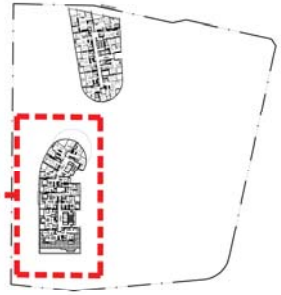
1 LEVEL 9 PLANTING PLAN
SCALE 1:100



KEY PLAN: SCALE 1/1000

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Level 9 Planting Plan

SCALE 1:100 @ A0

LEGEND

SITE BOUNDARY
EXISTING TREE RETAINED
+TW 21.0 TOP OF WALL LEVEL
+SL 24.00 TOP OF SLAB LEVEL
30.0 EXISTING CONTOUR
18.5 PROPOSED NEW CONTOUR
PROPOSED TREE
+EX 18.25 EXISTING SPOT LEVEL
+RL 20.0 PROPOSED SPOT LEVEL
PROPOSED FERN/ PALM PLANTINGS
PROPOSED SHRUBS
PROPOSED GROUNDCOVERS
CENTRAL OPEN TURF AREA
PROPOSED TIMBER DECKING
PROPOSED WATER FEATURE

NOTE: FOR TOTAL PLANT SCHEDULE, REFER TO PAGE 30

project: Crown, Eastlakes South
client: Crown Group
date 09.10.2019
revision: C for DRPP
drawn: SV
checked: JH

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Sheet No. 70 of 136

Planting character

PROJECT: Crown, Eastlakes South
CLIENT: Crown Group
DATE: 09.10.2019
REVISION: C for DRPP
DRAWN: SV
CHECKED: JH

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Melaleuca quinquenervia
- Broad-leaved Paperbark
*large tree species

Quercus ilex
- Mediterranean Oak
*large tree species

Elaeocarpus eumundii
- Quandong

Elaeocarpus prima donna
- Blueberry Ash

Archontophoenix cunninghamiana
- Bangalow Palm

Livistona chinensis
- Chinese Fan Palm

Pandanus utilis
- Pandanus Palm

Banksia integrifolia
- Banksia

Chamaedorea humilis
- European Fan Palm

Chamaedorea seifrizii
- Bamboo Palm

Syzygium cascade
- Cadcade Lily Pilly

Loropetalum chinense 'Plum Delight'
- Chinese Fringe Flower

Melaleuca little red
- Red Tea Tree

Pittosporum tobira 'Miss Muffet'
- Miss Muffet Pittosporum

Philodendron xanadu
- Xanadu

Strelitzia juncea
- Narrow Leafed Bird of Paradise

Grevillea robyn gordon
- Grevillea

Plectranthus nitidus
- Silver Plectranthus

Westringia fruticosa 'Aussie Box'
- Coastal Rosemary

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Liriope muscari 'evergreen giant'- Liriope

Cordyline hybrid Red Fountain
- Cordyline Red Fountain

Helmholtzia glaberrima
- Steam Lilly

Banksia integrifolia 'Roller Coaster'- Bankisa

Hibbertia scandens
- Snake Vine

Lomandra confertifolia 'Sir 5'
- Lomandra

Cyrtomium falcatum
- Japanese Holly Fern

Doodia aspera
- Rasp Fern

Carpobrotus glaucescens
- Pig face

Typical planting species

PLANT SCHEDULE

ID	BOTANICAL NAME	COMMON NAME	HEIGHT (m)	SPREAD (m)	SIZE	QTY
TREES						
AT	*Archontophoenix cunninghamiana*	Bangalow Palm (multi-stem)	3-5m	3m	75L	36
BK	*Banksia integrifolia*	Coastal Banksia	9m	5m	100L	3
BB	*Bauhinia x blakeana*	Hong Kong Orchid tree	8m	4m	45L	4
CO	*Cordyline Red Sensation*	Cordyline	2.5m	1.5m	400mm	55
CA	*Cupaniopsis anacardioides*	Tuckeroo	9m	5m	100L	6
DL	*Dipsys lutescens*	Golden Cane Palm	6m	1.5m	75L	28
ER	*Elaeocarpus reticulatus 'Prima Donna'*	Blueberry Ash	10m	5m	75L	9
EE	*Elaeocarpus eumundi*	Quandong	10m	4m	75L	13
EY	*Eucalyptus 'Little Spotty'*	Darf Flowering Gum	8m	4.5m	100L	2
HT	*Hibiscus tiliaceus*	Cottonwood	8m	5m	75L	18
HO	*Howea forsteriana*	Lord Howe Island Palm	8m	2.5m	75L	13
LI	*Lagerstroemia indica x L. fauriei 'Biloxi'*	Japanese Crapemyrtle	6m	4m	100L	6
LO	*Leptospermum laevigatum*	Coastal Tea tree	6m	4m	75L	2
LZ	*Lagerstroemia indica x L. fauriei 'Zuni'*	Zuni Crepe Myrtle	4m	3m	100L	3
LC	*Livistona chinensis*	Chinese Fan Palm	8m	4m	100L	36
MQ	*Melaleuca quinquenervia*	Broad-leaved Paperbark	18m	6m	100L	2
PU	*Pandanus tectorius*	Screw Pine	4m	2m	100L	9
PR	*Plumeria rubra*	Frangipanis	3m	3m	100L	13
QP	*Quercus ilex*	Mediterranean Oak	16m	5m	100L	1
RG	*Rothmania globosa*	Tree Gardenia	6m	3m	75L	13
TL	*Tristaniopsis laurina 'Luscious'*	Watergum	7m	4m	100L	14
WA	*Waterhousia floribunda 'Sweeper'*	Weeping Lily Pilly	8m	5m	100L	7
SHRUBS						
AS	*Asplenium australasicum*	Birds Nest Fern	1.5m	1.5m	300mm	130
AA	*Agave attenuata*	Century Plant	0.9	1.2	300mm	173
AY	*Adenanthos sericeus*	Wooly Bush	2m	1m	400mm	20
AX	*Alcantarea extensa*	Giant Bromeliad	1m	1m	300mm	117
BR	*Banksia robur*	Swamp Banksia	2.5m	2m	400mm	29
BX	*Banksia 'Sentinel'*	Coastal Banksia	2.2m	1.5m	400mm	20
CM	*Carissa macrocarpa 'Desert Star'*	Natal Plum	0.5	0.6	300mm	188
CG	*Callistemon salignus 'Great Balls of Fire*	Bottlebrush	1.5m	1.5m	300mm	58
CT	Choysia ternata	Mexican Orange Blossom	1.5m	1.5m	300mm	288
CB	*Crassula 'Bluebird'*	Jade Plant	0.8	0.8	300mm	63
CC	*Correa alba*	White Correa	0.8	0.8	300mm	38
CY	*Cycas revoluta*	Sago Palm	1.5m	1.5m	400mm	7
DV	*Dichroa versicolor*	Evergreen Hydrangea	1m	1m	300mm	59
EM	*Eupatorium megallophylum*	Purple Mist Flower	0.5m	1.5m	300mm	52
GR	Gardenia radicans	Trailing Gardenia	0.4m	0.7m	300mm	450
HM	Hymenosporum flavum 'Gold Nugget	Native Frangipani	0.7	0.7m	300mm	334
HQ	*Hydrangea quercifolia*	Oakleaf Hydrangea	1.5m	1m	300mm	75
LD	*Lavandula dentata*	French lavender	1m	1m	300mm	62
LP	*Loropetalum chinense 'Purple Pixie'*	Chinese Witchhazel	1m	0.9	300mm	177
ME	*Megaskepasma erythrochlamys*	Brazilian Red Cloak	1.5m	1.5m	400mm	20
MF	*Metrosideros Fiji Fire*	NZ Christmas Bush	3m	2m	400mm	44
MB	*Mackaya bella*	Forest bell bush	1.5m	1.5	300mm	47
NF	*Nandina domestica 'Flirt'*	Dwarf Nandina	0.5m	0.5m	300mm	394
NL	*Nandina domestica alba 'Limelight '*	Heavenly Bamboo	0.9m	0.9m	300mm	134
PT	*Pittosporum tobira 'Miss Muffet'*	Miss Muffet	0.8	0.6	300mm	256
PC	*Prostanthera cuneata*	Alpine Minth Bush	0.9m	0.9m	200mm	88
RE	*Rhapis excelsa*	Lady Palm	2m	1.2m	400mm	32
RI	*Rhaphiolepis indica 'Oriental pearl'*	Indian Hawthorn	0.8	0.8	300mm	8
SJ	*Strelitzia juncea*	Bird of Paradise	0.9 - 1m	1m	300mm	146
SG	*Syzygium 'Cascade'*	Lilly Pilly	2-3m	1-2m	45L	46
SN	*Syzygium 'Straight and Narrow'*	Lilly Pilly	2.5m	1.5m	400mm	198
TB	*Todea barbara*	King fern	1.5m	1.2m	45L	80
VO	*Viburnum opulus*	Snowball Viburnum	2m	2m	300mm	13
WX	*Westringia fruticosa 'Grey Box'*	Native Rosemary	0.5m	0.5m	300mm	116
WB	*Westringia fruticosa 'Blue Gem'*	Native Rosemary	1.2m	1.2m	300mm	64
XX	*Xanthorrhoea xanthorrhana*	Grass Tree	2.5m	2m	75L	3
GROUNDCOVERS & CLIMBERS						
AC	*Arthropodium cirratum'Matapouri Bay'*	NZ Rock Lily	0.6m	0.7m	200mm	312
AE	*Aspidistra elatior*	Cast Iron Plant	0.6	0.5	200mm	168
CZ	*Calathea zebrina*	Calathea	0.4m	0.5m	200mm	127
CW	*Calathea rufibarba 'Wavestar'*	Peacock Plant	1m	0.5m	200mm	122
CD	*Carpobrotus glaucescens*	Pig Face	0.3m	0.8m	200mm	10
CF	*Cyrtomium falcatum*	Japanese Holly Fern	0.9m	0.9m	200mm	208
DC	*Dianella Cassa Blue*	Native Flax	0.5m	0.4m	200mm	248
DI	*Dianella tasmanica*	Flax Lily	0.5m	0.4m	200mm	264
DR	*Dichondra repens*	Kidney weed	0.2m	0.5m	200mm	346
DA	*Doodia aspera*	Prickly Rasp fern	0.3m	0.3m	200mm	69
EW	*Euphorbia wulfenii characias*	Mediterranean Spurge	0.5m	0.5m	200mm	43
AN	*Alpinia nutans*	Dwarf Ginger	1m	0.5m	200mm	50
HH	*Heliconia 'Hot Rio Nights'*	Heliconia	2m	0.8m	300mm	59
HG	*Helmholtzia glaberrima*	Stream Lily	1.2m	0.8m	200mm	37
HA	*Heuchera 'Berry Timeless'*	Coral Bells	0.5m	0.5m	200mm	143
HS	*Hibbertia scandens*	Snake Vine	0.2m	1m	200mm	38
HE	*Hosta sieboldiana 'Elegans'*	Hosta	0.4	0.8	200mm	134
LK	*Lomandra Tanika*	Mat Rush	0.5m	0.5m	200mm	704
LL	*Lomandra longifolia 'Nyalla'*	Mat Rush	0.8m	0.8m	200mm	265
LG	*Liriope muscari 'Evergreen Giant'*	Turf lilly	0.4m	0.4m	200mm	459
MY	*Myoporum parvifolium 'Yareena*	Yareena Myoporum	0.4m	0.4m	200mm	102
PA	*Plectranthus argentatus*	Silver Spurflowetr	0.5m	0.7m	200mm	150
PL	*Plectranthus ciliatus*	Spurflower	0.3m	1m	200mm	440
PH	*Philodendron Rojo Congo*	Rojo Congo	0.5	0.7	300mm	135
PZ	*Philodendron 'Xanadu'*	Xanadu	1m	1m	200mm	214
SS	*Senecio serpens*	Blue Chalksticks	0.3m	0.9m	200mm	209
ST	*Sansevieria trifasciata*	Mother in Law's Tongue	0.5m	0.5m	200mm	20
TG	*Thunbergia grandiflora*	Blue Sky Flower			200mm	187
TT	*Trachelospermum tricolour*	Star Jasmine	0.5m	0.5m	200mm	1161
VM	*Vinca minor*	Vinca			200mm	70

NOTE:

** Plant quantities on planting plan take precedence over quantities identified in this schedule.*

coloured cells indicates large tree species

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No. 4 Granted on 18 June 2020

In respect to MP 09_0146

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Sheet No. 72 of 136

PLANTING SCHEDULE

project: Crown, Eastlakes South
client: Crown Group
date: 09.10.2019
revision: D for DRPP
drawn: SV
checked: JH

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Level 1 Lower Podium Materials Plan

SCALE 1:200 @ A0

LEGEND

- SITE BOUNDARY
- PLANTING ON SLAB
- TIMBER DECKING (SEE MATERIAL SCHEDULE)
- PROPOSED WATER FEATURE
- 600x450 HONEY SAND PAVING WITH FEATURE BANDING
- 600x450 HONEY JASPER PAVING WITH FEATURE BANDING
- TURF ON SLAB
- ARTIFICIAL TURF
- CO - PRECAST CONCRETE WALL
- M1 - MOSAIC TILE TYPE 1
- M2 - MOSAIC TILE TYPE 2
- TD - TIMBER DECKING
- TB - BLACKBUTT TIMBER BENCH
- PS - TIMBER PERGOLA STRUCTURE
- TS - TIMBER SCREEN

NOTE: REFER TO MATERIAL SCHEDULE ON COVER PAGE

project: Crown, Eastlakes South
client: Crown Group
date: 09.10.2019
revision: C for DRPP
drawn: SV
checked: JH

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Sheet No. 74 of 136

Level 2 Upper Podium Materials Plan

SCALE 1:200 @ A0

LEGEND

- SITE BOUNDARY
- PLANTING ON SLAB (POS) 2/37
- TIMBER DECKING (SEE MATERIAL SCHEDULE) (TD) 4/37
- PROPOSED WATER FEATURE (PF) 1/38
- 600x450 HONEY SAND PAVING WITH FEATURE BANDING (P1) 3/37
- 600x450 HONEY JASPER PAVING WITH FEATURE BANDING (P2) 3/37
- TURF ON SLAB (RT) 2/37
- ARTIFICIAL TURF (AT) 1/37
- PRECAST CONCRETE WALL (CO)
- MOSAIC TILE TYPE 1 (M1)
- MOSAIC TILE TYPE 2 (M2)
- TIMBER DECKING (TD) 4/37
- BLACKBUTT TIMBER BENCH (TB) 5/37
- TIMBER PERGOLA STRUCTURE (PS) 38
- TIMBER SCREEN (TS) 40

NOTE: REFER TO MATERIAL SCHEDULE ON COVER PAGE

project: Crown, Eastlakes South
client: Crown Group
date: 09.10.2019
revision: C for DHPP
drawn: SV
checked: JH

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Level 1 Lower Podium Growing Media Depth Plan

SCALE 1:200 @ A0

LEGEND

SITE BOUNDARY
PAVED AREA
+TW 21.0 TOP OF WALL LEVEL
+SL 24.00 TOP OF SLAB LEVEL
EX 18.25 EXISTING SPOT LEVEL
+RL20.0 PROPOSED SPOT LEVEL
PROPOSED SOFTFALL TO PLAY AREA
CENTRAL OPEN TURF AREA
PROPOSED TIMBER DECKING
PROPOSED WATER FEATURE
GROWING MEDIA DEPTH*: mulch not included
GROWING MEDIA DEPTH* 200mm
GROWING MEDIA DEPTH* 600mm

project: Crown, Eastlakes South
client: Crown Group
date 09.10.2019
revision: C for DRPP
drawn: SV
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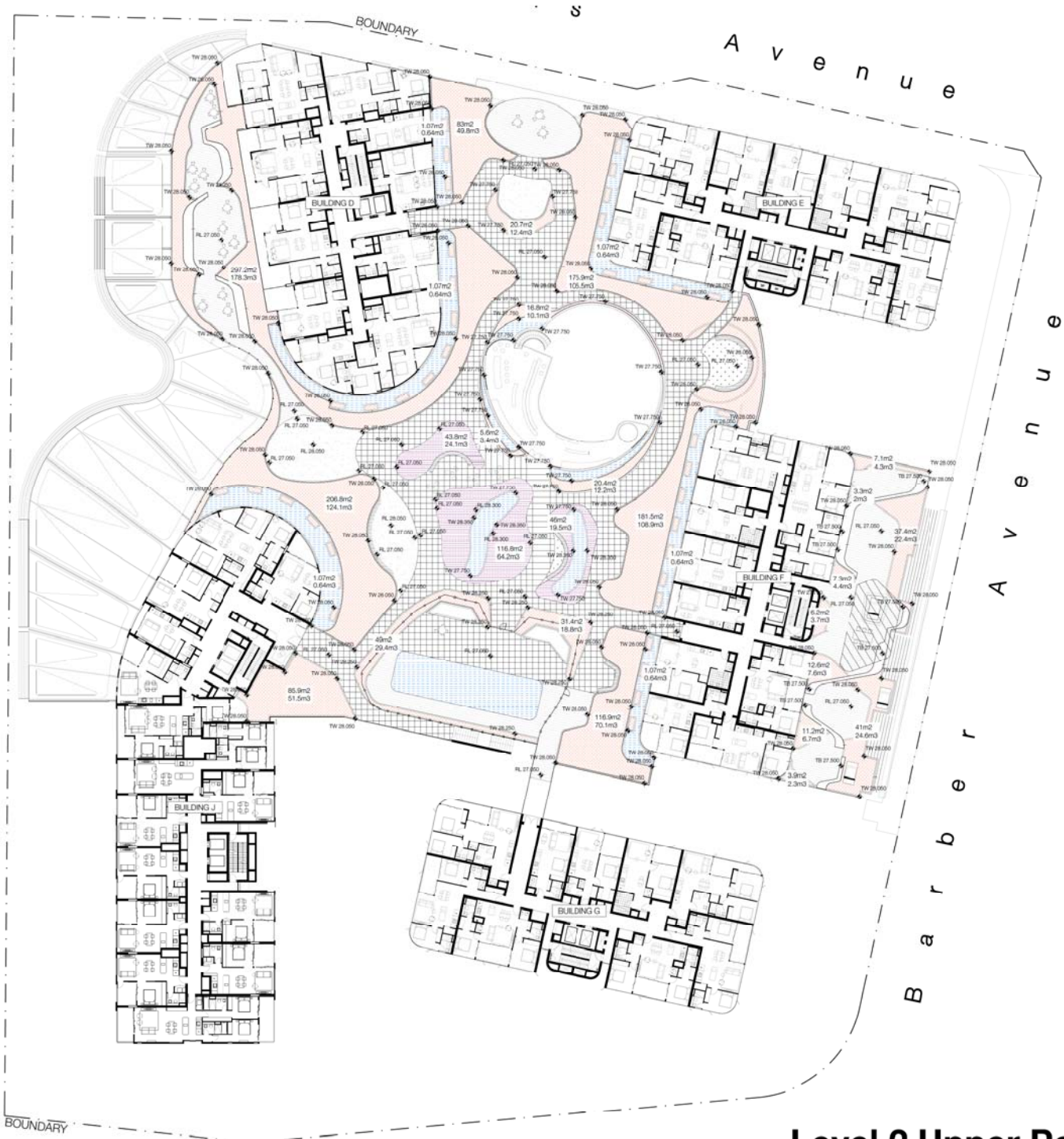

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Level 2 Upper Podium Growing Media Depth Plan

SCALE 1:200 @ A0

LEGEND

SITE BOUNDARY
PAVED AREA
+TW 21.0 TOP OF WALL LEVEL
+SL 24.00 TOP OF SLAB LEVEL
+EX 18.25 EXISTING SPOT LEVEL
+RL 20.0 PROPOSED SPOT LEVEL
PROPOSED SOFTFALL TO PLAY AREA
CENTRAL OPEN TURF AREA
PROPOSED TIMBER DECKING
PROPOSED WATER FEATURE
GROWING MEDIA DEPTH*: mulch not included
GROWING MEDIA DEPTH* 200mm
GROWING MEDIA DEPTH* 600mm

project: Crown, Eastlakes South
client: Crown Group
date 09.10.2019
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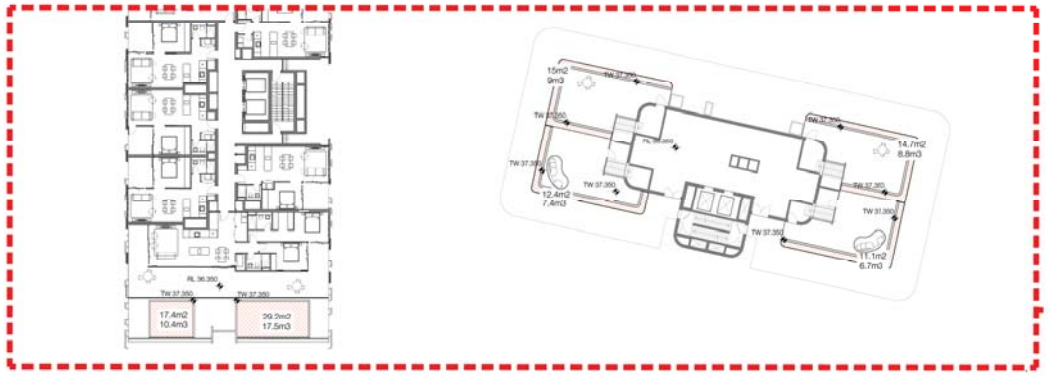
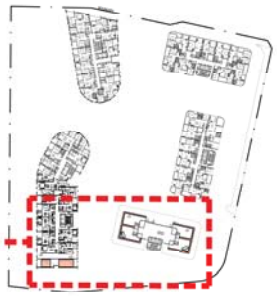
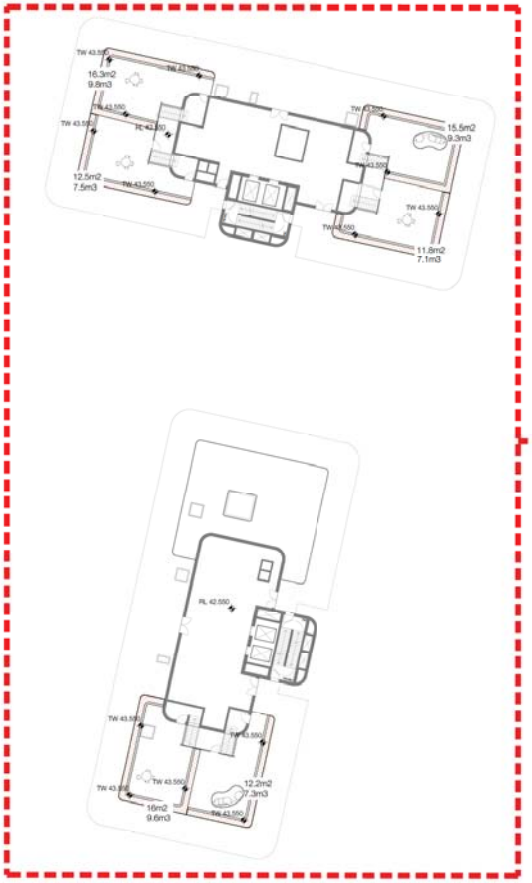


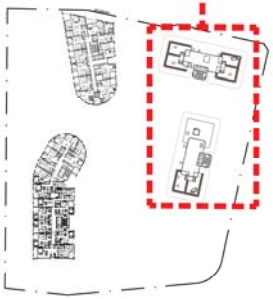
1 LEVEL 5 GROWING MEDIA DEPTH PLAN
SCALE 1:200



KEY PLAN LEVEL 5
SCALE 1/1000



2 LEVEL 7 GROWING MEDIA DEPTH PLAN
SCALE 1:200



KEY PLAN LEVEL 7
SCALE 1/1000

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Sheet No. 77 of 136

Levels 5 & 7 Growing Media Depth Plans

SCALE 1:200 @ A0

LEGEND

SITE BOUNDARY
PAVED AREA
+TW 21.0 TOP OF WALL LEVEL
+SL 24.00 TOP OF SLAB LEVEL
+ EX 18.25 EXISTING SPOT LEVEL
+RL 20.0 PROPOSED SPOT LEVEL
PROPOSED SOFTFALL TO PLAY AREA
CENTRAL OPEN TURF AREA
PROPOSED TIMBER DECKING
PROPOSED WATER FEATURE
GROWING MEDIA DEPTH*: mulch not included
GROWING MEDIA DEPTH* 200mm
GROWING MEDIA DEPTH* 600mm

project: Crown, Eastlakes South
client: Crown Group
date 09.10.2019
revision: C for DRPP
drawn: SV
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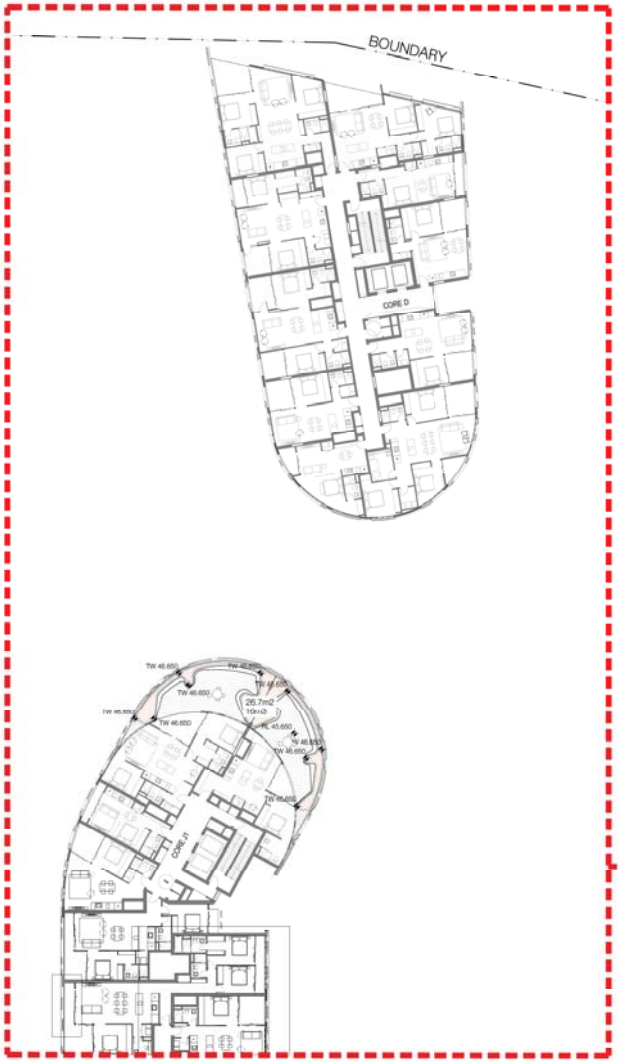
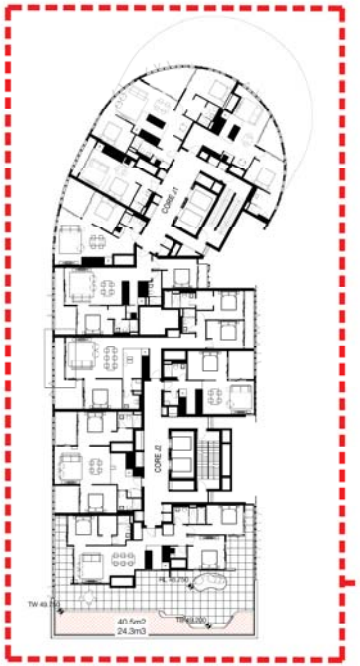
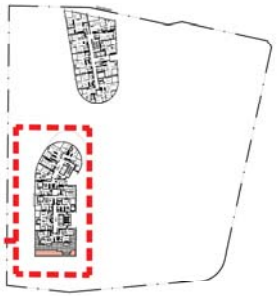


1 LEVEL 8 GROWING MEDIA DEPTH PLAN
SCALE 1:200

KEY PLAN LEVEL 8
SCALE 1/1000



2 LEVEL 9 GROWING MEDIA DEPTH PLAN
SCALE 1:200



KEY PLAN LEVEL 9
SCALE 1/1000

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Levels 8 & 9 Growing Media Depth Plans

SCALE 1:200 @ A0
0 2 4 8 12m

LEGEND

SITE BOUNDARY
PAVED AREA
+TW 21.0 TOP OF WALL LEVEL
+SL 24.00 TOP OF SLAB LEVEL
+EX 18.25 EXISTING SPOT LEVEL
+RL 20.0 PROPOSED SPOT LEVEL
PROPOSED SOFTFALL TO PLAY AREA
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PROPOSED WATER FEATURE
GROWING MEDIA DEPTH*: mulch not included
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GROWING MEDIA DEPTH* 600mm

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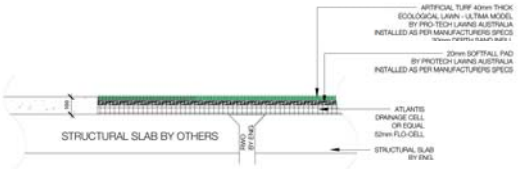
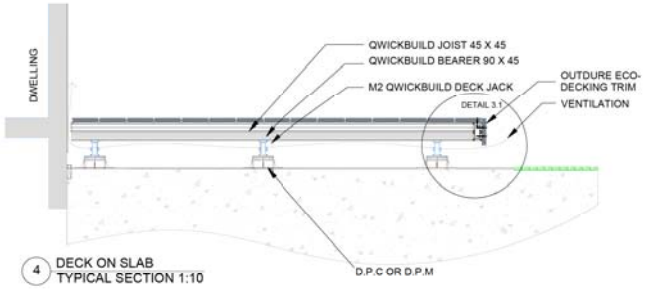
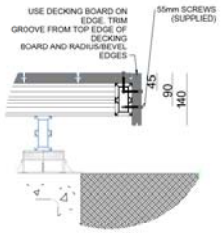
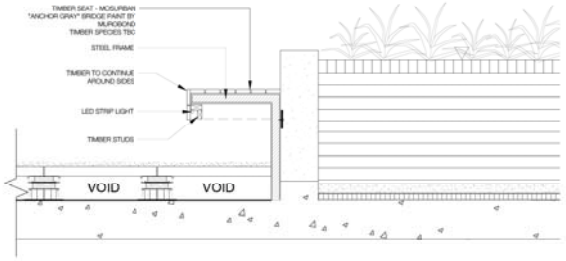


1 ARTIFICIAL TURF ON SLAB
TYPICAL SECTION 1:10

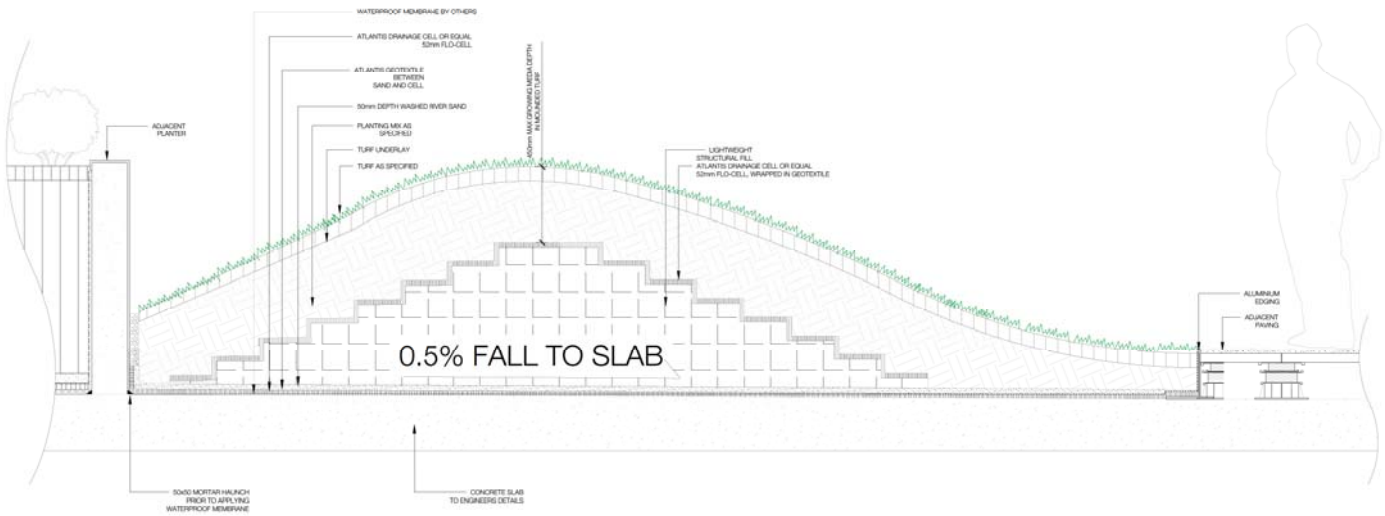


4 DECK ON SLAB
TYPICAL SECTION 1:10

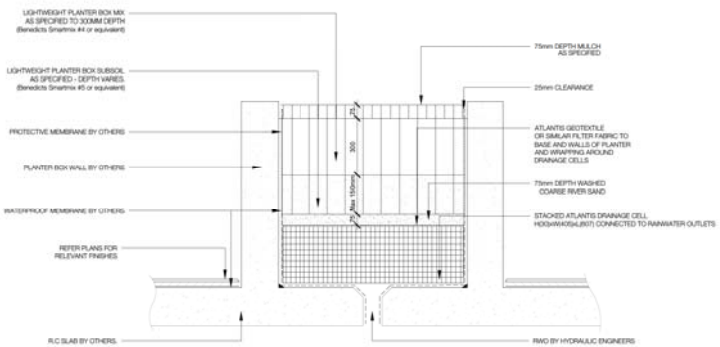




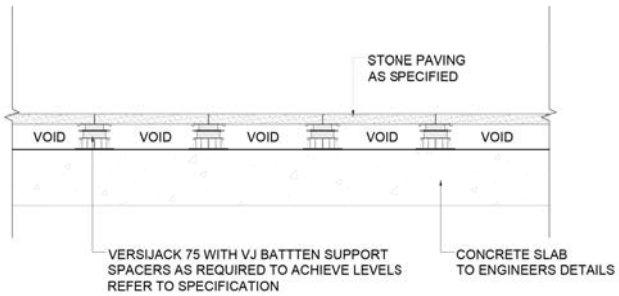
5 TIMBER SEAT
TYPICAL SECTION 1:10



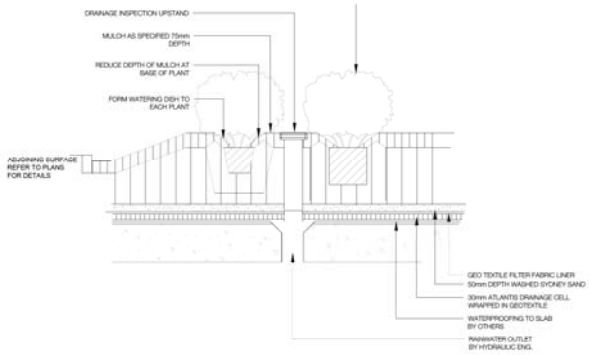
2 MOUNDED TURF ON SLAB
TYPICAL SECTION 1:10



6 RAISED PLANTER BOX
TYPICAL SECTION 1:10



3 PAVING ON SLAB
TYPICAL SECTION 1:10



7 ON-SLAB PLANTER DRAINAGE
TYPICAL SECTION 1:10

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No. 4 Granted on 18 June 2020

In respect to MP 09_0146

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Sheet No. 79 of 136

Typical Details

project: Crown, Eastlakes South
client: Crown Group
date: 09.10.2019
revision: C for DRPP
drawn: SV
checked: JH

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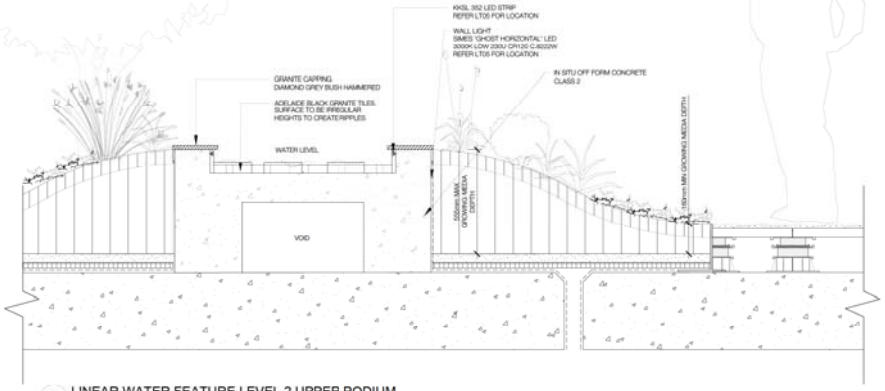
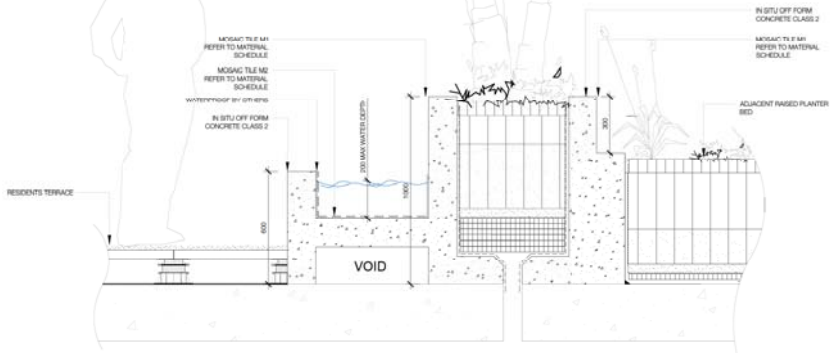
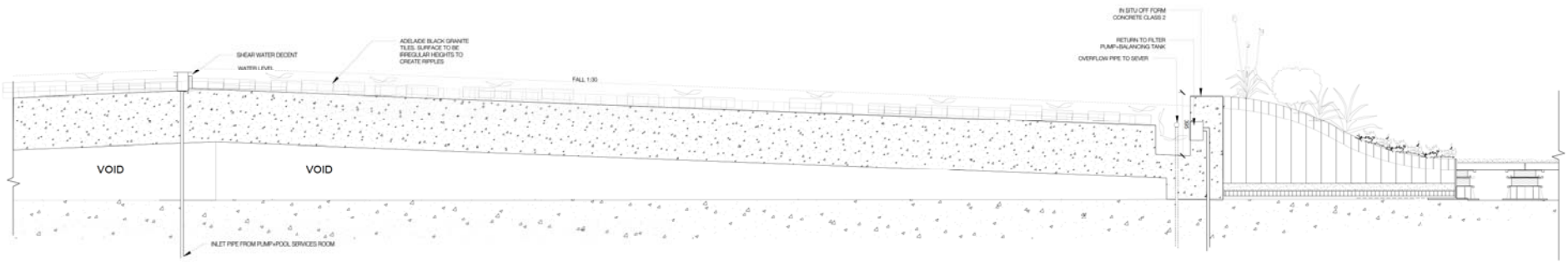


1 LINEAR WATER FEATURE LEVEL 2 UPPER PODIUM
TYPICAL CROSS SECTION SCALE 1:10



3 WATER FEATURE LEVEL 1 & 2
TYPICAL CROSS SECTION SCALE 1:10



2 LINEAR WATER FEATURE LEVEL 2 UPPER PODIUM
TYPICAL SECTION ELEVATION SCALE 1:10

Typical Details

project: Crown, Eastlakes South
client: Crown Group
date: 09.10.2019
revision: C for DRPP
drawn: SV
checked: JH

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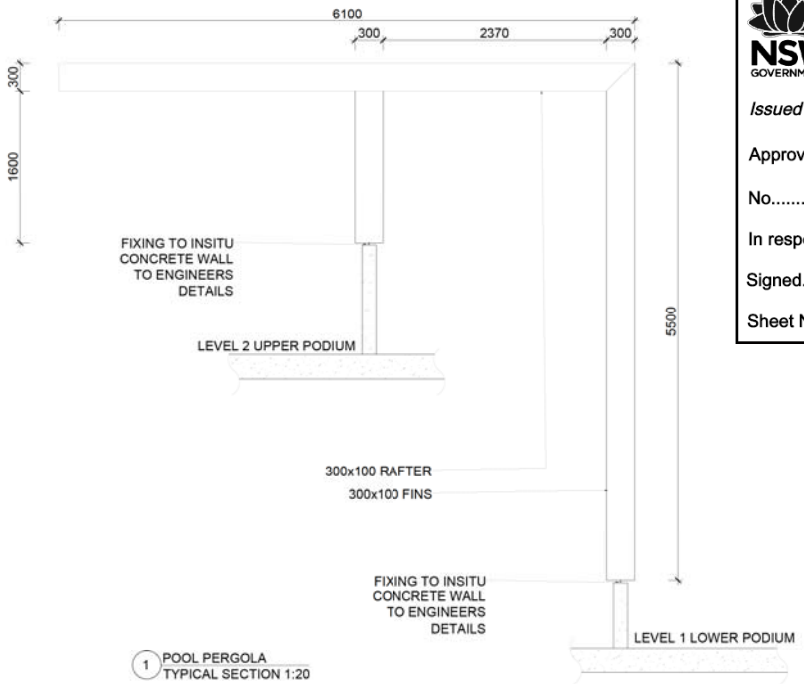

1 POOL PERGOLA TYPICAL SECTION 1:20

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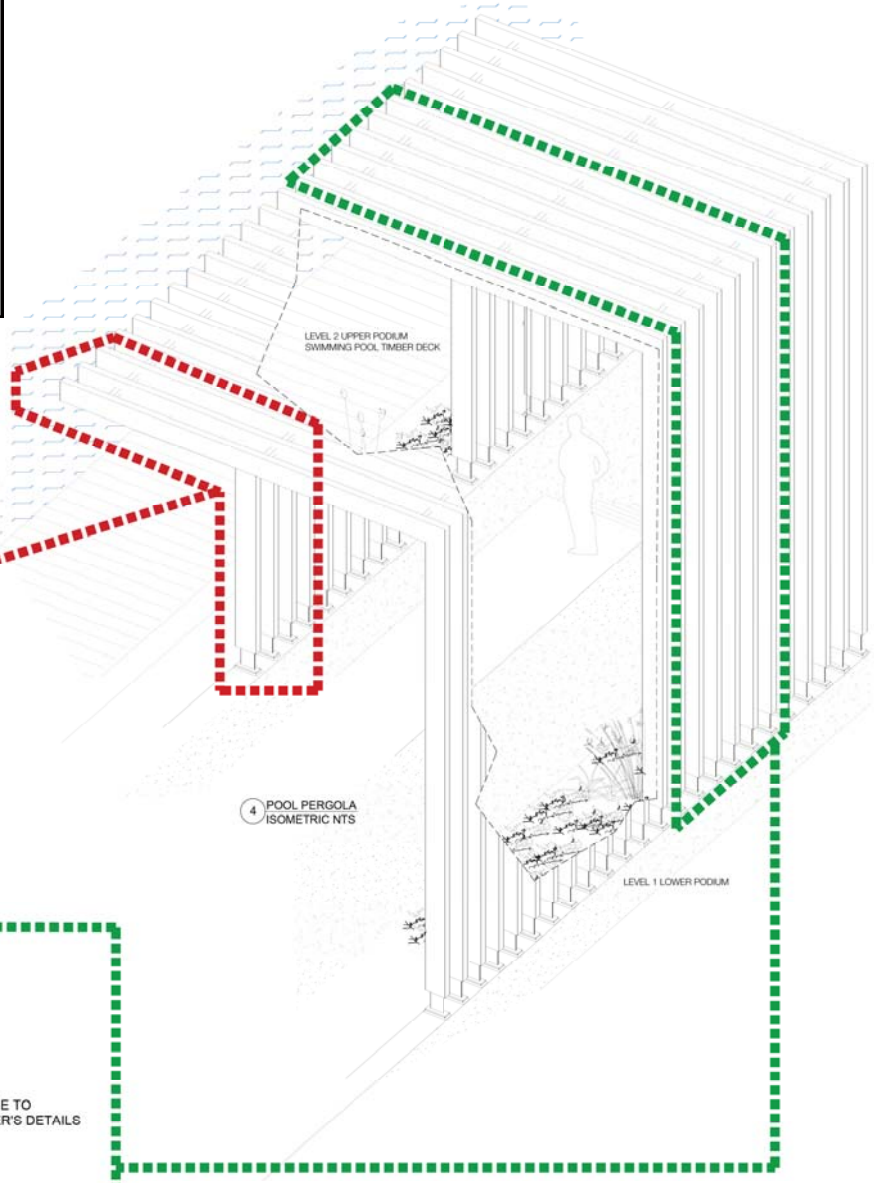
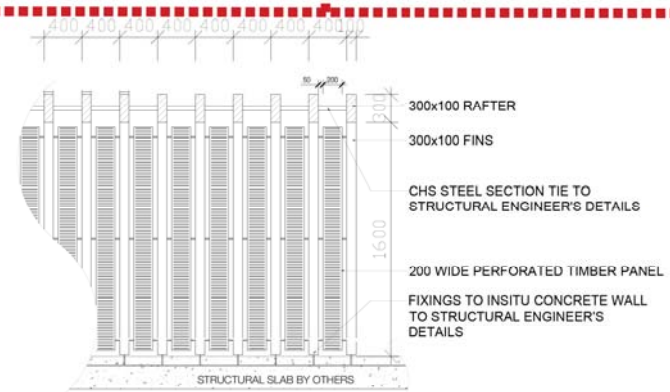
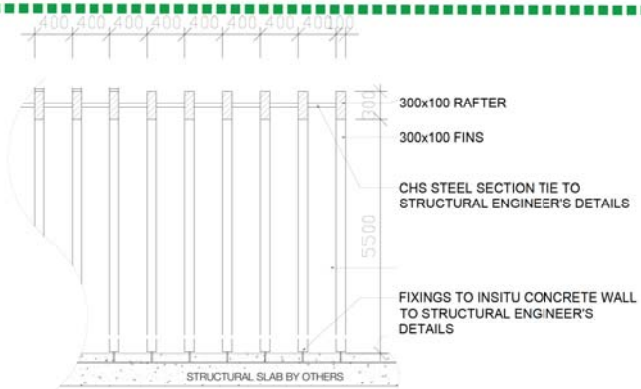


4 POOL PERGOLA ISOMETRIC NTS



2 POOL PERGOLA TYPICAL SECTION 1:20



3 POOL PERGOLA TYPICAL SECTION 1:20

Typical Details

project: Crown, Eastlakes South
client: Crown Group
date: 09.10.2019
revision: C for DRPP
drawn: SV
checked: JH

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ABN 51 096 724 988
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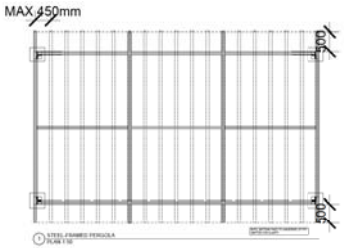
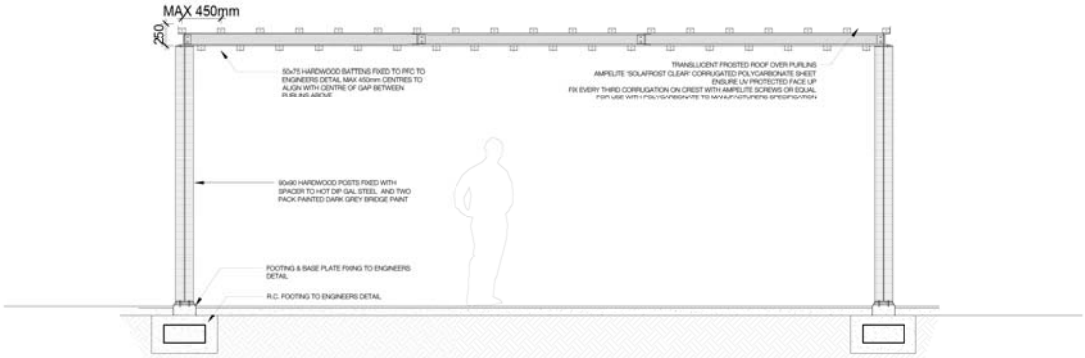


1 STEEL-FRAMED PERGOLA
SCALE 1:50



2 STEEL-FRAMED PERGOLA
SIDE ELEVATION 1:20

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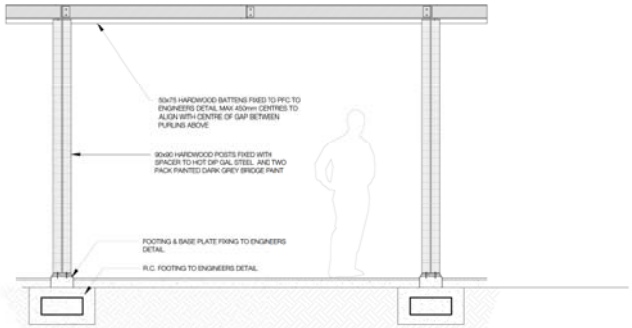

3 STEEL-FRAMED PERGOLA
FRONT ELEVATION 1.20

4 STEEL-FRAMED PERGOLA
FRONT ELEVATION 1.20

Typical Details

project: Crown, Eastlakes South
client: Crown Group
date: 09.10.2019
revision: C for DRPP
drawn: SV
checked: JH

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Landscape tree removal and retention

SCALE 1:250 @ A0

LEGEND

project: Crown, Eastlakes South
client: Crown Group
date 31.08.2018
revision: B for DRPP
drawn: DA
checked: JH

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PD01

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Key Plan

SCALE 1:250 @ A0

LEGEND

SITE BOUNDARY
EXISTING TREE RETAINED
TW 21.0 TOP OF WALL LEVEL
SL 24.00 TOP OF SLAB LEVEL
EXISTING CONTOUR
PROPOSED NEW CONTOUR
PROPOSED TREE
EXISTING SPOT LEVEL
PROPOSED SPOT LEVEL
PROPOSED FERN/ PALM PLANTINGS
PROPOSED SHRUBS
PROPOSED GROUNDCOVERS
CENTRAL OPEN TURF AREA

project: Crown, Eastlakes South
client: Crown Group
date 09.10.2019
revision: B for DRPP
drawn: AK
checked: JH

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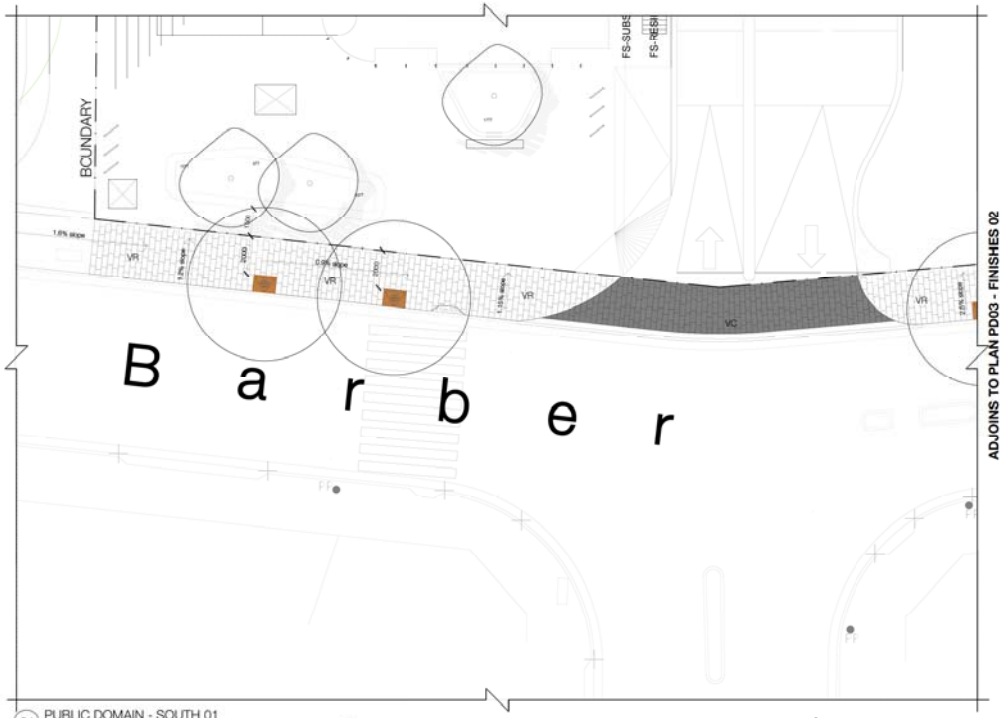
PD02



01 PUBLIC DOMAIN - SOUTH 01
SCALE 1:100

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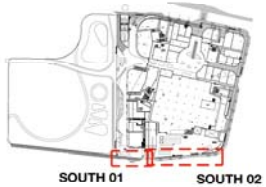
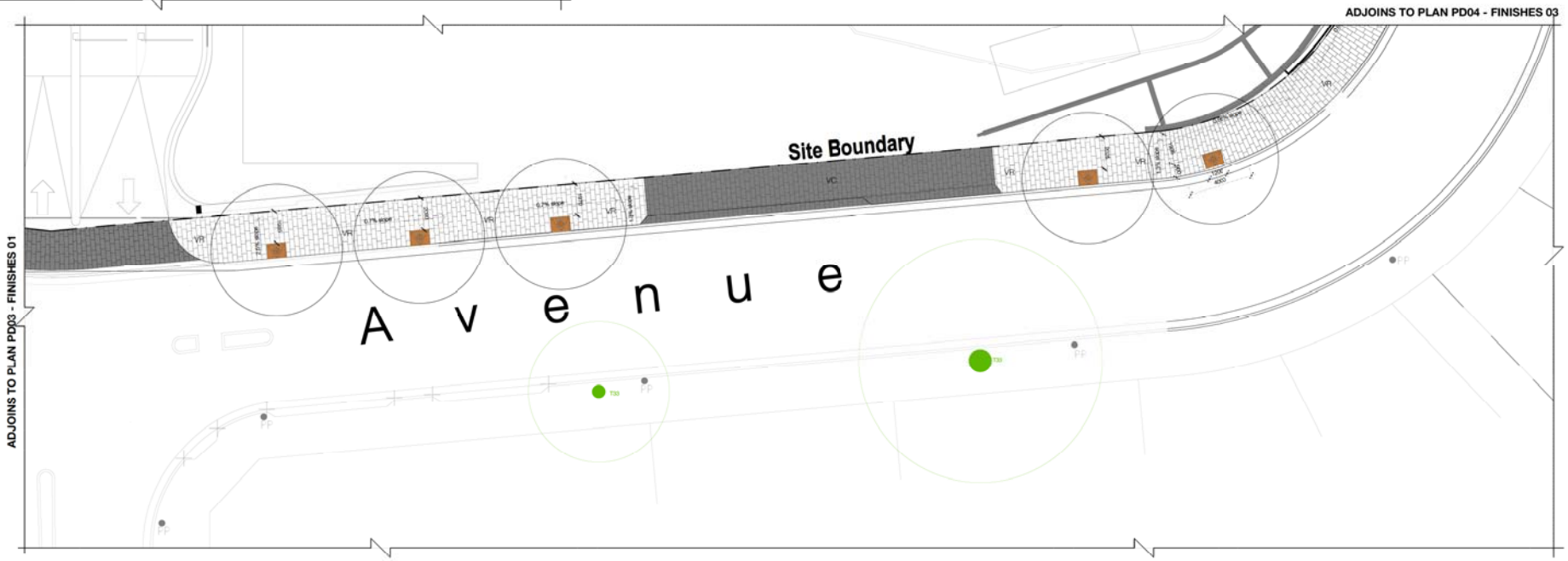


00 KEY PLAN
NTS



02 PUBLIC DOMAIN - SOUTH 02
SCALE 1:100

FINISHES PLAN - SOUTH

SCALE 1:100 @ A0

LEGEND

SITE BOUNDARY
EXISTING TREE RETAINED
ASPHALT
CONCRETE
RESIN BOND POROUS PAVING
LOOSE AGGREGATE
PAVER 40mm thickness
PAVER VEHICULAR CROSSOVER 60mm thickness
TREE PROTECTION
SLOPE OF LAND
PERMEABLE PAVING

project: Crown, Eastlakes South
client: Crown Group
date 09.10.2019
revision: C for DHPP
drawn: AK
checked: JH

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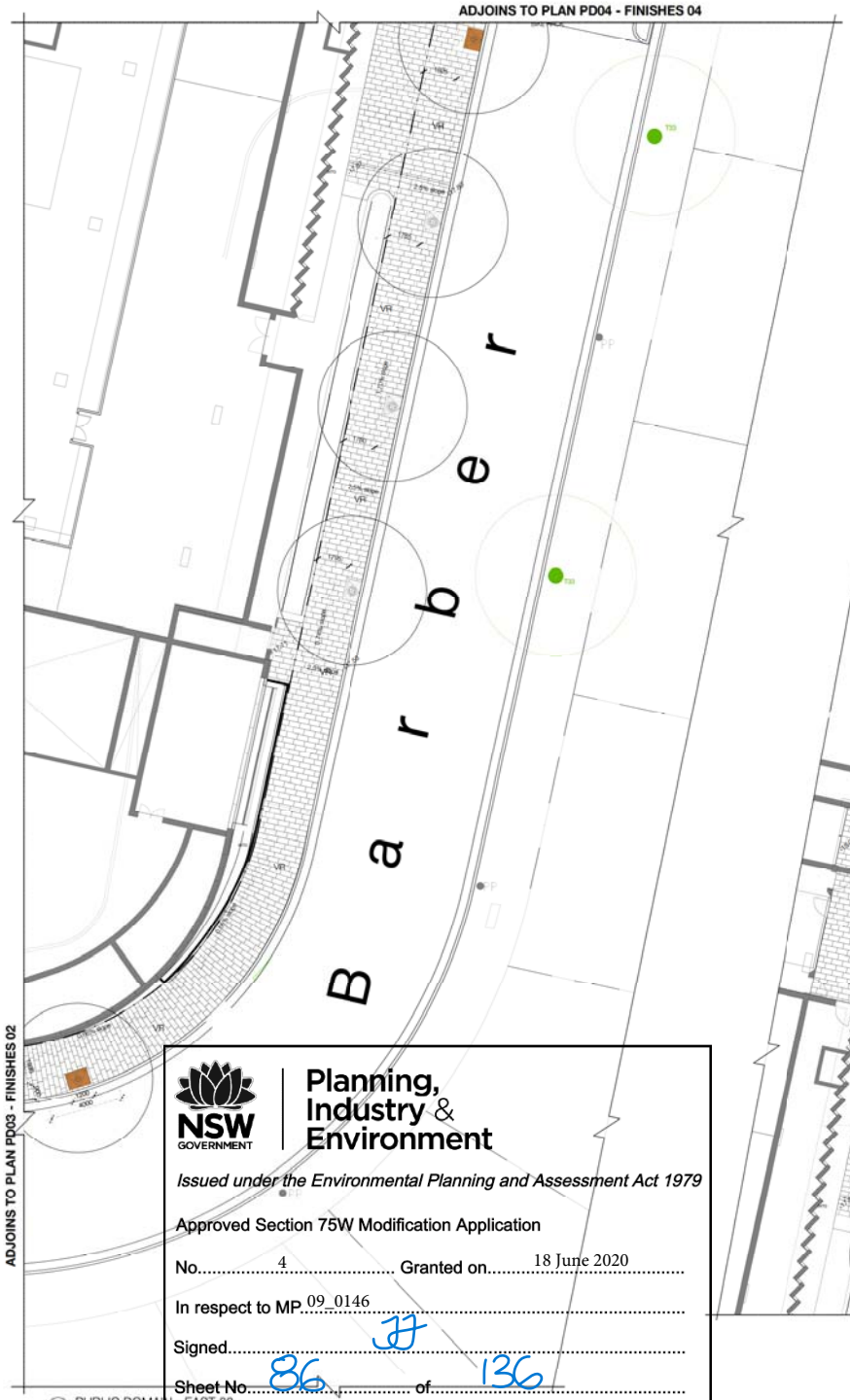
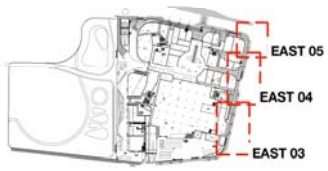
PD03



03 PUBLIC DOMAIN - EAST 03
SCALE 1:100

04 PUBLIC DOMAIN - EAST 04
SCALE 1:100

05 PUBLIC DOMAIN - EAST 05
SCALE 1:100



00 KEY PLAN
NTS

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FINISHES PLAN - EAST

SCALE 1:100 @ A0
0 1 2 4 6m

LEGEND

- SITE BOUNDARY
- EXISTING TREE RETAINED
- AP ASPHALT
- CO CONCRETE
- RESIN BOND POROUS PAVING
- LOOSE AGGREGATE
- VR PAVER 40mm thickness
- VC PAVER VEHICULAR CROSSOVER 60mm thickness
- TREE PROTECTION
- 0.5% slope SLOPE OF LAND
- PERMEABLE PAVING

project: Crown, Eastlakes South
client: Crown Group
date 09.10.2019
revision: C for DHPP
drawn: AK
checked: JH

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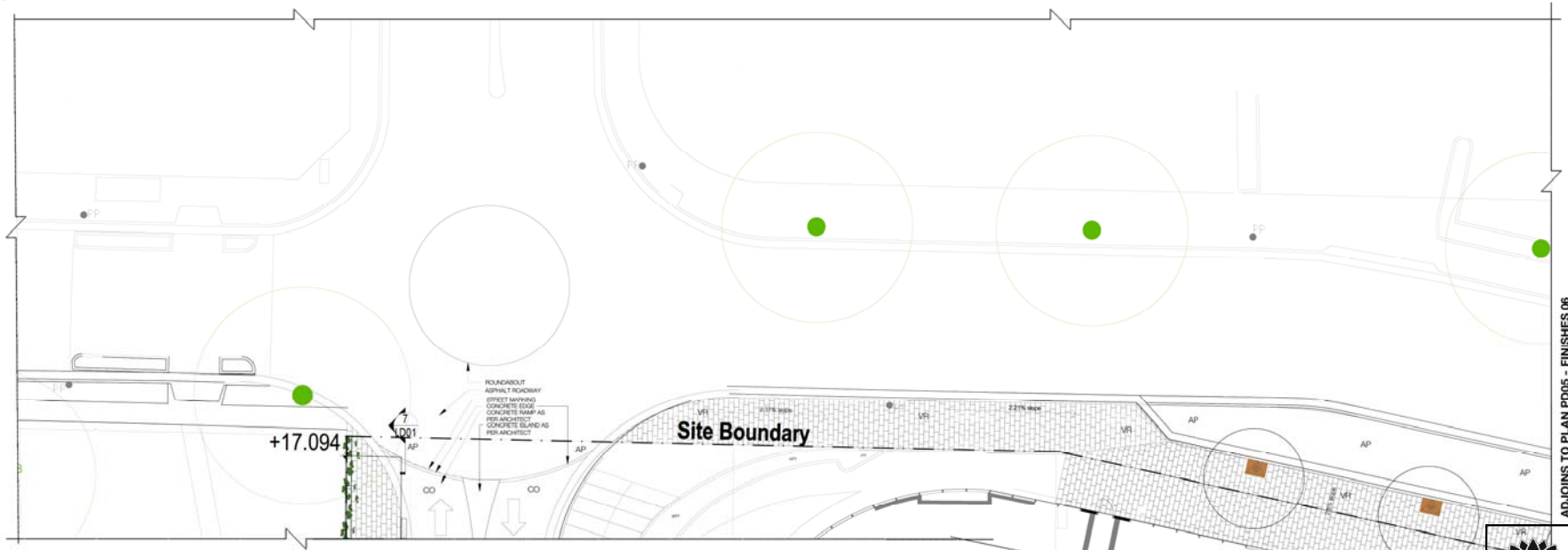
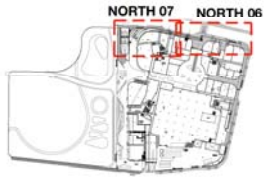
PD04



07 PUBLIC DOMAIN - NORTH 07
SCALE 1:100



00 KEY PLAN
NTS

06 PUBLIC DOMAIN - NORTH 06
SCALE 1:100

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ADJOINS TO PLAN PD04 - FINISHES 05

FINISHES PLAN - NORTH

SCALE 1:100 @ A0

LEGEND

- SITE BOUNDARY
- EXISTING TREE RETAINED
- AP ASPHALT
- CO CONCRETE
- RESIN BOND POROUS PAVING
- LOOSE AGGREGATE
- VR PAVER 40mm thickness
- VC PAVER VEHICULAR CROSSOVER 60mm thickness
- TREE PROTECTION
- 0.67% slope SLOPE OF LAND
- TRAFFICABLE UP LIGHT IN PAVING
- PERMEABLE PAVING

project: Crown, Eastlakes South
client: Crown Group
date: 09.10.2019
revision: C for DHPP
drawn: AK
checked: JH

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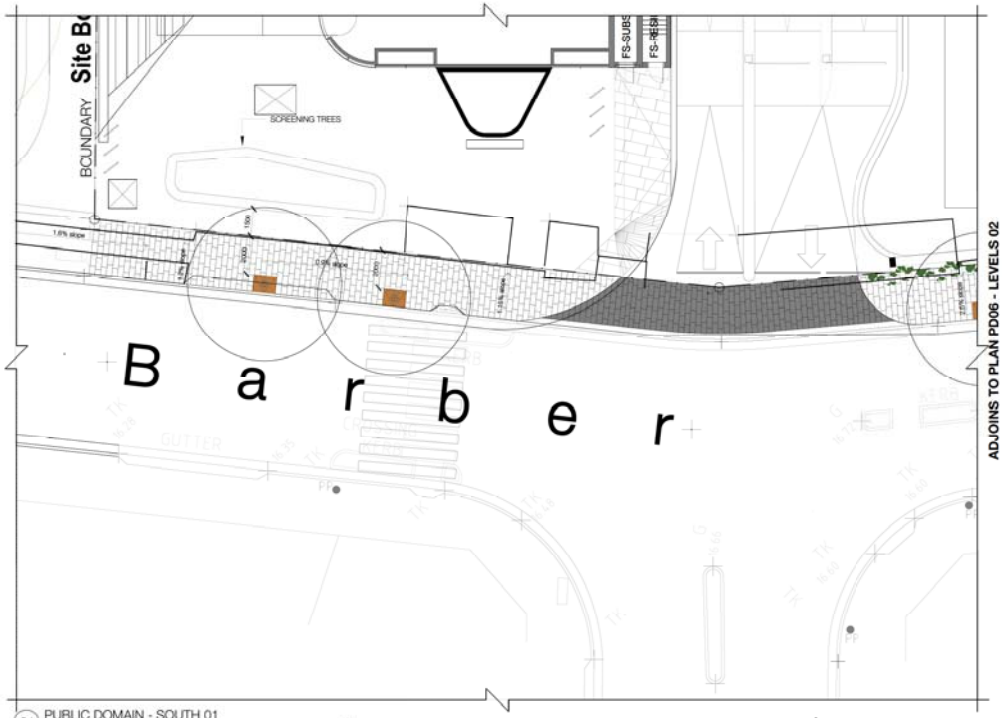
PD05



01 PUBLIC DOMAIN - SOUTH 01
SCALE 1:100

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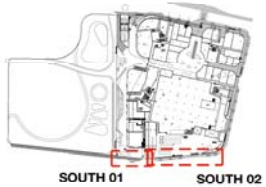
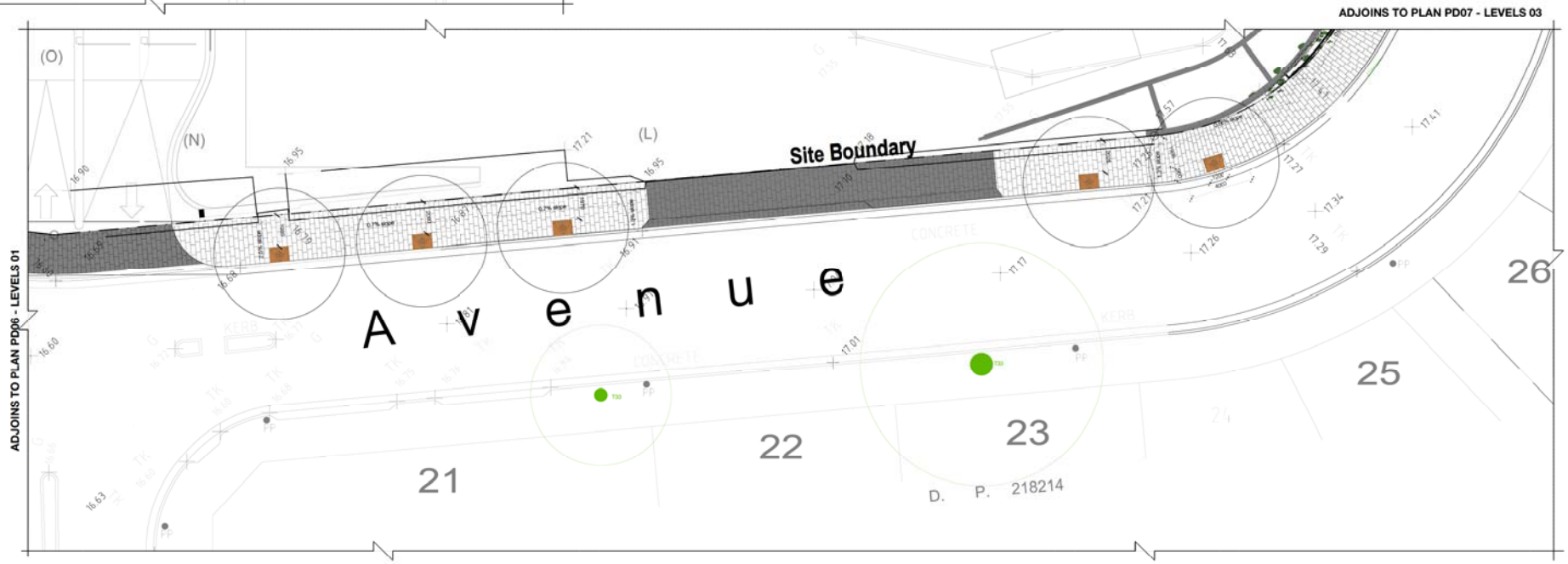


00 KEY PLAN
NTS



02 PUBLIC DOMAIN - SOUTH 02
SCALE 1:100

LEVELS PLAN - SOUTH

SCALE 1:100 @ A0

LEGEND

SITE BOUNDARY
EXISTING TREE RETAINED
TOP OF WALL LEVEL
TOP OF SLAB LEVEL
EXISTING CONTOUR
PROPOSED NEW CONTOUR
PROPOSED TREE
EXISTING SPOT LEVEL
PROPOSED SPOT LEVEL
PROPOSED FERN/ PALM PLANTINGS
PROPOSED SHRUBS
PROPOSED GROUNDCOVERS
CENTRAL OPEN TURF AREA

project: Crown, Eastlakes South
client: Crown Group
date: 09.10.2019
revision: C for DHPP
drawn: AK
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PD06

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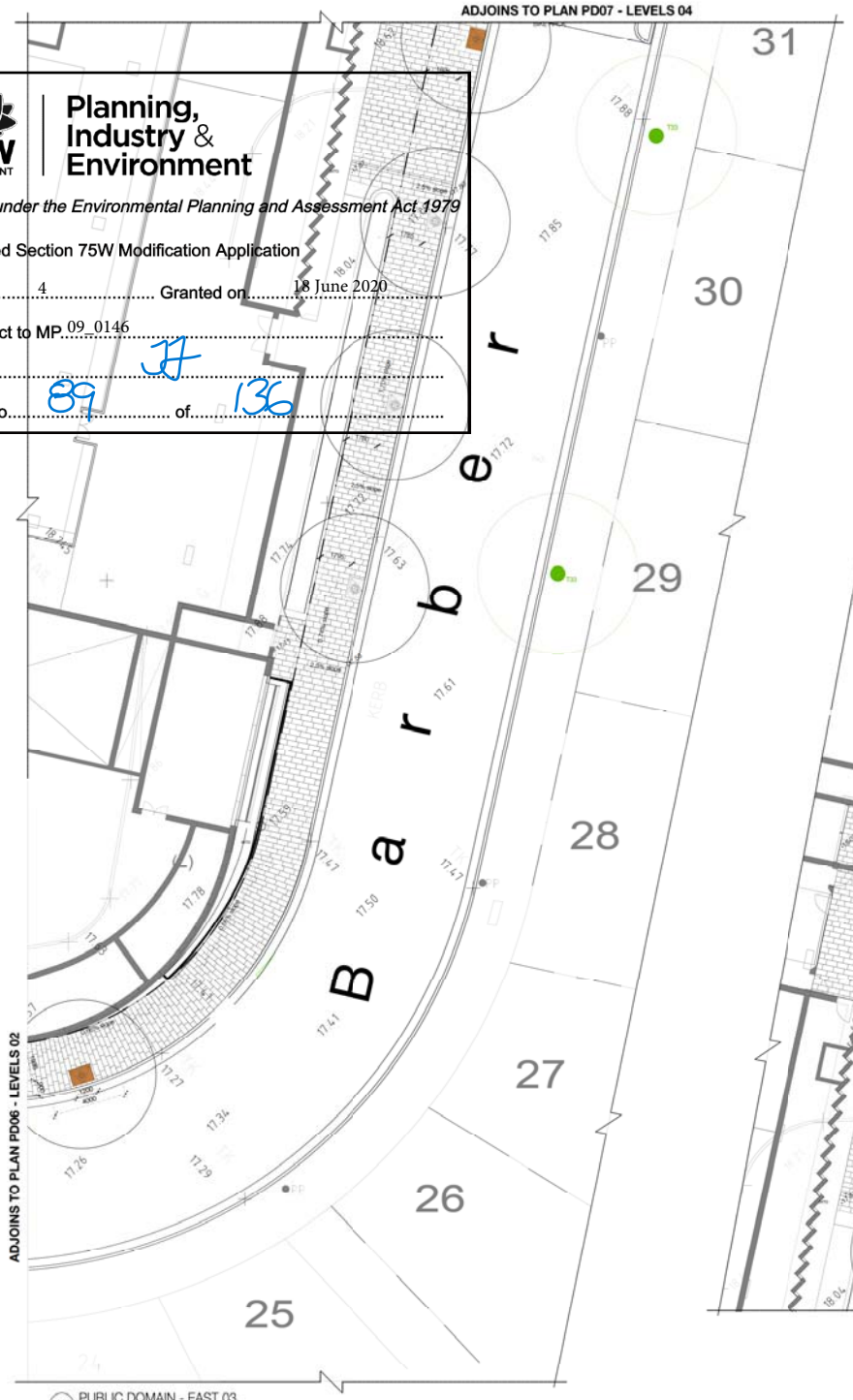
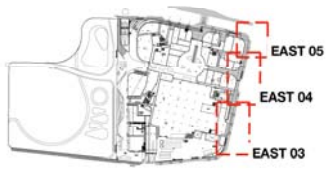


03 PUBLIC DOMAIN - EAST 03
SCALE 1:100

04 PUBLIC DOMAIN - EAST 04
SCALE 1:100

05 PUBLIC DOMAIN - EAST 05
SCALE 1:100



00 KEY PLAN
NTS

LEVELS PLAN - EAST

SCALE 1:100 @ A0

LEGEND

SITE BOUNDARY
EXISTING TREE RETAINED
TOP OF WALL LEVEL
TOP OF SLAB LEVEL
EXISTING CONTOUR
PROPOSED NEW CONTOUR
PROPOSED TREE
EXISTING SPOT LEVEL
PROPOSED SPOT LEVEL
PROPOSED FERN/ PALM PLANTINGS
PROPOSED SHRUBS
PROPOSED GROUNDCOVERS
CENTRAL OPEN TURF AREA

project: Crown, Eastlakes South
client: Crown Group
date 09.10.2019
revision: C for DHPP
drawn: AK
checked: JH

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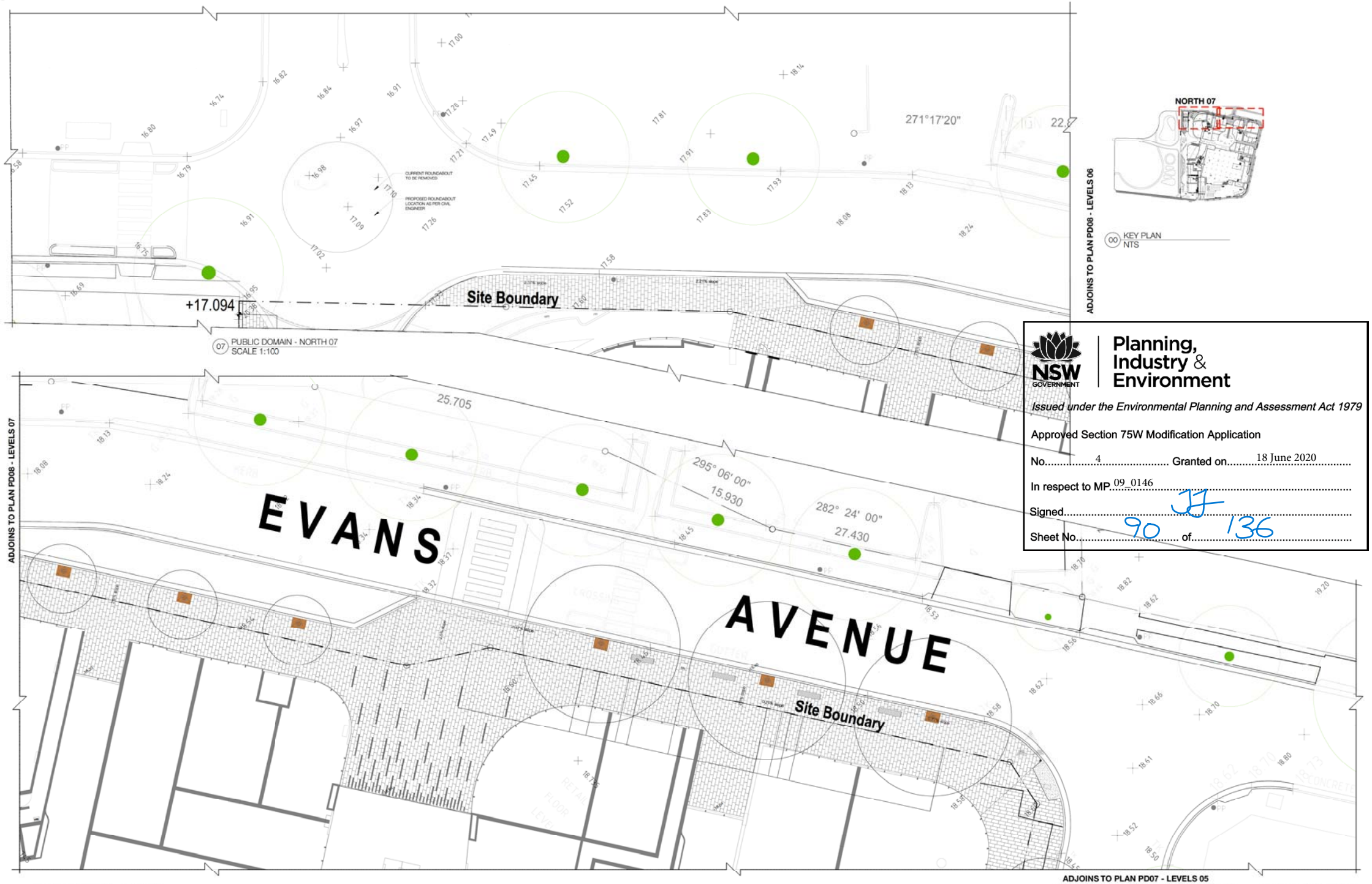
PD07



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LEVELS PLAN - NORTH

SCALE 1:100 @ A0

LEGEND

SITE BOUNDARY
EXISTING TREE RETAINED
+TW 21.0 TOP OF WALL LEVEL
+SL 24.00 TOP OF SLAB LEVEL
20.0 EXISTING CONTOUR
18.5 PROPOSED NEW CONTOUR
PROPOSED TREE
+ EX 18.25 EXISTING SPOT LEVEL
+RL 20.0 PROPOSED SPOT LEVEL
PROPOSED FERN/ PALM PLANTINGS
PROPOSED SHRUBS
PROPOSED GROUNDCOVERS
CENTRAL OPEN TURF AREA

project: Crown, Eastlakes South
client: Crown Group
date 09.10.2019
revision: C for DHPP
drawn: AK
checked: JH

TaylorBrammer
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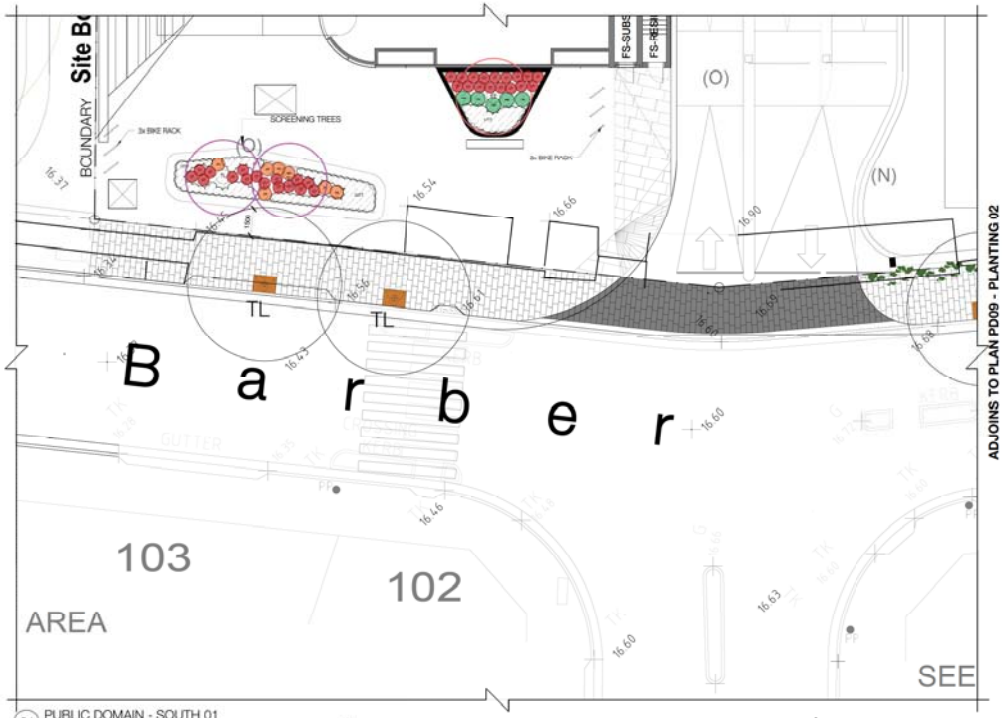
PD08



01 PUBLIC DOMAIN - SOUTH 01
SCALE 1:100

PLANT SCHEDULE

ID	BOTANICAL NAME	COMMON NAME	HEIGHT (m)	SPREAD (m)	SIZE	QTY
TREES						
EE	*Elaeocarpus eumundi*	Quandong	10m	4m	200L	3
TL	*Tristaniopsis laurina 'Luscious'*	Watergum	9m	4m	400L	15
PA	*Platanus acerifolia*	Common plane	20m	10m	400L	3

NOTE:
** Plant quantities on planting plan take precedence over quantities identified in this schedule.*

coloured cells indicates large tree species

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No. 4 Granted on 18 June 2020

In respect to MP 09_0146

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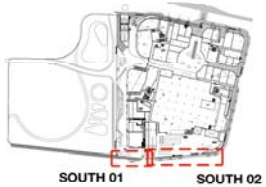
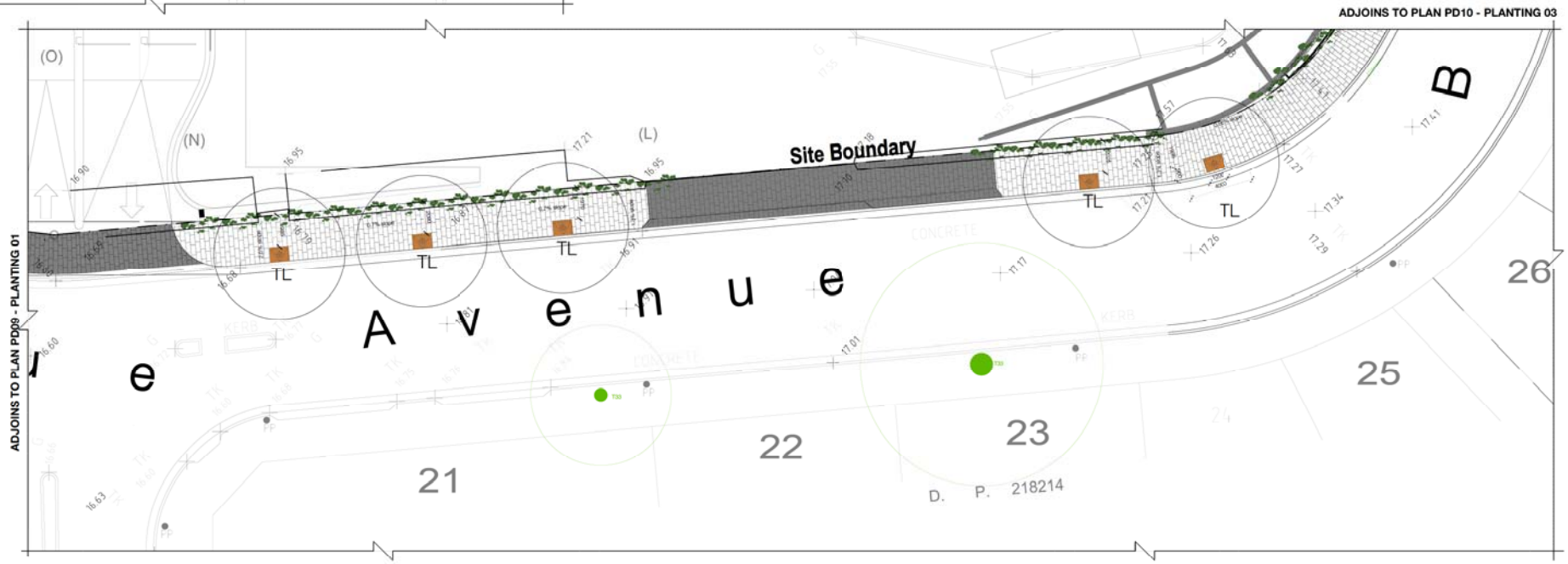
Sheet No. 91 of 136



00 KEY PLAN
NTS



02 PUBLIC DOMAIN - SOUTH 02
SCALE 1:100

PLANTING PLAN - SOUTH

SCALE 1:100 @ A0

LEGEND

SITE BOUNDARY
EXISTING TREE RETAINED
TOP OF WALL LEVEL
TOP OF SLAB LEVEL
EXISTING CONTOUR
PROPOSED NEW CONTOUR
PROPOSED TREE
EXISTING SPOT LEVEL
PROPOSED SPOT LEVEL
PROPOSED FERN/ PALM PLANTINGS
PROPOSED SHRUBS
PROPOSED GROUNDCOVERS
CENTRAL OPEN TURF AREA
PLANTER BOXES PLANTING ON SLAB
PLANTING ON GRADE

project: Crown, Eastlakes South
client: Crown Group
date: 09.10.2019
revision: C for DHPP
drawn: AK
checked: JH

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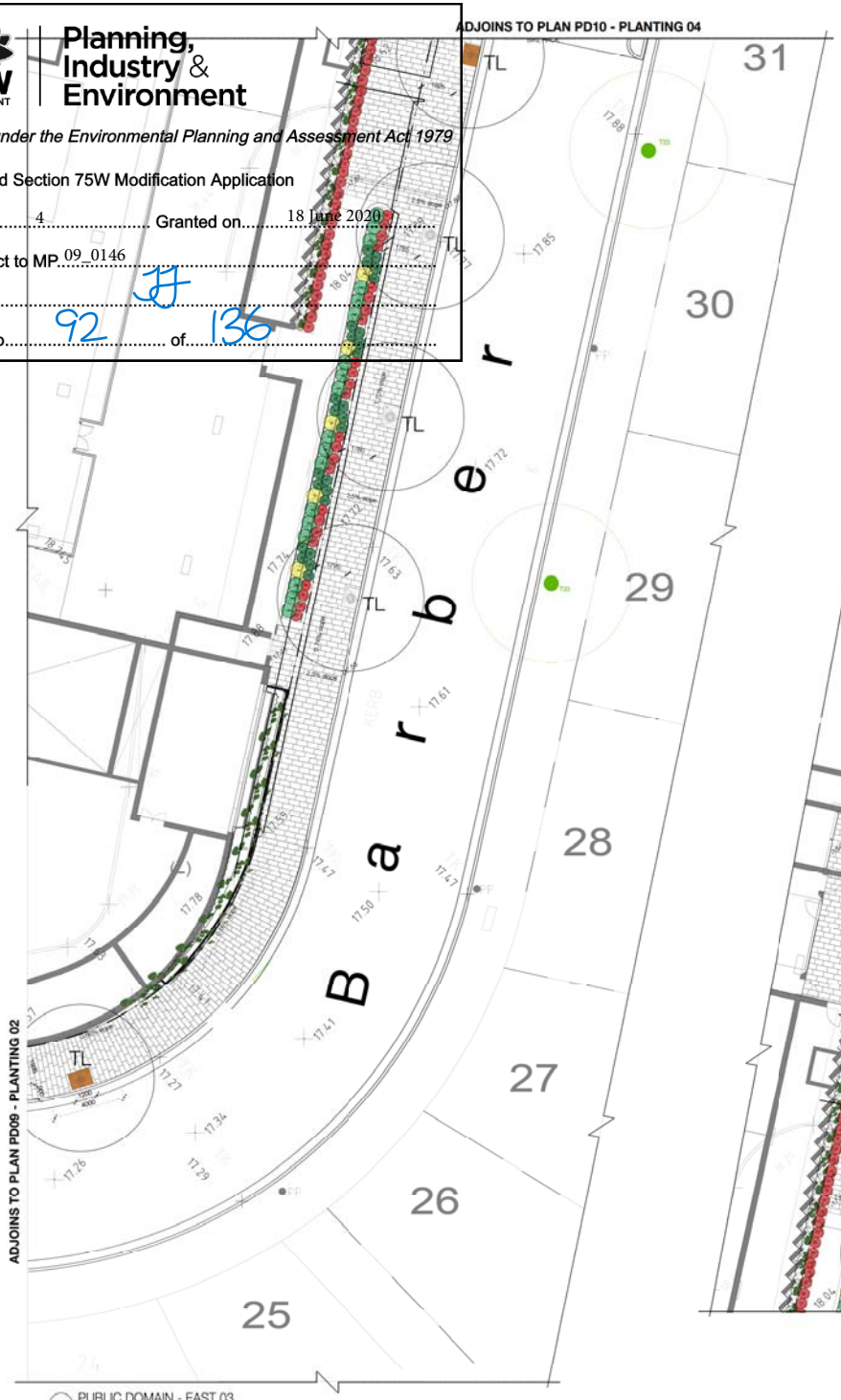
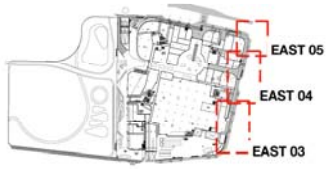


03 PUBLIC DOMAIN - EAST 03
SCALE 1:100

04 PUBLIC DOMAIN - EAST 04
SCALE 1:100



00 KEY PLAN
NTS

PLANT SCHEDULE

ID	BOTANICAL NAME	COMMON NAME	HEIGHT (m)	SPREAD (m)	SIZE	QTY
TREES						
EE	*Elaeocarpus eumundi*	Quandong	10m	4m	200L	3
TL	*Tristaniopsis laurina 'Luscious'*	Watergum	9m	4m	400L	15
PA	*Platanus acerifolia*	Common plane	20m	10m	400L	3

NOTE:

** Plant quantities on planting plan take precedence over quantities identified in this schedule.*

coloured cells indicates large tree species

05 PUBLIC DOMAIN - EAST 05
SCALE 1:100

PLANTING PLAN - EAST

SCALE 1:100 @ A0 (0 1 2 4 6m)

LEGEND: SITE BOUNDARY; EXISTING TREE RETAINED; TW 21.0 TOP OF WALL LEVEL; SL 24.00 TOP OF SLAB LEVEL; 20.0 EXISTING CONTOUR; 18.5 PROPOSED NEW CONTOUR; PROPOSED TREE; EX 18.25 EXISTING SPOT LEVEL; RL 20.0 PROPOSED SPOT LEVEL; PROPOSED FERN/ PALM PLANTINGS; PROPOSED SHRUBS; PROPOSED GROUNDCOVERS; CENTRAL OPEN TURF AREA; PLANTER BOXES PLANTING ON SLAB; PLANTING ON GRADE

project: Crown, Eastlakes South
client: Crown Group
date: 09.10.2019
revision: C for DHPP
drawn: AK
checked: JH

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PD10

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00 KEY PLAN
NTS

PLANT SCHEDULE

ID	BOTANICAL NAME	COMMON NAME	HEIGHT (m)	SPREAD (m)	SIZE	QTY
TREES						
EE	*Elaeocarpus eumundi*	Quandong	10m	4m	200L	3
TL	*Tristaniopsis laurina 'Luscious'*	Watergum	9m	4m	400L	15
PA	*Platanus acerifolia*	Common plane	20m	10m	400L	3

NOTE:

** Plant quantities on planting plan take precedence over quantities identified in this schedule.*

coloured cells indicates large tree species

ADJOINS TO PLAN PD10 - PLANTING 05

PLANTING PLAN - NORTH

SCALE 1:100 @ A0
0 1 2 4 6m

LEGEND

SITE BOUNDARY
EXISTING TREE RETAINED
+TW 21.0 TOP OF WALL LEVEL
+SL 24.00 TOP OF SLAB LEVEL
20.0 EXISTING CONTOUR
18.5 PROPOSED NEW CONTOUR
PROPOSED TREE
+ EX 18.25 EXISTING SPOT LEVEL
+RL 20.0 PROPOSED SPOT LEVEL
PROPOSED FERN/ PALM PLANTINGS
PROPOSED SHRUBS
PROPOSED GROUNDCOVERS
CENTRAL OPEN TURF AREA
PLANTER BOXES PLANTING ON SLAB
PLANTING ON GRADE

project: Crown, Eastlakes South
client: Crown Group
date: 09.10.2019
revision: C for DHPP
drawn: AK
checked: JH

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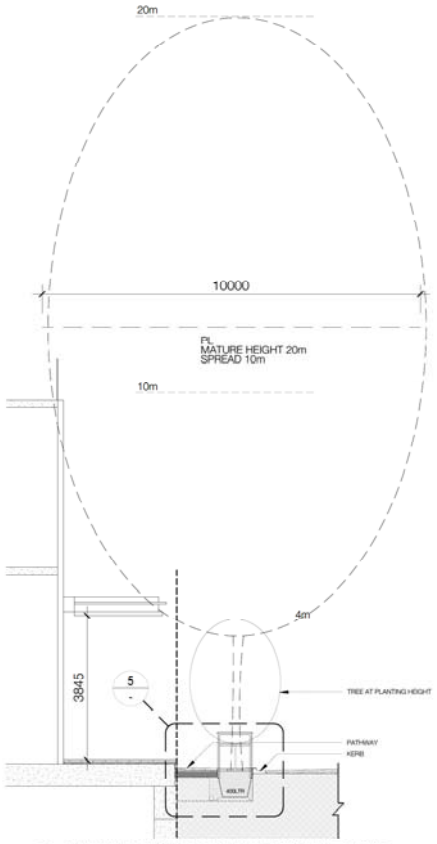
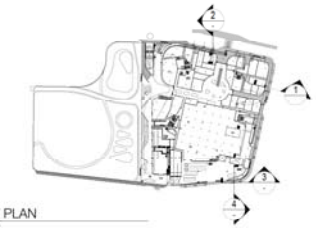
PD11



01 TREE SIZE - PLANTED & POTENTIAL MATURE HEIGHT
SCALE 1:50



00 KEY PLAN
NTS

B3 Amended and detailed Public Domain and Landscape Documentation is required and to be submitted to the Director General for approval. The amended documentation shall include all public domain improvement works associated with the development, located on public land and within the street setback areas. The plan is to be prepared by an urban design specialist/professional to ensure pedestrian oriented, functional, comfortable and socially desirable spaces inclusive of high quality landscape amenity features and is to be prepared in consultation with Council.

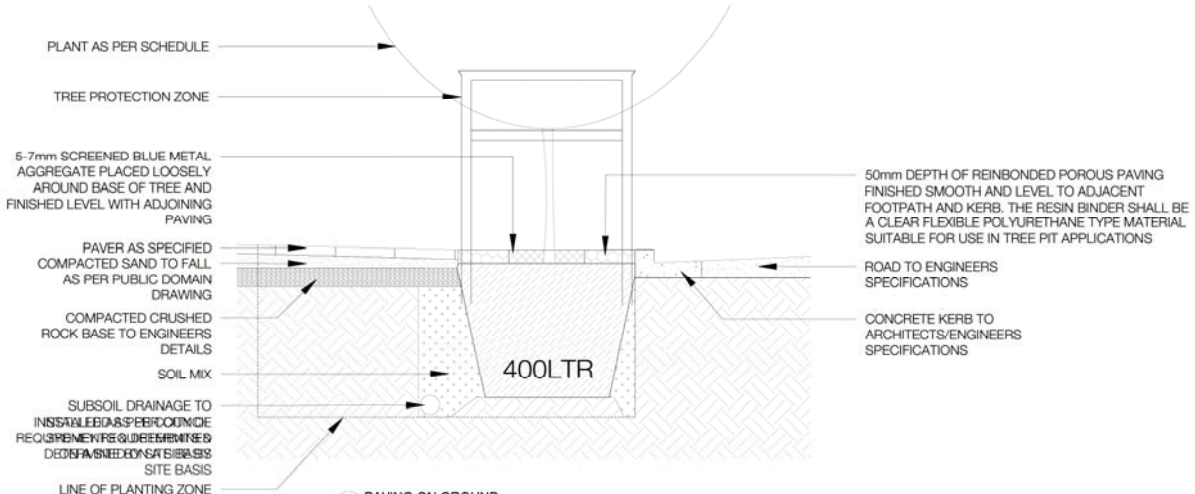
The drawings shall include a public domain works landscape plan at 1:100 indicating the proposed treatments for all public frontages of the site. Secondly, detailed public domain works specifications (construction sections and details) must accompany the plan to demonstrate construction methods, techniques and materials. The following shall be addressed in the drawings:

(a) Further improvements to street tree provision. Location and species of street trees to be determined in consultation with Council. Pot sizes are to be increased to 400 litres where possible to provide super-advanced specimens for enhanced amenity.
(b) Improved landscaping in addition to the street trees within the eastern elevation setback of Barber Avenue. Awnings and the incorporation of landscaping within the setback to be explored. Design awnings and locations to allow for the strategic location of ground level landscaping to ameliorate buildings, integrate buildings with the streetscape and enhance the pedestrian environment.
(c) A detailed construction and maintenance regime for the green wall in Barber Avenue.
(d) Landscaping within the Evans Avenue pedestrian areas is to be enhanced with additional soft landscape elements.
(e) The small urban space in the north-eastern corner of the southern site needs further design detailing/resolution. Additional trees are possible as well as attention to the blending of the 2 street trees types at the two road frontages.
(f) A public domain proposal for the Gardeners Road frontage (footpaths, street trees, landscaping). Soil depths to be corrected to match those shown on the architectural plans.
(g) Provide a public art proposal.
(h) Detailed specifications for landscape hardworks and landscaping treatments, materials schedule and construction details for footpaths, awnings, street tree pit finishes, tree guards, furniture and so on.
(i) Details of all lighting to footpath areas fronting the site and to Eastlakes Reserve in the area of the Reserve adjoining the site to improve safety and surveillance of these areas at night.
(j) Electrical kiosk or fire booster assemblies shall be softened by a built screen and/or landscaping so as not to impact on the public domain.
(k) Electrical pillars installed by the energy provider are to be unobtrusively located within public footpath areas and not located so as to cause a trip hazard or obstruct foot traffic. Preferably, electrical pillars should be replaced with a sub-surface access pit.
(l) All service access/pit lids levels shall be adjusted as required by the service provider/Applicant to co-ordinate with final footpath levels and finishes. Pit lid frames shall be purchased and filled with the Council specified unit paver to integrate with the footpath.
(m) Details of all traffic safety installations within the public domain including warning sign and mirrors.

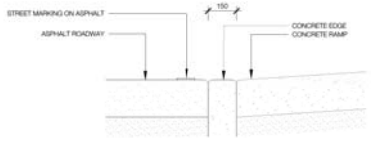
Written evidence of the Director General's approval of amended plans satisfying the above shall be provided to the Certifying Authority.

B4 The public domain must be designed and constructed to provide access and facilities for people with a disability in accordance with the Building Code of Australia, and relevant Australian Standards (including amendments). Details are to be supplied in the Construction Certificate. Full details of proposed handrails, tactile ground surface indicators (TGSIs) or the like are to be submitted to Council for review and approval. Details are to be supplied in the Construction Certificate.
Amended Landscape Plan

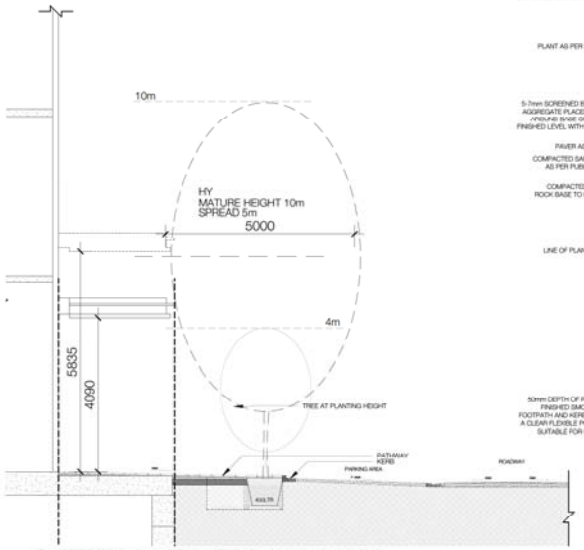
B5 Amended landscape documentation is to be submitted and approved by the Director General prior to the issue of a Construction Certificate. The landscape plan by Taylor Brammer, Rev C, dated 28 February 2013 shall be amended to include the following:
(a) Three additional canopy trees (1 on the northern site and 2 on the southern site) to a mature height of 18 metres be provided to the podium communal open space areas.
(b) Landscaping along the entire western edge of the northern podium
(c) Sufficient landscape details, sections and specifications are to be provided to detail planter wall finishes, podium planter construction, pavements, finishes, amenity lighting and so on.



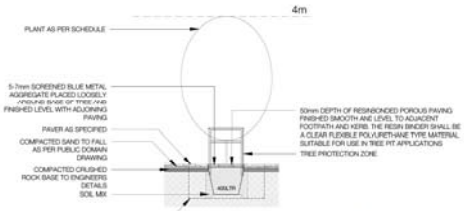
05 PAVING ON GROUND
TYPICAL SECTION 1:10



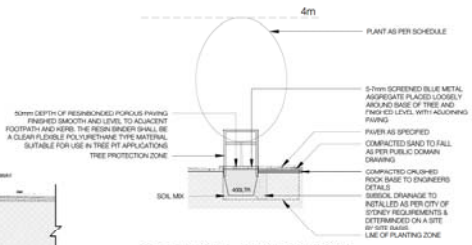
07 ROADWAY TO DRIVEWAY CONNECTION
SCALE 1:10



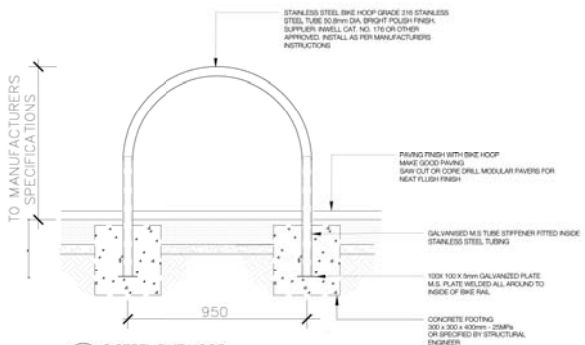
02 TREE SIZE - PLANTED & POTENTIAL MATURE HEIGHT
SCALE 1:50



03 TREE SIZE - PLANTED HEIGHT
SCALE 1:50



04 TREE SIZE - PLANTED HEIGHT
SCALE 1:50



06 S.STEEL BIKE HOOP
SECTION 1:10

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In respect to MP 09_0146

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Landscape Detail 01

LEGEND

project: Crown, Eastlakes South
client: Crown Group
date: 09.10.2019
revision: C for DRPP
drawn: SV, AK
checked: JH

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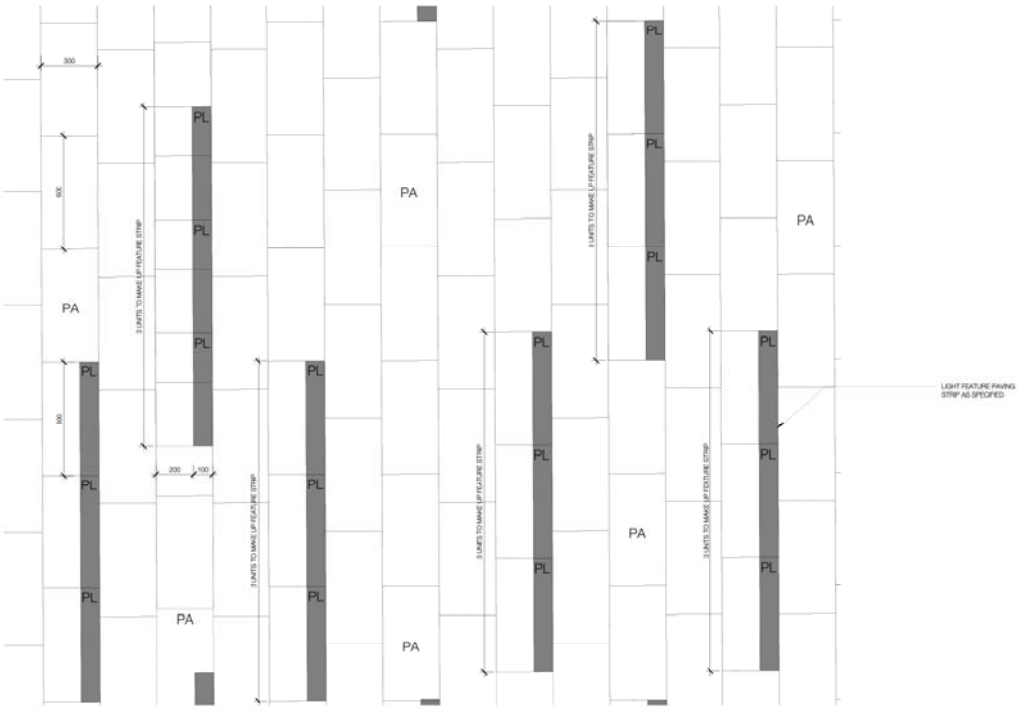
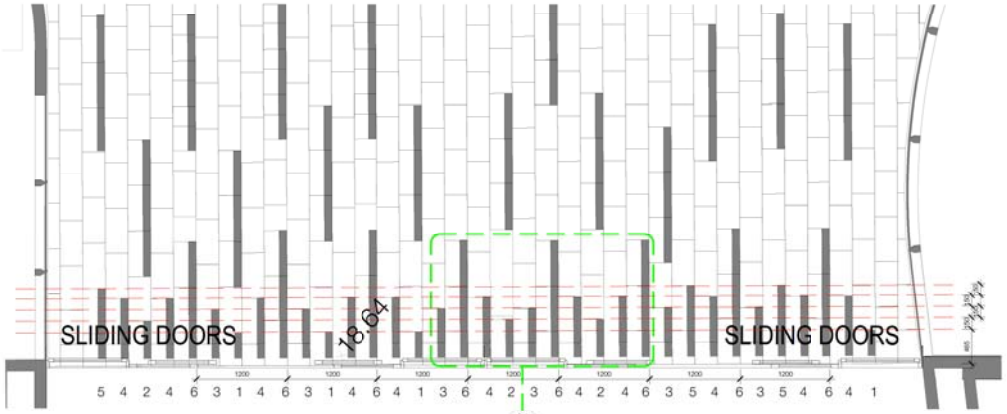
01 FEATURE PAVING - SETOUT DETAIL
SCALE 1:50

03

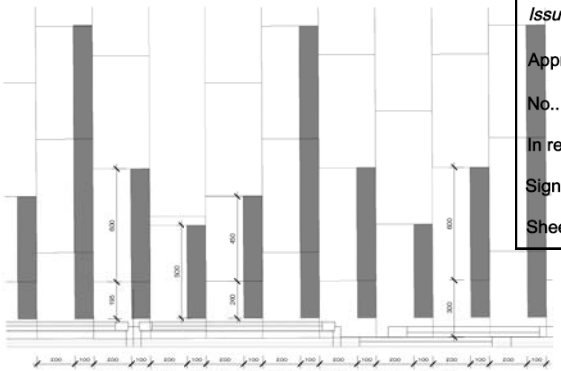


02 FEATURE PAVING - SETOUT DETAIL
SCALE 1:50



03 FEATURE PAVING AT ENTRY - SETOUT DETAIL
SCALE 1:25

04



04 FEATURE PAVING AT ENTRY - TYPICAL SETOUT DETAIL
SCALE 1:10

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Landscape Detail 02

SCALE 1:200 @ A0
0 2 4 8 12m

LEGEND
SITE BOUNDARY
PA PAVER
PL PAVING STRIP LIGHT

project: Crown, Eastlakes South
client: Crown Group
date 09.10.2019
revision: C for DRPP
drawn: AK
checked: JH

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CODE	SYMBOL	ITEM	DIMENSION	COLOUR & FINISH	SHOP DRAWING	SAMPLE	NOTES
PUBLIC DOMAIN PAVING							
AP	AP	ASPHALT	-	To Botany Bay Council road specification	-		
CO	CO	CONCRETE		To Civl Engineers details & specifications			
VR	VR	PAVER 40mm thickness	600 x 300 x 40mm	COLOUR: Warm Light Grey - Minimum aggregate exposure			
VC	VC	PAVER VEHICULAR CROSSOVER 60mm thickness	600 x 300 x 60mm	COLOUR: Warm Light Grey - Minimum aggregate exposure			
PUBLIC DOMAIN FURNITURE							
BENCH		TOWN & PARK BENCH SEATING	2017(L) x 434(W) x 448(H)mm	Marine grade Aluminum frame with stainless steel fixings with anti skate edge guards Code: **SPTP.BTD.A.SP.2.000**			Town and Park Metro Flat Bench Seat. Subsurface mount to appropriate footings
BIN	BIN	BIN HOUSING	1240(L) x 620(W) x 1093(H)mm	Stainless steel enclosure with hood Code: EM224-SSHP 240L			Supplier: Emerdyn Fixing: Surface fixed to manufacturer specifications
BIKE RACK		BICYCLE RACK	900H	Code: SPTP.BR.BHS.30.4.SP.900			Supplier: Stodart Fixing: Sub-Surface mounted fixed to manufacturer specifications
PUBLIC DOMAIN PLANTING							
		EXISTING TREE REMOVED					
		EXISTING TREE RETAINED					
		PROPOSED TREE					Refer to planing schedule for quantity Refer to planting plan for location
GROUND FLOOR FINISHES							
		RESIN BOND POROUS PAVING		50mm DEPTH OF RESINBONDED POROUS PAVING FINISHED SMOOTH AND LEVEL TO ADJACENT FOOTPATH AND KERB. THE RESIN BINDER SHALL BE A CLEAR FLEXIBLE POLYURETHANE TYPE MATERIAL SUITABLE FOR USE IN TREE PIT APPLICATIONS			
		LOOSE AGGREGATE		5-7mm SCREENED BLUE METAL AGGREGATE PLACED LOOSELY ARIOUND BASE OF TREE AND FINISHED LEVEL WITH ADJOINING PAVING			

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PUBLIC DOMAIN LANDSCAPE MATERIALS SCHEDULE

SCALE 1:200 @ A0

project: Crown, Eastlakes South
client: Crown Group
date: 09.10.2019
revision: C for DRPP
drawn: AK
checked: JH

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PD17

CODE	SYMBOL	ITEM	DIMENSION	COLOUR + FINISH	SUPPLIER	SHOP DRAWINGS	SAMPLES	NOTES
PAVING								
AF1		Architectural finish (Ground floor Retail)	-	-	-	-	-	Refer to architectural documentaton for details
P1a		Granite Paving (Pedestrian Only)	600mm x 300mm x 40mm	Colour: Sesame Grey Finish: Exfoliated	Sam The Paving Man (02) 9642 5666	-	Required	Subbase to engineers detail
P1b		Granite Paving (Pedestrian + Vehicular)	600mm x 300mm x 60mm	Colour: Sesame Grey Finish: Exfoliated	Sam The Paving Man (02) 9642 5666	-	Required	Subbase to engineers detail
P2		Granite Paving - Feature	600mm x 100mm x 40mm	Colour: Sesame Grey Finish: Bush hammered	Sam The Paving Man (02) 9642 5666	-	Required	
P3		Pebble Mesh (Mortar fixed)	20-30mm Pebbles	Pebble: River Grey Mortar:Grey oxide to match stone	Pebble: Rock & Stone (03) 9571 6266		Pebble: Required Mortar: Required	
P4		Porecelain Tile Paver - On Pedestal (Fire Egress + Podium Courtyards)	Paving: 600mm x 300mm x 14mm	Paving: Colour: X Beton Dot Finish: Natural	Paving: Rocks On (02) 8303 0100 Pedestals: Elmich (02) 9648 2073	-	Paving: Required	
P5		Pool Tile	20mm x 20mm	Tile:VTC 20.09 GRIP Grout:Off white grout mix to match tile colour	Bisazza Australia (02) 9838 9233		Tile: Required Grout: Required	
P6		Pebble Mesh (Water feature floor)	30-40mm Pebbles	Pebble: Colour: River Grey Mortar: Grey oxide to match stone	Pebble: Rock & Stone (03) 9571 6266		Pebble: Required Mortar: Required	Refer to detail
PL		Pit Lid For Chiller	4050mm x 2250mm	Infill Pit Lid.	Iplex (1300 047 539)	Required		Infill paving alignment to follow adjacent pavement. Set lids to match surrounding pavement to avoid ponding. Service lifting points to be carefully integrated
T1		Tactile Indicators Product Code: STI-SSS	-	Stainless Steel	Sydney Tactile Installations. (04) 3339 9945	-	-	Contractor to ensure compliance with AS1428.4
TD1a		Timber Deck On Pedestal	Decking: 135mm x 19mm Pedesial: Varies	Australian hardwood - Blackbutt Finish:TBC	Pedestals: Elmich (02) 9648 2073	Required	Decking: Required	Decking: Contractor must install in accordance with suppliers details and recommendations. All edge profiles concealed by flush adjacent paving / wall surface. Pedestals: Contractor to install in accordance with suppliers details and recommendations. Contractor to ensure decking at drainage outlets can be temporarily removed to allow for maintainance access.
TD1b		Timber Deck Over Soil Vault	Decking: 135mm x 19mm Pedesial: Varies	Australian hardwood - Blackbutt Finish:TBC	Pedestals: Elmich (02) 9648 2073	Required	Decking: Required	Decking: Contractor must install in accordance with suppliers details and recommendations. All edge profiles concealed by flush adjacent paving / wall surface.
WALLS, FENCES AND GATES								
F1		1.8m Flat Bar Fence + Security Gate (Ground Floor Western Boundary)	1.8m (H). Verticle flat bar steel 70mm x 10mm. Max 100mm spacings	All components:Galvanised steel Colour: AC1 - Refer to L-001 Finish: Powdercoated micaceous iron oxide paint finish.	-	Required	Required	Refert to detail
F2		Glass Pool Fence	1200mm (H)	-	-	Required	Required	
F3		1.8m Flat Bar Fence + Security Gate (Ground Floor Western Boundary)	1.8m (H). Verticle flat bar steel 70mm x 10mm. Max 100mm spacings	All components:Galvanised steel Colour: AC1 - Refer to L-001 Finish: Powdercoated micaceous iron oxide paint finish.	-	Required	Required	
W1		Blockwork Wall (Ground floor - On Structure)	190mm Thick 1800 Height	Colour: AC1 - Refer to L-001 Finish: Rendered Painted	-	-	-	Refer to Detail
W2a		Insitu Concrete Wall (Podium)	200mm Thick	Class 2, Honed finish to achieve minimal aggregate exposure to all exposed surfaces	-	-	Required	
W2b		Insitu Concrete Wall (Podium)	200mm Thick	Colour : AC1 - Refer to L-001 Finish : Redered and Painted	-		Required	
W3a		Water Feature Wall (Oculus + Linear WF)	Wall:200mm Thick	Hob: Belmondo - Sandblast	Hob: STS STONE (02) 9387 6616			Refer to Colarc Detail
W3b		Water Feature Wall (Oculus)	Wall:150mm Thick	Hob: Belmondo - Sandblast	Hob: STS STONE (02) 9387 6616			Refer to Colarc Detail
W3c		Water Feature Wall (Linear WF Drains)	Wall:150mm Thick	Hob: Adelaide Black - Polished	Hob: Sam The Paving Man (02) 9642 5666			Refer to Colarc Detail
W4		Stone Clad Wall	Wall: 220mm Think Cladding: 20mm Thick	Wall: Concrete Cladding: Belmondo - Sandblast	Cladding: STS STONE (02) 9387 6616		Required	
STAIRS AND HANDRAILS								
STAIR 20		Pool Stairs	150mm Riser 300mm Tread	Refer to Detail	N/A	Required		
HR1		Handrail to stair 20	Max 1m high	316 Stainless Steel		Required	Required	
CUSTOM FURNITURE								
BBQ		Bench:Custom Concrete Bench Sink:Pete Evans Alfresco Double Bowl Sink Product: 6660 Mixer:Pete Evans Alfresco Sink Mixer Product Code: PE06SSS5A BBQ cook tops: x2 CCQ-Electric HCF - E	Bench: 5500mm(l) x 900mm(w) x 900mm(h)	Bench: Precast Concrete. White - High Polised Finish Concrete. Must achieve zero to minimum aggregate exposure Sink: 316 Stainless Steel Mixer: 316 Stainless Steel	Bench: 2 Barrows(or equal) 0423 111 177 Sink: Clark 13 14 16 Mixer:Clark 13 14 16 BBQ Cooktop:Christie Parksafe 1300 135 227	Bench: Required BBQ Cooktop: Required		
C1		Custom Bench Seat: (Oculus)	Refer to detail	Precast Concrete		Required	Required	
C2		Custom Bench Seat: (Central + North Podium)	Refer to detail	Precast concrete seat with timber battens.		Required	Required	
C3		Custom Bench Seat: (Building 1B Rooftop)	Refer to detail	Precast concrete seat with timber battens.		Required	Required	

ARCHITECTURAL COLOUR FINISHES		
LANDSCAPE CODE	ARCH ELEMENT	COLOUR SPECIFICATION
AC1	Building Base + Podium Boundary Wall	Dulux 'Terrible Billy'
AC2	Building Fin 'Front'	Dulux 'Cinnamon Sand'

*ALL COLOUR SPECIFICATION TO MATCH ARCHITECT FINISH TO BE CONFIRMED WITH ARCHITECT PRIOR TO FABRICATION/APPLICATION

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Phone (+61 2) 9527 3380, Fax (+61 2) 9527 2307
Email sydney@turfdesign.com

Client: CrownGroup

Project: EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title: **LEGEND & LANDSCAPE SCHEDULE**

Drawing Status: FOR APPROVAL

Scale: @A1 Plot Date: 17/03/20 5:46:11 PM

Project No.	Drawing No.	Revision
1602	S75W-L-001	B

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CODE	SYMBOL	ITEM	DIMENSION	COLOUR + FINISH	SUPPLIER	SHOP DRAWINGS	SAMPLES	NOTES
FURNITURE AND FIXTURES								
		Poolside Table (FS-ST02)	As Supplied	Colour: White	Cosh Living (02) 9317 3011			
BB		Evans Avenue Removable Bollard (B5-F FLAT)	115mm(dia) x 810mm(h) above ground	Stainless 316 No.4 Finish (brushed)	Street Furniture Australia 1300 027 799	Required		Removable in-ground
OS		Outdoor Pool Shower (2281DM) One-handle build-in mixer	As per manufacturer's details	316 Stainless Steel	Vola (04) 402 372 480	Required		
PT1		Planter Pot - 900 Tall U Bowl (ZDU 909090)	900mm Height 900mm Width	Colour: White	Quatro Design (02) 6672 1190		Required	
PT2		Planter Pot - 700 Medium U Bowl (ZDU707070)	700mm Height 700mm Width	Colour: White	Quatro Design (02) 6672 1190		Required	
PT3		Planter Pot - 700 Low U Bowl (ZDU707050)	500mm Height 700mm Width	Colour: White	Quatro Design (02) 6672 1190		Required	
PT4		Planter Pot - 1200 Low U Bowl (ZDU 909090)	900mm Height 900mm Width	Colour: White	Quatro Design (02) 6672 1190		Required	
S1		Sun Lounger (FS-FELO)	As Supplied	Colour: White	Cosh Living (02) 9317 3011			
S2		Lounge seat (BREEZE)	As Supplied	Frame: Black Seat Pad: Black	WGU (1800 181 558)			
S3		Dining Chair (HEE Dining Chair)	As Supplied	Colour: Black	HAY (02 9538 0855)			
S4		Bean Bag Chair (COAST Isla Chair)	As Supplied	Colour: Heritage Granite	Cosh Living (02 9317 3011)			
S5		Bar Stool (HEE Bar Stool)	650mm(H)	Colour: Black	HAY (02 9538 0855)			
SB		Evans Avenue Bin (Civic Bin 240L)	728mm(W) x 1353mm (H) x 850mm(D)	Colour AC1 Refer to L-001	Urban Fountains & Furniture (07) 3382 7372	Required		
SL		I-Swim Portable Swim Lift	640mm(W) x 1245mm (L) x 1510mm(H)	-	Mobility Engineering (02) 9482 4572			
SR		Evans Avenue Bike Rack	Refer to council detail. Reduced length to suit location 340mm(L)	316 Stainless Steel	TBC	Required		
SS		Evans Avenue Bench Seat (VESEA-56-01-90)	1800mm(W) x 835mm (H) x 600mm(D)	Frame: AC1 Refer to L-001 Timber: Australian hardwood - Blackbutt	Mos Urban (02) 9188 3459			Subsurface fixed. Min 100mm cut-in paving around leg supports. Install compressible filler joint at abutment. Footing and fixing detail to manufacturer's specification.
T1		High Table (NEU Table High/ Round Anthracite)	950mm (H)	Colour: Black	HAY (02 9538 0855)			
T2		Dining Table	3400mm(L)	Frame: Lava Table top: Ceramic 6mm - quartz (64 - CEQ)	Cosh Living (02) 9317 3011			
T3		Low Table (Montego Outdoor Coffee Table)	900mm x 900mm x 360mm (H)	Colour : Charcoal	Coco Republic (1300 000 220)			
SOFTWORKS								
-		Proposed Tree						Refer to details. Refer to planting schedules for quantity
-		New Planting						Refer to details. Refer to planting schedules for quantity
-		Existing Tree			Existing trees number correlate to Arborist report. Refer to Arborist report for TPZ.			
LIGHTING								
BL1		Brick Light	-	-				Refer to Electrical engineer's drawings & specification
DL1		Down Light	-	-				Refer to Electrical engineer's drawings & specification
IL1		Floor Light	-	-				Refer to Electrical engineer's drawings & specification
L1		Street Light		-				Refer to Electrical engineer's drawings & specification
UL1		Up Light	-	-				Refer to Electrical engineer's drawings & specification
WL1		Wall Light	-	-				Refer to Electrical engineer's drawings & specification
WL2		Wall Light	-	-				Refer to Electrical engineer's drawings & specification
DRAINAGE AND SERVICES								
Irrigation		Subsurface Drip Irrigation	-	-	-			Contractor must supply and install irrigation to all planting areas. Refer to Irrigation designer's documentation for information
HC		Hose Cocks	-	-	-			
GD		Grated Drain	Refer to Hydraulic Engineer's specification					
EW		Existing Services - Water	-	-	-			
ET		Existing Services - Telstra	-	-	-			
ES		Existing Services - Sewer	-	-	-			
EG		Existing Services - Gas	-	-	-			
EE		Existing Services - Electrical	-	-	-			
PP		Existing Power Pole	-	-	-			
EGD		Existing Grated Drain	-	-	-			

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Email sydney@turfdesign.com

Client
CrownGroup

Project
EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title
LEGEND & LANDSCAPE SCHEDULE

Drawing Status
FOR APPROVAL

Scale @A1 Plot Date 17/03/2020 12:00:32 PM

Project No.	Drawing No.	Revision
1602	S75W-L-002	B

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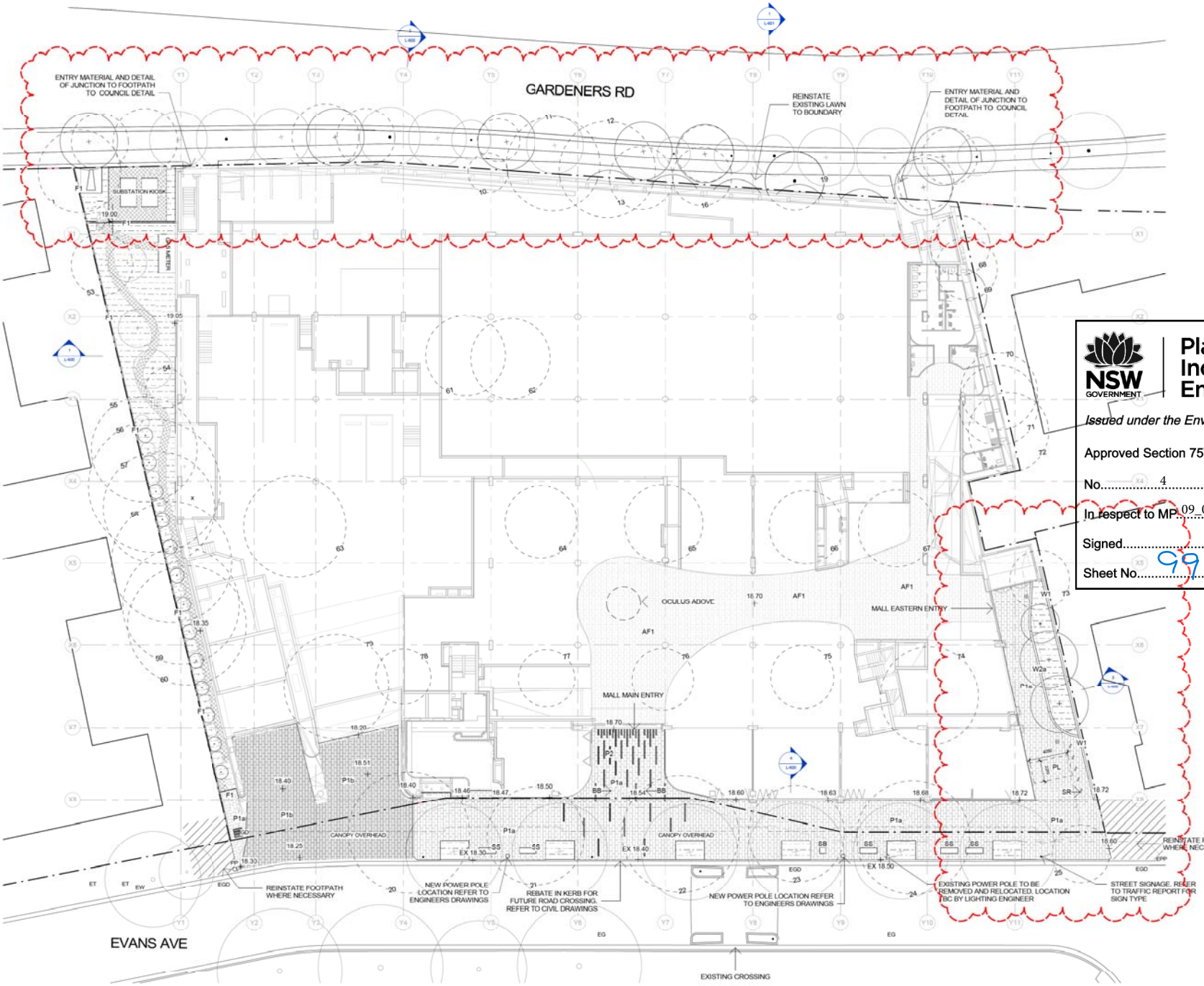

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Email: sydney@turfdesign.com

Client: CrownGroup

Project: EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title: **GENERAL ARRANGEMENT - PUBLIC DOMAIN**

Drawing Status: FOR APPROVAL

Scale: 1 : 200 @A1 Plot Date: 17/03/2020 12:00:59 PM

Project No.	Drawing No.	Revision
1602	S75W-L-200	B

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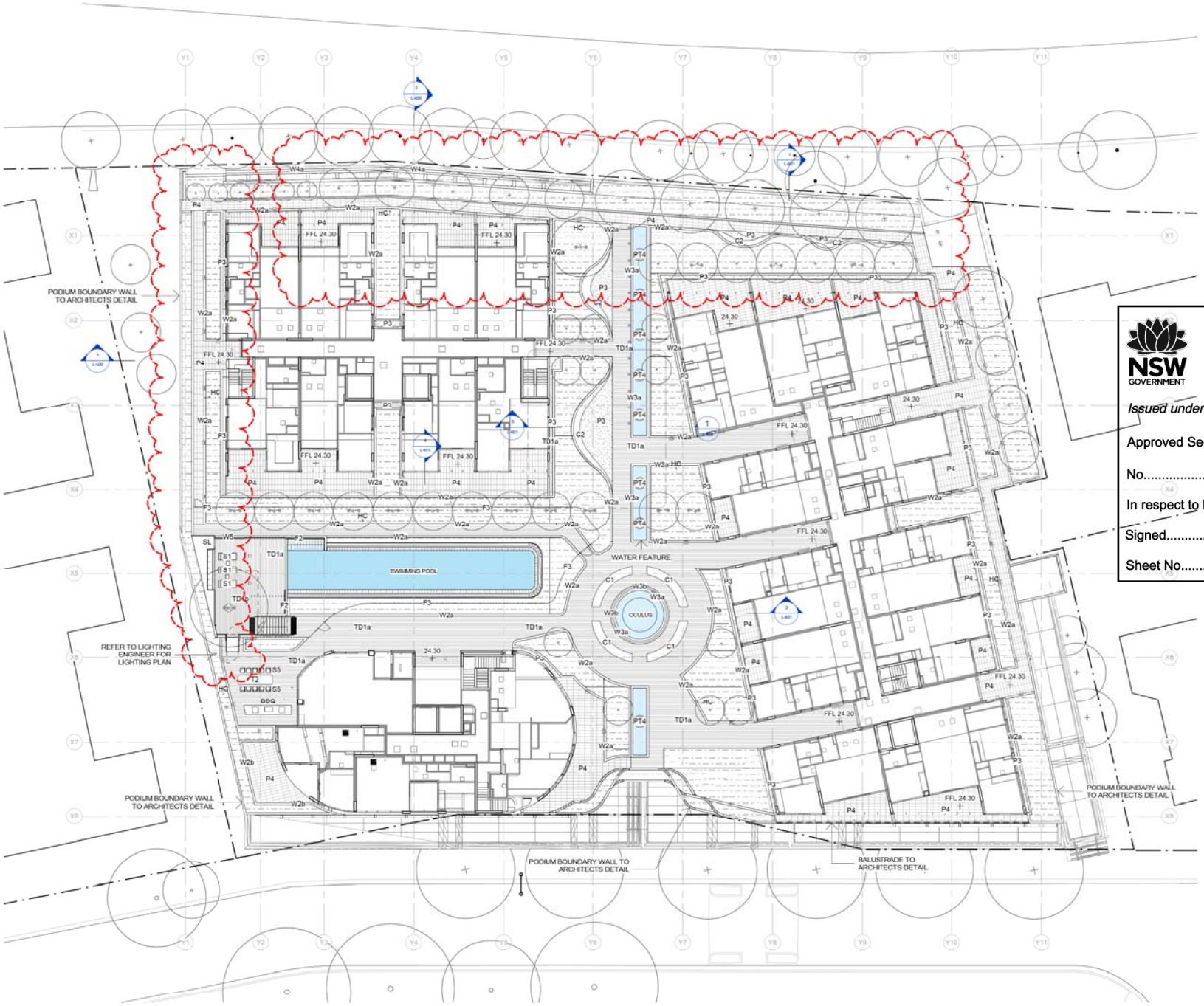

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Email sydney@turfdesign.com

Client: CrownGroup

Project: EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title: **GENERAL ARRANGEMENT - PODIUM**

Drawing Status: FOR APPROVAL

Scale: 1 : 200 @A1 Plot Date: 17/03/2020 12:01:26 PM

Project No.	Drawing No.	Revision
1602	S75W-L-210	B

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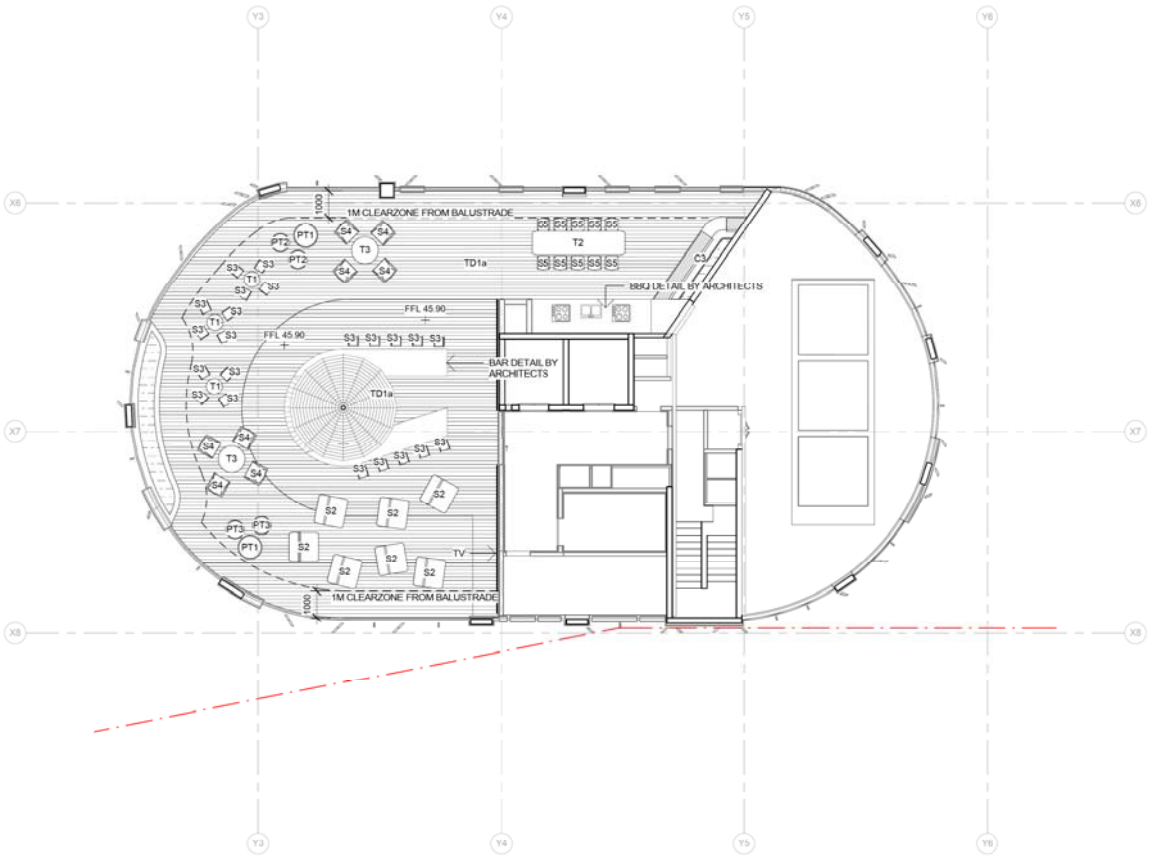

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Client

CrownGroup

Project

EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title

GENERAL ARRANGEMENT - BUILDING 1B ROOFTOP

Drawing Status

FOR APPROVAL

Scale 1 : 100 @A1 Plot Date 17/03/2020 12:01:32 PM

Project No.	Drawing No.	Revision
1602	S75W-L-220	B

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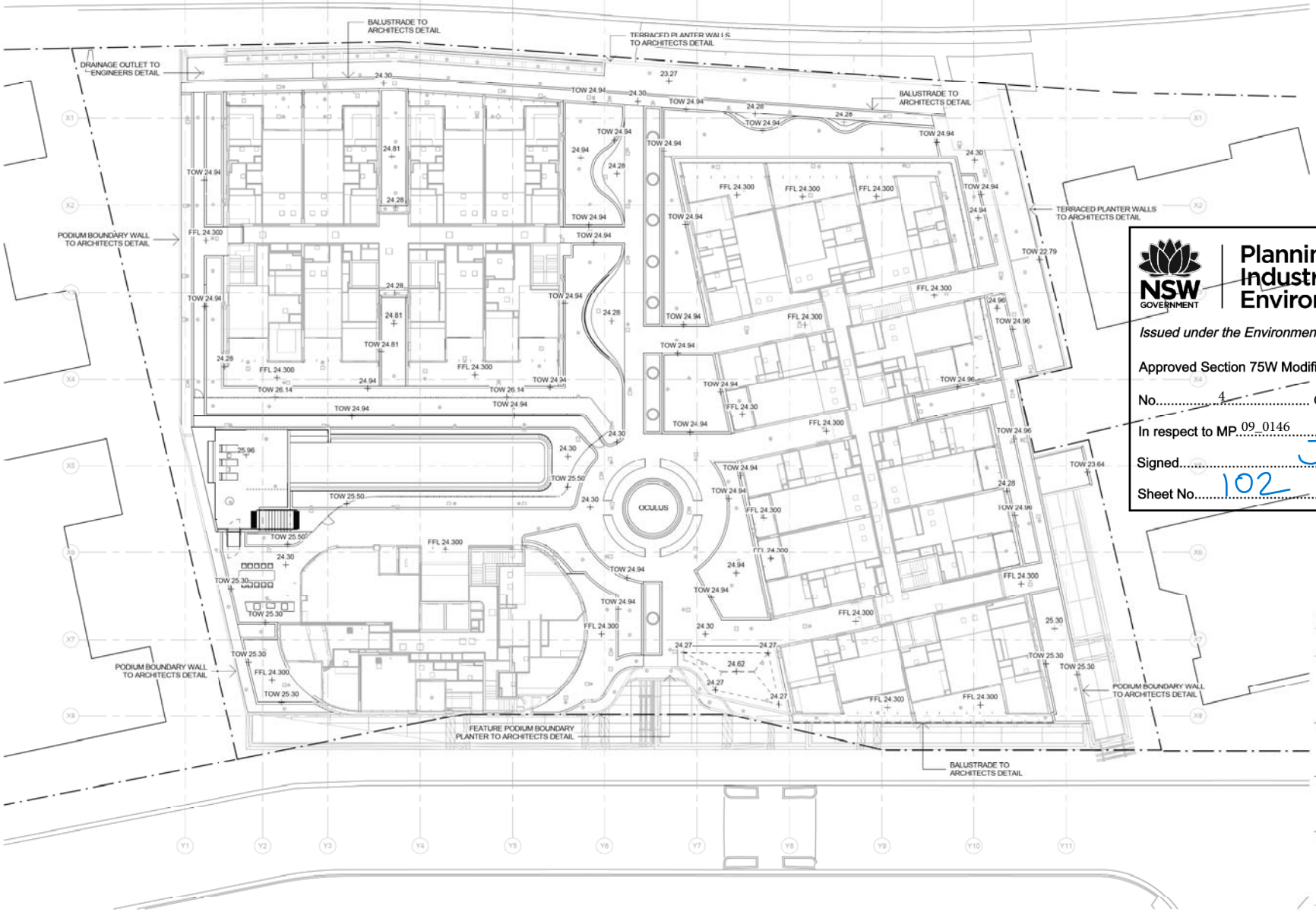

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CrownGroup

Project

EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title

LEVELS AND DRAINAGE - PODIUM

Drawing Status

FOR APPROVAL

Scale 1 : 200 @A1 Plot Date 17/03/2020 12:01:50 PM

Project No.	Drawing No.	Revision
1602	S75W-L-310	B

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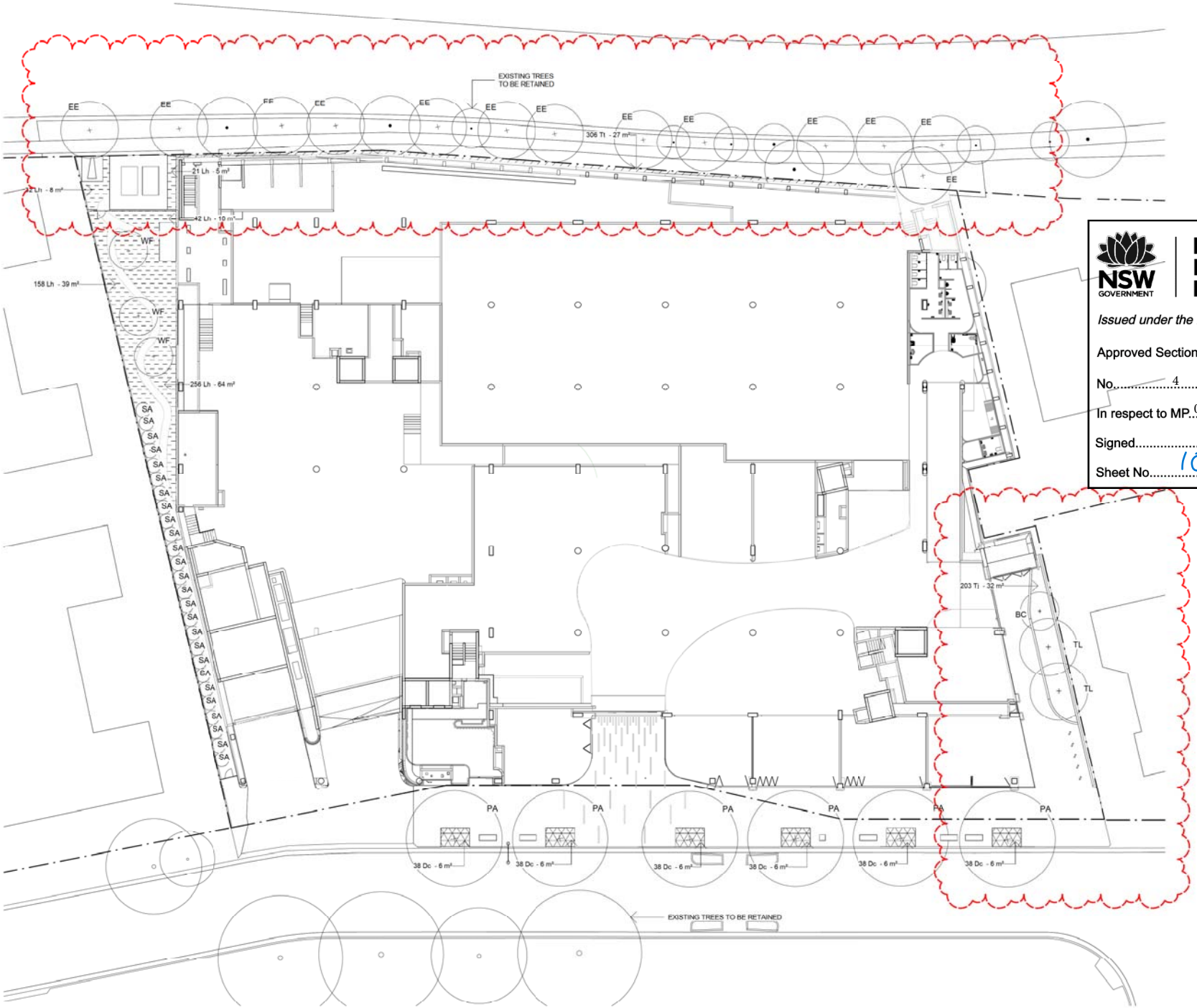

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Email sydney@turfdesign.com

Client: CrownGroup

Project: EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title: **PLANTING PLAN - PUBLIC DOMAIN**

Drawing Status: FOR APPROVAL

Scale: 1 : 200 @A1 Plot Date: 17/03/2020 12:02:16 PM

Project No.	Drawing No.	Revision
1602	S75W-L-500	B

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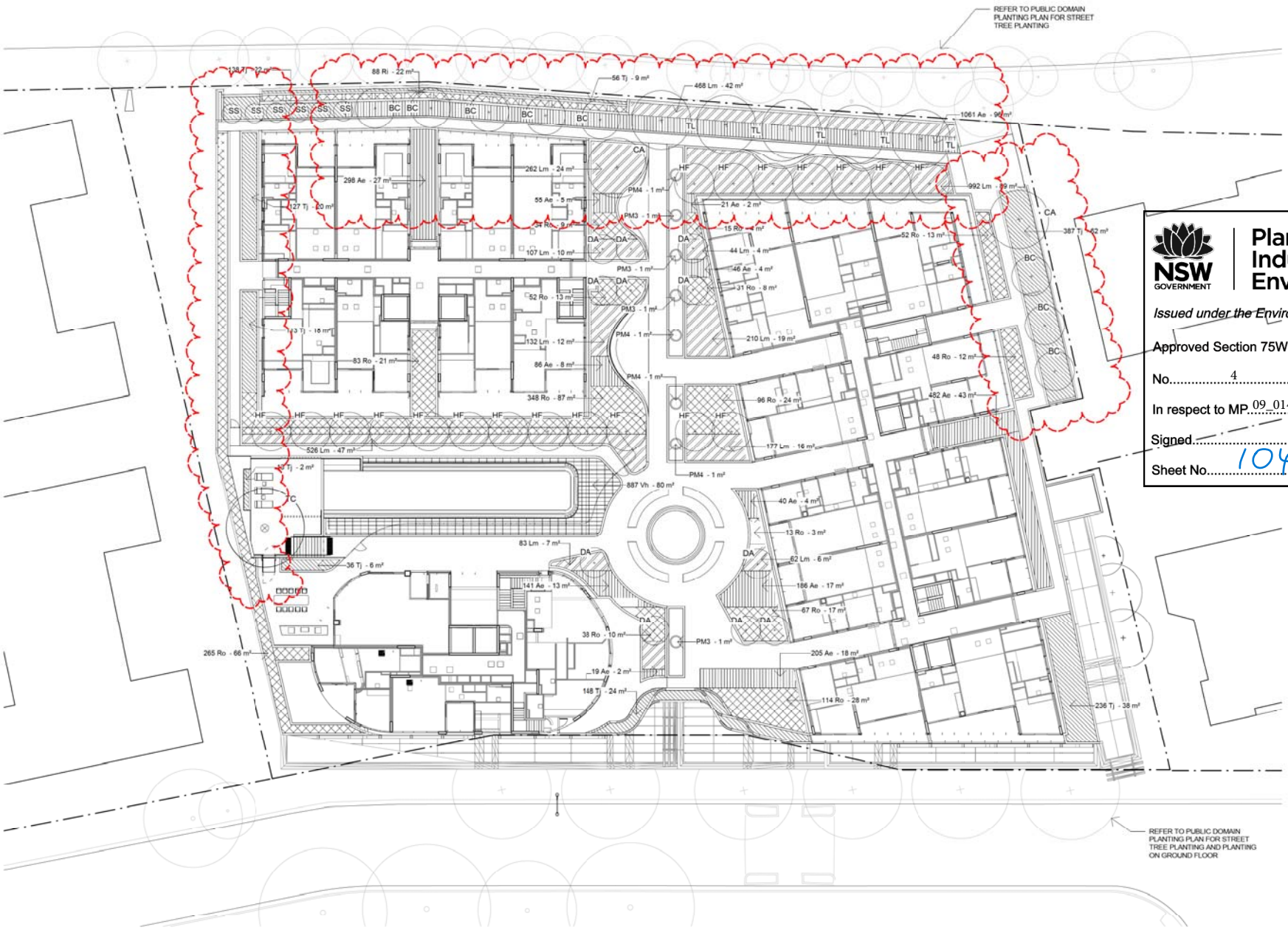

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Client

CrownGroup

Project

EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title

PLANTING PLAN - PODIUM

Drawing Status

FOR APPROVAL

Scale 1 : 200 @A1 Plot Date 17/03/2020 12:02:49 PM

Project No.	Drawing No.	Revision
1602	S75W-L-510	B

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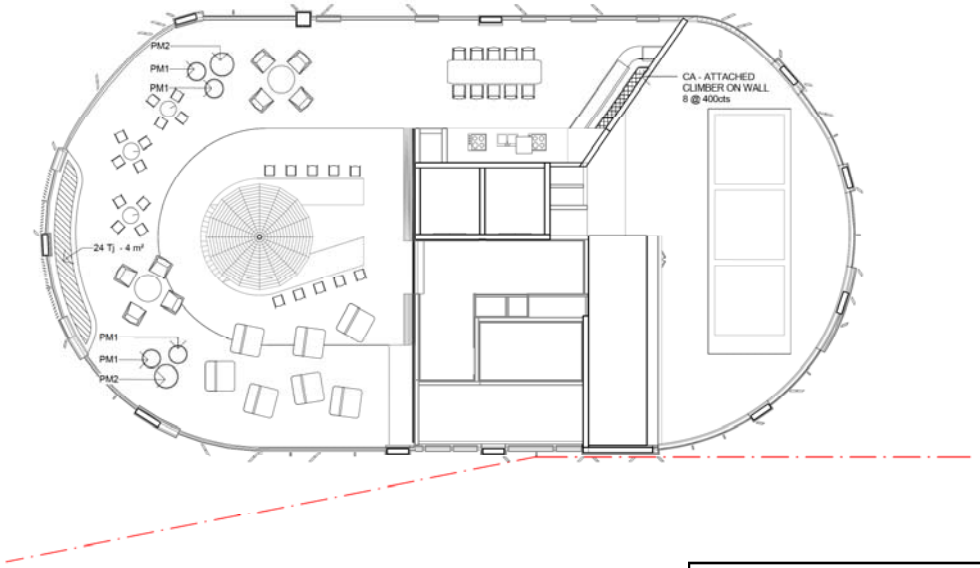

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Approved Section 75W Modification Application

No. 4 Granted on 18 June 2020

In respect to MP 09_0146

Signed JJ

Sheet No. 105 of 136

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Rev	Date	Description	Drawn	Checked
B	16.03.2020	FOR APPROVAL	AR	MC
A	03.06.2019	FOR APPROVAL	AR	MC

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Email sydney@turfdesign.com

Client

CrownGroup

Project

EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title

PLANTING PLAN - BUILDING 1B ROOFTOP

Drawing Status

FOR APPROVAL

Scale 1 : 100 @A1 Plot Date 17/03/2020 12:02:59 PM

Project No.	Drawing No.	Revision
1602	S75W-L-520	B

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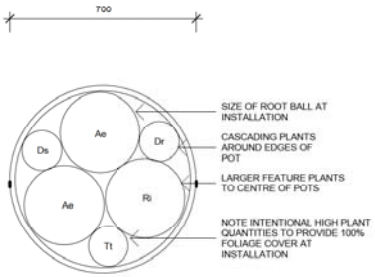
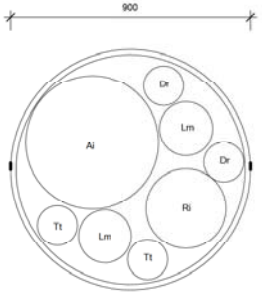


1 PM1 - PLANTING MIX 1 POT DETAIL
1 : 10

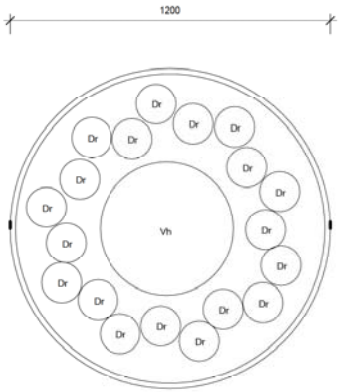
PROPOSED PLANTING SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	HEIGHT AT INSTALL	MATURE HEIGHT	CENTRES	POT SIZE	QUANTITY
TREE SPECIES							
BC	Backhousia citriodora	Lemon myrtle	3m	5m	As Shown	400L	9
CA	Cupaniopsis anacardioides	Tuckeroo	4-5m	12m	As Shown	1000L	2
DA	Diploglottis australis	Native tamarind	6m	8m	As Shown	400L	11
EE	Elaeocarpus eumundi	Eumundi Quandong	3m	10m	As Shown	200L	13
HF	Hymenosporum flavum	Native Frangipani	3m	8m	As Shown	400L	19
PA	Plantanus acerifolia	London Plane	3m	15-20m	As Shown	400L	6
SA	Syzygium australe 'Pinnacle'	Lilly Pilly	2m	3m	As Shown	100L	26
SS	Syzygium australe 'Aussie southern'	Lilly Pilly	2m	3m	As Shown	100L	6
TC	Toona ciliata	Red Cedar	5m-8m	18m	As Shown	1000L	1
TL	Tristaniopsis laurina	Kanooka Gum	4-5m	10m	As Shown	1000L	7
WF	Waterhousia floribunda "Sweeper"	Weeping Lilly Pilly	3m	8m	As Shown	400L	3

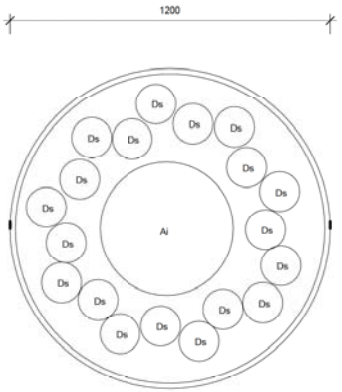


2 PM2 - PLANTING MIX 2 POT DETAIL PLAN
1 : 10

SHRUBS, GROUNDCOVERS AND CLIMBERS								
CODE	SPECIES	COMMON NAME	HEIGHT AT INSTALL	MATURE HEIGHT	CENTRES(mm)	POT SIZE	QUANTITY	TOTAL AREA
Ae	Aspidistra elatior 'Variegata'	Cast-iorn-plant	300mm	600mm	300	200mm	2640	238 m²
Cn	Cissus antarctica	Kangaroo Vine	300mm	3m	As Shown	200mm		
Dc	Dianella caerulea 'Little Jess'	'Little Jess' Dianella	300mm	500mm	400	200mm	225	36 m²
Lh	Lomandra hystrix	Green matt-rush	300mm	1m	500	200mm	509	127 m²
Lm	Lirope muscari	Lillyturf	300mm	500mm	300	200mm	3135	282 m²
PM1	2x Ae - Aspidistra elatior 'Variegata' 1x Ri - Rhapiolepis indica 'Oriental Pearl' 1x Dr - Dichondra repens 1x Ds - Dichondra 'Silver falls' 1x Tt - Trachelospermum jasminoides 'Tricolour'		-	-	Refer to detail plan	Ae: 200mm Ri: 300mm Dr: 150mm Ds: 150mm Tt: 150mm		1 m²
PM2	1x Ai - Alcanteria imperialis 'Rubra' 1x Ri - Rhaphiolepis indica 'Oriental Pearl' 2x Lm - Lirope muscari 2x Dr - Dichrondra repens 2x Tt - Trachelospermum jasminoides 'Tricolour'		-	-	Refer to detail plan	Ai : 500mm Ri : 300mm Lm : 200mm Dr: 150mm Tt: 150mm		1 m²
PM3	1x Ai - Alcanteria imperialis 19x Dr - Dichondra repens		-	-	Refer to detail plan			3 m²
PM4	1x Ai - Alcanteria imperialis 19x Ds - Dichrondra 'Silver falls'		-	-	Refer to detail plan			3 m²
Ri	Rhaphiolepis indica	Indian Hawthorn	600mm	2m	500	300mm	88	22 m²
Ro	Rhaphiolepis indica 'Oriental Pearl'	Oriental pearl indian hawthorn	600mm	1m	500	300mm	1258	315 m²
Tj	Trachelospermum jasminoides	Star Jasmine	300mm	2m	400	200mm	1480	237 m²
Tt	Trachelospermum jasminoides 'Tricolor'	Chinese Star Jasmine variegated	300mm	400mm	300	200mm	306	27 m²
Vh	Viola hederacea	Violet	150mm	300mm	300	150mm	687	80 m²
							10531	1373 m²



3 PM3 - PLANTING MIX 3 POT DETAIL PLAN
1 : 10



4 PM4 - PLANTING MIX 4 POT DETAIL PLAN
1 : 10

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No. 4 Granted on 18 June 2020

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Sheet No. 106 of 136

Rev	Date	Description	Drawn	Checked
B	16.03.2020	FOR APPROVAL	AR	MC
A	03.06.2019	FOR APPROVAL	AR	MC

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Email sydney@turfdesign.com

Client: CrownGroup

Project: EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title: **PLANTING SCHEDULES**

Drawing Status: FOR APPROVAL

Scale: 1 : 10 @A1 Plot Date: 17/03/20 5:48:14 PM

Project No.	Drawing No.	Revision
1602	S75W-L-530	B

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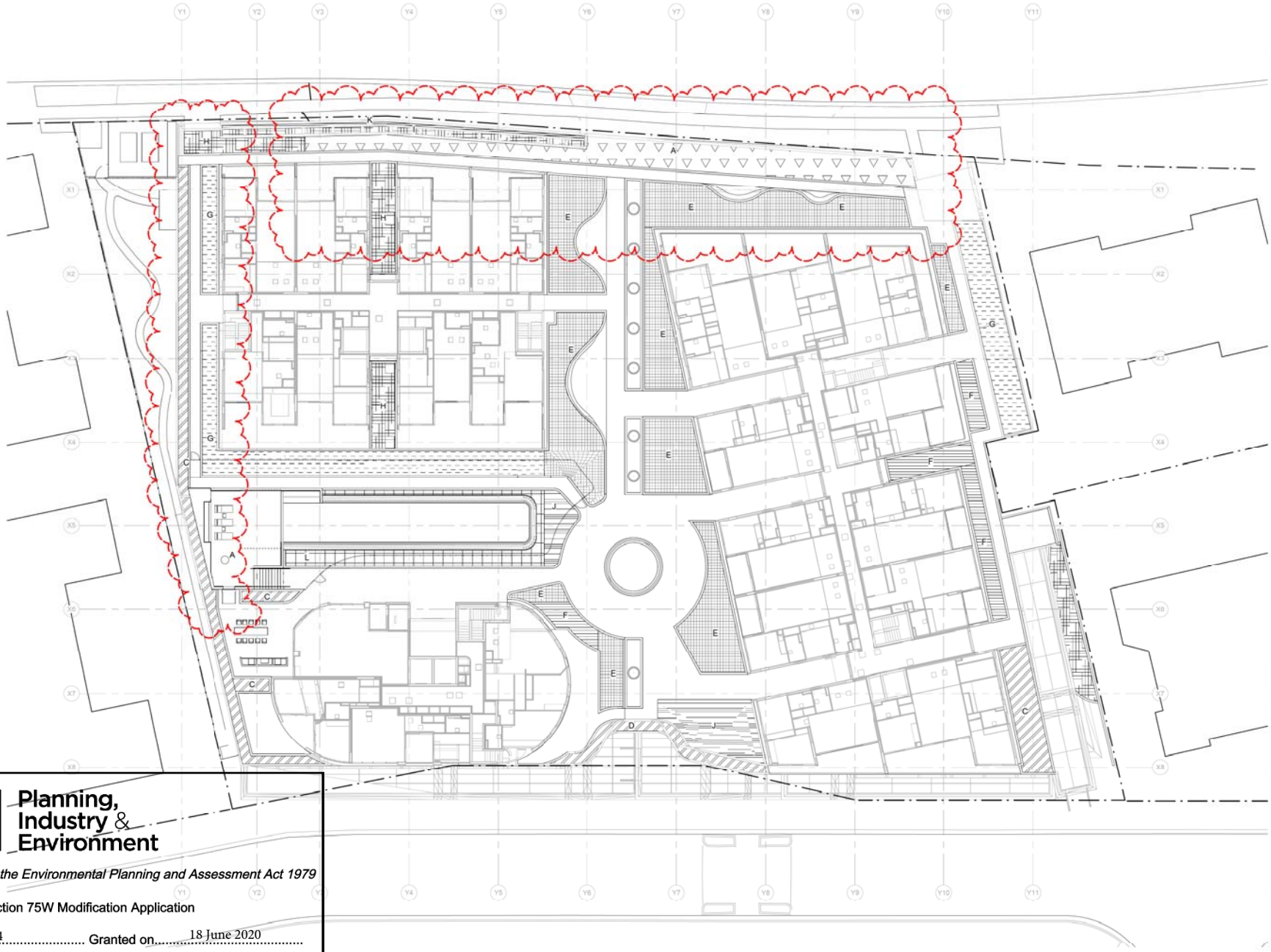

SCALE - 1:200 @ A1 , 1:400 @ A3

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SURVEY INFORMATION

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LEGEND
SOIL DEPTHS

A	- 1700mm - 142m²
B	- 1450mm - 35m²
C	- 1095mm - 118m²
D	- 1015mm - 23m²
E	- 850mm - 382m²
F	- 750mm - 68m²
G	- 730mm - 191m²
H	- 600mm - 101m²
I	- 480mm - 26m²
J	- 300mm - 68m²
K	- 150mm - 9m²
L	- 90mm - 60m²

NOTE: SOIL DEPTH VARIATION IS A RESULT OF VARIATION IN PLANTER HEIGHT AND VARIATION OF STRUCTURAL SLAB SET DOWN

Rev	Date	Description	Drawn	Checked
B	16.03.2020	FOR APPROVAL	AR	MC
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Email sydney@turfdesign.com

Client
CrownGroup

Project
EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title
SOIL DEPTH PLAN - PODIUM

Drawing Status
FOR APPROVAL

Scale 1 : 200 @A1 | Plot Date 17/03/2020 12:03:18 PM

Project No.	Drawing No.	Revision
1602	S75W-L-560	B

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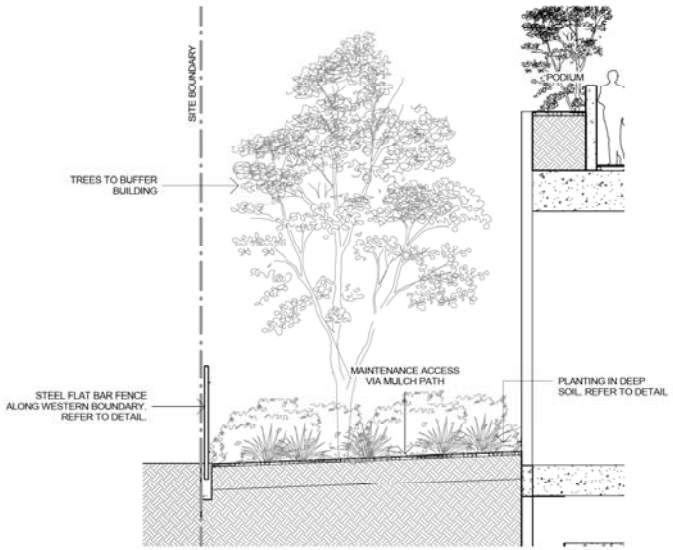
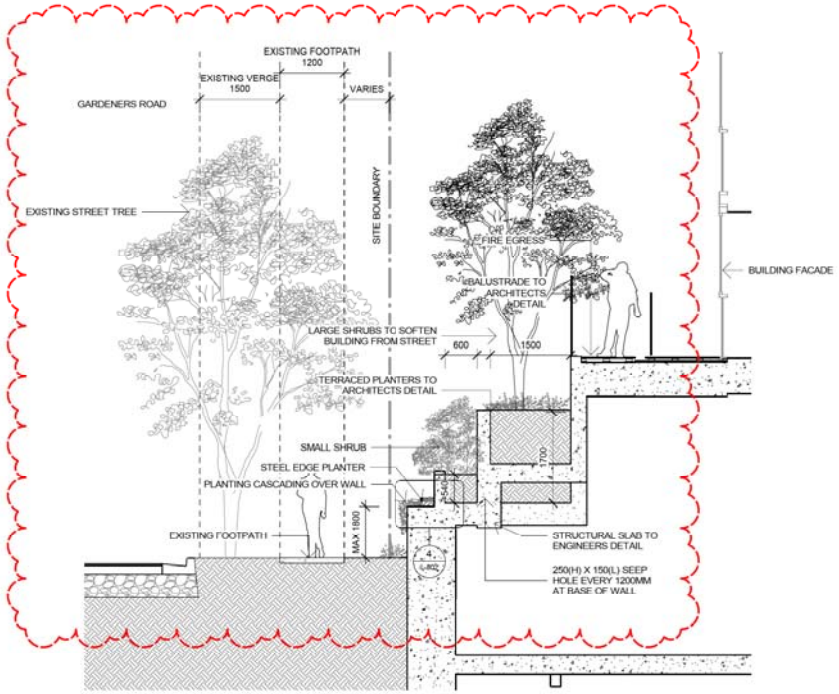
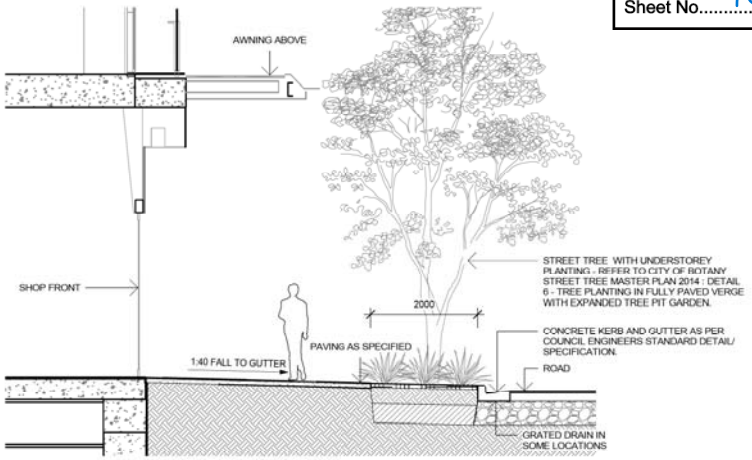


1 WESTERN BOUNDARY LANDSCAPE AREA
1 : 50

EASTERN LANEWAY DETAIL OMMITED.
REFER TO SHEET S75W-L-600a & S75W-L-600b FOR DESIGN OPTIONS



2 GARDENERS ROAD BOUNDARY PLANTERS
1 : 50



3 EVANS AVENUE SECTION
1 : 50

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Client
CrownGroup

Project
EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title
SECTIONS - GROUND FLOOR

Drawing Status
FOR APPROVAL

Scale 1 : 50 @A1 Plot Date 17/03/2020 12:03:44 PM

Project No.	Drawing No.	Revision
1602	S75W-L-600	B

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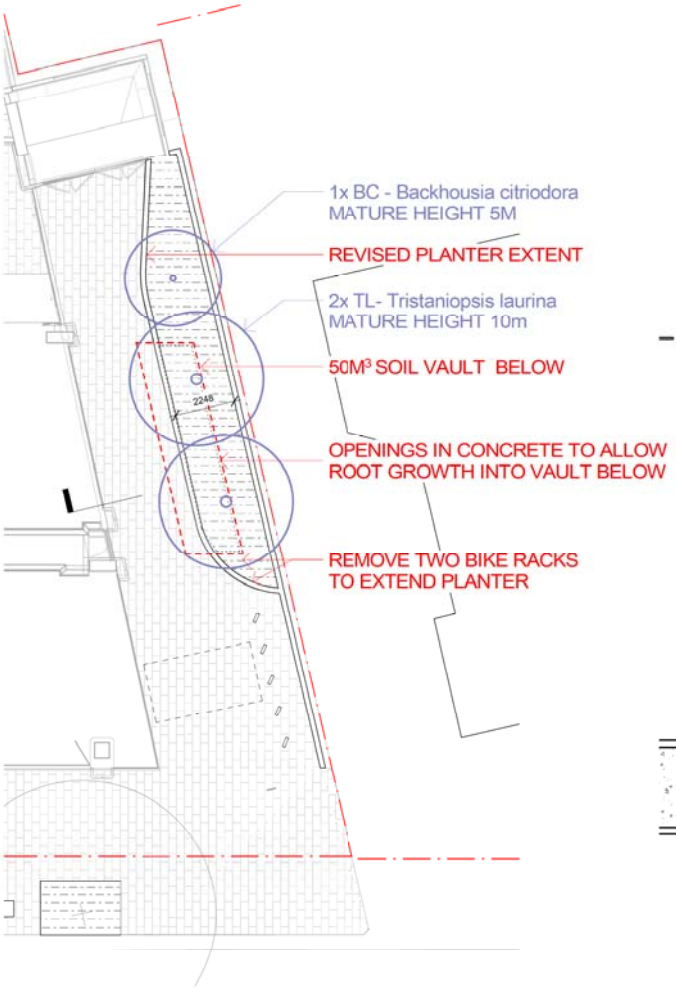
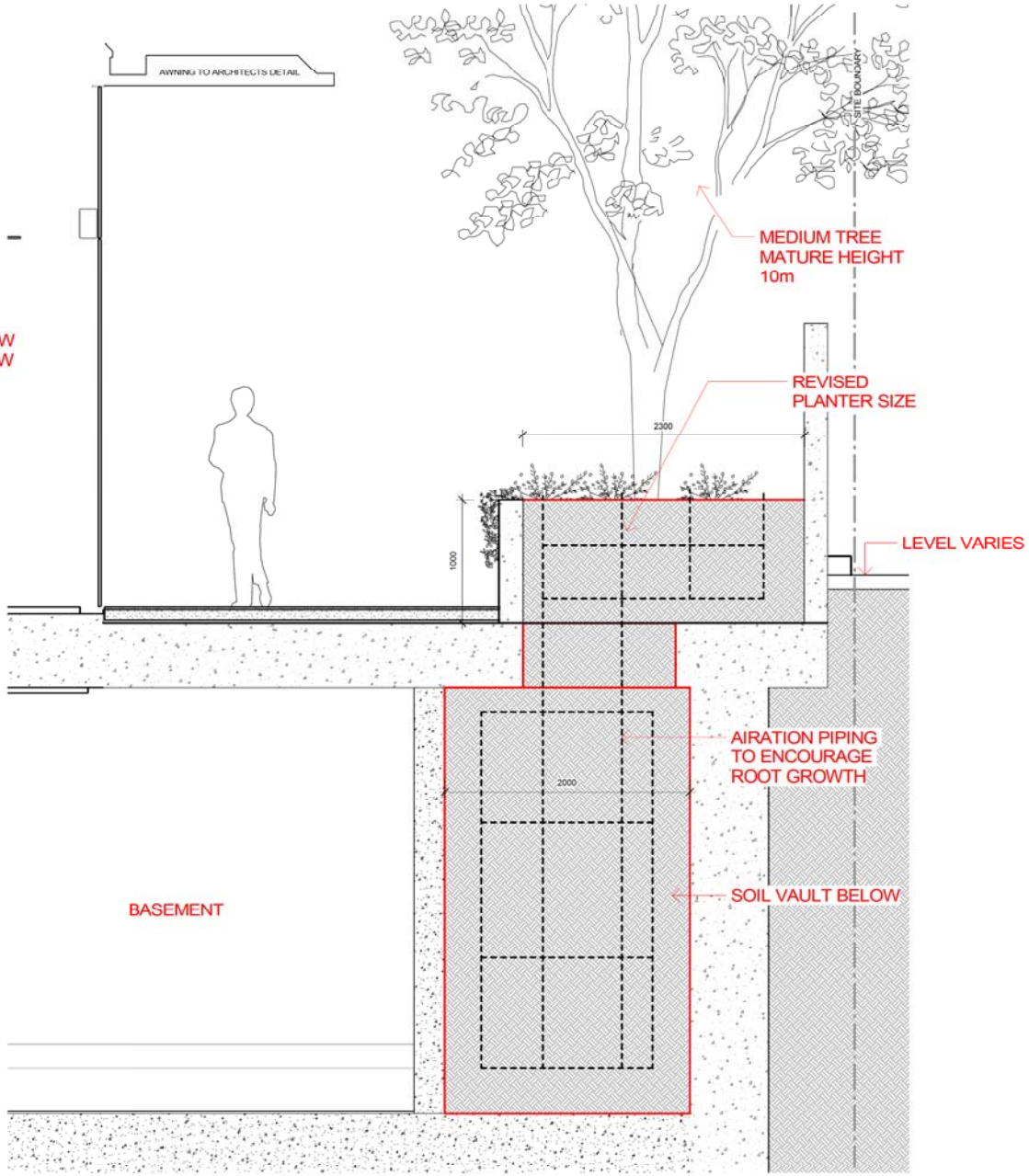


1 EASTERN PLANTER OPTION 1 DETAIL PLAN
1 : 100



2 EASTERN LANEWAY OPTION 1 SOIL VAULT
1 : 20

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Client
CrownGroup

Project
EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title
EASTERN PLANTER OPTION 1

Drawing Status
FOR APPROVAL

Scale As indicated @A1 Plot Date 17/03/2020 12:03:51 PM

Project No.	Drawing No.	Revision
1602	S75W-L-600a	A

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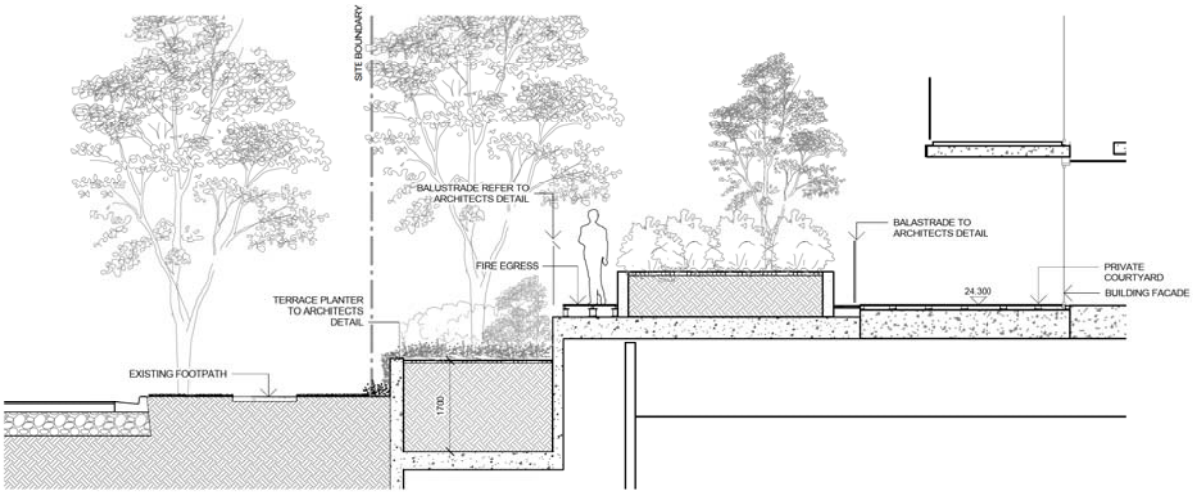
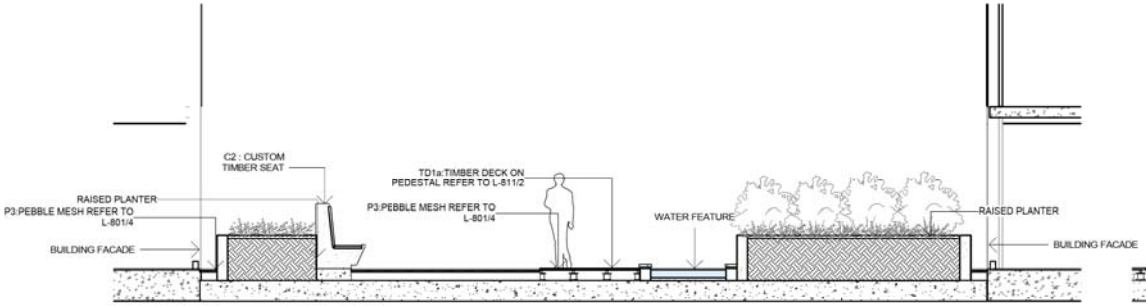
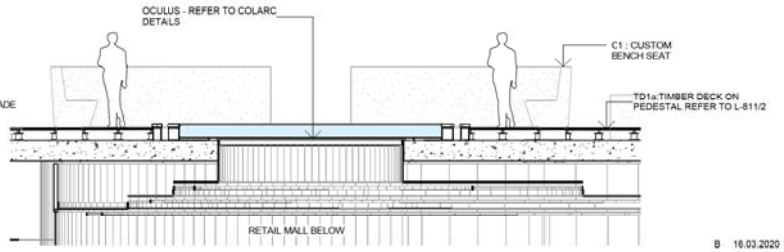


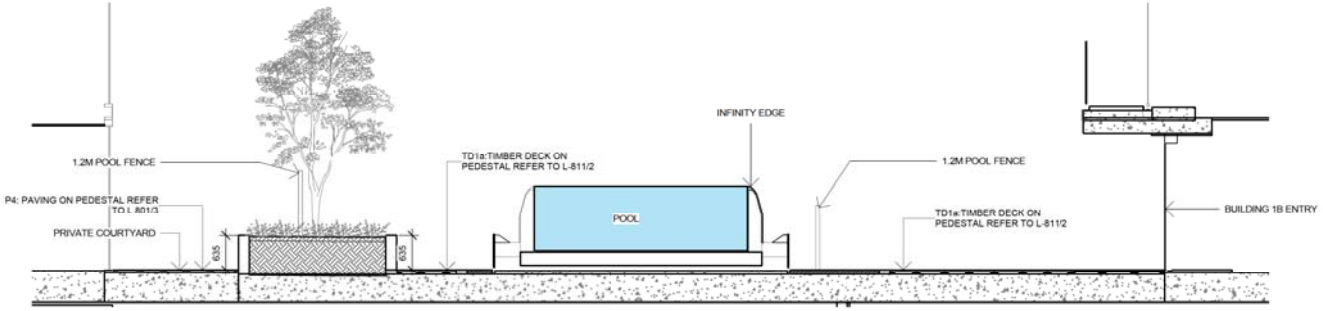
1 NORTH / GARDENERS ROAD EDGE OF PODIUM
1 : 50



2 CENTRAL PODIUM
1 : 50



3 OCULUS AREA
1 : 50



4 POOL SECTION
1 : 50

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Client
CrownGroup

Project
EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title
SECTIONS - PODIUM SHEET 1

Drawing Status
FOR APPROVAL

Scale 1 : 50 @A1 Plot Date 17/03/2020 12:04:05 PM

Project No.	Drawing No.	Revision
1602	S75W-L-601	B

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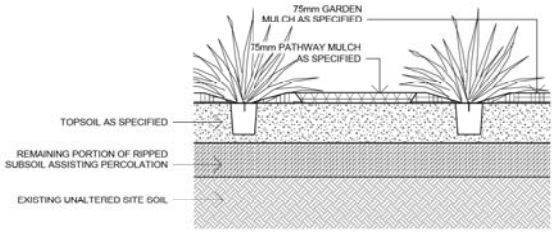
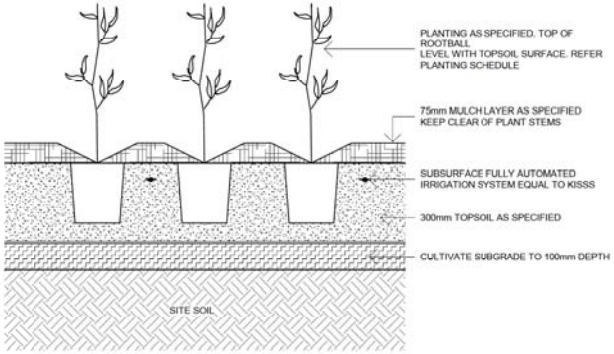
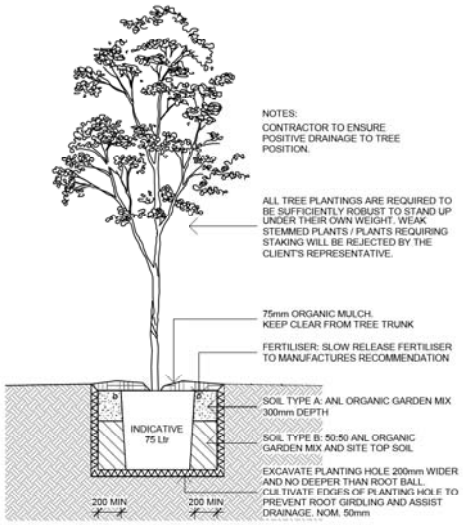


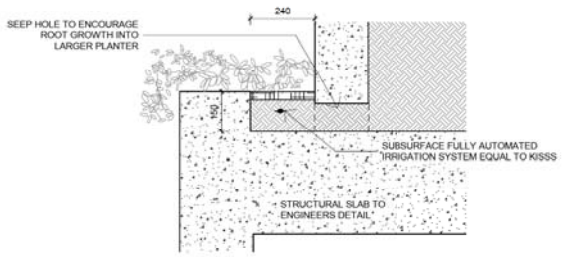
1 TYPICAL DETAIL - MULCH PATH
1 : 20



2 TYPICAL DETAIL - MASS PLANTING IN DEEP SOIL
1 : 10



3 TYPICAL DETAIL - TREE PLANTING IN DEEP SOIL
1 : 20



4 W4a - NORTH PLANTER STEEL EDGE
1 : 10

Rev	Date	Description	Drawn	Checked
B	16.03.2020	FOR APPROVAL	AR	MC
A	03.06.2019	FOR APPROVAL	AR	MC

turf
Turf Design Studio: P.O Box 419 Cronulla NSW 2230, 95 Kingsway, Cronulla 2230
Phone (+61 2) 9527 3380, Fax (+61 2) 9527 2307
Email: sydney@turfdesign.com

Client
CrownGroup

Project
EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title
DETAILS - GROUND FLOOR

Drawing Status
FOR APPROVAL

Scale: As indicated @A1 | Plot Date: 17/03/20 5:40:42 PM

Project No.	Drawing No.	Revision
1602	S75W-L-802	B

C:\Users\User\Documents\1602_Eastlakes North site - 2017-PRE VE_sydney@turfdesign.com.rvt

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In respect to MP 09_0146

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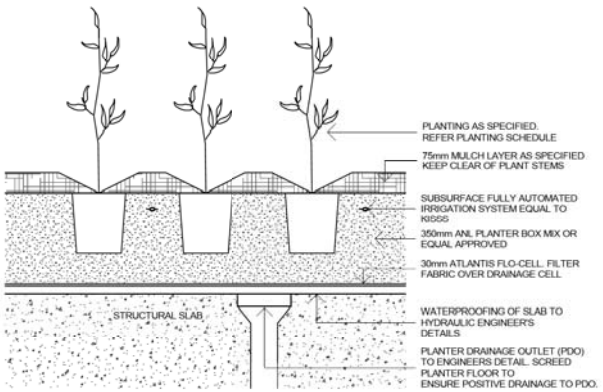
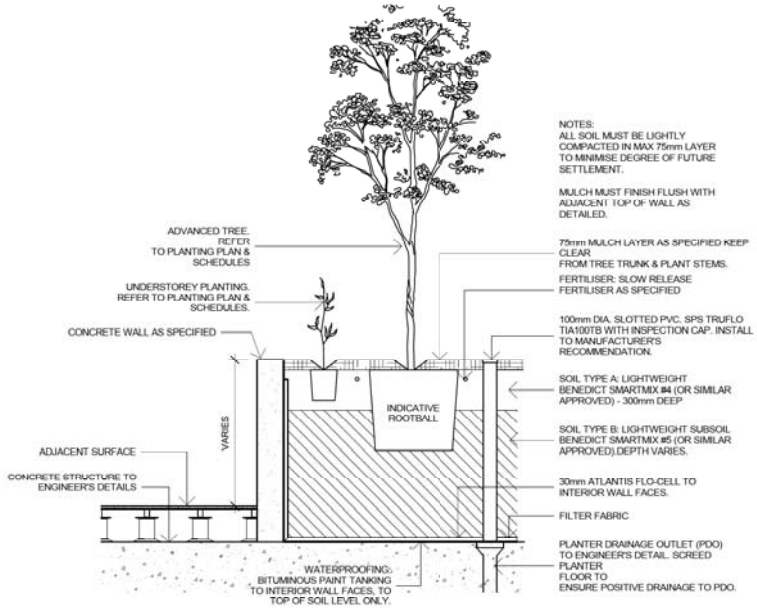
SURVEY INFORMATION

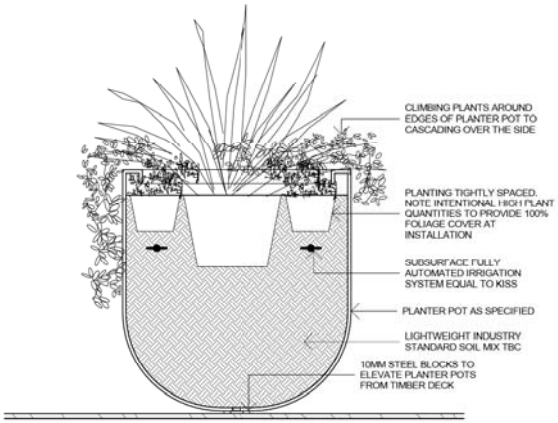
7. TURF DESIGN STUDIO DO NOT WARRANT THE ACCURACY OF SURVEY INFORMATION.



1 TYPICAL DETAIL - MASS PLANTING ON STRUCTURE
1 : 10



2 TYPICAL DETAIL : RAISED PLANTER ON STRUCTURE
1 : 20



3 PLANTER POT TYPICAL DETAIL
1 : 10

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Sheet No. 112 of 136

Rev	Date	Description	Drawn	Checked
B	16.03.2020	FOR APPROVAL	AR	MC
A	03.06.2019	FOR APPROVAL	AR	MC

turf

Turf Design Studio P.O Box 419 Cronulla NSW 2230, 95 Kingsway, Cronulla 2230
Phone (+61 2) 9527 3380, Fax (+61 2) 9527 2307
Email sydney@turfdesign.com

Client: CrownGroup

Project: EASTLAKES TOWN CENTRE - NORTH SITE

Drawing Title: **DETAILS - PODIUM**

Drawing Status: FOR APPROVAL

Scale: As indicated @A1 Plot Date: 17/03/2020 12:04:17 PM

Project No.	Drawing No.	Revision
1602	S75W-L-812	B

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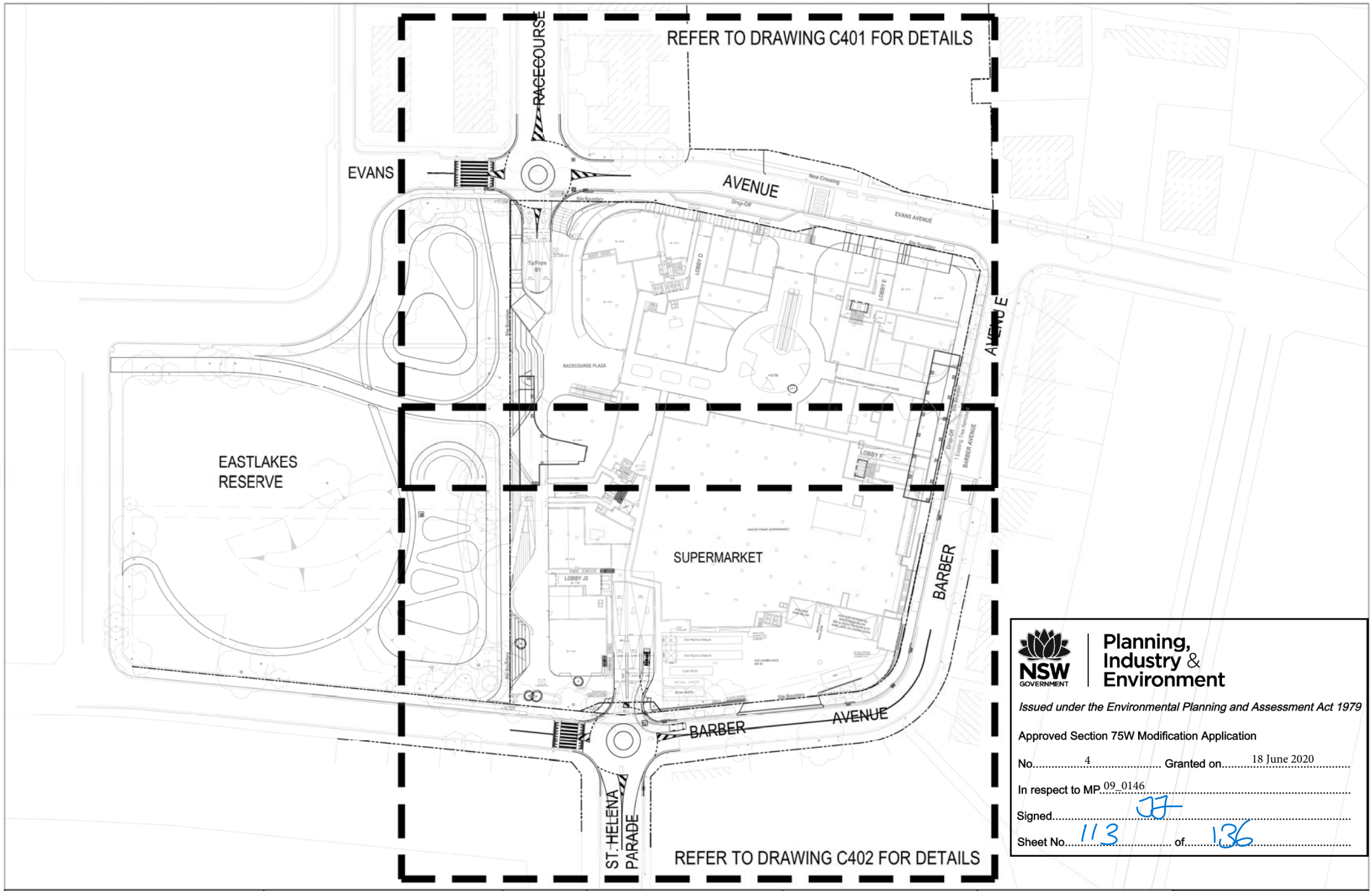

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Sheet No. 113 of 136

No.	REVISION DESCRIPTION	DRAWN	DATE
C	PRELIMINARY	NT	11.03.20
B	PRELIMINARY	PF	11.10.19
A	PRELIMINARY	NT	20.05.19

REVISIONS:

SCALE BAR: 0 10 20 30 40 50 60 70m

SCALE 1:750

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van der Meer Consulting
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LEVEL 6, 39 CHANDOS STREET
ST LEONARDS NSW 2065
Telephone 61 2 9436 0433 Fax 61 2 9436 1370
www.vandermeer.com.au
van der Meer (NSW) Pty Ltd
A.B.N. 56 158 266 301

CLIENT
CROWN INTERNATIONAL HOLDINGS GROUP
LVL 11, 68 ALFRED STREET, MILSONS POINT NSW 2061

ARCHITECT
fjmt
LEVEL 5, 70 KING STREET, SYDNEY NSW 2000

PROJECT TITLE
EASTLAKES CENTRE - SOUTHERN SITE
GARDENERS ROAD
EASTLAKES NSW 2018

DRAWING TITLE
SITE PLAN

DRAWING STATUS
PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

PROJECT LEADER	DESIGNER	SIGNATURE	
RJB	NT		
DRAFTSPERSON	SCALE	DATE	SHEET SIZE
		AUG 2018	A1
JOB No.		DRAWING No.	REVISION
SY182-033		C101	C

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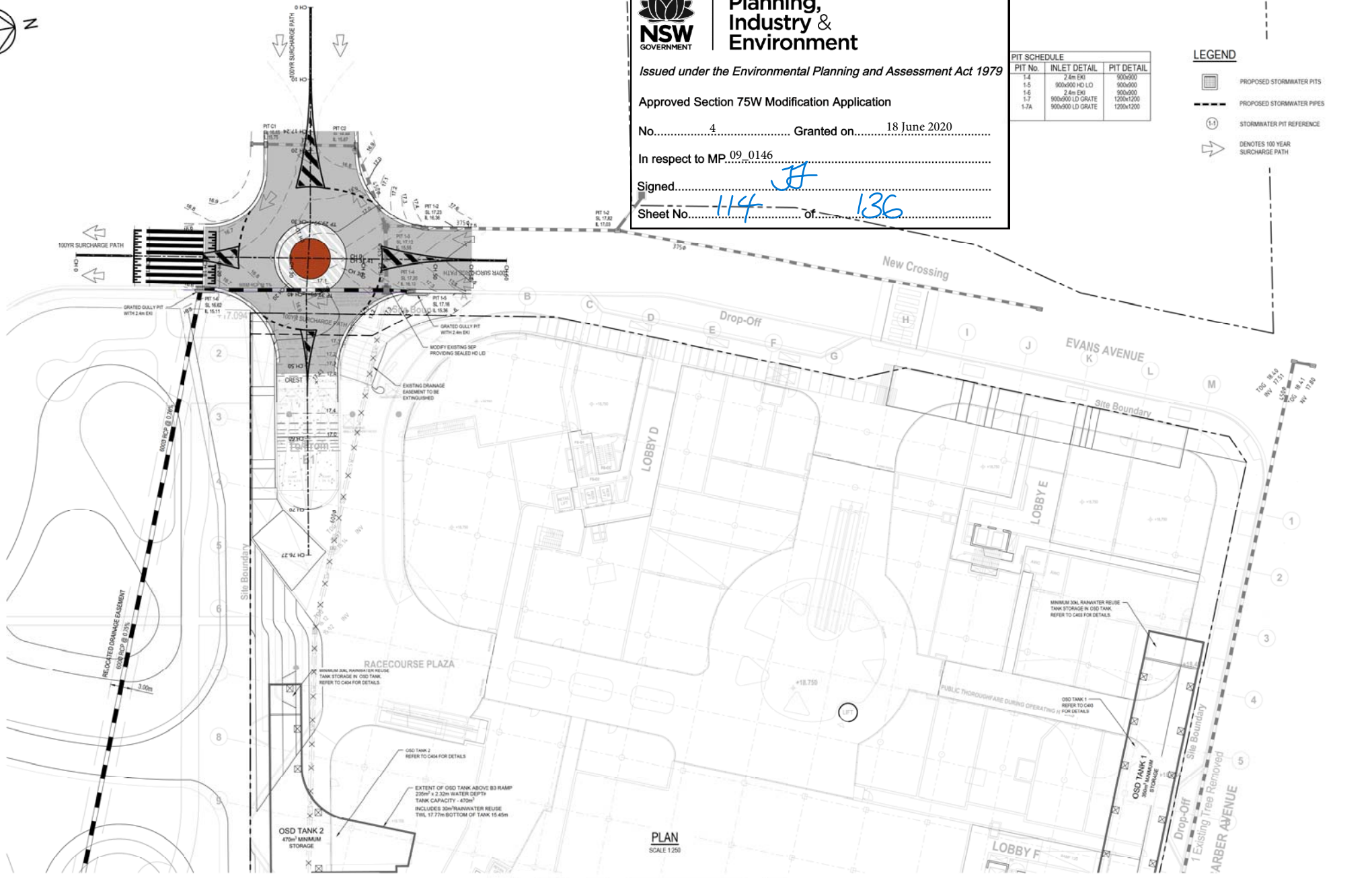
Sheet No. 114 of 136

PIT SCHEDULE		
PIT No.	INLET DETAIL	PIT DETAIL
1-4	2.4m EKI	900x900
1-5	900x900 HD LO	900x900
1-6	2.4m EKI	900x900
1-7	900x900 LD GRATE	1200x1200
1-7A	900x900 LD GRATE	1200x1200

LEGEND

- PROPOSED STORMWATER PITS
- PROPOSED STORMWATER PIPES
- (1-1) STORMWATER PIT REFERENCE
- DENOTES 100 YEAR SURCHARGE PATH



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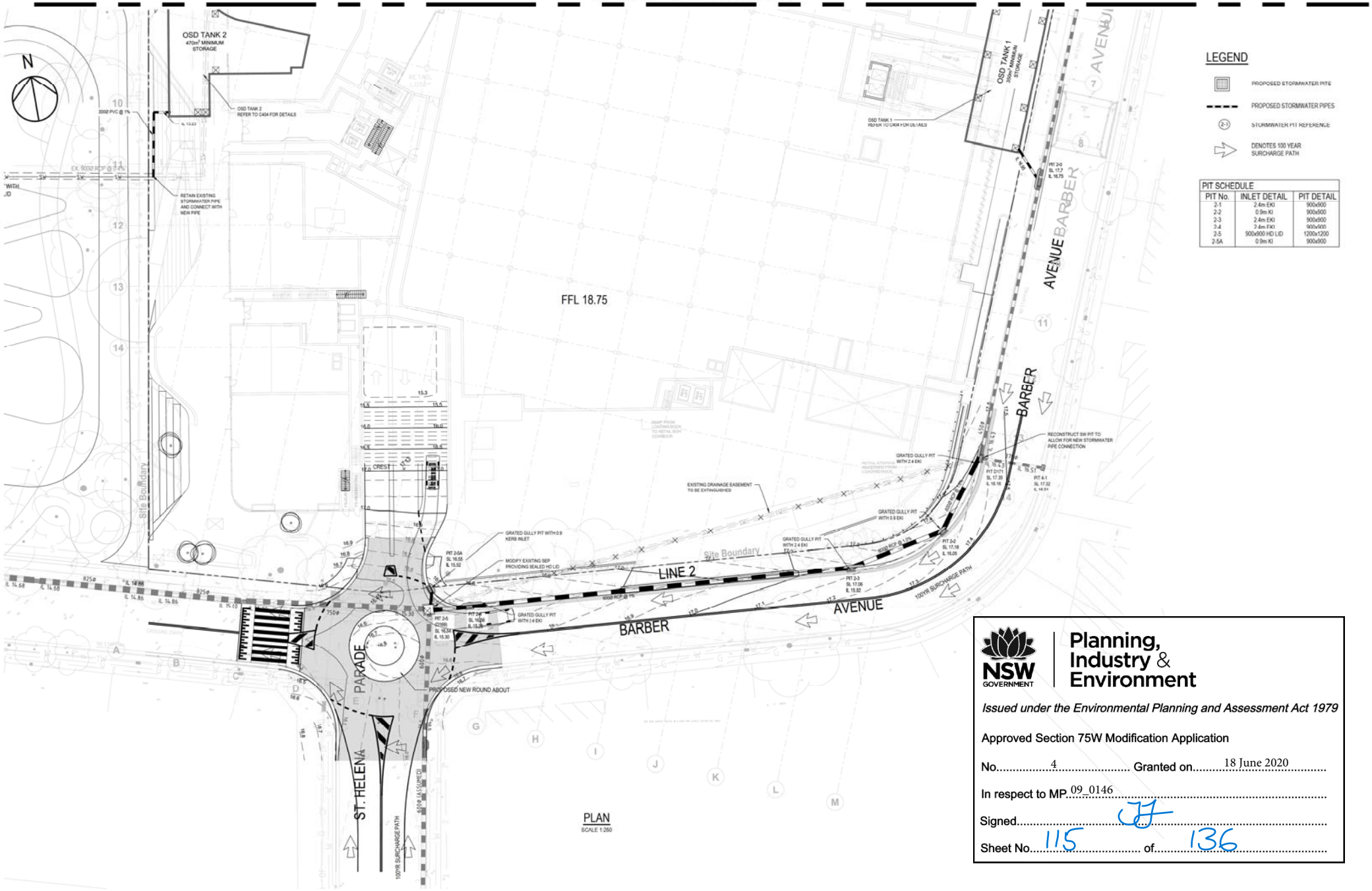
D	PRELIMINARY	NT	11.10.19
C	PRELIMINARY	NT	04.10.19
B	PRELIMINARY	NT	30.05.19
A	PRELIMINARY	NT	20.05.19

EASTLAKES SOUTH DRAINAGE PLAN
SHEET 1

C401 E

Xref \02 XREF\s102033-A1sheet_h.dwg

REFER TO DRAWING C401 FOR CONTINUATION



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REVISIONS:			
C	PRELIMINARY	NT	11.03.20
B	PRELIMINARY	NT	30.05.19
A	PRELIMINARY	AH	20.08.18
No.	REVISION DESCRIPTION	DRAWN	DATE

SCALE BAR: 0 1 2 3 4 5 10m 15 20m — SCALE 1:250

van der Meer Consulting
van der meer
LEVEL 6, 39 CHANDOS STREET ST LEONARDS NSW 2065
Telephone 61 2 9436 0433 Fax 61 2 9436 1370
www.vandermeer.com.au
van der Meer (NSW) Pty Ltd
A.B.N. 56 158 266 301

CLIENT: CROWN INTERNATIONAL HOLDINGS GROUP
LVL 11, 68 ALFRED STREET, MILSONS POINT NSW 2061

ARCHITECT: fjmt
LEVEL 5, 70 KING STREET, SYDNEY NSW 2000

PROJECT TITLE: EASTLAKES CENTRE - SOUTHERN SITE
GARDENERS ROAD
EASTLAKES NSW 2018

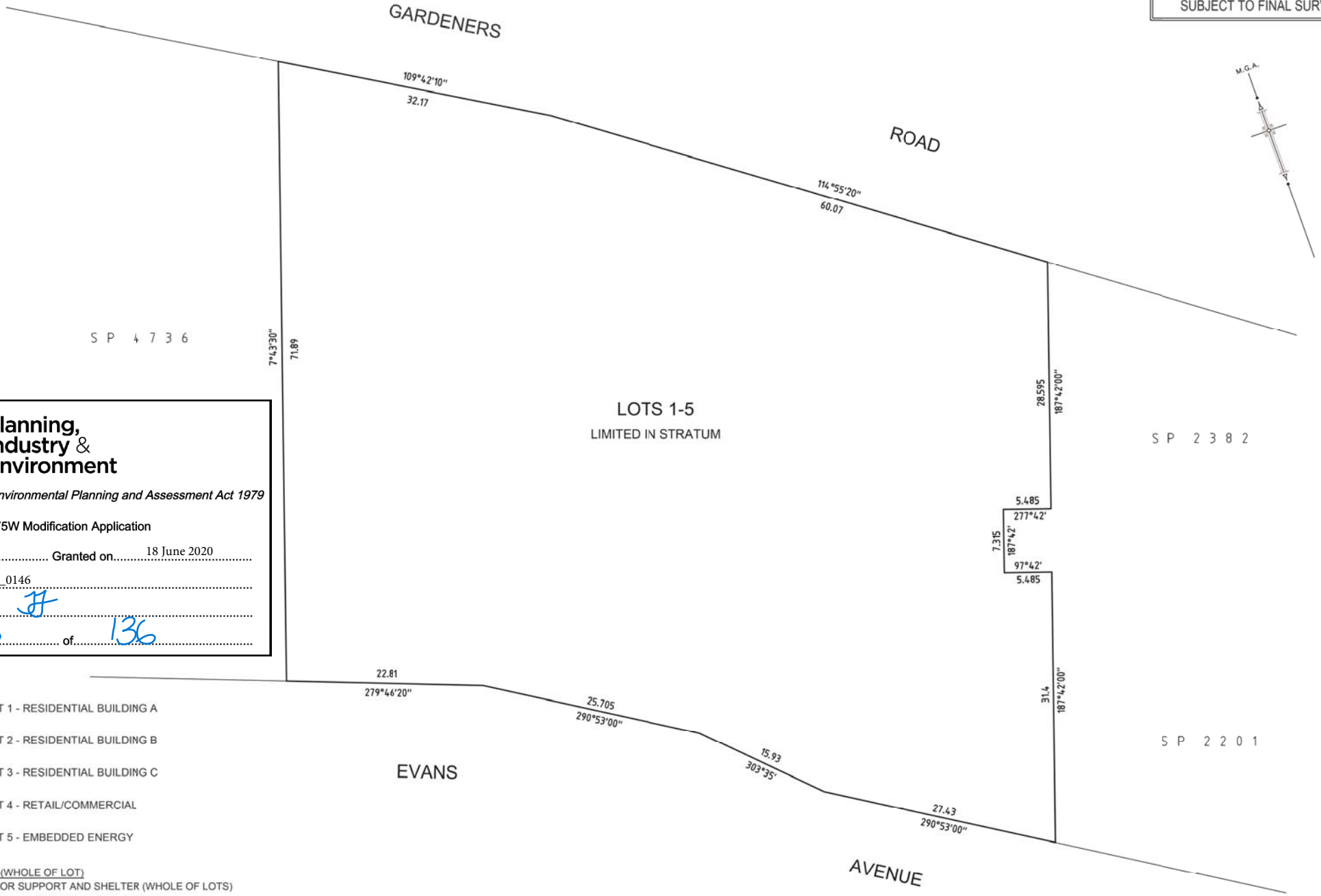
DRAWING TITLE: EASTLAKES SOUTH DRAINAGE PLAN SHEET 2

DRAWING STATUS: **PRELIMINARY**
NOT TO BE USED FOR CONSTRUCTION

PROJECT LEADER	DESIGNER	SIGNATURE	
RJB	NT		
DRAFTSPERSON	SCALE	DATE	SHEET SIZE
		AUG 2018	A1
JOB No.		DRAWING No.	REVISION
SY182-033		C402	C

OVERALL

THIS IS A DRAFT PLAN ONLY AND IS SUBJECT TO FINAL SURVEY



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Sheet No. 116 of 136

- LOT 1 - RESIDENTIAL BUILDING A
- LOT 2 - RESIDENTIAL BUILDING B
- LOT 3 - RESIDENTIAL BUILDING C
- LOT 4 - RETAIL/COMMERCIAL
- LOT 5 - EMBEDDED ENERGY

EASEMENTS (WHOLE OF LOT)
EASEMENT FOR SUPPORT AND SHELTER (WHOLE OF LOTS)
EASEMENT FOR SERVICES (WHOLE OF LOTS)
EASEMENT FOR ACCESS TO SHARED FACILITIES (WHOLE OF LOTS)
RIGHT TO USE FIRE STAIRS AND EGRESS VARIABLE WIDTH (WHOLE OF LOTS)
RIGHT TO USE LIFT VARIABLE WIDE LIMITED IN STRATUM (WHOLE OF LOTS)

SURVEYOR	PLAN OF SUBDIVISION OF LOT 31 (FORMERLY LOT 100 DP 700822 AND PART OF LOT 3 DP 248832)	LGA: BAYSIDE	Registered LTS LOCKLEY	DP
Name: JOSEPH MONARDO		Locality : EASTLAKES	Registered Surveyors NSW www.ltsl.com.au	ISSUE E: DATED 06-02-20
Date of Survey: ....., 2017		Reduction Ratio 1: 300		
Surveycr's Reference: 44204 006DP		Lengths are in metres.		

BASEMENT 3 AND BELOW

THIS IS A DRAFT PLAN ONLY AND IS SUBJECT TO FINAL SURVEY

LOT 1 - RESIDENTIAL BUILDING A

LOT 2 - RESIDENTIAL BUILDING B

LOT 3 - RESIDENTIAL BUILDING C

LOT 4 - RETAIL/COMMERCIAL

LOT 5 - EMBEDDED ENERGY

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No. 4 Granted on 18 June 2020

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Sheet No. 117 of 136

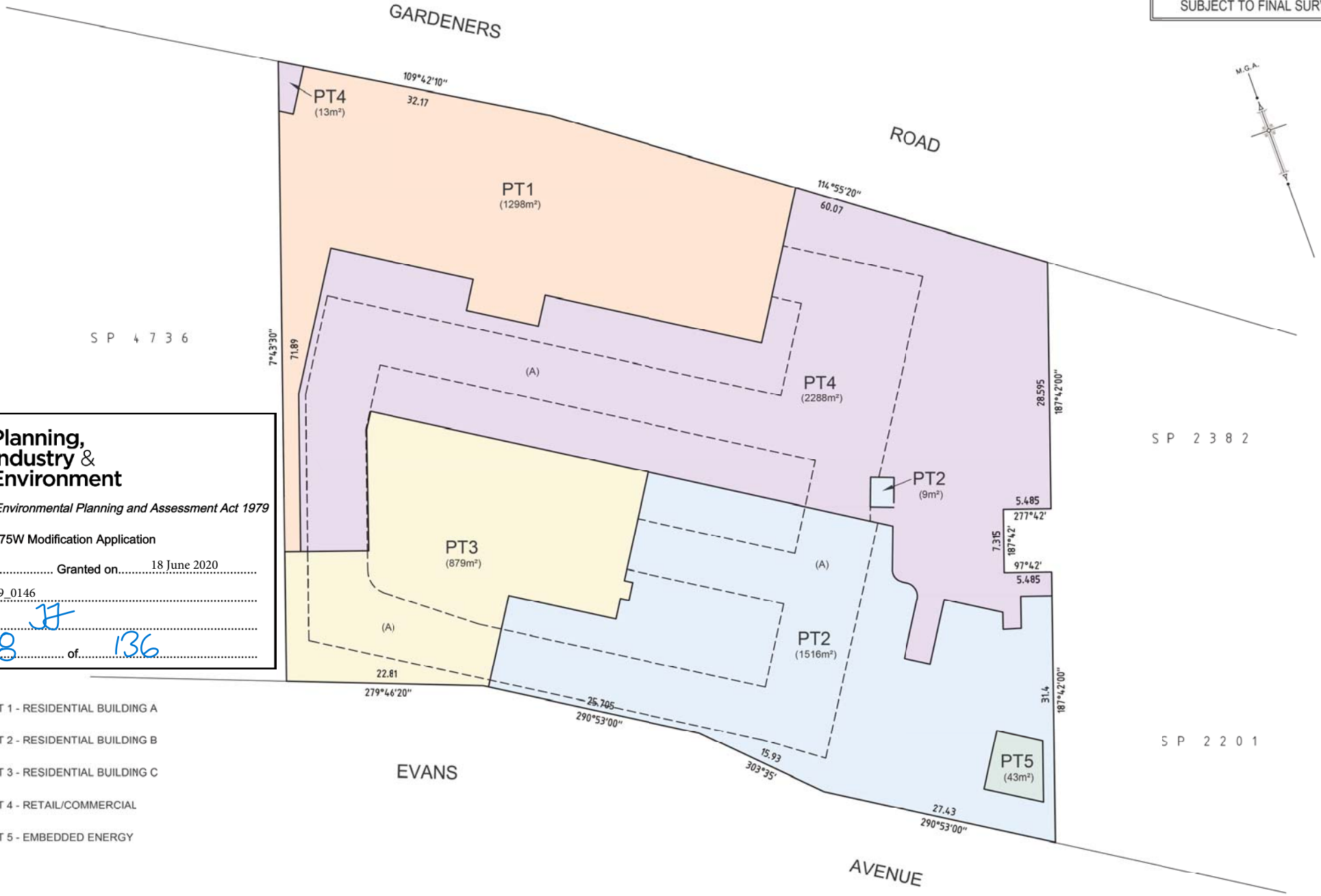
EASEMENTS

(A) EASEMENT FOR ACCESS VARIABLE WIDTH LIMITED IN STRATUM

SURVEYOR	PLAN OF SUBDIVISION OF LOT 31 (FORMERLY LOT 100 DP 700822 AND PART OF LOT 3 DP 248832)	LGA: BAYSIDE	Registered LTS LOCKLEY	DP
Name: JOSEPH MONARDO		Locality : EASTLAKES	Registered Surveyors NSW www.ltsl.com.au	ISSUE E: DATED 06-02-20
Date of Survey: ....., 2017		Reduction Ratio 1: 300		
Surveyor's Reference: 44204 006DP		Lengths are in metres.		

BASEMENT 2

THIS IS A DRAFT PLAN ONLY AND IS SUBJECT TO FINAL SURVEY



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No. 4 Granted on 18 June 2020

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Sheet No. 118 of 136

- LOT 1 - RESIDENTIAL BUILDING A
- LOT 2 - RESIDENTIAL BUILDING B
- LOT 3 - RESIDENTIAL BUILDING C
- LOT 4 - RETAIL/COMMERCIAL
- LOT 5 - EMBEDDED ENERGY

EASEMENTS
(A) EASEMENT FOR ACCESS VARIABLE WIDTH LIMITED IN STRATUM

SURVEYOR	PLAN OF SUBDIVISION OF LOT 31 (FORMERLY LOT 100 DP 700822 AND PART OF LOT 3 DP 248832)	LGA: BAYSIDE	Registered LTS LOCKLEY	DP
Name: JOSEPH MONARDO		Locality : EASTLAKES	Registered Surveyors NSW www.ltsl.com.au	ISSUE E: DATED 06-02-20
Date of Survey: ....., 2017		Reduction Ratio 1: 300		
Surveyor's Reference: 44204 006DP		Lengths are in metres.		

BASEMENT 1

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Sheet No. 119 of 136

- LOT 1 - RESIDENTIAL BUILDING A
- LOT 2 - RESIDENTIAL BUILDING B
- LOT 3 - RESIDENTIAL BUILDING C
- LOT 4 - RETAIL/COMMERCIAL
- LOT 5 - EMBEDDED ENERGY

EASEMENTS
(A) EASEMENT FOR ACCESS VARIABLE WIDTH LIMITED IN STRATUM

SURVEYOR	PLAN OF SUBDIVISION OF LOT 31 (FORMERLY LOT 100 DP 700822 AND PART OF LOT 3 DP 248832)	LGA: BAYSIDE	Registered LTS LOCKLEY	DP
Name: JOSEPH MONARDO		Locality : EASTLAKES	Registered Surveyors NSW www.ltsl.com.au	ISSUE E: DATED 06-02-20
Date of Survey: ....., 2017		Reduction Ratio 1: 300		
Surveycr's Reference: 44204 006DP		Lengths are in metres.		

GROUND LEVEL

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Sheet No. 120 of 136

- LOT 1 - RESIDENTIAL BUILDING A
- LOT 2 - RESIDENTIAL BUILDING B
- LOT 3 - RESIDENTIAL BUILDING C
- LOT 4 - RETAIL/COMMERCIAL
- LOT 5 - EMBEDDED ENERGY

EASEMENTS
(A) EASEMENT FOR ACCESS VARIABLE WIDTH LIMITED IN STRATUM
(B) EASEMENT FOR PUBLIC ACCESS VARIABLE WIDTH LIMITED IN STRATUM

SURVEYOR	PLAN OF SUBDIVISION OF LOT 31 (FORMERLY LOT 100 DP 700822 AND PART OF LOT 3 DP 248832)	LGA: BAYSIDE	Registered LTS LOCKLEY	DP
Name: JOSEPH MONARDO		Locality : EASTLAKES	Registered Surveyors NSW www.ltsl.com.au	ISSUE E: DATED 06-02-20
Date of Survey: ....., 2017		Reduction Ratio 1: 300		
Surveyor's Reference: 44204 006DP		Lengths are in metres.		

LEVEL 1

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LOT 1 - RESIDENTIAL BUILDING A

LOT 2 - RESIDENTIAL BUILDING B

LOT 3 - RESIDENTIAL BUILDING C

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LOT 5 - EMBEDDED ENERGY

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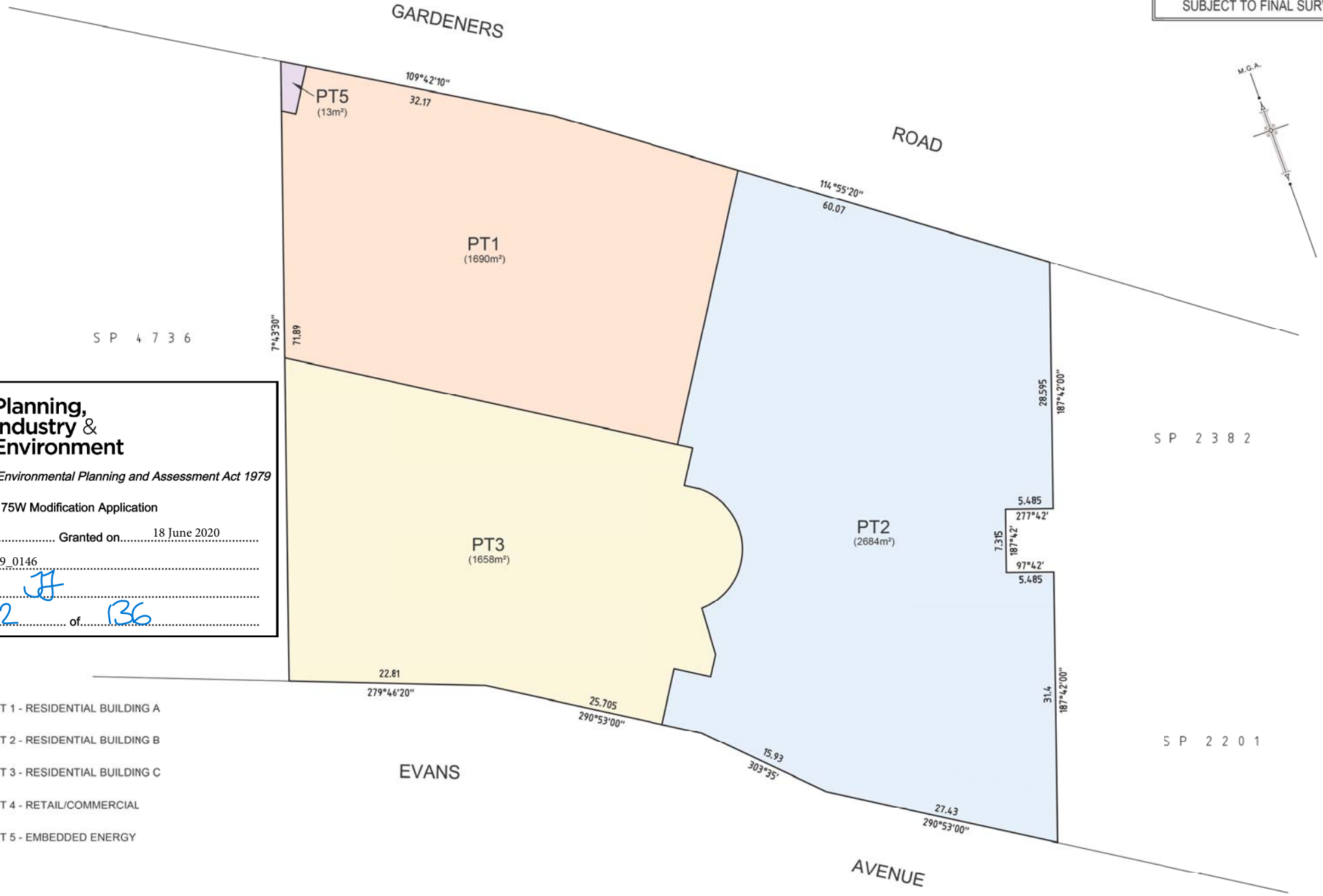
Sheet No. 121 of 136

SURVEYOR	PLAN OF SUBDIVISION OF LOT 31 (FORMERLY LOT 100 DP 700822 AND PART OF LOT 3 DP 248832)	LGA: BAYSIDE	Registered LTS LOCKLEY	DP
Name: JOSEPH MONARDO		Locality : EASTLAKES	Registered Surveyors NSW www.ltsl.com.au	ISSUE E: DATED 06-02-20
Date of Survey: ....., 2017		Reduction Ratio 1: 300		
Surveyor's Reference: 44204 006DP		Lengths are in metres.		

LEVEL 2 AND ABOVE

THIS IS A DRAFT PLAN ONLY AND IS SUBJECT TO FINAL SURVEY



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- LOT 4 - RETAIL/COMMERCIAL
- LOT 5 - EMBEDDED ENERGY

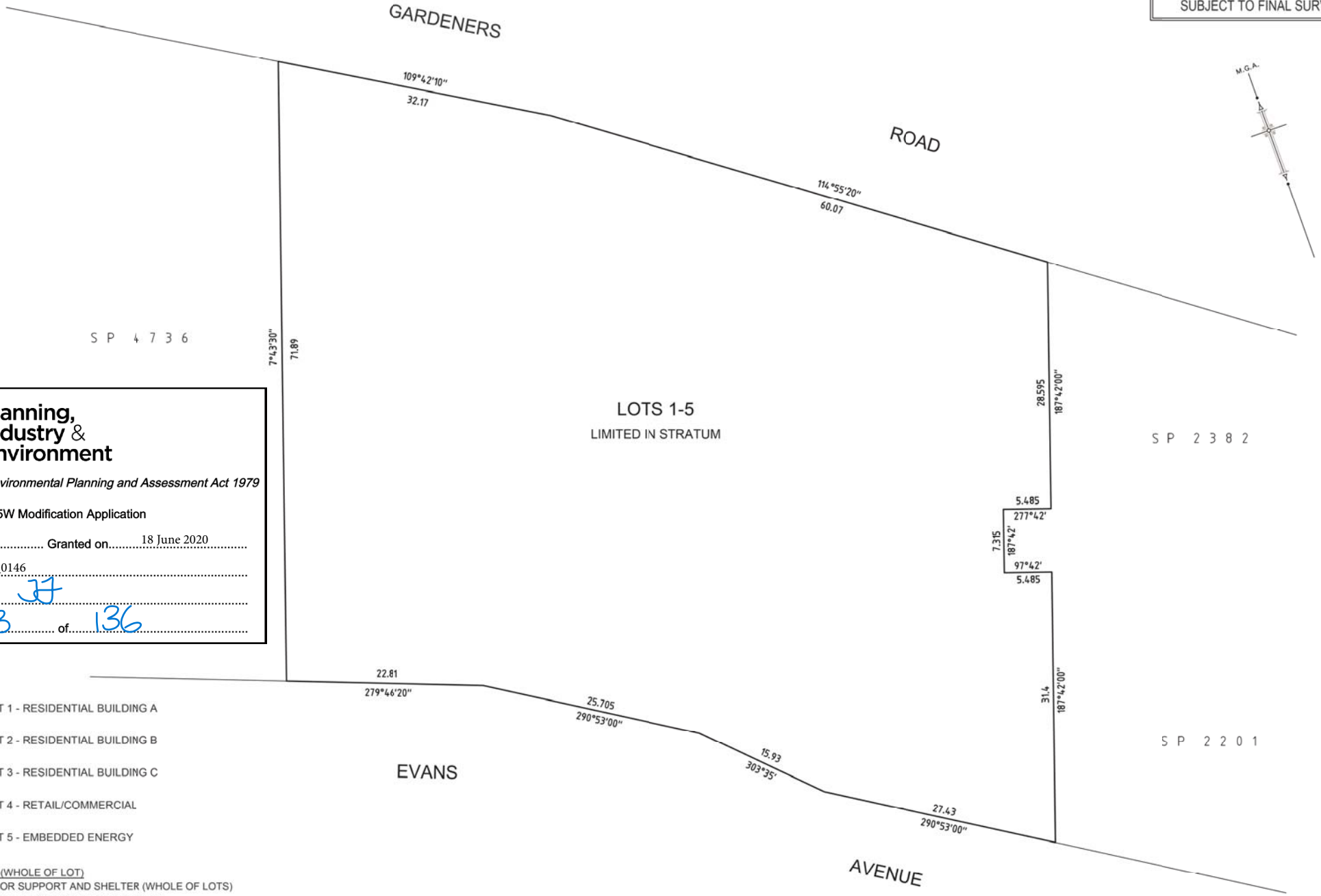
SURVEYOR Name: JOSEPH MONARDO Date of Survey: ....., 2017 Surveyor's Reference: 44204 006DP	PLAN OF SUBDIVISION OF LOT 31 (FORMERLY LOT 100 DP 700822 AND PART OF LOT 3 DP 248832)	LGA: BAYSIDE Locality : EASTLAKES Reduction Ratio 1: 300 Lengths are in metres.	Registered LTS LOCKLEY Registered Surveyors NSW www.ltsl.com.au

DP

ISSUE E: DATED 06-02-20

OVERALL

THIS IS A DRAFT PLAN ONLY AND IS SUBJECT TO FINAL SURVEY



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Sheet No. 123 of 136

LOT 1 - RESIDENTIAL BUILDING A

LOT 2 - RESIDENTIAL BUILDING B

LOT 3 - RESIDENTIAL BUILDING C

LOT 4 - RETAIL/COMMERCIAL

LOT 5 - EMBEDDED ENERGY

EASEMENTS (WHOLE OF LOT)
EASEMENT FOR SUPPORT AND SHELTER (WHOLE OF LOTS)
EASEMENT FOR SERVICES (WHOLE OF LOTS)
EASEMENT FOR ACCESS TO SHARED FACILITIES (WHOLE OF LOTS)
RIGHT TO USE FIRE STAIRS AND EGRESS VARIABLE WIDTH (WHOLE OF LOTS)
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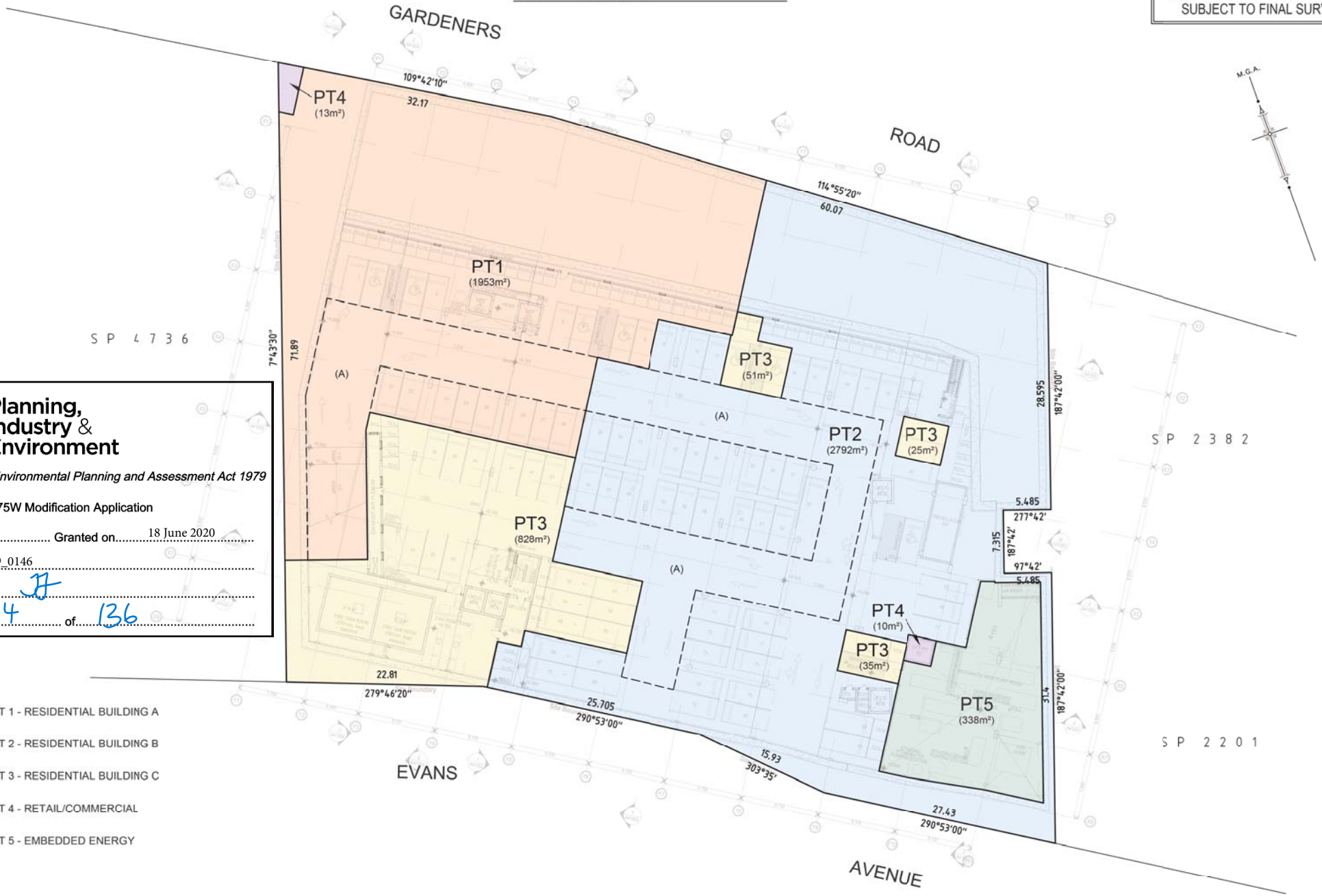
Name: JOSEPH MONARDO		Locality : EASTLAKES	Registered Surveyors NSW www.ltsl.com.au	ISSUE E: DATED 06-02-20
Date of Survey: ....., 2017		Reduction Ratio 1: 300		
Surveycr's Reference: 44204 006DP		Lengths are in metres.		

BASEMENT 3 AND BELOW

THIS IS A DRAFT PLAN ONLY AND IS SUBJECT TO FINAL SURVEY



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Sheet No. 124 of 136

- LOT 1 - RESIDENTIAL BUILDING A
- LOT 2 - RESIDENTIAL BUILDING B
- LOT 3 - RESIDENTIAL BUILDING C
- LOT 4 - RETAIL/COMMERCIAL
- LOT 5 - EMBEDDED ENERGY

EASEMENTS
(A) EASEMENT FOR ACCESS VARIABLE WIDTH LIMITED IN STRATUM

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Name: JOSEPH MONARDO		Locality : EASTLAKES	Registered Surveyors NSW www.ltsl.com.au	ISSUE E: DATED 06-02-20
Date of Survey: ....., 2017		Reduction Ratio 1: 300		
Surveycr's Reference: 44204 006DP		Lengths are in metres.		

BASEMENT 2

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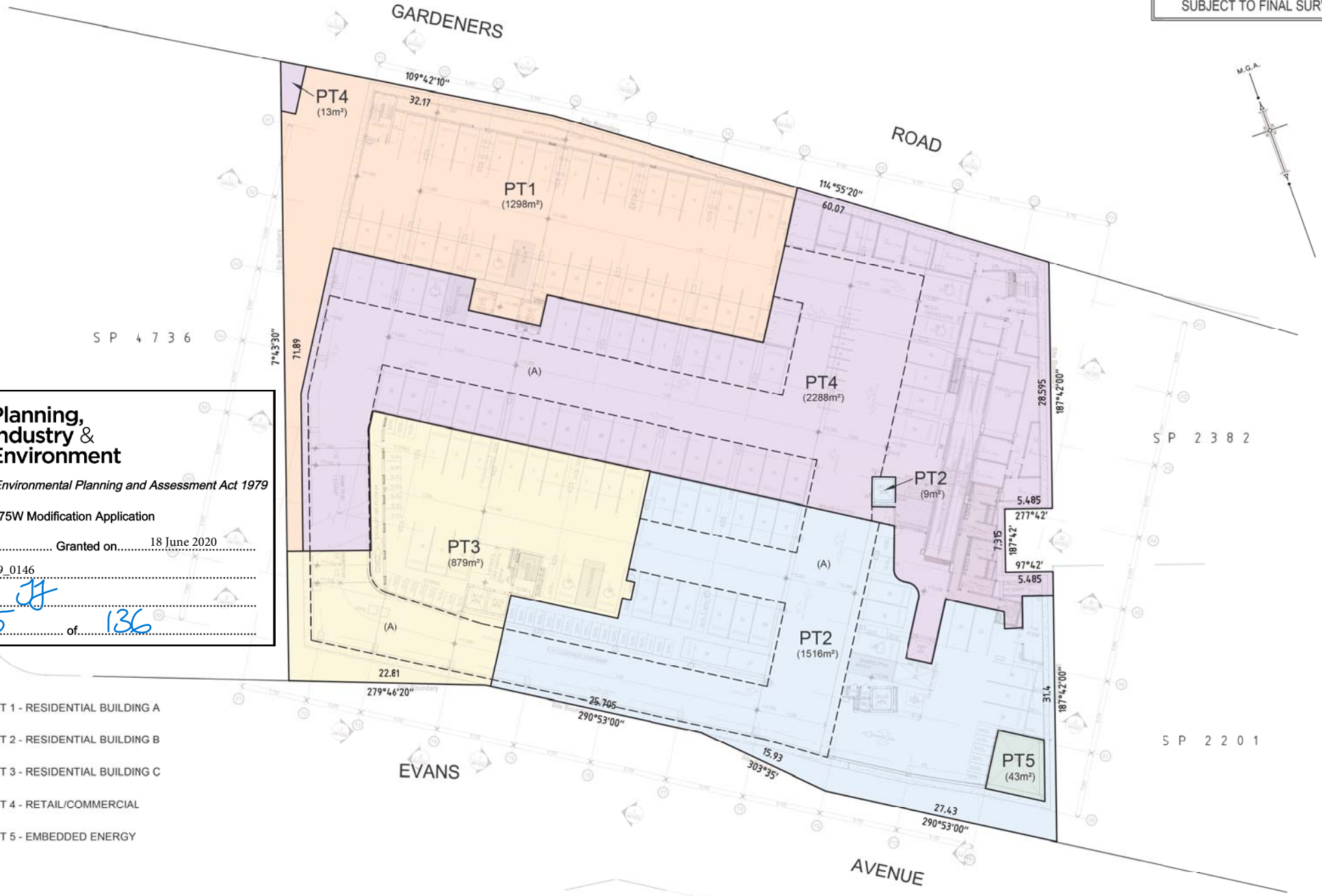

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- LOT 1 - RESIDENTIAL BUILDING A
- LOT 2 - RESIDENTIAL BUILDING B
- LOT 3 - RESIDENTIAL BUILDING C
- LOT 4 - RETAIL/COMMERCIAL
- LOT 5 - EMBEDDED ENERGY

EASEMENTS
(A) EASEMENT FOR ACCESS VARIABLE WIDTH LIMITED IN STRATUM

SURVEYOR	PLAN OF SUBDIVISION OF LOT 31 (FORMERLY LOT 100 DP 700822 AND PART OF LOT 3 DP 248832)	LGA: BAYSIDE	Registered LTS LOCKLEY	DP
Name: JOSEPH MONARDO		Locality : EASTLAKES	Registered Surveyors NSW www.ltsl.com.au	ISSUE E: DATED 06-02-20
Date of Survey: ....., 2017		Reduction Ratio 1: 300		
Surveycr's Reference: 44204 006DP		Lengths are in metres.		

BASEMENT 1

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Approved Section 75W Modification Application

No. 4 Granted on 18 June 2020

In respect to MP 09_0146

Signed

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- LOT 1 - RESIDENTIAL BUILDING A
- LOT 2 - RESIDENTIAL BUILDING B
- LOT 3 - RESIDENTIAL BUILDING C
- LOT 4 - RETAIL/COMMERCIAL
- LOT 5 - EMBEDDED ENERGY

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GROUND LEVEL

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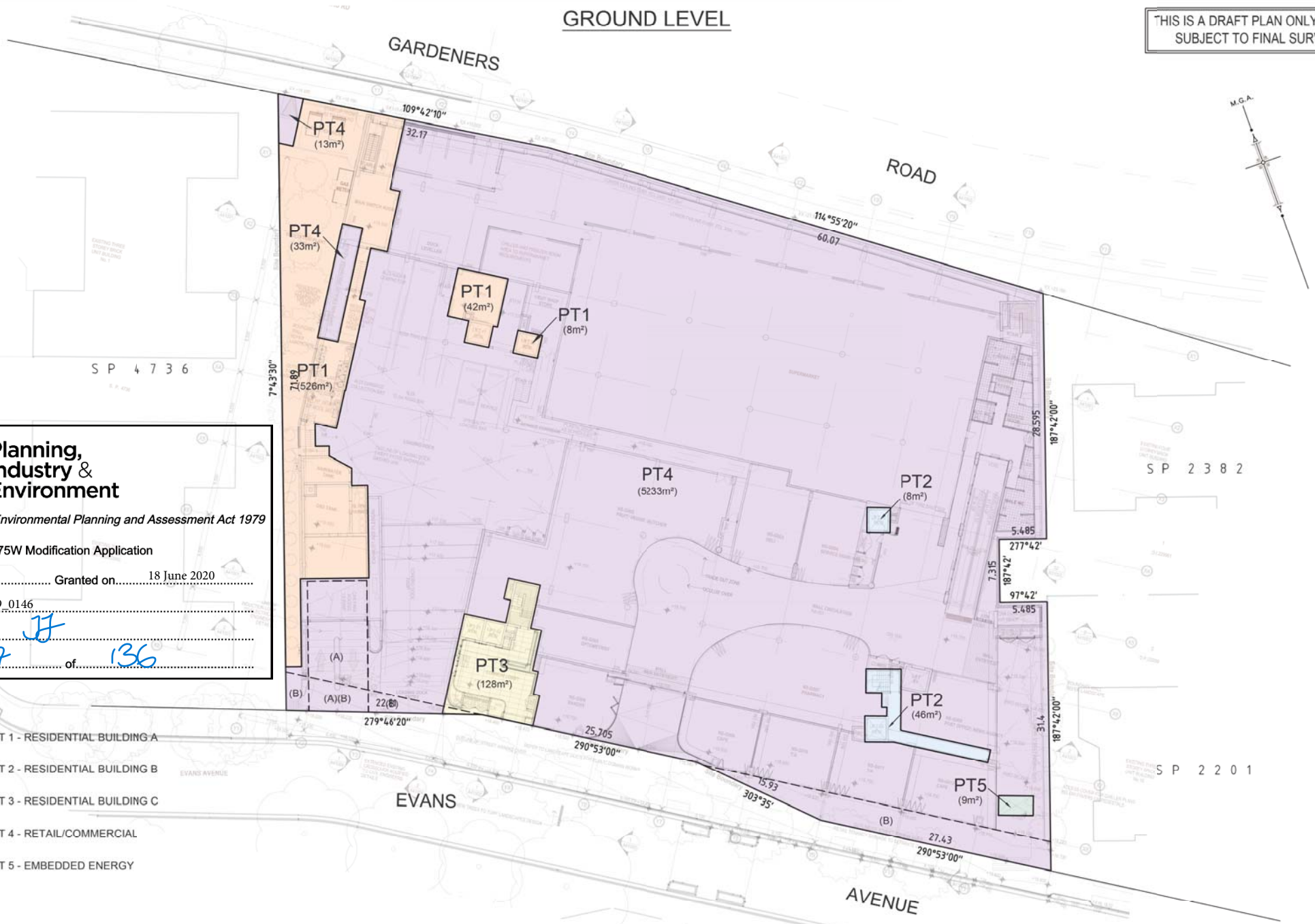

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Name: JOSEPH MONARDO Date of Survey: ....., 2017 Surveyor's Reference: 44204 006DP				ISSUE E: DATED 06-02-20

LEVEL 2 AND ABOVE

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OVERALL

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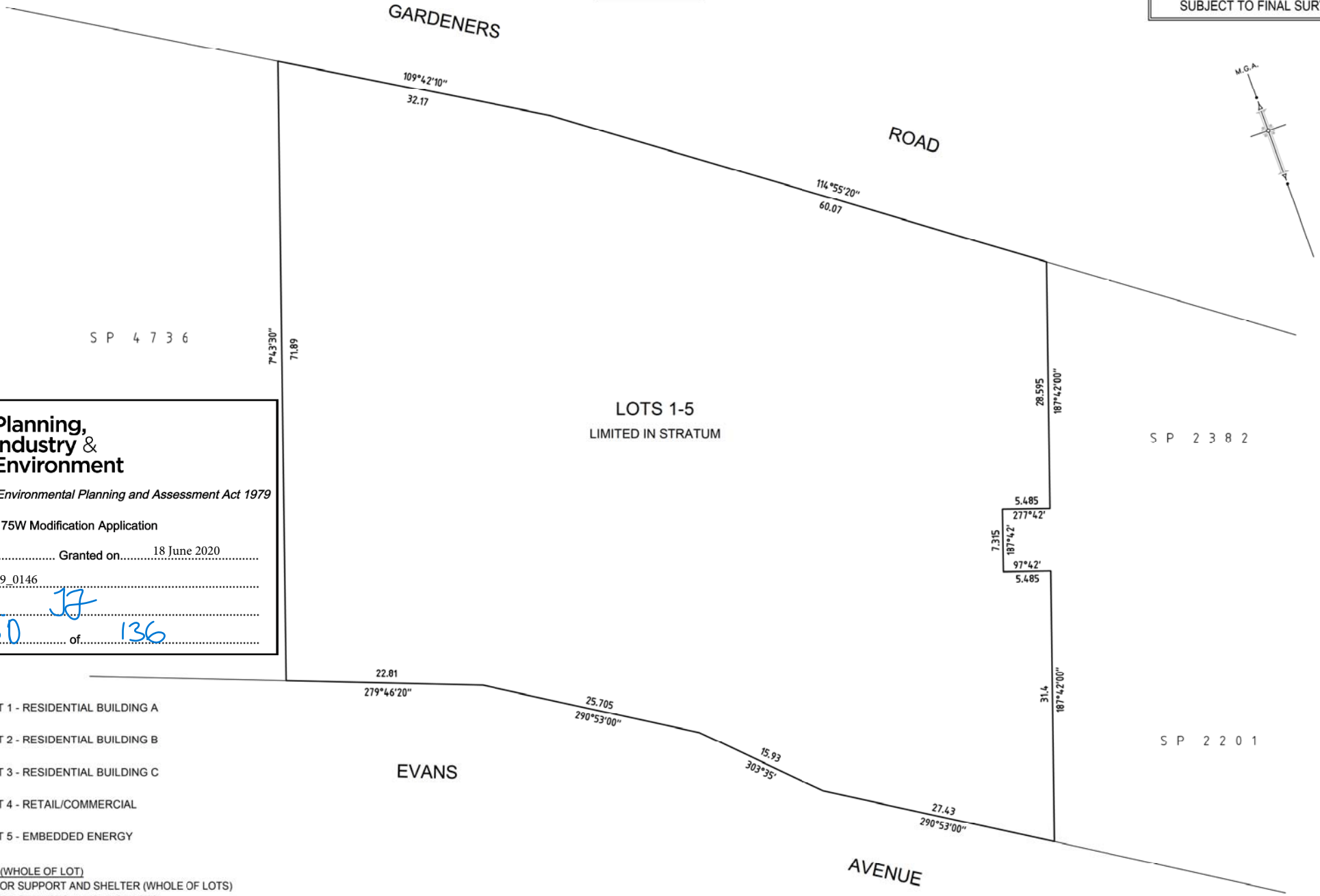

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EASEMENTS (WHOLE OF LOT)
EASEMENT FOR SUPPORT AND SHELTER (WHOLE OF LOTS)
EASEMENT FOR SERVICES (WHOLE OF LOTS)
EASEMENT FOR ACCESS TO SHARED FACILITIES (WHOLE OF LOTS)
RIGHT TO USE FIRE STAIRS AND EGRESS VARIABLE WIDTH (WHOLE OF LOTS)
RIGHT TO USE LIFT VARIABLE WIDE LIMITED IN STRATUM (WHOLE OF LOTS)

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BASEMENT 3 AND BELOW

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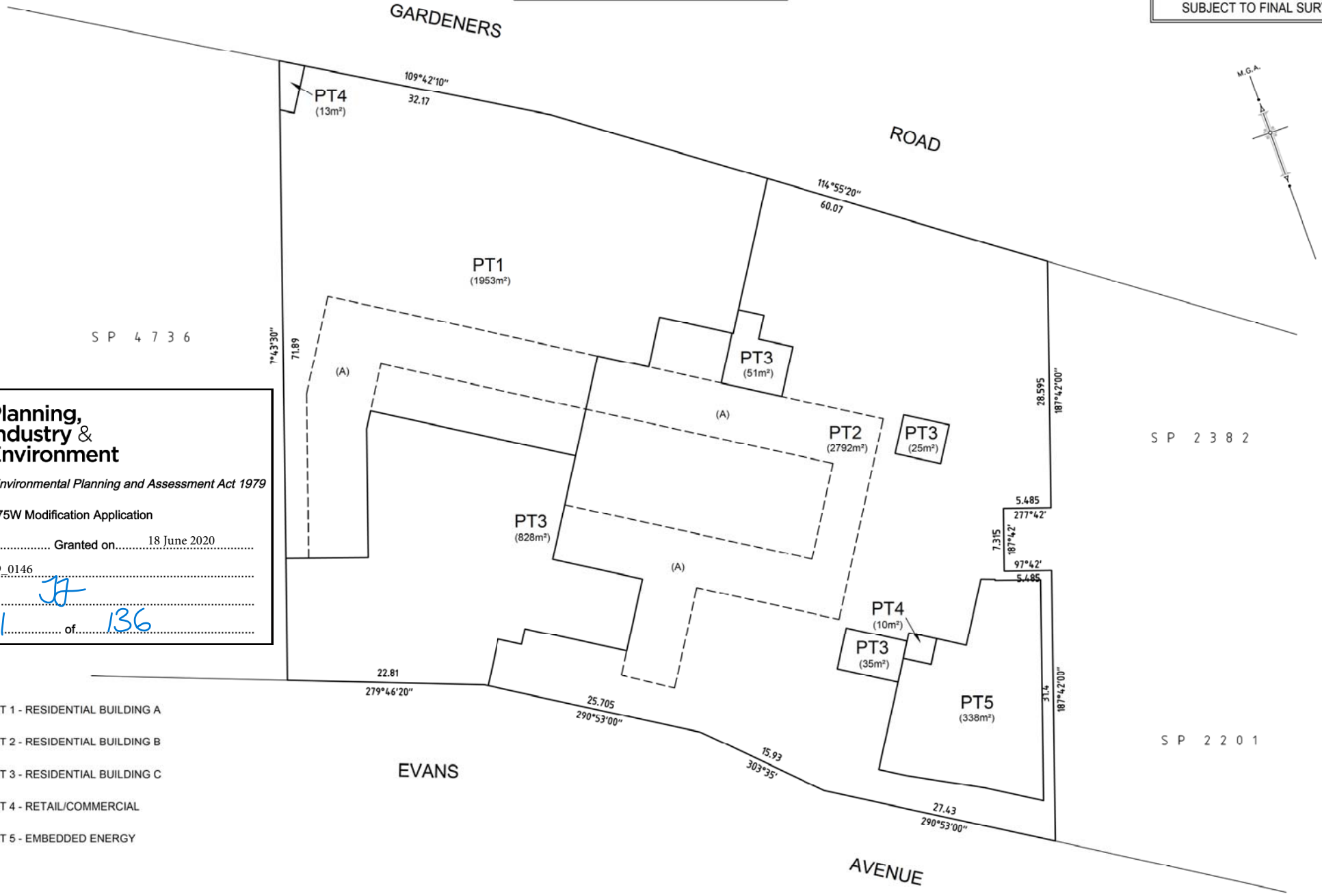

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BASEMENT 2

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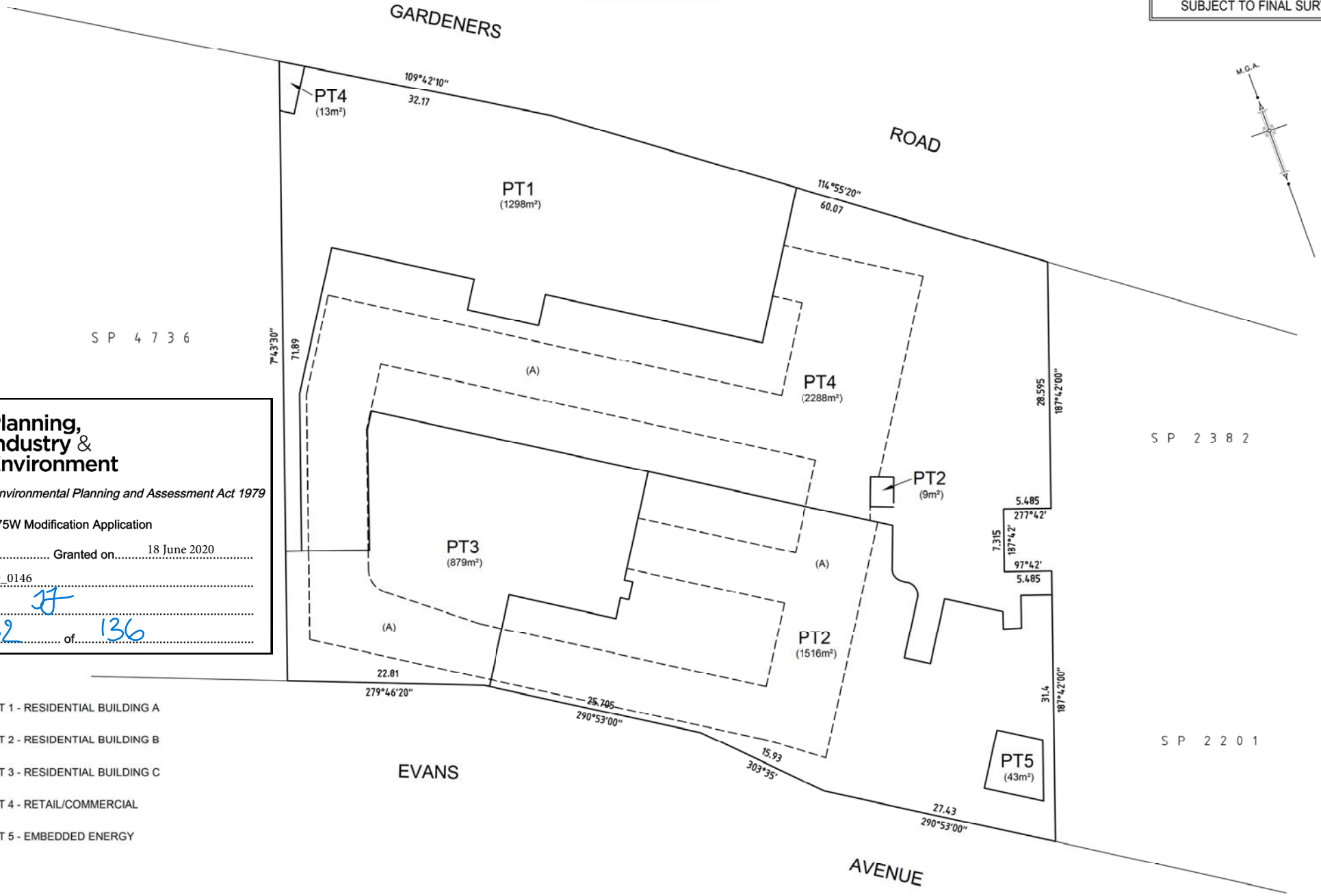

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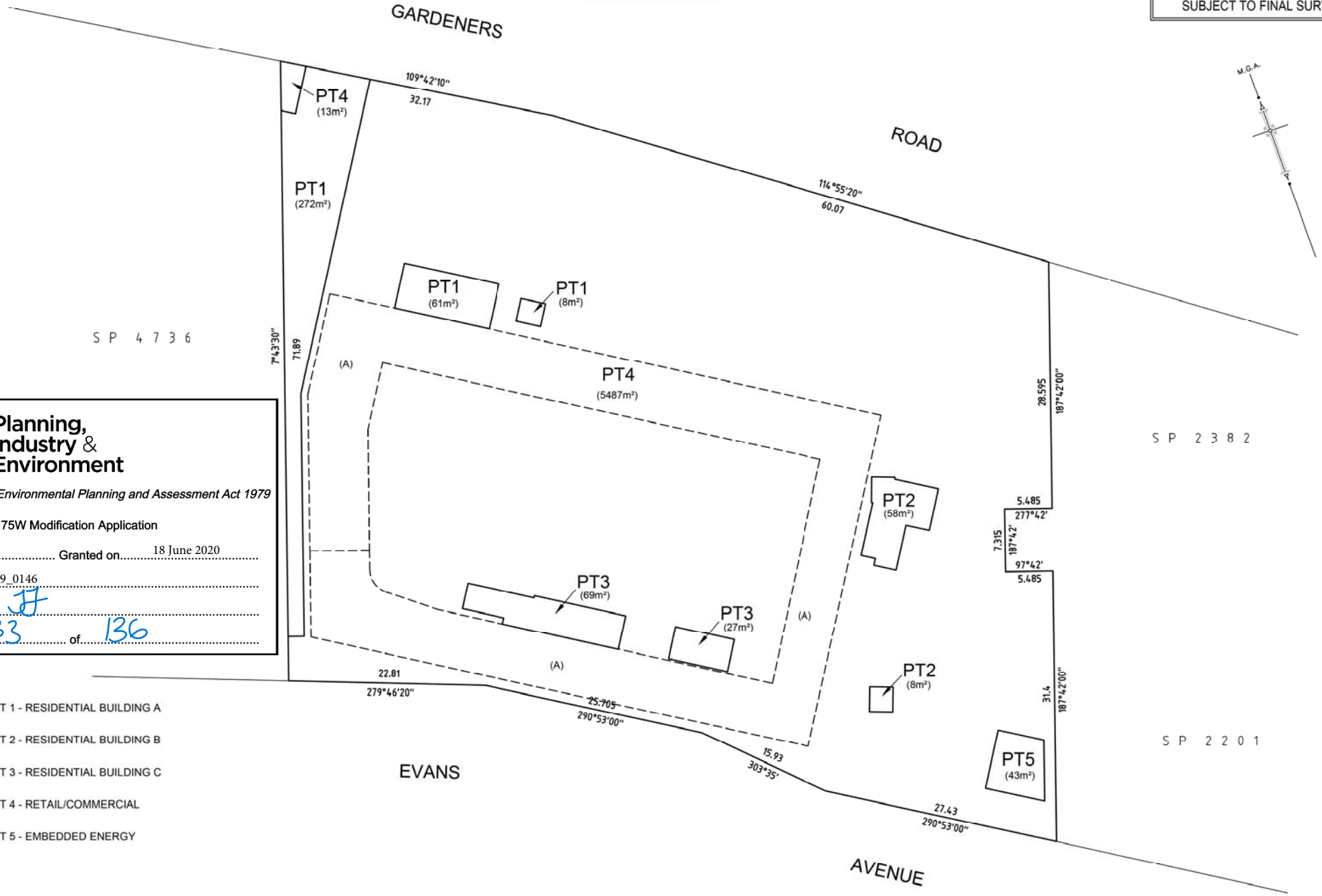

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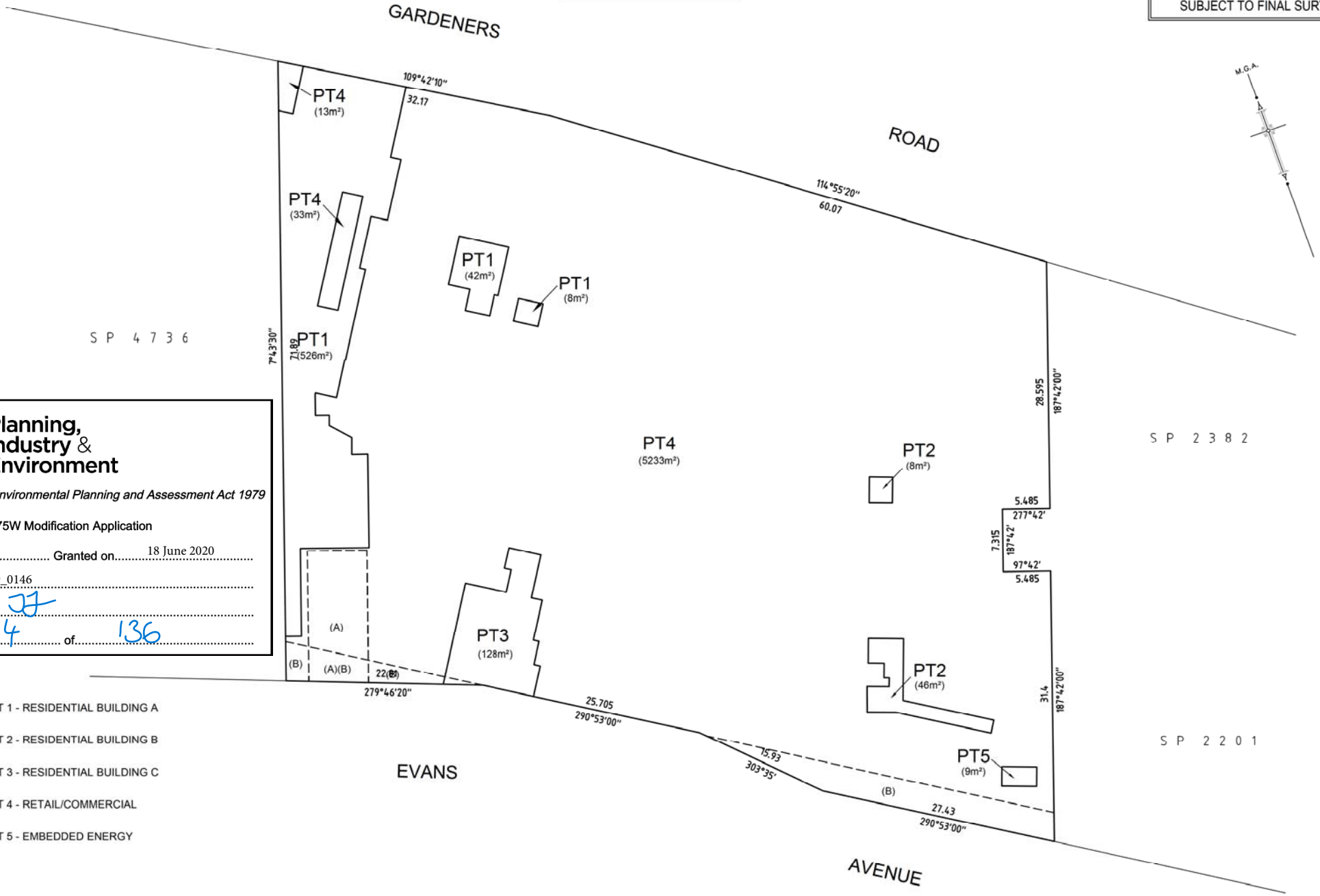

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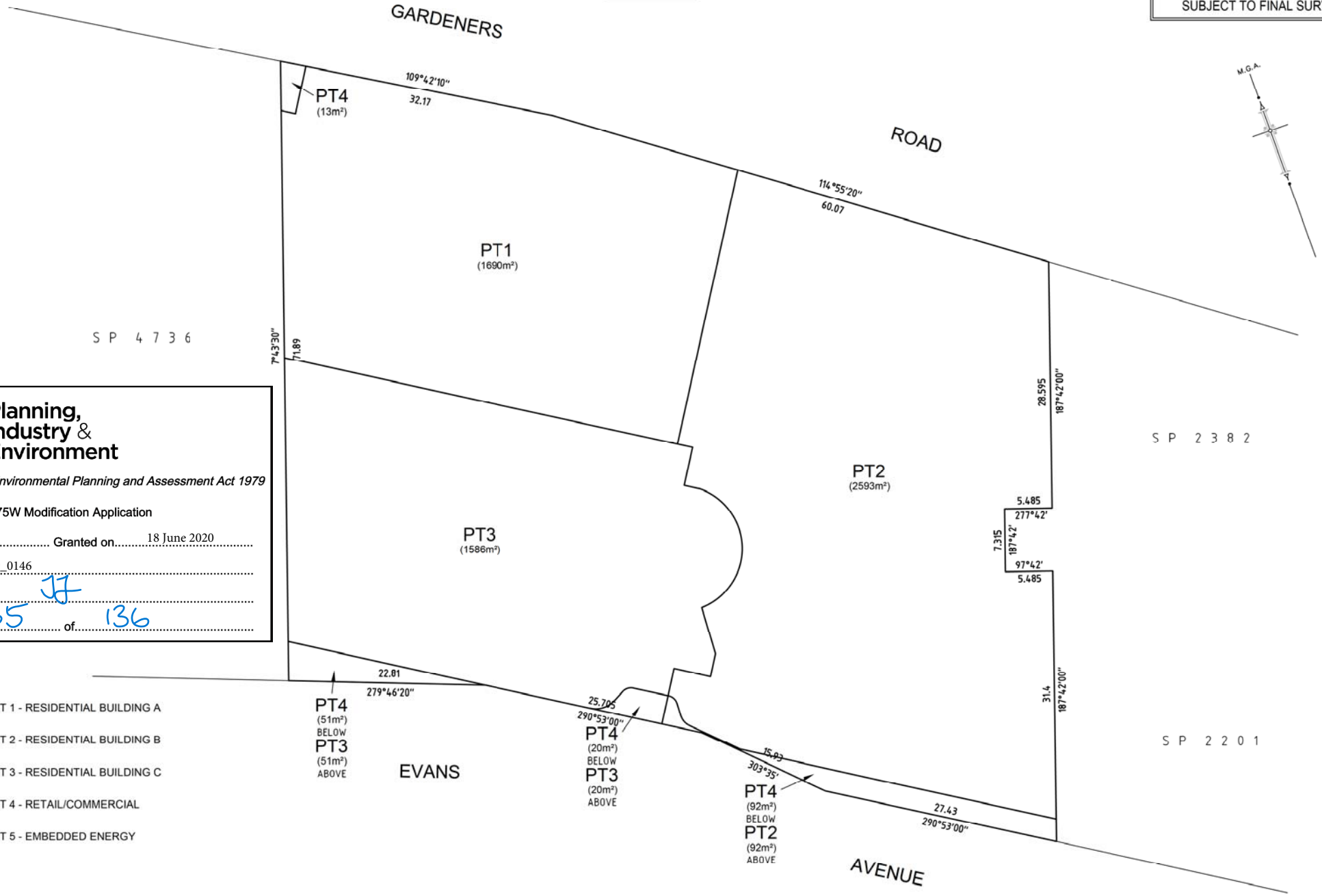

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