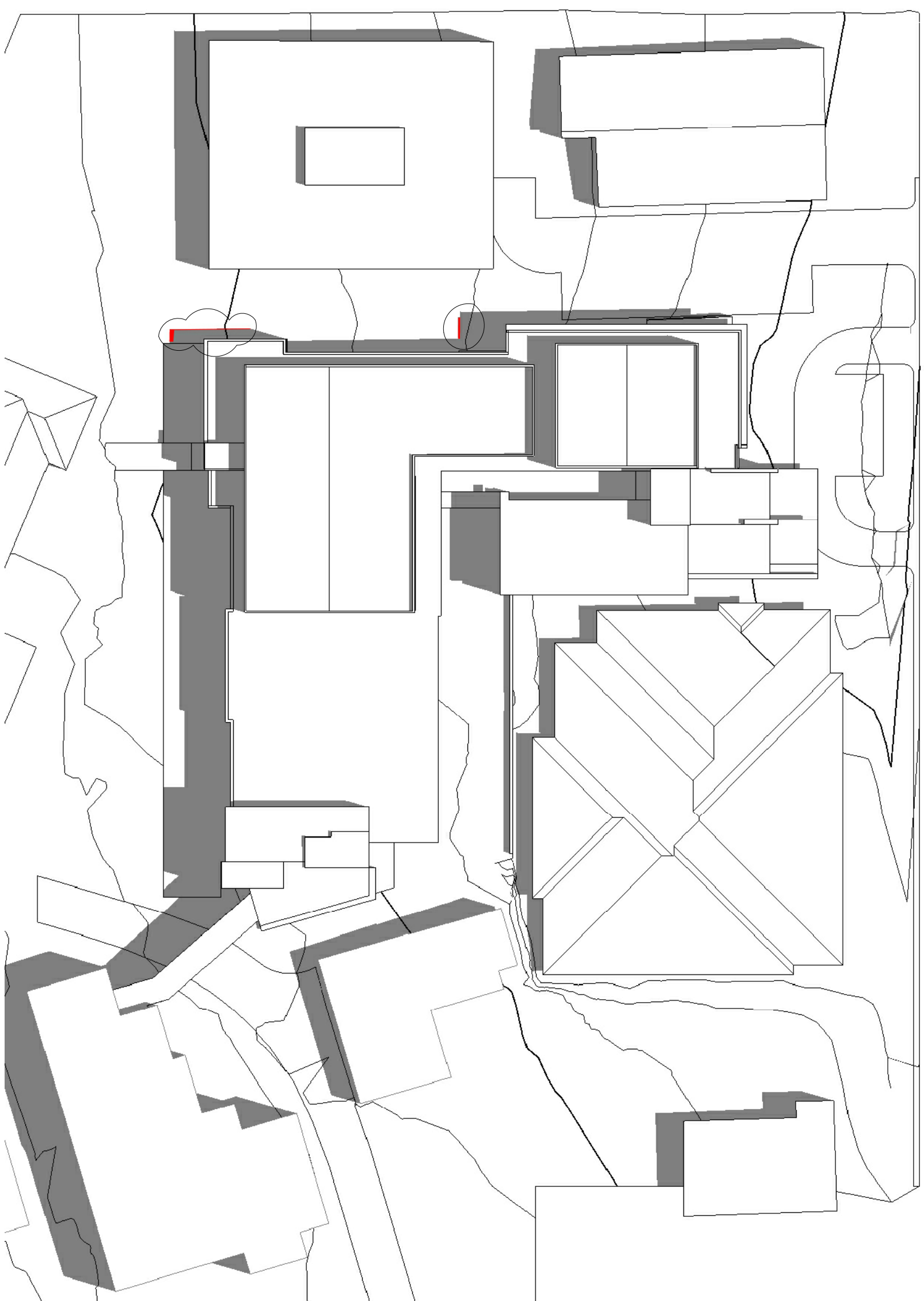




01 SHADOWS EQUINOX-9AM  
- NTS



03 SHADOWS EQUINOX-3PM  
- NTS



02 SHADOWS EQUINOX-12PM  
- NTS



Grayhwaite Rehabilitation Centre  
Ryde Hospital  
Sydney, NSW

Revisions		Date
01	Initial design	31.05.11
A	Final 3D View	10.06.11
B	Final Room/Building Arrangements	06.06.12

Title

Scale

Date

Number

0 5 10

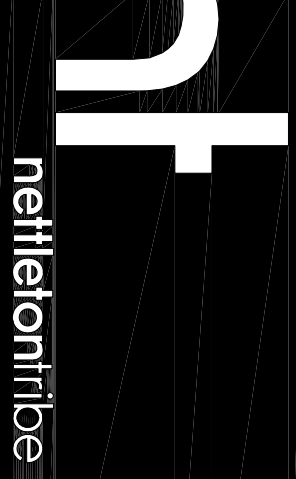
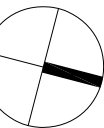
Shadows - Equinox

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06.06.12

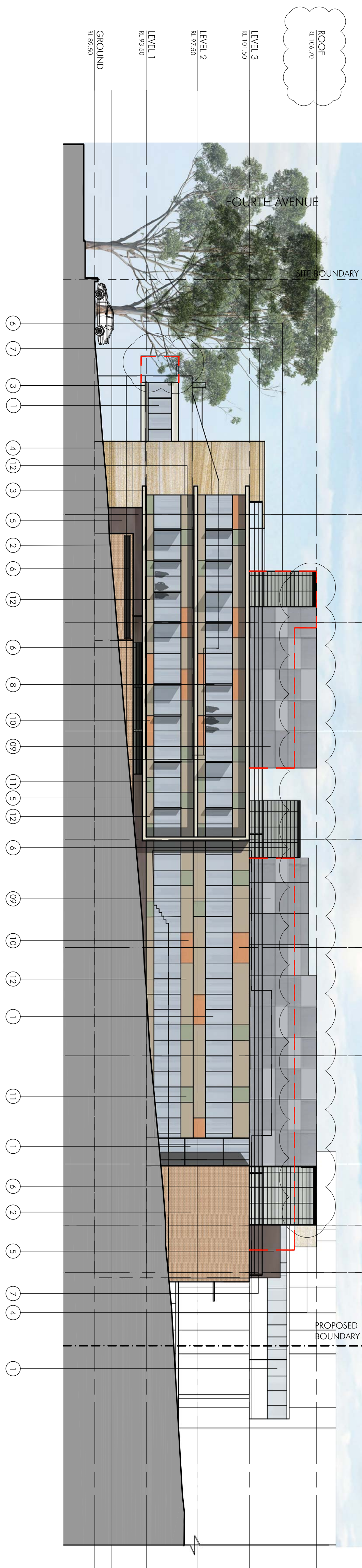
3717-DA-043

50m



netleion tribe partnership Pty Ltd ABN 58 1 681 322  
117 Willoughby Road, Roseville NSW 2058  
02 9231 6231 f 02 9439 7474  
c Sydney@netleiontribe.com.au w netleiontribe.com.au





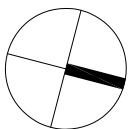
## FINISHES LEGEND

1	GALZING - GREY
2	BACKWORK - SEMI-MAT LAYER
3	ALUMINUM COMPOSITE PAINTING - ANODIZED LOOK-3
4	SUNSTONE - SMOOTHT TITLE, MEDIUM BROWN
5	MAGNETIC STONE - QUARTZITE
6	LOUGHES ANODIZED FRAME
7	METAL BACKLASH ANODIZED FRAME
8	- SATIN CHROME GREY
9	METAL SUSHIDE ANODIZED FRAME - SATIN CHROME GREY
10	METAL WALL PAINTING - COPEL PLANT
11	METAL WALL PAINTING - COPEL RESIN
12	METAL WALL PAINTING - WEST GREEN
	METAL WALL PAINTING - STONE

Issue	Description	Date
P1	Preliminary Issue	20.05.11
A	Part 3A Issue	10.06.11
B	Plant Room and Awning Amendments	18.06.12

Title	
Scale	
Date	
Number	
<b>External Finishes</b>	
	1 : 200 @A1
	18.06.12
	<b>3717-DA-081</b>

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Graythwaite  
Rehabilitation  
Centre





## **APPENDIX 2**

Consent MP10\_0179



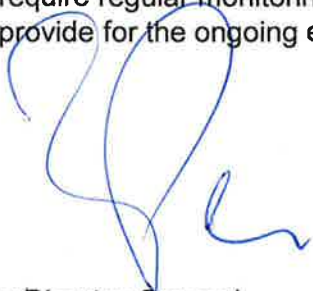
# Project Approval

## Section 75J of the *Environmental Planning & Assessment Act 1979*

As delegate of the Minister for Planning under delegation executed on 14 September 2011, effective from 1 October 2011, I approve the project application referred to in Schedule 1, subject to the conditions in Schedule 2 and Statement of Commitments in Schedule 3.

These conditions are required to:

- prevent, minimise, and/or offset adverse environmental impacts;
- set standards and performance measures for acceptable environmental performance;
- require regular monitoring and reporting; and
- provide for the ongoing environmental management of the project.



Deputy Director-General  
Development Assessment & Systems Performance  
Department of Planning and Infrastructure

Sydney

22 April

2012

### SCHEDULE 1

<b>Application No.:</b>	MP10_0179
<b>Proponent:</b>	Health Infrastructure
<b>Approval Authority:</b>	Minister for Planning & Infrastructure
<b>Land:</b>	Ryde Hospital, Denistone Lots 1 and 2 in Deposited Plan 1137800
<b>Project:</b>	Graythwaite Rehabilitation Centre, including: <ul style="list-style-type: none"><li>• Construction of a 3-4 storey, 64 bed rehabilitation centre including ground floor parking for 79 vehicles;</li><li>• External at-grade parking for 26 vehicles;</li><li>• New driveways;</li><li>• Associated landscape works and removal of one street tree; and</li><li>• Boundary adjustment between Lots 1 and 2 in DP 1137800.</li></ul>

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## DEFINITIONS

In this approval,

**Act** means the *Environmental Planning and Assessment Act, 1979* (as amended).

**Advisory Notes** means advisory information relating to the approved development but do not form a part of this approval.

**BCA** means the Building Code of Australia.

**Certifying Authority** has the same meaning as Part 4A of the Act.

**Council** means Ryde City Council.

**Department** means the Department of Planning & Infrastructure or its successors.

**Director-General** means the Director-General of the Department or his nominee.

**Environmental Assessment (EA)** means the Environmental Assessment prepared by City Plan Services and dated October 2011.

**Minister** means the Minister for Planning.

**MP No. 10\_0179** means the Major Project described in the Proponent's EA as amended by the Response to Submissions and Preferred Project Report.

**PCA** means a Principal Certifying Authority and has the same meaning as Part 4A of the Act.

**Response to Submissions & Preferred Project Report** means the Report prepared by City Plan Services and dated February 2012.

**Proponent** means Health Infrastructure or any party acting upon this approval.

**Regulation** means the Environmental Planning and Assessment Regulation, 2000 (as amended).

**Subject Site** has the same meaning as the land identified in Part A of this schedule.

---

## SCHEDULE 2

### PART A - ADMINISTRATIVE CONDITIONS

#### A1. Development Description

Development approval is granted only to carrying out the development described in detail below:

- Construction of 3-4 storey, 64 bed rehabilitation centre including ground floor parking for 79 vehicles;
- External at-grade parking for 26 vehicles;
- New driveways;
- Associated landscape works and removal of one street tree; and
- Boundary adjustment between Lots 1 and 2 in DP 1137800.

#### A2. Development in Accordance with Plans and Documentation

The development will be undertaken in accordance with MP No. 10\_0179 and the Environmental Assessment dated October 2011, prepared by City Plan Services, except where amended by the Response to Submissions and Preferred Project Report dated February 2012, prepared by City Plan Services, and the following drawings:

Drawing No.	Revision	Name of Plan	Date
<b>Architectural Drawings prepared by Nettleton Tribe:</b>			
AR_3717-DA-001	C	Site Plan	17.02.2012
AR_3717-DA-002	B	Site Analysis	17.02.2012
AR_3717-DA-011	C	Ground Floor Plan	17.02.2012
AR_3717-DA-012	B	Level 1 Floor Plan	17.02.2012
AR_3717-DA-013	B	Level 2 Floor Plan	17.02.2012
AR_3717-DA-014	B	Level 3 Floor Plan	17.02.2012
AR_3717-DA-015	B	Roof Plan	17.02.2012
AR_3717-DA-021	A	Elevations – Sheet 1	10.06.2011
AR_3717-DA-022	A	Elevations – Sheet 2	10.06.2011
AR_3717-DA-031	A	Sections – Sheet 1	10.06.2011
AR_3717-DA-081	A	External Finishes	10.06.2011
<b>Landscape Plan prepared by Site Design Landscape Architects</b>			
11-0282 LP01	D	Landscape Plan	28.07.2011
<b>Civil Drawings prepared by Taylor Thompson Whitting</b>			
101642 SKC01	P4	Site Works Plan	25.05.2011
101642 SKC03	P4	Erosion and Sediment Control Plan	24.06.2011

except for:

- any modifications which are 'Exempt and Complying Development' as identified in State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 or as may be necessary for the purpose of compliance with the BCA and any Australian Standards incorporated in the BCA; and
- otherwise provided by the conditions of this approval.

#### A3. Prescribed Conditions

The Proponent shall comply with the prescribed conditions of approval under Clause 98 of the Environmental Planning and Assessment Regulation 2000 in relation to the requirements of the Building Code of Australia (BCA).

#### A4. Lapsing of Approval

This approval will lapse 5 years from the date of commencement of approval, unless:

- 1) a shorter period of time is specified by the Regulations or
- 2) a condition in Schedule 2, or
- 3) the development has physically commenced.

**A5. Works not Included in this Approval**

All works related to the refurbishment of the Kitchen and Linen Services Building do not form part of this approval and are outside of the scope of the works originally applied for. Separate approval(s) as required should be obtained before carrying out any refurbishment works to the Kitchen and Linen Services Building.

**A6. Inconsistency between plans and documentation**

In the event of an inconsistency between conditions of this project approval and the plans and documentation referred to above, the conditions of this project approval prevail

---



## **PART B – PRIOR TO THE ISSUE OF A SECTION 109R CERTIFICATE**

### **B1. Section 109R Certificate**

A Section 109R Certificate must be obtained prior to any stage of building work commencing.

### **B2. Design Modifications**

The approved architectural plans and the approved landscape plans and the Section 109R Certificate plans and specifications relating to the proposal, required to be submitted to the Certifying Authority, pursuant to Clause 139 of the Regulation, must detail the following amendments:

- a) A planter bed at least 1 metre in depth must be provided to the western boundary of the site between the proposed 8 external parking spaces and the adjoining residential premises at No 45 Fourth Avenue. The planter bed is to incorporate advanced plantings of trees and shrubs to a height of at least 3 metres and of a density that will provide a visual buffer between the site and the adjoining residential development.

### **B3. Car Park and Service Vehicle Layout**

The layout of the car park shall comply with Australian Standard AS2890.1: 2004 Parking Facilities Part 1: Off Street Parking. All parking spaces are to be linemarked. Details demonstrating compliance with these requirements shall be submitted to the satisfaction of the Certifying Authority prior the issue of a Section 109R Certificate.

### **B4. Construction Noise and Vibration Management Plan**

Prior to the issue of a Section 109R Certificate, a detailed construction noise and vibration management plan (CNVMP) shall be prepared by a qualified acoustic engineer, and submitted to the Certifying Authority. Construction Noise Management outlined in the CNVMP is to be in accordance with Part 4 of the *“Interim Construction Noise Guidelines”* by the Department of Environment and Climate Change. For the purpose of determining internal noise levels for construction, the adjacent medical centre is to be treated as a sensitive land use, with ward spaces within the medical centre being subject to no greater than 45dBA while other areas (store rooms, ancillary office space, waiting rooms or the like) being subject to the noise criteria of *“Interim Construction Noise Guidelines”* and Australian Standard 2436:2010 *“Guide to noise control on construction, maintenance and demolition sites”*. If necessary to achieve internal noise goals, the CNVMP shall include appropriate measures such as mufflers fitted to equipment and wrapping of equipment and / or the erection of an acoustic barrier. The CNVMP should otherwise comply with the recommendations contained in the Acoustic Assessment report prepared by Acoustic Logic and appended to the EA.

This includes the recommendations for vibration management in section 4.3.2 of the Acoustic Logic Report. In addition, the following measures are to be adopted to assist with vibration management during construction:

- Carry out a detailed vibration study prior to construction commencement which recommends suitable buffer distances or identifies equipment that should not be used; and
- Vibration monitoring is to be conducted at the commencement of excavation to ensure that vibration levels are below the required limits.

### **B5. Outdoor Lighting**

All outdoor lighting shall comply with, where relevant, AS/NZ1158.3: 1999 Pedestrian Area (Category P) Lighting and AS4282: 1997 Control of the Obtrusive Effects of Outdoor Lighting. Details demonstrating compliance with these requirements are to be submitted to the satisfaction of the Certifying Authority prior to the issue of a Section 109R Certificate for above ground works.

## **B6. Pre-Construction Dilapidation Reports**

The Applicant is to engage a qualified structural engineer to prepare a Pre-Construction Dilapidation Report detailing the current structural condition of all existing and adjoining buildings, infrastructure and roads. The report shall be submitted to the satisfaction of the Certifying Authority prior to the issue of the Section 109R Certificate.

---

## **PART C – PRIOR TO COMMENCEMENT OF WORKS**

### **C1. Notice to be Given Prior to Excavation**

The PCA and Council shall be given written notice, at least 48 hours prior to the commencement of excavation, shoring or underpinning works on the site.

### **C2. Structural Details**

Prior to the commencement of construction, the Applicant shall submit to the satisfaction of the PCA structural drawings prepared and signed by a suitably qualified practising Structural Engineer that comply with:

- (1) the relevant clauses of the BCA,
- (2) the relevant development consent,
- (3) drawings and specifications comprising the Section 109R Certificate, and
- (4) the relevant Australian Standards listed in the BCA (Specification A1.3).

### **C3. Construction Management Plan**

Prior to the commencement of any works on the site, a Construction Management Plan shall be submitted to and approved by Certifying Authority. The Plan shall address, but not be limited to, the following matters where relevant:

- (1) hours of work (see also D1 below),
- (2) contact details of site manager,
- (3) traffic management (see also C3 below),
- (4) noise and vibration management (see also B4 above),
- (5) waste management (in accordance with details submitted with the EA), and
- (6) erosion and sediment control (in accordance with details submitted with the EA).

The Applicant shall submit a copy of the approved plan to Council.

### **C4. Traffic & Pedestrian Management Plan**

Prior to the commencement of any works on the site, a Construction Traffic and Pedestrian Management Plan prepared by a suitably qualified person shall be submitted to and approved by the Certifying Authority. The Plan shall address, but not be limited to, the following matters:

- (1) ingress and egress of vehicles to the site,
- (2) loading and unloading, including construction zones,
- (3) predicted traffic volumes, types and routes, and
- (4) pedestrian and traffic management methods.

The Applicant shall submit a copy of the approved plan to Council.

### **C5. Contact Telephone Number**

Prior to the commencement of the works, the Applicant shall forward to the Department and Council a 24 hour telephone number to be operated for the duration of the construction works.

## **PART D – DURING CONSTRUCTION**

### **D1. Hours of Work**

Work on the project to be limited to the following hours: -

Monday to Friday - 7.00am to 5.00pm;

Saturday – 8.00am to 1.00pm

No work to be carried out on Sunday or Public Holidays.

The builder/contractor shall be responsible to instruct and control sub-contractors regarding the hours of work. Council will exercise its powers under the Protection of the Environment Operations Act, in the event that the building operations cause noise to emanate from the property on Sunday or Public Holidays or otherwise than between the hours detailed above.

### **D2. Construction, Erosion, Traffic and Waste Management**

All works shall be carried out in accordance with the Construction Management Plan referred to in Condition C3; Traffic and Pedestrian Management Plan referred to in Condition C4, Construction Noise and Vibration Management Plan referred to in Condition B4; the Erosion and Sediment control plan submitted with the EA; and Construction Waste Management Plan submitted with the EA.

### **D3. Geotechnical Requirements**

All works shall be carried out in accordance with the recommendations of the Geotechnical Report by Jeffery and Katauskas Pty Ltd dated 21 October 2011 and submitted as Annexure 7 to the EA as amended and updated by the letter from Jeffery and Katauskas dated 28 February 2012 submitted as Annexure 8 to the Response to Submissions and PPR.

### **D4. Disposal of Seepage and Stormwater**

Any seepage or rainwater collected on-site during construction shall not be pumped to the street stormwater system unless separate prior approval is given in writing by Council.

### **D5. Approved Plans to be On-site**

A copy of the approved and certified plans, specifications and documents incorporating conditions of approval and certification shall be kept on the site at all times and shall be readily available for perusal by any officer of the Department, Council or the PCA.

### **D6. Site Notice**

A site notice(s) shall be prominently displayed at the boundaries of the site for the purposes of informing the public of project details including, but not limited to the details of the Builder, Principal Certifying Authority and Structural Engineer. The notice(s) is to satisfy all but not be limited to, the following requirements:

- a) Minimum dimensions of the notice are to measure 841mm x 594mm (A1) with any text on the notice to be a minimum of 30 point type size;
- b) The notice is to be durable and weatherproof and is to be displayed throughout the works period;
- c) The approved hours of work, the name of the site/project manager, the responsible managing company (if any), its address and 24 hour contact phone number for any inquiries, including construction/noise complaint are to be displayed on the site notice; and
- d) The notice(s) is to be mounted at eye level on the perimeter hoardings/fencing and is to state that unauthorised entry to the site is not permitted.

### **D7. Contact Telephone Number**

The Applicant shall ensure that the 24 hour contact telephone number is continually attended by a person with authority over the works for the duration of the development.

#### **D8. Protection of Trees – Street Trees**

All street trees shall be protected at all times during construction. Any tree on the footpath, which is damaged or removed during construction, shall be replaced, to the satisfaction of Council.

#### **D9. Protection of Trees – On-site Trees**

All trees on the site that are not approved for removal are to be suitably protected by way of tree guards, barriers or other measures as necessary are to be provided to protect root system, trunk and branches, during construction.

#### **D10. Dust Control Measures**

Adequate measures shall be taken to prevent dust from affecting the amenity of the neighbourhood during construction. In particular, the following measures must be adopted:

- a) Physical barriers shall be erected at right angles to the prevailing wind direction or shall be placed around or over dust sources to prevent wind or activity from generating dust emissions,
- b) Earthworks and scheduling activities shall be managed to coincide with the next stage of development to minimise the amount of time the site is left cut or exposed,
- c) All materials shall be stored or stockpiled at the best locations,
- d) The surface should be dampened slightly to prevent dust from becoming airborne but should not be wet to the extent that run-off occurs,
- e) All vehicles carrying spoil or rubble to or from the site shall at all times be covered to prevent the escape of dust or other material,
- f) All equipment wheels shall be washed before exiting the site using manual or automated sprayers and drive-through washing bays,
- g) Gates shall be closed between vehicle movements and shall be fitted with shade cloth, and
- h) Cleaning of footpaths and roadways shall be carried out regularly.

#### **D11. Impact of Below Ground (Sub-surface) Works – Non-Aboriginal Relics**

If any archaeological relics are uncovered during the course of the work, then all works shall cease immediately in that area and the NSW Heritage Office contacted. Depending on the possible significance of the relics, an archaeological assessment and an excavation permit under the NSW Heritage Act 1977 may be required before further works can continue in that area.

#### **D12. Impact of Below Ground (Sub-surface) Works – Aboriginal Relics**

If any Aboriginal archaeological relics are exposed during construction works, the Applicant shall immediately notify the National Parks and Wildlife Service and obtain any necessary approvals to continue the work. The Applicant shall comply with any request made by the NPWS to cease work for the purposes of archaeological recording.

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## **PART E – PRIOR TO ISSUE OF A SUBDIVISION CERTIFICATE**

### **E1. Access**

Where relevant, to the subdivision, documentary easements for access must be created over the appropriate lots in the subdivision to provide for public access and private access to roadways, lifts, lobbies, fire stairs, service areas, loading areas and car parking areas, and created pursuant to Section 88B of the Conveyancing Act 1919.

### **E2. Services**

Where relevant, to the subdivision, documentary easements for services, drainage, support and shelter, use of plant, equipment, loading areas and service rooms, repairs, maintenance or any other encumbrances and indemnities required for joint or reciprocal use of part or all of the proposed lots as a consequence of the subdivision, must be created over the appropriate lots in the subdivision pursuant to Section 88B of the Conveyancing Act 1919.

### **E3. Part 4A Certificate**

Prior to the registration of final subdivision plan in the Office of the Registrar-General, a Part 4A certificate shall be obtained under section 109D(1)(d) of the Environmental Planning and Assessment Act, 1979.

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## **PART F – PRIOR TO ISSUE OF OCCUPATION OR USE**

### **F1. Landscaping in accordance with the plans**

Prior to occupation or use, landscaping works must be completed in accordance with the plans referred to in Condition A2, as amended by Condition B2.

### **F2. Section 73 Certificate**

A Section 73 Compliance Certificate under the Sydney Water Act 1994 must be obtained from Sydney Water Corporation.

Application must be made through an authorised Water Servicing Coordinator. Please refer to the Building, Development and Plumbing section of the website at [www.sydneywater.com.au](http://www.sydneywater.com.au) then refer to "Water Servicing Coordinator" under "Developing Your Land" or telephone 13 20 92 for assistance.

Following application a "Notice of Requirements" will advise of water and sewer infrastructure to be built and charges to be paid. Please make early contact with the Coordinator, as it may take some time to build water/sewer pipes and this may impact on other services and building, driveway or landscape design.

A copy of Sydney Water's Notice of Requirements must be submitted to Council.

The Section 73 Certificate must be submitted to the Principal Certifying Authority prior to occupation or use.

### **F3. Fire Safety Certificate**

A Fire Safety Certificate shall be furnished to the PCA for all the Essential Fire or Other Safety Measures forming part of this approval prior to occupation or use. A copy of the Fire Safety certificate must be submitted to the consent authority and Council by the PCA.

### **F4. Road Damage**

The cost of repairing any damage caused to Council or other Public Authority's assets in the vicinity of the subject site as a result of construction works associated with the approved development, is to be met in full by the Applicant/developer prior to occupation or use.

Note: Should the cost of damage repair work not exceed the road maintenance bond, Council will automatically call up the bond to recover the costs. Should the repair costs exceed the bond amount, a separate invoice will be issued.

### **F5. Post-construction Dilapidation Report**

- (1) The Applicant shall engage a suitably qualified person to prepare a post-construction dilapidation report at the completion of the construction works. This report to ascertain whether the construction works created any structural damage to adjoining buildings, infrastructure and roads.
- (2) The report is to be submitted to the PCA. In ascertaining whether adverse structural damage has occurred to adjoining buildings, infrastructure and roads, the PCA must:
  - (a) compare the post-construction dilapidation report with the pre-construction dilapidation report required by Condition B11, and
  - (b) have written confirmation from the relevant authority that there is no adverse structural damage to their infrastructure and roads.
- (3) A copy of this report is to be forwarded to the Director and Council.

## **PART G – DURING OPERATIONS**

### **G1. Annual Fire Safety Certification**

The owner of the building shall certify to Council every year that the essential services installed in the building for the purpose of fire safety have been inspected and at the time of inspection are capable of operating to the required minimum standard. This purpose of this condition is to ensure that there is adequate safety of persons in the building in the event of fire and for the prevention of fire, the suppression of fire and the prevention of spread of fire.

### **G2. Loading and Unloading**

All loading and unloading of service vehicles in connection with the use of the premises shall be carried out wholly within the site at all times.

### **G3. Unobstructed Driveways and Parking Areas**

All driveways and parking areas shall be unobstructed at all times. Driveways and car spaces shall not be used for the manufacture, storage or display of goods, materials or any other equipment and shall be used solely for vehicular access and for the parking of vehicles associated with the use of the premises.

### **G4. Provision of Parking Spaces for Adjoining Medical Centre**

At least ten parking spaces as indicated on the approved plans are to be provided for the use of the adjoining medical centre for as long as it continues to operate under the exiting approvals (A2822 and A4727) issued by Ryde Council.

### **G5. Storage of Hazardous or Toxic Material**

Any hazardous or toxic materials must be stored in accordance with Workcover Authority requirements and all tanks, drums and containers of toxic and hazardous materials shall be stored in a bunded area. The bund walls and floors shall be constructed of impervious materials and shall be of sufficient size to contain 110% of the volume of the largest tank plus the volume displaced by any additional tanks within the bunded area.

### **G6. Public Way to be Unobstructed**

The public way must not be obstructed by any materials, vehicles, refuse, skips or the like, under any circumstances.

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## **ADVISORY NOTES**

### **AN1. Sydney Water**

An application shall be made to Sydney Water for a Certificate under Part 6, Division 9, Section 73 of the Sydney Water Act, 1994 (Compliance Certificate). The Section 73 Certificate shall be submitted to the PCA prior to the occupation or use of the development or release of the linen plan.

### **AN2. Requirements of Public Authorities for Connection to Services**

The Applicant shall comply with the requirements of any public authorities (e.g. Energy Australia, Sydney Water, Telstra Australia, AGL, etc) in regard to the connection to, relocation and/or adjustment of the services affected by the construction of the proposed structure. Any costs in the relocation, adjustment or support of services shall be the responsibility of the Applicant. Details of compliance with the requirements of any relevant public authorities are to be submitted to the satisfaction of the PCA prior to the issue of the Section 109R Certificate for building works.

### **AN3. Compliance with Building Code of Australia**

The Applicant is advised to consult with the PCA about any modifications needed to comply with the BCA prior to submitting the application for a Section 109R Certificate.

### **AN4. Application for Hoardings and Scaffolding**

A separate application shall be made to Council for approval under Section 68 of the Local Government Act, 1993, to erect a hoarding or scaffolding in a public place. Such an application shall include:

- Architectural, construction and structural details of the design in accordance with Council's Policy
- Structural certification prepared and signed by an suitably qualified practising structural engineer.
- The Applicant shall provide evidence of the issue of a Structural Works Inspection Certificate and structural certification shall be submitted to the satisfaction of the PCA prior to the commencement of works.

### **AN5. Application for Hoardings and Scaffolding**

The applicant shall obtain all necessary approvals under s138 of the Roads Act, for removal of the street tree.

### **AN6. Use of Mobile Cranes**

The Applicant shall obtain all necessary permits required for the use of mobile cranes on or surrounding the site, prior to the commencement of works. In particular, the following matters shall be complied with to the satisfaction of the PCA.

For special operations including the delivery of materials, hoisting of plant and equipment and erection and dismantling of on site tower cranes which warrant the on street use of mobile cranes, permits must be obtained from Council:

- at least 48 hours prior to the works for partial road closures which, in the opinion of Council will create minimal traffic disruptions, and
- at least 4 weeks prior to the works for full road closures and partial road closures which, in the opinion of Council, will create significant traffic disruptions.

The use of mobile cranes must comply with the approved hours of construction and shall not be delivered to the site prior to 7.30am without the prior approval of Council.

**AN7. Noise Generation**

Any noise generated during the construction of the development shall not exceed limits specified in any relevant noise management policy prepared pursuant to the Protection of the Environment Operations Act, 1997 or exceed approved noise limits for the site.

**AN8. Street Numbering**

Street numbers and the building name(s), if any, will need to be clearly displayed at either end of the ground level frontages in accordance with Council's Policy, prior to the occupation of the building(s) or commencement of the use. If street numbers or a change to street numbers is required, a separate application shall be made to Council.

**AN9. Temporary Structures**

An approval under Section 68 of the Local Government Act 1993 must be obtained from the Council for the erection of the temporary structures. The application must be supported by a report detailing compliance with the provisions of the Building Code of Australia.

Structural certification from an appropriately qualified practicing structural engineer must be submitted to the Council with the application under Section 68 of the Local Government Act 1993 to certify the structural adequacy of the design of the temporary structures.

**AN10. Disability Discrimination Act**

This application has been assessed in accordance with the Environmental Planning and Assessment Act 1979. No guarantee is given that the proposal complies with the Disability Discrimination Act 1992. The applicant/owner is responsible to ensure compliance with this and other anti-discrimination legislation. The Disability Discrimination Act 1992 covers disabilities not catered for in the minimum standards called up in the Building Code of Australia which references AS 1428.1 - Design for Access and Mobility. AS1428 Parts 2, 3 & 4 provides the most comprehensive technical guidance under the Disability Discrimination Act 1992 currently available in Australia.

**AN11. Commonwealth Environment Protection and Biodiversity Conservation Act 1999**

The Commonwealth Environment Protection and Biodiversity Conservation Act 1999 provides that a person must not take an action which has, will have, or is likely to have a significant impact on a matter of national environmental significance (NES) matter; or Commonwealth land, without an approval from the Commonwealth Environment Minister.

This application has been assessed in accordance with the New South Wales Environmental Planning & Assessment Act, 1979. The determination of this assessment has not involved any assessment of the application of the Commonwealth legislation. It is the proponent's responsibility to consult Environment Australia to determine the need or otherwise for Commonwealth approval and you should not construe this grant of consent as notification to you that the Commonwealth Act does not have application. The Commonwealth Act may have application and you should obtain advice about this matter. There are severe penalties for non-compliance with the Commonwealth legislation.

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## SCHEDULE 3- Statement of Commitments

MP10\_0179

### PROJECT APPLICATION FOR

**Graythwaite Rehabilitation Centre, Ryde Hospital, Denistone**

(sources: Environmental Assessment/ Response to Submissions)

Subject	Commitments
<b>1. Traffic and accessibility</b>	A Workplace Travel Plan is to be prepared and implemented during the occupation of the proposed rehabilitation centre. The framework for the Workplace Travel Plan is to follow the framework identified in the Traffic and Accessibility Report prepared by Halcrow and accompanying the EA at <b>Appendix 8</b> .
<b>2. Ecologically Sustainable Development</b>	<p>The proposal will aim to achieve a standard equivalent to a 4 Star Green Star rating.</p> <p>The proposal is to comply with the recommendations of the ESD Report prepared by Steensen Varming and appended to the EA at <b>Appendix 11</b>. Such recommendations include, but are not limited to the following:-</p> <ul style="list-style-type: none"> <li>• The project must consider exceeding the deemed-to-satisfy requirements of Section J of the BCA;</li> <li>• It is recommended that hospital management / the Clients, establish a Sustainability Control Group (SCG) or Green Team, within the organisation, to help implement policies for ESD. This group should consist of director-level representatives, or other high-level staff members who have a decision-making capacity;</li> <li>• The internal noise levels from building services should meet the recommended design sound levels provided in Table 1 of AS/NZS2107:2000 for 95% of the project's nominated area;</li> <li>• The facility lighting design is to provide a maintenance illuminance of not greater than 25% above the minimum maintained illuminance levels recommended in Table F1 of AS 1680.2.5 for 95% of the nominated area as measured at the working place (or as required by AS 1680.2.5).</li> <li>• During the construction phase of the project, it would be recommended to implement the following; <ul style="list-style-type: none"> <li>- <i>"Reduce construction waste by implementing a Waste Management Plan (WMP).</i></li> <li>- <i>Encourage reuse or recycling of construction waste. (This requirement will be specified within the Tender preliminaries).</i></li> <li>- <i>Implement a site – specific Environmental Management Plan. Appoint a Contractor who holds a valid ISO 14001 accreditation prior to and throughout the construction.</i></li> <li>- <i>Maintain and conserve the ecological integrity of site by implementing good construction practices."</i></li> </ul> </li> <li>• During the operation phase of the project, it would be recommended to implement the following; <ul style="list-style-type: none"> <li>- <i>"Benchmarks / targets must be set for future monitoring and benchmarking.</i></li> <li>- <i>Implement ongoing monitoring to allow for optimization of building energy consumption.</i></li> <li>- <i>Purchase green power from an energy supplier.</i></li> <li>- <i>Provide area dedicated for the separation, storage and collection of recyclables (paper, plastics, mercury containing products &amp; devices).</i></li> <li>- <i>Provide periodic staff training and provide information to occupants regarding the buildings environmental attributes and performance.</i></li> </ul> </li> </ul>

	<ul style="list-style-type: none"> <li>- <i>Utilise a Building Management System (BMS) to maximise the effectiveness of building services.</i></li> <li>- <i>Encourage the use of non-potable water (ex: rainwater harvesting) whenever possible</i></li> </ul>
<b>3. Contamination</b>	<p>The proposal is to comply with the recommendations contained in the Stage 1 Environmental Site Assessment report prepared by EIS and appended to the EA at <b>Appendix 6</b>. Such recommendations include, but are not limited to the following:-</p> <ul style="list-style-type: none"> <li>• <i>The site is to be inspected by experienced environmental personnel during excavation works "to assess any unexpected conditions or subsurface facilities that may be discovered between investigation locations and to better assess the potential for asbestos contamination beneath the existing buildings at the site."</i></li> <li>• <i>"The requirement to report to the DECCW (EPA) under Section 60 and Guidelines on the Duty to Report Contamination<sup>22</sup> under the CLM Amendment Act 2008 should be assessed once the site has been inspected following... excavation works."</i></li> </ul>
<b>4. Geotechnical</b>	<p>The proposal is to comply with the recommendations contained in the Geotechnical Investigation report prepared by Jeffery and Katauskas and appended to the EA at <b>Appendix 7</b>. We note that the recommendations provided in the Geotechnical Investigation report are quite extensive and have therefore not been included in this Statement of Commitments and reference should be made to the complete report at <b>Appendix 7</b>.</p> <p>The recommendations of the letter of advice prepared by Jeffery and Katauskas at <b>Appendix 8</b> of the Response to Submissions report will be complied with.</p>
<b>5. Aboriginal Heritage</b>	<p>Once ground clearance, excavation or site preparation works commence, if something is discovered that could be an Aboriginal object, a qualified Heritage Consultant must be contacted. In that instance, advice is to be sought from the Environment Protection and Regulation Group of the Office of Environment and Heritage relating to recording the finds and the appropriate management options.</p>
<b>6. Drainage and stormwater management</b>	<p>The recommendations of the Civil Design Report prepared by Taylor Thomson Whitting and accompanying the EA at <b>Appendix 13</b> are to be complied with to ensure appropriate stormwater management and erosion and sediment control measures are undertaken. Such recommendations include, but are not limited to the following:-</p> <ul style="list-style-type: none"> <li>• Necessary measures are to be adopted as may for erosion control, including the following where applicable: <ul style="list-style-type: none"> <li>- Staging: Staging of operations (eg. clearing, stripping, demolition);</li> <li>- Restoration: Progressive restoration of disturbed areas;</li> <li>- Drains: Temporary drains and catch drains;</li> <li>- Dispersal: Diversion and dispersal of concentrated flows to points where the water can pass through the site without damage;</li> <li>- Spreader Banks: Or other structures to disperse concentrated silt traps;</li> <li>- Construction and maintenance of silt traps to prevent discharge of scoured material to downstream areas;</li> <li>- Temporary grassing: Or other treatment to disturbed areas (eg. contour ploughing);</li> <li>- Temporary fencing.</li> </ul> </li> <li>• The building is required to liaise and comply with the requirements of the Landcom's Managing Urban Stormwater "Soil and Construction" (The "Blue Book") and the local Council.</li> <li>• The builder is required to apply dust and noise control measures to minimise disturbance to the functioning of neighbouring properties. The contractor is required to demonstrate the proposed works equipment to be within acceptable limits for noise and vibration as determined by a registered acoustic consultant.</li> <li>• Shoring, excavation techniques, excavation support, temporary and permanent batters are to be undertaken in accordance with TTW's specification and the recommendations of a qualified practicing Geotechnical Engineer.</li> <li>• Site preparation works are to include the following:</li> </ul>

	<ul style="list-style-type: none"> <li>- Stripping of topsoil from work areas to be stockpiled for landscape areas.</li> <li>- Tyne, water and roll the areas over which filling, paving or building slabs are to be placed. Six passes of a 10 tonne static roller are required. The final pass shall be a proof roll where movement of greater than 3mm under the roller will indicate Bad Ground.</li> <li>- Placement of acceptable material from cut areas shall be placed in layers of not more than 200mm to the compaction requirements.</li> <li>- Filled areas and cut areas to be overlain by buildings and pavements are to be protected to maintain constant moisture content in the soil. The protection is to remain in place until construction is complete.</li> </ul> <ul style="list-style-type: none"> <li>• An independent approved NATA registered testing authority is required to perform all the compaction testing of earthworks and submit test certificates to the Principal. Certification will be required that aggregates are suitable for use in roadwork and concrete.</li> <li>• All proposed internal pipeworks which consist of pipes and access pits shall be designed in accordance with Australian Rainfall &amp; Runoff (AR&amp;R), Council and AS 3500.3 1998 and will be directed to the on-site detention (OSD) tank systems prior to discharge to Council's receiving stormwater network in Fourth Avenue.</li> <li>• The OSD tanks system is to be designed in accordance with Ryde City Council's requirements to provide temporary storage and restrict stormwater peak discharge flowrates from the site to a rate that specified by Council.</li> <li>• All pavements (including roads, parking areas, paths and service vehicle access areas) are to be designed and constructed in accordance with Section 5.0 of the Geotechnical Investigation Report at Appendix 13 of the EA.</li> </ul>
<b>7. Ecology</b>	Appropriate replacement planting is to be undertaken within the Fourth Avenue Road Reserve and to the north of the site to offset the removal of the street tree. Replanting is to be undertaken in accordance with Council's specifications.
<b>8. Management of Construction noise, vibration, dust, soil and erosion</b>	<p>A Construction Management Plan (CMP) is to be prepared prior to construction to adequately manage any potential environmental impacts associated with the construction of the proposed rehabilitation centre and associated works. As a guide, the CMP is to include measures for waste, noise, vibration, dust, air, traffic, water and soil and erosion control management. The proposed construction is to be undertaken in accordance with the CMP for the development.</p> <p>Hours of construction will be limited to 7.00am to 5.00pm Monday to Friday, and 8.00am to 1.00pm on Saturdays. There will be no work on Sundays and public holidays.</p>
<b>9. Waste</b>	Waste management is to be undertaken in accordance with the Construction Waste Management Plan prepared by Aurora Projects (refer to <b>Appendix 19b</b> ) and the Operation Waste Management Plan prepared by NSW Health NSLHN (refer to <b>Appendix 19a</b> ).
<b>10. Access</b>	<p>The proposal is to comply with the recommendations contained within the Access Report prepared by Morris Goding Accessibility Consulting accompanying the EA at <b>Appendix 12</b> to ensure compliance with the relevant legislation and regulatory requirements. Such recommendations include, but are not limited to, the following:-</p> <p><b>Main Entry</b></p> <ul style="list-style-type: none"> <li>• Ensure the connecting pathway to building main entry has a 1:20 min. gradient, compliant with AS1428.1.</li> <li>• Ensure the active leaf of main entry doors provides 850mm clear width (generally 920mm door leaf), compliant with AS1428.1.</li> <li>• Ensure a 1:8 kerb ramp, compliant with AS1428.1 is provided at patient drop off zone to enable wheelchair access from roadway to building entry.</li> </ul> <p><b>Emergency Egress</b></p> <ul style="list-style-type: none"> <li>• Consideration should be given to provide 850mm clear width doorways (generally 920mm door leaf) at all fire stairs, fire passages and egress doors to street level.</li> </ul>



This will allow some level of fire safety protection for a person using a wheelchair (advisory).

**Circulation Areas**

- Ensure handrails are provided along at least one side of every passageway or corridor that is used by patients. Where practical the handrail shall be continuous for their full length, compliant with BCA section D2.17.

**Doors**

- Ensure all consulting and staff room doors provide 850mm min. clear width (generally 920mm door leaf), compliant with AS1428.1.
- Ensure all consulting and staff room doors provide 510-530mm latch side clearance, compliant with AS1428.1.
- Ensure the active leaf of all dual hinged doors of equal width provide 850mm min. clear width (generally 920mm door leaf), compliant with AS1428.1.

**Stairs**

- Ensure the handrails indicated on both sides of stair are compliant with AS1428.1.

**Passenger Lifts**

- Ensure the lift cars have internal lift components (control panels, audio/visual indicators, handrails and light levels) that meet the requirements of AS1735.12 and BCA E3.6.

**Access Linkages**

- As western fire stair becomes a communication stair between level 2 building and external walkway, ensure it includes handrails on both sides and is compliant with AS1428.1 to assist ambulant people with disabilities.
- Ensure active leaf of dual hinged doors (equal width) from level 2 east lobby to external area provide 850mm min. clear width, compliant with AS1428.1.
- Ensure any connecting external path of travel to 'The Chatterbox' from the building level 2 east lobby doors is compliant with AS1428.1

**Office and Staff Amenities**

- Ensure all office and staff room doors provide 850mm min. clear width (generally 920mm door leaf), compliant with AS1428.1.
- Ensure all office and staff room doors provide 510-530mm latch side clearance, compliant with AS1428.1.

**In-patient Lounge and Common Facilities**

- Ensure all common-use doors provide 850mm min. clear width (generally 920mm door leaf), compliant with AS1428.1.
- Ensure all common-use doors provide 510-530mm latch side clearance, compliant with AS1428.1.

**North Terrace**

- Ensure the active leaf of all dual hinged doors to terrace provide 850mm min. clear width, compliant with AS1428.1.

**South Terrace**

- If terrace will be used as a common-use area, ensure an accessible path of travel compliant with AS1428.1

**Accessible Toilets**

- To ensure compliance with AS1428.1-2009 and Ryde Council DCP, the accessible toilets should be enlarged to ensure there is 2300mm x 1900mm clear circulation space around the WC pan with the basin outside this area (max. encroachment 100mm). Overall internal dimensions of approx. 2400mm x 2400mm are required (basin on adjacent wall to pan as shown), for compliance with AS1428.1 fig 43.
- Ensure fixtures within all accessible WCs are installed in compliance with AS1428.1-2009.

	<p><b>Therapy Pool Accessible Toilet and Shower</b></p> <ul style="list-style-type: none"> <li>To ensure compliance with AS1428.1-2009 and Ryde Council DCP, the accessible toilets should be enlarged to ensure there is 2300mm x 1900mm clear circulation space around the WC pan with the basin outside this area (max. encroachment 100mm). Overall internal dimensions of approx. 2400mm x 2400mm are required (basin on adjacent wall to pan as shown), for compliance with AS1428.1 fig 43.</li> <li>To ensure compliance with AS1428.1-2009 and Ryde Council DCP, the accessible toilet should be enlarged to ensure there is 2300mm x 1900mm around the WC pan with the basin to sit outside this area (max. encroachment 100mm).</li> <li>Ensure fixtures within the accessible WC and separate shower are installed in compliance with AS1428.1-2009.</li> </ul> <p><b>Therapy Pool</b></p> <ul style="list-style-type: none"> <li>To ensure compliance with DDA Premises Standard and BCA 2011, ensure the fixed pool ramp is designed in accordance with Part D5.2 and AS1428.1. This requires 1:14 max. gradient and appropriate landings at top and bottom and every 9metres.</li> <li>Ensure handrails are provided on both sides of the ramp, compliant with AS1428.1</li> </ul> <p><b>Car Parking</b></p> <ul style="list-style-type: none"> <li>Ensure door from car park to entry lobby provides 850mm min. clear width (generally 920mm door leaf), compliant with AS1428.1.</li> <li>Provide 1540 x 2070mm min. circulation space at end of access way outside car park door for wheelchair manoeuvrability, compliant with AS1428.1.</li> <li>Ensure 2500mm min. height clearance over the accessible car spaces and 2200mm min. height clearance on path of travel from car park entry, compliant with AS2890.6.</li> </ul> <p><b>Signage</b></p> <ul style="list-style-type: none"> <li>Signage is to comply with DDA Premises Standards and BCA part D3.6.</li> <li>Provide way finding signage to accessible entrances, lifts and accessible toilets.</li> </ul>
<b>11. Noise and Vibration</b>	<p>The proposal is to comply with the recommendations contained in the Acoustic Assessment report prepared by Acoustic Logic and appended to the EA at <b>Appendix 21</b>. We note that the recommendations provided in the Acoustic Assessment report are quite extensive and have therefore not been included in this Statement of Commitments and reference should be made to the complete report at <b>Appendix 21</b>.</p> <p>A detailed construction noise and vibration management plan is to be prepared prior to any work commencing on the site.</p> <p>The requirements and recommendations of the acoustic specification report at <b>Appendix 6</b> and the emergency generator assessment report at <b>Appendix 7</b> are to be complied with.</p> <p>As per the Renzo Tonin acoustic peer review prepared to accompany the Ryde Medical Centre submission, an additional review of mechanical services will be conducted based on contractor's final selections to ensure these selections meet the set design criteria.</p>
<b>12. Consultation</b>	<p>Future consultation with key stakeholders is to be undertaken during the course of the Project Application in accordance with the commitments outlined in the Community Consultation note at <b>Appendix 20</b> and the NSW Department of Planning's Major Project Community Consultation Guidelines October 2007.</p>