



Eastlakes Town Centre - North Site
Section 75W Application

fjmt

Architectural Design Report

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Contents

1.0	Introduction	4
.	Design Changes	
2.0	Vertical Circulation	5
.	Vertical Transport Enhancements	
.	Fire Stair Changes	
3.0	Additonal Drawing Information	6
.	Roof Plant and Services	
4.0	Enhanced Apartment Amenity	8
.	Building 1	
.	Building 1A	
.	Building 1B	
5.0	Private Open Space Seperation	16
6.0	Apartment Planning Compliance	17
.	Building 1,	
.	Building 1A	
.	Building 1B	
7.0	Facade Enhancements	21
.	Buildings 1 and 1A	
8.0	Revised Building 1B - L1 planning	26
9.0	Privacy Louvres added to Building 1B by DPiE condition	27
10.0	SEPP65 ADG Compliance Schedules	28
11.0	S75W Drawing Submission	35

1.0 Introduction

Evans Avenue, Eastlakes

Residential Mixed-Use Development

This Design Report supports the submission of a S75W Development Application for a new Mixed-Use Residential Development located at 19 Evans Avenue, Eastlakes.

This report outlines the enhancements and upgrades developed by fjmt studio and the proponent to the previously approved MOD1 scheme.

Following the approval of the revised Building 1B, podium design, retail awnings and associated landscape the proponent and fjmt Studio identified an opportunity to enhance the appearance of the development by revising the fenestration, colour and materiality of the Blocks 1 and 1A to create an integrated urban response.

Approved apartment plans were reviewed and revised to deliver on RFDC/ADG compliance, improved amenity and design quality.

1.1 Design Changes

Within Buildings 1 and 1A fjmt Studio identified non-conformances within the previously approved apartment planning.

These included bedrooms not having windows and compliant internal storage provisions not being met or in most instances not allowed for or identified within the apartment planning.

To address this the proponent and fjmt Studio proposed small and specific modifications to the building envelope and apartment planning to achieve compliance.

- Improvements to vertical transport by adding a lift to building 1 and extending the lift to the top floor of building 1A
- Documentation of roof plant and services that was previously missing from the approved plans
- Re-orienting stair cores to improve affected apartment layouts
- Improvements to the apartment amenity by changes to apartment layout
- Flipping balconies to increase separation to neighbour
- Adding dedicated storage space into apartment layouts
- Addition of façade vertical louvers to match building 1B and break up blank walls
- Re-location of the function room and gymnasium in Building 1B

2.0 Vertical Circulation

2.1 Vertical Transport Enhancements

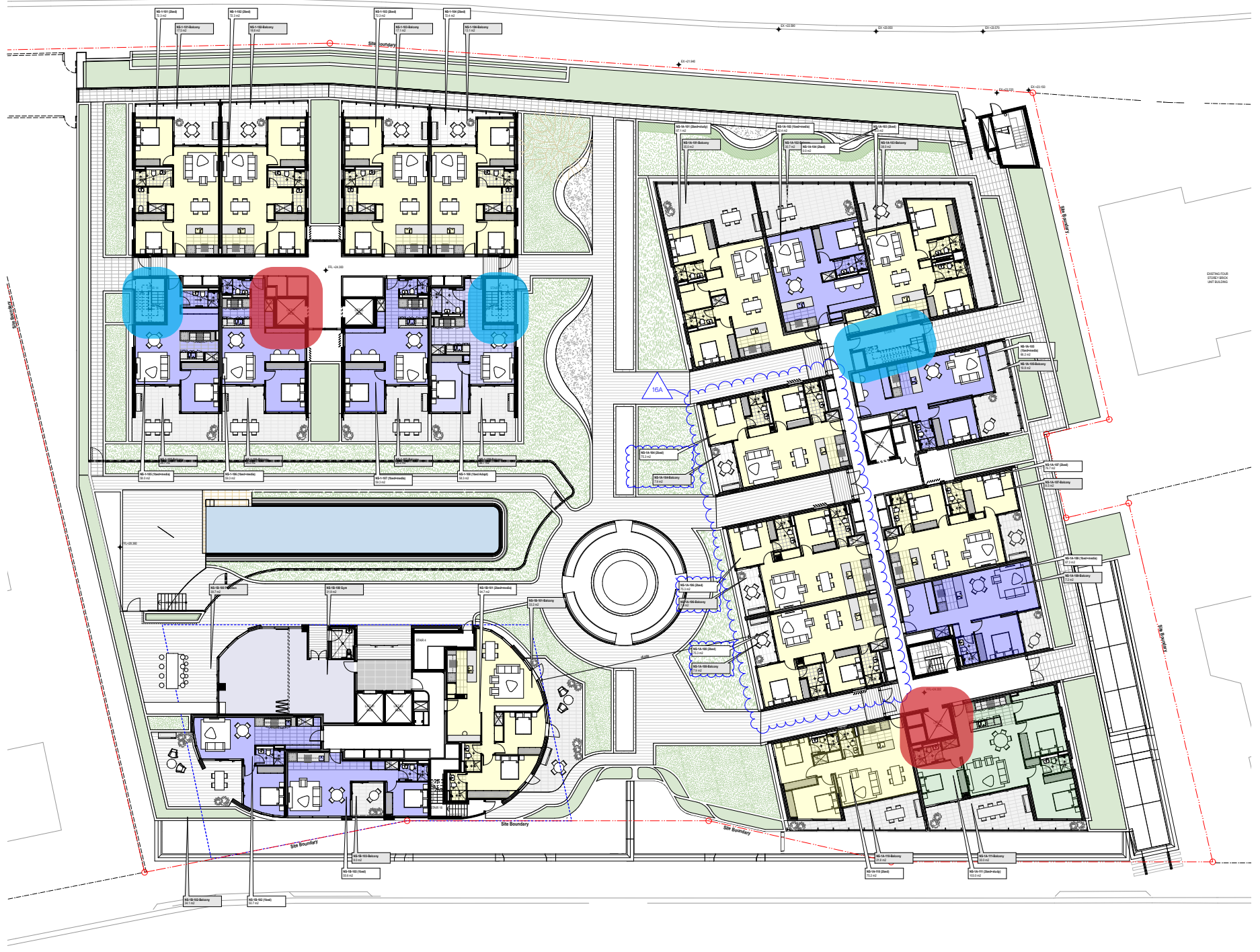
An additional lift was added to Building 1 and the second lift of building 1A has had its run extended to L6

2.2 Fire Stair Changes

The fire stairs locations in both Buildings 1 and 1A have been revised to improve apartment planning outcomes.

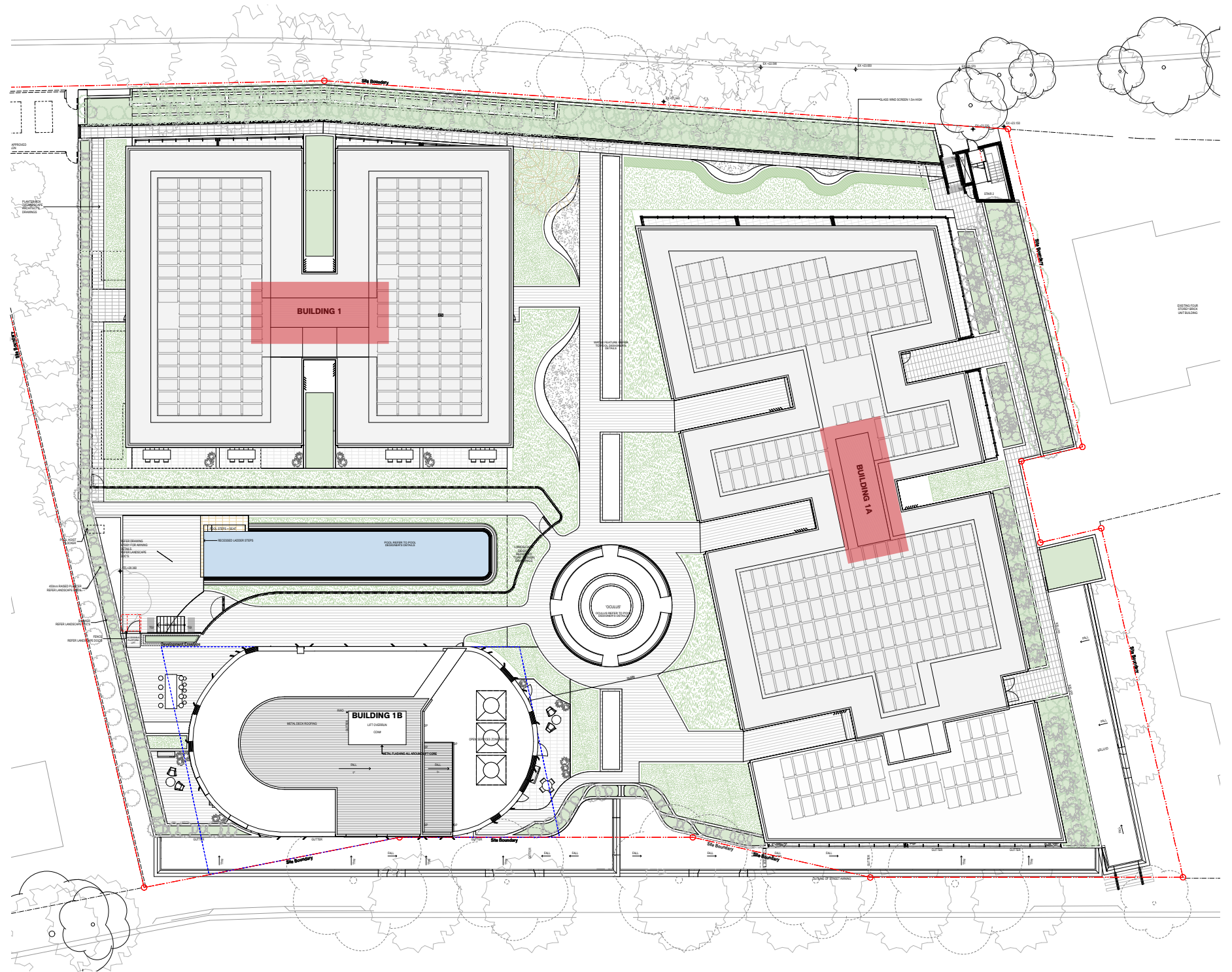
In Building 1 the fire stairs have been rotated and shuffled to allow for better apartment amenity

In Building 1A one stair location was modified to achieve better apartment amenity and yield.



3.0

3.1 Roo





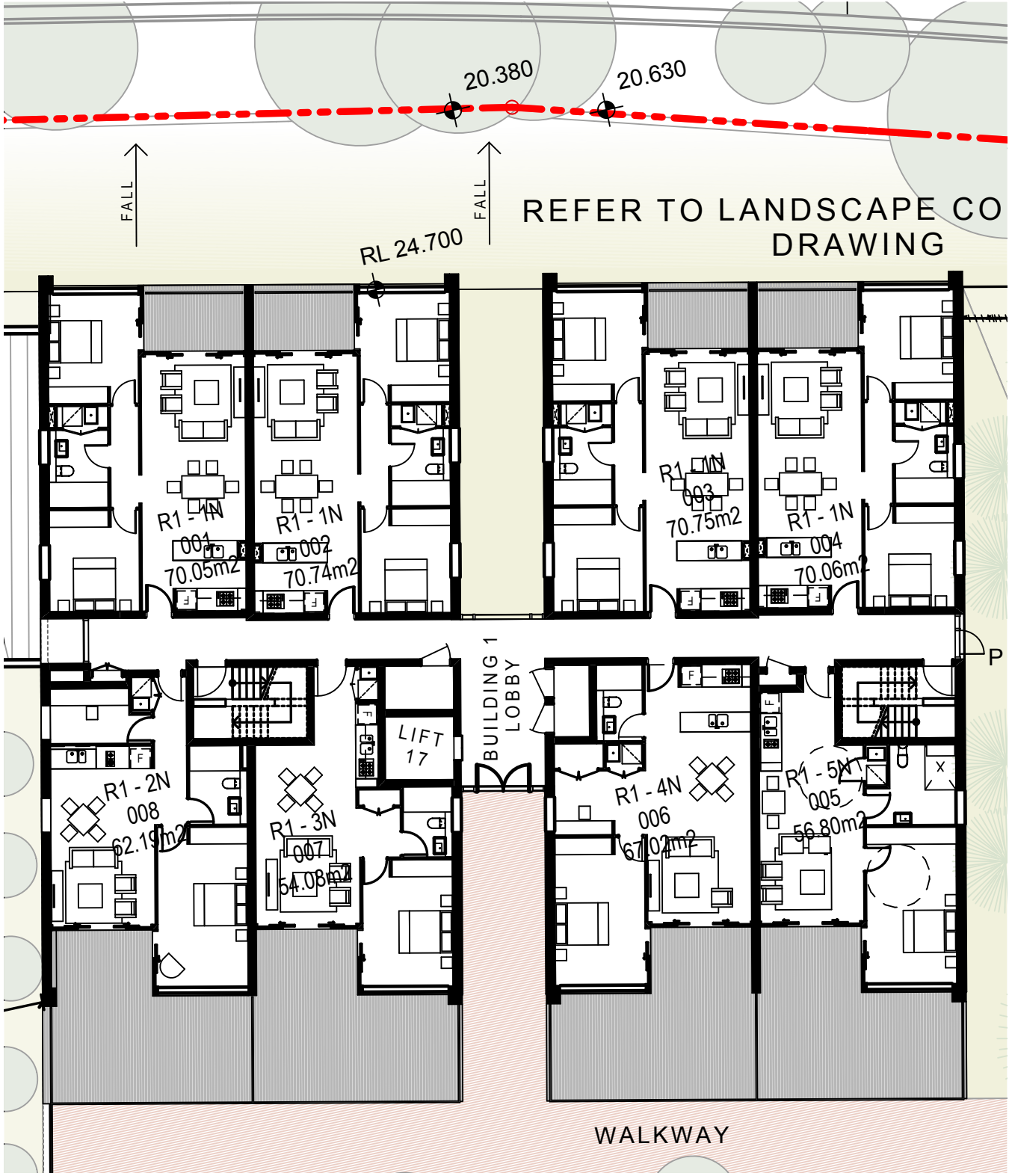


4.0 Enhanced Apartment Amenity

The following study plans compare the Approved MOD 1 apartment planning with the Proposed revised apartment planning and highlights the changes adopted.

The focus of the design changes has been to improve planning quality to achieve closer compliance with SEPP65 and enhance apartment amenity outcomes across the whole of the proposed development.

Generally the planning is more open and efficient, and where compliance issues were identified in the Approved MOD1 scheme, fjmt studio have revised the arrangement of the apartment to improve the compliance of the proposed apartments.



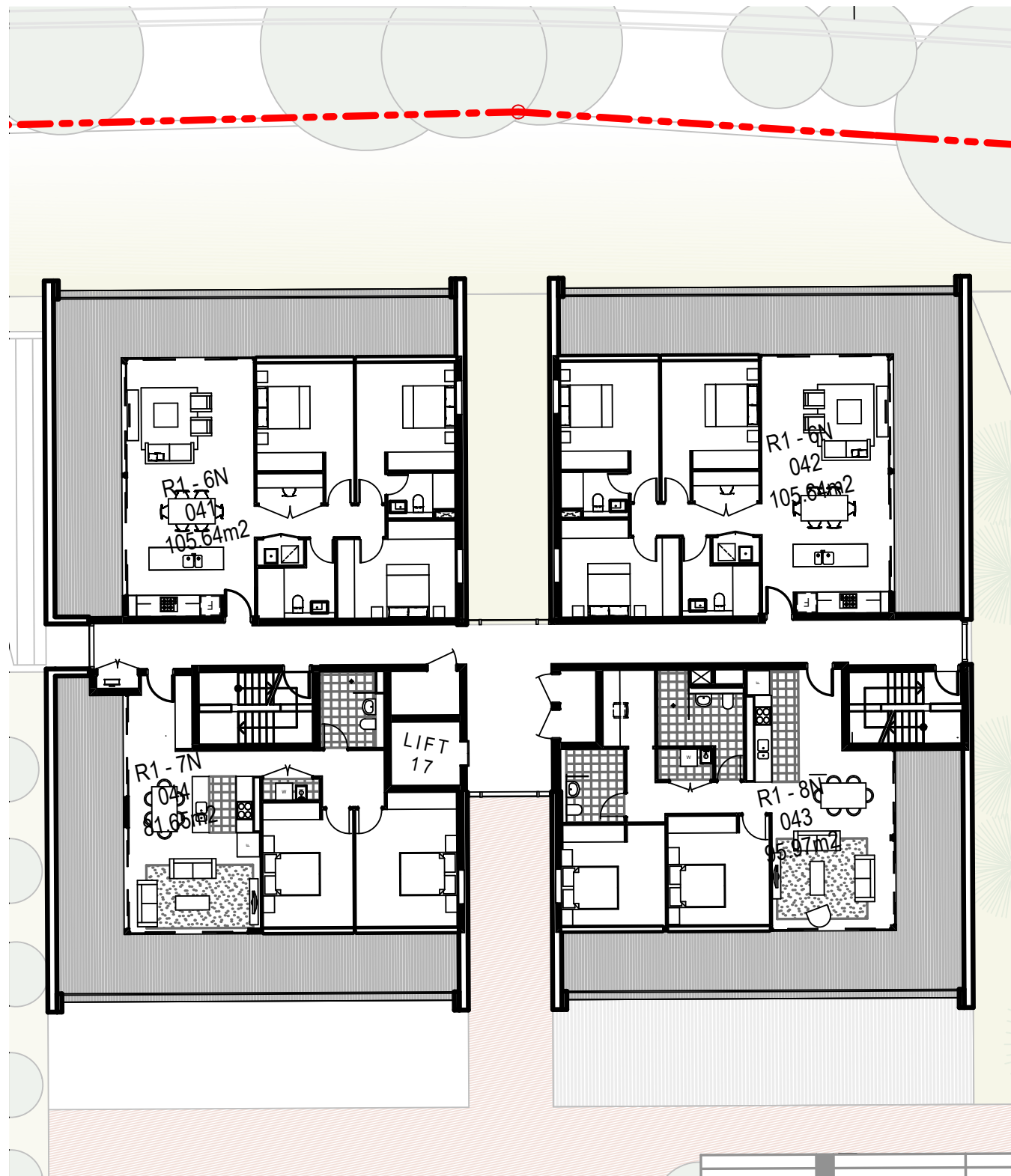


01 PLAN DA 07(M) LEVEL 2-5 PLAN
Approved DA by Rice Daubney



02 PLAN 2nd to 5th Floor
1:100 Proposed S75W

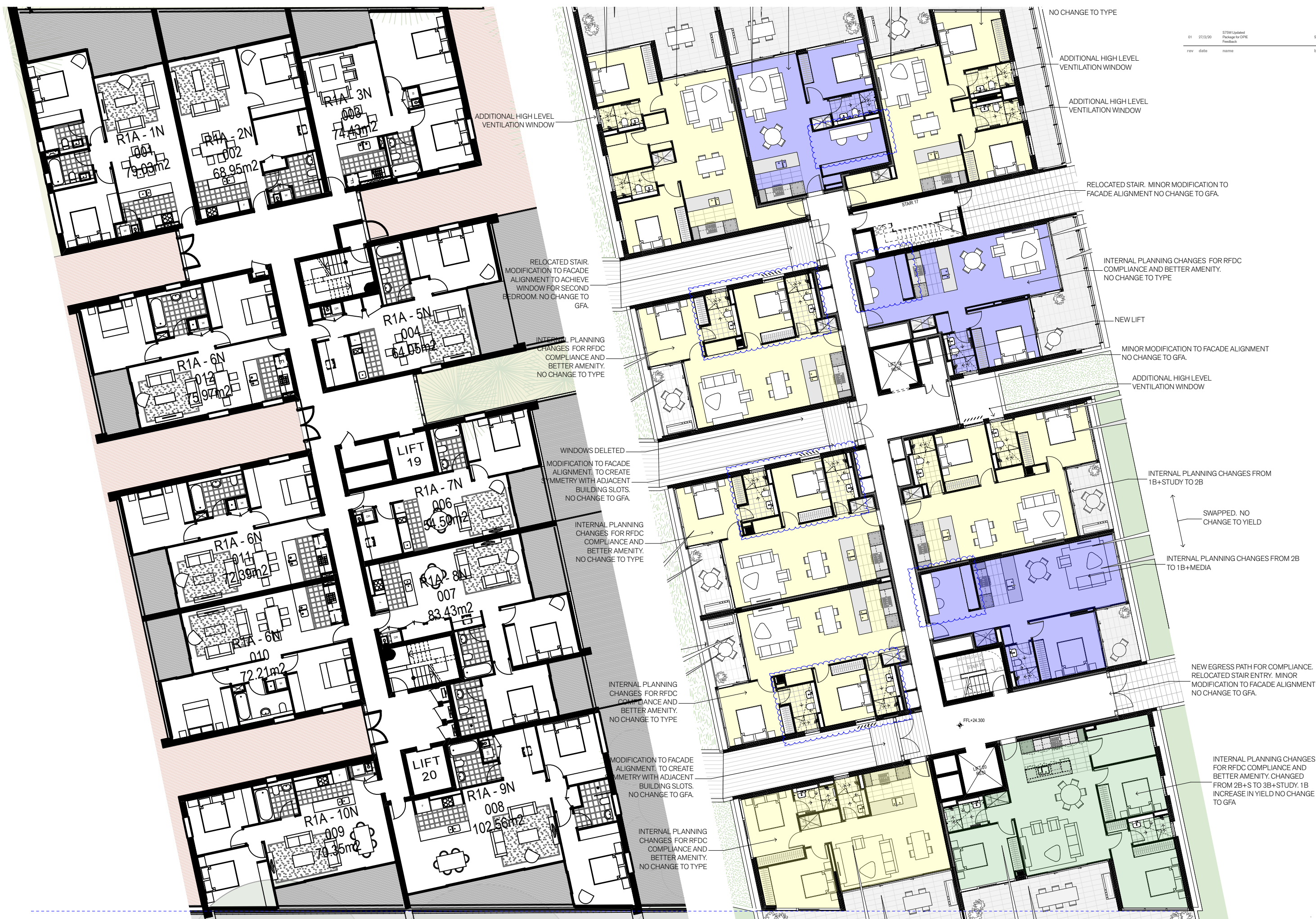
MINOR AMENDMENTS TO
APARTMENT PLANNING TO
ACHIEVE RFDC
COMPLIANCE AND BETTER
AMENITY



01 PLAN DA 11/11 LEVEL 6 PLAN
Approved DA by Rice Daubney



02 PLAN 6th Floor
1:100 Proposed S75W





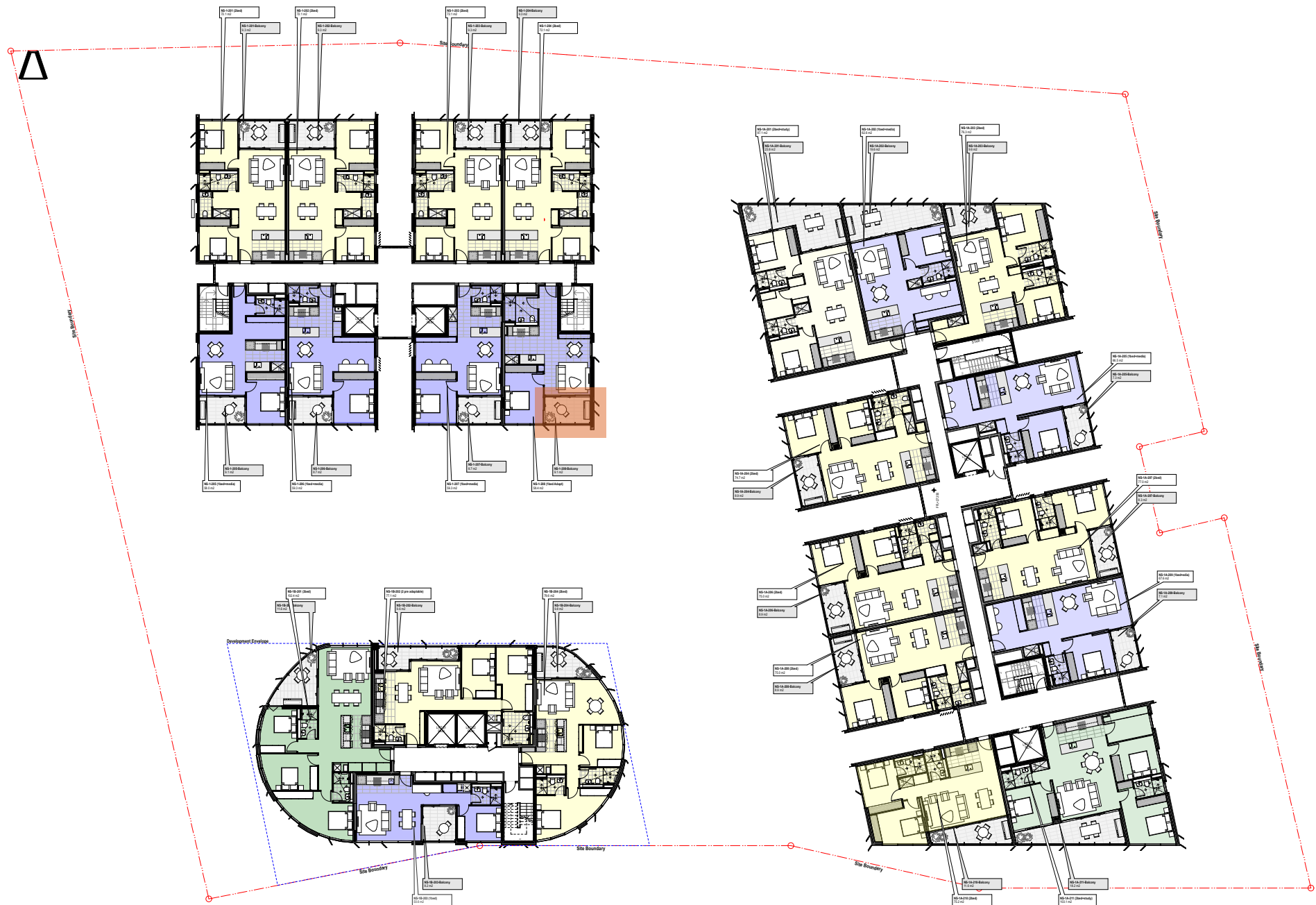




5.0 Private Open Space Seperation

The Building 1 Apartment 108 stack was previously approved with its terrace/balcony directly adjoining the Apartment 107 stack.

fjmt Studio and the proponent identified an opportunity to provide better amenity for this stack by mirror reversing the planning of the apartment such that the terraces/balconies are seperated internal private space.



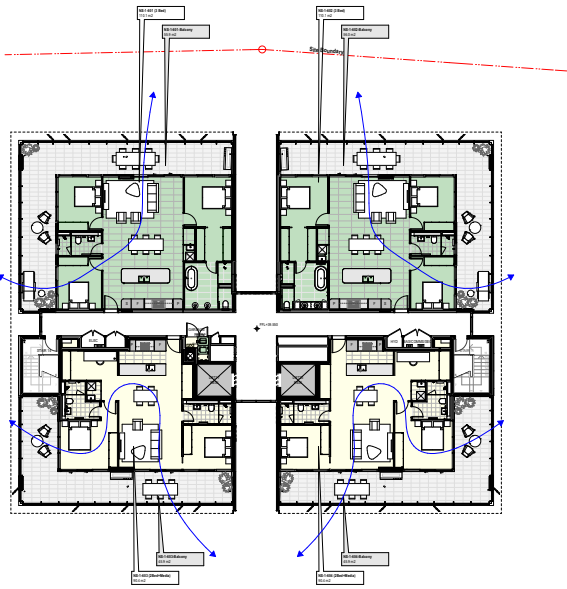


6.0 Apartment Planning Compliance

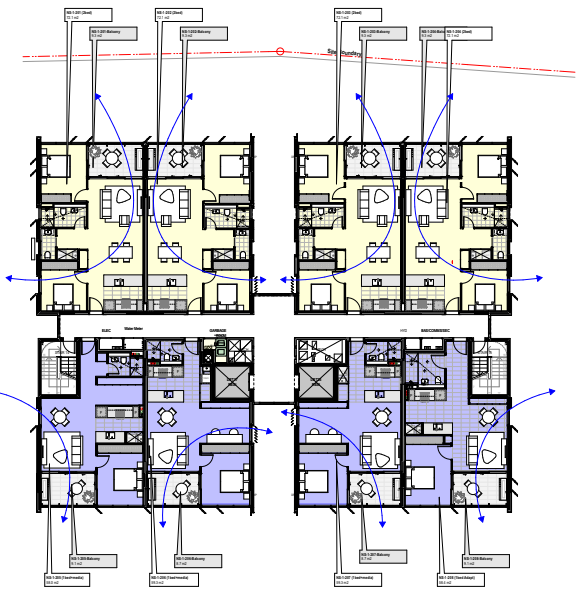
fjmt Studio prepared an assessment of the revised apartments against the ADG (refer to ADG Compliance Schedule submitted at Appendix B).

This exercise identified some inconsistencies with the ADG design criteria and objectives. Some of these inconsistencies are existing (i.e. approved) and others have come about as a result of the changes proposed by MOD 4.

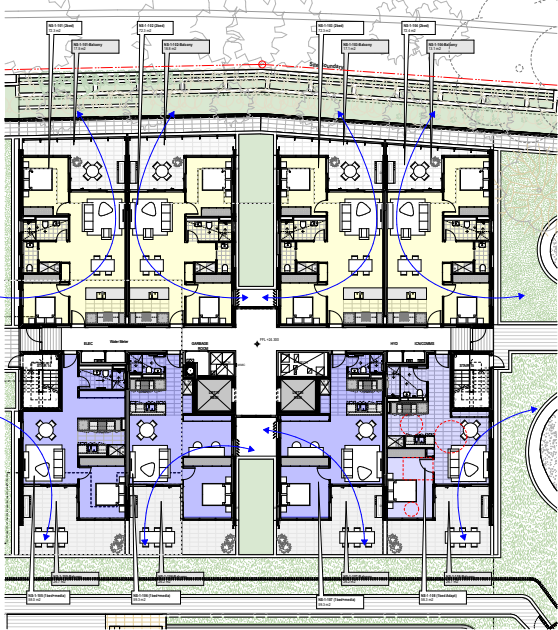
A summary of the inconsistencies and the proposed response is outlined as follows:



03 PLAN 6th Floor
NTS ADG Compliance Diagrams



02 PLAN 2nd to 5th Floor
NTS ADG Compliance Diagrams



01 PLAN First Floor
NTS ADG Compliance Diagrams

Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1																						GENERAL NOTE: A revised entry location to the block as well as an additional lift has been included which required relocation of the fire stairs. In turn a new apartment layout plan was developed within the approved envelope which delivers compliant internal apartment storage, higher quality amenity in a more efficient and thereby affordable plan.
	First Floor																					
	NS-1-101	2 Bed					72.3	✓	17.5	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1 Bath at 70.5sqm internal and 8sqm external area. fjnt revised planning to achieve a 2Bed1B1PR with 72.3sqm internal and 17.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-102	2 Bed					72.3	✓	18.8	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	fjnt revised planning to achieve a 2Bed1B1PR with 72.3sqm internal and 18.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-103	2 Bed					72.3	✓	17.1	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	fjnt revised planning achieves a 2Bed1B1PR with 72.3sqm internal and 17.1sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-104	2 Bed					72.4	✓	13.1	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	fjnt revised planning achieves a 2Bed1B1PR with 72.4sqm internal and 13.1sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-105	1 Bed	✓				58.0	✓	26.7	✓	✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1 Bath1 Study at 62.19sqm internal and 35sqm external area. fjnt revised planning achieves a 1Bed1 Bath1 Study with 58sqm internal and 26.7sqm external area, with a significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-106	1 Bed	✓				59.3	✓	26.2	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓	1	Approved as a 1Bed1 Bath1 Media at 67.02sqm internal and 35sqm external area. fjnt revised planning achieves a 1Bed1 Bath1 Study with 59.3sqm internal and 26.2sqm external area, with a significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-107	1 Bed	✓				59.3	✓	26.2	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓	1	Approved as a 1Bed1 Bath1 Media at 67.02sqm internal and 35sqm external area. fjnt revised planning achieves a 1Bed1 Bath1 Media with 59.3sqm internal and 26.2sqm external area. The plan also features compliant storage and laundry opening into the kitchen rather than the media room, resulting in a significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-108	1 Bed		✓			58.3	✓	26.7	✓	✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1 Bath Accessible Apartment at 56.08sqm internal and 35sqm external area. fjnt revised planning achieves a larger 1Bed1 Bath Accessible Apartment with 58.3sqm internal and 26.7sqm external area. The plan also features compliant storage and laundry opening into the kitchen rather than the media room, resulting in a significant increase in the quality of the amenity provided and the useable apartment area.

Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1																						GENERAL NOTE: A revised entry location to the block as well as an additional lift has been included which required relocation of the fire stairs. In turn a new apartment layout plan was developed within the approved envelope which delivers compliant internal apartment storage, higher quality amenity in a more efficient and thereby affordable plan.
	2nd to 5th Floor																					
	NS-1-201,301,401,501	2 Bed					72.1	✓	9.3		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1 Bath at 70.05sqm internal and 7.5sqm external area. fjnt revised planning includes a powder room, standalone laundry and now provides compliant internal storage to achieve a 2Bed1B1PR with 72.1sqm internal and 9.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-202,302,402,502	2 Bed					72.1	✓	9.3		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1 Bath at 70.75sqm internal and 7.5sqm external area. fjnt revised planning includes a powder room, standalone laundry and now provides compliant internal storage to achieve a 2Bed1B1PR with 72.1sqm internal and 9.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-203,303,403,503	2 Bed					72.1	✓	9.3		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1 Bath at 70.05sqm internal and 7.5sqm external area. fjnt revised planning includes a powder room, standalone laundry and now provides compliant internal storage to achieve a 2Bed1B1PR with 72.1sqm internal and 9.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-204,304,404,504	2 Bed					72.1	✓	9.3		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1 Bath at 70.75sqm internal and 7.5sqm external area. fjnt revised planning includes a powder room, standalone laundry and now provides compliant internal storage to achieve a 2Bed1B1PR with 72.1sqm internal and 9.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-205,305,405,505	1 Bed	✓				58.0	✓	9.1	✓	✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1 Bath1 Study at 62.19sqm internal and 35sqm external area. fjnt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1Bed1B1M with 58.0sqm internal and 9.1sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-206,306,406,506	1 Bed	✓				59.3	✓	8.7	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	Approved as a 1Bed1 Bath at 67.02sqm internal and 7.5sqm external area. fjnt revised planning includes a generous media room, standalone laundry and now provides compliant internal storage to achieve a 1Bed1B1M with 59.3sqm internal and 8.7sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-207,307,407,507	1 Bed	✓				59.3	✓	8.7	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	Approved as a 1Bed1 Bath at 67.02sqm internal and 7.5sqm external area. fjnt revised planning includes a generous media room, standalone laundry and now provides compliant internal storage to achieve a 1Bed1B1M with 59.3sqm internal and 8.7sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-208,308,408,508	1 Bed		✓			58.4	✓	9.1	✓	✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1 Bath Accessible Apartment at 56.80sqm internal and 7.5sqm external area. fjnt revised planning achieves a larger 1Bed1 Bath Accessible Apartment with 58.4sqm internal and 9.1sqm external area. The new plan includes compliant storage and laundry opening into the kitchen, resulting in a significant increase in the quality of the amenity provided and the useable apartment area.

Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1																						GENERAL NOTE: A revised entry location to the block as well as an additional lift has been included which required relocation of the fire stairs.
	6th Floor																					
	NS-1-601	3 Bed					110.1	✓	55.9	✓	✓	✓		✓	✓	✓	✓	✓	✓	✓	1	Approved as a 3Bed2Bath Penthouse at 105.64sqm internal and approximately 55sqm external area. fjnt revised planning includes a generous master suite to the East, standalone laundry and now provides compliant internal storage to achieve a 3Bed2B with 110.1sqm internal and 55.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-602	3 Bed					110.1	✓	56	✓	✓	✓		✓	✓	✓	✓	✓	✓	✓	1	Approved as a 3Bed2Bath Penthouse at 105.64sqm internal and approximately 55sqm external area. fjnt revised planning includes a generous master suite to the West, standalone laundry and now provides compliant internal storage to achieve a 3Bed2B with 110.1sqm internal and 56sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-603	2 Bed	✓				90.4	✓	45.9	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1 Bath Penthouse at 85.64sqm internal and approximately 50sqm external area. fjnt revised planning achieves a 2Bed2B1M with 90.4sqm internal and 45.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-604	2 Bed	✓				90.4	✓	45.9	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1 Bath Media Penthouse at 95.97sqm internal and approximately 50sqm external area. fjnt revised planning achieves a 2Bed2B1M with 90.4sqm internal and 45.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.

6.1 Building 1,

Level 1 -5 Apartments 101-104 Stack

These apartments were approved as 2 bed 1 bath configurations with an internal area of approximately 70sqm and a balcony area of 9.3sqm (above podium level).

MOD 4 sought changes to the configuration of the apartments to improve amenity and liveability, including the provision of compliant storage and addition of a bathroom and increased internal size to between 72.1sqm - 72.4sqm.

In accordance with the ADG, the minimum internal area for a bed/ 2 bath apartment is increased from 70sqm to 75sqm and minimum balcony area is 10sqm regardless of the number of bathrooms.

The following changes are proposed to these apartments to achieve ADG compliance:

- Delete ensuite bathroom and transition to primary bathroom.
- Delete second bathroom and transition to water closet.

MOD 4 seeks to increase the private open space of the apartments at podium level (level 1). No change is proposed to the private open space area above level 1. The areas remain as per the approved situation being 7.9sqm instead of 10m under the ADG.

Building 1 Media Rooms Level 1-5 Apartments 105, 106 & 107

These apartments are proposed as 1 bedroom apartments + media rooms. The media rooms have been designed without windows and doors and feature built in elements including a desk and storage to discourage occupiers from using the spaces as bedrooms.

Building 1 Media Rooms Level 6, Apartments 603 & 604

6.2 Building 1A

Level 1 -5 Apartments 104, 106 & 108

These apartments were approved as 2 bed 1 bath configurations with an internal area of approx. 70.35 – 75.97sqm and a balcony area generally between 7.9sqm – 8.9sqm.

MOD 4 sought changes to the configuration of the apartments to improve amenity and liveability, including the provision of compliant storage and addition of a bathroom. These apartments are 75.3sqm in size.

In accordance with the ADG, the minimum internal area for a 2 bed/ 2 bath apartment is increased from 70sqm to 75sqm and minimum balcony area is 10sqm regardless of the number of bathrooms. The proposal does not seek to change the approved size of the balcony. While it does not comply with the ADG in some instances, this inconsistency is as per the approved situation.

While the proposal results in a minor inconsistency with the ADG external apartment size, this inconsistency is considered minor and is balanced against achieving much higher internal amenity apartments compared to the approved (including provision of a window to the second bedroom in the apartment 104 stack which were approved without a window).

Notwithstanding, the following changes are proposed to Apartments 104, 106 & 108 stack to achieve ADG compliance:

- Revise planning and apartment area to achieve 75sqm internal for a 2 bed 2 bath

No further changes are proposed to Apartment 110 stack, which are proposed as 2 bed/ 2 bath configurations. At levels 3-5 they measure 75.3sqm internally but this minor inconsistency (0.7sqm) is balanced against achieving greater balcony sizes between 10.9sqm (levels 3 & 4) and 32.5sqm (level 5).

Building 1A, Level 6 Apartments 603, 605 & 606

These apartments have been amended to achieve ADG compliance by deleting the second bathroom and replacing with a water closet and increasing the internal size of the apartment. These two bed/ 1 bathroom apartments now measure between 70.3 - 70.4sqm internally and have a balcony size of between 12.6 – 13.4sqm.

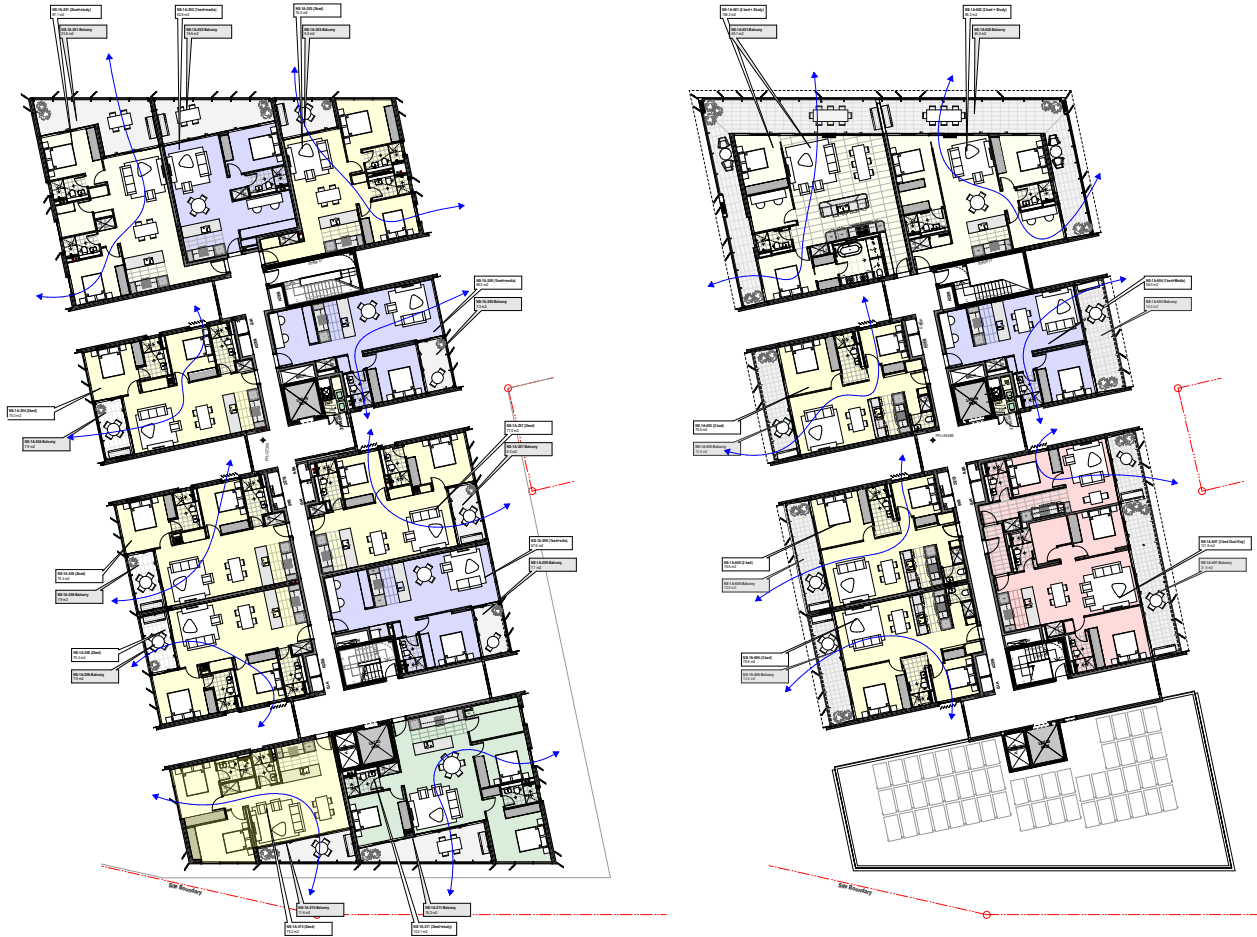
These apartments are proposed as 1 bedroom apartments + media rooms. Apartment 603 was approved without a media room whereas Apartment 604 was approved with a media room. The design of the approved media room is retained albeit slightly modified to reflect the revised apartment design and replicated in Apartment 603.

Building 1A Media Rooms Level 1-5
Apartments 102, 105 & 109

Apartment 102 stack - media room is generally consistent with the approved design. Apartment 105 stack – media room design generally consistent with approved design (flipped in plan). Apartment 109 stack – consistent with media room design of apartment 102 and 105 stack (previously approved by DPIE).

Building 1A Media Rooms Level 6 Apartment 604

Apartment 604 – consistent with media room design of levels below.

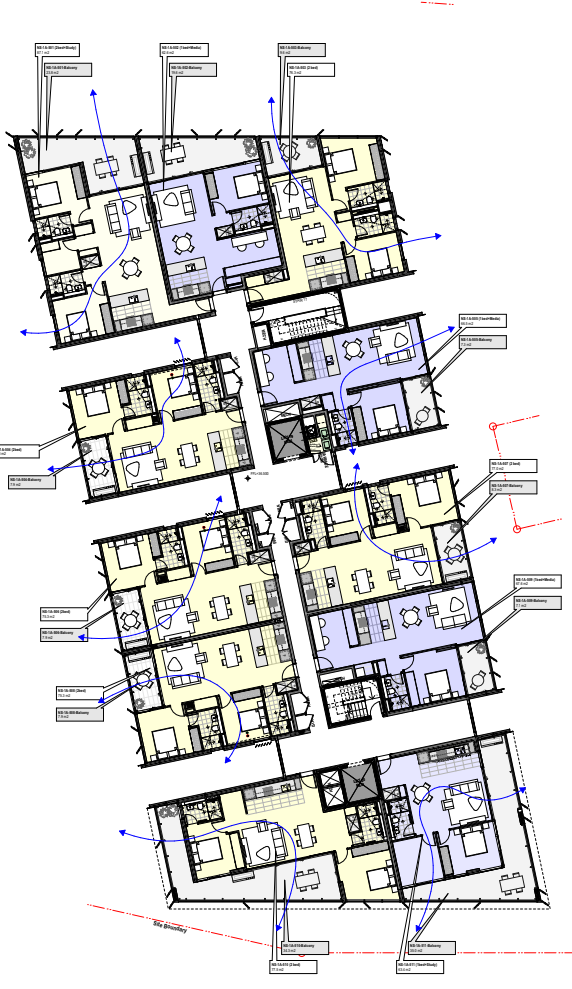


02 PLAN 2nd to 4th Floor
NTS ADG Compliance Diagrams

04 PLAN 6th Floor
NTS ADG Compliance Diagrams



01 PLAN First Floor
NTS ADG Compliance Diagrams



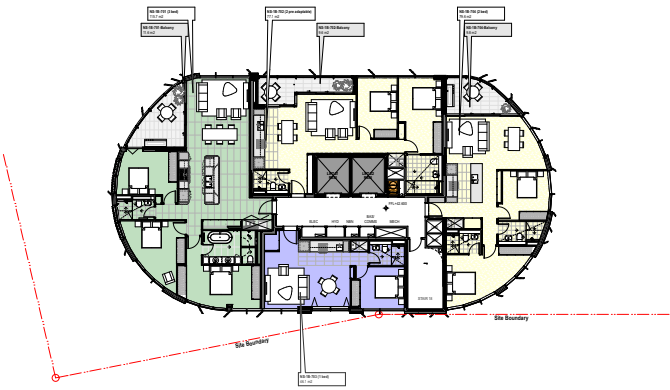
03 PLAN 5th Floor
NTS ADG Compliance Diagrams

Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Balcony Area	Balcony Compliance	Balcony Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1A																					General Note: The location of the stairs was adjusted to deliver better planning outcomes for the apartments. In turn a new typical plan was developed which delivers compliant internal apartment design, windows in bedrooms and studies and overall a dramatic improvement in amenity in more efficient and thereby affordable plans. These changes required minor amendments to facade alignments with no increase in GFA for the block.
	1st Floor																				
	NS-1A-101	2 Bed	✓				87.1	✓	35	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2600Study with 87.1 tagn internal and 23.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-102	1 Bed	✓				62.4	✓	30.7	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1801Beds with 62.4sqm internal and 19.6sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-103	2 Bed					76.0	✓	38	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2600 with 76.0sqm internal and 38sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-104	2 Bed					75.3	✓	8.5	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 2600 with 75.3sqm internal and 8.5sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area, as well as having a window in the bathroom.
	NS-1A-105	1 Bed	✓				66.2	✓	19.8	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1801Beds with 66.2sqm internal and 19.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-106	2 Bed					75.3	✓	8.5	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 2600 with 75.3sqm internal and 8.5sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-107	2 Bed					76.7	✓	8.5	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	This apartment planning change is essentially a swap with apartment 109. The approved 107plan was non-compliant and has been revised to be a compliant 2Bed. In turn, these changes had an impact on the area of apartment 109 which was revised to be a 1 Bed offer.
	NS-1A-108	2 Bed					75.3	✓	8.5	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2600 with 75.3sqm internal and 8.5sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-109	1 Bed					67.3	✓	7.2	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	This apartment planning change is essentially a swap with apartment 107. 107 was approved as a non-compliant 1 bed and has been revised to be a compliant 2Bed. In turn, these changes had an impact on the area of apartment 109 which was revised to be a 1 Bed offer.
	NS-1A-110	2 Bed					75.2	✓	21.8	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2600 with 75.2sqm internal and 21.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-111	3 Bed	✓				103.0	✓	30	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2600Study with 103.0sqm internal and 30sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.

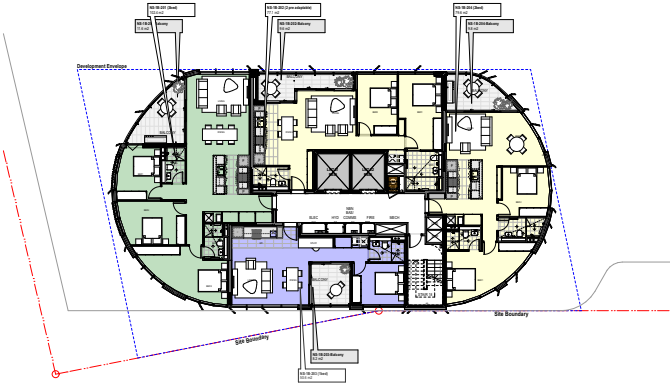
Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Balcony Area	Balcony Compliance	Balcony Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1A																					General Note: The location of the stairs was adjusted to deliver better planning outcomes for the apartments. In turn a new typical plan was developed which delivers compliant internal apartment design, windows in bedrooms and studies and overall a dramatic improvement in amenity in more efficient and thereby affordable plans. These changes required minor amendments to facade alignments with no increase in GFA for the block.
	2nd to 4th Floor																				
	NS-1A-201,301,401	2 Bed	✓				87.1	✓	23.8	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2600Study with 87.1 tagn internal and 23.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-202,302,402	1 Bed	✓				62.6	✓	19.6	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1801Beds with 62.6sqm internal and 19.6sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-203,303,403	2 Bed					76.3	✓	9.6	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2600 with 76.3sqm internal and 9.6sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-204,304,404	2 Bed					75.3	✓	7.9	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2600 with 75.3sqm internal and 7.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-205,305,405	1 Bed	✓				66.5	✓	7.3	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1801Beds with 66.5sqm internal and 7.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-206,306,406	2 Bed					75.3	✓	7.9	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 2600 with 75.3sqm internal and 7.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-207,307,407	2 Bed					77.0	✓	8.3	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	This apartment planning change is essentially a swap with apartment 109. The approved 107plan was non-compliant and has been revised to be a compliant 2Bed. In turn, these changes had an impact on the area of apartment 109 which was revised to be a 1 Bed offer.
	NS-1A-208,308,408	2 Bed					75.3	✓	7.9	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2600 with 75.3sqm internal and 7.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-209,309,409	1 Bed	✓				67.6	✓	7.1	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	This apartment planning change is essentially a swap with apartment 107. 107 was approved as a non-compliant 1 bed and has been revised to be a compliant 2Bed. In turn, these changes had an impact on the area of apartment 109 which was revised to be a 1 Bed offer.
	NS-1A-210,310,410	2 Bed					75.2	✓	11.6	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2600 with 75.2sqm internal and 11.6sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-211,311,411	3 Bed	✓				103.1	✓	18.2	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes standalone laundry and now provides compliant internal storage to achieve a 2600Study with 103.1sqm internal and 18.2sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.

Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Balcony Area	Balcony Compliance	Balcony Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1A																					General Note: The location of the stairs was adjusted to deliver better planning outcomes for the apartments. In turn a new typical plan was developed which delivers compliant internal apartment design, windows in bedrooms and studies and overall a dramatic improvement in amenity in more efficient and thereby affordable plans. These changes required minor amendments to facade alignments with no increase in GFA for the block.
	5th Floor																				
	NS-1A-501	2 Bed	✓				87.1	✓	23.8	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2600Study with 87.1 tagn internal and 23.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-502	1 Bed	✓				62.6	✓	19.6	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1801Beds with 62.6sqm internal and 19.6sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-503	2 Bed					76.3	✓	9.6	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes standalone laundry and now provides compliant internal storage to achieve a 2600 with 76.3sqm internal and 9.6sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-504	2 Bed					75.3	✓	7.9	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2600 with 75.3sqm internal and 7.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-505	1 Bed	✓				66.5	✓	7.3	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1801Beds with 66.5sqm internal and 7.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-506	2 Bed					75.3	✓	7.9	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2600 with 75.3sqm internal and 7.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-507	2 Bed					77.0	✓	8.3	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	This apartment planning change is essentially a swap with apartment 109. The approved 107plan was non-compliant and has been revised to be a compliant 2Bed. In turn, these changes had an impact on the area of apartment 109 which was revised to be a 1 Bed offer.
	NS-1A-508	2 Bed					75.3	✓	7.9	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2600 with 75.3sqm internal and 7.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-509	1 Bed	✓				67.6	✓	7.1	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	This apartment planning change is essentially a swap with apartment 107. 107 was approved as a non-compliant 1 bed and has been revised to be a compliant 2Bed. In turn, these changes had an impact on the area of apartment 109 which was revised to be a 1 Bed offer.
	NS-1A-510	2 Bed					75.2	✓	11.6	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2600 with 75.2sqm internal and 11.6sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-511	3 Bed	✓				103.1	✓	18.2	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes standalone laundry and now provides compliant internal storage to achieve a 2600Study with 103.1sqm internal and 18.2sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.

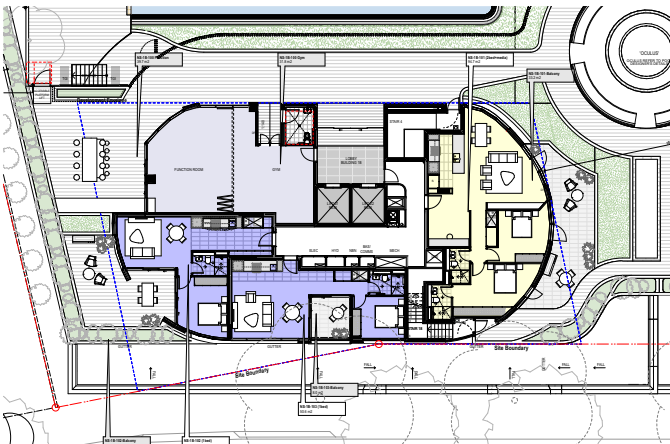
Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Balcony Area	Balcony Compliance	Balcony Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1A																					General Note: The location of the stairs was adjusted to deliver better planning outcomes for the apartments. In turn a new typical plan was developed which delivers compliant internal apartment design, windows in bedrooms and studies and overall a dramatic improvement in amenity in more efficient and thereby affordable plans. These changes required minor amendments to facade alignments with no increase in GFA for the block.
	5th Floor																				
	NS-1A-601	2 Bed	✓				108.0	✓	49.1	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2600Study with 108.0sqm internal and 49.1sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-602	2 Bed	✓				88.2	✓	40.2	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2600Study with 88.2sqm internal and 40.2sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-603	2 Bed					70.6	✓	13	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a Powder Room, standalone laundry and now provides compliant internal storage to achieve a 2618 with 70.6sqm internal and 13sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-604	1 Bed					58.5	✓	15.5	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a Powder Room, standalone laundry and now provides compliant internal storage to achieve a 2618 with 58.5sqm internal and 15.5sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-605	2 Bed					70.6	✓	12.6	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a Powder Room, standalone laundry and now provides compliant internal storage to achieve a 2618 with 70.6sqm internal and 12.6sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-606	2 Bed					70.6	✓	13.4	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised planning includes a Powder Room, standalone laundry and now provides compliant internal storage to achieve a 2618 with 70.6sqm internal and 13.4sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-607	3 Bed	✓				131.9	✓	31.6	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	[nt] revised this very large 2 bedroom apartment into a Dual Key offer of a 2 Bed and 1 Bed hybrid.



03 PLAN 7th Floor
NTS ADG Compliance Diagrams



02 PLAN 2nd to 6th Floor
NTS ADG Compliance Diagrams



01 PLAN First Floor
NTS ADG Compliance Diagrams

Building No	Apartment No	Type	Study	Media	Adapt	East Ker	Apartment Area	Compliance	Balcony Compliance	Balcony Depth (m Min)	Crane Vent	South Facing	Ceiling Height	Kitchen Location	Living Min m	Bed 1 Min m	Bed 2 Min m	Bed 3 Min m	Storage	Quantity	Design Change Notes	
Building 1B	General Note: The gym and function room locations were reviewed and it was confirmed they were too disconnected from the pool area. This meant that the apartment previously located on the east moved to the east and now faces onto a generous courtyard and landscaping facing the services of other apartments. This change also had the benefit of creating private views, parking between ground floor apartments and the pool activity area.																					
	All Floors																					
	First Floor																					
	NS-1B-101	2					947	✓	33.2	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	Ground floor apartment location swapped with Gym and Function room to have better relationship with adjoining residential apartments.	
	NS-1B-102	1					507	✓	34.1	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	Gym modifications
	NS-1B-103	1					506	✓	8	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	Minor modifications
	2nd - 6th Floor																					
	NS-1B-201,301,401,501,601	3					102.4	✓	11.6	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	No change
	NS-1B-202,302,402,502,602	2					771	✓	9.6	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	No change
	NS-1B-203,303,403,503,603	1					506	✓	8.2	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	No change
	NS-1B-204,304,404,504,604	2					796	✓	9.8	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	No change
	7th Floor																					
	NS-1B-701	3					1027	✓	11.6	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	No change
	NS-1B-702	2					771	✓	9.6	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	No change
	NS-1B-703	1					461	✓	0	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	No change
NS-1B-704	2					796	✓	9.8	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	No change	

6.3 Building 1B

No Chnages to Compliance



7.0 Facade Enhancements

7.1 Buildings 1 and 1A

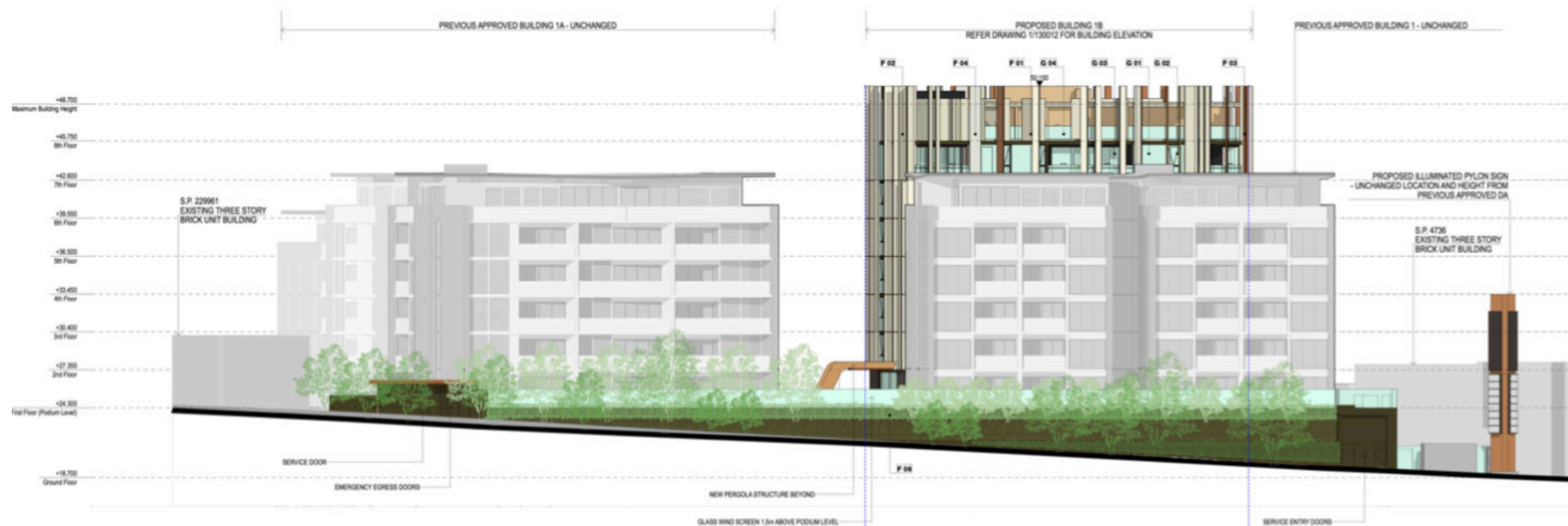
The facade changes to Buildings 1 and 1A are modest and focused on layering the elements and materiality of the building to be complimentary to the newly approved Building 1B and related podium features.

The physical envelopes of both buildings remain largely unchanged in area, with only minor and concealed changes to the arrangement of the facade alignments.

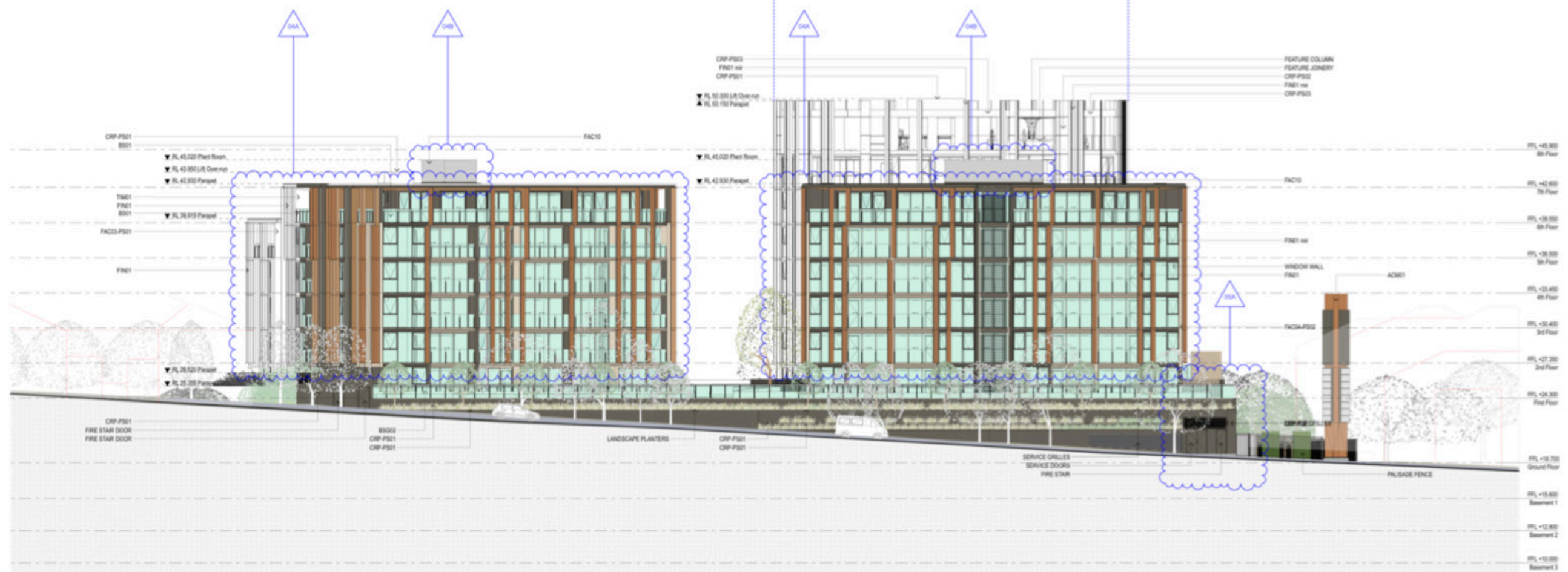
The changes have been derived from modifications too and additional vertical circulation amenity, which required modification to the apartment planning.

The new facade treatments are the same as Building B1 with full height vertical rhombus shaped louvres offering privacy, screening and sunshading to apartments which previously had nothing.

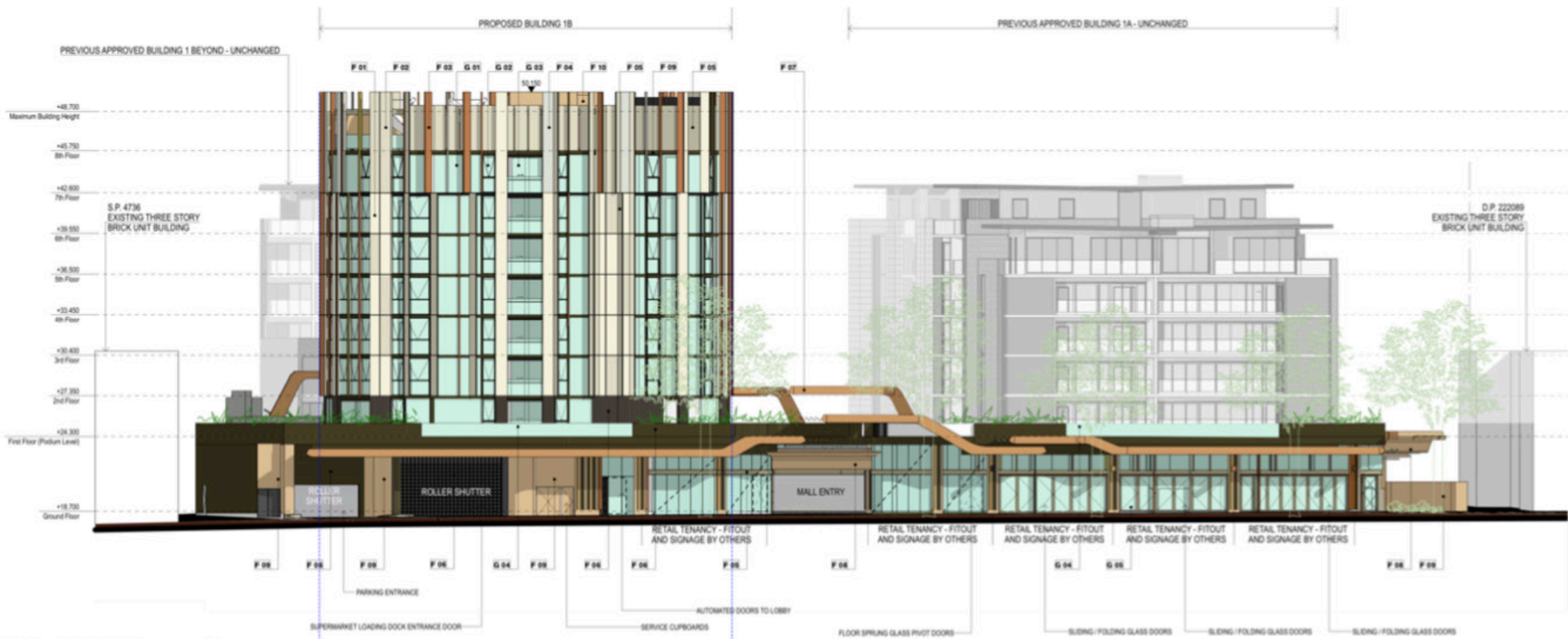
In addition the facade is composed of a rainscreen created with colour through Fibre Cement sheeting to ensure that the facade ages gracefully and minimises future maintenance requirements of the strata. The colour of the rainscreen panels is composed of a palette of autumnal shades to reflect the newly approved building B1.



01 ELEVATION North (MOD1 Approved)



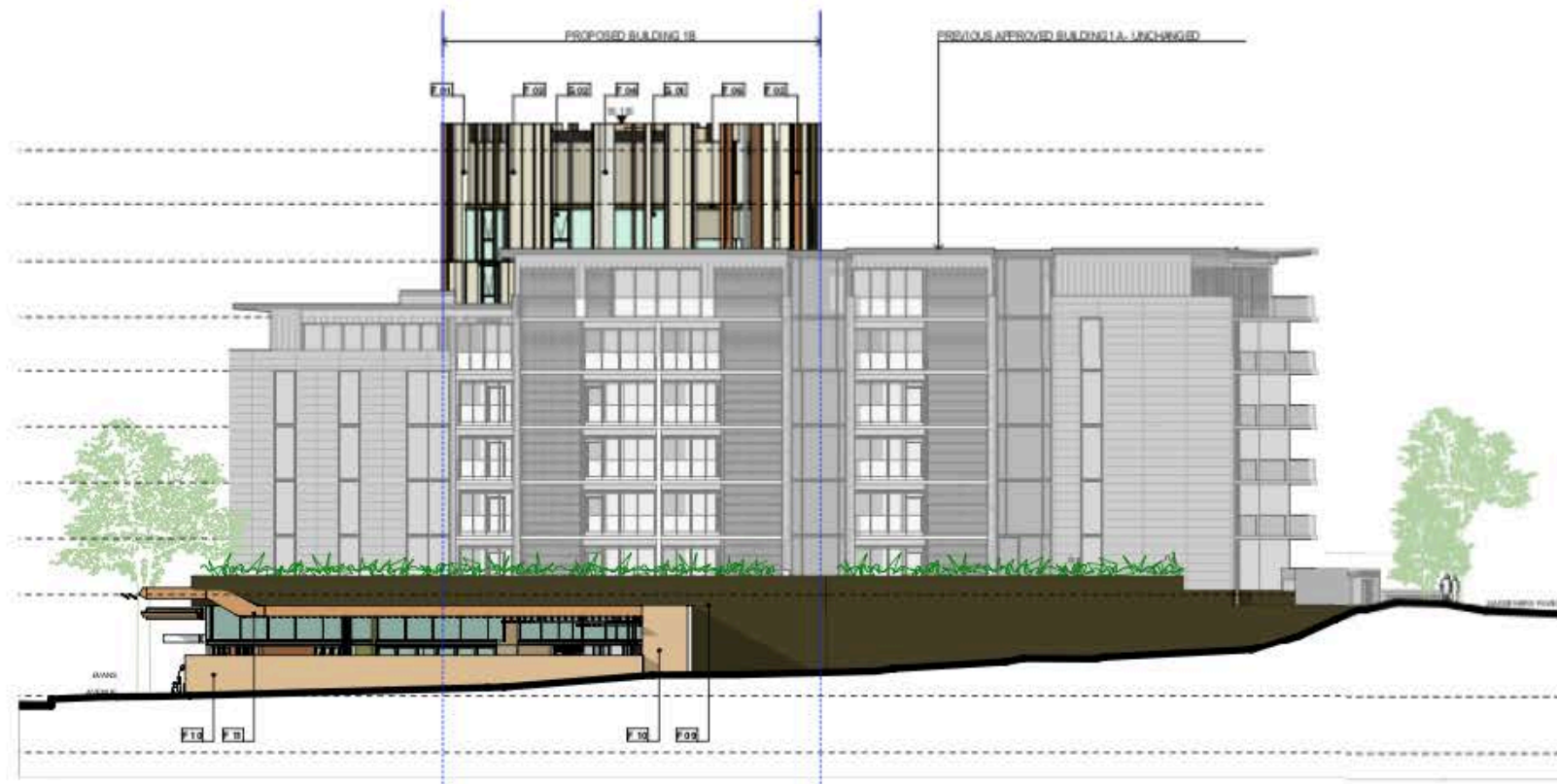
02 ELEVATION North (Proposed)
1:200



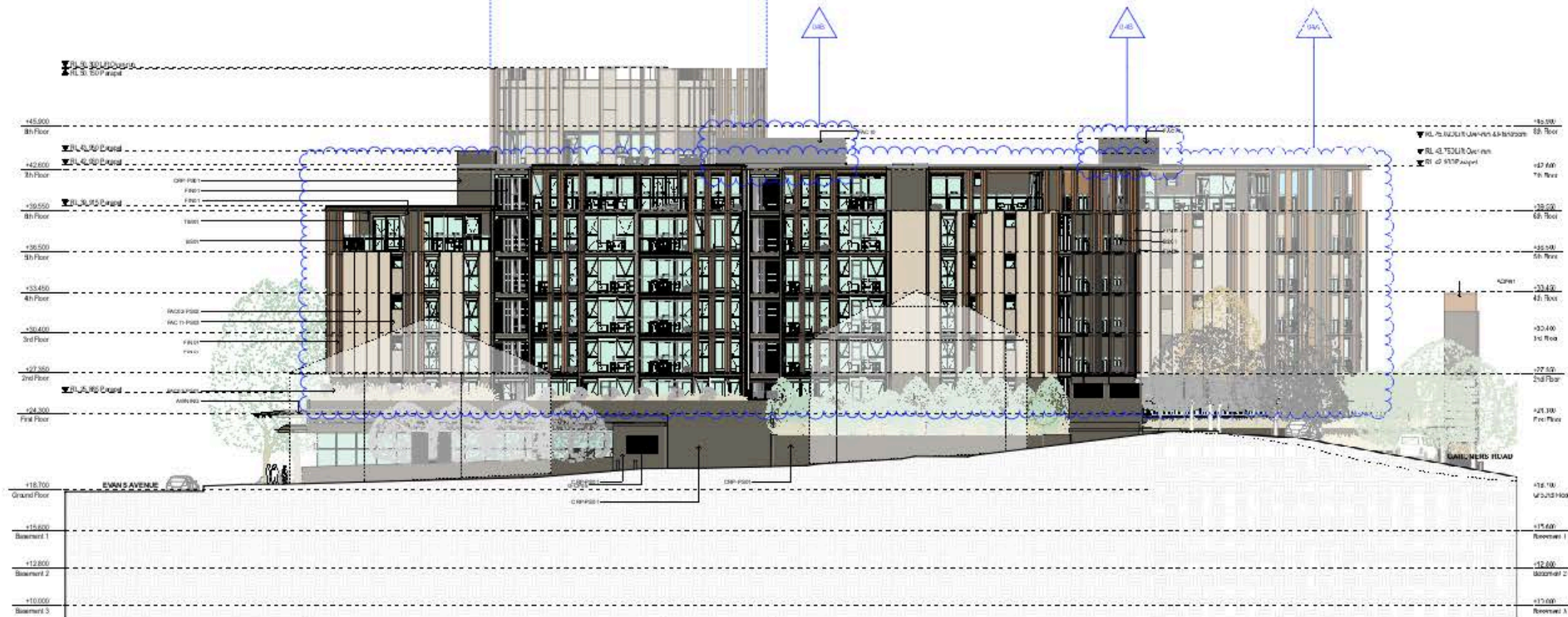
01 ELEVATION South (MOD1 Approved)



02 ELEVATION South (Proposed)
1:200



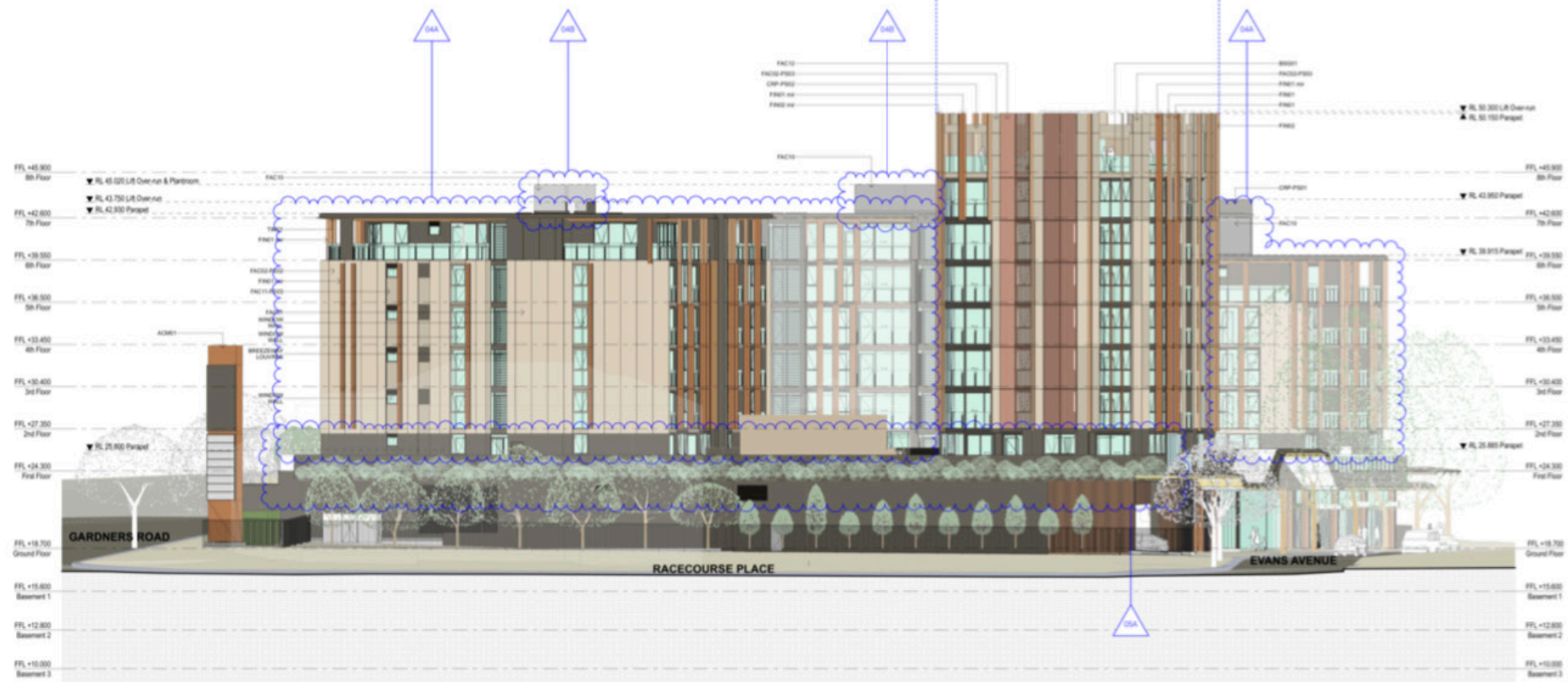
01 ELEVATION East (MOD1 Approved)



02 ELEVATION East (Proposed)
1:200



01 ELEVATION West (MOD1 Approved)



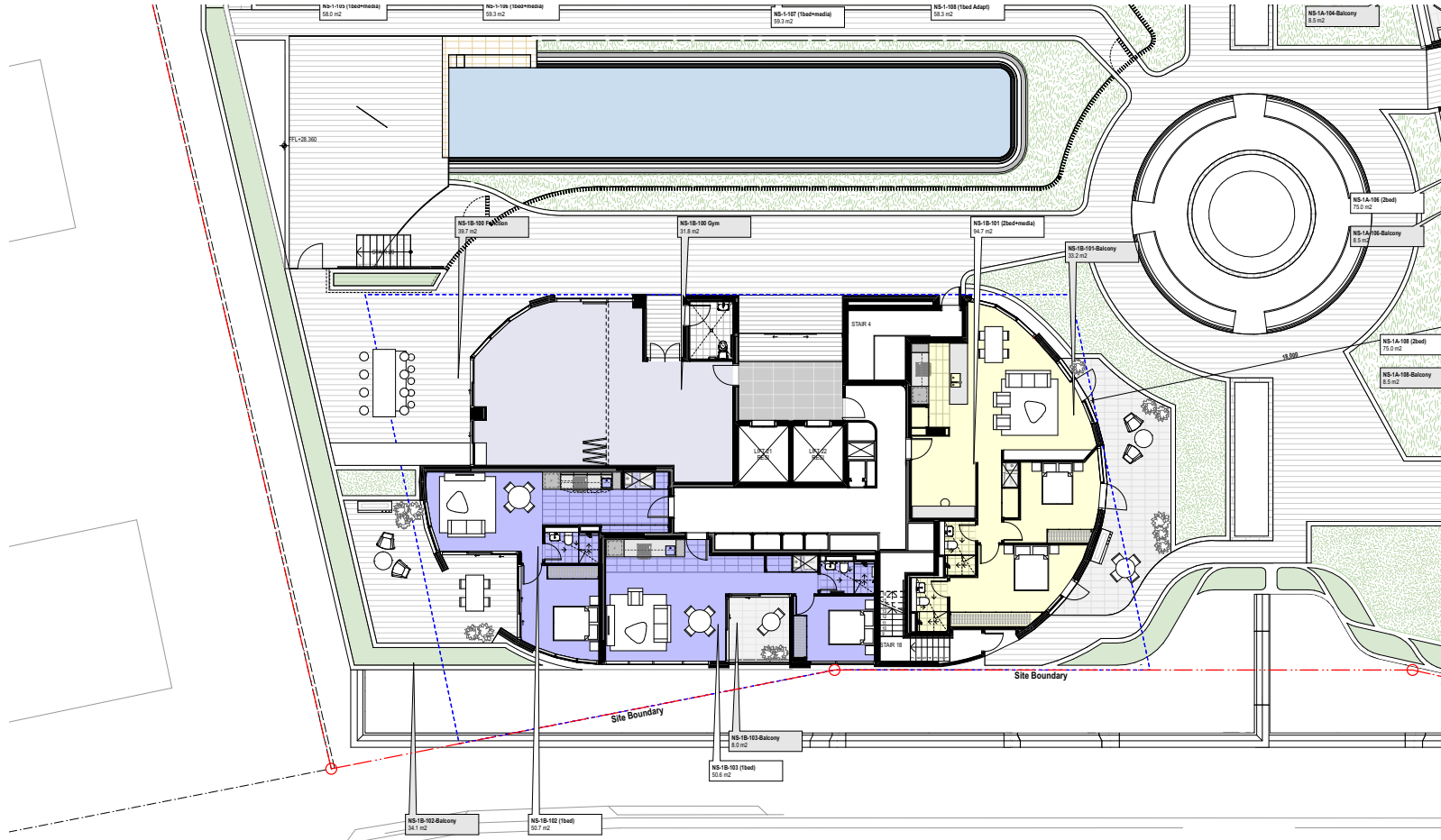
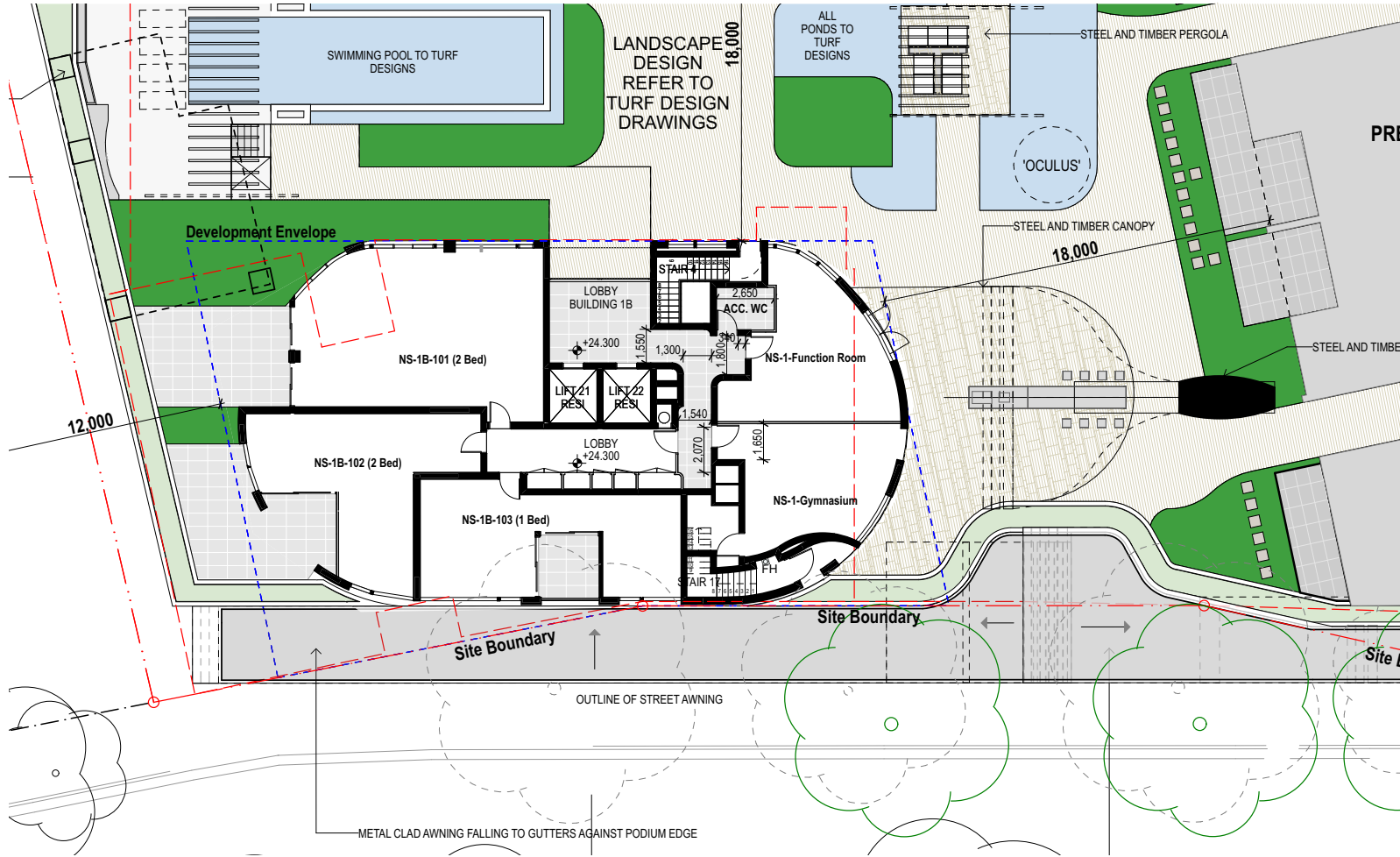
02 ELEVATION West (Proposed)
1:200

8.0 Revised Building 1B - L1 planning

fjmt Studio reviewed the podium apartment planning and its relationship to the new podium landscape concept. In light of the new landscape concept the location of the approved 2 Bedroom apartment on the western end of 1B was seen as being potentially compromised by the general recreation in and around the pool.

At the eastern end of 1B was the Function room and Gym which given the landscape changes were no located away from the primary source of community activity on the podium. Therefore itv was seen as a positive move to swap the 2B apartment with the Gym/Function Room.

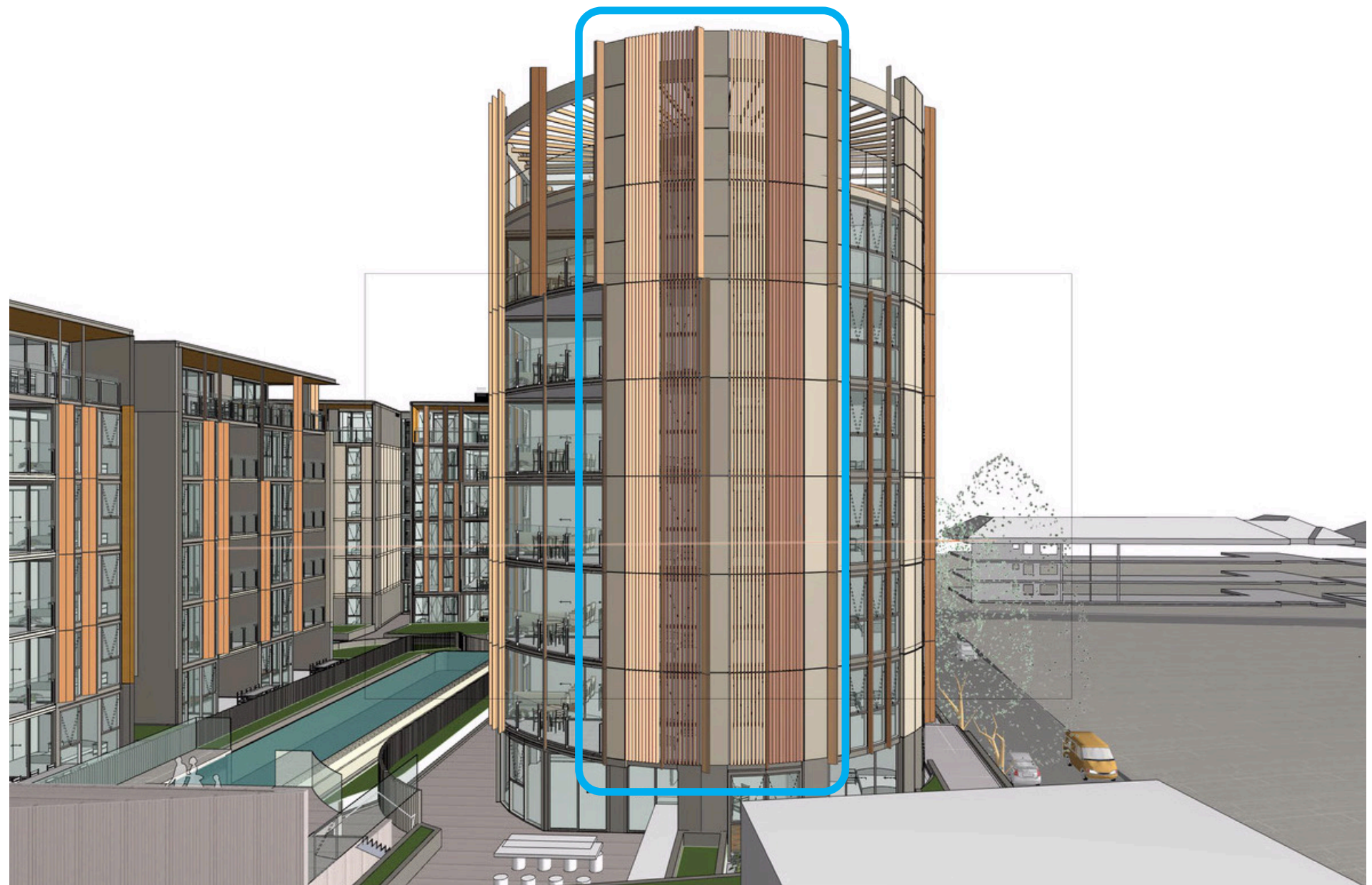
The new locatiuon for the apartment rests well within the podium and rests amongst other residential apartment terraces. The nbew location for the Gym and Function Room is immediately adjacent and accessible from the pool and will create a wonderful recreation space for the occupnats of this exciting new development.



9.0 Privacy Louvres added to Building 1B by DPIE condition

Privacy louvres have been added to Building 1B to address concerns of overlooking to the adjoining properties. fjmt Studio have studied the impact of the louvres and believe the proposed design addresses the DPIE Condition.

The following view renders to demonstrate how the vertical louvers to relevant bedroom windows and outdoor spaces documented on the architectural plans achieve the objectives of the condition.



10.0 SEPP65 ADG Compliance Schedules

Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1																						GENERAL NOTE: A revised entry location to the block as well as an additional lift has been included which required relocation of the fire stairs. In turn a new apartment layout plan was developed within the approved envelope which delivers compliant internal apartment storage, higher quality amenity in a more efficient and thereby affordable plan.
	First Floor																					
	NS-1-101	2 Bed					72.3	✓	17.5	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1 Bath at 70.5sqm internal and 8sqm external area. fjmt revised planning to achieve a 2B1B1PR with 72.3sqm internal and 17.5sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-102	2 Bed					72.3	✓	18.8	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1 Bath at 70.74sqm internal and 8sqm external area. fjmt revised planning to achieve a 2B1B1PR with 72.3sqm internal and 18.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-103	2 Bed					72.3	✓	17.1	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1 Bath at 70.75sqm internal and 8sqm external area. fjmt revised planning achieves a 2B1B1PR with 72.3sqm internal and 17.1sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-104	2 Bed					72.4	✓	13.1	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1 Bath at 70.06sqm internal and 8sqm external area. fjmt revised planning achieves a 2B1B1PR with 72.4sqm internal and 13.1sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-105	1 Bed		✓			58.0	✓	26.7	✓	✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1 Bath1Study at 62.19sqm internal and 35sqm external area. fjmt revised planning achieves a 1Bed1Bath1Study with 58sqm internal and 26.7sqm external area, with a significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-106	1 Bed		✓			59.3	✓	26.2	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	Approved as a 1Bed1 Bath at 54.08sqm internal and 35sqm external area. fjmt revised planning achieves a 1Bed1Bath1Study with 59.3sqm internal and 26.2sqm external area, with a significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-107	1 Bed		✓			59.3	✓	26.2	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	Approved as a 1Bed1 Bath1Media at 67.02sqm internal and 35sqm external area. fjmt revised planning achieves a 1Bed1Bath1Media with 59.3sqm internal and 26.2sqm external area. The plan also features compliant storage and and laundry opening into the kitchen rather than the media room, resulting in a significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-108	1 Bed			✓		58.3	✓	26.7	✓	✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1 Bath Accessible Apartment at 56.08sqm internal and 35sqm external area. fjmt revised planning achieves a larger 1Bed1 Bath Accessible Apartment with 58.3sqm internal and 26.7sqm external area. The plan also features compliant storage and and laundry opening into the kitchen rather than the media room, resulting in a significant increase in the quality of the amenity provided and the useable apartment area. The plan is also mirrored from the approved to achieve a symmetrical facade arrangement which is more complementary to the overall appearance of the building.

Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1																						GENERAL NOTE: A revised entry location to the block as well as an additional lift has been included which required relocation of the fire stairs. In turn a new apartment layout plan was developed within the approved envelope which delivers compliant internal apartment storage, higher quality amenity in a more efficient and thereby affordable plan.
	2nd to 5th Floor																					
	NS-1-201,301,401,501	2 Bed					72.1	✓	9.3		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1 Bath at 70.05sqm internal and 7.2sqm external area. fjmt revised planning includes a powder room, standalone laundry and now provides compliant internal storage to achieve a 2B1B1PR with 72.1 sqm internal and 9.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-202,302,402,502	2 Bed					72.1	✓	9.3		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1 Bath at 70.75sqm internal and 7.2sqm external area. fjmt revised planning includes a powder room, standalone laundry and now provides compliant internal storage to achieve a 2B1B1PR with 72.1 sqm internal and 9.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-203,303,403,503	2 Bed					72.1	✓	9.3		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1 Bath at 70.06sqm internal and 7.2sqm external area. fjmt revised planning includes a powder room, standalone laundry and now provides compliant internal storage to achieve a 2B1B1PR with 72.1 sqm internal and 9.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-204,304,404,504	2 Bed					72.1	✓	9.3		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1 Bath at 70.75sqm internal and 7.2sqm external area. fjmt revised planning includes a powder room, standalone laundry and now provides compliant internal storage to achieve a 2B1B1PR with 72.1 sqm internal and 9.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-205,305,405,505	1 Bed		✓			58.0	✓	9.1	✓	✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1 Bath1Study at 62.19sqm internal and 7.2sqm external area. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1B1M with 58.0sqm internal and 9.1 sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-206,306,406,506	1 Bed		✓			59.3	✓	8.7	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	Approved as a 1Bed1 Bath at 54.08sqm internal and 7.2sqm external area. fjmt revised planning includes a generous media room, standalone laundry and now provides compliant internal storage to achieve a 1B1B1St with 59.3sqm internal and 8.7sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-207,307,407,507	1 Bed		✓			59.3	✓	8.7	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	Approved as a 1Bed1 Bath at 67.02sqm internal and 7.2sqm external area. fjmt revised planning includes a generous media room, standalone laundry and now provides compliant internal storage to achieve a 1B1B1St with 59.3sqm internal and 8.7sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-208,308,408,508	1 Bed			✓		58.4	✓	9.1	✓	✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1 Bath Accessible Apartment at 56.80sqm internal and 7.2sqm external area. fjmt revised planning achieves a larger 1Bed1 Bath Accessible Apartment with 58.4sqm internal and 9.1 sqm external area. The new plan features compliant storage and and laundry opening into the kitchen, resulting in a significant increase in the quality of the amenity provided and the useable apartment area.

Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1																						GENERAL NOTE: A revised entry location to the block as well as an additional lift has been included which required relocation of the fire stair
	6th Floor																					
	NS-1-601	3 Bed					110.1	✓	55.9	✓	✓	✓		✓	✓	✓	✓	✓	✓	✓	1	Approved as a 3Bed2Bath Penthouse at 105.64sqm internal and approximately 50sqm external area. fjmt revised planning includes a generous master suite to the East, standalone laundry and now provides compliant internal storage to achieve a 3B2B with 110.1sqm internal and 55.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-602	3 Bed					110.1	✓	56	✓	✓	✓		✓	✓	✓	✓	✓	✓	✓	1	Approved as a 3Bed2Bath Penthouse at 105.64sqm internal and approximately 50sqm external area. fjmt revised planning includes a generous master suite to the West, standalone laundry and now provides compliant internal storage to achieve a 3B2B with 110.1 sqm internal and 56sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-603	2 Bed		✓			90.4	✓	45.9	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1 Bath Penthouse at 85.64sqm internal and approximately 50sqm external area. fjmt revised planning achieves a 2B2B1M with 90.4sqm internal and 45.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-604	2 Bed		✓			90.4	✓	45.9	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed2Bath1Media Penthouse at 95.97sqm internal and approximately 50sqm external area. fjmt revised planning achieves a 2B2B1M with 90.4sqm internal and 45.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.

Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1A																						General Note: The location of fire stairs was adjusted to deliver better planning outcomes for the apartments. In turn a new layout plan was developed which delivers compliant internal apartment storage, windows in bedrooms and studies and overall a dramatic improvement in amenity in more efficient and thereby affordable plans. These changes required minor amendments to facade alignments with no increase in GFA for the block.
	1st Floor																					
	NS-1A-101	2 Bed	✓				87.1	✓	35	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed2Bath at 79.03sqm internal and 30sqm external area. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2BStudy with 87.1sqm internal and 35sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-102	1 Bed		✓			62.4	✓	30.7	✓	✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1BathMedia at 68.95sqm internal and 25sqm external area. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 62.4sqm internal and 30.7sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-103	2 Bed					76.0	✓	38	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed2Bath at 74.43sqm internal and 30sqm external area. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 76.0sqm internal and 38sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-104	2 Bed					75.3	✓	8.5		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 75.97sqm internal and 7.25sqm external area. The second bedroom did not have a window necessitating replanning of the apartment such that a window was possible, in turn this required minor facade changes. fjmt revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.3sqm internal and 8.5sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area, as well as having a window in the bedroom.
	NS-1A-105	1 Bed		✓			66.2	✓	19.8	✓	✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1BathStudy at 64.05sqm internal and 11sqm external area. The second bedroom did not have a window and necessitating replanning of the apartment. The study did not have a window. fjmt revised planning includes standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 66.2sqm internal and 19.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-106	2 Bed					75.3	✓	8.5		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 72.39sqm internal and 7.5sqm external area. fjmt revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.3sqm internal and 8.5sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-107	2 Bed					76.7	✓	8.5		✓	✓		✓	✓	✓	✓	✓		✓	1	This apartment planning change is essentially a swap with apartment 109. The approved 107plan was non-compliant and has been revised to be a compliant 2Bed. In turn, these changes had an impact on the area of apartment 109 which was revised to be a 1 Bed offer. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 76.7sqm internal and 8.5sqm external area. An improvement in the quality of the amenity provided and the useable apartment area..
	NS-1A-108	2 Bed					75.3	✓	8.5		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 72.21sqm internal and 7.5sqm external area. fjmt revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.3sqm internal and 8.5sqm external area. A nice increase in the quality of the amenity provided and the useable apartment area..
	NS-1A-109	1 Bed		✓			67.3	✓	7.2		✓	✓		✓	✓	✓	✓			✓	1	Approved as a 2Bed2Bath at 84.35sqm internal and 16sqm external area. This apartment planning change is essentially a swap with apartment 107. 107 was approved as a non-compliant 1 bed and has been revised to be a compliant 2Bed. In turn, these changes had an impact on the area of apartment 109 which was revised to be a 1 Bed offer. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 67.3sqm internal and 7.2sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-110	2 Bed					75.2	✓	21.8	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 70.35sqm internal and 15sqm external area. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.2sqm internal and 21.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-111	3 Bed	✓				103.0	✓	30	✓	✓	✓		✓	✓	✓	✓	✓	✓	✓	1	Approved as a 2Bed1BathMedia at 102.56sqm internal and 25sqm external area. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 3B2BStudy with 103.0sqm internal and 30sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.

Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1A																						General Note: The location of fire stairs was adjusted to deliver better planning outcomes for the apartments. In turn a new layout plan was developed which delivers compliant internal apartment storage, windows in bedrooms and studies and overall a dramatic improvement in amenity in more efficient and thereby affordable plans. These changes required minor amendments to facade alignments with no increase in GFA for the block.
	2nd to 4th Floor																					
	NS-1A-201,301,401	2 Bed	✓				87.1	✓	23.8	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed2Bath at 79.03sqm internal and 30sqm external area. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B1BMedia with 87.1sqm internal and 23.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-202,302,402	1 Bed		✓			62.6	✓	19.6	✓	✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1BathMedia at 68.95sqm internal and 25sqm external area. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 62.6sqm internal and 19.6sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-203,303,403	2 Bed					76.3	✓	9.6		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed2Bath at 74.44sqm internal and 10sqm external area. fjmt revised planning includes standalone laundry and now provides compliant internal storage to achieve a 2B2B with 76.3sqm internal and 9.6sqm external area. A good increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-204,304,404	2 Bed					75.3	✓	7.9		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 75.97sqm internal and 7.25sqm external area. The second bedroom did not have a window and necessitating replanning of the apartment such that a window was possible, in turn this required minor facade changes. fjmt revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.3sqm internal and 7.9sqm external area. A good increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-205,305,405	1 Bed		✓			66.5	✓	7.3		✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1BathStudy at 64.05sqm internal and 11sqm external area. The second bedroom did not have a window and necessitating replanning of the apartment. The study did not have a window. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 66.5sqm internal and 7.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-206,306,406	2 Bed					75.3	✓	7.9		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 72.39sqm internal and 7.5sqm external area. fjmt revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.3sqm internal and 7.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-207,307,407	2 Bed					77.0	✓	8.3		✓	✓		✓	✓	✓	✓	✓		✓	1	This apartment planning change is essentially a swap with apartment 109. The approved 107plan was non-compliant and has been revised to be a compliant 2Bed. In turn, these changes had an impact on the area of apartment 109 which was revised to be a 1 Bed offer. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 77.0sqm internal and 8.3sqm external area. An improvement in the quality of the amenity provided and the useable apartment area..
	NS-1A-208,308,408	2 Bed					75.3	✓	7.9		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 72.21sqm internal and 7.5sqm external area. fjmt revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.3sqm internal and 7.9sqm external area. nice increase in the quality of the amenity provided and the useable apartment area..
	NS-1A-209,309,409	1 Bed		✓			67.6	✓	7.1		✓	✓		✓	✓	✓	✓			✓	1	Approved as a 2Bed2Bath at 84.35sqm internal and 16sqm external area. This apartment planning change is essentially a swap with apartment 107. 107 was approved as a non-compliant 1 bed and has been revised to be a compliant 2Bed. In turn, these changes had an impact on the area of apartment 109 which was revised to be a 1 Bed offer. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 67.8sqm internal and 7.1sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-210,310,410	2 Bed					75.2	✓	11.6	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 70.35sqm internal and 15sqm external area. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.2sqm internal and 11.6sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-211,311,411	3 Bed	✓				103.1	✓	18.2	✓	✓	✓		✓	✓	✓	✓	✓	✓	✓	1	Approved as a 2Bed1BathMedia at 102.55sqm internal and 25sqm external area. fjmt revised planning includes standalone laundry and now provides compliant internal storage to achieve a 3B2BStudy with 103.1sqm internal and 18.2sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.

Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1A																						General Note: The location of fire stairs was adjusted to deliver better planning outcomes for the apartments. In turn a new layout plan was developed which delivers compliant internal apartment storage, windows in bedrooms and studies and overall a dramatic improvement in amenity in more efficient and thereby affordable plans. These changes required minor amendments to facade alignments with no increase in GFA for the block.
	5th Floor																					
	NS-1A-501	2 Bed	✓				87.1	✓	23.8	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed2Bath at 79.03sqm internal and 30sqm external area. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2BStudy with 87.1sqm internal and 23.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-502	1 Bed		✓			62.6	✓	19.6	✓	✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1BathMedia at 68.95sqm internal and 25sqm external area. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 62.6sqm internal and 19.6sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-503	2 Bed					76.3	✓	9.6		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed2Bath at 74.44sqm internal and 10sqm external area. fjmt revised planning includes standalone laundry and now provides compliant internal storage to achieve a 2B2B with 76.3sqm internal and 9.6sqm external area. A good increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-504	2 Bed					75.3	✓	7.9		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 75.97sqm internal and 7.25sqm external area. The second bedroom did not have a window and necessitating replanning of the apartment such that a window was possible, in turn this required minor facade changes. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.3sqm internal and 7.9sqm external area. A good increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-505	1 Bed		✓			66.5	✓	7.3		✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1BathStudy at 64.05sqm internal and 11sqm external area. The second bedroom did not have a window and necessitating replanning of the apartment. The study did not have a window. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 66.5sqm internal and 19.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-506	2 Bed					75.3	✓	7.9		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 72.39sqm internal and 7.5sqm external area. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.3sqm internal and 7.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-507	2 Bed					77.0	✓	8.3		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 1Bed1Bath at 54.59sqm internal and 8sqm external area. This apartment planning change is essentially a swap with apartment 109. The approved 107plan was non-compliant and has been revised to be a compliant 2Bed. In turn, these changes had an impact on the area of apartment 109 which was revised to be a 1 Bed offer. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 77sqm internal and 8.3sqm external area. An improvement in the quality of the amenity provided and the useable apartment area..
	NS-1A-508	2 Bed					75.3	✓	7.9		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 72.21sqm internal and 7.5sqm external area. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.3sqm internal and 7.9sqm external area. A nice increase in the quality of the amenity provided and the useable apartment area..
	NS-1A-509	1 Bed		✓			67.6	✓	7.1		✓	✓		✓	✓	✓	✓			✓	1	Approved as a 2Bed2Bath at 84.35sqm internal and 16sqm external area. This apartment planning change is essentially a swap with apartment 107. 107 was approved as a non-compliant 1 bed and has been revised to be a compliant 2Bed. In turn, these changes had an impact on the area of apartment 109 which was revised to be a 1 Bed offer. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 67.6sqm internal and 7.1sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-510	2 Bed					75.2	✓	11.6	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 70.35sqm internal and 15sqm external area. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.2sqm internal and 11.6sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-511	3 Bed	✓				103.1	✓	18.2	✓	✓	✓		✓	✓	✓	✓	✓	✓	✓	1	Approved as a 2Bed1BathMedia at 102.55sqm internal and 25sqm external area. fjmt revised planning includes standalone laundry and now provides compliant internal storage to achieve a 3B2BStudy with 103.1sqm internal and 18.2sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.

Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1A																						General Note: The location of fire stairs was adjusted to deliver better planning outcomes for the apartments. In turn a new layout plan was developed which delivers compliant internal apartment storage, windows in bedrooms and studies and overall a dramatic improvement in amenity in more efficient and thereby affordable plans. These changes required minor amendments to facade alignments with no increase in GFA for the block.
	6th Floor																					
	NS-1A-601	2 Bed	✓				108.0	✓	49.1	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed2BathMedia at 99.36sqm internal and 50sqm external area. fjmt revised planning includes standalone laundry and now provides compliant internal storage to achieve a 2B2BStudy Penthouse with 108.0sqm internal and 49.1sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-602	2 Bed	✓				88.2	✓	45.2	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed2BathMedia at 87.2sqm internal and 45sqm external area. fjmt revised planning includes standalone laundry and now provides compliant internal storage to achieve a 2B2BStudy Penthouse with 88.2sqm internal and 45.2sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-603	2 Bed					70.6	✓	13	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 1Bed1BathMedia at 68.69sqm internal and 12sqm external area. fjmt revised planning includes a Powder Room, standalone laundry and now provides compliant internal storage to achieve a 2B1B with 70.6sqm internal and 13sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-604	1 Bed		✓			58.5	✓	15.5	✓	✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1Bath at 56.88sqm internal and 11sqm external area. The second bedroom did not have a window and necessitating replanning of the apartment. The study did not have a window. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 58.5sqm internal and 15.5sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-605	2 Bed					70.6	✓	12.6	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 1Bed1BathMedia at 65.32sqm internal and 13sqm external area. fjmt revised planning includes a Powder Room, standalone laundry and now provides compliant internal storage to achieve a 2B1B with 70.6sqm internal and 12.6sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-606	2 Bed					70.6	✓	13.4	✓	✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1BathMedia at 64.20sqm internal and 13sqm external area. fjmt revised planning includes a Powder Room, standalone laundry and now provides compliant internal storage to achieve a 2B1B with 70.6sqm internal and 13.4sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-607	3 Bed				✓	131.9	✓	31.6	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed2BathStudy at 105.82sqm internal and 30sqm external area. fjmt revised this very large 2 bedroom apartment into a Dual Key offer of a 2 Bed and 1 Bed hybrid. fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a Dual-Key offer made up of 2B2B+1B1B with 131.9sqm internal and 31.6sqm external area. A significant increase in the quality of the amenity provided, the useable apartment area and affordability of the product,

Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1B																						General Note: The gym and function room locations were reviewed and it was believed they were too disconnected from the pool area. This meant that the apartment previously located on the west moved to the east and now faces onto a generous courtyard and landscaping facing the terraces of other apartments. This change also had the benefits of moving possible noise conflicts between ground floor apartments and the pool activity areas.
	All Floors																					
	First Floor																					
	NS-1B-101	2 Bed					94.7	✓	33.2	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Ground floor apartment location swapped with Gym and Function room to have beer relationship with adjoining residential apartments.
	NS-1B-102	1 Bed					50.7	✓	34.1	✓	✓	✓		✓	✓	✓	✓			✓	1	Minor modifications
	NS-1B-103	1 Bed					50.6	✓	8	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	Minor modifications
	2nd - 6th Floor																					
	NS-1B-201,301,401,501,601	3 Bed					102.4	✓	11.6	✓	✓	✓		✓	✓	✓	✓	✓	✓	✓	1	No change
	NS-1B-202,302,402,502,602	2 Bed			✓		77.1	✓	9.6			✓		✓	✓	✓	✓	✓		✓	1	No change
	NS-1B-203,303,403,503,603	1 Bed					50.6	✓	8.2	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	No change
	NS-1B-204,304,404,504,604	2 Bed					79.6	✓	9.8			✓		✓	✓	✓	✓	✓		✓	1	No change
	7th Floor																					
	NS-1B-701	3 Bed					115.7	✓	11.6	✓	✓	✓		✓	✓	✓	✓	✓	✓	✓	1	No change
	NS-1B-702	2 Bed			✓		77.1	✓	9.6	■	✓	✓		✓	✓	✓	✓	✓		✓	1	No change
	NS-1B-703	1 Bed					46.1	✓	0			✓	✓	✓	✓	✓	✓			✓	1	No change
	NS-1B-704	2 Bed					79.6	✓	9.8	■	✓	✓		✓	✓	✓	✓	✓		✓	1	No change

11.0 S75W Drawing Submission





- GENERAL NOTES**
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 - ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
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exterior finishes schedule

Code	Location	Item	Finish/Colour
ACM01	Pylon Sign	Aluminium Sheet, Type 01	Indiana Copper # 704
ALF01	Facade, Window Frame	Aluminium Finish, Type 01	Colour - Asteroid Pearl (Bronze)
ALF02	Facade, Window Frame	Aluminium Finish, Type 02	Colour - Hog Bristle Matt. Code-18PD042/2
ALF03	Awings	Aluminium Finish, Type 03	To be confirmed
BS01	Residential Balconies	Balustrade System, Type 01	Framed glass with aluminium framing
BS02	Landscape Podium	Balustrade System, Type 02	Framed glass with aluminium framing
CRP	Balcony Ceilings, External Walls	Concrete Render & Paint	Ceilings - White and External Walls - Dulux Terrible Billy
FAC#	Facade, External Wall	Facade, Type # refer to wall type schedule for details on plan A10003	Refer to Elevations A31000 Series for PS# colour
FAC01	Facade, External Wall	Colour through compressed fibre cement rain screen facade system	Colour refer to Paint System
FIN01	Facade	Facade, Aluminium Fin Type 01	One Side of Fins: Dulux Cinnamon Sand, S10F7 (PS04) & Other Side of Fins: Metallic Paper Brown (Copper) (PS05)
FIN02	Facade	Facade, Aluminium Fin Type 02	Refer to Elevations A31000 for PS# colour
FIN03	Facade	Facade, Aluminium Fin Type 03	Refer to Elevations A31000 for PS# colour
FIN04	Facade	Facade, Aluminium Fin Type 04	Dulux Hog Bristle S14D1 (PS02)
GRC01	Retail Facade	Column Cladding, Type 01	Terracotta Colour
PAW01	Outside Footpath, Awings Area	Paving, Type 01	Refer landscape drawings
PAW02	Car Park Entry Zone	Paving, Type 02	Refer landscape drawings
PAW04	Podium Landscape Area	Paving, Type 04	Refer landscape drawings
PS01	Facade, External Wall	Paint System (Exterior), Type 01	Dulux - Colour 'Terrible Billy' NZ10H5
PS02	Facade, External Wall	Paint System (Exterior), Type 02	Dulux - Colour 'Hog Bristle' S14D1
PS03	Facade, External Wall	Paint System (Exterior), Type 03	Dulux - Colour 'Humble Fawn' SN3G6
PS04	Facade, External Wall	Paint System (Exterior), Type 04	Dulux - Colour 'Cinnamon Sand' S10F7
PS05	Facade, External Wall	Paint System (Exterior), Type 05	Colour 'Metallic Paper Brown (Copper)'
RF2	Roof Terrace Bar Joinery	Resilient Finish, Type 2	Cinrus White [E]
TC01	Retail Facade Cladding	Terracotta, Type 01	Colour 'Sandbank'
TMO1	Awings, Canopies, Eaves, Side Panels, Soffit, Mail Ceiling	Timber, Type 01	Milano Terra
TMO2	Roof Terrace Bar Deck	Timber, Type 02	Australian hardwood - Blackbutt

section 75W drawing list

Drawing No	Drawing Name	Revision
S75W13000	Cover Sheet	04
S75W13001	Site Plan	04
S75W13002	Ground Floor Plan	12
S75W13003	Podium Level Floor Plans	16
S75W13004	2nd to 4th Floor	05
S75W13005	5th Floor	05
S75W13006	6th Floor	05
S75W13007	7th Floor	04
S75W13008	8th Floor	03
S75W13009	Roof	04
S75W13011	Basement 2	12
S75W13012	Basement 3	07
S75W13013	Elevation North	06
S75W13014	Elevation South	06
S75W13015	Elevation East	06
S75W13016	Elevation West	06
S75W13017	Elevations	06
S75W13018	Elevations	06
S75W13019	Sections	06
S75W13020	Evans Avenue Photomontages	04
S75W13021	Gardens Road Photomontages	09
S75W13022	Adaptable Units	06
S75W13023	Shedway Awings	04
S75W13024	Area Schedule	05
S75W13025	Building 1 ADG Compliance Analysis	02
S75W13026	Building 1A ADG Compliance Analysis	02
S75W13027	Building 1B ADG Compliance Analysis	01

waste room legend

Icon	Waste Unit	Type	Volume
	Bin Litter	Refer Spec	240L
	E-Divertor	Refer Spec	N/A
	Recycling Bin	MGB	240L
	Recycling Bin	MGB	660L
	Service Bin	MGB	660L
	Waste Bin	MGB	660L
	Waste Collector Carousel - 3 point	---	---
	Waste Collector Carousel - 4 point	---	---
	Waste Collector Linear Track - 3 point Waste	---	---
	Waste Collector Linear Track - 3 point Recycling	---	---



04	21/3/20	S75W Submission	SB
03	16/8/19	S75W Updated Package for DPE review	SB

rev	date	name	by	chk
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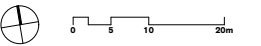
project
EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title
Section 75W Application Cover Sheet

scale Not to Scale first issued 02/05/2017

project code	sheet no.	revision
CGEN	S75W130000	04

For Approval



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Legend	
Code	Item
ACM01	Aluminium Sheet, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Aluminium Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FAC#	Facade, Type # refer to wall type schedule for details on plan A10003
FAC01	Colour through compressed fibre cement rain screen facade system
FIN01	Facade, Aluminium Fin Type 01
FIN02	Facade, Aluminium Fin Type 02
FIN03	Facade, Aluminium Fin Type 03
FIN04	Facade, Aluminium Fin Type 04
GRC01	Glass Reinforced Concrete, Type 01
PW01	Paving, Type 01
PW02	Paving, Type 02
PW04	Paving, Type 04
PS01	Plant System (Exterior), Type 01
PS02	Plant System (Exterior), Type 02
PS03	Plant System (Exterior), Type 03
PS04	Plant System (Exterior), Type 04
PS05	Plant System (Exterior), Type 05
RF2	Resilient Finish, Type 2
TC01	Terracotta, Type 01
TM01	Timber, Type 01
TM02	Timber, Type 02

04	21/3/20	STSW Submission	SB
03	14/8/19	STSW Updated Package for CPE review	SB

rev	date	name	ID	description	by	chk
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project
EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title
**Section 75W Application
Site Plan**

scale 1:500 @ A1 first issued 02/05/2017

project code CGEN sheet no. S75W130001 revision 04

Approval

Code	Apartment Type
1B	1 Bed
1B+M	1 Bed + Media
1B+S	1 Bed + Study
2B	2 Bed
2B+M	2 Bed + Media
2B+S	2 Bed + Study
3B	3 Bed
3B+M	3 Bed + Media
3B+S	3 Bed + Study
4B	4 Bed
4B+M	4 Bed + Media
4B+S	4 Bed + Study

Allocation	Class	Quantity
Retail Loading 01	Custom	1
Retail Loading 02	Custom	1
Retail Loading 03	Custom	1
Retail	SA 2.7	96
Retail	Accessible 2.4	2
Retail	Motorcycle	12
Retail	Small Car	2
Retail	Custom	1
Retail	SA 2.7	57
Retail	Accessible 2.4	6
Retail	Small Car	1
Retail	SA 2.7	34
Retail	Accessible 2.4	2
Retail	Motorcycle	8
Retail	Accessible 2.4	5

Allocation	Type	Quantity
Retail Visitor	Horizontal Parking	26
Retail Visitor	Horizontal Parking	20
Retail Apartment	Storage Cage	62
Retail Apartment	Storage Cage	73





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Code	Item
ACMD	Aluminium Sheet, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Aluminium Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FAC#	Facade Type # refer to wall type schedule for details on plan A10003
FAC01	Colour through compressed fibre cement rain screen facade system
FIN01	Facade, Aluminium Fin Type 01
FIN02	Facade, Aluminium Fin Type 02
FIN03	Facade, Aluminium Fin Type 03
FIN04	Facade, Aluminium Fin Type 04
GRCO	Glass Reinforced Concrete, Type 01
PAV01	Paving, Type 01
PAV02	Paving, Type 02
PAV04	Paving, Type 04
PS01	Paint System (Exterior), Type 01
PS02	Paint System (Exterior), Type 02
PS03	Paint System (Exterior), Type 03
PS04	Paint System (Exterior), Type 04
PS05	Paint System (Exterior), Type 05
RP2	Resilient Finish, Type 2
TC01	Terracotta, Type 01
TIM01	Timber, Type 01
TIM02	Timber, Type 02

Code	Apartment Type
1B	1 Bed
1B+M	1 Bed + Media
1B+S	1 Bed + Study
2B	2 Bed
2B+M	2 Bed + Media
2B+S	2 Bed + Study
3B	3 Bed
3B+M	3 Bed + Media
3B+S	3 Bed + Study
4B	4 Bed
4B+M	4 Bed + Media
4B+S	4 Bed + Study

Building	Apartment Type	Count
Building 1	1 BED APARTMENT	4
	2 BED APARTMENT	4
Building 1A	1 BED APARTMENT	3
	2 BED APARTMENT	7
	3 BED APARTMENT	1
Building 1B	1 BED APARTMENT	2
	2 BED APARTMENT	1
		22

Waste Unit	Type	Volume	Quantity
First Floor, BUILDING 1, GBA	Recycling	MSB	240L 2
First Floor, BUILDING 1A, GBA	Recycling	MSB	240L 2
First Floor, BUILDING 1B, GBA	Recycling	MSB	240L 2

NOTES:
- REFER TO LANDSCAPE DOCUMENTATION FOR LANDSCAPE WORKS

rev	date	name	ID	description	by	chk
16	6/4/20	STW Submission	16A	STW020: Apartment Layout & Area charges	GB	
15	21/3/20	STW Submission			SB	
14	16/2/20	DRAFT STW Submission for DPE Comment			SB	
13	16/8/19	STW Updated Package for DPE review			SB	

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project
EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title
Section 75W Application
Podium Level Floor Plans

scale	1:200 @ A1	first issued	02/05/2017
project code	CGEN	sheet no.	revision
		S75W130003	16

For Approval



GENERAL NOTES

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Code	Item
ACM0	Aluminium Sheet, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Aluminium Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FAC#	Facade, Type # refer to wall type schedule for details on plan A10003
FAC01	Colour through compressed fibre cement rain screen facade system
FIN01	Facade, Aluminium Fin Type 01
FIN02	Facade, Aluminium Fin Type 02
FIN03	Facade, Aluminium Fin Type 03
FIN04	Facade, Aluminium Fin Type 04
GRC0	Glass Reinforced Concrete, Type 01
PAV01	Paving, Type 01
PAV02	Paving, Type 02
PAV04	Paving, Type 04
PS01	Paint System (Exterior), Type 01
PS02	Paint System (Exterior), Type 02
PS03	Paint System (Exterior), Type 03
PS04	Paint System (Exterior), Type 04
PS05	Paint System (Exterior), Type 05
RP2	Resilient Finish, Type 2
TC01	Terracotta, Type 01
TIM01	Timber, Type 01
TIM02	Timber, Type 02

Code	Apartment Type
1B	1 Bed
1B+M	1 Bed + Media
1B+S	1 Bed + Study
2B	2 Bed
2B+M	2 Bed + Media
2B+S	2 Bed + Study
3B	3 Bed
3B+M	3 Bed + Media
3B+S	3 Bed + Study
4B	4 Bed
4B+M	4 Bed + Media
4B+S	4 Bed + Study

Building	Apartment Type	Count
Building 1	1 BED APARTMENT	4
	2 BED APARTMENT	4
Building 1A	1 BED APARTMENT	3
	2 BED APARTMENT	7
	3 BED APARTMENT	1
Building 1B	1 BED APARTMENT	1
	2 BED APARTMENT	2
	3 BED APARTMENT	1
		23

Waste Unit	Type	Volume	Quantity
4th Floor, BUILDING 1, GBA	Recycling	240L	2
4th Floor, BUILDING 1A, GBA	Recycling	240L	2
4th Floor, BUILDING 1B, GBA	Recycling	240L	2
4th Floor, BUILDING 1, GBA	Chiller		1

rev	date	name	ID	description	by	chk
05	6/4/20	STW Submission	05A	STW02 - Apartment Layout & Area changes	GB	
04	21/3/20	STW Submission			SB	
03	16/8/19	STW Updated Package for DPPE review			SB	

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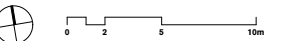
project
EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title
Section 75W Application
2nd to 4th Floor

scale 1:200 @ A1 first issued 02/05/2017
project code sheet no. revision

CGEN S75W130004 05

For Approval



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Code	Item
ACM0	Aluminium Sheet, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Aluminium Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FAC#	Facade Type # refer to wall type schedule for details on plan A10003
FAC01	Colour through compressed fibre cement rain screen facade system
FIN01	Facade, Aluminium Fin Type 01
FIN02	Facade, Aluminium Fin Type 02
FIN03	Facade, Aluminium Fin Type 03
FIN04	Facade, Aluminium Fin Type 04
GRC0	Glass Reinforced Concrete, Type 01
PAV01	Paving, Type 01
PAV02	Paving, Type 02
PAV04	Paving, Type 04
PS01	Paint System (Exterior), Type 01
PS02	Paint System (Exterior), Type 02
PS03	Paint System (Exterior), Type 03
PS04	Paint System (Exterior), Type 04
PS05	Paint System (Exterior), Type 05
RP2	Resilient Finish, Type 2
TC01	Terracotta, Type 01
TIM01	Timber, Type 01
TIM02	Timber, Type 02

Code	Apartment Type
1B	1 Bed
1B+M	1 Bed + Media
1B+S	1 Bed + Study
2B	2 Bed
2B+M	2 Bed + Media
2B+S	2 Bed + Study
3B	3 Bed
3B+M	3 Bed + Media
3B+S	3 Bed + Study
4B	4 Bed
4B+M	4 Bed + Media
4B+S	4 Bed + Study

Building	Apartment Type	Quantity
Building 1	1 BED APARTMENT	4
	2 BED APARTMENT	4
Building 1A	1 BED APARTMENT	4
	2 BED APARTMENT	7
Building 1B	1 BED APARTMENT	1
	2 BED APARTMENT	2
	3 BED APARTMENT	1
		23

Waste	Unit	Type	Volume	Quantity
5th Floor, BUILDING 1, GBA				
Recycling	MGB	240L	2	
5th Floor, BUILDING 1A, GBA				
Recycling	MGB	240L	2	
5th Floor, BUILDING 1B, GBA				
Waste				1

rev	date	name	ID	description	by	chk
05	6/4/20	STSW Submission	05A	STSW020 - Apartment Layout & Area changes	GB	
04	21/3/20	STSW Submission			SB	
03	16/8/19	STSW Updated Package for DPE review			SB	

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project
EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title
Section 75W Application
5th Floor

scale	1:200 @ A1	first issued	02/05/2017
project code	sheet no.	revision	
CGEN	S75W130005	05	



02052017

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5

10m

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USE FIGURED DIMENSIONS ONLY.

Code	Item
ACM0	Aluminum Sheet, Type 01
ALF01	Aluminum Finish, Type 01
ALF02	Aluminum Finish, Type 02
ALF03	Aluminum Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FAC01	Facade, Type # refer to wall type schedule for details on plan A10003
FAC01	Colour through compressed fibre cement rain screen facade system
FIN01	Facade, Aluminum Fin Type 01
FIN02	Facade, Aluminum Fin Type 02
FIN03	Facade, Aluminum Fin Type 03
FIN04	Facade, Aluminum Fin Type 04
GRC0	Glass Reinforced Concrete, Type 01
PW01	Paving, Type 01
PW02	Paving, Type 02
PW04	Paving, Type 04
PS01	Paint System (Exterior), Type 01
PS02	Paint System (Exterior), Type 02
PS03	Paint System (Exterior), Type 03
PS04	Paint System (Exterior), Type 04
PS05	Paint System (Exterior), Type 05
RF2	Resilient Finish, Type 2
TC01	Terracotta, Type 01
TIM01	Timber, Type 01
TIM02	Timber, Type 02

Code	Apartment Type
1B	1 Bed
1B+M	1 Bed + Media
1B+S	1 Bed + Study
2B	2 Bed
2B+M	2 Bed + Media
2B+S	2 Bed + Study
3B	3 Bed
3B+M	3 Bed + Media
3B+S	3 Bed + Study
4B	4 Bed
4B+M	4 Bed + Media
4B+S	4 Bed + Study

Building	Apartment Type	Count
Building 1	2 BED APARTMENT	2
	3 BED APARTMENT	2
Building 1A	1 BED APARTMENT	1
	2 BED APARTMENT	5
	3 BED APARTMENT	1
Building 1B	1 BED APARTMENT	1
	2 BED APARTMENT	2
	3 BED APARTMENT	1
	TOTAL	15

Waste Unit	Type	Volume	Quantity
6th Floor, BUILDING 1, GBA	MGB	240L	2
6th Floor, BUILDING 1A, GBA	MGB	240L	2
6th Floor, BUILDING 1B, GBA	MGB	240L	2

rev	date	name	ID	description	by	chk
05	6/4/20	STSW Submission	05A	STSW20 - Apartment Layout & Area changes	GB	
04	21/3/20	STSW Submission			SB	
03	16/8/19	STSW Updated Package for DP/E			SB	

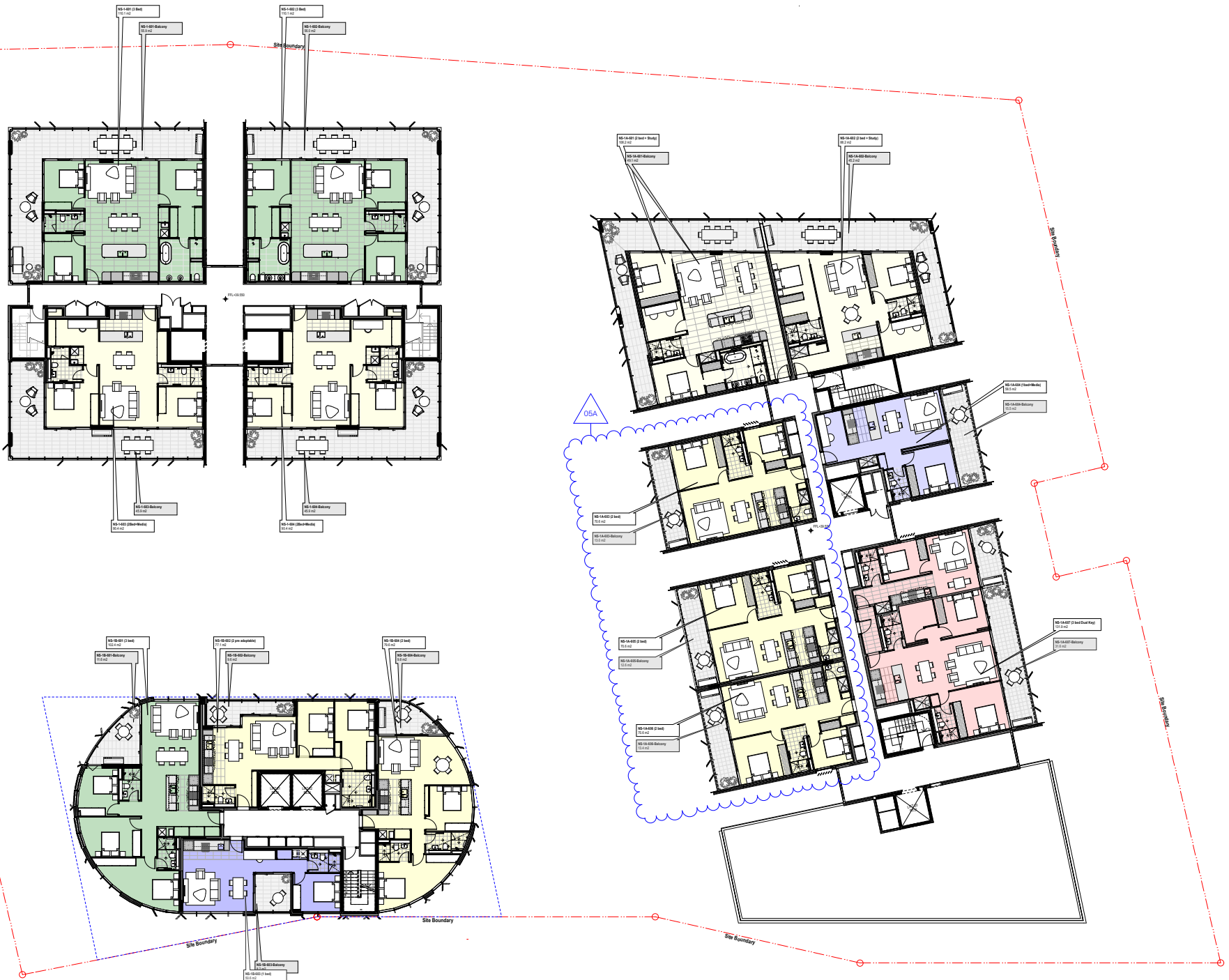
client
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project
EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title
Section 75W Application
6th Floor

scale	1:200 @ A1	first issued	02/05/2017
project code	CGEN	sheet no.	S75W130006
revision			05



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GENERAL NOTES

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.

ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.

DO NOT SCALE DRAWINGS.

USE FIGURED DIMENSIONS ONLY.

Code	Item
ACM01	Aluminium Sheet, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Aluminium Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FAC#	Facade, Type # refer to wall type schedule for details on plan A1 0003
FAC01	Colour through compressed fibre cement rain screen facade system
FIN#1	Finish, Aluminium Fin Type 01
FIN02	Facade, Aluminium Fin Type 02
FIN03	Facade, Aluminium Fin Type 03
FIN04	Facade, Aluminium Fin Type 04
GRC01	Glass Reinforced Concrete, Type 01
PRV01	Paving, Type 01
PRV02	Paving, Type 02
PRV04	Paving, Type 04
PS01	Paint System (Exterior), Type 01
PS02	Paint System (Exterior), Type 02
PS03	Paint System (Exterior), Type 03
PS04	Paint System (Exterior), Type 04
PS05	Paint System (Exterior), Type 05
RF2	Resilient Finish, Type 2
TC01	Terracotta, Type 01
TMD01	Timber, Type 01
TMD2	Timber, Type 02

Code	Apartment Type
1B	1 Bed
1B+M	1 Bed + Media
1B+S	1 Bed + Study
2B	2 Bed
2B+M	2 Bed + Media
2B+S	2 Bed + Study
3B	3 Bed
3B+M	3 Bed + Media
3B+S	3 Bed + Study
4B	4 Bed
4B+M	4 Bed + Media
4B+S	4 Bed + Study

Building 1B	1 BED APARTMENT	2 BED APARTMENT	3 BED APARTMENT
	1	2	1
			4

Waste Unit	Type	Volume	Quantity
7th Floor, Buildings 1B, 2B, 3B, 4B	Waste Unit	1	1

04	21/3/20	STW Submission	SB
03	16/8/19	STW Updated Package for DPE review	SB

rev	date	name	ID	description	by	chk
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project

EASTLAKES TOWN CENTRE - NORTH SITE

Evans Avenue Eastlakes

SYDNEY NSW 2018

title

Section 75W Application

7th Floor

scale	1:200 @ A1	first issued	02/05/2017
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project code	sheet no.	revision
CGEN	S75W130007	04

For Approval

02

04

06

08

10m

GENERAL NOTES

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.

ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.

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USE FIGURED DIMENSIONS ONLY.

Code	Item
ACM01	Aluminium Sheet, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Aluminium Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FAC#	Facade, Type # refer to wall type schedule for details on plan A1.0003
FAC01	Colour through compressed fibre cement rain screen facade system
FIN01	Facade Aluminium Fin Type 01
FIN02	Facade, Aluminium Fin Type 02
FIN03	Facade, Aluminium Fin Type 03
FIN04	Facade, Aluminium Fin Type 04
GRC01	Glass Reinforced Concrete, Type 01
PW01	Paving, Type 01
PW02	Paving, Type 02
PW04	Paving, Type 04
PS01	Paint System (Exterior), Type 01
PS02	Paint System (Exterior), Type 02
PS03	Paint System (Exterior), Type 03
PS04	Paint System (Exterior), Type 04
PS05	Paint System (Exterior), Type 05
RF2	Resilient Finish, Type 2
TC01	Terracotta, Type 01
TMD1	Timber, Type 01
TMD2	Timber, Type 02


Code	Apartment Type
1B	1 Bed
1B+M	1 Bed + Media
1B+S	1 Bed + Study
2B	2 Bed
2B+M	2 Bed + Media
2B+S	2 Bed + Study
3B	3 Bed
3B+M	3 Bed + Media
3B+S	3 Bed + Study
4B	4 Bed
4B+M	4 Bed + Media
4B+S	4 Bed + Study

03	21/3/20	STW Submission	SB
02	16/9/19	STW Updated Package for DPE review	SB

rev	date	name	ID	description	by	chk
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project

EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title

Section 75W Application
8th Floor

scale

1:200 @ A1

first issued

02/05/2017

project code

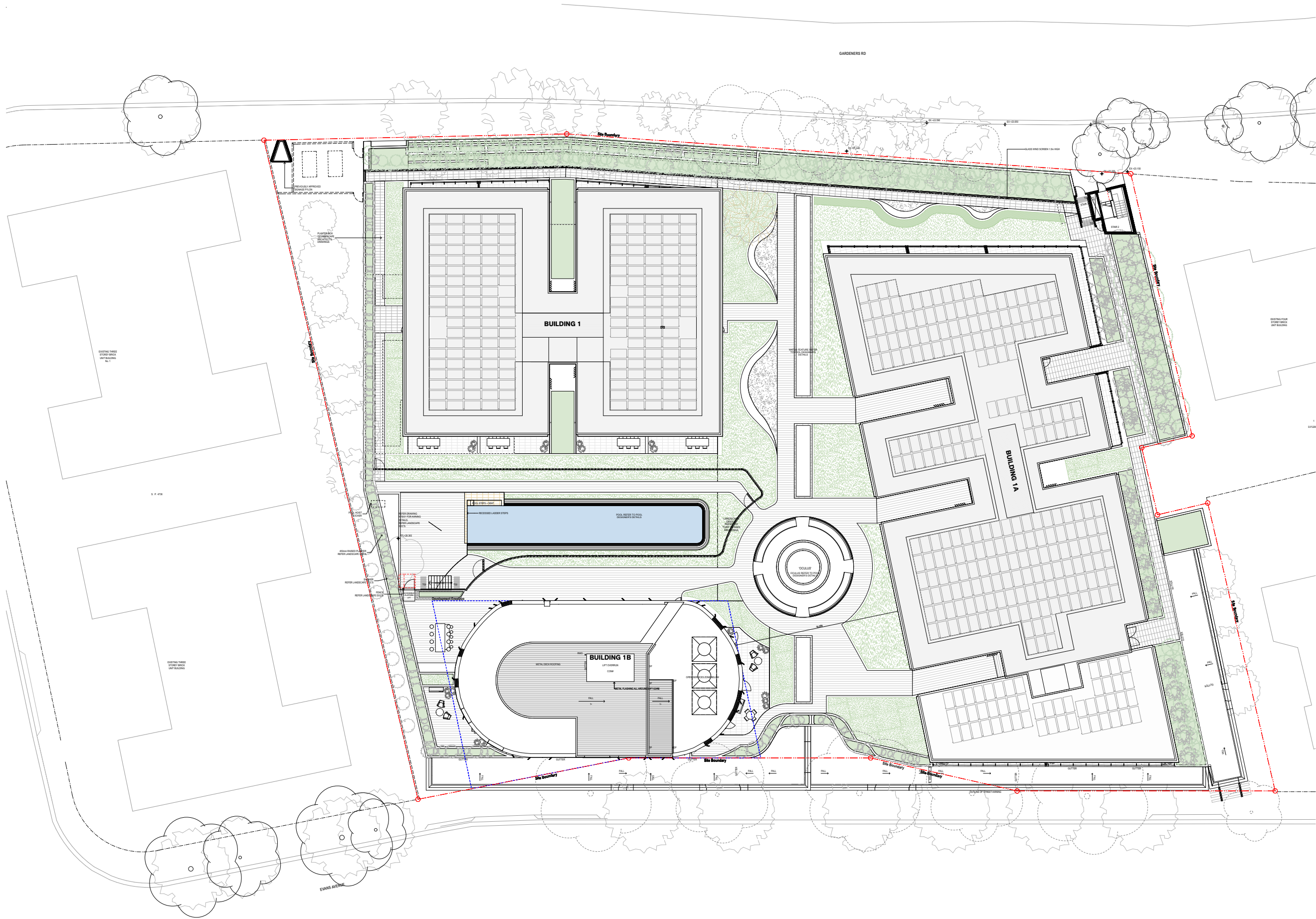
CGEN

sheet no.

S75W130008

revision

03



GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
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Code	Item
ACM01	Aluminium Sheet, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Aluminium Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FAC#	Facade, Type # refer to wall type schedule for details on plan A1/0003
FAC01	Colour through compressed fibre cement rain screen facade system
FIN#1	Finish, Aluminium Fin Type 01
FIN02	Facade, Aluminium Fin Type 02
FIN03	Facade, Aluminium Fin Type 03
FIN04	Facade, Aluminium Fin Type 04
GRC01	Glass Reinforced Concrete, Type 01
PRW01	Paving, Type 01
PRW02	Paving, Type 02
PRW04	Paving, Type 04
PS01	Paint System (Exterior), Type 01
PS02	Paint System (Exterior), Type 02
PS03	Paint System (Exterior), Type 03
PS04	Paint System (Exterior), Type 04
PS05	Paint System (Exterior), Type 05
RF2	Resilient Finish, Type 2
TC01	Terracotta, Type 01
TMD1	Timber, Type 01
TMD2	Timber, Type 02

Code	Apartment Type
1B	1 Bed
1B+M	1 Bed + Media
1B+S	1 Bed + Study
2B	2 Bed
2B+M	2 Bed + Media
2B+S	2 Bed + Study
3B	3 Bed
3B+M	3 Bed + Media
3B+S	3 Bed + Study
4B	4 Bed
4B+M	4 Bed + Media
4B+S	4 Bed + Study

04	21/3/20	STW Submission	SB
03	16/8/19	STW Updated Package for DPE review	SB

rev	date	name	ID	description	by	chk

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project
EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title
Section 75W Application
Roof

scale 1:200 @ A1 first issued 02/05/2017

project code CGEN sheet no. S75W130009 revision 04



- GENERAL NOTES**
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
 - ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
 - DO NOT SCALE DRAWINGS.
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Legend

Code	Item
ACM01	Aluminium Sheet, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Aluminium Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FAC#	Facade, Type # refer to wall type schedule for details on plan A1 0003
FAC01	Colour through compressed fibre cement rain screen facade system
FIN01	Facade, Aluminium Fin Type 01
FIN02	Facade, Aluminium Fin Type 02
FIN03	Facade, Aluminium Fin Type 03
FIN04	Facade, Aluminium Fin Type 04
GRC01	Glass Reinforced Concrete, Type 01
PRV01	Paving, Type 01
PRV02	Paving, Type 02
PRV04	Paving, Type 04
PS01	Paint System (Exterior), Type 01
PS02	Paint System (Exterior), Type 02
PS03	Paint System (Exterior), Type 03
PS04	Paint System (Exterior), Type 04
PS05	Paint System (Exterior), Type 05
RF2	Resilient Finish, Type 2
TC01	Terracotta, Type 01
TMD1	Timber, Type 01
TMD2	Timber, Type 02

vehicle parking schedule

Ground Floor	Allocation	Class	Quantity
Retail Loading 01	Custom		1
Retail Loading 02	Custom		1
Retail Loading 03	Custom		1
Basement 1			
Retail	3A.2.7		91
Retail	Accessible 2.4		2
Retail	Motorcycle		12
Retail	Small Car		6
Basement 2			
Car & Pet Wash Bay	Custom		1
Residential	1A		63
Residential	Accessible 2.4		3
Retail	3A.2.7		33
Retail	Accessible 2.4		3
Retail	Motorcycle		8
Basement 3			
Residential	1A		14
Residential	Accessible 2.4		8
Residential	Custom		1

bicycle parking schedule

Ground Floor	Allocation	Type	Quantity
Residential Visitor	Horizontal Parking		4
Basement 2			
Residential Visitor	Horizontal Parking		20
Residential Apartment	Storage Cage		62
Basement 3			
Residential Apartment	Storage Cage		73

10	21/3/20	S75W Submission	SB
09	27/2/20	S75W Basement Updates	SB
08	16/8/19	S75W Updated Package for DPE review	SB

rev	date	name	ID	description	by	chk
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project
EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title
Section 75W Application
Basement 1

scale	Not to Scale	first issued	02/05/2017
project code	CGEN	sheet no.	S75W130010
		revision	10

For Approval



- GENERAL NOTES**
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
 - ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
 - DO NOT SCALE DRAWINGS.
 - USE FIGURED DIMENSIONS ONLY.

Code	Item
ACM01	Aluminum Sheet, Type 01
ALF01	Aluminum Finish, Type 01
ALF02	Aluminum Finish, Type 02
ALF03	Aluminum Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FAC#	Facade, Type # refer to wall type schedule for details on plan A1.0003
FAC01	Colour through compressed fibre cement rain screen facade system
FIN01	Facade, Aluminum Fin Type 01
FIN02	Facade, Aluminum Fin Type 02
FIN03	Facade, Aluminum Fin Type 03
FIN04	Facade, Aluminum Fin Type 04
GRC01	Glass Reinforced Concrete, Type 01
PRW01	Paving, Type 01
PRW02	Paving, Type 02
PRW04	Paving, Type 04
PS01	Paint System (Exterior), Type 01
PS02	Paint System (Exterior), Type 02
PS03	Paint System (Exterior), Type 03
PS04	Paint System (Exterior), Type 04
PS05	Paint System (Exterior), Type 05
RF2	Resilient Finish, Type 2
TC01	Terracotta, Type 01
TMD1	Timber, Type 01
TMD2	Timber, Type 02

Allocation	Class	Quantity
Retail Loading 01	Custom	1
Retail Loading 02	Custom	1
Retail Loading 03	Custom	1
Retail	3A.2.7	91
Retail	Accessible 2.4	2
Retail	Motorcycle	12
Retail	Small Car	6
Car & Pet Wash Bay	Custom	1
Residential	1A	63
Residential	Accessible 2.4	3
Retail	3A.2.7	33
Retail	Accessible 2.4	3
Retail	Motorcycle	8
Residential	1A	74
Residential	Accessible 2.4	8
Residential	Custom	1
Residential Visitor	Horizontal Parking	4
Residential Visitor	Horizontal Parking	20
Residential Apartment	Storage Cage	62
Residential Apartment	Storage Cage	73

Allocation	Type	Quantity
Residential Visitor	Horizontal Parking	4
Residential Visitor	Horizontal Parking	20
Residential Apartment	Storage Cage	62
Residential Apartment	Storage Cage	73

12	21/3/20	STW Submission	SB
11	27/2/20	STW Basement Updates	SB
10	16/8/19	STW Updated Package for DPE review	SB

rev	date	name	ID	description	by	chk
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project
EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title
Section 75W Application
Basement 2

scale	Not to Scale	first issued	02/05/2017
project code	CGEN	sheet no.	S75W130011
		revision	12

For Approval



- GENERAL NOTES**
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
 - ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
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Code	Item
ACM01	Aluminum Sheet, Type 01
ALF01	Aluminum Finish, Type 01
ALF02	Aluminum Finish, Type 02
ALF03	Aluminum Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FAC#	Facade, Type # refer to wall type schedule for details on plan A1.0003
FAC01	Colour through compressed fibre cement rain screen facade system
FIN01	Facade, Aluminum Fin Type 01
FIN02	Facade, Aluminum Fin Type 02
FIN03	Facade, Aluminum Fin Type 03
FIN04	Facade, Aluminum Fin Type 04
GRC01	Glass Reinforced Concrete, Type 01
PRV01	Paving, Type 01
PRV02	Paving, Type 02
PRV04	Paving, Type 04
PS01	Paint System (Exterior), Type 01
PS02	Paint System (Exterior), Type 02
PS03	Paint System (Exterior), Type 03
PS04	Paint System (Exterior), Type 04
PS05	Paint System (Exterior), Type 05
RF2	Resilient Finish, Type 2
TC01	Terracotta, Type 01
TMD01	Timber, Type 01
TMD2	Timber, Type 02

vehicle parking schedule			
Ground Floor	Allocation	Class	Quantity
Basement 1	Retail Loading 01	Custom	1
	Retail Loading 02	Custom	1
	Retail Loading 03	Custom	1
Basement 2	Retail	3A.2.7	51
	Retail	Accessible 2.4	2
	Retail	Motorcycle	12
	Retail	Small Car	6
Basement 3	Car & Pet Wash Bay	Custom	1
	Residential	1A	63
	Residential	Accessible 2.4	3
	Retail	3A.2.7	33
	Retail	Accessible 2.4	3
Basement 3	Residential	1A	14
	Residential	Accessible 2.4	8
	Residential	Custom	1

bicycle parking schedule			
Ground Floor	Allocation	Type	Quantity
Basement 2	Residential Visitor	Horizontal Parking	4
	Residential Visitor	Horizontal Parking	20
Basement 3	Residential Apartment	Storage Cage	62
	Residential Apartment	Storage Cage	73

07	21/3/20	S75W Submission	SB
06	27/2/20	S75W Basement Updates	SB
05	16/8/19	S75W Updated Package for DPE review	SB

rev	date	name	ID	description	by	chk
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project
EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title
Section 75W Application
Basement 3

scale	Not to Scale	first issued	02/05/2017
project code	CGEN	sheet no.	S75W130012
		revision	07

For Approval

Code	Item
ALM01	Aluminium Sheet, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Aluminium Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Panel
FAC#	Facade, Type # refer to wall type schedule for details on plan-A1 0003
FAC01	Colour through compressed fibre cement-rain screen facade system
FIN01	Facade, Aluminium Fin Type 01
FIN02	Facade, Aluminium Fin Type 02
FIN03	Facade, Aluminium Fin Type 03
FIN04	Facade, Aluminium Fin Type 04
GR01	Glass Reinforced Concrete, Type 01
PAW01	Paving, Type 01
PAW02	Paving, Type 02
PAW04	Paving, Type 04
PS01	Plant System (Exterior), Type 01
PS02	Plant System (Exterior), Type 02
PS03	Plant System (Exterior), Type 03
PS04	Plant System (Exterior), Type 04
PS05	Plant System (Exterior), Type 05
RF2	Resilient Finish, Type 2
TC01	Terra-cotta, Type 01
TM01	Timber, Type 01
TM02	Timber, Type 02



THERE IS NO CHANGE TO THE PLAN AREA
SCOPE OF THE MOD1 APPROVED
ENVELOPES FOR BUILDINGS 1, 1A AND 1B.



project code	sheet no.	revision
CGEN	S75W130013	06



GENERAL NOTES
ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
DO NOT SCALE DRAWINGS.
USE FIGURED DIMENSIONS ONLY.

Code	Item
ACM01	Aluminium Sheet, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Aluminium Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FAC#	Facade, Type # refer to wall type schedule for details on plan A1.0003
FAC01	Colour through compressed fibre cement rain screen facade system
FIN01	Facade, Aluminium Fin Type 01
FIN02	Facade, Aluminium Fin Type 02
FIN03	Facade, Aluminium Fin Type 03
FIN04	Facade, Aluminium Fin Type 04
GRC01	Glass Reinforced Concrete, Type 01
PAW01	Paving, Type 01
PAW02	Paving, Type 02
PAW04	Paving, Type 04
PS01	Plant System (Exterior), Type 01
PS02	Plant System (Exterior), Type 02
PS03	Plant System (Exterior), Type 03
PS04	Plant System (Exterior), Type 04
PS05	Plant System (Exterior), Type 05
RF2	Roofcliff Finish, Type 2
TCD1	Terracotta, Type 01
TIM01	Timber, Type 01
TIM02	Timber, Type 02

NOTE:
APPROVED MOD1 NORTH ELEVATION WAS A GRAPHIC COMBINATION OF PREVIOUSLY APPROVED ELEVATION DOCUMENTATION BY PREVIOUS ARCHITECT.

THE APPROVED DOCUMENTATION CONTAINED MINOR ERRORS IN HOW ELEVATIONS WERE ALIGNED TO THE MODEL WHICH CAUSED DIFFERENCES BETWEEN THE FMT DOCUMENTATION AND THE APPROVED.

THE PROPOSED ELEVATION HAS CORRECTED THOSE ERRORS.

THERE IS NO CHANGE TO THE PLAN AREA SCOPE OF THE MOD1 APPROVED ENVELOPES FOR BUILDINGS 1, 1A AND 1B.

01 ELEVATION South (MOD1 Approved)



02 ELEVATION South (Proposed)
1:200

rev	date	name	id	description	by	chk
06	21/3/20	S75W Submission			SB	
05	16/3/20	DRAFT S75W Submission for DPE Comment			SB	
04	16/3/18	S75W Updated Package for DPE review			SB	

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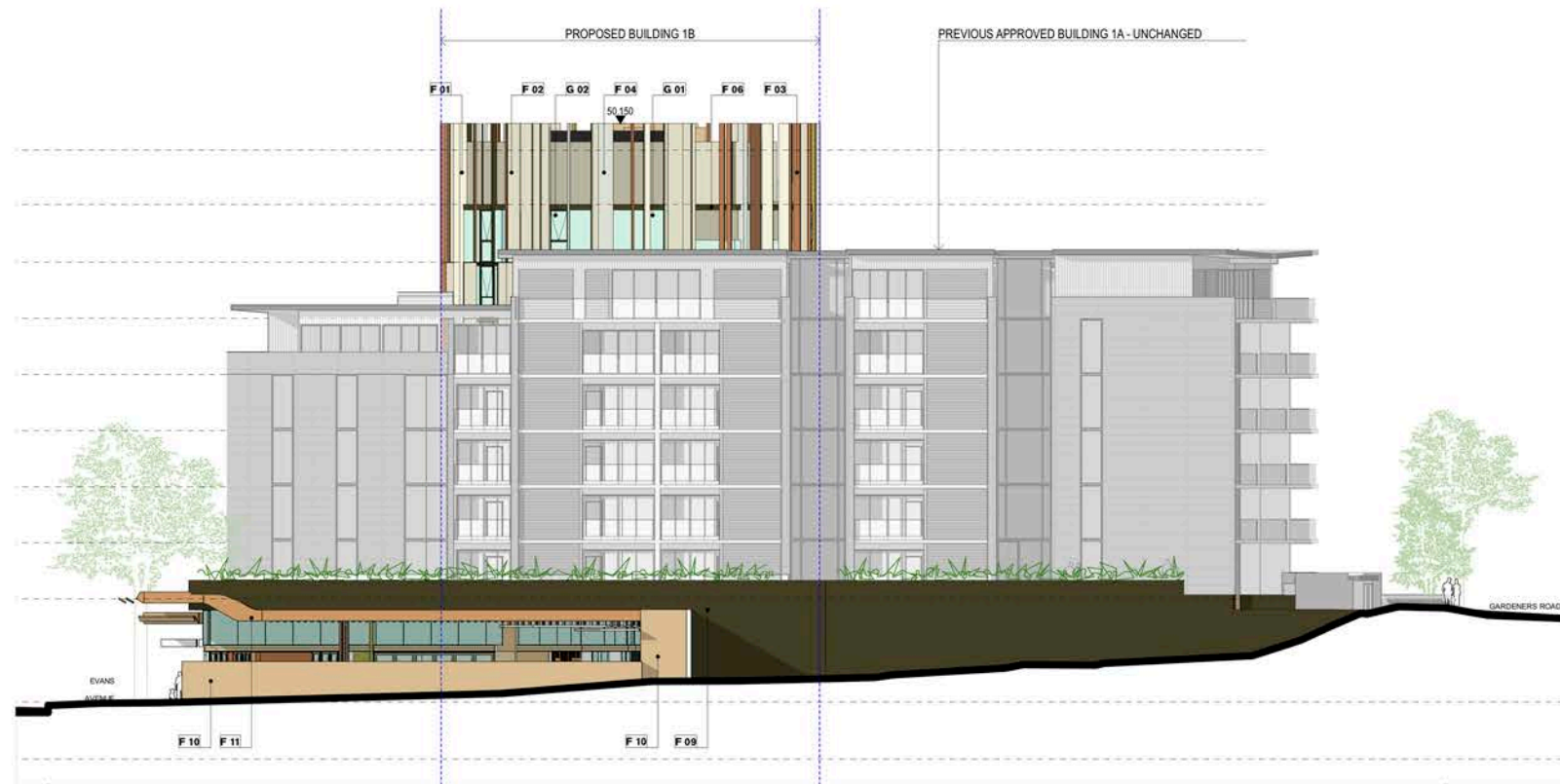
project
EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title
Section 75W Application
Elevation South

scale Not to Scale first issued 02/05/2017

project code CGEN sheet no. S75W130014 revision 06

For Approval



GENERAL NOTES

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Code	Item
ACM01	Aluminium Sheet, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Aluminium Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FAC#	Facade, Type # refer to wall type schedule for details on plan A1.0003
FAC01	Colour through compressed fibre cement rain screen facade system
FIN01	Facade, Aluminium Fin Type 01
FIN02	Facade, Aluminium Fin Type 02
FIN03	Facade, Aluminium Fin Type 03
FIN04	Facade, Aluminium Fin Type 04
GR01	Glass Reinforced Concrete, Type 01
PAV01	Paving, Type 01
PAV02	Paving, Type 02
PAV04	Paving, Type 04
PS01	Plant System (Exterior), Type 01
PS02	Plant System (Exterior), Type 02
PS03	Plant System (Exterior), Type 03
PS04	Plant System (Exterior), Type 04
PS05	Plant System (Exterior), Type 05
RF2	Roofline Finish, Type 2
TCD1	Terracotta, Type 01
TIM01	Timber, Type 01
TIM02	Timber, Type 02

01 ELEVATION East (MOD1 Approved)



02 ELEVATION East (Proposed)
1:200

NOTE:
APPROVED MOD1 NORTH ELEVATION WAS A GRAPHIC COMBINATION OF PREVIOUSLY APPROVED ELEVATION DOCUMENTATION BY PREVIOUS ARCHITECT.

THE APPROVED DOCUMENTATION CONTAINED MINOR ERRORS IN HOW ELEVATIONS WERE ALIGNED TO THE MODEL WHICH CAUSED DIFFERENCES BETWEEN THE FIMT DOCUMENTATION AND THE APPROVED.

THE PROPOSED ELEVATION HAS CORRECTED THOSE ERRORS.

THERE IS NO CHANGE TO THE PLAN AREA SCOPE OF THE MOD1 APPROVED ENVELOPES FOR BUILDINGS 1, 1A AND 1B.

05	21/3/20	STW Submission			SB	
04	16/9/18	STW Update Package for CPE review			SB	
rev	date	name	ID	description	by	chk
client						
Crown Group						
L29, 1 Market Street, Sydney, NSW, Australia						
						
CrownGroup						

fjmt
fjmt studio architecture interiors landscape urban community
sydney melbourne uk
Level 2, 70 King Street #411 2 9251 7077 fjmtstudio.com

project
EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title
Section 75W Application
Elevations East

scale	Not to Scale	first issued	02/05/2017
project code	CGEN	sheet no.	S75W130015
revision			05

For Approval



GENERAL NOTES
ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
DO NOT SCALE DRAWINGS.
USE FIGURED DIMENSIONS ONLY.

Code	Item
ACM01	Aluminium Sheet, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Aluminium Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FAC#	Facade, Type # refer to wall type schedule for details on plan A1.0003
EAC01	Colour through compressed fibre cement rain screen facade system
FIN01	Facade, Aluminium Fin Type 01
FIN02	Facade, Aluminium Fin Type 02
FIN03	Facade, Aluminium Fin Type 03
FIN04	Facade, Aluminium Fin Type 04
GRC01	Glass Reinforced Concrete, Type 01
PAW01	Paving, Type 01
PAW02	Paving, Type 02
PAW04	Paving, Type 04
PS01	Plant System (Exterior), Type 01
PS02	Plant System (Exterior), Type 02
PS03	Plant System (Exterior), Type 03
PS04	Plant System (Exterior), Type 04
PS05	Plant System (Exterior), Type 05
RF2	Roofed Finish, Type 2
TCD1	Terracotta, Type 01
TIM01	Timber, Type 01
TIM02	Timber, Type 02



01 ELEVATION West (MOD1 Approved)

NOTE:
APPROVED MOD1 NORTH ELEVATION WAS A GRAPHIC COMBINATION OF PREVIOUSLY APPROVED ELEVATION DOCUMENTATION BY PREVIOUS ARCHITECT.

THE APPROVED DOCUMENTATION CONTAINED MINOR ERRORS IN HOW ELEVATIONS WERE ALIGNED TO THE MODEL WHICH CAUSED DIFFERENCES BETWEEN THE FIMT DOCUMENTATION AND THE APPROVED.

THE PROPOSED ELEVATION HAS CORRECTED THOSE ERRORS.

THERE IS NO CHANGE TO THE PLAN AREA SCOPE OF THE MOD1 APPROVED ENVELOPES FOR BUILDINGS 1, 1A AND 1B.



02 ELEVATION West (Proposed)
1:200

06	21/3/20	S75W Submission	SB
05	16/3/20	DRAFT S75W Submission for DPE Comment	SB
04	16/3/18	S75W Updated Package for DPE review	SB

rev	date	name	ID	description	by	chk
client						
Crown Group L29, 1 Market Street, Sydney, NSW, Australia						



fynt studio architecture interiors landscape urban community
sydney melbourne uk
Level 5, 70 King Street & A11 2 9293 7077 fyntstudio.com



project
EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title
**Section 75W Application
Elevation West**

scale	Not to Scale	first issued	02/05/2017
project code	sheet no.	revision	
CGEN	S75W130016	06	

For Approval

ALL DIMENSIONS AND EXISTING CONDITIONS
SHALL BE CHECKED AND VERIFIED BY THE
CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'.
DO NOT SCALE DRAWINGS.
USE FIGURED DIMENSIONS ONLY.



01



02

For Approval

01 ELEVATION West
1:200

Code	Item
ACM01	Aluminium Sheet, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Aluminium Finish, Type 03
BIS01	Balustrade System, Type 01
BIS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FAC01	Facade, Type 0 refer to wall type schedule for details on plan A10003
FAC01	Colour through compressed fibre cement rain screen facade system
FIN01	Facade, Aluminium Fin Type 01
FIN02	Facade, Aluminium Fin Type 02
FIN03	Facade, Aluminium Fin Type 03
FIN04	Facade, Aluminium Fin Type 04
GR001	Glass Reinforced Concrete, Type 01
PA001	Paving, Type 01
PA002	Paving, Type 02
PA004	Paving, Type 04
PS01	Paint System (Exterior), Type 01
PS02	Paint System (Exterior), Type 02
PS03	Paint System (Exterior), Type 03
PS04	Paint System (Exterior), Type 04
PS05	Paint System (Exterior), Type 05
RF2	Resilient Finish, Type 2
TC01	Terracotta, Type 01
TIM01	Timber, Type 01
TIM02	Timber, Type 02



02 ELEVATION South
1:200

21/3/20	\$75W Submission	\$8
16/3/20	DRAFT \$75W Submission for DPE Comment	\$8
16/8/19	\$75W Updated Package for DPE review	\$8

client
FFL +24.300 Crown Group
First Floor L29, 1 Market Street, Sydney, NSW, Australia



CrownGroup

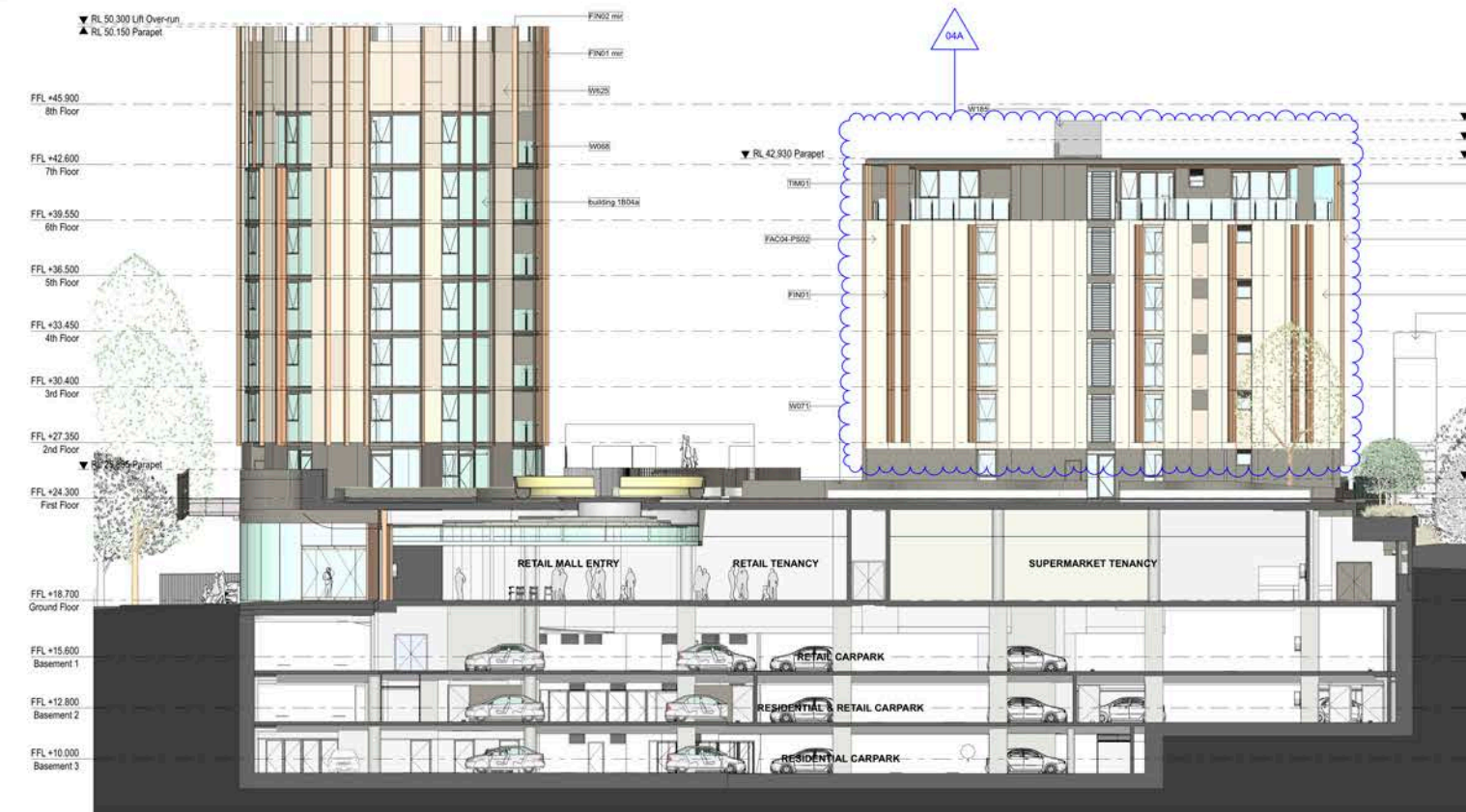
fimt studio architecture interiors landscape urban community
sydney m3@fimt.com.au
Level 5, 70 King Street t +61 2 9251 7077 w fimtstudio.com

project
FFL +12.800 **EASTLAKES TOWN CENTRE - NORTH SITE**
Basement 2 Evans Avenue Eastlakes
SYDNEY NSW 2018

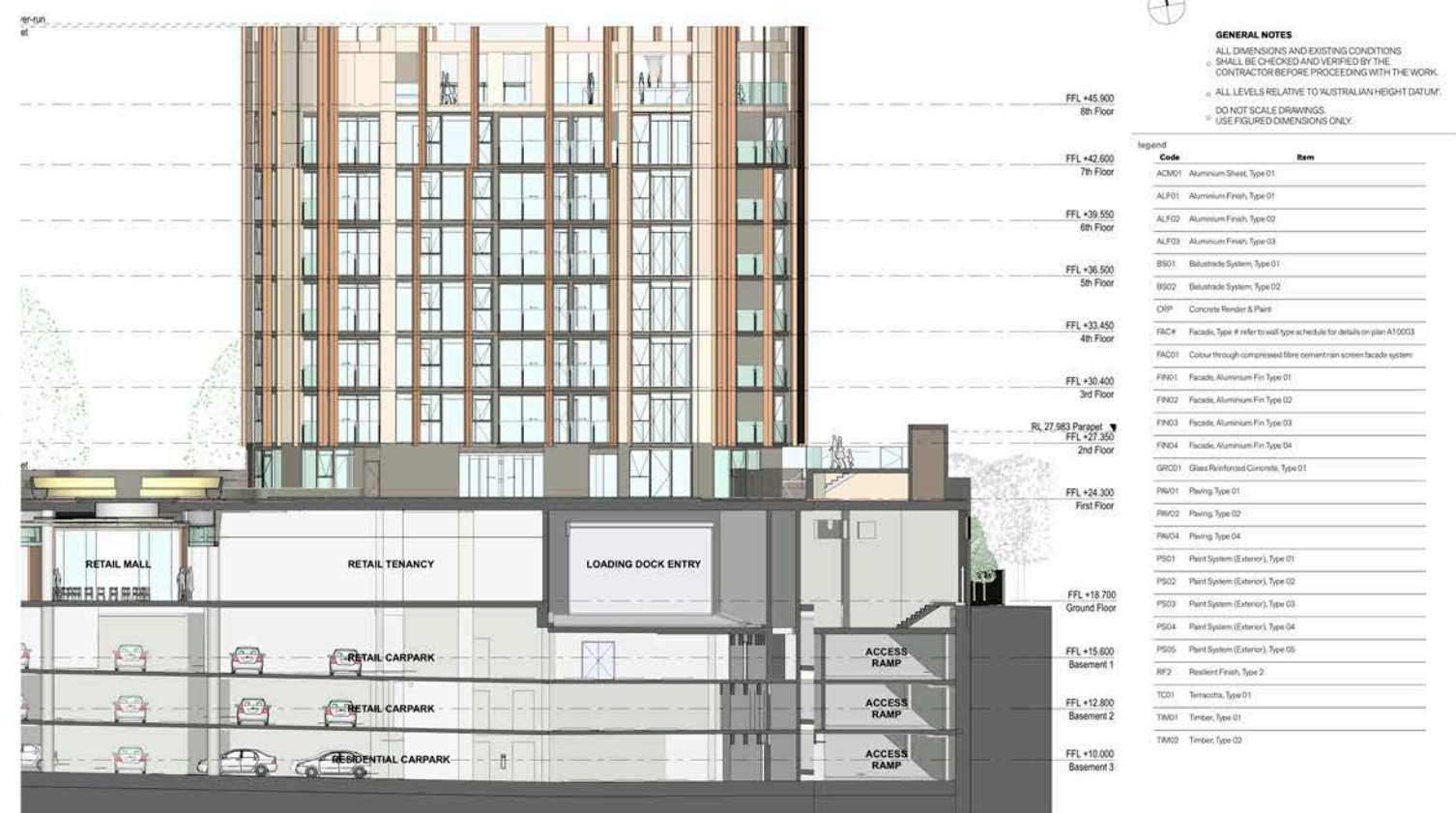
Section 75W Application
Elevations

scale	Not to Scale	first issued	02/05/2017
project code	sheet no.	revision	
CGEN	S75W130018	06	

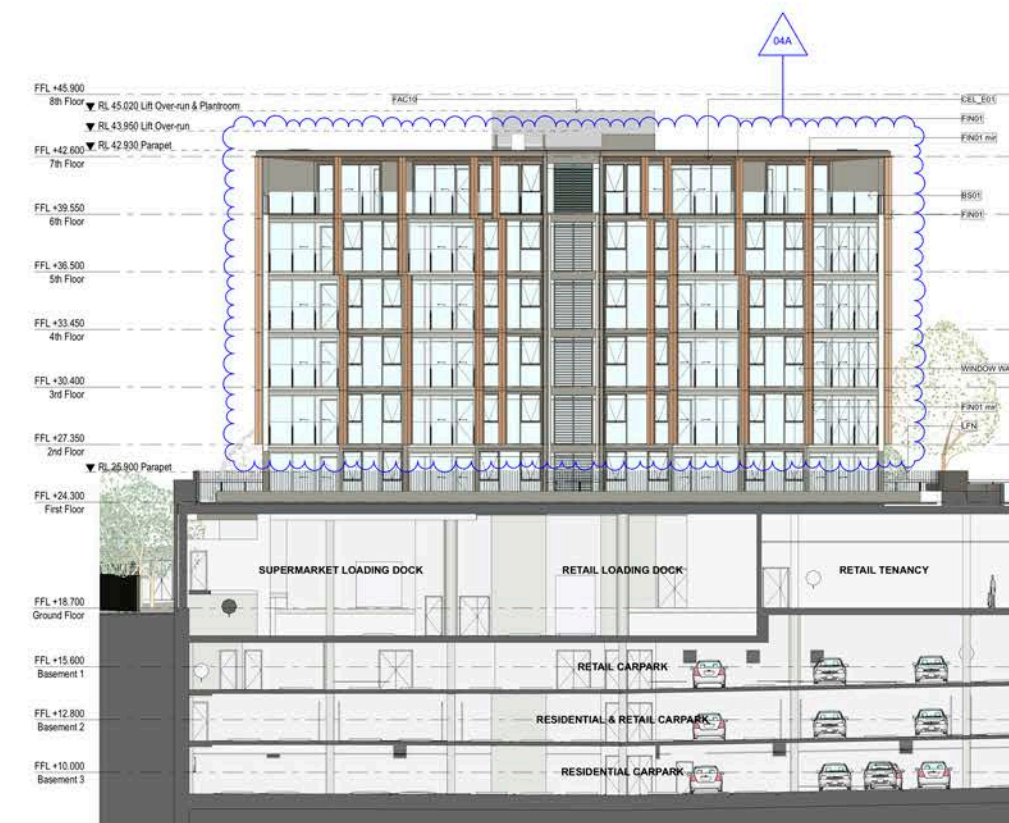
For Approval



01 ELEVATION Podium East Building 1 & 1B
1:200



02 ELEVATION Podium North Building 1B
1:200



03 ELEVATION Podium South Building 1
1:200



04 ELEVATION Podium West Building 1A
1:200

GENERAL NOTES

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- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DRAWINGS.
- USE FIGURED DIMENSIONS ONLY.

Code	Item
ACM01	Aluminium Sheet, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Aluminium Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CSP	Concrete Render & Paint
FAC#	Facade, Type # refer to wall type schedule for details on plan A1.0003
EAC01	Colour through compressed fibre cement rain screen facade system
FRN01	Facade, Aluminium Fin Type 01
FRN02	Facade, Aluminium Fin Type 02
FRN03	Facade, Aluminium Fin Type 03
FRN04	Facade, Aluminium Fin Type 04
GRC01	Glass Reinforced Concrete, Type 01
PRN01	Paving, Type 01
PRN02	Paving, Type 02
PRN04	Paving, Type 04
PS01	Plant System (Exterior), Type 01
PS02	Plant System (Exterior), Type 02
PS03	Plant System (Exterior), Type 03
PS04	Plant System (Exterior), Type 04
PS05	Plant System (Exterior), Type 05
RF2	Rockfist Finish, Type 2
TCD1	Terracotta, Type 01
TRN01	Timber, Type 01
TRN02	Timber, Type 02

05	21/3/20	S75W Submission				SB	
04	16/9/19	S75W Updated Package for CPE review				SB	
rev	date	name	ID	description		by	chk
client							
Crown Group L29, 1 Market Street, Sydney, NSW, Australia							
					CrownGroup		
<hr/>							
fjmt studio architecture interiors landscape urban community sydney melbourne uk Level 5, 70 King Street & A11 2 9291 7077 sydney@fjmt.com							
project							
EASTLAKES TOWN CENTRE - NORTH SITE Evans Avenue Eastlakes SYDNEY NSW 2018							
title							
Section 75W Application Sections							
<hr/>							
scale	Not to Scale		first issued	02/05/2017			
project code	sheet no.				revision		
CGEN	S75W130019				05		

For Approval



Evans Avenue View from the South West



Evans Avenue View from the South East



Evans Avenue view from the South




GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
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- USE FIGURED DIMENSIONS ONLY.

Legend	Code	Item
	ACM01	Aluminium Sheet, Type 01
	ALF01	Aluminium Finish, Type 01
	ALF02	Aluminium Finish, Type 02
	ALF03	Aluminium Finish, Type 03
	BS01	Balustrade System, Type 01
	BS02	Balustrade System, Type 02
	CRP	Concrete Render & Paint
	FAC#	Facade, Type # refer to wall type schedule for details on plan A10003
	FAC01	Colour through compressed fibre cement rain screen facade system
	FIN01	Facade, Aluminium Fin Type 01
	FIN02	Facade, Aluminium Fin Type 02
	FIN03	Facade, Aluminium Fin Type 03
	FIN04	Facade, Aluminium Fin Type 04
	GRC01	Glass Reinforced Concrete, Type 01
	PRW01	Paving, Type 01
	PRW02	Paving, Type 02
	PRW04	Paving, Type 04
	PS01	Paint System (Exterior), Type 01
	PS02	Paint System (Exterior), Type 02
	PS03	Paint System (Exterior), Type 03
	PS04	Paint System (Exterior), Type 04
	PS05	Paint System (Exterior), Type 05
	RF2	Resilient Finish, Type 2
	TC01	Terracotta, Type 01
	TMD1	Timber, Type 01
	TMD2	Timber, Type 02

04	21/3/20	STSW Submission	SB
03	16/8/19	STSW Updated Package for DPPE review	SB

rev	date	name	ID	description	by	chk
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client	Crown Group	L29, 1 Market Street, Sydney, NSW, Australia		CrownGroup
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sydney melbourne uk	
Level 5, 70 King Street +61 2 9251 7071	w@fjmtstudio.com

project	EASTLAKES TOWN CENTRE - NORTH SITE
	Evans Avenue Eastlakes
	SYDNEY NSW 2018

title	Section 75W Application
	Evans Avenue Photomontages

scale	Not to Scale	first issued	02/05/2017
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project code	sheet no.	revision
CGEN	S75W130020	04

For Approval



Gardeners Road View from the North East



Gardeners Road View from the North West



Gardeners Road View from the North



GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
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Legend

Code	Item
ACM01	Aluminum Sheet, Type 01
ALF01	Aluminum Finish, Type 01
ALF02	Aluminum Finish, Type 02
ALF03	Aluminum Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FAC#	Facade, Type # refer to wall type schedule for details on plan A1.0003
FAC01	Colour through compressed fibre cement rain screen facade system
FIN01	Facade, Aluminium Fin Type 01
FIN02	Facade, Aluminium Fin Type 02
FIN03	Facade, Aluminium Fin Type 03
FIN04	Facade, Aluminium Fin Type 04
GRC01	Glass Reinforced Concrete, Type 01
PW01	Paving, Type 01
PW02	Paving, Type 02
PW04	Paving, Type 04
PS01	Paint System (Exterior), Type 01
PS02	Paint System (Exterior), Type 02
PS03	Paint System (Exterior), Type 03
PS04	Paint System (Exterior), Type 04
PS05	Paint System (Exterior), Type 05
RF2	Resilient Finish, Type 2
TC01	Terracotta, Type 01
TM01	Timber, Type 01
TM02	Timber, Type 02

09	21/3/20	STSW Submission	SB
08	16/8/19	STSW Updated Package for DPE review	SB

rev	date	name	ID	description	by	chk
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client

Crown Group
L29, 1 Market Street, Sydney, NSW, Australia



fjmt studio architecture interiors landscape urban community
sydney melbourne uk
Level 5, 70 King Street • +61 2 9251 7071 • www.fjmtstudio.com



project

EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title

Section 75W Application
Gardeners Road Photomontages

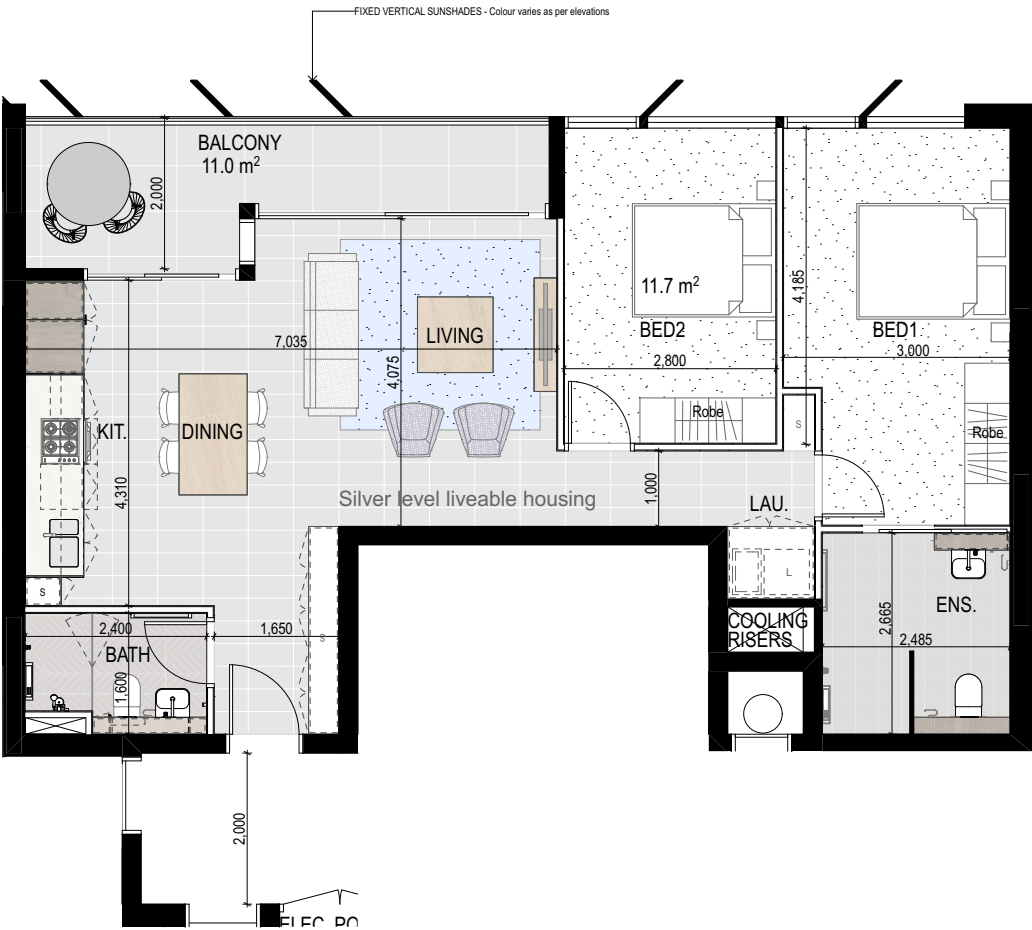
scale	Not to Scale	first issued	02/05/2017
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project code	sheet no.	revision
CGEN	S75W130021	09

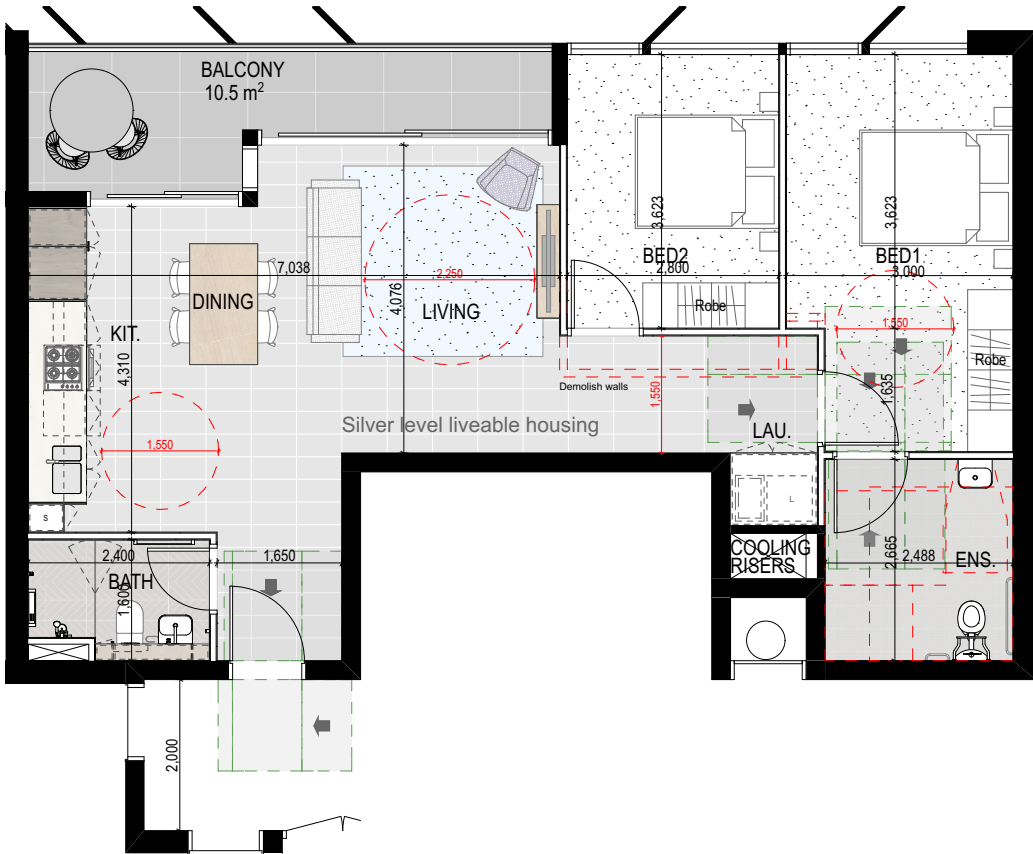
For Approval

ADAPTABLE APARTMENTS:

- NS-1B-202
- NS-1B-302
- NS-1B-402
- NS-1B-502
- NS-1B-602
- NS-1B-702



Pre Adaptable Level 2-7
1:50



Post Adaptable Level 2-7
1:50




GENERAL NOTES

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Legend	Code	Item
	ACM01	Aluminium Sheet, Type 01
	ALF01	Aluminium Finish, Type 01
	ALF02	Aluminium Finish, Type 02
	ALF03	Aluminium Finish, Type 03
	BS01	Balustrade System, Type 01
	BS02	Balustrade System, Type 02
	CRP	Concrete Render & Paint
	FAC#	Facade, Type # refer to wall type schedule for details on plan A10003
	FAC01	Colour through compressed fibre cement rain screen facade system
	FND01	Facade, Aluminium Fin Type 01
	FND02	Facade, Aluminium Fin Type 02
	FND03	Facade, Aluminium Fin Type 03
	FND04	Facade, Aluminium Fin Type 04
	GRC01	Glass Reinforced Concrete, Type 01
	PW01	Paving, Type 01
	PW02	Paving, Type 02
	PW04	Paving, Type 04
	PS01	Paint System (Exterior), Type 01
	PS02	Paint System (Exterior), Type 02
	PS03	Paint System (Exterior), Type 03
	PS04	Paint System (Exterior), Type 04
	PS05	Paint System (Exterior), Type 05
	RF2	Resilient Finish, Type 2
	TC01	Terracotta, Type 01
	TMD1	Timber, Type 01
	TMD2	Timber, Type 02

06	21/3/20	STSW Submission	SB
05	16/8/19	STSW Updated Package for DPE review	SB

rev	date	name	ID	description	by	chk
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client
Crown Group
L29, 1 Market Street, Sydney, NSW, Australia

CrownGroup

fjmt studio architecture interiors landscape urban community
sydney melbourne uk
Level 5, 70 King Street +61 2 9251 7071 fjmtstudio.com

project
EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title
Section 75W Application
Adaptable Units

scale	Not to Scale	first issued	02/05/2017
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project code	sheet no.	revision
CGEN	S75W130022	06

For Approval

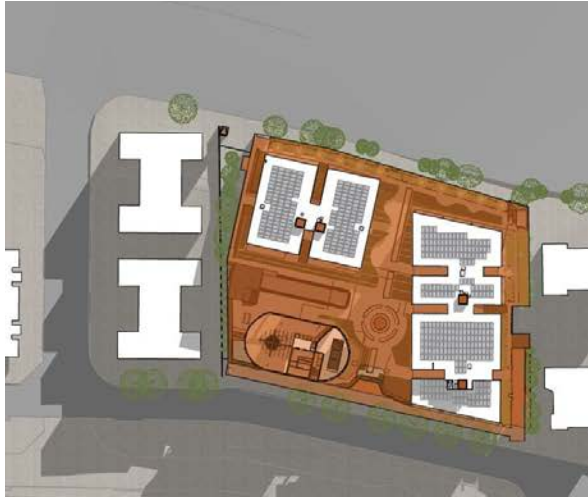


GENERAL NOTES

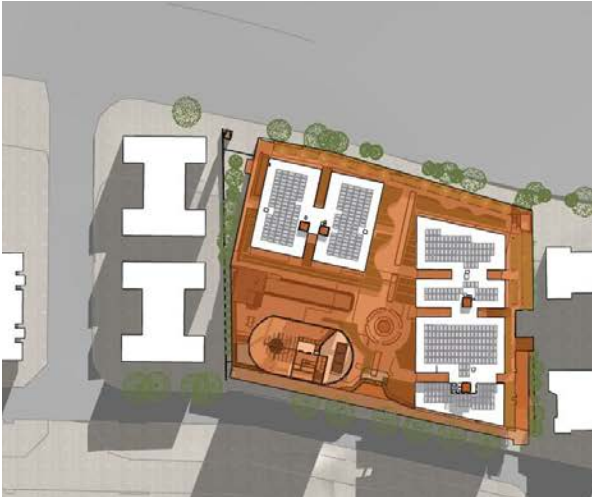
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DRAWINGS.
- USE FIGURED DIMENSIONS ONLY.

Legend

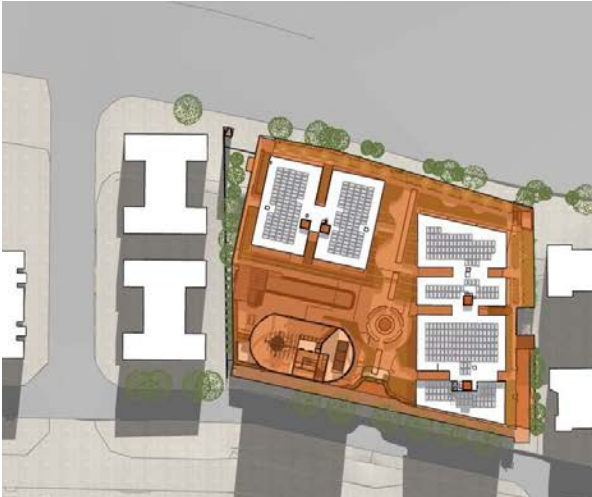
Code	Item
ACM01	Aluminum Sheet, Type 01
ALF01	Aluminum Finish, Type 01
ALF02	Aluminum Finish, Type 02
ALF03	Aluminum Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FAC#	Facade, Type # refer to wall type schedule for details on plan A1.0003
FAC01	Colour through compressed fibre cement rain screen facade system
FIN01	Facade, Aluminum Fin Type 01
FIN02	Facade, Aluminum Fin Type 02
FIN03	Facade, Aluminum Fin Type 03
FIN04	Facade, Aluminum Fin Type 04
GRC01	Glass Reinforced Concrete, Type 01
PW01	Paving, Type 01
PW02	Paving, Type 02
PW04	Paving, Type 04
PS01	Paint System (Exterior), Type 01
PS02	Paint System (Exterior), Type 02
PS03	Paint System (Exterior), Type 03
PS04	Paint System (Exterior), Type 04
PS05	Paint System (Exterior), Type 05
RF2	Resilient Finish, Type 2
TC01	Terracotta, Type 01
TMD1	Timber, Type 01
TMD2	Timber, Type 02



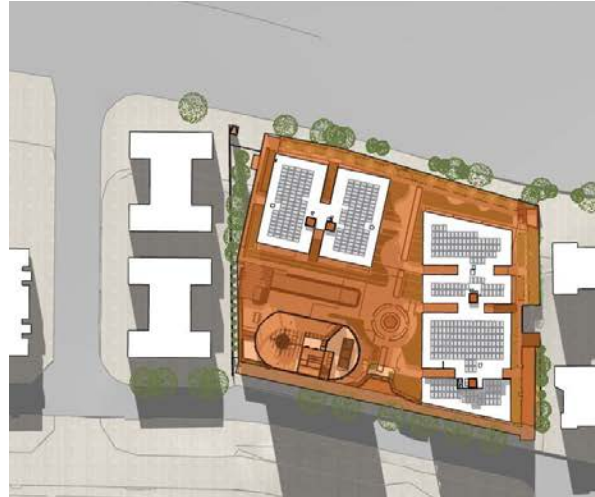
Shadow analysis 21 June - 9am



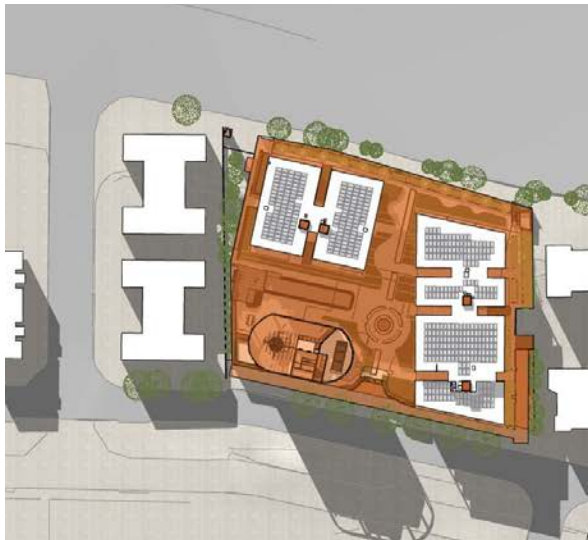
Shadow analysis 21 June - 10am



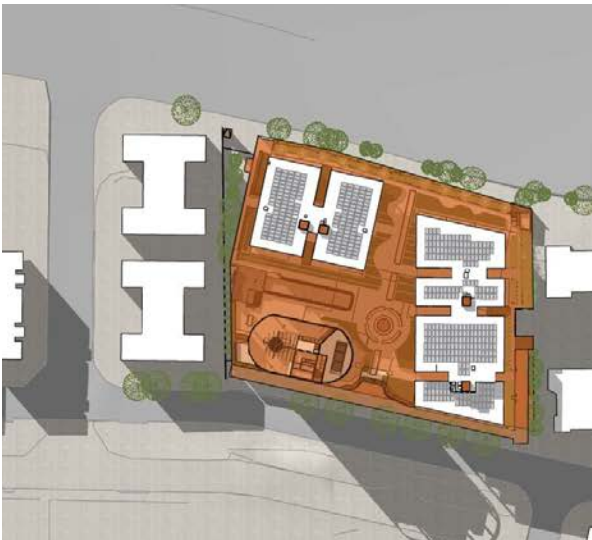
Shadow analysis 21 June - 11am



Shadow analysis 21 June - 12pm



Shadow analysis 21 June - 1pm

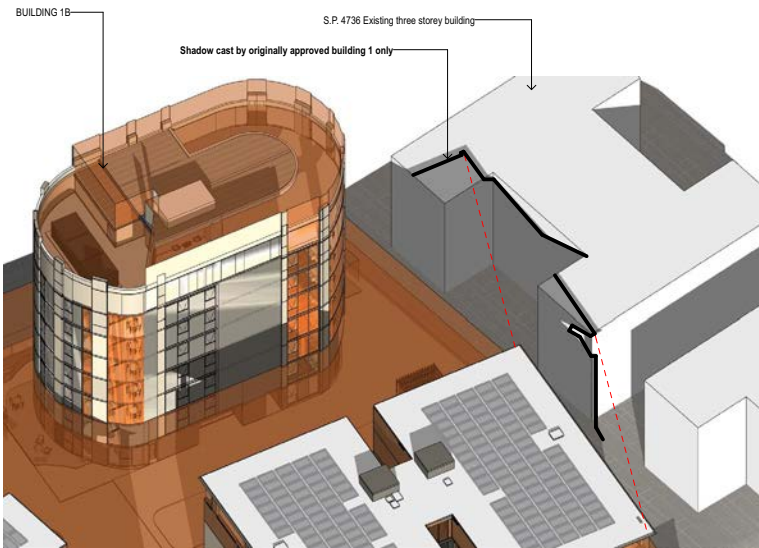


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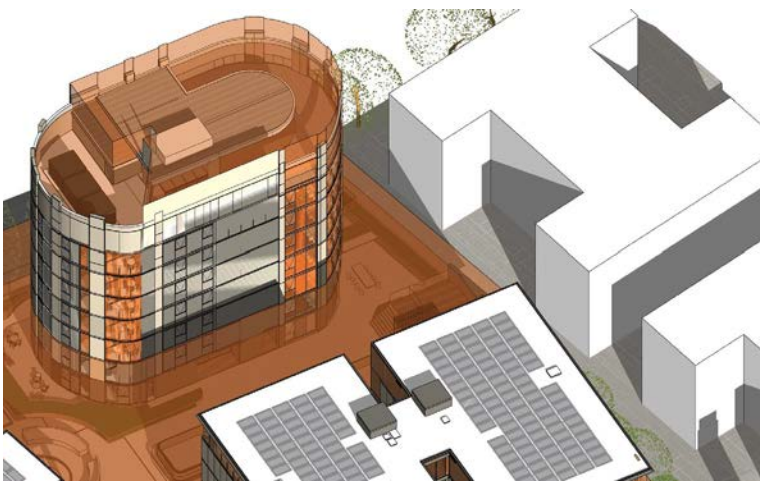


Shadow analysis 21 June - 3pm

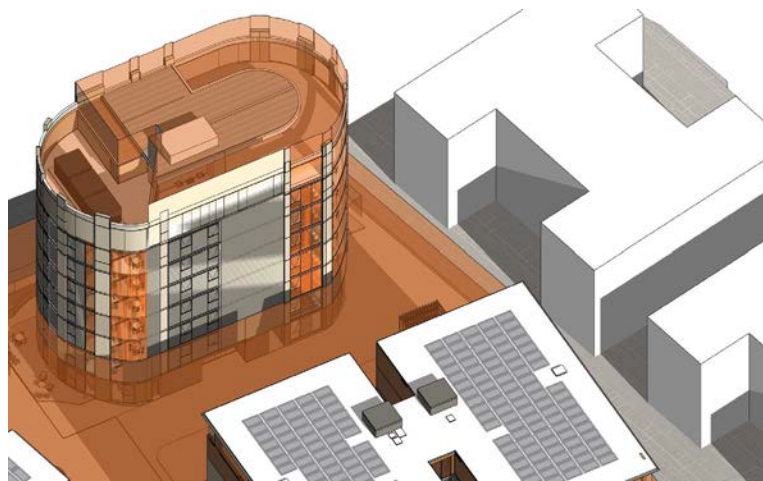
NO CHANGE
TO APPROVED
STATUS



June 21st 9am




June 21 10am



June 21 11am

04	21/3/20	STW Submission			SB	
03	16/8/19	STW Updated Package for DPE review			SB	
rev	date	name	ID	description	by	chk
client						
Crown Group						
L29, 1 Market Street, Sydney, NSW, Australia						


Crown Group



fjmt studio architecture interiors landscape urban community
sydney melbourne uk
Level 5, 70 King Street • +61 2 9251 7077 • fjmtstudio.com



project
EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title
**Section 75W Application
Shadow Analysis**

scale	Not to Scale	first issued	02/05/2017
project code	sheet no.	revision	
CGEN	S75W130023	04	

For Approval



Level	All							Residential			Retail			Building 1					Building 1A					Building 1B										
	RL of FFL	FFL to FFL	GBA	GBAL	GFA	NLA	POS	GFA	NLA	GLAR	1Ba	1BM	1BS	2B	2BM	3B	Apt/C/L	1B	1BM	1BS	2B	2BS	3BS	3BK	Apt/C/L	1B	2BM	2B	2Ba	3B	Apt/C/L			
Roof	45,900		336																															
Level 07	42,600	3,300	442		350	319	31																											
Level 06	39,550	3,050	2,232		1,521	1,297	421																											
Level 05	36,500	3,050	2,452		1,882	1,632	267																											
Level 04	33,450	3,050	2,453		1,921	1,670	233				1	3	4		2		4		1	3	2			1	7		1	1	1	1	4			
Level 03	30,400	3,050	2,453		1,921	1,670	233				1	3	4				8		3	1	6	1			11		1	1	1	1	4			
Level 02	27,350	3,050	2,453		1,921	1,669	229				1	3	4				8		3	6	1	1			11		1	1	1	1	4			
Level 01	24,300	3,050	2,218	3,572	1,896	1,595	464				1	3	4				8		3	6	1	1			11	2	1				3			
Level 00	18,700	5,600	5,196		73			3,352	2,876	2,863																								
Basement 1	variable	variable	5,509		105			105																										
Basement 2	variable	variable	5,529																															
Basement 3	variable	variable	4,269																															
		Totals		35,561	3,572		11,589	9,851	1,878		3,457	2,876	2,863	5	15	0	20	2	2	44		0	16	1	33	7	4	1	62	8	1	6	6	27

Apartment Types All Buildings											Total Apt/Floor	Adaptable apartments	
1B	1BS	1Ba	1BM	2B	2Ba	2BS	2BM	3B	3BS	3BK			
1					1	1					4		1
					6	1	2		3		14		1
1	1	1	6	11	1	1		1			23		2
1	0	1	6	11	1	1		1	1		23		2
1	0	1	6	11	1	1		1	1		23		2
1	0	1	6	11	1	1		1	1		23		2
2	0	1	6	10		1	1		1		22		1
8	1	5	30	61	6	7	1	8	4	1	132	11	
6%	1%	4%	23%	46%	5%	5%	1%	6%	3%	1%			
1 Bed Type			2 Bed Type				3 Bed Type						
33%			56%				10%						

190509 Blg 1+1A BASIX commitments notes block

BASIX Commitments	
Element	Material / Parameter
Construction and Insulation Details	
Ground / lowest floor	Minimum 400mm suspended concrete structural slab over basement
Upper floors	200mm suspended concrete slabs
Exposed floors	Floors above open and/or non-conditioned space. R1.0 added insulation to soffit or within framed cavity (1-101, 1-102, 1-103, 1-105, 1-108, 1A-105, 1A-109, 1A-111) R2.0 added insulation to the soffit or within framed cavity for apartments 1-106, 1-107, 1A-511 (on exposed floor above Level 4 balcony)
External walls	Compressed Fibre Cement Cladding R2.0 added insulation
Party walls between apartments	Aerated autoclaved concrete block with cavity and plasterboard lining
Walls between apartments and corridor	Aerated autoclaved concrete block with cavity and plasterboard lining R1.0 added insulation
Internal partition walls	Lightweight cavity stud, plasterboard lining
Ceilings/Roof	Concrete slab with cavity and plasterboard ceiling lining MEDIUM roof colour R4.0 added insulation for apartments 1A-510, 1A-511, R3.0 added insulation elsewhere
Floor coverings	•Bedrooms, Living/Dining, Study, Hall - carpet •Wet areas - tiles •Kitchen - tiles *Except where tiles are indicated for entire apartment
Window coverings	Holland blinds (by occupant)
Shading	All eaves, balconies, balustrades, wall extensions/wing walls, vertical shade louvres and window reveals as shown on plans and elevations.
Downlights	No downlights. Downlights if fitted are to be sealed, with approved non-ventilated downlight covers, allowing for continuous installation of insulation over the fitting without resultant penetrations in the insulation or air transfer to ceiling cavity. An IC-4 fitting rating should be sought in accordance with AS/NZS 60598.2.2. Provision for exhaust fans - 1 per kitchen, laundry, bathroom and ensuite. 150x150 opening, <u>sealed</u> .
Exhaust Fans	
Glazing Details	
All Dwellings	Aluminium frame windows Whole of window system parameters: •Sliding doors and windows, fixed windows: U=4.8, SHGC=0.59 •Awning and other window types: U=5.4, SHGC=0.41 <i>Installed glazing systems not to exceed U-values stated, and must have SHGC within ± 10% of value stated.</i>
<p><i>Note on colours and solar absorbance (SA) - LIGHT: SA < 0.48, MEDIUM: SA 0.48 - 0.6, DARK: SA > 0.7</i></p> <p><i>Any substitution of building construction materials needs to ensure required total R-value of the construction meets or exceeds that of the constructions and added insulation described above.</i></p> <p><i>Any substitution of glazing needs to ensure required U-value and SHGC of the glazing system matches that described above.</i></p> <p><i>Insulation must be installed in accordance with the thermal construction requirements of part J1.2 of the NCC</i></p> <p><i>Downlights have not been modelled</i></p>	

GENERAL NOTES

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- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DRAWINGS.
- USE FIGURED DIMENSIONS ONLY.

Code	Item
ACM01	Aluminium Sheet, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Aluminium Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FA#0	Facade, Type # refer to wall type schedule for details on plan A1 0003
FA001	Colour through compressed fibre cement rain screen facade system
FIN01	Facade, Aluminium Fin Type 01
FIN02	Facade, Aluminium Fin Type 02
FIN03	Facade, Aluminium Fin Type 03
FIN04	Facade, Aluminium Fin Type 04
GR001	Glass Reinforced Concrete, Type 01
PAW01	Paving, Type 01
PAW02	Paving, Type 02
PAW04	Paving, Type 04
PS01	Paint System (Exterior), Type 01
PS02	Paint System (Exterior), Type 02
PS03	Paint System (Exterior), Type 03
PS04	Paint System (Exterior), Type 04
PS05	Paint System (Exterior), Type 05
RP2	Resilient Finish, Type 2
TC01	Terracotta, Type 01
TIM01	Timber, Type 01
TIM02	Timber, Type 02

Car Parking Schedule

Allocation	Class	Quantity
Retail Loading 03	Custom	1
Retail Loading 02	Custom	1
Retail Loading 01	Custom	1
Retail		
	3A 2.7	124
	Accessible 2.4	5
	Motorcycle	20
	Small Car	6
Residential		
	1A	137
	Accessible 2.4	11
	Custom	1
Car & Pet Wash Bay		
	Custom	1

Bicycle Parking Schedule

Allocation	Type	Quantity
Residential Visitor	Horizontal Parking	24
Residential Apartment	Storage Cage	135

Waste Room Schedule

Waste Unit	Type	Volume	Quantity
7th Floor, Building 1B, Waste Chute	Refer Spec	N/A	2
6th Floor, Building 1, Waste Room			
Recycling Bin	MSG	240L	2
5th Floor, Building 1A, Waste Room			
Recycling Bin	MSG	240L	2
5th Floor, Building 1B, Waste Chute			
E-Diverter	Refer Spec	N/A	1
5th Floor, Building 1, Waste Room			
Recycling Bin	MSG	240L	2
5th Floor, Building 1A, Waste Room			
Recycling Bin	MSG	240L	2
5th Floor, Building 1B, Waste Chute			
E-Diverter	Refer Spec	N/A	1
4th Floor, Building 1A, Waste Room			
Recycling Bin	MSG	240L	2
4th Floor, Building 1A, Waste Room			
Recycling Bin	MSG	240L	2
4th Floor, Building 1B, Waste Chute			
E-Diverter	Refer Spec	N/A	1
3rd Floor, Building 1, Waste Room			
Recycling Bin	MSG	240L	2
3rd Floor, Building 1A, Waste Room			
Recycling Bin	MSG	240L	2
3rd Floor, Building 1B, Waste Chute			
E-Diverter	Refer Spec	N/A	1
2nd Floor, Building 1, Waste Room			
Recycling Bin	MSG	240L	2
2nd Floor, Building 1A, Waste Room			
Recycling Bin	MSG	240L	2
2nd Floor, Building 1B, Waste Chute			
E-Diverter	Refer Spec	N/A	1
1st Floor, Building 1, Waste Room			
Recycling Bin	MSG	240L	2
1st Floor, Building 1A, Waste Room			
Recycling Bin	MSG	240L	2
1st Floor, Building 1B, Waste Chute			
E-Diverter	Refer Spec	N/A	1
Ground Floor, Holding Area, Residential Waste			
Recycling Bin	MSG	660L	12
Recycling Bin	MSG	660L	12
Waste Bin	MSG	660L	9
Waste Bin	MSG	660L	4
Basement 1, Building 1, Waste Room			
Bin Liner	Refer Spec	240L	1
Recycling Bin	MSG	660L	4
Service Bin	MSG	660L	1
Waste Bin	MSG	660L	4
Basement 1, Building 1A, Waste Room			
Recycling Bin	MSG	660L	6
Service Bin	MSG	660L	1
Waste Bin	MSG	660L	6
Basement 1, Building 1B, Waste Room			
Recycling Bin	MSG	660L	3
Service Bin	MSG	660L	2
Waste Bin	MSG	660L	3

05	21/3/20	S75WSubmission	SB
04	16/8/19	S75WUpdated Package for DPIE review	SB

rev	date	name	ID	description	by	chk
client						

Crown Group
L29, 1 Market Street, Sydney, NSW, Australia



CrownGroup

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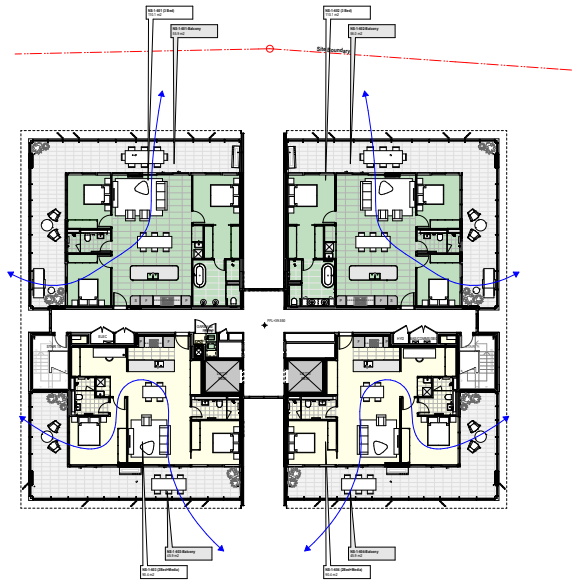
project

EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

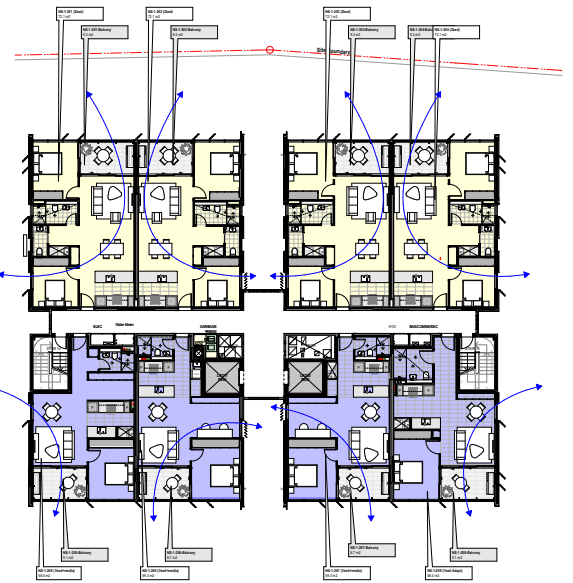
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**Section 75W Application
Area Schedule**

scale	Not to Scale	first issued	02/05/2017
project code	sheet no.	revision	
CGEN	S75W130024	05	

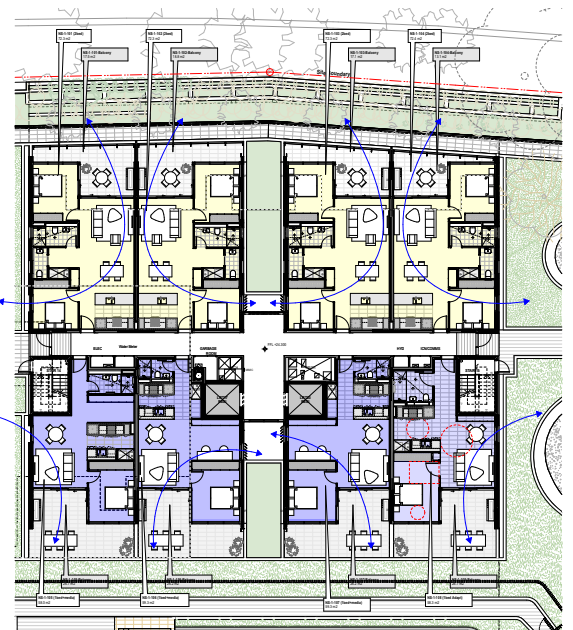
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03 PLAN 6th Floor
NTS ADG Compliance Diagrams



02 PLAN 2nd to 5th Floor
NTS ADG Compliance Diagrams



01 PLAN First Floor
NTS ADG Compliance Diagrams

Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1																						GENERAL NOTE: A revised entry location to the block as well as an additional lift has been included which required relocation of the fire stairs. In turn a new apartment layout plan was developed within the approved envelope which delivers compliant internal apartment storage, higher quality amenity in a more efficient and thereby affordable plan.
	First Floor																					
	NS-1-101	2 Bed					72.3	✓	17.5	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	1st revised planning to achieve a 26181PR with 72.3sqm internal and 17.5sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-102	2 Bed					72.3	✓	18.8	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	1st revised planning to achieve a 26181PR with 72.3sqm internal and 18.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-103	2 Bed					72.3	✓	17.1	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	1st revised planning achieves a 26181PR with 72.3sqm internal and 17.1 sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-104	2 Bed					72.4	✓	13.1	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	1st revised planning achieves a 26181PR with 72.4sqm internal and 13.1 sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-105	1 Bed	✓				58.0	✓	26.7	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	1st revised planning achieves a 18ed1 Bath Study with 58.0sqm internal and 26.7sqm external area, with a significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-106	1 Bed	✓				59.3	✓	26.2	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	1st revised planning achieves a 18ed1 Bath Study with 59.3sqm internal and 26.2sqm external area, with a significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-107	1 Bed	✓				59.3	✓	26.2	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	1st revised planning achieves a 18ed1 Bath Study with 59.3sqm internal and 26.2sqm external area, with a significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-108	1 Bed			✓		58.3	✓	26.7	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	1st revised planning achieves a larger 18ed1 Bath Accessible Apartment with 58.3sqm internal and 26.7sqm external area. The plan also features compliant storage and laundry opening into the kitchen rather than the media room, resulting in a significant increase in the quality of the amenity provided and the useable apartment area. The plan is also revised from the approved to achieve a symmetrical facade arrangement which is more complementary to the overall appearance of the building.

Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1																						GENERAL NOTE: A revised entry location to the block as well as an additional lift has been included which required relocation of the fire stairs. In turn a new apartment layout plan was developed within the approved envelope which delivers compliant internal apartment storage, higher quality amenity in a more efficient and thereby affordable plan.
	2nd to 5th Floor																					
	NS-1-201,301,401,501	2 Bed					72.1	✓	9.3	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	1st revised planning includes a powder room, standalone laundry and now provides compliant internal storage to achieve a 26181PR with 72.1sqm internal and 9.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-202,302,402,502	2 Bed					72.1	✓	9.3	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	1st revised planning includes a powder room, standalone laundry and now provides compliant internal storage to achieve a 26181PR with 72.1sqm internal and 9.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-203,303,403,503	2 Bed					72.1	✓	9.3	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	1st revised planning includes a powder room, standalone laundry and now provides compliant internal storage to achieve a 26181PR with 72.1sqm internal and 9.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-204,304,404,504	2 Bed					72.1	✓	9.3	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	1st revised planning includes a powder room, standalone laundry and now provides compliant internal storage to achieve a 26181PR with 72.1sqm internal and 9.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-205,305,405,505	1 Bed	✓				58.0	✓	9.1	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	1st revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 18181M with 58.0sqm internal and 9.1sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-206,306,406,506	1 Bed	✓				59.3	✓	8.7	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	1st revised planning includes a generous media room, standalone laundry and now provides compliant internal storage to achieve a 18181S with 59.3sqm internal and 8.7sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-207,307,407,507	1 Bed	✓				59.3	✓	8.7	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	1st revised planning includes a generous media room, standalone laundry and now provides compliant internal storage to achieve a 18181S with 59.3sqm internal and 8.7sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-208,308,408,508	1 Bed			✓		58.4	✓	9.1	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	1st revised planning achieves a larger 18ed1 Bath Accessible Apartment with 58.4sqm internal and 9.1sqm external area. The new plan features compliant storage and laundry opening into the kitchen, resulting in a significant increase in the quality of the amenity provided and the useable apartment area.

Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1																						GENERAL NOTE: A revised entry location to the block as well as an additional lift has been included which required relocation of the fire stairs.
	6th Floor																					
	NS-1-601	3 Bed					110.1	✓	55.9	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	1st revised planning includes a generous master suite to the East, standalone laundry and now provides compliant internal storage to achieve a 36031 with 110.1sqm internal and 55.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-602	3 Bed					110.1	✓	56	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	1st revised planning includes a generous master suite to the West, standalone laundry and now provides compliant internal storage to achieve a 36031 with 110.1sqm internal and 56sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-603	2 Bed	✓				90.4	✓	45.9	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓	1	1st revised planning achieves a 26281 M with 90.4sqm internal and 45.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-604	2 Bed	✓				90.4	✓	45.9	✓	✓	✓	✓	✓	✓	✓	✓	✓		✓	1	1st revised planning achieves a 26281 M with 90.4sqm internal and 45.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.

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 - DO NOT SCALE DRAWINGS.
 - USE FIGURED DIMENSIONS ONLY.

legend

02	6/4/20	STSW Submission	02A	STSW20 - Apartment Layout & Area changes	GB
rev	date	name	ID	description	by

client
Crown Group
L29, 1 Market Street, Sydney, NSW, Australia

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sydney melbourne uk
Level 5, 70 King Street • +61 2 9251 7077 • fjmtstudio.com

project
EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

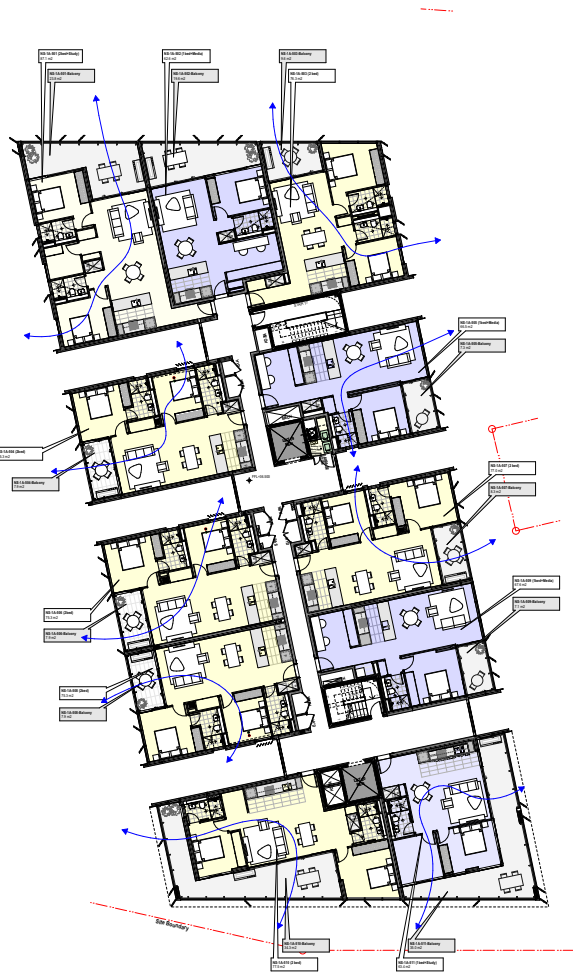
title
Section 75W Application
Building 1 ADG Compliance Analysis

scale	Not to Scale	first issued	02/05/2017
project code	sheet no.	revision	
CGEN	S75W130025	02	

For Approval



04 PLAN 6th Floor
NTS ADG Compliance Diagrams



03 PLAN 5th Floor
NTS ADG Compliance Diagrams

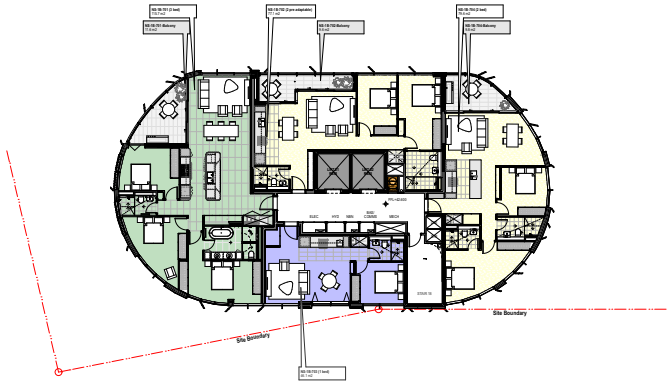
Buiding No	Apartment No	Type	Study	Media	Adapt	Dual Ray	Apartment Area	Corridor Area	Battery Area	Battery Depth (2m Min)	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living Min	Bed 1 Min	Bed 2 Min	Bed 3 Min	Storage	Quantity	Design Change Notes
Building 1A		2nd to 4th Floor																			<p>General Note: The location of the fire stairs was adjusted to better follow planning outcomes for the apartment. In turn a new fire stair was developed which allows compliant internal apartment storage, windows in the rooms and kitchen and a window at the main entrance, ensuring a more efficient and thereby affordable plan. These changes required minor amendments to facade alignments with no increase in GFA for the block.</p>
	NS-1A-201,301,401	2Bed	✓				87.1	23.8	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	<p>Approved as a 206kBed at 702kpa internal and 25kpa external area.</p> <p>First revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 203kMeda with 17 kpa internal and 23kpa external area. A significant increase in the quality of the amenity provided and the usable apartment area.</p> <p>Approved as a 186kBedMeda at 68 kpa internal and 25kpa external area.</p>
	NS-1A-202,302,402	1Bed	✓	✓			62.6	19.6	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	<p>First revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 183kMeda with 17 kpa internal and 17 kpa external area. A significant increase in the quality of the amenity provided and the usable apartment area.</p> <p>Approved as a 206kBed at 714 kpa internal and 17kpa external area.</p>
	NS-1A-203,303,403	2Bed		✓			78.3	9.6	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	<p>First revised planning includes a standalone laundry and compliant internal storage to achieve a 202k with 73 kpa internal and 12 kpa external area. A good increase in the quality of the amenity provided and the usable apartment area.</p> <p>Approved as a 206kBed at 713 kpa internal and 27 kpa external area. The study did not have a window and necessitating reworking of the apartment such that a window was possible, in turn this required minor facade changes.</p>
	NS-1A-204,304,404	2Bed					75.3	7.9	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	<p>First revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 203k with 73 kpa internal and 17 kpa external area. A significant increase in the quality of the amenity provided and the usable apartment area.</p> <p>Approved as a 186kBedMeda at 67kpa internal and 17kpa external area. The second revised plan did have a window and necessitating reworking of the apartment. The study did not have a window.</p>
	NS-1A-205,305,405	1Bed	✓				66.5	7.3	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	<p>First revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 189kMeda with 15 kpa internal and 17kpa external area. A significant increase in the quality of the amenity provided and the usable apartment area.</p> <p>Approved as a 206kBed at 712 kpa internal and 17 kpa external area.</p>
	NS-1A-206,306,406	2Bed					75.3	7.9	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	<p>First revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 203k with 73 kpa internal and 17kpa external area. A significant increase in the quality of the amenity provided and the usable apartment area.</p> <p>Approved as a 186kBed at 69 kpa internal and 17 kpa external area.</p>
	NS-1A-207,307,407	2Bed					77.0	8.3	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	<p>This apartment planning change is essentially a swap with apartment 105. The apartment 107 was non-compliant and has been reworked to be a compliant 2Bed. In turn, these changes have an impact on the area of apartment 107 which was revised to be a 1 Bed.</p> <p>First revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 203k with 17 kpa internal and 17 kpa external area. An improvement to the quality of the amenity provided and the usable apartment area.</p>
	NS-1A-208,308,408	2Bed					75.3	7.9	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	<p>First revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 203k with 73 kpa internal and 17kpa external area. A significant increase in the quality of the amenity provided and the usable apartment area.</p> <p>Approved as a 206kBed at 714 kpa internal and 17kpa external area.</p>
	NS-1A-209,309,409	1Bed	✓				67.6	7.1	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	<p>The apartment planning change is essentially a swap with apartment 107. 107 was approved as a non compliant 1 bed and has been revised to be a compliant 2Bed. In turn, these changes have an impact on the area of apartment 107 which was revised to be a 1 bed.</p> <p>First revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 183kMeda with 15 kpa internal and 17 kpa external area. A significant increase in the quality of the amenity provided and the usable apartment area.</p> <p>Approved as a 206kBed at 713 kpa internal and 17kpa external area.</p>
	NS-1A-210,310,410	2Bed					75.2	11.6	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	<p>First revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 202k with 17 kpa internal and 11 kpa external area. A significant increase in the quality of the amenity provided and the usable apartment area.</p> <p>Approved as a 206kBed at 712 kpa internal and 17kpa external area.</p>
	NS-1A-211,311,411	3Bed	✓				103.1	18.2	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	<p>First revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 305kStduy with 153 kpa internal and 17 kpa external area. A significant increase in the quality of the amenity provided and the usable apartment area.</p> <p>Approved as a 206kBed at 712 kpa internal and 20kpa external area.</p>

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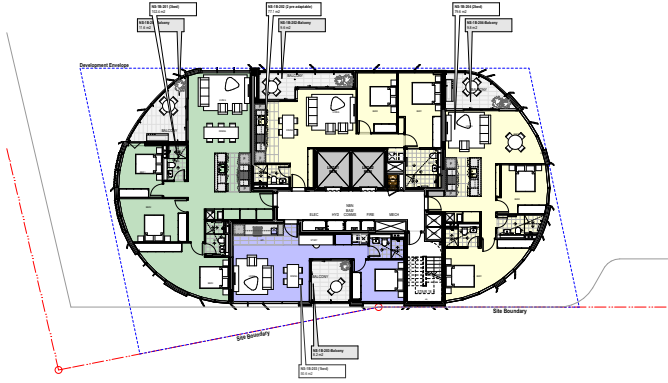
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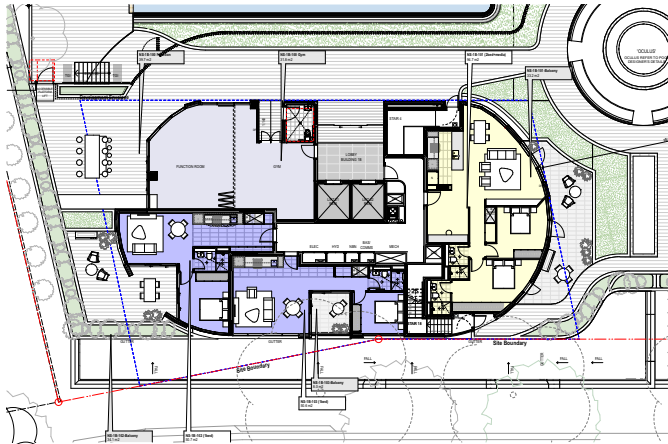
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03 PLAN 7th Floor
NTS ADG Compliance Diagrams



02 PLAN 2nd to 6th Floor
NTS ADG Compliance Diagrams



01 PLAN First Floor
NTS ADG Compliance Diagrams

Building No	Apartment No	Type	Study	Media	Adapt	Dual	Apartment	Compliance	Bathroom	Racoon	Cross	South	Kitchen	Living	Bed 1	Bed 2	Storage	Quantity	Design Change Notes
Building 1B																			
General Note: The gym and function room locations were reviewed and it was believed they were not disconnected from the pool area. This would limit the apartment primarily located on the west towards the east and now there would be a general courtyard and landscaping facing the houses of other apartments. This change also had the benefits of moving possible noise conflicts between ground floor apartments and the pool activity areas.																			
All Floors																			
First Floor																			
	NS-1B-101	2					947	✓	22.2	✓	✓	✓	✓	✓	✓	✓	✓	1	Ground floor apartment location swapped with Gym and Function room to have been relationship with adjoining residential apartments.
	NS-1B-102	1					507	✓	24.1	✓	✓	✓	✓	✓	✓	✓	✓	1	Minor modifications.
	NS-1B-103	1					506	✓	8	✓	✓	✓	✓	✓	✓	✓	✓	1	Minor modifications.
2nd - 6th Floor																			
	NS-1B-201, 301, 401, 501, 601	3					1024	✓	11.6	✓	✓	✓	✓	✓	✓	✓	✓	1	No change.
	NS-1B-202, 302, 402, 502, 602	2				✓	771	✓	9.6	✓	✓	✓	✓	✓	✓	✓	✓	1	No change.
	NS-1B-203, 303, 403, 503, 603	1					506	✓	8.2	✓	✓	✓	✓	✓	✓	✓	✓	1	No change.
	NS-1B-204, 304, 404, 504, 604	2					796	✓	9.8	✓	✓	✓	✓	✓	✓	✓	✓	1	No change.
7th Floor																			
	NS-1B-701	3					185.7	✓	11.6	✓	✓	✓	✓	✓	✓	✓	✓	1	No change.
	NS-1B-702	2				✓	771	✓	9.6	✓	✓	✓	✓	✓	✓	✓	✓	1	No change.
	NS-1B-703	1					45.1	✓	0	✓	✓	✓	✓	✓	✓	✓	✓	1	No change.
	NS-1B-704	2					796	✓	9.8	✓	✓	✓	✓	✓	✓	✓	✓	1	No change.



- GENERAL NOTES**
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
 - ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
 - DO NOT SCALE DRAWINGS.
 - USE FIGURED DIMENSIONS ONLY.

legend

01	21/3/20	S75WSubmission	SB
rev	date	name	ID description by chk

client
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project
EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title
Section 75W Application
Building 1B ADG Compliance Analysis

scale	Not to Scale	first issued	02/05/2017
project code	sheet no.	revision	

CGEN **S75W130027** **01**

For Approval

Project Name		200406 CGEN S75W Architectural Design Report	
Project Code		CGEN	
Document Name		S75W Architectural Design Statement	
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