

Architecture
Interior Design
Landscape Architecture
Planning
Urban Design

Australia
PR China
Hong Kong SAR
Singapore
Thailand



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HASSELL

Contact

Deborah Eastment
deastment@hassell.com.au

HASSELL
Level 2, 88 Cumberland Street
Sydney Australia 2000
T +61 2 9101 2000
F +61 2 9101 2101
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HASSELL Limited
ABN 24 007 711 435

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01____ Introduction

iv This Landscape Concept Report has been prepared by HASSELL to accompany a Project Application under Part 3A of the Environmental Planning & Assessment Act, 1979 (EP&A Act) for Stage 1 of the new town of Huntlee development.

Huntlee Pty Ltd is proposing to deliver a new diverse and sustainable urban community immediately to the south of the town of Branxton in the Hunter Valley of NSW. Once complete, the Huntlee development will accommodate:

- _a mix of land uses, a diversity of housing (approximately 7,500 dwellings);
- _a new 200ha town centre incorporating retail, business and commercial floor space with employment opportunities for 3,000-4,000 people;
- _multi-purpose community and education facilities;
- _a new regional park;
- _a number of other local and riparian parks, and
- _significant environmental conservation areas.

The site is 1,722 hectares bounded to the north and east by the Main North Railway and Hunter Expressway Corridor, to the south by the village of North Rothbury and to the west by the Black Creek floodplain.

The new urban community at Huntlee will address and implement key objectives and outcomes of the Lower Hunter Regional Strategy associated with accommodating population, employment growth and environmental outcomes.

The Huntlee new town project is currently the subject of a State Significant Site (SSS) Study submitted in September 2010 pursuant to Clause 8 of State Environment Planning Policy (Major Development) 2005 (Major Development SEPP). The SSS seeks inclusion of Huntlee as a State Significant Site in Schedule 3 of the Major Development SEPP with new land use zoning and development control provisions.

01 Introduction

1



The Huntlee Development Framework

Plan - NTS



KEY

- Village Centre
- 1 Villages
- Residential
- Large Lot Residential
- Town Centre Residential
- Employment
- Proposed Rail Museum Site
- Open Space
- Conservation Area
- Persoonia Park
- F3 Reservation
- Stage 1 Boundary

01 Introduction

2

The Huntlee Development Framework

The overall vision for Huntlee is to create a new town of 20,000 people, comprised of a town centre and neighbourhoods containing well defined villages. The town centre will include a full range of employment, education, health, recreation, transport, civic, retail and community facilities while ensuring the conservation and enhancement of the environment.

The neighbourhoods will each contain local services such as a school and smaller villages with local shops. The framework will be

underpinned by a number of key urban design principles that relate principally to the creation of the public domain.

These include:

- _adopting a main street approach to the town centre to create an active centre;
- _creating a well connected street pattern that responds to the site's topography;
- _streets that generally terminate on open space;
- _streets with generous green verges;
- _street trees and footpaths on both sides of the street;
- _a series of linked open space areas that preserve ridges, hilltops,

significant areas of vegetation, and other natural site assets;

- _open spaces surrounded by public streets and accessible to all; and
- _new neighbourhoods where residents can easily walk or cycle to the neighbourhood core, a local shop, open space or school generally within 400 metres.

The overall Huntlee development framework proposes four urban villages connected to each other and the town centre / employment areas by a network of open space, pedestrian & cycle ways, local roads & bus routes.



Existing Farm Dam at Huntlee

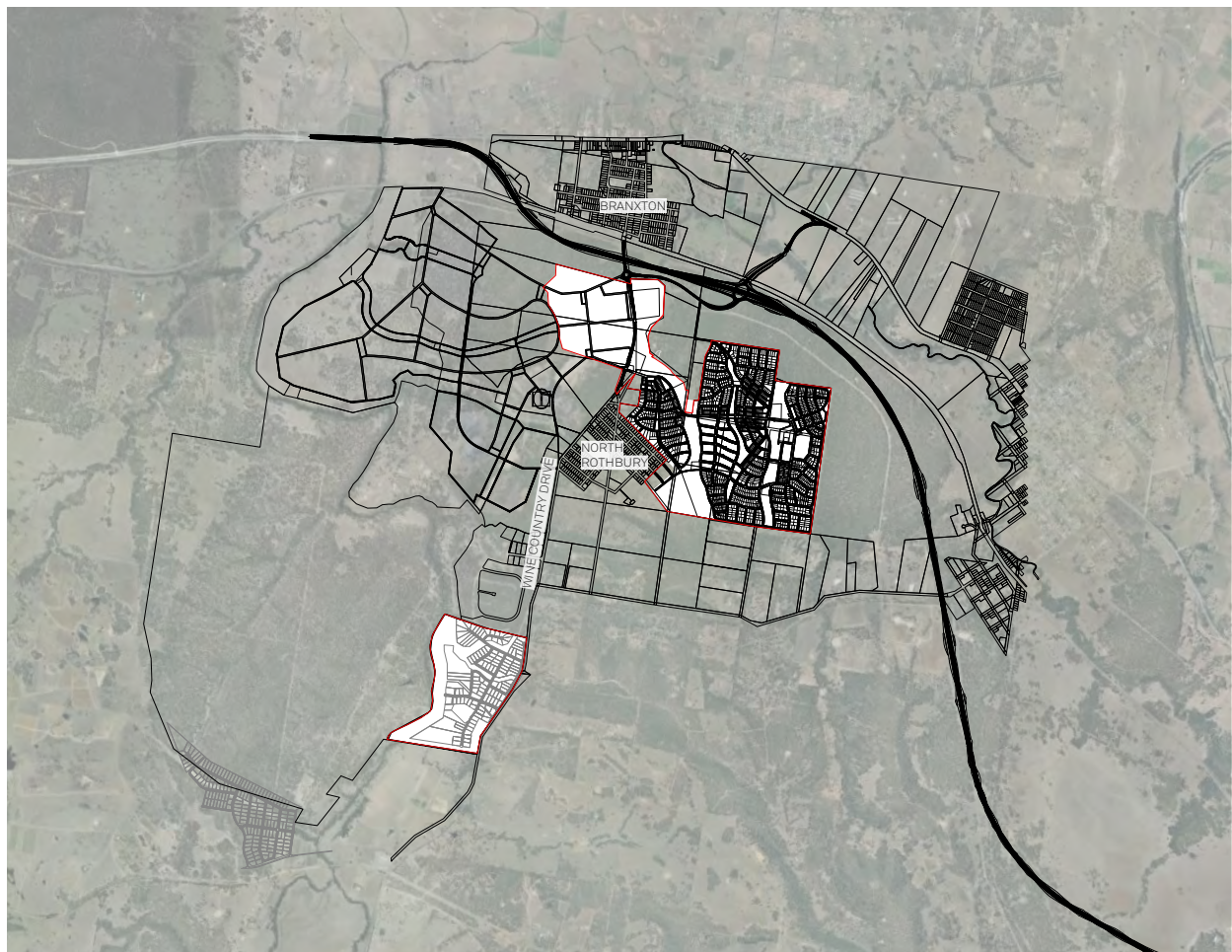
01 Introduction

Project Outline

This Stage 1 Project Application relates to early works, infrastructure and subdivision for the initial phases of the development and will enable site works to begin in 2012/13. The Stage 1 Project Application site comprises an area of approximately 286 hectares located in the west of the Huntlee site area and straddling Wine Country Drive (Main Road 220).

The Stage 1 development of Huntlee will deliver new housing, employment lands and public domain immediately south of Braxton and adjacent to existing development at North Rothbury. The proposed site area is wholly located within the City of Cessnock LGA.

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Extent of Stage 1 Project Application

01____Introduction

4



Victoria Park Public Domain, Sydney, NSW, Australia

01 Introduction

Project Outline Cont.

The Stage 1 Project Application comprises:

- _subdivision for up to 1,900 residential lots, open space and community facilities in Village 1;
- _subdivision for the first stage of the mixed use Town Centre including up to 300 residential lots and employment lands (up to 68 hectares);
- _subdivision for up to 120 large lot residential lots;

- _construction of associated community infrastructure including landscaping, open space, and recreation areas; and
- _construction of associated physical infrastructure (both on and off site) including:
 - _roads and associated intersections;
 - _stormwater management; and
 - _water supply and sewerage.

The expected time-frame for completion is 8 years.

It is intended to seek staged construction certificates as necessary to facilitate the efficient delivery of each phase of the development works.

5

02 Description of the Proposal

6

The vision for Huntlee is to create a new Hunter valley town that retains the character of the place including its natural attributes and rich aboriginal and European past. The new town will be established around an active and memorable urban core, surrounded by well connected neighbourhoods, each with a community heart that is in easy and safe walking and cycling distance from the houses in that neighbourhood. A feature of the new town will be its high quality public domain of connected streets, parks, and recreational open space links.

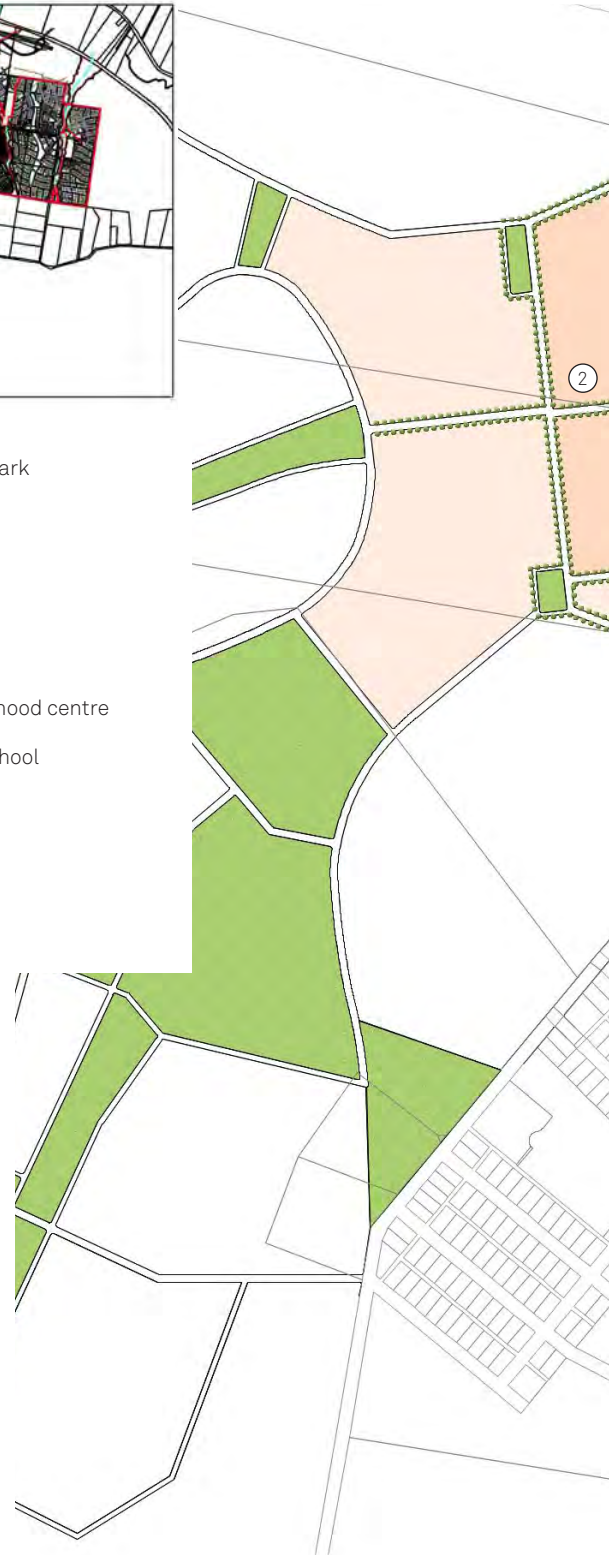
The Huntlee town centre will be an exciting new township combining community, commercial, local shopping and educational facilities around a town park that is well connected to Branxton and the rail station.

The Stage 1 Landscape Concept Plan is shown opposite..



KEY

- ① Anvil Creek Regional Park
- ② Town Centre
- ③ Wine Country Drive
- ④ North Rothbury
- ⑤ Existing Rail Corridor
- ⑥ Village One neighbourhood centre
- ⑦ Village One primary school





Plan - NTS



02____Description of the Proposal

8

Landscape Strategy

Key Features

The natural attributes of the Huntlee site include an undulating topography affording panoramic views, extensive areas of vegetation and future environmental conservation areas. The man made heritage of the site includes pre-European remnants as well as the memory of the site's very significant industrial past – an important part of the Hunter's development as an

industrial mining centre in New South Wales.

The site is now predominantly characterised by areas of regrowth woodland and cleared areas used for agricultural purposes which are generally limited to grazing and largely located along the western boundary of the site along the Black Creek floodplain and to the east of the village of North Rothbury. Timbered areas are generally regrowth following logging

associated with the former colliery activities.

Key landscape principles identified to articulate the overall vision and strategic principles for the landscape development of the public domain at Huntlee include the following:

- _create an overall landscape setting that responds to the sites natural assets including natural systems, topography and vegetation;
- _protect fauna and flora habitats through the creation of
- _conservation areas;



KEY



High Elevation

Low Elevation



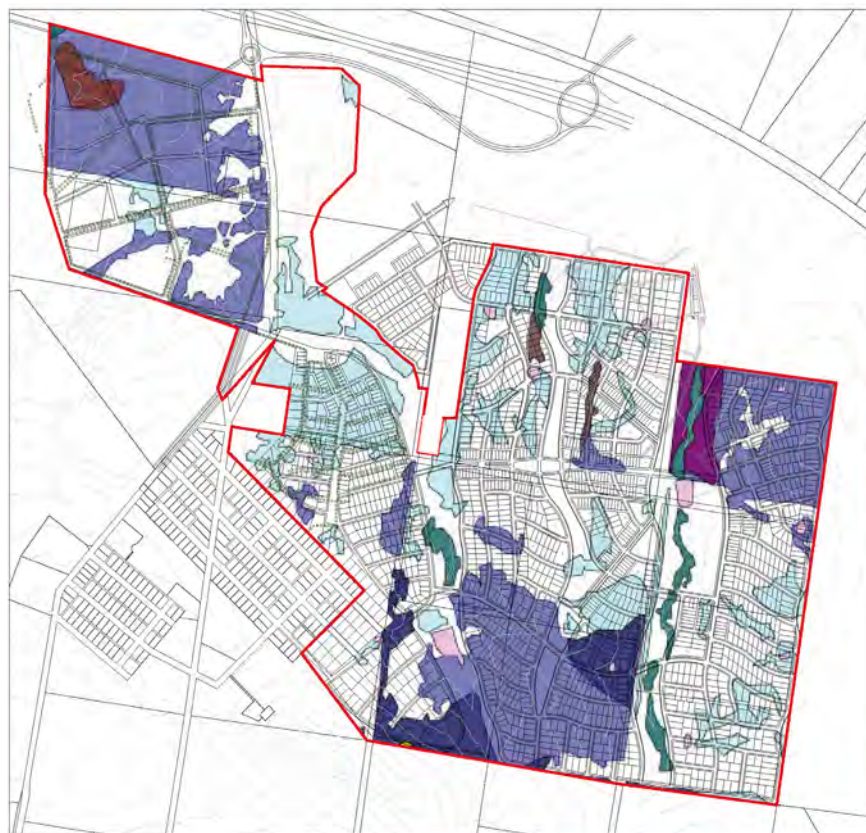
Elevation Analysis

02 _____ Description of the Proposal

- _protect and enhance watercourses and riparian vegetation;
- _create parks and streets that celebrate the natural landscape and the needs of the surrounding community;
- _create parks and streets that are of a high quality and which promote local character and identity;
- _provide pedestrian and cycleway connections through the conservation lands and with regional beyond the site; and
- _provide large shady trees as relief from the new urban environment.

Parks and streets will ultimately be a focus of the integrated Huntlee public domain featuring regional connections beyond the site and providing ecological and WSUD functions. It will also accommodate various levels and types of recreation activities and community facilities. It is proposed that all local parks, once established, will be dedicated to Cessnock City Council and retained as public open space. New streets will also be dedicated to Council.

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KEY

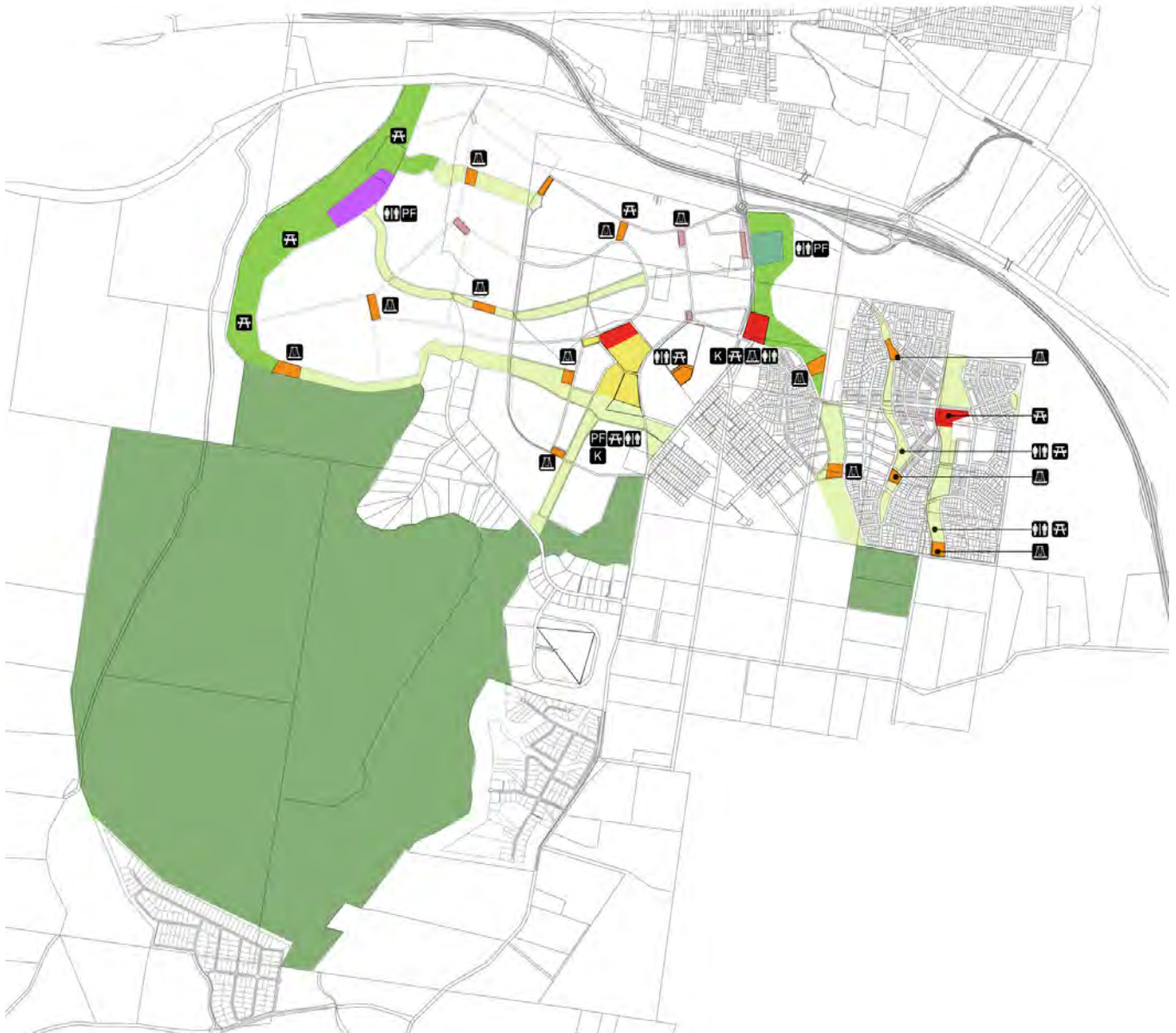
- Hunter lowlands redgum forest
- E. crebra grassy open forest
- E. fibrosa and C. maculata open forest
- E. crebra and E. tereticornus open forest
- Disturbed areas - canopy trees only
- Disturbed areas - open pasture/occasional canopy trees
- Mixed pines
- Allocasuarina leuhammiana floodplain low forest



Vegetation Communities

03____Huntlee Parks

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Public Realm Open Space Provision

KEY

- _Conservation area
- Huntlee - Sports Fields**
 - _Local sports ground
 - _5,000 people
 - _2x fields & cricket pitch
 - _District sports ground
 - _5,000 - 15,000 people
 - _4x fields & 2x cricket pitches
 - _Regional sports ground
 - _15,000 people
 - _4-6x fields & cricket pitches
 - _6x multi-purpose courts
 - _2x tennis courts

- Huntlee - Playgrounds**
Allow @ approx. 1km cts.
(10min walk)
 - _Small local playground
park min 0.5ha
 - _District park / playground
2.0ha
 - _Riparian park - respond to
topography as required.
Meet all local park
requirements
 - _Regional parks - respond
to landscape. Meet all
regional park requirements
 - _Urban Squares

- Huntlee - Open Space Facilities**
 - _Playground
 - _Playing fields
 - _Toilets / Amenity Block
 - _Kiosk
 - _Picnic Facilities

03 _____ Huntlee Parks

Huntlee Parks

The overall Huntlee open space strategy provides for the integration of a network of open spaces accommodating a range of recreation pursuits on a local and regional scale at Huntlee. The master plan has been developed following considerable review of the site's natural landscape assets. The plan preserves the site's most attractive landscape settings in a range of ridge top and low lying drainage corridor parks as well as the potential to provide a series of local and civic parks within easy access of residential, commercial and town centre areas. The strategy for provision of open space at Huntlee addresses the recommendations of Cessnock City Council Recreation and Open Space Strategic Plan (September 2009) as well as general best practice in the provision of open space and park facilities for new development. A summary of the anticipated open space provision and park types is shown below. The Stage 1 project Application reflects the overall open space facilities strategy. Specific landscape and open space themes that have been considered in the development of the Stage 1 open space system include the following:

- _providing a highly visible regional park on Anvil Creek at the entry to Huntlee;
- _retaining significant stands of existing vegetation in the open space network;
- _integrating storm water management within the development footprint and open space system;
- _reinforcing the landscape of hills and valleys by incorporating ridgelines and low lying drainage corridors in linear open space systems;
- _providing opportunity to interpret cultural themes in the public domain;

- _establishing well-connected pathways and cycle trails in parks and streets;
- _providing perimeter roads to open space to act as environmental buffers and to accommodate bushfire asset protection zones; and
- _generous provision of playground and sporting facilities for the new Huntlee community.

Landscape Concept Design Approach

The concept for the Huntlee open space system is to provide a place and a program that is treasured by the community for the opportunities it provides for recreational, inspirational and educational experiences. A generous provision of local, neighbourhood and community parks is envisaged within a connected linear system of open space links throughout the development. The new linear park system will connect the main destinations in the development including neighbourhood shops, community centres, schools, public transport, the conservation lands and the town centre as well as provide a generous and unique range of recreation opportunities and choices for the new Huntlee community.

The parkland system will ultimately meet district and local level community facilities needs using open water and rain gardens as a major theme. It will also provide passive recreation opportunities including a children's playground, kickabout spaces, cycle connections and walking trails, feature and native tree planting, and picnic facilities. Key landscape principles include the following:

- _creating a major regional parkland focus at the town centre on Wine Country Drive;
- _creating a network of connected parks within walking distance of new houses and which readily link

- in with the key local places and services within the development;
- _providing parks which are flexible and can be used by a number of people for a range of purposes;
- _providing parks that can be adapted to new opportunities and changes in future demand;
- _ensuring that the location, design and management of parks is based on the principles of sustainability; and
- _providing wetlands, bio-retention gardens and detention basins to achieve storm water control and quality targets in accordance with water sensitive urban design best practice standards.

Detailed amenity landscape elements such as boardwalks, structures, playgrounds, picnic and other signage and furniture elements will be part of future provision for the parks and will create a recognisable character for each park location.

03____ Huntlee Parks

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Sydney Park, NSW, Australia

New children's playground at Huntlee will explore a number of themes and address a range of age groups and play experiences

03____ Huntlee Parks

Anvil Creek Regional Park

A major new regional park will be created in the Anvil Creek floodplain adjacent to the Huntlee town centre on Wine Country Drive. This park will be a major new asset both for the

new Huntlee community and existing communities in the surrounding area. This highly visible and accessible park will become a memorable civic focus for the new town centre celebrating the natural features of the local creek system

and vegetation communities, accommodate significant water related functions and offer and provide for a range of recreational activities to suit community, family and individual pursuits.

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KEY

- ① Village Green
- ② Civic Park
- ③ Community Park
- ④ Huntlee Town Centre
- ⑤ Village 1 Residential
- ⑥ Village 1 Residential



The Anvil Creek Regional Park

Plan - NTS



03_____Huntlee Parks

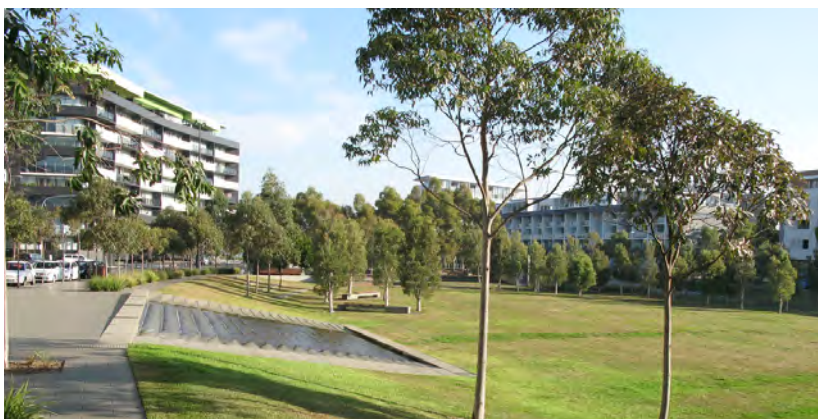
- 14 Three main activity areas will be created within the park including a village green, civic park and community park.

Village Green

The lowest area of the catchment will be re-contoured to create a large 4.5ha detention basin which will be occupied by local sporting fields and a central village green. Features of the park will include car parking and amenities, broad amphitheatre/bleachers and seating in a natural riparian setting to possibly cater for local festivals, market days, large community gatherings and celebrations, picnicking and interpretation.



01_



02_

- 01_ Integrated sports and detention - The Peninsula
02_ Integrated sports and detention - Victoria Park

03___ Huntlee Parks

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Village Green

Plan - NTS



KEY

- ① Local playing fields and village green
- ② Endemic shade tree planting
- ③ Amphitheatre / bleachers
- ④ Detention embankment with cycle access
- ⑤ Wine Country Drive
- ⑥ Riparian Corridor

03____ Huntlee Parks

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Village Green



03_____Huntlee Parks

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Civic Park

A primary focus of the new town will be a new 3 ha lake and civic park. The lake is located at the confluence of view corridors from the new main street and from Wine Country Drive on approach from south and north. The proposed lake will receive runoff from the town centre and from Anvil Creek upstream, and provide water quality control via fringing wetlands and bio-retention. The civic park is a placed for lunching, relaxation, promenading and escape from the action of the busy town centre. Features will include a jetty structure, promenade and boardwalks, paved and seating areas with access to the water's edge, a lakeside walk and possible boating/canoeing.



01_



01_ Lakeside jetty, park and pedestrian promenade

03___ Huntlee Parks

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Community Park Plan

Plan - NTS

KEY

- ① Huntlee lake
- ② Jetty and boardwalk
- ③ Civic park
- ④ Civic promenade
- ⑤ Wetland
- ⑥ 3m recreation cycleway
- ⑦ Wine country drive
- ⑧ Anvil creek riparian corridor



03____ Huntlee Parks

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Lakeside jetty, park and pedestrian promenade

