

# Notice of Modification

## Section 75W of the *Environmental Planning and Assessment Act 1979*

As delegate for the Minister for Planning and Infrastructure under delegation dated 14 September 2011, I hereby modify the project approval (MP 10\_0128) referred to in Schedule 1, subject to the Conditions in Schedule 2.

  
Dan Keary  
Director  
Industry, Key Sites and Social Projects

Sydney 15<sup>th</sup> APRIL 2014

### SCHEDULE 1

Project approval (MP 10\_0128), granted by the then Minister for Planning on 24 October 2011 for the Jacfin Ropes Creek Project, Ropes Creek in the Blacktown local government area.

### SCHEDULE 2

This project approval is modified by:

1. Replacing the description of 'Land' in Schedule 1 as follows:

Land	Lot 121 DP 1175762 and Part Lot 15 DP 1157491 (see Appendix 1)
------	--

2. Replacing the description of 'Project' in Schedule 1 as follows:

Project	Jacfin Ropes Creek Stage 1 Project: for the development of warehousing and distribution; and subdivision to create Lots 51, 52 and 53 (E2 Zone).
---------	--

3. Replacing the following definition of 'Project' in the definitions list in Schedule 2 as follows:

Project	The development as described in the EA as it relates to the Jacfin Ropes Creek Stage 1 Project, as modified by MP 10_0128 MOD 1
---------	---

4. Deleting the definition of 'RTA', 'Temporary Access Road', 'Warehouse Building 1' and 'Warehouse Building 2' in the definitions list in Schedule 2.

5. Inserting the following new definitions in alphabetical order in the definitions list in Schedule 2 as follows:

MP 10_0128 MOD 1	The modification application lodged on 7 December 2012, accompanying Environmental Assessment (dated 6 December 2012) and Response to Submissions letter (dated 22 March 2013), prepared by JBA Urban Planning Consultants Pty Ltd
------------------	--

RMS	Roads and Maritime Services
-----	-----------------------------

Stage 1 Building      The construction and operation of a 17,550m<sup>2</sup> warehouse, including 1,350m<sup>2</sup> of office space towards the south-eastern corner of the site as described in MP 10\_0128 MOD 1

6. Replacing all references to 'RTA' with 'RMS' in the project approval.
7. Replacing Condition 2 in Schedule 2 with the following:

#### **Terms of Approval**

2. The Proponent shall carry out the project generally in accordance with the:
  - (a) EA;
  - (b) Concept Plan approval (10\_0127), as modified by MP 10\_0127 MOD 1;
  - (c) site plans (see Appendix A);
  - (d) Site Development Guidelines;
  - (e) RTS and associated information;
  - (f) plan of subdivision (see Appendix B);
  - (g) statement of commitments (see Appendix C);
  - (h) MP 10\_0128 MOD 1; and
  - (i) conditions of this approval.
8. Replacing Condition 6 in Schedule 2 with the following:

#### **Limits of Approval**

6. This approval only relates to the Jacfin Ropes Creek Stage 1 Project at the proposed site, as described in the EA, as modified by the Concept Plan Approval and MP 10\_0128 MOD 1.
9. Replacing Condition 14 in Schedule 2 with the following:

#### **Contributions**

14. The Proponent shall enter into a voluntary planning agreement in accordance with the letter of offer dated 6 February 2014, within 1 month of the later of the date of the approval of MP 10\_0128 MOD 1 or the day being the last day that the VPA is notified under section 93G of the Act or as otherwise agreed by the Director-General in writing.

*Note: Notwithstanding any other conditions in this approval, a construction certificate or subdivision certificate cannot be issued unless the certifier is satisfied that the above planning agreement has been entered into.*

10. Replacing Condition 17 in Schedule 3 with the following:

17. The Proponent shall prepare and implement a Stormwater and Drainage Management Plan for the project to the satisfaction of the Director-General. This plan must:
  - (a) be submitted to the Director-General for approval at least one month prior to the commencement of construction;
  - (b) be prepared in consultation with Council and SCA;
  - (c) be prepared in accordance with OEH's *Managing Urban Stormwater* guidelines and the Concept Plan (10\_0127);
  - (d) include a stormwater management plan, including hydraulic calculations based on a 1 in 100 ARI;
  - (e) detail how (and ensure that) stormwater run off from the site would be restricted to pre-development rates or less;
  - (f) include detailed plans of the proposed stormwater, treatment and control infrastructure, and any stormwater outlets into a riparian zone or natural watercourse and their spillways;
  - (g) include a program to monitor stormwater quantity and quality to acceptable level in accordance with the EPA's *Growth Centres Development Code*; and
  - (h) describe the measures that would be implemented to maintain this infrastructure during the life of the project.

11. Inserting a new Condition 17A in Schedule 3 after Condition 17 as follows:

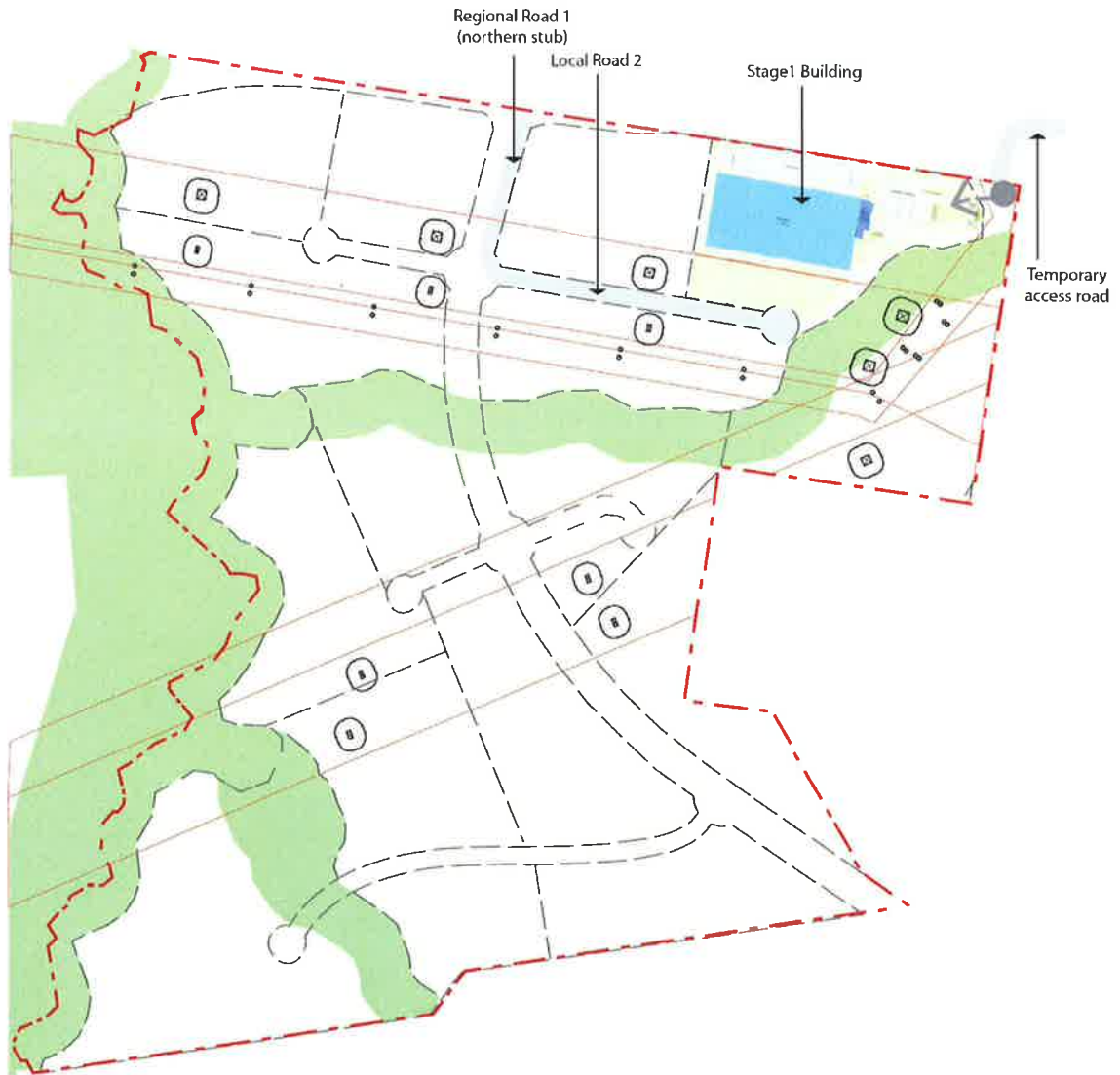
**Temporary Construction Access Arrangements**

- 17A. Prior to the commencement of construction of any development on the site, the Proponent shall submit final details (including plans and drawings), to the satisfaction of the Director-General, of the temporary construction access arrangements to be utilised by construction vehicles associated with the Stage 1 Building while the construction of those roads referred to in Condition 18 in Schedule 3 are being completed.
12. Replacing Condition 18 in Schedule 3 with the following:

**Access Arrangements**

18. The Proponent shall submit to the satisfaction of the Director-General, prior to the commencement of construction of the Stage 1 Building, detailed plans and drawings prepared in consultation with the RTA and Council, for the:
- (a) connection to the Archbold Road Intersection and the northern stub of Regional Road One; and
  - (b) Local Road Two (including detailed plans for the permanent access driveway to be constructed connecting Local Road Two to the Stage 1 Building).
13. Inserting a new Condition 18A in Schedule 3 after Condition 18 as follows:
- 18A. The Proponent shall complete the construction of all connections and roads referred to in Condition 18(a) and 18 (b) in Schedule 3 prior to the issue of an occupation certificate for the Stage 1 Building.
14. Deleting Condition 19 in Schedule 3 and inserting the words 'Deleted'.
15. Deleting Condition 20 in Schedule 3 and inserting the words 'Deleted'.
16. Replacing Condition 21 in Schedule 3 after Condition 20 as follows:
21. Within 3 months of the date of the approval of MP 10\_0128 MOD 1, the Proponent shall consult with the Department concerning options to allow vehicular access from Local Road 2 to Lot 10 DP 1157491. Any access to Lot 10 DP 1157491 would be at no cost to the Proponent and would not impact on the construction of the Stage 1 Building.
17. Replacing Condition 23 in Schedule 2 with the following:
23. The Proponent shall provide a minimum of 110 and a maximum of 152 sealed parking spaces for the Stage 1 Building.
18. Replacing Appendices A, B and C as follows:

## APPENDIX A SITE PLANS



### Key

- Site Boundary
- E2 Environmental Conservation Zone
- ⊗ Existing Pylons with 15m Setback Zone
- Indicative Lot Boundary
- Line of Easement

- Stage 1
- Later Stages

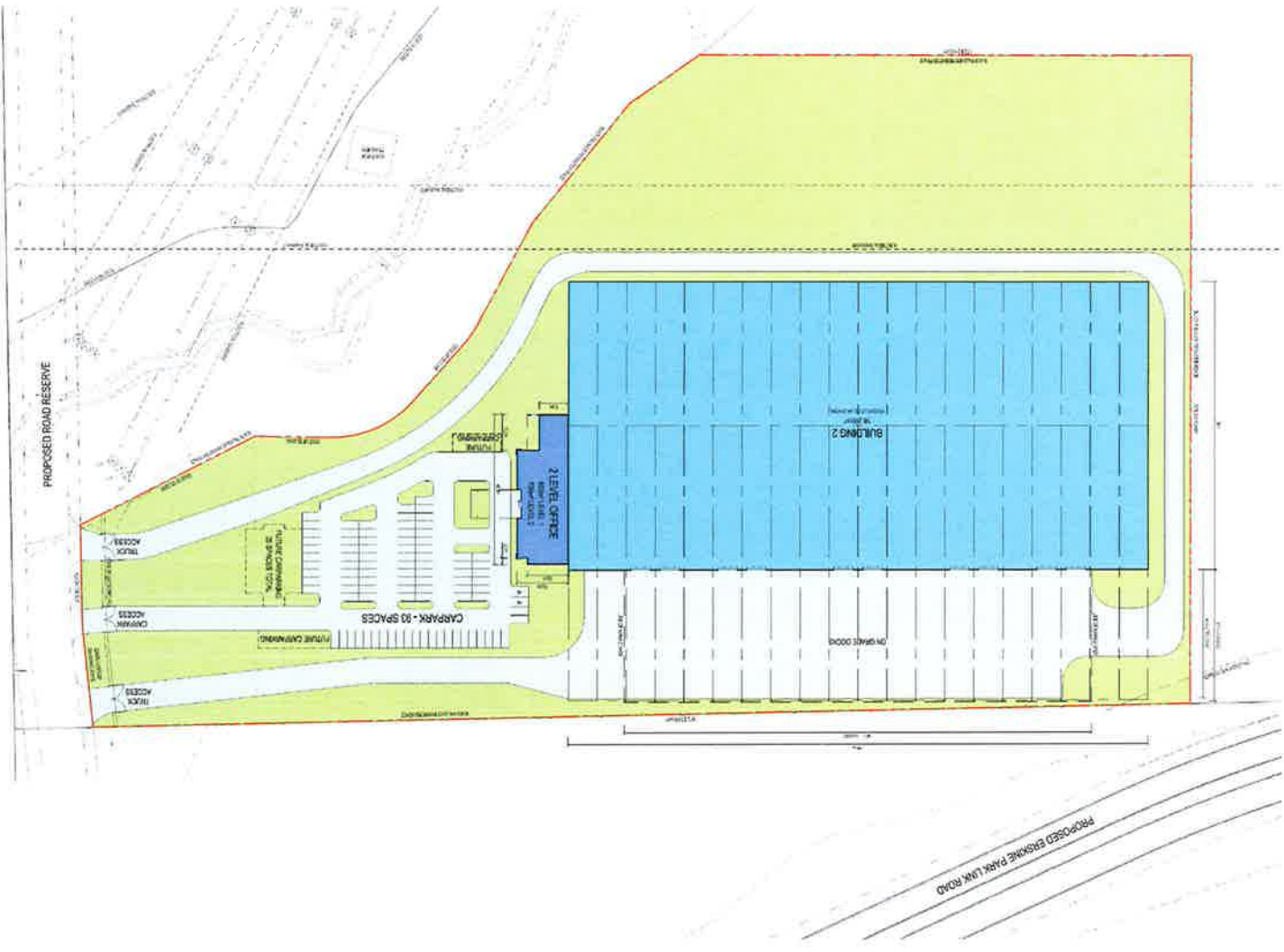
PA01 Stage 1 - PA Plan

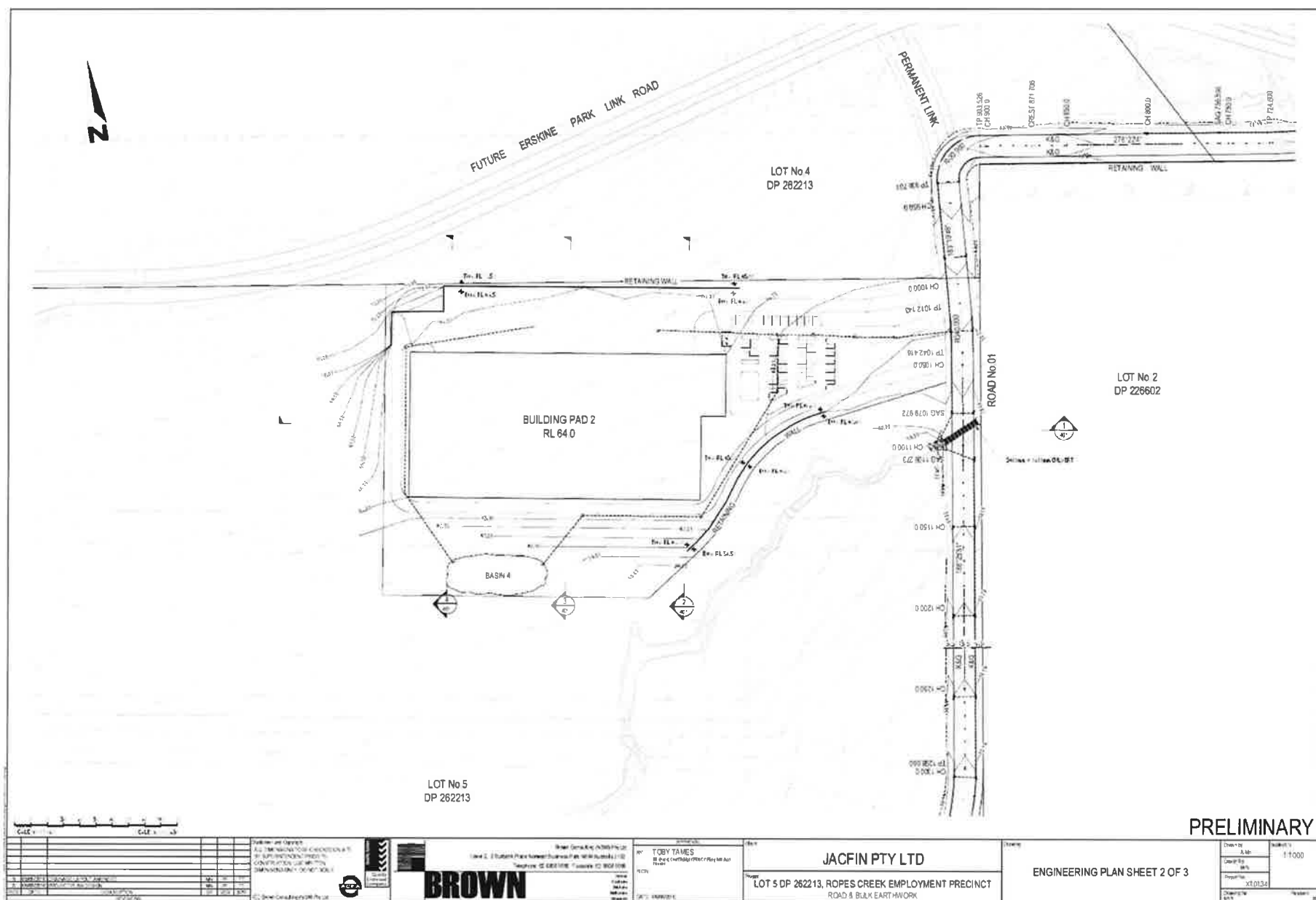
PROJECT: ROSES CREEK EMPLOYMENT PRECINCT  
 LOT 5 DP 262213  
 JACOPI PTY LTD  
 MASTER SITE PLAN  
 ROSES CREEK BUILDING 2  
 1023 ARDA  
 DA 10 / B  
 10/10/2023

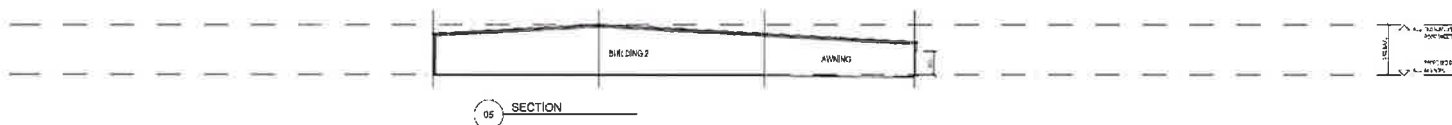
**SITE AREA**

AREAS	16,200m <sup>2</sup>
WAREHOUSE	5,560m <sup>2</sup>
DOCK AWNINGS	1,350m <sup>2</sup>
OFFICES	1,350m <sup>2</sup>
LEVEL 1-4/50M	
LEVEL 2-750M	
<b>TOTAL</b>	<b>5.3 HA</b>

**KEY PLAN**  
 THIS KEY PLAN IS A SUMMARY OF THE PROPOSED DEVELOPMENT AND IS NOT A SUBSTITUTE FOR THE DETAILED SITE PLAN. IT IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE DETAILED SITE PLAN SHALL BE THE AUTHORITY FOR THE DEVELOPMENT.







**KEY PLAN**

NOTES: 1. THE KEY PLAN IS A PLAN OF THE BUILDING AND ITS SURROUNDINGS. IT IS NOT A SITE PLAN. 2. THE KEY PLAN IS A PLAN OF THE BUILDING AND ITS SURROUNDINGS. IT IS NOT A SITE PLAN. 3. THE KEY PLAN IS A PLAN OF THE BUILDING AND ITS SURROUNDINGS. IT IS NOT A SITE PLAN.

JACFIN PTY LTD

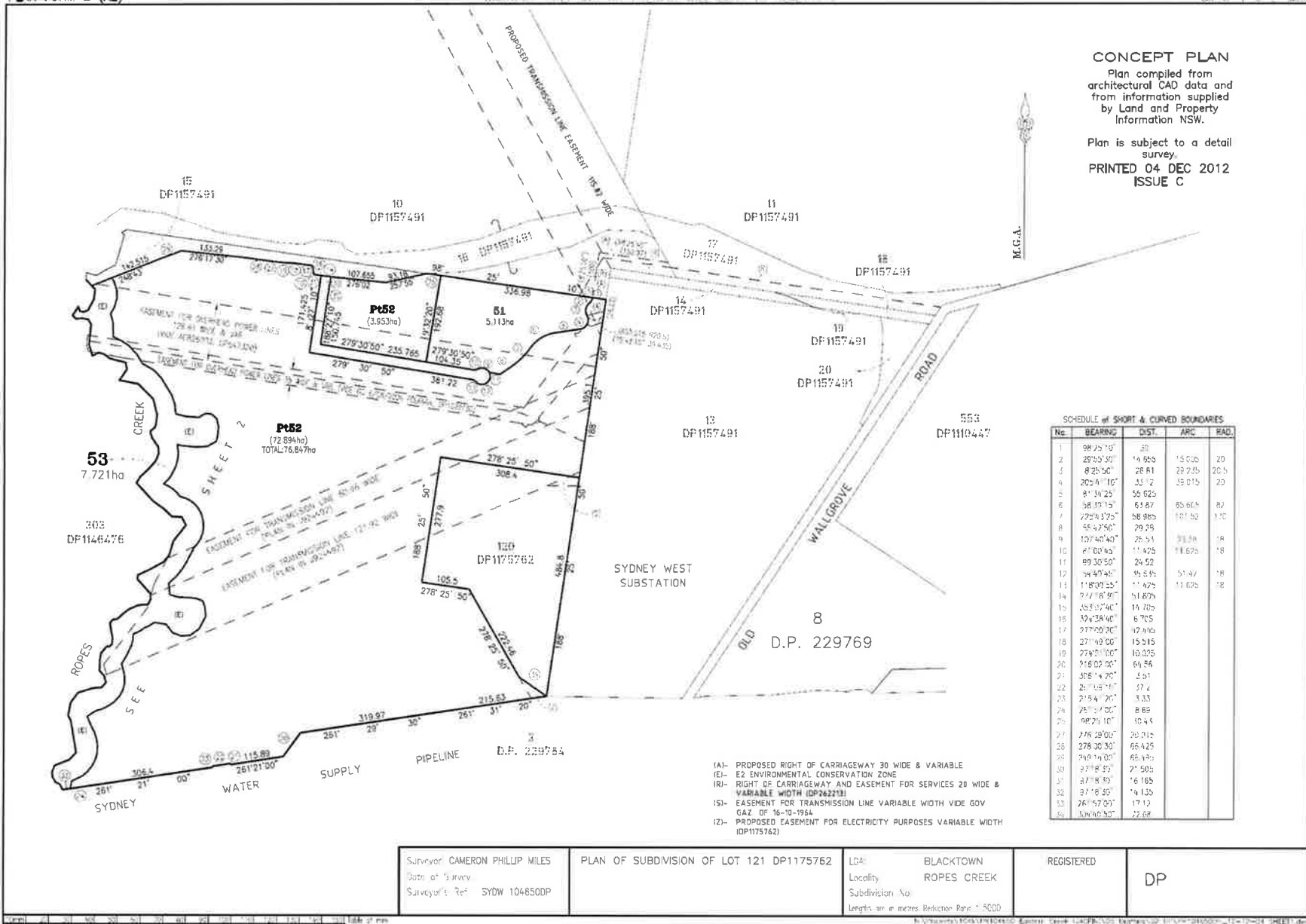
ROPES CREEK  
EMPLOYMENT PRECINCT  
LOT 5 DP 262213

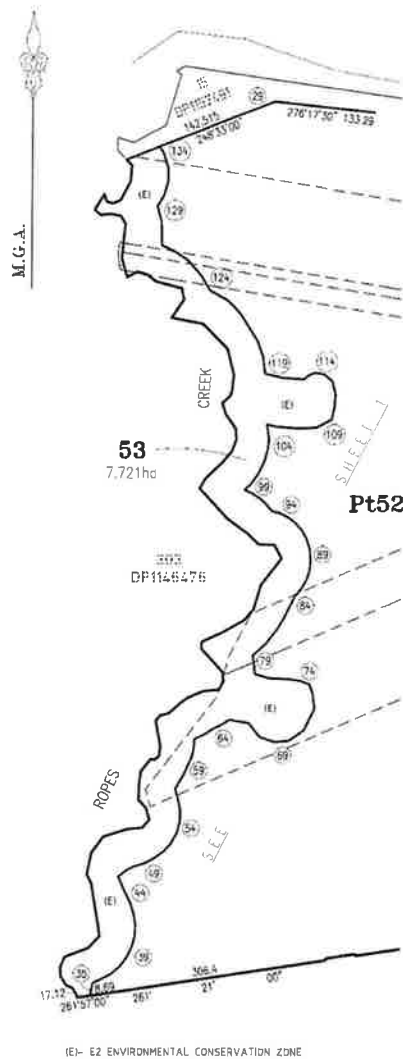
**3** M N J A 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

ROPES CREEK BUILDING 2  
ELEVATIONS AND SECTION

NO.	REVISION	DATE	BY
1	1	10/23	AR/DA
2	2	10/23	AR/DA
3	3	10/23	AR/DA
4	4	10/23	AR/DA
5	5	10/23	AR/DA
6	6	10/23	AR/DA
7	7	10/23	AR/DA
8	8	10/23	AR/DA
9	9	10/23	AR/DA
10	10	10/23	AR/DA
11	11	10/23	AR/DA
12	12	10/23	AR/DA
13	13	10/23	AR/DA
14	14	10/23	AR/DA
15	15	10/23	AR/DA
16	16	10/23	AR/DA
17	17	10/23	AR/DA
18	18	10/23	AR/DA
19	19	10/23	AR/DA
20	20	10/23	AR/DA
21	21	10/23	AR/DA
22	22	10/23	AR/DA
23	23	10/23	AR/DA
24	24	10/23	AR/DA
25	25	10/23	AR/DA
26	26	10/23	AR/DA
27	27	10/23	AR/DA
28	28	10/23	AR/DA
29	29	10/23	AR/DA
30	30	10/23	AR/DA
31	31	10/23	AR/DA
32	32	10/23	AR/DA
33	33	10/23	AR/DA
34	34	10/23	AR/DA
35	35	10/23	AR/DA
36	36	10/23	AR/DA
37	37	10/23	AR/DA
38	38	10/23	AR/DA
39	39	10/23	AR/DA
40	40	10/23	AR/DA
41	41	10/23	AR/DA
42	42	10/23	AR/DA
43	43	10/23	AR/DA
44	44	10/23	AR/DA
45	45	10/23	AR/DA
46	46	10/23	AR/DA
47	47	10/23	AR/DA
48	48	10/23	AR/DA
49	49	10/23	AR/DA
50	50	10/23	AR/DA
51	51	10/23	AR/DA
52	52	10/23	AR/DA
53	53	10/23	AR/DA
54	54	10/23	AR/DA
55	55	10/23	AR/DA
56	56	10/23	AR/DA
57	57	10/23	AR/DA
58	58	10/23	AR/DA
59	59	10/23	AR/DA
60	60	10/23	AR/DA
61	61	10/23	AR/DA
62	62	10/23	AR/DA
63	63	10/23	AR/DA
64	64	10/23	AR/DA
65	65	10/23	AR/DA
66	66	10/23	AR/DA
67	67	10/23	AR/DA
68	68	10/23	AR/DA
69	69	10/23	AR/DA
70	70	10/23	AR/DA
71	71	10/23	AR/DA
72	72	10/23	AR/DA
73	73	10/23	AR/DA
74	74	10/23	AR/DA
75	75	10/23	AR/DA
76	76	10/23	AR/DA
77	77	10/23	AR/DA
78	78	10/23	AR/DA
79	79	10/23	AR/DA
80	80	10/23	AR/DA
81	81	10/23	AR/DA
82	82	10/23	AR/DA
83	83	10/23	AR/DA
84	84	10/23	AR/DA
85	85	10/23	AR/DA
86	86	10/23	AR/DA
87	87	10/23	AR/DA
88	88	10/23	AR/DA
89	89	10/23	AR/DA
90	90	10/23	AR/DA
91	91	10/23	AR/DA
92	92	10/23	AR/DA
93	93	10/23	AR/DA
94	94	10/23	AR/DA
95	95	10/23	AR/DA
96	96	10/23	AR/DA
97	97	10/23	AR/DA
98	98	10/23	AR/DA
99	99	10/23	AR/DA
100	100	10/23	AR/DA



APPENDIX B  
PLAN OF SUBDIVISION



## SCHEDULE OF SHORT &amp; CURVED BOUNDARIES

No	BEARING	CHORD	No	BEARING	CHORD
1	10°45'10"	15.86	54	7°38'40"	12.4
2	53°15'00"	26.87	55	156°21'10"	18.78
3	40°25'40"	15.08	56	34°00'10"	14.99
4	17°30'00"	15.66	57	320°51'30"	14.30
5	25°37'30"	16.53	58	31°31'50"	12.46
6	4°51'50"	12.92	59	307°05'50"	10.82
7	306°50'	15.8	60	297°7'30"	11.56
42	352°14'40"	14.06	61	285°43'10"	11.11
43	348°19'10"	15.62	62	320°00'10"	11.37
44	337°54'50"	12.44	63	313°33'20"	11.23
45	326°54'10"	21.67	64	302°12'40"	13.92
46	313°11'00"	13.57	65	294°59'50"	10.01
47	62°50'00"	10.45	66	43°28'20"	13.32
48	17°27'20"	11.74	67	35°55'30"	14.97
49	66°39'40"	9.26	68	211°12'40"	19.42
50	60°31'20"	10.94	69	15°44'40"	16.03
51	53°44'00"	13.57	70	1°44'10"	13.44
52	42°51'20"	14.29	71	102°43'10"	19.16
53	29°38'00"	16.58	72	102°36'00"	12.06
54	14°09'10"	15.41	73	05°03'50"	31.69
55	0°33'00"	14.6	74	86°37'30"	22.6
56	351°04'10"	8.29	75	6°27'50"	22.41
57	345°39'10"	19.94	76	13°26'00"	15.87
58	30°36'00"	21.18	77	5°05'10"	17.29
59	24°48'30"	23.42	78	346°49'20"	18.49
60	5°15'10"	10.5	79	31°11'50"	14.26
61	4°55'30"	14.33	80	278°46'10"	12.6
62	64°15'00"	16.04	81	247°59'20"	8.23
63	57°32'10"	13.03	82	234°06'20"	9.71
64	65°48'40"	10.12	83	224°00'40"	21.55
65	57°41'10"	13.03	84	283°48'00"	24.35
66	80°46'20"	26.13	85	31°51'20"	22.54
67	42°04'10"	23.16	86	340°38'10"	21.71
68	109°08'10"	20.47	87	328°04'10"	44.28
69	85°33'50"	19.19	88	315°59'20"	23.94
70	54°44'20"	24.36	89	298°33'00"	27.28
71	26°43'10"	31.06	90	328°27'50"	23.43
72	35°42'50"	20.4	91	318°24'30"	27.03
73	340°04'00"	13.67	92	353°00'30"	20.55
74	20°10'30"	13.96	93	285°10'50"	18.53
75	277°49'50"	14.9	94	338°31'30"	31.72
76	272°09'40"	24.69	95	345°42'00"	26.53
77	225°51'10"	20.6	96	307°6'50"	16.55
78	356°11'20"	11.97	97	18°56'50"	16.84
79	351°39'10"	17.89	98	358°58'20"	18.31
80	47°34'10"	24.85	99	147°43'00"	20.5
81	37°39'00"	22.97	100	326°31'40"	9.08
82	40°40'20"	16.74	101	42°26'50"	20.12
83	27°04'50"	21.07	102	56°12'50"	31.65
84	25°29'40"	11.62	103	52°26'50"	19.24
85	41°30'30"	12.26	104	35°43'30"	14.1
86	31°33'30"	12.73			
87	19°32'50"	13.73			

## CONCEPT PLAN

Plan compiled from  
architectural CAD data and  
from information supplied  
by Land and Property  
Information NSW.

Plan is subject to a detail  
survey.

PRINTED 04 DEC 2012  
ISSUE C

Surveyor: CAMERON PHILLIP MILES  
Date of Survey:  
Surveyor's Ref: SYDW 1046500P

PLAN OF SUBDIVISION OF LOT 121 DP1175762

LGA: BLACKTOWN  
Locality: ROPES CREEK  
Subdivision No:  
Lengths in metres. Reduction Factor 1.4020

REGISTERED

DP

## APPENDIX C STATEMENT OF COMMITMENTS

Subject	No.	Commitments	Timing
Construction Management	1.	A Construction and Environmental Management Plan will be prepared by the appointed building contractor and will be submitted to the Principal Certifying Authority for sign off. The CEMP will address the following issues: - Site Management; - Air Quality; - Noise and Vibration Management; - Soil and Water Management; - Construction Traffic Management; - Waste and Hazardous Materials Management; - Protection of E2 zoned land; and - Management of Indigenous Heritage.	Prior to works commencing.
	2.	The construction noise mitigation measures recommended by the Acoustic Consultant will be incorporated into the Construction and Environmental Management Plans.	Prior to works commencing.
Waste Management	3.	An Operational Waste Management Plan will be prepared for each of the warehouse buildings on the site.	Prior to the occupation of each warehouse.
	4.	If required a Hazard Assessment for the storage of hazardous goods will be undertaken.	Prior to the issue of a Construction Certificate relating to the construction of a hazardous material storage facility.
Signage and Lighting	5.	Future applications will be lodged providing detail on signage and lighting for Warehouse Buildings 1 and 2.	Prior to the occupation and use of each warehouse building.
Building Code of Australia	6.	The Stage 1 warehouse buildings will comply with the relevant provisions of the Building Code of Australia.	Prior to issue of a Construction Certificate.
Heritage	7.	The Aboriginal artefact in the Stage 1 Project Application area will be collected and agreement will be sought with the local Aboriginal community to determine a suitable safe location for the storage of the artefact.	Prior to earthworks commencing.
Contributions	8.	Jacfin will enter into an agreement with the Department of Planning as part of the Stage 1 Project Application, in accordance with Division 6 of Part 4 of the EP&A Act, to provide for regional infrastructure contributions, as outlined in <b>Section 6.15</b> of the this report.	Prior to the issue of an Occupation Certificate.