

Eastlakes Town Centre - North Site Section 75W Application



**Architectural Design Report** 

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### 1.0 Introduction

#### **Evans Avenue, Eastlakes**

#### **Residential Mixed-Use Development**

This Design Report supports the submission of a S75W Development Application for a new Mixed-Use Residential Development located at 19 Evans Avenue, Eastlakes.

This report outlines the enhancements and upgrades developed by fjmt studio and the proponent to the previously approved MOD1 scheme.

Following the approval of the revised Building 1B, podium design, retail awnings and associated landscape the proponent and fjmt Studio identified an opporunity to enhance the appearance of the development by revising the fenestration, colour and materiality of the Blocks 1 and 1A to create an integrated urban response.

Approved apartment plans were reviewed and revised to deliver on RFDC/ ADG compliance, improved amenity and design quality.

#### 1.1 Design Changes

Within Buildings 1 and 1A fjmt Studio identified non-conformances within the previously approved apartment planning.

These included bedrooms not having windows and compliant internal storage provisions not being met or in most instances not allowed for or identified within the apartment planning.

To address this the proponent and fjmt Studio proposed small and specific modifications to the building envelope and apartment planning to achieve compliance

- Improvements to vertical transport by adding a lift to building 1 and extending the lift to the top floor of building 1A
- Documentation of roof plant and services that was previously missing from the approved plans
- Re-orienting stair cores to improve affected apartment layouts
- Improvements to the apartment amenity by changes to apartment layout
- Flipping balconies to increase separation to neighbour
- Adding dedicated storage space into apartment layouts
- Addition of façade vertical louvers to match building 1B and break up blank walls
- Re-location of the function room and gymnasium in Building 1B

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### 2.0 Vertical Circulation

#### 2.1 Vertical Transport Enhancements

An additinal lift was added to Building 1 and the second lift of building 1A has had its run extended to L6

### 2.2 Fire Stair Changes

The fire stairs locations in both Buildings 1 and 1A have been revised to improve apartment planning outsomes.

In Building 1 the fire stairs have been rotated and shuffled to allow for better apartment amenity

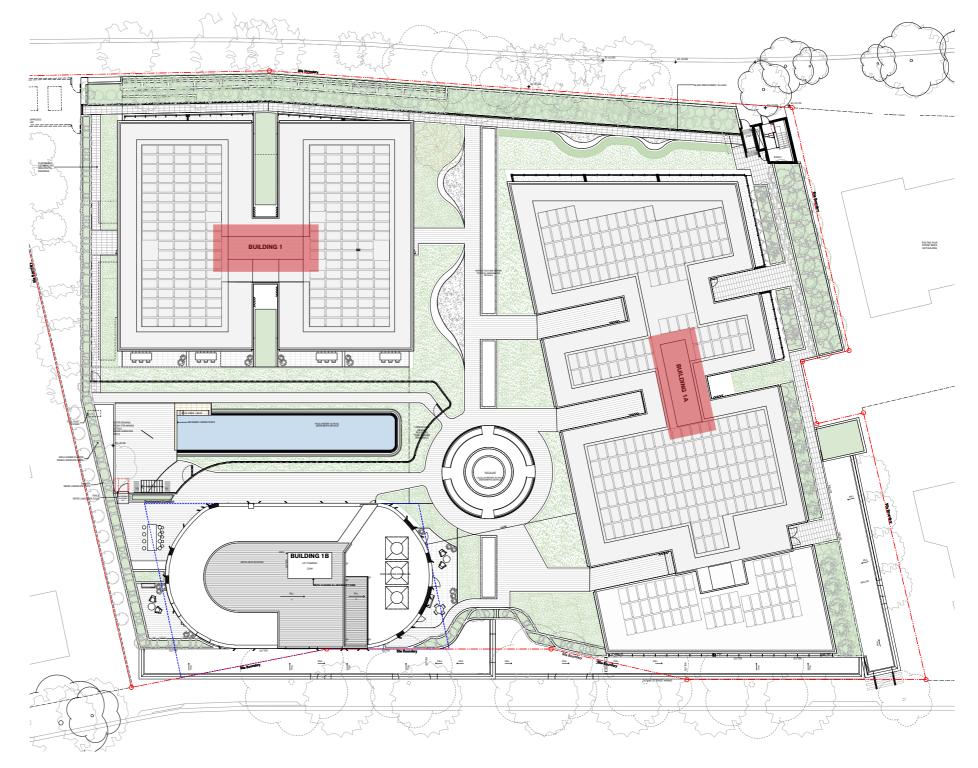
In Building 1A one stair location was modified to achieve better apartment amnenity and yield.



## 3.0 Additional Drawing Information

#### 3.1 Roof Plant and Services

Documentation of roof plant and services that was previously missing from the approved scheme. The services and their requirements have now been coordinated and adopted in the building desgins of both Buildings 1 and 1A.Enhanced Drawing Information



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# 4.0 Enhanced Apartment Amenity

The following study plans compare the Approved MOD 1 apartment planning with the Proposed revised apartment planning and highlights the changes adopted.

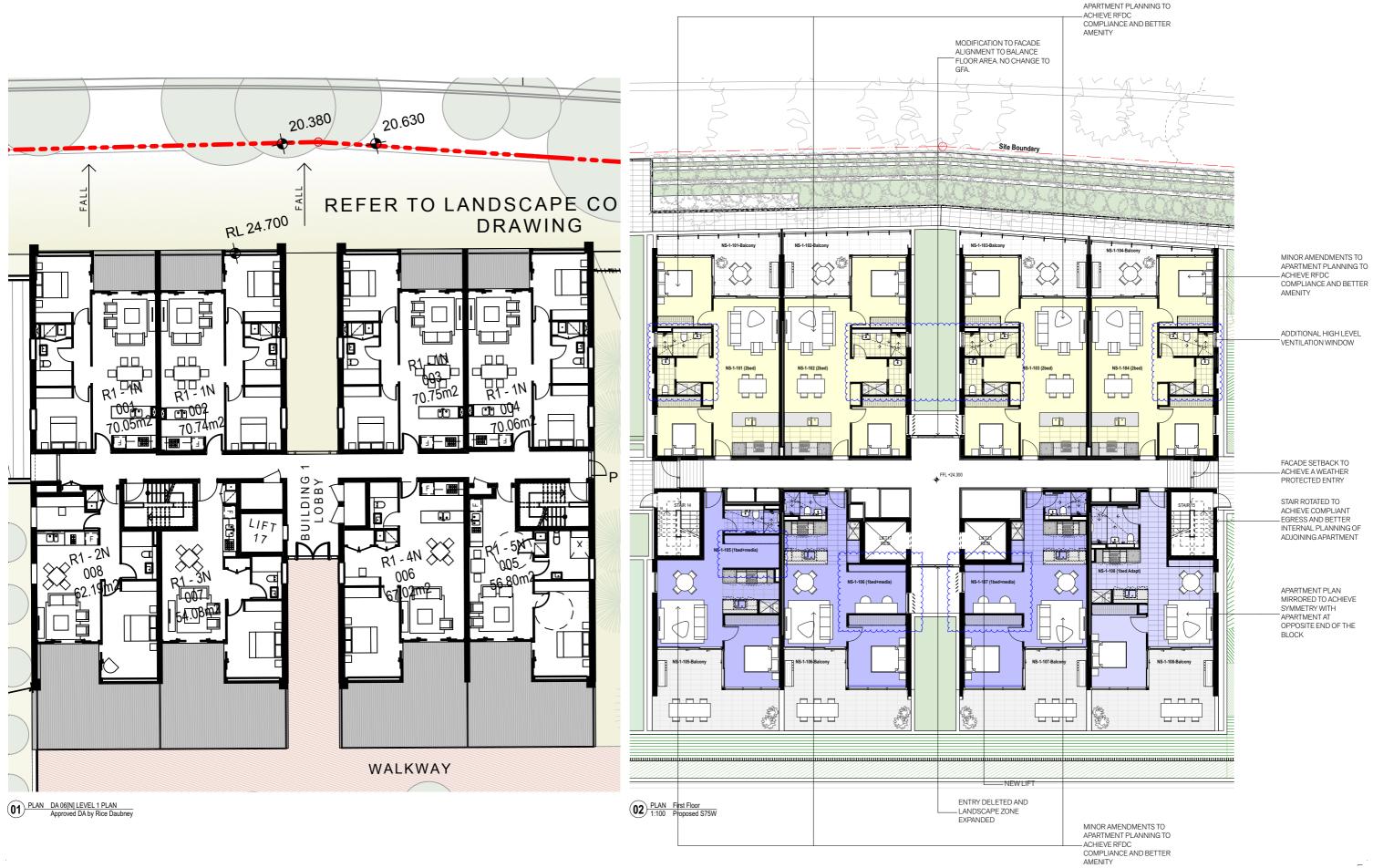
The focus of the design changes has been to improve planning quality to achieve closer compliance with SEPP65 and enhance apartment amenity outcomes across the whole of the proposed development.

Generally the planning is more open and efficient, and where compliance issues were idientified in the Approved MOD1 scheme, fjmt studio have revised the arrangement of the apartment to improve the compliance of the proposed apartments.

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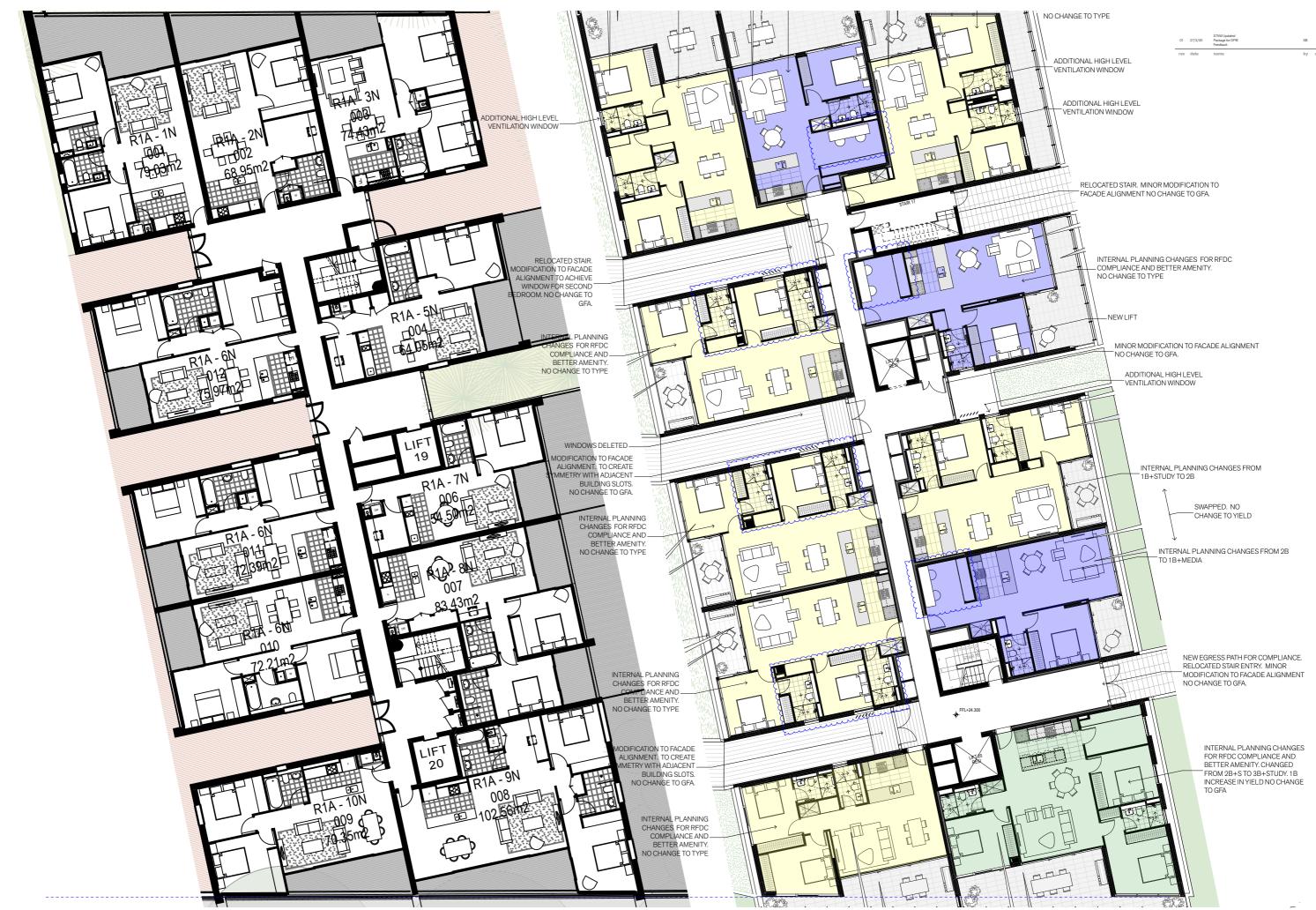
MINOR AMENDMENTS TO

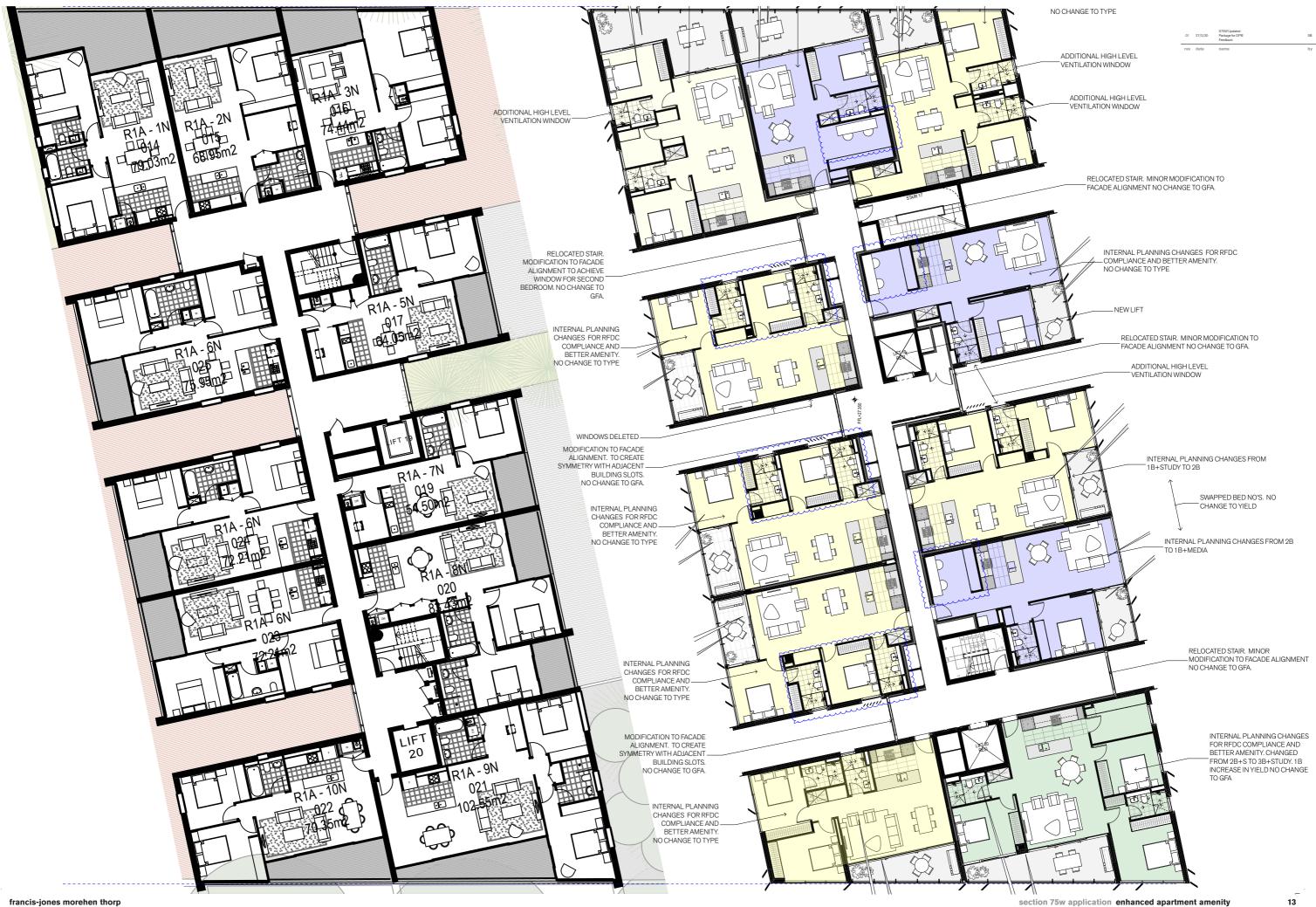


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01 27/2/20 Package for DPIE \$8
Feedback











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## 5.0 Private Open Space Seperation

The Building 1 Apartment 108 stack was previously approved with its terrace/balcony drectly adjoing the Apartment 107 stack.

fjmt Studio and the proponent identified an opportunity to provide better amenity for this stack by mirror reversing the planning of the apartmnent such that the terraces/balconies are seperated internal private space.



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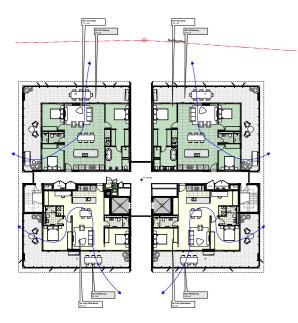


## 6.0 Apartment Planning Compliance

fjmt Studio prepared an assessment of the revised apartments against the ADG (refer to ADG Compliance Schedule submitted at Appendix B).

This exercise identified some inconsistencies with the ADG design criteria and objectives. Some of these inconsistencies are existing (l.e. approved) and others have come about as a result of the changes proposed by MOD 4.

A summary of the inconsistencies and the proposed response is outlined as follows:



PLAN 6th Floor
NTS ADG Compliance Diagrams



PLAN 2nd to 5th Floor
NTS ADG Compliance Diagrams



PLAN First Floor
NTS ADG Compliance Diagrams

Building No	Apartment No	Туре	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)				Kitchen Location		Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Pesign Change Notes
Building 1																						GENERAL NOTE: A revised entry location to the block as well as an additional lift has been included which required relocation of the fire state. It have a reverge that sport plant all post plant as developed within the query provided revelope which delivers compliant internal apartment storage. Table or quality amenty in a more efficient and the early afforcable plan.
	First Floor																					
	NS-1-101	2 Bed					72.3	₫	17.5	₹	✓	₹		₹	ゼ	₹	€	₹		ゼ	1	Approved as a 28641 Bitth at 705 Sogn Internal and Stopm external area.  Synt revised planning to achieve a 2818 8174 with 72 Sogn internal and 17.5sgm external area. A significant increase in the quality of the amensity provided and the useable partment area.
	NS-1-102	2 Bed					72.3	₹	18.8	₹	ゼ	₹		₹	₹	₹	€	₹		€	1	Approved as a 2Bed1Beth at 70 Yagym internal and Bisym external area. Fjint revised planning to achieve a 2B1B1PR with 72 Jayym internal and 18 Jayym external area. A significant increase in the quality of the amenity provided and be usuable spartners area.
	NS-1-103	2 Bed					72.3	€	17.1	₹	ゼ	₹		€	₹	₹	€	⋖		₹	1	Approved as a 2Bed1 Beth at 7.0 TSoym internal and 88ym external area.  First revised planning authories a 2B181PF with 7.2 Saym internal and 17.5 sym external area. A significant increase in the quality of the amenity provided and the usuable synthesis area.
	NS-1-104	2 Bed					72.4	ゼ	13.1	ゼ	ゼ			⋖	€	ゼ	ゼ	₫		€	1	Approved as 2 (Best 18th at 7 (10 (Segm internal and 8 (Segm enternal area.)  First revised planning authores as 9818 IRP with 72 (Asym internal and 13.1 sqm external area. A significant increase in the quality of the amenity provided and the usuable spatiment area.
	NS-1-105	1 Bed		ゼ			58.0	ゼ	26.7		ゼ	₫		₹	₫	๔	ゼ			✓	1	Approved as a 1 Bed1 Bath 1 Study at 82 19 sqm internal and 2 Sagm external area.  First revised planning achieves a 1 Bed1 Bath 1 Study with 5 Sagm internal and 2 6.7 sqm external area, with a significant increase in the quality of the amenity provided and the usuable systement area.
	NS-1-106	1 Bed		₹			59.3	₹	26.2	₹	✓	₹	₹	₹	₹	₹	₹			₹	1	Approved as a 18ort Bath at 94.0 Bisgni internal and 35sgni external area.  Synt revised planning autors a 18ort 18ort 19ort 18ort years 19ort 1
	NS-1-107	1 Bed		₹			59.3	€	26.2	₹	₹	₹	₹	₹	€	₹	€			₹	1	Approved as a 1 Bed 1 Beh 1 Media at 67 (20pm internal and 35ppm external area.  If mit revised planning achieves a 1 Bed 18 Beh 1 Media with 59 3ppm internal and 26 3ppm external area. The plan also features compliant durage and and laundly opening into the kitchen rather than the media room, resulting in a significant nonesse in the quality of the amenity provided and the usually experiment year.
	NS-1-108	1 Bed			₹		58.3	€	26.7	✓	₹	₹		₹	€	₫	€			€	1	Approved as a 1 Bed 1 Beth Accessible Apartment at 56 (Bloom internal and 25 agm external area.  Synt revised planning achieves a larger 1 Bed 1 Beth Accessible Apartment with 58 down internal and 68 Topm external area. The plan also required planning achieves a larger 1 Bed 1 Beth Accessible Apartment with 58 down internal and 68 Topm external area. The plan also required planning and and all analy opening into the kitchen rather than the medial room, resulting in a significant increase in the quality of the aments provided and the usuable apartment area. The plan also in mirrored from the approach to achieve a symmetrical founder.

Building No	Apartment No	Тур	e Stud	y Med	lia Ada		Dual Apar Key A	rtment	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)				Kitchen Location	165-	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	r Design Change Notes
Building 1					Ť				Ü		Ü												GENERAL NOTE: A revised entry location to the block as well as an additional lift has been included which required relocation of the fire stairs. In turn a new quarterest liquit, plan was developed within the approved envelope which delivers compliant internal apartment storage higher quality amently in a more efficient and thereby allocation plan.
	2nd to 5th Floor																						
	NS-1-201,301,401,501	2 Be	d				7.	72.1		9.3		₹	€		⋖	₹	₫	₫	ゼ		₹	1	Approved as a 28x41 Bibth at 70.05 spin informal and 17 begin external area.  First revised planning includes a powder room, standardon learney and now provides compliant internal stronge to achieve a 28181 FPR with 21 spin internal and 5 steps external results. A significant increase in the quality of the amenity provided and the usuable apartment area.
	NS-1-202,302,402,502	2 Be	d				7.	72.1	⋖	9.3		ゼ	₫		⋖	ゼ	⋖	⋖	⋖		ゼ	1	Approved as a 286d 184h at 70.75sgm internal and 7.2sgm external area.  first revised planning includes a powder room, standalone laundry and now provides compiliant internal strange to achieve a 28181PR with 72.1 som internal and 9.3scm external area. A sacinificant increase in the causiline of the amening provided and the usuable exactment area.
	NS-1-203,303,403,503	2 Be	d				7	72.1	⋖	9.3		₹	€		₫	₹	⋖	⋖	⋖		€	1	Approved as a 28ed 18ah at 10.05sym internal and 7.2sym external area.  finit revised planning includes a powder noon, standations laundry and now provides compliant internal storage to achieve a 2/8181 PR with 72 sign internal and 3 Sagm external rese. A significant internase in the quality of the amenity provided and the usuable gardment area.
	NS-1-204,304,404,504	2 Be	d			T	7	72.1		9.3		₹	€		₹	₹	₹	⋖	⋖		ゼ	1	Approved as a 28ed 18eth at 10.75sym internal and 7.2sym external area.  Synt revised planning includes a powder norm, standatione laundry and now provides compliant internal atonage to achieve a 28181PR with 72 tagn internal and 3 Sagn external rane. A significant internase in the quality of the amenity provided and the usuable gartnerst area.
	NS-1-205,305,405,505	1 Be	d	₹		T	5	58.0	₫	9.1		✓	ゼ		ゼ	€	ゼ	ゼ			ゼ	1	Approved as a 18ed 18eth 1Study at 82 19eam internal and 7.2cpm enternal area.  First revised planning includes a standatione laundy and now provides compliant internal storage to achieve a 1818 TM with 58.0cpm internal and 18.2cpm compared area. A significant increase in the quality of the amonity provided and the usuable quartment area.
	NS-1-206,306,406,506	1 Be	d	₹			5	59.3	₹	8.7		✓	ゼ	✓	ゼ	€	₫	€			₹	1	Approved as a 1 Bert 18th at 5 CM Steprinternal and 7 Steprin external area.  Pert existed planning includes a generous media room, standatione laundry and now provides compliant internal stronge to achieve a 188 BM Steprin laternal and 5 Type network area. A supplicant increase in the quality of the amenty provided and this usuable
	NS-1-207,307,407,507	1 Be	d	<	,	T	5	59.3	₹	8.7		✓	₫	✓	₹	₹	€	₹			✓	1	Approved size 18601 Bath at 67 (20 sign internal and 7 2 sign external area.  Symmetric size of planning includes a generous media room, standalone laundry and now provides compliant internal storage to achieve a 1881815 with 59 3 sign internal and 87 sign external area. A significant increase in the quality of the amenity provided and the useable continent area.
	NS-1-208,308,408,508	1 Be	d			1	5	58.4	₹	9.1	๔	✓	₫		✓	€	₹	€			₹	1	Approved sis a 1864 Bath Accessible Apartment at 56 80 year internal and 7 2 year external area.  Synt revised planning achieves a larger 18ed 18ath Accessible Apartment with 58 Asquinitemal and 9.1 sym external area.  The new plan features compliant stronge and and allumdry opening into the kitchen, resulting in a significant increase in the quality of the amenty provided and the usueble accentment area.

Building No	Apartment No	Туре	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)			Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Pesign Change Notes
Building 1																					GENERAL NOTE: A revised entry location to the block as well as an additional lift has been included which required relocation of the fire star
	6th Floor																				
	NS-1-601	3 Bed					110.1	₹	55.9	₫	✓	✓	ゼ	✓	ゼ	✓	₹	✓	₹	1	Approved as a 38hc/26th Perhavour at 105.64apm intend and approximately 50apm colored area.  For inviving disministry includes a generation state to the East, standarione burndy and now provides compliant internal storage to achieve a 1950 with 10° Eugo Internal and ES September allows. Supplicated increase in the quality of the amorehy provided and the usuable autoriment area.
	NS-1-602	3 Bed					110.1	₹	56	₹		₹	✓	₹	₹	₹	₹	₹	₹	1	Approved as a 38xCDSah-Perhouse of 105.64pm intend and approximately 50xpm celemal area.  For making favoring conducting approved contact rails to the Visit standardism favoring visit on provides comprised intended and the standardism favoring visit on provides compliant intend along the service of the contact of the co
	NS-1-603	2 Bed		€			90.4	₹	45.9	ゼ	⋖	₹	₹	⋖	₹	₹	₹		⋖	1	Approved as a 2Bed1 Bath Piers a 2BB2 M with 0.0 again internal and approximately 50sqm external area.  First revised planning achieves a 2BB2 M with 0.0 again internal and 45.9 again external area. A significant increase in the quality of the armently provided and the usuable spartment area.
	NS-1-604	2 Bed		₹			90.4	₹	45.9	ゼ	⋖	₹	₹	ゼ	₹	ゼ	€		✓	1	Approved as a 2Bed2Bath Media Penthouse at 95 97 sgm internal and approximately 50 sgm external area.  Fight revised planning achieves a 2B2B1M with 90.0 sgm internal and 45.9 sgm external area. A significant increase in the quality of the amenity provided and the useable spartment area.

#### 6.1 Building 1,

#### Level 1 -5 Apartments 101-104 Stack

These apartments were approved as 2 bed 1 bath configurations with an internal area of approximately 70sqm and a balcony area of 9.3sqm (above podium level).

MOD 4 sought changes to the configuration of the apartments to improve amenity and liveability, including the provision of compliant storage and addition of a bathroom and increased internal size to between 72.1sqm - 72.4sqm.

In accordance with the ADG, the minimum internal area for a bed/ 2 bath apartment is increased from 70sqm to 75sqm and minimum balcony area is 10sqm regardless of the number of bathrooms.

The following changes are proposed to these apartments to achieve ADG compliance:

- Delete ensuite bathroom and transition to primary bathroom.
- Delete second bathroom and transition to water closet.

MOD 4 seeks to increase the private open space of the apartments at podium level (level 1). No change is proposed to the private open space area above level 1. The areas remain as per the approved situation being 7.9sgm instead of 10m under the ADG.

#### Building 1 Media Rooms Level 1-5 Apartments 105, 106 & 107

These apartments are proposed as 1 bedroom apartments + media rooms. The media rooms have been designed without windows and doors and feature built in elements including a desk and storage to discourage occupiers from using the spaces as bedrooms.

#### Building 1 Media Rooms Level 6, Apartments 603 & 604

#### 6.2 Building 1A

#### Level 1 -5 Apartments 104, 106 & 108

These apartments were approved as 2 bed 1 bath configurations with an internal area of approx. 70.35 – 75.97sqm and a balcony area generally between 7.9sqm – 8.9sqm.

MOD 4 sought changes to the configuration of the apartments to improve amenity and liveability, including the provision of compliant storage and addition of a bathroom. These apartments are 75.3sgm in size.

In accordance with the ADG, the minimum internal area for a 2 bed/ 2 bath apartment is increased from 70sqm to 75sqm and minimum balcony area is 10sqm regardless of the number of bathrooms. The proposal does not seek to change the approved size of the balcony. While it does not comply with the ADG in some instances, this inconsistency is as per the approved situation.

While the proposal results in a minor inconsistency with the ADG external apartment size, this inconsistency is considered minor and is balanced against achieving much higher internal amenity apartments compared to the approved (including provision of a window to the second bedroom in the apartment 104 stack which were approved without a window).

Notwithstanding, the following changes are proposed to Apartments 104, 106 & 108 stack to achieve ADG compliance:

Revise planning and apartment area to achieve 75sqm internal for a 2 bed 2 bath

No further changes are proposed to Apartment 110 stack, which are proposed as 2 bed/ 2 bath configurations. At levels 3-5 they measure 75.3sqm internally but this minor inconsistency (0.7sqm) is balanced against achieving greater balcony sizes between 10.9sqm (levels 3 & 4) and 32.5sqm (level 5).

#### Building 1A, Level 6 Apartments 603, 605 & 606

These apartments have been amended to achieve ADG compliance by deleting the second bathroom and replacing with a water closet and increasing the internal size of the apartment. These two bed/ 1 bathroom apartments now measure between 70.3 - 70.4sqm internally and a have a balcony size of between 12.6 - 13.4sqm.

These apartments are proposed as 1 bedroom apartments + media rooms. Apartment 603 was approved without a media room whereas Apartment 604 was approved with a media room. The design of the approved media room is retained albeit slightly modified to reflect the revised apartment design and replicated in Apartment 603.

#### Building 1A Media Rooms Level 1-5 Apartments 102, 105 & 109

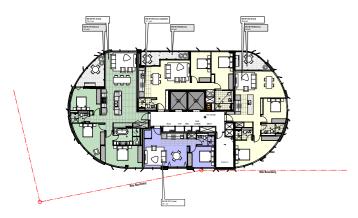
Apartment 102 stack - media room is generally consistent with the approved design. Apartment 105 stack – media room design generally consistent with approved design (flipped in plan). Apartment 109 stack – consistent with media room design of apartment 102 and 105 stack (previously approved by DPIE).

#### Building 1A Media Rooms Level 6 Apartment 604

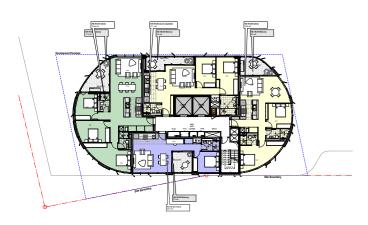
Apartment 604 – consistent with media room design of levels below.



Building No	Apartment No	Туре	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliano	Balcony Depth (2m Min)	Cross Vent	South (Facing I	Ceiling K Height Li	attenen	iving Bed Min Mi 4m 3n	Min		Storage	Quantity	Design Change Notes
Building 1A																					Assert Met. The location of fice stain you applicable to drive hotting belowing outcomes for the appartments. In time series typical plan was overloped with olders comprised in these apparents are some plant and through undown in the advocrous and studies and overall a dismattic improvement in sensity in more efficient and thereby affortibble plans. These charges required minor amendments to bloads alignments with no increase in GFA for the block.
	1st Floor																				GPA RE PIN BOOK
	NS-1A-101	2 Bed	₹				87.1	✓	35	✓	✓	✓		✓	✓	v v	✓	П	✓	1	Approved as a 28ed28sth at 78 03sqm internal and 30sqm enternal area.  (first revised planning includes a standational laundry and now provides compliant internal storage to achieve a 2826Study with 87.1sqm
	NS-1A-102	1 Bed		✓			62.4	✓	30.7	✓	₹	✓		₹	✓	<b>V</b>			✓	1	Fint twissing planning includes a standalone laundy want one provided compliant internal storage to achieve a 2E26Sstudy with ET 1 septimental and 55gen primaria eas. A springer for crosses in the quality of the amening provided and the sassible partment sees.  Approved as a 18sel 18stModea a 6E 55gen internal and 25gen external anas.  First twissing planning such as attaination and way and one provided and compliant features of achieve a 18stModea with 62-factor of the same planning of the same provided and stronger to achieve a 18stModea with 62-factor of the same planning of the same provided and stronger to achieve a 18stModea with 62-factor of the same planning of the same provided and same planning of the same provided and same planning of the same
	NS-1A-103	2 Bed					76.0	✓	38	✓	✓	₹		✓	-	v v	✓		✓	1	internal and 30.7sqm external area. A significant increase in the quality of the amenity provided and the useable spartment area.  Approved as a 25ed25tath at 74.43sqm internal and 30sqm external area.
															-						First twissing planning ricklass as standarions learned y and now provides compliant internal storage to achieve a 26058 with 7 to Dagn internal and Sigmon orbinarial area, supplicated movement in the quality of the a mental provided and the supplicated parameter season. Approved as a 256x11 Statis of 25.57 Sigmon internal and 2.75 Sigmon external area. The second based occurs during not have a enrobus necessalating injustment of the sequent activity that is where was possible, in him the supplicating of the sequent activity that is written as a second based occurs and the second based on the second
	NS-1A-104	2 Bed					75.3	₹	8.5		⋖	✓		₹	₹	<b>V</b>	✓		₹	1	For toxical planning richales an additional bathroom, standares laurely and non-provides compliant internal storage to actions or 2008 with 7.5 Sagmenters and 55 seem shared as A significant resources in the quality of the annexity provided and the useable apenfront area, as well as having a window in the bedocors. Approved as a 1968/IRBSHOS ys 464-565gm internal and 11 sept societarial arias. The second bedocors did not have a window and
	NS-1A-105	1 Bed		✓			66.2	๔	19.8	₹	₫	₹		₫	๔	<b>d</b>			₫	1	nacessitating replanning of the apartment. I he study did not have a window.  Fact on invited allowains includes attendations to under and new promister consolirate interest interest to exhibit in a 1919 Model with CC Comm
	NS-1A-106	2 Bed					75.3	✓	8.5		✓	✓		₹	₹	<b>V</b>	✓		✓	1	Approved as a 2Bed1Bath at 72.30sqm internal and 7.5sqm external area.
														$\top$	$\top$						feet inside planning includes an additional software, statediative leaving sections provides complete internal strongs in actions 4 2028 with 75 They internal ord Strong order and are. Self-foren chromation in Self-foren
	NS-1A-107	2 Bed					76.7	₹	8.5		⋖	✓		₹	₹	<b>V</b>	₹		₹	1	first revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 76.7sqm internal and
	NS-1A-108	2 Bed					75.3	₹	8.5		ゼ	₹		₫	₹	<b>V</b>	✓		₹	1	Estigm outstand area. An improvement in the quality of the wareney provided and the useable ippartment area.  Approved as a 2008-118 in 17.2 Steps interface and 27.5 Steps external and 25.5 Steps ex
	NS-1A-109	1 Bed		×			67.3	~	7.2		×	~		~	<b>V</b>	<i>y</i> ,			₹	,	with 75 Steps internal and 8 Steps external area. A nice increase in the quality of the amen'ny provided and the useable spartment area.  Approved as a 2560/258 in 88 4559 minimal and fiscine melental area.  This spartment planning diversifies a consentially a sweep with spartment 107. 107 was approved as a non-compliant 1 bed and has been revised to be a compliant 2564, in them, these changes had an impact on the area of spartment 100 which was revealed be a 1 Bed offer.
	18-18-103	1 560		~			07.5	~	1.2		*	•		•	•				*	Ľ	The two sead planning includes a standarden laundry and now provides compliant internal storage to achieve a 1818Modés with 67 Supri internal and 7 Juny moternal sea. A significant increases in the quality of the amenshy provided and the useable spartment area. Approved as 2 SEA Blass At 20 Significant increases in the quality of the partners area.
	NS-1A-110	2 Bed					75.2	ゼ	21.8	₹	ゼ	ゼ		₫	₹	<b>V</b>	✓		₹	1	reproved as 25th classifier in Continue to 25th provided in the Continue to 25th provided planning to achieve a 25th provided planning to achieve a 25th provided planning to 25th p
	NS-1A-111	3 Bed	₹				103.0	໔	30	₹	⋖	₹		⋖	₹	✓ ∨	✓	₹	₹	1	Approved as a 25est histerholous at 1022-posign internal and 25-appressional area.  First revised planning includes a standation laundry and now provides compliant internal storage to achieve a 382/851ady with 103.0 apm internal and 25eep nesternal area. A significant increases in the quality of the arrenting provided and the useable spatement area.
						Dual		90	Balcony	80 11	Balcony	Cross		Ceilina H	L	iving Bed	1 Bed	Bed 3			
Building No	Apartment No	Type	Study	Media	Adapt	Key	Apartment Area	Complian	Area	Complia	Depth (2m Min)			Ceiling H Height L	utchen	Min Mi 4m 3r	Min 3m	Min 3m	Storage	Quantity	Design Change Notes
Building 1A																					Samest Met: This location of first stem was adjusted to driver better glanning outcomes for this approximate, the time new layout plan was described with clieb drivers complicat instrumal payments stream, windows in bade ones and students all coveral all demands in processed in amenity in more efficient and thereby affordable plans. These changes required minor amendments to facade alignments with no increase in GFA for the black.
	2nd to 4th Floor																				
	NS-1A-201,301,401	2 Bed	₹		П		87.1	✓	23.8	✓	✓	✓		✓	✓	<b>√</b> •	<b>✓</b>		✓	1	Approved as a 28sa/28sith at 70 (25spm internal and 50spm endernal area.  Synt revised planning includes a standardone lisurally and now provides complant internal storage to achieve a 2818Media with 87.1 spm
	NS-1A-202,302,402	1 Bed	Ĥ	ď			62.6	<b>∀</b>	19.6	<b>₹</b>	w	<b>₹</b>	$\dashv$	<b>₹</b>	-	<b>V V</b>	+		w	1	finit revised planning includes a standalone lisundry and now provides compliant internal storage to achieve a 281 SMuda with 87.1 sigminishmal lard 25 floren external area. A significant increase in the quality of the amonity provided and the usessible apartment area.  Approved as a 186 SMU AMMINIORAL SEX SOSS primarial and 25 Storage reduction area.  Significant increases the storage of the storage of the storage of the storage of the storage to achieve a 181 SMuda with 62 Storage storage of the storage of th
	NS-1A-203,303,403	2 Bed		_			76.3		9.6	-	w w			~	-	-	+		M	,	internal and 19 Sieger external area. A significant increase in the quality of the amonity provided and the useable spartment area.  Approved as a 2Bed2Bath at 74.44scm internal and 10 scm external area.
								₹		H	_	₹	$\Box$	-	-		F		_		Sint mixed planning includes standalone launday and non-provides complicate inhamal strongs to achieve a ZECBI with 76. Sloom internal and Distrem othermal sext. Apport densisse in the quality of this samely provided and the sextella partment sext.  Approved as a ZECBI SIBI at 27.50 Tipen internal and 27.55 ppm external areas. The second bedroom did not have a window and necessitating qualitating of the partment such that a window was possible, in the necessitating nature for facilities that the partment such that a window was possible, in the nits required minor facilities that partment such that a window was possible, in the nits required minor facilities that the partment such that a window was possible, in the nits required minor facilities that the partment such that a window was possible, in the nits required minor facilities that the partment such that a window was possible, in the nits required minor facilities that the partment such that a window was possible, in the nits required minor facilities that are such as the partment of
	NS-1A-204,304,404	2 Bed					75.3	⋖	7.9		₹	₹		₹	₹	Z 2	✓		₹	1	5mt revised planning includes an additional bathroom, standalone laundry and now provides compliant infamal storage to achieve a 2828
	NS-1A-205,305,405	1 Bed		₹			66.5	๔	7.3		✓	໔		₫	₹	<b>d</b>			⋖	1	Approved as a 18th Bill Bill Bill Bill Stay at 84 Cognitive Internal and 11 tages solution in a superior internal and 11 tages solution in the same specific in the same specific in a surface and incessabilities optioning of the apartment. The study did not have a window.  The revised planning includes a standardiscine launchy and now provides complete internal storage to achieve a 1811 Bill Media with 66 Sequilimitation and 11 tages in the same specific in the same should be specified in the same should proper the same should be specified in the same should be specifi
	NS-1A-206,306,406	2 Bed					75.3	₹	7.9		₹	₹		₹	₹	<b>v</b>	✓		✓	1	Approved as a 28ed1 Bath at 72 39spm internal and 75 spm external area.  Spm revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 2828
								_													with TS Supmintered and TS Supm combinal area. A significant increase in the quality of the amen'ny provided and the useable apartment area.  Approved as a 18 Best 18 bit of S4 Stigren minimal and Slagen external area.  This apartment planning change is assentially a suspe with apartment 100. The approved 107 plan was non-compliant and has been revised to be a compliant 200 bit him these changes had an impact on the area of apartment 100 which was revised to be a 1 Best offer.
	NS-1A-207,307,407	2 Bed					77.0	₹	8.3		₹	₹		₹	₹	₹ ₹	■		⋖	1	to be a compliant 28sed. In hurry, these changes had an impact on the seas of apartment 100 which was an invasion to be a 1 Bed offer. See the related plant products a standardism cannel year fore procedure compliant internal design positions a 2958 with 77 Dupp informal and 8.3 spen desirations. An improvement in the quality of the sementy provided and see a second procedure of the sementy provided apartment area.
	NS-1A-208,308,408	2 Bed					75.3	⋖	7.9		⋖	✓		₹	₹	<b>√</b>	✓		⋖	1	fjmt revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 2828 with 75 3 spm internal and 7 Supm external area. nice increase in the quality of the emerity provided and the useable spartment area.
	NS-14-209 309 409	1 Red		✓			67.6	₹	7.1		~	₹		₹	7	<b>V</b>			₹	,	Approved as a 29bd/3Bth at 84 SScpn internal and 15kgn external area.  This sparthment planning change is essentially a sweep with sparthment 107. 107 was approved as a non-compliant 1 bed and has been revised to be a compliant 5 and in the representation of the second of the secon
				_				_				•		_	_				_		Synt revised planning includes a standardon laundry and now provides complant internal storage to achieve a 1B1BMedia with 67.8eqm internal and 7.1cqm external area. A significant increase in the quality of the amenity provided and the usesible apartment area. Approved as a 2864 till
	NS-1A-210,310,410	2 Bed					75.2	⋖	11.6	₹	ゼ	₹		₹	₹	₹ ₹	✓		⋖	1	Sent revised planning includes a standakine laundly and now provides compliant internal storage to uchieve a 280B with 75 Segm internal and 11 fizery molecular all area. A significant increase in the quality of the sensely provided and the useable apartment area. Approved to a 280B million internal and 14 fizery molecular planning in the provided and the useable apartment area.
	NS-1A-211,311,411	3 Bed	ゼ				103.1	ゼ	18.2	ゼ	ゼ	ゼ		₹	₹	<b>∀</b>	✓	ゼ	✓	1	First revised planning includes standslone laundry and new provides compliant internal storage to achieve a 3E0BStudy with 103.1sqm internal and 18.2sqm external area. A significant increase in the quality of the amonth
	NS-1A-211,311,411	3 Bed	₹						18.2	<b>✓</b>						_	_	-		1	first revised planning includes standalone laundry and now provides compliant internal storage to achieve a 3B2BStudy with 103.1sqm
Building No	NS-1A-211,311,411  Apartment No	3 Bed	study	Medi	a Adapt	Dual Key		Compliance	Balcony Area	Compliance	Balcony Depth (2m Mir	Cross	South Facing			Living B	_	12 Bed i		 T	first existed planning includes standard resistantly and now-provides compliant internal strongs to schows a \$5000004 yith 101 tags internal and 11 Stager selected even. A significant reviews in the goald yith to amend yor collect out the saidable spellment resis-
Building No	NS-1A-211,311,411  Apartment No	3 Bad	s Study	Media	a Adapt	Dual Key		plianoe		young	Balcony Depth	Cross	South Facing			Living B	d 1 Be	12 Bed i		 T	providing involves dendance burdly not now provides complain from all angue to achieve \$10000 dup with 101 temperatured on 110 temperatured and 110 temperatured area. Asymptomy recesses the quality of the amonthy provided and the causable quartered area.  Design Change Notes  Cleanal Matter The Location of the salance assubplicated to deline fractions provides and the causable quartered area.
Building No	NS-1A-211,311,411  Apartment No	3 Bed	e Study	Medi	a Adapt	Dual Key		plianoe		young	Balcony Depth	Cross	South Facing			Living B	d 1 Be	12 Bed i		 T	Instituted planning includes dandates launchly and now-provides compliant internal alongs to achieve a 1500 flowly with 100 topen retiremal and 11 Dayer retermed area. A legislatural recesses in the quality of the amending provided and the cased to quadrenal area.  Design Change Notes
Building No	Apartment No	Тур	a Study	Medi	a Adapt	Dual Key	Apartmen Area	Compliance	Balcony Area	Compliance	Balcom Depth (2m Mir	( Cross Vent	: South Facing	Ceiling Height	Kitchen	Living Bi	d 1 Be	12 Bed: n Minn 3m	3 Storage	Quanti	per acuted planning includes dendesine handly and map provides compated referred strongs to perhaps a 1500 State, with 101 type referred and 110 State nectional area. A significant recesses the quality of the amendy provided and the acuted approved strong and the acuted segment area. A significant recesses the quality of the amendy provided and the acuted segment area.  **Design Change Notes**
Building No	Apartment No Sth Floor NS-1A-501	Type 2 Ber	s Study	Medi	a Adapt	Dual Key	Apartmen Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Mir	Cross Vent	: South Facing	Ceiling Height	Kitchen	Living Bi	d 1 Berlin M 3	12 Bed: n Minn 3m	3 Storage	Quanti	Service and services produced standards in large production are produced and strong to surface a \$50000000 pc and 100 tops oriented and \$10 cm and many and services are the quality of the amorning proceded and the audide apartment area. A significant recrease in the quality of the amorning proceded and the audide apartment area.  Design Change Notes  Design Change Notes  Cleaned Note: The boots on the plane was adjusted to plane within principle and the prin
Building No Building 1A	Apartment No  5th Floor  NS-1A-901  NS-1A-902	2 Ber 1 Ber	s Study	Medi	a Adapt	Dual Key	Apartment Area 87.1	Compliance	Balcony Area	Compliance	Balcomy Depth (2m Mir	Cross Vent	South Facing	Ceiling Height	Kitchen Location	Living B Min 4m 1	d 1 Be	12 Bed: Min 3m	Storage	Quanti	per acuted planning includes dendesine handly and map provides compated referred strongs to perhaps a 1500 State, with 101 type referred and 110 State nectional area. A significant recesses the quality of the amendy provided and the acuted approved strong and the acuted segment area. A significant recesses the quality of the amendy provided and the acuted segment area.  **Design Change Notes**
Building No Building 1A	Apartment No Sth Floor NS-1A-501	Type 2 Ber	s Study	y Medi	a Adapt	Dual Key	Apartmen Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Mir	Cross Vent	South Facing	Ceiling Height	Kitchen	Living B Min 4m 1	d 1 Berlin M 3	12 Bed: Min 3m	3 Storage	Quanti	per execute de la comparte del la comparte de la comparte del comparte de la comparte de la comparte del comparte de la compar
Building No	Apartment No  5th Floor  NS-1A-901  NS-1A-902	2 Ber 1 Ber	s Study	Medi	a Adapt	Dual Key	Apartment Area 87.1	Compliance	Balcony Area	Compliance	Balcomy Depth (2m Mir	Cross Vent	s South Facing	Ceiling Height	Kitchen Location	Living Bi Min a 3	d 1 Be	12 Bed: n Min 3m	Storage	Quanti	per execute price of the control of
Building No	Apartment No  Sth Floor  NS-1A-501  NS-1A-502  NS-1A-503	2 Bei 1 Bei 2 Bei	a Study	v Medi	a Adapt	Dual Key	Apartmen Area 87.1 62.6 76.3	Compliance	23.8 19.6	Compliance	Balcomy Depth (2m Min	Vent	i South Facing	Ceiling Height	Kitchen Location	Uliving Bi Min B S S S S S S S S S S S S S S S S S S	d 1 Be Be M M M M M M M M M M M M M M M M M	12 Bed: n Min 3m	3 Storage	Quanti	particularly and the properties of the propertie
Building No	Apartment No  Sth Floor  NS-1A-501  NS-1A-503  NS-1A-504	2 Box 1 Box 2 Box 3 Box	s Study		a Adapt	Dual	Apartmen Area 87.1 62.6 76.3 75.3	Compliance	23.8 19.5 9.6	Compliance	Balcomy Depth Miles	Vent	i South Facing	Colling Height	Kitchen Location	Living B Min 8 2	dd 1 Be	Bed in Min 3m	Storage	1 1 1 1	Service of Marke This booken of the claims was aligned to determine the claim of the claims of the SERFER of the Comment of th
Building No	Apartment No  Sith Floor  NS-1A-501  NS-1A-502  NS-1A-503  NS-1A-503	2 Bes 2 Bes 1 Bes 1 Bes 2 Bes 2 Bes 1 Bes	s Study		a Adapt	Dual Rey	Apartmen Area 87.1 62.6 76.3 75.3	Compliance	23.8 19.6 9.6 79	Compliance	Balcony Depth (2m Mir	Vent  Cross Vent	i South Facing	Ceiling Height	Kitchen Location	Living B Min 8 2	dd 1 Bee Market	Bed in Min 3m	3 Storage	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	per en und primario de la Signa enfernad eras. A significant increase a the quality of the amening provided and the auxiliary and 10.5 sign referend area. A significant increase as the quality of the amening provided and the auxiliary and 10.5 signa enfernad area. A significant increase are the quality of the amening provided and the auxiliary and auxi
Building 1A	Apartment No  Sith Floor  NS-1A-501  NS-1A-502  NS-1A-503  NS-1A-503	2 Bes 2 Bes 1 Bes 1 Bes 2 Bes 2 Bes 1 Bes	a Study		a Adapt	Dual Key	Apartmen Area 87.1 62.6 76.3 75.3	Compliance	23.8 19.6 9.6 79	Compliance	Balcomy Depth Miles	Vent	i South Facing	Colling Height	Kitchen Location	Silving Billion Billio	dd 1 Be	12 Bed: Min Min 3m	Storage	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	per en und grant production de characteristic recesses in the quality of the amenity proceded and the washing specific recesses. The quality of the amenity proceded and the washing specific recesses in the quality of the amenity proceded and the washing specific recesses. The quality of the amenity proceded and the washing specific recesses and the quality of the amenity proceded and the washing specific recesses.  Design Character Notes and the washing specific recesses and the processes and
Building 1A	Apartment No  Stb Floor  NS 1A 501  NS 1A 503  NS 1A 503  NS 1A 505  NS 1A 505	2 Ber 2 Ber 1 Ber 2 Ber 2 Ber 2 Ber 2 Ber 3 Ber	s Study		a Adapt	Dual Key	### Apartment ### ### ### ### ### ### ### ### ### #	Compliance	23.8 19.6 7.9 7.3	Compliance	Balcom Depth Depth Cam Mire	/ Cross Vent	i South Facing	Colling Height	S S S S S S S S S S S S S S S S S S S	July and the state of the state	dd 1 Bee Millin M M M M M M M M M M M M M M M M M M M	Bed in Minn 3m	Storage  Storage  Storage	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	per count of the Common and Commo
Building No	Apartment No Sth Floor NS-1A-901 NS-1A-903 NS-1A-903 NS-1A-905 NS-1A-906 NS-1A-906	2 Ber 3 Ber	s Study		a Adapt	Dual Key	87.1 62.6 76.3 75.3 66.5	Compliance	238 19.6 9.6 7.9 7.3 7.9 8.3	Compliance	Balcom Balcom Can Mile	/ Cross vent	South	Ceiling Height	W www.	July and the state of the state	dd 1 Be	Bed in Minn 3m	Storage	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	per en und graven que nutural contractivos de manda en un processo comprehenda en processo comprehenda en el 2000 de partir de comprehenda en 2000 de partir de comprehe
Building No.	Apartment No Sth Floor NS-1A-901 NS-1A-903 NS-1A-903 NS-1A-905 NS-1A-906 NS-1A-906	2 Ber 3 Ber	Study		a Adapt	Dual Key	87.1 62.6 76.3 75.3 66.5	Compliance	238 19.6 9.6 7.9 7.3 7.9 8.3	Compliance	Balcom Depth Depth Cam Mire	/ Cross Vent	i South Facing	Colling Height	S S S S S S S S S S S S S S S S S S S	Signature of the state of the s	dd 1 Bee Millin M M M M M M M M M M M M M M M M M M M	Bed in Minn 3m	Storage  Storage  Storage	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	particularly district production of the control of
Building No	Apartment No  Sth Floor  NS-1A-501  NS-1A-502  NS-1A-503  NS-1A-505  NS-1A-505  NS-1A-505  NS-1A-505	2 Ber 3	a Study	₹	a Adapt	Dual	### Apartmen ### ### ### ### ### ### ### ### ### #	Completions  Completions	23.8 19.6 9.6 7.9 7.3 7.9	Compliance	Balcom Blic Com Min	Cross  Vent	i South Facing	Ceiling Height	Witchen Location	Signature of the signat	dd1 Be M S	Bed in Min 3m	Storage  Storage  Storage	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	particularly activation of the control of the contr
Building No	Apartment No Sith Floor NS-1A-501 NS-1A-502 NS-1A-503 NS-1A-505 NS-1A-505 NS-1A-505 NS-1A-505 NS-1A-505	2 Ber 2 Ber 2 Ber 1 Ber	a Study	₹	a Adapt	Dual Key	### ##################################		23.8 19.6 9.6 7.9 7.3 7.9 8.3 7.9	Completes	Balcom Depth	Cross Vent	i South Facing	Ceiling Height	Existence of the second of the	Library British and a second s	d d 1 Bellin M 3 3 4 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	Bed: Min Sm	Storage  Storage  Storage		Service and Carlos Services and Carlos Service
Building No	Apartment No  Sith Floor  NS-1A-501  NS-1A-502  NS-1A-503  NS-1A-505  NS-1A-505  NS-1A-506  NS-1A-509  NS-1A-509	2 Ber 3 Ber	a Study	₹	a Adapt	Dual	Apartment	Compliance	23.8 19.6 7.9 7.3 7.9 8.3 7.9 111.6	Completion	Balcon bler	/ Cross Vent	s South Fecing	Ceiling Height	Six	Library British and a second s	d 1 Be	Bed: Min Sm	Storage  Storage  Storage	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	particular del 12-per elevant del mellion transcessa in the quality of the among procedure to selection selection of the particular del 12-per elevant del mellion
	Agartment No Sth Floor NS-1A-501 NS-1A-503 NS-1A-503 NS-1A-505	2 Ber 2 Ber 2 Ber 2 Ber 2 Ber 3 Ber 3 Ber 3	a Study	2	a Adapt	Rey	Apartment		23.8 19.6 7.9 7.3 7.9 8.3 7.9 111.6	Compliance	Balcom Minimum Cam	Cross Vent	Facing	Ceiling Height	S S S S S S S S S S S S S S S S S S S	Living Ball Am 2 2 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	ddl Belginian S	Dead Min	Storage	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	The manufacture of the College of th
Building 1A  Building 1A  Building 1A	Apartment No  Sith Floor  NS-1A-501  NS-1A-502  NS-1A-503  NS-1A-505  NS-1A-505  NS-1A-506  NS-1A-509  NS-1A-509	2 Ber 2 Ber 2 Ber 2 Ber 2 Ber 3 Ber 3 Ber 3	a Study	2	a Adapt	Rey	Apartment		23.8 19.6 7.9 7.3 7.9 8.3 7.9 111.6	Completes	Balcomp Depth (2m Min	Cross	Facing	Ceiling Height	Kitchen Kitchen Kitchen	Selection of the select	dd Bernard S	Dead Min	Storage	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Design Change Notes
	Agartment No Sth Floor NS-1A-501 NS-1A-503 NS-1A-503 NS-1A-505	2 Ber 2 Ber 2 Ber 2 Ber 2 Ber 3 Ber 3 Ber 3	a Study	2	a Adapt	Dual	87.1 62.6 76.3 75.3 66.5 75.3 67.6 75.2 103.1		23.8 19.6 7.9 7.3 7.9 8.3 7.9 8.1 11.6 18.2 Balcony	Compliance	Balcon Min	Cross	Facing	Ceiling Height	Kitchen Kitchen Kitchen	Selection of the select	ddl Belginian S	Dead Min	Storage	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	The manufacture of the College of th
Building No.	Agartment No Sth Floor NS-1A-501 NS-1A-503 NS-1A-503 NS-1A-505	2 Ber 2 Ber 2 Ber 2 Ber 2 Ber 3 Ber 3 Ber 3	a Study	2	a Adapt	Dual	87.1 62.6 76.3 75.3 66.5 75.3 67.6 75.2 103.1		23.8 19.6 7.9 7.3 7.9 8.3 7.9 8.1 11.6 18.2 Balcony	Compliance	Balcon Min	Cross	Facing	Ceiling Height	Kitchen Kitchen Kitchen	Selection of the select	ddl Belginian S	Dead Min	Storage	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	The control of the Co
Building No.	Agartment No Sth Floor NS 1A-501 NS 1A-503 NS 1A-504 NS 1A-505 NS 1A-505 NS 1A-505 NS 1A-505 NS 1A-509 NS 1A-509 NS 1A-509 NS 1A-509 NS 1A-509	2 Ber 2 Ber 2 Ber 2 Ber 2 Ber 3 Ber 3 Ber 3	Study	2	a Adapt	Dual	87.1 62.6 76.3 75.3 66.5 75.3 67.6 75.2 103.1		23.8 19.6 7.9 7.3 7.9 8.3 7.9 8.1 11.6 18.2 Balcony	Compliance	Balcon Min	Cross	Facing	Ceiling Height	Kitchen Kitchen Kitchen	Living Bar and a state of the s	ddl Belginian S	12 Bed in Min Min Min Min Min Min Min Min Min	Storage	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	The manufacture of the Committee of the
Building No.	Agartment No  Sth Floor  NS-1A-501  NS-1A-503	2 Ber 2 Ber 2 Ber 2 Ber 3 Ber	Study	2	a Adapt	Dual	87.1 62.6 76.3 75.3 65.5 75.3 67.6 75.2 103.1	Completion R	23.8 19.6 7.9 7.3 7.9 8.3 7.9 11.6 18.2	Completion	Balcon Depth Con Mile	' Cross	Facing	Colling Height	Nitchen Location  St.	Living Baller and Am a state of the state of	dd1 Bendin Man S	Bed in Min and in Min	Storage  Storage  Storage  Storage		Design Change Notes  Design Ch
Building No.	Agartment No Sth Flace NS-1A-501 NS-1A-503	2 Ber 2 Ber 2 Ber 3 Ber 3 Ber 2 Ber 2 Ber 2 Ber 3 Ber	Study  Study  Study  Study	2	a Adapt	Dual	87.1 62.6 76.3 75.3 66.5 75.3 67.6 75.2 103.1 Apartment Area	Companies R R R R R R R R R R R R R R R R R R R	23.8 19.6 9.6 7.9 7.3 7.9 8.3 7.9 11.5 18.2 Balcomy Avea	Completion	Balconstiller	' Cross	Facing	Calling Height	Kitchen Location	Living B and a state of the sta	d 1 Bee M S S S S S S S S S S S S S S S S S S	Bed in Min Man in Min Min Min Min Min Min Min Min Min	Storage  Storage  Storage		Design Change Notes  Design Ch
Building No.	Agartment No Sth Floor No 1A-501 No 1A-502 No 1A-503 No 1A-504 No 1A-505 No 1A-506 No 1A-506 No 1A-509 No	7 Sec. 2	Study  Study  Study  Study	✓ ✓ Medi	a Adapt	Dual	87.1 62.6 76.3 75.3 66.5 77.0 77.0 77.0 108.1	Companion R R R R R R R R R R R R R R R R R R R	23.8 19.6 9.6 7.9 7.3 7.9 8.3 7.9 8.1 11.6 18.2 8alcony 49.1 45.2	Companion R. R. R.	Balcon Min	Cross of Vent	Facing	Calling Halph	Nitchen Location  S. S	Living British 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	d 1 Been M 3 S S S S S S S S S S S S S S S S S S	Bed in Min Man in Min Min Min Min Min Min Min Min Min	Storage  Storage  Storage  Storage  Storage  Storage		The country of the co
Building No.	Apartment No Shi Floor NS-1A-501 NS-1A-502 NS-1A-504 NS-1A-505 NS-1A-505 NS-1A-506 NS-1A-509	7 Ber 2 Ber 2 Ber 3 Ber 7 Pypp	Study  Study  Study  Study	2	a Adapt	Dual	87:1 62.6 76.3 75.3 67.6 75.3 77.0 75.3 67.6 75.2 103.1	Companies R R R R R R R R R R R R R R R R R R R	23.8 19.6 9.6 7.9 7.3 7.9 8.3 7.9 11.6 18.2 Balcony 49.1 45.2	Completion	Balconstiller	' Cross	Facing	Calling Height	Kitchen Location	Living British 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	d 1 Bee M S S S S S S S S S S S S S S S S S S	Bed in Min Man in Min Min Min Min Min Min Min Min Min	Storage  Storage  Storage		Design Change Notes  Design Ch
Building No.	Agartment No Sth Floor No 1A-501 No 1A-502 No 1A-503 No 1A-504 No 1A-505 No 1A-506 No 1A-506 No 1A-509 No	7 Sec. 2	s Study	✓ ✓ Medi	a Adapt	Dual	87.1 62.6 76.3 75.3 66.5 77.0 77.0 77.0 108.1	Companion R R R R R R R R R R R R R R R R R R R	23.8 19.6 9.6 7.9 7.3 7.9 8.3 7.9 8.1 11.6 18.2 8alcony 49.1 45.2	Companion R. R. R.	Balcon Min	Cross of Vent	Facing	Calling Halph	Nitchen Location  S. S	Living British State Sta	d 1 Been M 3 S S S S S S S S S S S S S S S S S S	Bod : Bod : S	Storage  Storage  Storage  Storage  Storage  Storage		Design Change Notes  Design Ch
Building No.	Agartment No Sth Floor NS-1A-501 NS-1A-503	7999 2000 2000 2000 2000 2000 2000 2000	Study  Study  Study  Study	✓ ✓ Medi	a Adapt	Dual	87.1 62.6 76.3 75.3 66.5 75.3 67.6 75.2 103.1 108.0 108.0 108.0 58.5		23.8 19.6 23.8 19.6 2.6 7.9 7.3 7.9 8.3 7.9 8.1 11.6 18.2 8.6 49.1 45.2 13	Companyor & P.	Balcony Can Min	Cross of Section 1	Facing	Coiling Height	Kitchen Location	Selection of the select	d 1 Bee M 3 S S S S S S S S S S S S S S S S S S	Bod : Bod : S	Storage  Storage  Storage  Storage  Storage		The control price of the contr
Building No.	Agartment No Sub-Riser No5-1A-501 No5-1A-503	799-9-10-10-10-10-10-10-10-10-10-10-10-10-10-	Study	✓ ✓ Medi	a Adapt	Dual	### Apartment   108.0		23.8 19.6 23.8 19.6 2.6 7.9 8.3 7.9 8.3 7.9 8.3 49.1 11.6 49.1 45.2 12.5	Company	Balcon Mic		Facing	Colling Height	Kitchen Location	Living British I I I I I I I I I I I I I I I I I I I	d 1 Bee M S S S S S S S S S S S S S S S S S S	Bed :	Storage		Design Change Notes  Design Ch
Building No.	Apartment No  Sth Floor  NS-1A-501  NS-1A-503  NS-1A-603  NS-1A-603	200 200 200 200 200 200 200 200 200 200	Study	✓ ✓ Medi	a Adapt	Dual	### ##################################	Companies X X X X X X X X X X X X X X X X X X X	23.8 19.6 23.8 19.6 25.8 19.6 25.6 25.6 25.6 25.6 25.6 25.6 25.6 25	Compinson	Balcon Mic	Cross S	Facing	Calling Halpht	Kitchen Location	Living British I I I I I I I I I I I I I I I I I I I	di Benin Man Man Man Man Man Man Man Man Man Ma	Bed :	Storage		The control of the Co

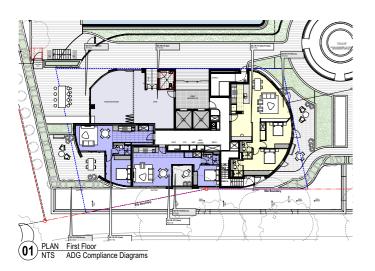


PLAN 7th Floor
NTS ADG Compliance Diagrams



PLAN 2nd to 6th Floor
NTS ADG Compliance Diagrams

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#### 6.3 Building 1B

No Chnages to Compliance

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### 7.0 Facade Enhancements

#### 7.1 Buildings 1 and 1A

The facade changes to Buildings 1 and 1A are modest and focused on layering the elements and materiality of the building to be complimentry to the newly approved Building 1B and related podium features.

The physical enevolpes of both buildings remain largely unchanged in area, with only minor and concealed changes to the arrangement of the facade alignments.

The changes have been derived from modifications too and additional vertical circulation amenity, which required modification to the apartnment planning.

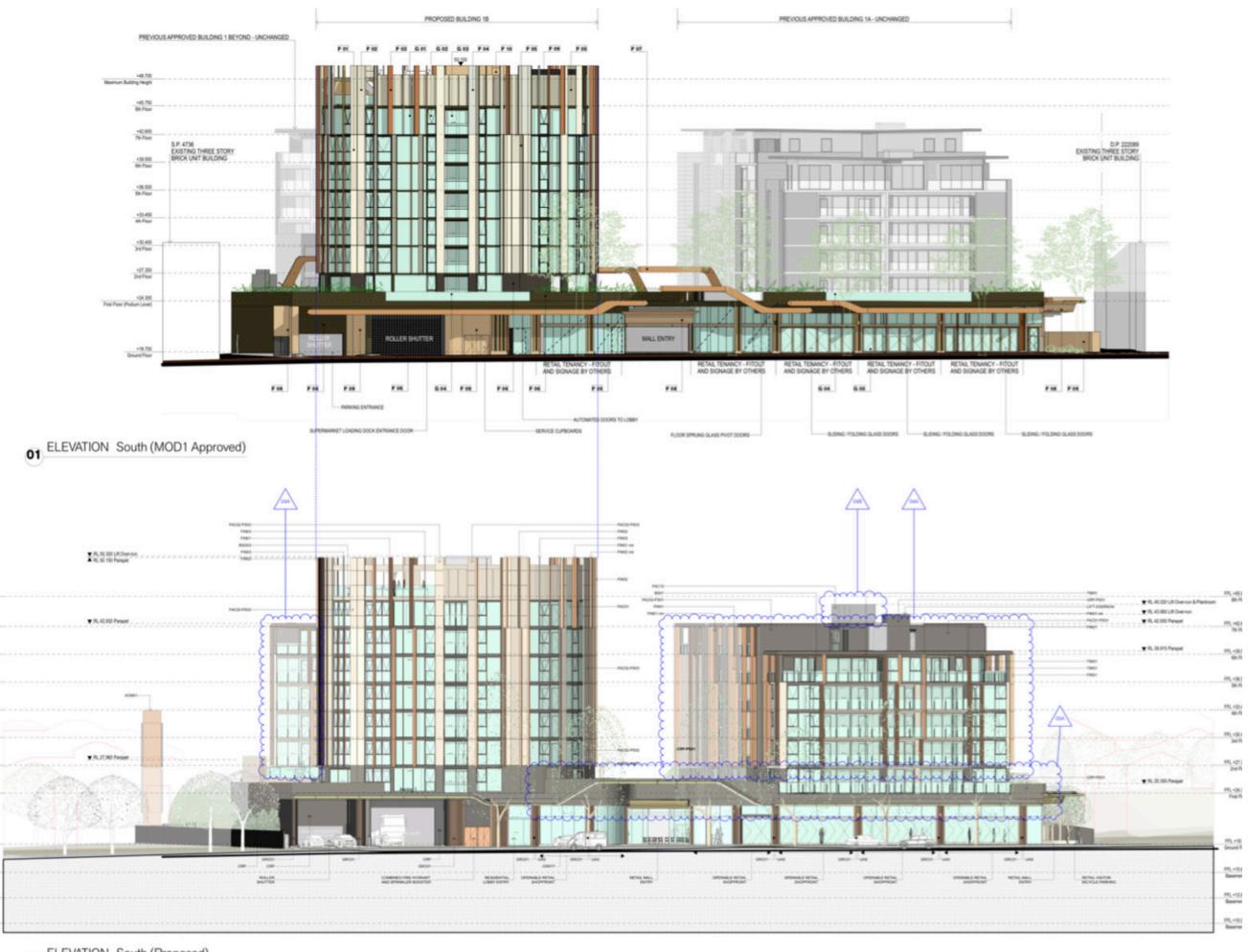
The new facade treatments are the same as Building B1 with full height vertical rhombus shaped louvres offering privacy, screening and sunshading to apartments which previously had nothing.

In addition the facade is composed of a rainscreen created with colour through Fibre Cement sheeting to ensure that the facade ages gracefully and minimiuses future maintenance requirements of the strata. The colour of the rainscreen panels is composed of a palette of autumnal shades to reflect the newly approved building B1.



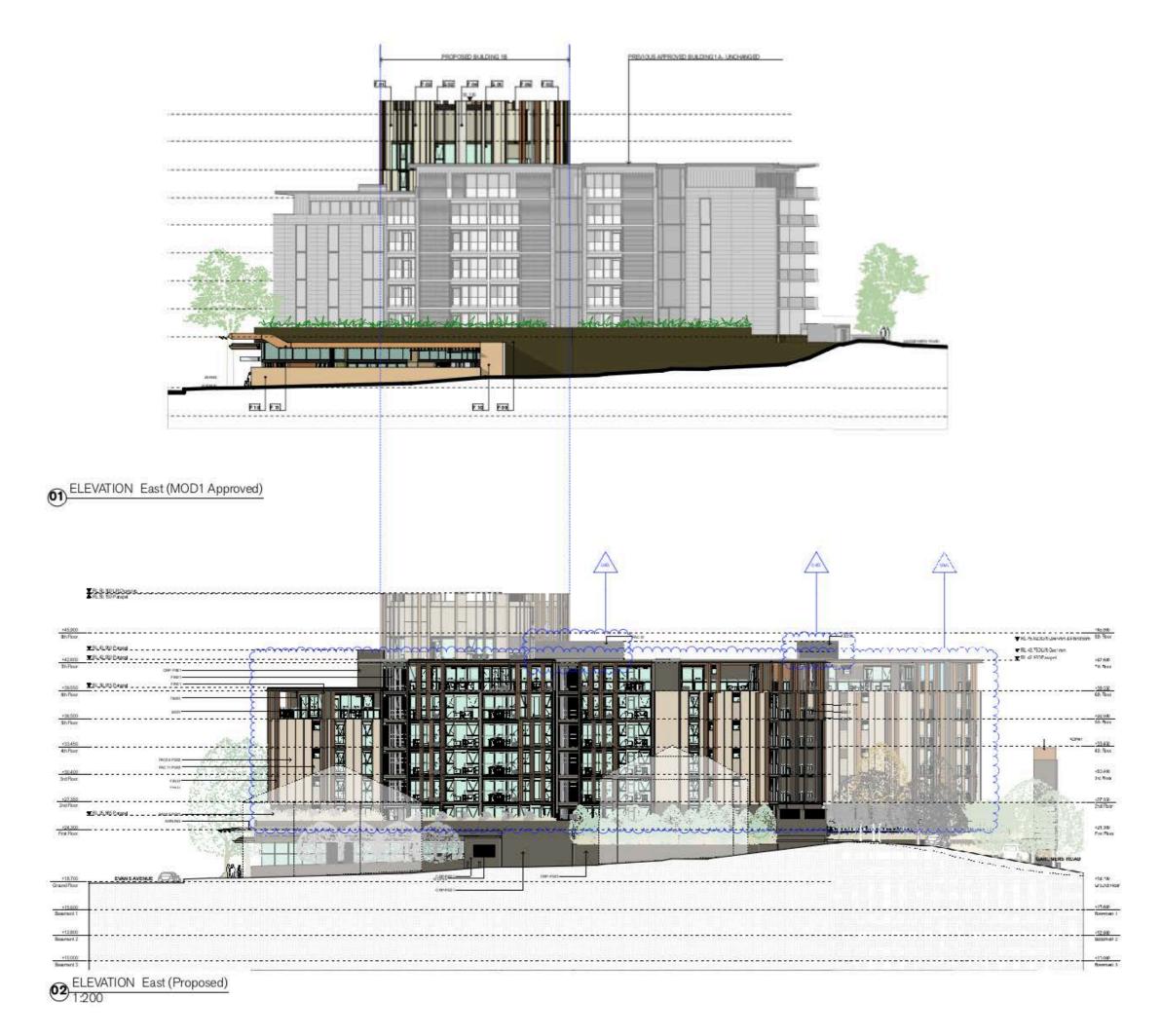
02 ELEVATION North (Proposed) 1:200

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02 ELEVATION South (Proposed) 1:200

FFL +30.400 3rd Floor



fjmt studio architecture interiors urban landscape architectural design report eastlakes town centre - north site

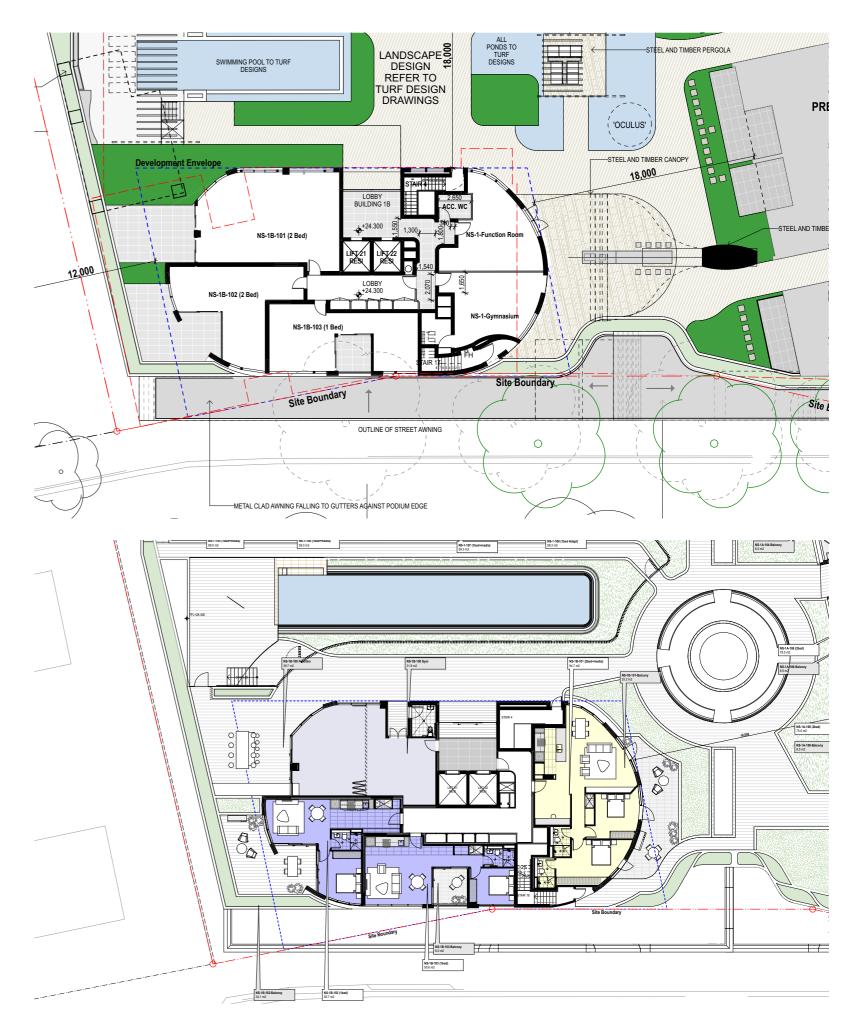


## 8.0 Revised Building 1B - L1 planning

fimt Studio reviewed the podium apartment planning and its relationship to the new podium landscape concept. In light of the new landscape concept the location of the approved 2 Bedroom apartment on the western end of 1B was seen as being potentially compromised by the general recreation in and around the pool.

At the eastern end of 1B was the Function room and Gym which given the landscape changes were no located away from the primary source of community activity on the podium. Therefore itv was seen as a positiove move to swap the 2B apartment with the Gym/Function Room.

The new location for the apartment rests well within the podium and rests amongst other residential apartment terraces. The nbew location for the Gym and Function Room is immediately adjacent and accessible from the pool and will create a wonderful recreation space for the occupnats of this exciting new development.



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## 9.0 Privacy Louvres added to Building 1B by DPiE condition

Privacy louvres have been added to Building 1B to address concerns of overviewing to the adjoining properties. fjmt Studio have studied the impact of the louvres and believe the proposed design addresses the DPiE Condition.

The following view renders to demonstrate how the vertical louvers to relevant bedroom windows and outdoor spaces documented on the architectural plans achieve the objectives of the condition.



## 10.0 SEPP65 ADG Compliance Schedules

Building No	Apartment No	Туре	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)			_ ~	Kitchen Location	Min	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1																						<b>GENERAL NOTE:</b> A revised entry location to the block as well as an additional lift has been included which required relocation of the fire stairs. In turn a new apartment layout plan was developed within the approved envelope which delivers compliant internal apartment storage, higher quality amenity in a more efficient and thereby affordable plan.
	First Floor																					
	NS-1-101	2 Bec					72.3	✓	17.5	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 70.5sqm internal and 8sqm external area.  fimt revised planning to achieve a 2B1B1PR with 72.3sqm internal and 17.5sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-102	2 Bed	I				72.3	<b>✓</b>	18.8	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 70.74sqm internal and 8sqm external area.  first revised planning to achieve a 2B1B1PR with 72.3sqm internal and 18.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-103	2 Bed	I				72.3	<b>⋖</b>	17.1	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 70.75sqm internal and 8sqm external area.  first revised planning achieves a 2B1B1PR with 72.3sqm internal and 17.1sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-104	2 Bed	I				72.4	<b>✓</b>	13.1	✓	✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 70.06sqm internal and 8sqm external area.  fijmt revised planning achieves a 2B1B1PR with 72.4sqm internal and 13.1sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-105	1 Bed	I	✓			58.0	<b>✓</b>	26.7	✓	✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1Bath1Study at 62.19sqm internal and 35sqm external area.  fjmt revised planning achieves a 1Bed1Bath1Study with 58sqm internal and 26.7sqm external area, with a significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-106	1 Bec		✓			59.3	<b>✓</b>	26.2	✓	✓	<b>✓</b>	✓	<b>✓</b>	✓	✓	<b>✓</b>			✓	1	Approved as a 1Bed1Bath at 54.08sqm internal and 35sqm external area.  fjmt revised planning achieves a 1Bed1Bath1Study with 59.3sqm internal and 26.2sqm external area, with a significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-107	1 Bec		✓			59.3	✓	26.2	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	Approved as a 1Bed1Bath1Media at 67.02sqm internal and 35sqm external area.  fjmt revised planning achieves a 1Bed1Bath1Media with 59.3sqm internal and 26.2sqm external area. The plan also features compliant storage and and laundry opening into the kitchen rather than the media room, resulting in a significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-108	1 Bec			✓		58.3	✓	26.7	✓	✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1 Bed 1 Bath Accessible Apartment at 56.08sqm internal and 35sqm external area.  fijmt revised planning achieves a larger 1 Bed 1 Bath Accessible Apartment with 58.3sqm internal and 26.7sqm external area. The plan also features compliant storage and and laundry opening into the kitchen rather than the media room, resulting in a significant increase in the quality of the amenity provided and the useable apartment area. The plan is also mirrored from the approved to achieve a symmetrical facade arrangement which is more complementary to the overall appearance of the building.

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Building No	Apartment No	Туре	Stud	y Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)				Kitchen Location	Min	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantit	y Design Change Notes
Building 1																						<b>GENERAL NOTE:</b> A revised entry location to the block as well as an additional lift has been included which required relocation of the fire stairs. In turn a new apartment layout plan was developed within the approved envelope which delivers compliant internal apartment storage, higher quality amenity in a more efficient and thereby affordable plan.
	2nd to 5th Floor																					
	NS-1-201,301,401,501	2 Bed	d				72.1	✓	9.3		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 70.05sqm internal and 7.2sqm external area.  fjmt revised planning includes a powder room, standalone laundry and now provides compliant internal storage to achieve a 2B1B1PR with 72.1sqm internal and 9.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-202,302,402,502	2 Bed	d				72.1	✓	9.3		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 70.75sqm internal and 7.2sqm external area.  fjmt revised planning includes a powder room, standalone laundry and now provides compliant internal storage to achieve a 2B1B1PR with 72.1sqm internal and 9.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-203,303,403,503	2 Bed	i				72.1	✓	9.3		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 70.06sqm internal and 7.2sqm external area.  fjmt revised planning includes a powder room, standalone laundry and now provides compliant internal storage to achieve a 2B1B1PR with 72.1sqm internal and 9.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-204,304,404,504	2 Bed	i				72.1	✓	9.3		✓	✓		✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 70.75sqm internal and 7.2sqm external area.  fjmt revised planning includes a powder room, standalone laundry and now provides compliant internal storage to achieve a 2B1B1PR with 72.1sqm internal and 9.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-205,305,405,505	1 Bed	d	✓			58.0	✓	9.1	✓	✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1Bath1Study at 62.19sqm internal and 7.2sqm external area.  fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1B1M with 58.0sqm internal and 9.1sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-206,306,406,506	1 Bed	i	✓			59.3	✓	8.7	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	Approved as a 1Bed1Bath at 54.08sqm internal and 7.2sqm external area.  fjmt revised planning includes a generous media room, standalone laundry and now provides compliant internal storage to achieve a 1B1B1St with 59.3sqm internal and 8.7sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-207,307,407,507	1 Bed	i	✓			59.3	✓	8.7	✓	✓	✓	✓	✓	✓	✓	✓			✓	1	Approved as a 1Bed1Bath at 67.02sqm internal and 7.2sqm external area.  fjmt revised planning includes a generous media room, standalone laundry and now provides compliant internal storage to achieve a 1B1B1St with 59.3sqm internal and 8.7sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-208,308,408,508	1 Bed	i		✓		58.4	✓	9.1	✓	✓	✓		✓	✓	✓	✓			✓	1	Approved as a 1Bed1Bath Accessible Apartment at 56.80sqm internal and 7.2sqm external area.  fjmt revised planning achieves a larger 1Bed1Bath Accessible Apartment with 58.4sqm internal and 9.1 sqm external area. The new plan features compliant storage and and laundry opening into the kitchen, resulting in a significant increase in the quality of the amenity provided and the useable apartment area.

Building No	Apartment No	Туре	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)			Kitchen Location	Min	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1																					<b>GENERAL NOTE:</b> A revised entry location to the block as well as an additional lift has been included which required relocation of the fire stair.
	6th Floor																				
	NS-1-601	3 Bed					110.1	✓	55.9	✓	<b>⋖</b>	✓	✓	✓	✓	✓	✓	✓	✓	1	Approved as a 3Bed2Bath Penthouse at 105.64sqm internal and approximately 50sqm external area.  fjmt revised planning includes a generous master suite to the East, standalone laundry and now provides compliant internal storage to achieve a 3B2B with 110.1sqm internal and 55.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-602	3 Bed					110.1	✓	56	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	Approved as a 3Bed2Bath Penthouse at 105.64sqm internal and approximately 50sqm external area.  first revised planning includes a generous master suite to the West, standalone laundry and now provides compliant internal storage to achieve a 3B2B with 110.1sqm internal and 56sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-603	2 Bed		✓			90.4	✓	45.9	✓	✓	✓	✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath Penthouse at 85.64sqm internal and approximately 50sqm external area.  fjmt revised planning achieves a 2B2B1M with 90.4sqm internal and 45.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-604	2 Bed		✓			90.4	✓	45.9	✓	✓	✓	✓	✓	✓	✓	<b>⋖</b>		✓	1	Approved as a 2Bed2Bath1Media Penthouse at 95.97sqm internal and approximately 50sqm external area.  fjmt revised planning achieves a 2B2B1M with 90.4sqm internal and 45.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.

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								9		90											
Building No	Apartment No	Туре	Study	Media	Adapt	Dual Key	Apartment Area	Complian	Balcony	Complian	Balcony Depth (2m Min)	Vont		Kitchen Location	Min	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m		Quantity	Design Change Notes
Building 1A																					<b>General Note:</b> The location of fire stairs was adjusted to deliver better planning outcomes for the apartments. In turn a new layout plan was developed which delivers compliant internal apartment storage, windows in bedrooms and studies and overall a dramatic improvement in amenity in more efficient and thereby affordable plans. These changes required minor amendments to facade alignments with no increase in GFA for the block.
	1st Floor																				
			_					-		-	-	_	-	-	-	-	_		-		Approved as a 2Bed2Bath at 79.03sqm internal and 30sqm external area.
	NS-1A-101	2 Bed	<b>✓</b>				87.1	<b>~</b>	35	<b>✓</b>	✓	<b>~</b>	<b>✓</b>	<b>✓</b>	<b>~</b>	<b>~</b>	<b>~</b>		<b>✓</b>	1	first revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2BStudy with 87.1sqm internal and 35sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-102	1 Bed		<b>V</b>			62.4	<b>~</b>	30.7	<b>V</b>	<b>~</b>	<b>~</b>	<b>V</b>	<b>~</b>	~	<b>V</b>			~	1	Approved as a 1Bed1BathMedia at 68.95sqm internal and 25sqm external area.
	NS-1A-102	i beu					02.4	•	30.7	•	•	_	•	•	•	_			•	<u>'</u>	first revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 62.4sqm internal and 30.7sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-103	2 Bed					76.0	<b>~</b>	38	~	<b>~</b>	<b>~</b>	<b>~</b>	<b></b>	<b>V</b>	~	<b>V</b>		~	1	Approved as a 2Bed2Bath at 74.43sqm internal and 30sqm external area.
	176 177 100	2 Boa					7 0.0													<u> </u>	first revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 76.0sqm internal and 38sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
																					Approved as a 2Bed1Bath at 75.97sqm internal and 7.25sqm external area. The second bedroom did not have a window necessitating replanning of the apartment such that a window was possible, in turn this required minor facade changes.
	NS-1A-104	2 Bed					75.3	✓	8.5		✓	✓	<b>√</b>	✓	✓	✓	<b>✓</b>		$\checkmark$	1	fjmt revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.3sqm internal and 8.5sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area, as well as having a window in the bedroom.
																					Approved as a 1Bed1BathStudy at 64.05sqm internal and 11sqm external area. The second bedroom did not have a window and necessitating replanning of the apartment. The study did not have a window.
	NS-1A-105	1 Bed		<b>✓</b>			66.2	✓	19.8	<b>✓</b>	✓	✓	$\checkmark$	✓	✓	<b>~</b>			$\checkmark$	1	first revised planning includes standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 66.2sqm internal and 19.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NC 1A 10C	0.0-4					75.0	~	0.5		<b>~</b>	<b>~</b>	<b>~</b>	<b>V</b>	~	~	~		~		Approved as a 2Bed1Bath at 72.39sqm internal and 7.5sqm external area.
	NS-1A-106	2 Bed					75.3	•	8.5			•	•				•			1	first revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.3sqm internal and 8.5sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
																					Approved as a 1Bed1Bath at 54.59sqm internal and 8sqm external area.
	NS-1A-107	2 Bed					76.7	<b>~</b>	8.5		<b>✓</b>	<b>✓</b>	<b>~</b>	<b>✓</b>	<b>~</b>	<b>~</b>	<b>V</b>		<b>✓</b>	1	This apartment planning change is essentially a swap with apartment 109. The approved 107 plan was non-compliant and has been revised to be a compliant 2Bed. In turn, these changes had an impact on the area of apartment 109 which was revised to be a 1 Bed offer.
																					fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 76.7sqm internal and 8.5sqm external area. An improvement in the quality of the amenity provided and the useable apartment area.
	NS-1A-108	2 Bed					75.3	<b>~</b>	8.5		<b>~</b>	<b>~</b>	<b>V</b>	<b>~</b>	~	~	<b>V</b>		<b>V</b>	1	Approved as a 2Bed1Bath at 72.21sqm internal and 7.5sqm external area.  first revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 2B2B
																					with 75.3sqm internal and 8.5sqm external area. A nice increase in the quality of the amenity provided and the useable apartment area.
																					Approved as a 2Bed2Bath at 84.35sqm internal and 16sqm external area.  This apartment planning change is essentially a swap with apartment 107. 107 was approved as a non-compliant 1 bed and has been revised
	NS-1A-109	1 Bed		<b>~</b>			67.3	<b>~</b>	7.2		<b>~</b>	<b>⋖</b>	<b>✓</b>	<b>✓</b>	<b>✓</b>	<b>~</b>			<b>✓</b>	1	to be a compliant 2Bed. In turn, these changes had an impact on the area of apartment 109 which was revised to be a 1 Bed offer.
																					fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 67.3sqm internal and 7.2sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
											_	_	_	_	_	_	_		_		Approved as a 2Bed1Bath at 70.35sqm internal and 15sqm external area.
	NS-1A-110	2 Bed					75.2	<b>I</b>	21.8	<b>⋖</b>	✓	<b>⋖</b>	✓	<b>✓</b>	<b>✓</b>	<b>~</b>	✓		✓	1	first revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.2sqm internal and 21.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.  Approved as a 2Bed1BathMedia at 102.56sqm internal and 25sqm external area.
	NS-1A-111	3 Bed	<b>~</b>				103.0	<b>~</b>	30	<b>~</b>	<b>~</b>	~	<b>~</b>	<b>~</b>	<b>~</b>	~	~	<b>V</b>	~	1	Approved as a 2Bed1BathMedia at 1U2.56sqm internal and 25sqm external area.  first revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 3B2BStudy with 103.0sqm
																					internal and 30sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.

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Building No	Apartment No	Туре	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)		 	Kitchen Location	Min	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1A								O		0											General Note: The location of fire stairs was adjusted to deliver better planning outcomes for the apartments. In turn a new layout plan was developed which delivers compliant internal apartment storage, windows in bedrooms and studies and overall a dramatic improvement in amenity in more efficient and thereby affordable plans. These changes required minor amendments to facade alignments with no increase in GFA for the block.
	2nd to 4th Floor																				
	NS-1A-201,301,401	2 Bed	✓				87.1	✓	23.8	✓	✓	✓	✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed2Bath at 79.03sqm internal and 30sqm external area.  fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B1BMedia with 87.1sqm internal and 23.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-202,302,402	1 Bed		✓			62.6	✓	19.6	✓	✓	✓	✓	✓	✓	✓			✓	1	Approved as a 1 Bed 1 Bath Media at 68.95 sqm internal and 25 sqm external area.  fijmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1 B1 B Media with 62.6 sqm internal and 19.6 sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-203,303,403	2 Bed					76.3	✓	9.6		✓	✓	✓	✓	✓	<b>✓</b>	✓		✓	1	Approved as a 2Bed2Bath at 74.44sqm internal and 10sqm external area.  fimt revised planning includes standalone laundry and now provides compliant internal storage to achieve a 2B2B with 76.3sqm internal and 9.6sqm external area. A good increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-204,304,404	2 Bed					75.3	✓	7.9		✓	✓	✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 75.97sqm internal and 7.25sqm external area. The second bedroom did not have a window and necessitating replanning of the apartment such that a window was possible, in turn this required minor facade changes.  fimt revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.3sqm internal and 7.9sqm external area. A good increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-205,305,405	1 Bed		✓			66.5	✓	7.3		✓	✓	✓	✓	✓	<b>✓</b>			✓	1	Approved as a 1Bed1BathStudy at 64.05sqm internal and 11sqm external area. The second bedroom did not have a window and necessitating replanning of the apartment. The study did not have a window.  fijmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 66.5sqm
	NS-1A-206,306,406	2 Bed					75.3	✓	7.9		✓	✓	✓	✓	✓	<b>✓</b>	✓		✓	1	internal and 7.3sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.  Approved as a 2Bed1Bath at 72.39sqm internal and 7.5sqm external area.  fjmt revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.3sqm internal and 7.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-207,307,407	2 Bed					77.0	✓	8.3		✓	✓	✓	✓	✓	<b>✓</b>	✓		✓	1	Approved as a 1Bed1Bath at 54.59sqm internal and 8sqm external area.  This apartment planning change is essentially a swap with apartment 109. The approved 107plan was non-compliant and has been revised to be a compliant 2Bed. In turn, these changes had an impact on the area of apartment 109 which was revised to be a 1 Bed offer.  first revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 77.0sgm internal and
	NS-1A-208,308,408	2 Bed					75.3	✓	7.9		✓	✓	✓	✓	✓	✓	✓		✓	1	8.3sqm external area. An improvement in the quality of the amenity provided and the useable apartment area  Approved as a 2Bed1Bath at 72.21sqm internal and 7.5sqm external area.  fjmt revised planning includes an additional bathroom, standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.3sqm internal and 7.9sqm external area. nice increase in the quality of the amenity provided and the useable apartment area
	NS-1A-209,309,409	1 Bed		✓			67.6	✓	7.1		✓	✓	✓	✓	✓	✓			✓	1	Approved as a 2Bed2Bath at 84.35sqm internal and 16sqm external area.  This apartment planning change is essentially a swap with apartment 107. 107 was approved as a non-compliant 1 bed and has been revised to be a compliant 2Bed. In turn, these changes had an impact on the area of apartment 109 which was revised to be a 1 Bed offer.  fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 67.8sqm
	NS-1A-210,310,410	2 Bed					75.2	<b>V</b>	11.6	<b>~</b>	✓	<b>V</b>	<b>~</b>	<b>V</b>	<b>~</b>	<b>~</b>	<b>~</b>		<b>~</b>	1	internal and 7.1sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.  Approved as a 2Bed1Bath at 70.35sqm internal and 15sqm external area.
	1NO-1M-21U,31U,41U	2 Ded					10.2		11.0		_			_	•	•	•		•	'	fijmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.2sqm internal and 11.6sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.  Approved as a 2Bed1BathMedia at 102.55sqm internal and 25sqm external area.
	NS-1A-211,311,411	3 Bed	✓				103.1	✓	18.2	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	fjmt revised planning includes standalone laundry and now provides compliant internal storage to achieve a 3B2BStudy with 103.1sqm internal and 18.2sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.

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Building No	Apartment No	Туре	Study	Media	Adapt	Dual Key	Apartment Area	du	Balcony Area	Compliance	Balcony Depth (2m Min)	Vont		Kitchen Location	Min	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	y Design Change Notes
Building 1A								O		Ö											General Note: The location of fire stairs was adjusted to deliver better planning outcomes for the apartments. In turn a new layout plan was developed which delivers compliant internal apartment storage, windows in bedrooms and studies and overall a dramatic improvement in amenity in more efficient and thereby affordable plans. These changes required minor amendments to facade alignments with no increase in GFA for the block.
	5th Floor																				
	NS-1A-501	2 Bed	✓				87.1	✓	23.8	✓	✓	✓	✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed2Bath at 79.03sqm internal and 30sqm external area.  fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2BStudy with 87.1sqm internal and 23.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-502	1 Bed		✓			62.6	✓	19.6	✓	✓	✓	✓	✓	✓	✓			✓	1	Approved as a 1Bed1BathMedia at 68.95sqm internal and 25sqm external area.  fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 62.6sqm internal and 19.6sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-503	2 Bed					76.3	<b>✓</b>	9.6		✓	<b>✓</b>	✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed2Bath at 74.44sqm internal and 10sqm external area.  fijmt revised planning includes standalone laundry and now provides compliant internal storage to achieve a 2B2B with 76.3sqm internal and 9.6sqm external area. A good increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-504	2 Bed					75.3	✓	7.9		✓	✓	✓	✓	✓	✓	✓		✓	1	Approved as a 2Bed1Bath at 75.97sqm internal and 7.25sqm external area. The second bedroom did not have a window and necessitating replanning of the apartment such that a window was possible, in turn this required minor facade changes.  fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.3sqm internal and
	NS-1A-505	1 Bed		<b>✓</b>			66.5	✓	7.3		✓	✓	<b>✓</b>	✓	✓	✓			<b>✓</b>	1	7.9sqm external area. A good increase in the quality of the amenity provided and the useable apartment area.  Approved as a 1Bed1BathStudy at 64.05sqm internal and 11sqm external area. The second bedroom did not have a window and necessitating replanning of the apartment. The study did not have a window.  fijmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 66.5sqm
	NS-1A-506	2 Bed					75.3	✓	7.9		✓	✓	✓	✓	✓	✓	✓		✓	1	internal and 19.8sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.  Approved as a 2Bed1Bath at 72.39sqm internal and 7.5sqm external area.  fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.3sqm internal and 7.9sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-507	2 Bed					77.0	<b>✓</b>	8.3		✓	<b>✓</b>	<b>✓</b>	✓	<b>✓</b>	<b>✓</b>	<b>✓</b>		✓	1	Approved as a 1Bed1Bath at 54.59sqm internal and 8sqm external area.  This apartment planning change is essentially a swap with apartment 109. The approved 107plan was non-compliant and has been revised to be a compliant 2Bed. In turn, these changes had an impact on the area of apartment 109 which was revised to be a 1 Bed offer.
																					fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 77sqm internal and 8.3sqm external area. An improvement in the quality of the amenity provided and the useable apartment area.  Approved as a 2Bed1Bath at 72.21sqm internal and 7.5sqm external area.
	NS-1A-508	2 Bed					75.3	✓	7.9		✓	✓	✓	✓	✓	✓	✓		✓	1	fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.3sqm internal and 7.9sqm external area. A nice increase in the quality of the amenity provided and the useable apartment area  Approved as a 2Bed2Bath at 84.35sqm internal and 16sqm external area.
	NS-1A-509	1 Bed		✓			67.6	<b>✓</b>	7.1		✓	✓	✓	✓	✓	✓			✓	1	This apartment planning change is essentially a swap with apartment 107. 107 was approved as a non-compliant 1 bed and has been revised to be a compliant 2Bed. In turn, these changes had an impact on the area of apartment 109 which was revised to be a 1 Bed offer.  fight revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 67.6sqm
																					internal and 7.1sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.  Approved as a 2Bed1Bath at 70.35sqm internal and 15sqm external area.
	NS-1A-510	2 Bed					75.2	✓	11.6	✓	✓	✓	✓	✓	✓	✓	<b>⋖</b>		✓	1	fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 2B2B with 75.2sqm internal and 11.6sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1A-511	3 Bed	✓				103.1	✓	18.2	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	1	Approved as a 2Bed1 BathMedia at 102.55sqm internal and 25sqm external area.  fjmt revised planning includes standalone laundry and now provides compliant internal storage to achieve a 3B2BStudy with 103.1sqm internal and 18.2sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.

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Building No	Apartment No	Туре	Study	Medi	ia Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)	Vant		Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantit	
Building 1A																					<b>General Note:</b> The location of fire stairs was adjusted to deliver better planning outcomes for the apartments. In turn a new layout plan was developed which delivers compliant internal apartment storage, windows in bedrooms and studies and overall a dramatic improvement in amenity in more efficient and thereby affordable plans. These changes required minor amendments to facade alignments with no increase in GFA for the block.
	6th Floor																				
																					Approved as a 2Bed2BathMedia at 99.36sqm internal and 50sqm external area.
	NS-1A-601	2 Bed	<b>✓</b>				108.0	<b>✓</b>	49.1	✓	✓	✓	<b>✓</b>	<b>✓</b>	<b>✓</b>	<b>~</b>	✓		<b>✓</b>	1	fjmt revised planning includes standalone laundry and now provides compliant internal storage to achieve a 2B2BStudy Penthouse with 108.0sqm internal and 49.1sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
																					Approved as a 2Bed2BathMedia at 87.2sqm internal and 45sqm external area.
	NS-1A-602	2 Bed	<b>✓</b>				88.2	<b>✓</b>	45.2	<b>~</b>	<b>✓</b>	✓	<b>~</b>	<b>✓</b>	<b>✓</b>	<b>~</b>	<b>~</b>		<b>✓</b>	1	fjmt revised planning includes standalone laundry and now provides compliant internal storage to achieve a 2B2BStudy Penthouse with 88.2sqm internal and 45.2sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
											_								_		Approved as a 1Bed1BathMedia at 68.69sqm internal and 12sqm external area.
	NS-1A-603	2 Bed					70.6	<b>✓</b>	13	<b>~</b>	<b>✓</b>	✓	<b>✓</b>	<b>✓</b>	<b>~</b>	<b>~</b>	<b>~</b>		<b>✓</b>	1	fjmt revised planning includes a Powder Room, standalone laundry and now provides compliant internal storage to achieve a 2B1B with 70.6sqm internal and 13sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
																					Approved as a 1Bed1Bath at 56.88sqm internal and 11sqm external area. The second bedroom did not have a window and necessitating replanning of the apartment. The study did not have a window.
	NS-1A-604	1 Bed		✓			58.5	✓	15.5	✓	✓	✓	✓	✓	<b>✓</b>	✓			✓	1	fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a 1B1BMedia with 58.5sqm internal and 15.5sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
																					Approved as a 1Bed1BathMedia at 65.32sqm internal and 13sqm external area.
	NS-1A-605	2 Bed					70.6	<b>~</b>	12.6	<b>~</b>	✓	✓	<b>~</b>	<b>✓</b>	<b>✓</b>	<b>✓</b>	<b>✓</b>		<b>✓</b>	1	fjmt revised planning includes a Powder Room, standalone laundry and now provides compliant internal storage to achieve a 2B1B with 70.6sqm internal and 12.6sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
																					Approved as a 1Bed1BathMedia at 64.20sqm internal and 13sqm external area.
	NS-1A-606	2 Bed					70.6	<b>✓</b>	13.4	<b>✓</b>	<b>✓</b>	<b>~</b>	<b>✓</b>	<b>✓</b>	<b>✓</b>	<b>~</b>			<b>✓</b>	1	fjmt revised planning includes a Powder Room, standalone laundry and now provides compliant internal storage to achieve a 2B1B with 70.6sqm internal and 13.4sqm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
																					Approved as a 2Bed2BathStudy at 105.82sqm internal and 30sqm external area.
													_						_		fjmt revised this very large 2 bedroom apartment into a Dual Key offer of a 2 Bed and 1 Bed hybrid.
	NS-1A-607	3 Bed				✓	131.9	✓	31.6	<b>✓</b>	✓	✓	✓	✓	✓	✓	✓		✓	1	fjmt revised planning includes a standalone laundry and now provides compliant internal storage to achieve a Dual-Key offer made up of 2B2B+1B1B with 131.9sqm internal and 31.6sqm external area. A significant increase in the quality of the amenity provided, the useable apartment area and affordability of the product,

Building No	Apartment No	Туре	Study	/ Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)				Kitchen Location	Min	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	
Building 1B																						<b>General Note:</b> The gym and function room locations were reviewed and it was believed they were too disconnected from the pool area. This meant that the apartment previously located on the west moved to the east and now faces onto a generous courtyard and landscaping facing the terraces of other apartments. This change also had the benefits of moving possible noise conflicts between ground floor apartments and the pool activity areas.
	All Floors																					
	First Floor																					
	NS-1B-101	2 Bed					94.7	<b>✓</b>	33.2	<b>✓</b>	<b>✓</b>	<b>~</b>		<b>✓</b>	<b>~</b>	<b>✓</b>	<b>~</b>	<b>~</b>		<b>~</b>	1	Ground floor apartment location swapped with Gym and Function room to have beer relationship with adjoining residential apartments.
	NS-1B-102	1 Bed					50.7	<b>~</b>	34.1	<b>✓</b>	<b>~</b>	<b>~</b>		<b>~</b>	<b>~</b>	<b>~</b>	<b>~</b>			<b>✓</b>	1	Minor modifications
	NS-1B-103	1 Bed					50.6	<b>✓</b>	8	<b>✓</b>	<b>✓</b>	<b>~</b>	<b>~</b>	<b>✓</b>	<b>✓</b>	<b>✓</b>	<b>~</b>			<b>✓</b>	1	Minor modifications
	2nd - 6th Floor																					
	1601	3 Bed					102.4	<b>✓</b>	11.6	<b>✓</b>	<b>✓</b>	<b>✓</b>		✓	<b>✓</b>	<b>✓</b>	<b>✓</b>	<b>✓</b>	<b>✓</b>	<b>✓</b>	1	No change
	NS-1B-202,302,402,502, 602	2 Bed			<b>✓</b>		77.1	<b>~</b>	9.6			<b>~</b>		<b>✓</b>	✓	<b>~</b>	<b>~</b>	<b>✓</b>		✓	1	No change
	NS-1B-203,303,403,503, 603	1 Bed					50.6	<b>~</b>	8.2	<b>~</b>	<b>✓</b>	<b>✓</b>	<b>✓</b>	<b>✓</b>	<b>✓</b>	<b>✓</b>	<b>✓</b>			<b>✓</b>	1	No change
	NS-1B-204,304,404,504, 604	2 Bed					79.6	✓	9.8			<b>✓</b>		<b>✓</b>	<b>✓</b>	<b>✓</b>	<b>~</b>	<b>✓</b>		<b>✓</b>	1	No change
	7th Floor																					
	NS-1B-701	3 Bed					115.7	<b>~</b>	11.6	<b>✓</b>	<b>~</b>	<b>V</b>		<b>~</b>	<b>~</b>	<b>~</b>	<b>~</b>	<b>~</b>	<b>~</b>	<b>~</b>	1	No change
	NS-1B-702	2 Bed			<b>~</b>		77.1	<b>~</b>	9.6		<b>~</b>	<b>V</b>		<b>~</b>	<b>~</b>	<b>~</b>	<b>~</b>	<b>~</b>		<b>~</b>	1	No change
	NS-1B-703	1 Bed					46.1	<b>~</b>	0			<b>~</b>	<b>~</b>	<b>~</b>	<b>✓</b>	<b>~</b>	<b>~</b>			<b>~</b>	1	No change
	NS-1B-704	2 Bed					79.6	<b>✓</b>	9.8		<b>✓</b>	<b>~</b>		<b>✓</b>	<b>✓</b>	<b>✓</b>	<b>✓</b>	<b>✓</b>		<b>✓</b>	1	No change

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fjmt studio architecture interiors urban landscape architectural design report eastlakes town centre - north site

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Code	Location	Item	Finish/Colour	se
ACM01	Pylon Sign	Aluminium Sheet, Type 01	Indiana Copper #704	_
ALF01	Facade, Window Frame	Aluminium Finish, Type 01	Colour - Asteroid Pearl (Bronze)	_
ALF02	Facade, Window Frame	Aluminium Finish, Type 02	Colour - Hog Bristle Matt. Code- 18PD042/2	_
ALF03	Awnings	Aluminium Finish, Type 03	To be confirmed	_
BS01	Residential Balconies	Balustrade System, Type 01	Framed glass with aluminium framing	_
BS02	Landscaped Podium	Balustrade System, Type 02	Framed glass with aluminium framing	_
CRP	Balcony Ceilings, External Walls	Concrete Render & Paint	Ceilings - White and External Walls - Dulux Terrible Billy	_
FAC#	Facade, External Wall	Facade, Type # refer to wall type schedule for details on plan A10003	Refer to Elevations A31000 Series for PS# colour	_
FAC01	Facade, External Wall	Colour through compressed fibre cement rain screen facade system	Colour refer to Paint System	_
FIN01	Facade	Facade, Aluminium Fin Type 01	One Side of Fins: Dulux Cinnamon Sand, S10F7 (PS04) & Other Side of Fins: Metallic Paper Brown (Copper) (PS05)	_
FIN02	Facade	Facade, Aluminium Fin Type 02	Refer to Elevations A31000 for PS# colour	_
FIN03	Facade	Facade, Aluminium Fin Type 03	Refer to Elevations A31000 for PS# colour	_
FIN04	Facade	Facade, Aluminium Fin Type 04	Dulux Hog Bristle S14D1 (PS02)	_
GRC01	Retail Facade	Column Cladding, Type 01	Terracotta Colour	- w
PAV01	Outside Footpath, Awnings Area	Paving, Type 01	Refer landcsape drawings	
PAV02	Car Park Entry Zone	Paving, Type 02	Refer landcsape drawings	_
PAV04	Podium Landscape Area	Paving, Type 04	Refer landcsape drawings	_
PS01	Facade, External Wall	Paint System (Exterior), Type 01	Dulux- Colour 'Terrible Billy' NZ10H5	_
PS02	Facade, External Wall	Paint System (Exterior), Type 02	Dulux- Colour 'Hog Bristle' S14D1	_
PS03	Facade, External Wall	Paint System (Exterior), Type 03	Dulux- Colour 'Humble Fawn' SN3G6	_
PS04	Facade, External Wall	Paint System (Exterior), Type 04	Dulux- Colour 'Cinnamon Sand' S10F7	_
PS05	Facade, External Wall	Paint System (Exterior), Type 05	Colour 'Metallic Paper Brown (Copper)'.	_
RF2	Roof Terrace Bar Joinery	Resilient Finish, Type 2	Cirrus White [E]	_
TC01	Retail Facade Cladding	Terracotta, Type 01	Colour 'Sandbank'	_
TIM01	Awnings, Canopies, Eaves, Side Panels, Soffit, Mall Ceiling	Timber, Type 01	Milano Terra	_
TIM02	Roof Terrace Bar Deck	Timber, Type 02	Australian hardwood - Blackbutt	_
	-			_

Code	Location	Item	Finish/Colour	sec
	Pylon Sign	Aluminium Sheet, Type 01	Indiana Copper #704	-
ALF01	Facade, Window Frame	Aluminium Finish, Type 01	Colour - Asteroid Pearl (Bronze)	-
ALF02	Facade, Window Frame	Aluminium Finish, Type 02	Colour - Hog Bristle Matt. Code-18PD042/2	-
ALF03	Awnings	Aluminium Finish, Type 03	To be confirmed	-
BS01	Residential Balconies	Balustrade System, Type 01	Framed glass with aluminium framing	-
BS02	Landscaped Podium	Balustrade System, Type 02	Framed glass with aluminium framing	-
CRP	Balcony Ceilings, External Walls	Concrete Render & Paint	Ceilings - White and External Walls - Dulux Terrible Billy	-
FAC#	Facade, External Wall	Facade, Type # refer to wall type schedule for details on plan A10003	Refer to Elevations A31000 Series for PS# colour	-
FAC01	Facade, External Wall	Colour through compressed fibre cement rain screen facade system	Colour refer to Paint System	-
FIN01	Facade	Facade, Aluminium Fin Type 01	One Side of Fins: Dulux Cinnamon Sand, S10F7 (PS04) & Other Side of Fins: Metallic Paper Brown (Copper) (PS05)	-
FIN02	Facade	Facade, Aluminium Fin Type 02	Refer to Elevations A31000 for PS# colour	-
FIN03	Facade	Facade, Aluminium Fin Type 03	Refer to Elevations A31000 for PS# colour	-
FIN04	Facade	Facade, Aluminium Fin Type 04	Dulux Hog Bristle S14D1 (PS02)	-
GRC01	Retail Facade	Column Cladding, Type 01	Terracotta Colour	- w
PAV01	Outside Footpath, Awnings Area	Paving, Type 01	Refer landcsape drawings	
PAV02	Car Park Entry Zone	Paving, Type 02	Refer landcsape drawings	-
PAV04	Podium Landscape Area	Paving, Type 04	Refer landcsape drawings	-
PS01	Facade, External Wall	Paint System (Exterior), Type 01	Dulux- Colour 'Terrible Billy' NZ10H5	-
PS02	Facade, External Wall	Paint System (Exterior), Type 02	Dulux- Colour 'Hog Bristle' S14D1	-
PS03	Facade, External Wall	Paint System (Exterior), Type 03	Dulux- Colour 'Humble Fawn' SN3G6	-
PS04	Facade, External Wall	Paint System (Exterior), Type 04	Dulux- Colour 'Cinnamon Sand' S10F7	-
PS05	Facade, External Wall	Paint System (Exterior), Type 05	Colour 'Metallic Paper Brown (Copper)'.	-
RF2	Roof Terrace Bar Joinery	Resilient Finish, Type 2	Cirrus White [E]	-
TC01	Retail Facade Cladding	Terracotta, Type 01	Colour 'Sandbank'	-
TIM01	Awnings, Canopies, Eaves, Side Panels, Soffit, Mall Ceiling	Timber, Type 01	Milano Terra	-
TIM02	Roof Terrace Bar Deck	Timber, Type 02	Australian hardwood - Blackbutt	-

	Facade, Aluminium Fin Type 04	Dulux Hog Bristle S14D1 (PS02)			S75W130025	Building 1 ADG Compliance Analysis	02	
					S75W130026	Building 1A ADG Compliance Analysis	02	_
de	Column Cladding, Type 01	Terracotta Colour	,	waste	S75W130027 room legend	Building 1B ADG Compliance Analysis	01	
otpath, Awnings Area	Paving, Type 01	Refer landcsape drawings			Icon	Waste Unit	Туре	Volume
ntry Zone	Paving, Type 02	Refer landcsape drawings				Bin Lifter	Refer	240L
ndscape Area	Paving, Type 04	Refer landcsape drawings				MIT MITTON	Spec	2402
ternal Wall	Paint System (Exterior), Type 01	Dulux- Colour 'Terrible Billy' NZ10H5			-	-		
ternal Wall	Paint System (Exterior), Type 02	Dulux- Colour 'Hog Bristle' S14D1				E-Diverter	Refer Spec	N/A
ternal Wall	Paint System (Exterior), Type 03	Dulux- Colour 'Humble Fawn' SN3G6						
ternal Wall	Paint System (Exterior), Type 04	Dulux- Colour 'Cinnamon Sand' S10F7				Recycling Bin	MGB	240L
ternal Wall	Paint System (Exterior), Type 05	Colour 'Metallic Paper Brown (Copper)'.				Recycling Bill	WGD	240L
e Bar Joinery	Resilient Finish, Type 2	Cirrus White [E]						
de Cladding	Terracotta, Type 01	Colour 'Sandbank'			===	Recycling Bin	MGB	660L
anopies, Eaves, Side fit, Mall Ceiling	Timber, Type 01	Milano Terra				_		
e Bar Deck	Timber, Type 02	Australian hardwood - Blackbutt						
						Service Bin	MGB	660L
						-		
					E==	Waste Bin	MGB	660L
						Preside Diff	was	0002
						Waste Collector Carousel - 3 point		
					Star St.	<del>,</del>		
						\		
					P. Bake I L	<b>y</b>		

clien	t		
rev	date	name	by chk
03	16/8/19	S75W Updated Package for DPIE review	SB
04	21/3/20	S75W Submission	SB

Waste Collector Linear Track-3 point Recycling



EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

title
Section 75W Application
Cover Sheet

For Approval S75W130000







0 5 10 20m

o ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.

DO NOT SCALE DRAWINGS.

OUSE FIGURED DIMENSIONS ONLY.

lege	end		
	Code		H
	ACM01	Aluminium Sheet, Type 01	
	ALEO1	Aluminium Finish Time 01	

PAV02 Paving, Type 02
PAV04 Paving, Type 04

TIM01 Timber, Type 01
TIM02 Timber, Type 02

Crown Group L29, 1 Market Street, Sydney, NSW, Australia

fjmt

project

EASTLAKES TOWN CENTRE - NORTH SITE

Evans Avenue Eastlakes

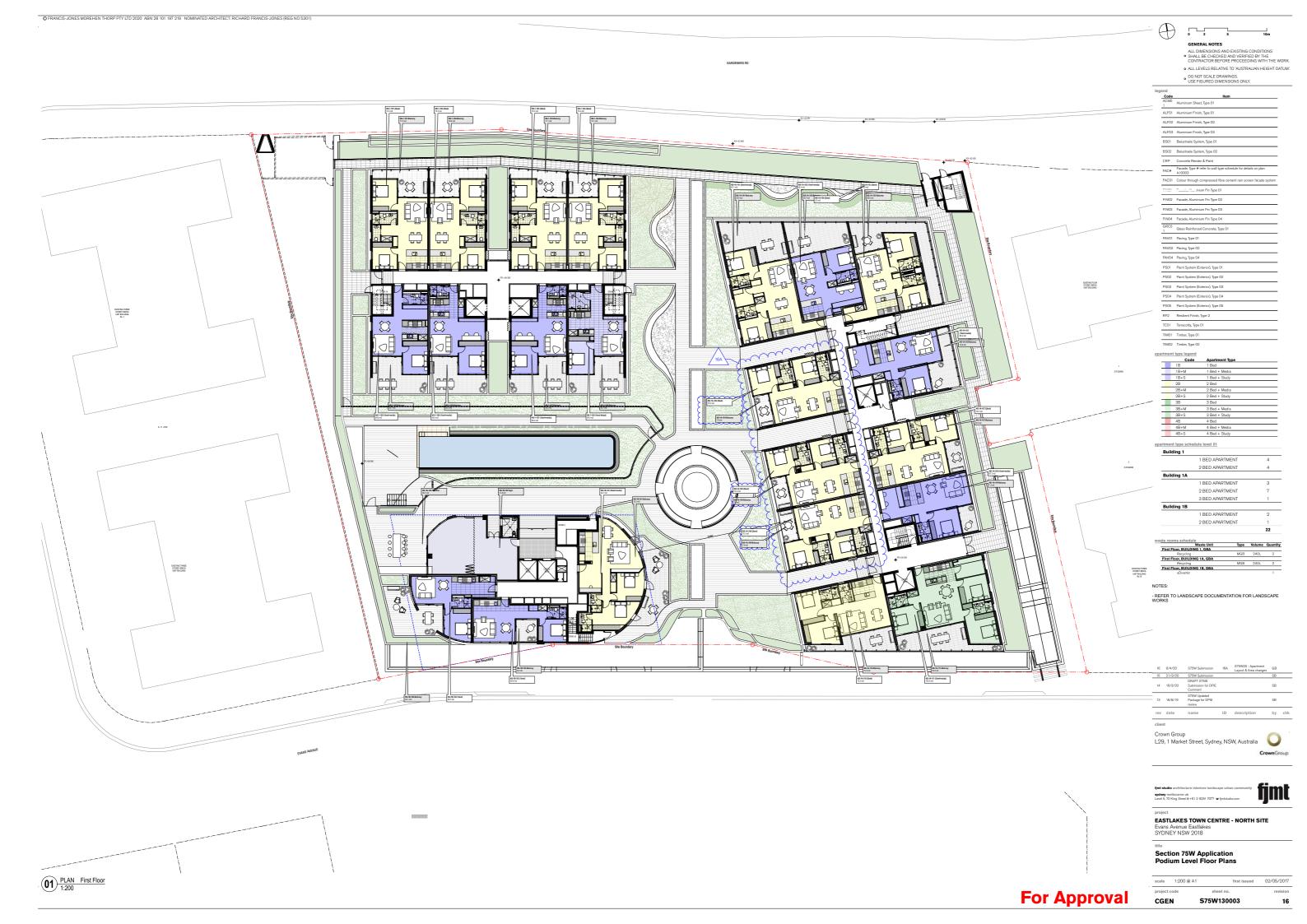
SYDNEY NSW 2018

Section 75W Application Site Plan

scale 1:500 @ A1 02/05/2017 revision **04** CGEN

S75W130001









	• ALE LEVELO RED HIVE TO AGO!	TO ALD UNITED THE
	O NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ON	ILY.
legend		
Code ACM0	Aluminium Sheet, Type 01	
ALF01	Aluminium Srieet, Type 01	
ALF02	Aluminium Finish, Type 02	
ALF03		
BS01	Aluminium Finish, Type 03	
	Balustrade System, Type 01	
BS02	Balustrade System, Type 02	
CRP	Concrete Render & Paint Facade, Type # refer to wall type schedule for o	lataile on plan
FAC#	A10003	
FAC01	Colour through compressed fibre cement rain s	creen facade system
F13.02	Figure 11 Type 01	
FIN02	Facade, Aluminium Fin Type 02	
FIN03	Facade, Aluminium Fin Type 03	
FIN04	Facade, Aluminium Fin Type 04	
GRC0 1	Glass Reinforced Concrete, Type 01	
PAV01	Paving, Type 01	
PAV02	Paving, Type 02	
PAV04	Paving, Type 04	
PS01	Paint System (Exterior), Type 01	
PS02	Paint System (Exterior), Type 02	
PS03	Paint System (Exterior), Type 03	
PS04	Paint System (Exterior), Type 04	
PS05	Paint System (Exterior), Type 05	
RF2	Resilient Finish, Type 2	
TC01	Terracotta, Type 01	
TIM01	Timber, Type 01	
TIM02	Timber, Type 02	
apartment	type legend	
-	Code         Apartment Type           1B         1 Bed	
	1B+M 1 Bed + Media	
-	1B+S 1 Bed + Study 2B 2 Bed	
_	2B+M 2 Bed + Media	
	2B+S 2 Bed + Study	
_	3B 3 Bed 3B+M 3 Bed + Media	
_	3B+S 3 Bed + Study	
	4B 4 Bed	
	4B+M 4 Bed + Media 4B+S 4 Bed + Study	
-		
Build	type schedule level 02-04	
Dunio	1 BED APARTMENT	4
	2 BED APARTMENT	4
Build	ing 1A	
	1 BED APARTMENT	3
	2 BED APARTMENT 3 BED APARTMENT	7
Build	ing 1B	
	1 BED APARTMENT	1
	2 BED APARTMENT	2
	3 BED APARTMENT	1
wasta re-	ms schedule	23
	Waste Unit Type or, BUILDING 1, GBA	Volume Quant
4th Ele	Recycling MGB	240L 2

05	6/4/20	S75W Submission	05A	S75W20 - Apartment	GB	
UD	6/4/20	57DW Submission	UDA	Layout & Area changes	GB	
04	21/3/20	S75W Submission			SB	
03	16/8/19	S75W Updated Package for DPIE review			SB	
rev	date	name	ID	description	by	chk

Crown Group L29, 1 Market Street, Sydney, NSW, Australia

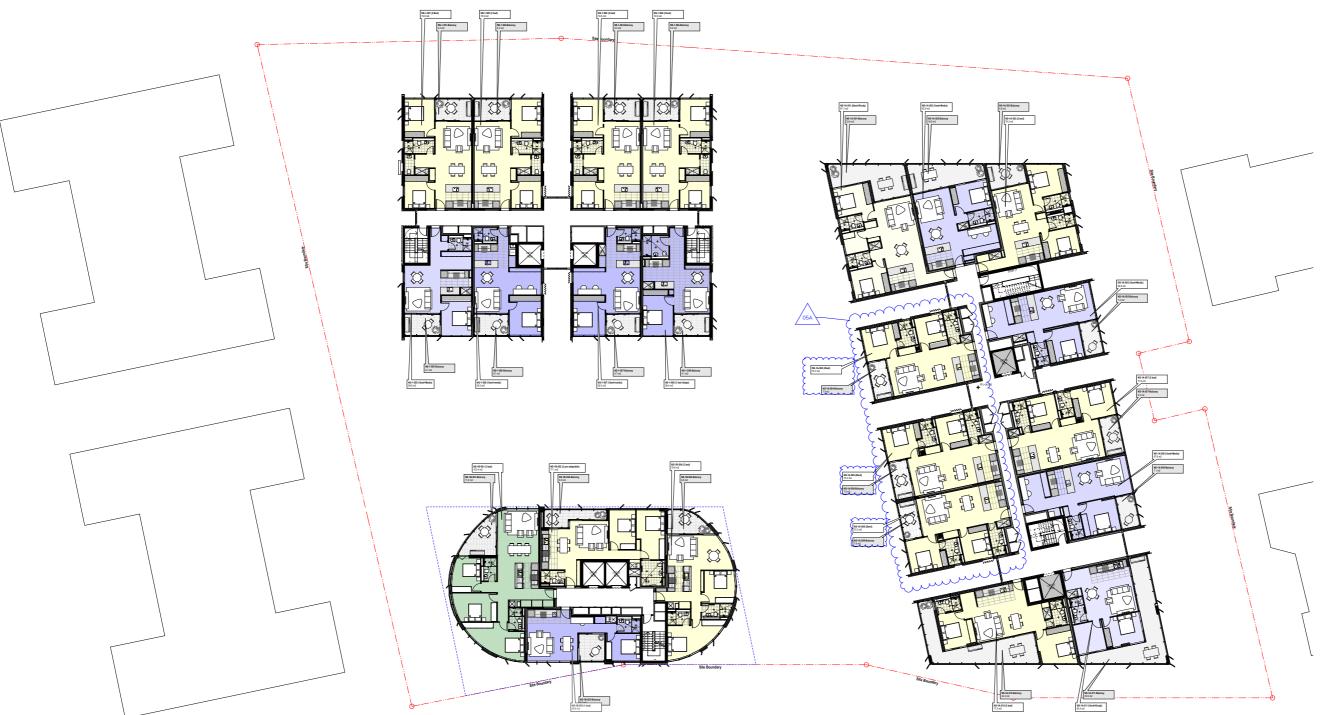
Recycling
4th Floor, BUILDING 1A, GBA
Recycling
4th Floor, BUILDING 1B, GBA



fjmt

EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

Section 75W Application 2nd to 4th Floor





9	end Code	Item
	ACM0 1	Aluminium Sheet, Type 01
	ALF01	Aluminium Finish, Type 01
	ALF02	Aluminium Finish, Type 02
	ALF03	Aluminium Finish, Type 03
	BS01	Balustrade System, Type 01
	BS02	Balustrade System, Type 02
	CRP	Concrete Render & Paint
	FAC#	Facade, Type # refer to wall type schedule for details on plan A10003
	FAC01	Colour through compressed fibre cement rain screen facade syste
		Final American Fin Type 01

apartment type legend		
_	Code	Apartment Type
	1B	1 Bed
	1B+M	1 Bed + Media
_	1B+S	1 Bed + Study
	2B	2 Bed
_	2B+M	2 Bed + Media
_	2B+S	2 Bed + Study
	3B	3 Bed
	3B+M	3 Bed + Media
	3B+S	3 Bed + Study
	4B	4 Bed
_	4B+M	4 Red + Media

uilding 1		
	1 BED APARTMENT	4
	2 BED APARTMENT	4
uilding 1A		
	1 BED APARTMENT	4
	2 BED APARTMENT	7
uilding 1B		
	1 BED APARTMENT	1
	2 BED APARTMENT	2
	3 BED APARTMENT	1

Waste Unit Type Volume Quantity
Sth Floor, BUILDING 1, GBA Recycling

Sth Floor, BUILDING 1A, GBA Recycling

5th Floor, BUILDING 1B, GBA

eDiverter

05	6/4/20	S75W Submission	05A	S75W20 - Apartment Layout & Area changes	GB	
04	21/3/20	S75W Submission			SB	
03	16/8/19	S75W Updated Package for DPIE review			SB	
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EASTLAKES TOWN CENTRE - NORTH SITE Evans Avenue Eastlakes SYDNEY NSW 2018

Section 75W Application 5th Floor

S75W130005 CGEN 05





ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'.

_	DO NOT SCALE DRAWINGS.
۰	USE FIGURED DIMENSIONS ON

	O DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.	
legend Code	Item	
ACM0	Aluminium Sheet, Type 01	
ALF01	Aluminium Finish, Type 01	
ALF02	Aluminium Finish, Type 02	
ALF03	Aluminium Finish, Type 03	
BS01	Balustrade System, Type 01	
BS02	Balustrade System, Type 02	
CRP	Concrete Render & Paint	
FAC#	Facade, Type # refer to wall type schedule for details on plan A10003	
FAC01	Colour through compressed fibre cement rain screen facade sy:	sten
EINIO	Ed-, Atinium Fin Type 01	
FIN02	Facade, Aluminium Fin Type 02	
FIN03	Facade, Aluminium Fin Type 03	
FIN04	Facade, Aluminium Fin Type 04	
GRC0	Glass Reinforced Concrete, Type 01	
PAV01	Paving, Type 01	
PAV02	Paving, Type 02	
PAV04	Paving, Type 04	
PS01	Paint System (Exterior), Type 01	
PS02	Paint System (Exterior), Type 02	
PS03	Paint System (Exterior), Type 03	
PS04	Paint System (Exterior), Type 04	
PS05	Paint System (Exterior), Type 05	
RF2	Resilient Finish, Type 2	
TC01	Terracotta, Type 01	
TIM01	Timber, Type 01	
TIM02	Timber, Type 02	
partment	type legend	
_	Code         Apartment Type           1B         1 Bed	
-	1B+M 1 Bed + Media	
	1B+S 1 Bed + Study	
	2B 2 Bed	
_	2B+M 2 Bed + Media	
_	2B+S 2 Bed + Study 3B 3 Bed	
_	3B+M 3 Bed + Media	_
_	3B+S 3 Bed + Study	
_	4B 4 Bed	
_	4B+M 4 Bed + Media	
	4B+S 4 Bed + Study	
partmo-1		
Buildi	type schedule level 06 ing 1	
	2 BED APARTMENT 2	_
	3 BED APARTMENT 2	
Buildi		-

Waste Unit	Type	Volume	Quantity
6th Floor, BUILDING 1, GBA			
Recycling	MGB	240L	2
6th Floor, BUILDING 1A, GBA			
Recycling	MGB	240L	2
6th Floor, BUILDING 1B, GBA			
eDiverter			- 1

2 BED APARTMENT

2 BED APARTMENT 3 BED APARTMENT

05	6/4/20	S75W Submission	05A	S75W20 - Apartment Layout & Area changes	GB	
04	21/3/20	S75W Submission			SB	
03	16/8/19	S75W Updated Package for DPIE review			SB	
rev	date	name	ID	description	by	chk

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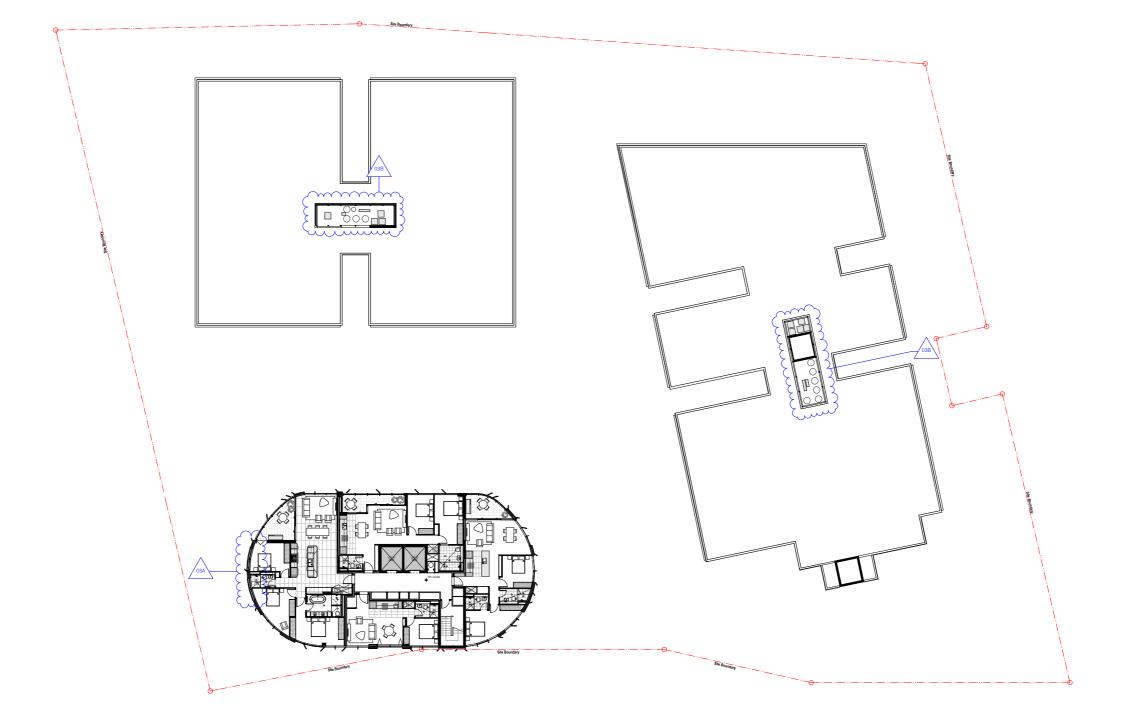
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EASTLAKES TOWN CENTRE - NORTH SITE

Evans Avenue Eastlakes

SYDNEY NSW 2018

Section 75W Application 6th Floor





		O USE FI	GURED DIMENSIONS ONLY.	
lege	end Code		Item	
	ACM01	Aluminium Shee	et, Type 01	
	ALF01	Aluminium Finis	h, Type 01	
	ALF02	Aluminium Finis	h, Type 02	
	ALF03	Aluminium Finis	h, Type 03	
	BS01	Balustrade Syste	em, Type 01	
	BS02	Balustrade Syste	em, Type 02	
	CRP	Concrete Rende	r & Paint	
	FAC#	Facade, Type # r	refer to wall type schedule for detail	ls on plan A10003
	FAC01	Colour through	compressed fibre cement rain scre	en facade system
	FIN01	Farada Alimini	um Fin Type 01	
	FIN02	Facade, Alumini	um Fin Type 02	
	FIN03	Facade, Alumini	um Fin Type 03	
	FIN04	Facade, Alumini	um Fin Type 04	
	GRO01	Glass Reinforce	d Concrete, Type 01	
	PAV01	Paving, Type 01		
	PAV02	Paving, Type 02		
	PAV04	Paving, Type 04		
	PS01	Paint System (E	xterior), Type 01	
	PS02	Paint System (E	xterior), Type 02	
	PS03	Paint System (E	xterior), Type 03	
	PS04	Paint System (E	xterior), Type 04	
	PS05	Paint System (E	xterior), Type 05	
	RF2	Resilient Finish,	Type 2	
	TC01	Terracotta, Type	01	
	TIM01	Timber, Type 01		
	TIM02	Timber, Type 02		
apa	rtment 1	type legend		
	_	Code 1B	Apartment Type 1 Bed	
	_	1B+M	1 Bed + Media	
	_	1B+S	1 Bed + Study	
		2B	2 Bed	
		2B+M	2 Bed + Media	
		2B+S	2 Bed + Study	
		3B	3 Bed	
		3B+M	3 Bed + Media	
		3B+S	3 Bed + Study	
		4B	4 Bed	
		4B+M	4 Bed + Media	
		4B+S	4 Bed + Study	
apa	rtment	type schedule	level 07	
	Buildi	ng 1B		
			1 BED APARTMENT	1
			2 BED APARTMENT	2
			3 BED APARTMENT	1
				4

04	21/3/20	S75W Submission			SB	
03	16/8/19	S75W Updated Package for DPIE review			SB	
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Crown Group L29, 1 Market Street, Sydney, NSW, Australia





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project

EASTLAKES TOWN CENTRE - NORTH SITE

Evans Avenue Eastlakes

SYDNEY NSW 2018

Section 75W Application 7th Floor

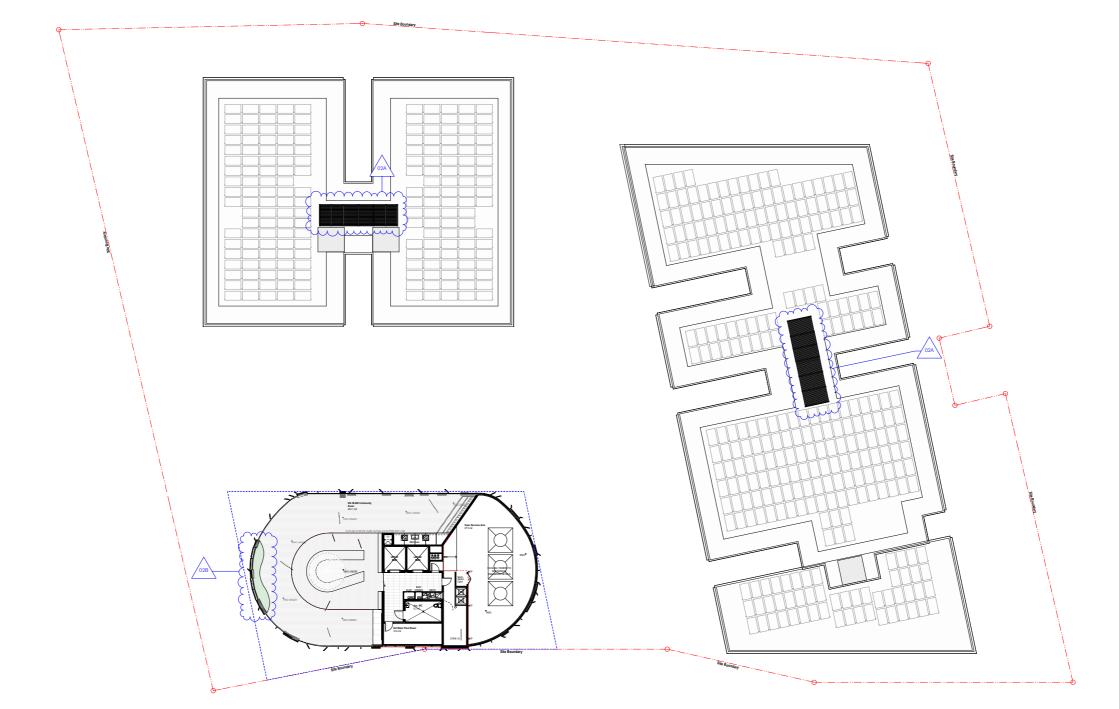


For Approval

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project code

CGEN sheet no. \$75W130007





lege	end Code	
	ACM01	Aluminium Sheet, Type 01
	ALF01	Aluminium Finish, Type 01
	ALF02	Aluminium Finish, Type 02
	ALF03	Aluminium Finish, Type 03
	BS01	Balustrade System, Type 01
	BS02	Balustrade System, Type 02
	CRP	Concrete Render & Paint
	FAC#	Facade, Type # refer to wall ty
	FAC01	Colour through compressed fi
	FIN01	Facade Aluminium Fin Type 0
	FIN02	Facade, Aluminium Fin Type 0
	FIN03	Facade, Aluminium Fin Type 0
	FIN04	Facade, Aluminium Fin Type 0
	GRC01	Glass Reinforced Concrete, Ty
	PAV01	Paving, Type 01
	PAV02	Paving, Type 02
	PAV04	Paving, Type 04
	PS01	Paint System (Exterior), Type
	PS02	Paint System (Exterior), Type
	PS03	Paint System (Exterior), Type
	PS04	Paint System (Exterior), Type
	PS05	Paint System (Exterior), Type
	RF2	Resilient Finish, Type 2
	TO01	Terracotta, Type 01
	TIMO1	Timbor Timo Of

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	wn Grou	p et Street, Sydne	, NICW	/ Australia	Charles of the Control of the Contro	
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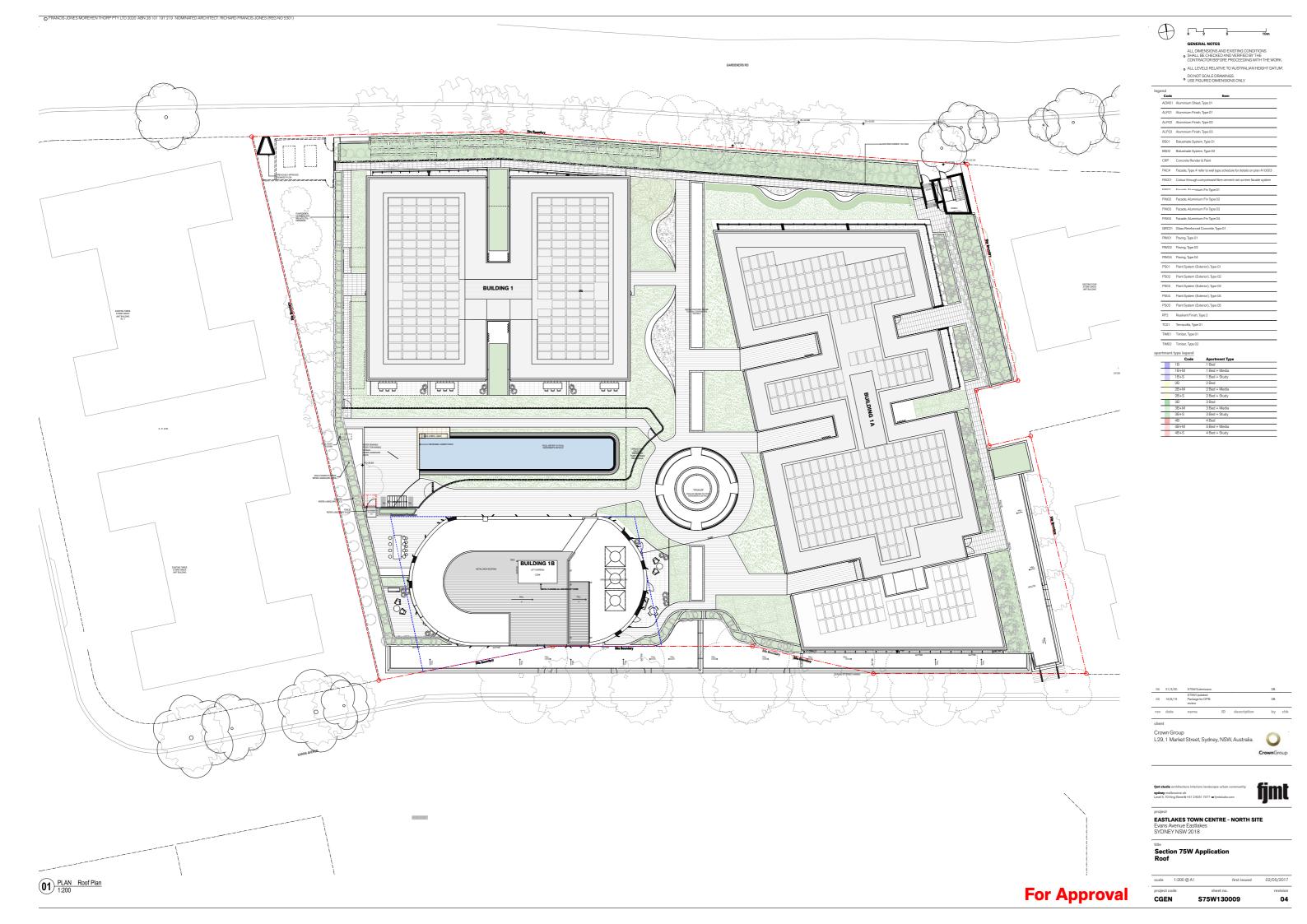
project

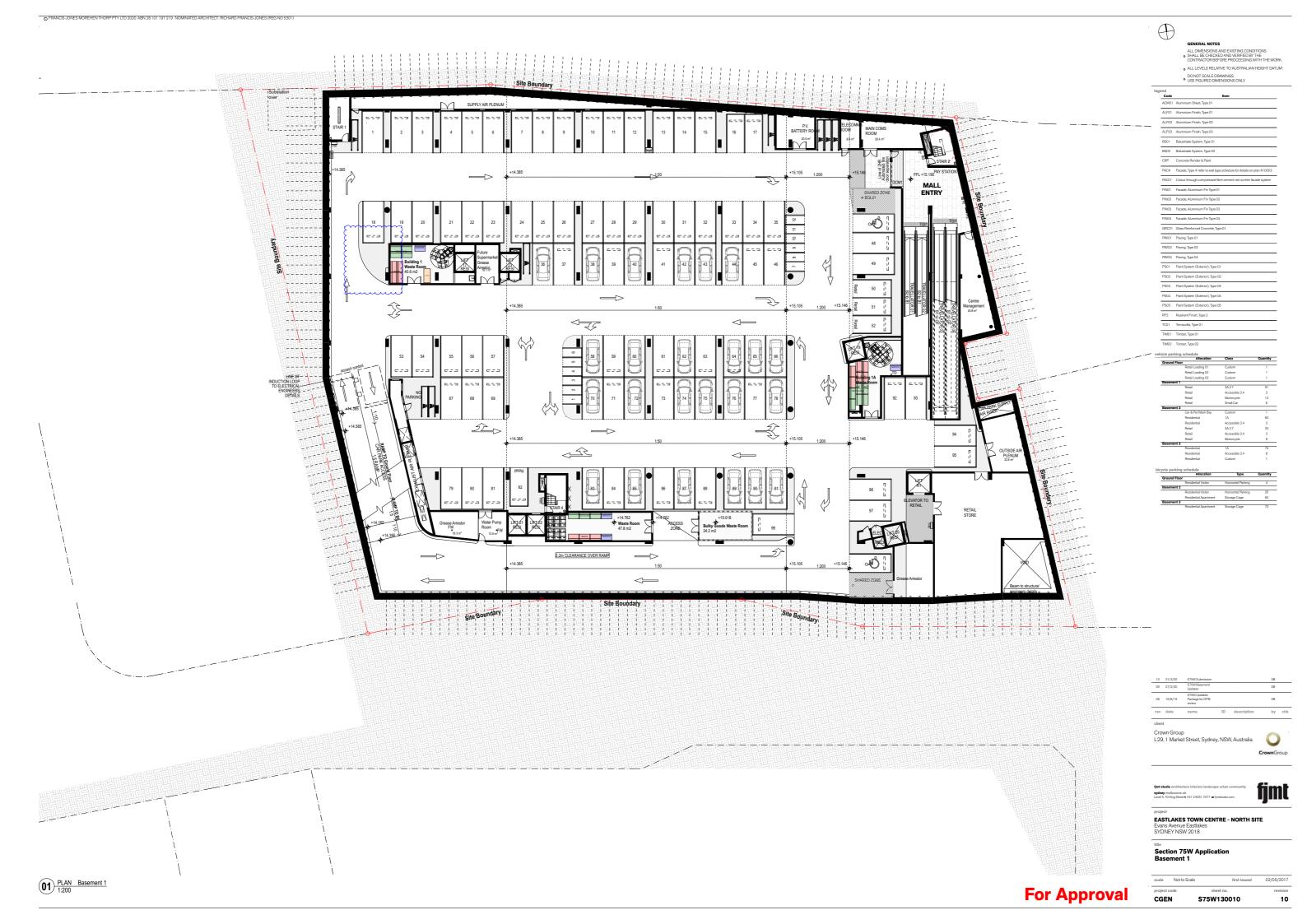
EASTLAKES TOWN CENTRE - NORTH SITE

Evans Avenue Eastlakes

SYDNEY NSW 2018

Section 75W Application 8th Floor







DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.	

	gend Code	Item
ALFO2 Alaminium Finish, Tipe 02  ALFO3 Alaminium Finish, Tipe 03  BSD1 Balastrade System, Type 01  BSD2 Balastrade System, Type 01  BSD2 Balastrade System, Type 02  CRP Concrete Render & Partet  FAC+ Facade, Type 4 refer to wait type schedule for details on plain  FAC+ Facade, Type 4 refer to wait type schedule for details on plain  FAC0 Color through compressed free conwort rain screen facad  FRN01 Facade, Alaminium Fin Type 01  FRN02 Facade, Alaminium Fin Type 02  FRN03 Facade, Alaminium Fin Type 03  FRN04 Facade, Alaminium Fin Type 04  FRN04 Facade, Alaminium Fin Type 07  FRN04 Facade, Alaminium Fin Type 07  FRN05 Facade, Alaminium Fin Type 07  FRN07 Facade, Type 07  TRN07 Facade,	ACM01	Aluminium Sheet, Type 01
ALFO3 Aluminum Finish Type 03  BS01 Balustrade System, Type 01  BS02 Balustrade System, Type 01  BS03 Balustrade System, Type 02  CRP Concrete Render & Pantil  FACE Facate, Type 4 refer to wall type schedule for details on plai  FACE Facate, Type 4 refer to wall type schedule for details on plai  FACE Facate, Type 4 refer to wall type schedule for details on plai  FROOI Colour through compressed fibre cement rain screen facat  FROOI Facate, Aluminum Fin Type 03  FROOI Facate, Aluminum Fin Type 04  FROOI Facate, Aluminum Fin Type 01  FROOI Paris, Type 04  FROOI Paris, Type 04  FROOI Facate, Clasteron, Type 04  FROOI Facate, System (Esteron), Type 04  FROOI Facate, System (Esteron), Type 05  Frant System (Esteron), Type 06  FROOI Facate, Type 01  Tenscotts, Type 01  Tenscotts, Type 01  Timber, Type 01	ALF01	Aluminium Finish, Type 01
BS01 Balustrade System, Type 01 BS02 Balustrade System, Type 02 BFC Concrete Render & Paint FAC4 Facade, Type 4 refer to wall type schedule for details on pla FAC91 Colour through compressed fibre cement rain screen facac FR001 Facade, Aluminum Fin Type 01 FR002 Facade, Aluminum Fin Type 03 FR003 Facade, Aluminum Fin Type 03 FR004 Facade, Aluminum Fin Type 03 FR004 Painte, Aluminum Fin Type 04 GR001 Glass Reinforced Concrete, Type 01 FR009 Paint, Type 01 FR009 Paint, Type 02 FR001 Paint System (Ederica), Type 01 FR001 Paint System (Ederica), Type 03 FR002 Paint System (Ederica), Type 03 FR003 Paint System (Ederica), Type 04 FR003 Paint System (Ederica), Type 05 FR004 Paint System (Ederica), Type 05 FR005 Paint System (Ederica), Type 05 FR006 Paint System (Ederica), Type 06 FR007 Resilient Finish, Type 05 FR007 Resilient Finish, Type 01 FR008 Type 01 FR009 Type 01	ALF02	Aluminium Finish, Type 02
BS02 Balustrade System, Type 02  CRP Concrete Render & Paint  FACE Flacide, Type # refer to wall type schedule for details on pile  FACO Colour brough compressed filter cement rain screen facos  FRN01 Flacide, Alaminum Fin Type 01  FRN02 Flacide, Alaminum Fin Type 03  FRN03 Flacide, Alaminum Fin Type 03  FRN04 Flacide, Alaminum Fin Type 04  GRC01 Glass Reinforced Concrete, Type 01  FRV09 Paing, Type 04  FRV09 Paint System (Ederica), Type 07  FRV00 Paint System (	ALF03	Aluminium Finish, Type 03
CRP Concrete Render & Paint FACE Facade, Type # refer to wall type schedule for details on pla FACE Facade, Type # refer to wall type schedule for details on pla FACE Colour through compressed fibre convent rain screen facal FAROL Facade, Alaminium Fin Type 01 FAROL Facade, Alaminium Fin Type 03 FAROL Facade, Alaminium Fin Type 04 GRODI Glass Rendroced Concrete, Type 01 FAVIO Pacing, Type 01 FAVIO Pacing, Type 02 FAVIO Pacing, Type 02 FAVIO Pacing, Type 04 FASE Paint System (Ederior), Type 01 FASE Paint System (Ederior), Type 03 FASE Paint System (Ederior), Type 04 FASE Paint System (Ederior), Type 04 FASE Paint System (Ederior), Type 04 FASE Paint System (Ederior), Type 05 FASE Resilient Finish, Type 05 FASE Resilient Finish, Type 01 Trindor, Type 01	BS01	Balustrade System, Type 01
FACE Facade, Type # refer to wall type schedule for details on pia FACO1 Colour through compressed fibre cement rain screen facat FRIOD Facade, Aluminium Fin Type 01 FRIOD Facade, Aluminium Fin Type 02 FRIOD Facade, Aluminium Fin Type 04 FRIOD Facial, Type 07 FRIOD Facial, Type 07 FRIOD Facial, Type 08 FRIOD Facial, Type 08 FRIOD Facial, Type 09 FRIOD Facial, Type 01 FRIOD Facial, Type 01 FRIOD FRIO	BS02	Balustrade System, Type 02
ACOI Colour Brough compressed fibre cement rain screen faces  NO1 Facade, Aluminum Fin Type 01  NO2 Facade, Aluminum Fin Type 02  NO3 Facade, Aluminum Fin Type 03  NO4 Facade, Aluminum Fin Type 04  NO5 Facade, Aluminum Fin Type 04  NO6 Facade, Aluminum Fin Type 04  Paring, Type 01  Paring, Type 02  NO6 Paring, Type 02  NO6 Paring, Type 04  SO1 Paring, Type 04  SO2 Paring, Type 04  SO3 Paring System (Exterior), Type 07  Paring System (Exterior), Type 07  Paring System (Exterior), Type 08  SO3 Paring System (Exterior), Type 08  SO5 Paring System (Exterior), Type 07  Terracotta, Type 01  Terracotta, Type 01  Terracotta, Type 01	RP.	Concrete Render & Paint
FR00 Facade, Aluminum Fin Type 01 FR002 Facade, Aluminum Fin Type 02 FR003 Facade, Aluminum Fin Type 03 FR004 Facade, Aluminum Fin Type 03 FR004 Facade, Aluminum Fin Type 04 GR000 Glass Reinforced Connect, Type 01 FR002 Paring, Type 01 FR002 Paring, Type 02 FR004 Paring, Type 04 FR004 Paring, Type 04 FR005 Paring System (Esterior), Type 03 FR006 Paring System (Esterior), Type 03 FR007 Paring System (Esterior), Type 04 FR007 Paring System (Esterior), Type 04 FR008 Paring System (Esterior), Type 05 FR009 Paring System (Esterior), Type 06 FR009 Paring System (Esterior), Type 07 FR009 Paring System (Est	FAC#	Facade, Type # refer to wall type schedule for details on plan
FRIOZ Facade, Aluminium Fin Type 02 FRIO3 Facade, Aluminium Fin Type 03 FRIO3 Facade, Aluminium Fin Type 03 FRIO4 Facade, Aluminium Fin Type 04 GRC01 Glass Reinforced Concrete, Type 01 PRIO2 Parking, Type 01 PRIO2 Parking, Type 02 PRIO4 Pyriog, Type 04 FS01 Park System (Exterior), Type 01 FS02 Park System (Exterior), Type 02 FS03 Park System (Exterior), Type 03 FS04 Park System (Exterior), Type 03 FS04 Park System (Exterior), Type 03 FS05 Park System (Exterior), Type 03 FS06 Park System (Exterior), Type 03 FS07 Park System (Exterior), Type 03 FS08 Park System (Exterior), Type 03 FS09 Park System (Exterior), Type 03 FS09 Park System (Exterior), Type 03 FS09 Park System (Exterior), Type 03 FS01 Type 01 Trinder, Type 01 Trinder, Type 01 Trinder, Type 01 Trinder, Type 01	FAC01	Colour through compressed fibre cement rain screen facad
FR003 Facade, Aluminum Fin Type 03 FR004 Facade, Aluminum Fin Type 04 GRC01 Glass Reinforced Concrete, Type 01 PR002 Paring, Type 01 PR002 Paring, Type 02 PR004 Paring, Type 02 PR004 Parin System (Exterior), Type 01 PS01 Parin System (Exterior), Type 02 PS03 Parin System (Exterior), Type 02 PS03 Parin System (Exterior), Type 03 FS04 Parin System (Exterior), Type 04 FS05 Parin System (Exterior), Type 05 FS06 Parin System (Exterior), Type 05 FS07 Resilient Finish, Type 2 TC01 Terracotta, Type 01 Tracotta, Type 01 Tracotta, Type 01 Tracotta, Type 01 Tracotta, Type 01	FIN01	Facade, Aluminium Fin Type 01
FROM Flande, Aluminium En Type 04  GRC01 Glass Reinforced Concrete, Type 01  PRV01 Paving, Type 01  PRV02 Paving, Type 02  PRV04 Paving, Type 04  PRV04 Paving, Type 04  PRV05 Paving, Type 04  PRV05 Pavin System (Exterior), Type 07  PRV04 Pavin System (Exterior), Type 03  PRV04 Pavin System (Exterior), Type 04  PRV05 Pavin System (Exterior), Type 05  PRV06 Pavin System (Exterior), Type 06  PRV07 Resilient Finish, Type 07  TRV01 Timber, Type 01	FIN02	Facade, Aluminium Fin Type 02
GRC01 Glass Reinforced Concele, Type 01   PBW01   Pawing, Type 01   PBW02   Pawing, Type 02   PBW04   Pawing, Type 04   PS01   Pawing, Type 04   PS01   Pawing System (Exterior), Type 01   PS02   Pawing System (Exterior), Type 02   PS03   Pawing System (Exterior), Type 03   PS04   Pawing System (Exterior), Type 04   PS05   Pawing System (Exterior), Type 05   Pawing System (Exterior), Type 06   RF2   Resilient Finish, Type 01   TM01   Timber, Type 01	FIN03	Facade, Aluminium Fin Type 03
PRV01 Pawin, Sype 01  PRV02 Pawin, Sype 02  PRV04 Pawin, Sype 04  PS01 Part System (Exterior), Sype 01  PS02 Part System (Exterior), Type 02  PS03 Part System (Exterior), Type 03  PS04 Part System (Exterior), Type 04  PS05 Part System (Exterior), Type 04  PS05 Part System (Exterior), Type 05  RF2 Resiliert Finish, Type 0  Trotto Terracotta, Type 01  TM001 Timber, Type 01	FIN04	Facade, Aluminium Fin Type 04
PRIVOZ Paving, Type 02  PRIVOL Paving, Type 04  PS01 Pairi System (Exterior), Type 01  PS02 Pairi System (Exterior), Type 02  PS03 Pairi System (Exterior), Type 03  PS04 Pairi System (Exterior), Type 04  PS05 Pairi System (Exterior), Type 04  PS05 Pairi System (Exterior), Type 05  RF2 Resilient Finish, Type 01  Triblo Timber, Type 01	GRC01	Glass Reinforced Concrete, Type 01
PRIVAL Pairs, Type 04 PRIVAL Pairs, Type 01 PRIVAL System (Exterior), Type 01 PRIVAL System (Exterior), Type 02 PRIVAL System (Exterior), Type 03 PRIVAL System (Exterior), Type 03 PRIVAL System (Exterior), Type 04 PRIVAL System (Exterior), Type 05 PRIVAL System (Exterior), Type 05 PRIVAL System (Exterior), Type 05 PRIVAL System (Exterior), Type 07 TOOL Terracotta, Type 01 TIMOL Timber, Type 01	PAV01	Paving, Type 01
PS01 Pairs System (Exterior), Type 01 PS02 Paird System (Exterior), Type 02 PS03 Paird System (Exterior), Type 03 PS04 Paird System (Exterior), Type 04 PS05 Paird System (Exterior), Type 05 RSP2 Resilient Finish, Type 0	PAV02	Paving, Type 02
PS02 Paint System (Exterior), Type 02 PS03 Paint System (Exterior), Type 03 PS04 Paint System (Exterior), Type 04 PS05 Paint System (Exterior), Type 05 PS72 Resilient Finish, Type 0 TS001 Timber, Type 01 TM01 Timber, Type 01	PAV04	Paving, Type 04
PS03 Pair System (Exterior) Type 03 PS04 Pairt System (Exterior) Type 04 PS05 Pairt System (Exterior) Type 05 PS72 Resilient Fixish, Type 0 TC01 Terracotta, Type 01 TM01 Timber, Type 01	PS01	Paint System (Exterior), Type 01
PS04   Paint System (Exterior), Type 04     PS05   Paint System (Exterior), Type 05     PS72   Resilient Finish, Type 2     T001   Terracotta, Type 01     T1M01   Timber, Type 01	PS02	Paint System (Exterior), Type 02
PS05 Paird System (Exterior), Type 05 RP2 Resilient Finish, Type 2 TOD1 Terracotta, Type 01 TIM01 Timber, Type 01	PS03	Paint System (Exterior), Type 03
RF2 Resilient Finish, Type 2 TC01 Terracotta, Type 01 TIM01 Timber, Type 01	PS04	Paint System (Exterior), Type 04
TCO1 Terracotta, Type 01 TIMO1 Timber, Type 01	PS05	Paint System (Exterior), Type 05
TIM01 Timber, Type 01	RF2	Resilient Finish, Type 2
	TC01	Terracotta, Type 01
TIM02 Timber, Type 02	TIM01	Timber, Type 01

Basement 3			
	Residential	1A	74
	Residential	Accessible 2.4	8
	Residential	Custom	1
cycle parking			
, , , , ,	Allocation	Туре	Quantity
Ground Floor	Allocation	Type Horizontal Parking	Quantity 4
, , , , ,	Allocation		Quantity 4
Ground Floor	Allocation		Quantity 4

rev	date	name	ID	description	by	chl
05	16/8/19	S75W Updated Package for DPIE review			SB	
06	27/2/20	S75W Basement Updates			SB	
07	21/3/20	S75W Submission			SB	

Crown Group L29, 1 Market Street, Sydney, NSW, Australia



EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

Section 75W Application Basement 3

project	Not to Scale	sheet no.	first issued	02/05/2017 revision
CGE	N	S75W130	012	07



Site Boundary

pend	
Code	item
ACMOT	Aluminium Sheet, Type 01
ALF01	Aluminium Favet, Type 01
ALF02	Aluminium Firish, Type 02
ALF03	Alumnum Finan, Type 03
8901	Balustrade System, Type 01
8802	Belustrade System, Type 02
CSb	Concrete Render & Paint
FAC#	Facade, Type # refer to wall type schedule for details on plan A1000
FAC01	Colour through compressed fibre coment rain screen facade system
PINOS	Facade, Aluminium Fin Type 01
FIN02	Facade, Aluminum Fin Type 02
FINOS	Facede, Aluminium Fin Type 03
F9V04	Facade, Numinium Fin Type 04
GR001	Glass Reinforced Concrete, Type 01
PWOt	Paving Type 01
PRV02	Paving Type 02
PAV04	Planning Type: 04
PS01	Plaint System (Exterior), Type 01
PS02	Plant System (Exterior), Type 02
PS03	Paint System (Exterior): Type 03
PS04	Plant System (Extenor), Type 04
PS05	Paint System (Exterior), Type 05
RF2	Resilient Finish, Type 2
TC01	Terracotta, Type 01
TIMOI	Timber Spe 01

NOTE:
APPROVED MOD 1 NORTH ELEVATION WAS
A GRAPHIC COMBINATION OF PREVIOUSLY
APPROVED ELEVATION DOCUMENTATION

CONTAINED MINOR ERRORS IN HOW ELEVATIONS WERE ALIGNED TO THE MODEL WHICH CAUSED DIFFERENCES BETWEEN THE FIMT DOCUMENTATION

CORRECTED THOSE ERRORS.

THERE IS NO CHANGE TO THE PLAN AREA SCOPE OF THE MOD1 APPROVED ENVELOPES FOR BUILDINGS 1, 1A AND 1B.

client					
rev date	mante	(D)	description	by	chik
04 16/8/19	S75W Updated Package for DPN review			\$8	
05 16/3/20	DRAFT S15W Submission for D Comment	PE		38	
06 21/3/20		m		38	

Crown Group L29, 1 Market Street, Sydney, NSW, Australia





egend Code	Rem
ADM01	Aluminium Sheet, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Firish, Type 02
ALF03	Aluminum Finan, Type 03
8901	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CSb	Concrete Render & Paint
FAC#	Facade, Type # refer to wall type schedule for details on plan A1000
FAC01	Colour through compressed fibre coment rain screen facade system
PINOS	Facade, Aluminium Fin Type 01
FIN02	Facade, Aluminum Fin Type 02
FINOS	Facade, Aluminium Fin Type 03
FN04	Floorde, Aluminium Fin Type 04
GR001	Glass Reinforced Concrete, Type 01
PWVOt	Paving Type 01
PRV02	Paving, Type 02
PAV04	Plantig Type 04
PS01	Paint System (Extense), Type 01
PS02	Paint System (Exterior), Type 02
PS03	Paint System (Extenor): Type 03
PS04	Paint System (Extener), Type 04
PS05	Paint System (Exterior), Type 05
RF2	Resilient Finish, Type 2
TCOI	Terracotta, Type 01
TIMO1	Timber, Type 01
TIM02	Timber, Type 02

NOTE:
APPROVED MOD 1 NORTH ELEVATION WAS
A GRAPHIC COMBINATION OF PREVIOUSLY
APPROVED ELEVATION DOCUMENTATION BY PREVIOUS ARCHITECT.

THE APPROVED DOCUMENTATION CONTAINED MINOR ERRORS IN HOW ELEVATIONS WERE ALIGNED TO THE MODEL WHICH CAUSED DIFFERENCES BETWEEN THE FIMT DOCUMENTATION

THE PROPOSED ELEVATION HAS CORRECTED THOSE ERRORS.

THERE IS NO CHANGE TO THE PLAN AREA SCOPE OF THE MOD1 APPROVED ENVELOPES FOR BUILDINGS 1, 1A AND 1B.

rev	date	manto	(D	description	by	chie
04	16/8/19	\$35W Updated Plackage for QPIE review			SB	
06	21/3/20	\$75W Submission			18	

Crown Group L29, 1 Market Street, Sydney, NSW, Australia

EASTLAKES TOWN CENTRE - NORTH SITE Evans Avenue Eastlakes SYDNEY NSW 2018

Section 75W Application Elevations East



legend Code	Berry
ACM01	Aluminium Sheet, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Alumnium Frieh, Type C3
BS01	Balustrade System, Type 01
8802	Belustrade System, Type 02
CRP	Concrete Render & Paint
FAC#	Facade, Type # refer to wall type schedule for details on plan A1000.
FACOI	Colour through compressed fibre cement rain screen facade system
PINOS	Facade, Aluminium Fin Type 01
FIN02	Facade, Aluminum Fin Type 02
FINOS	Facade, Atuminium Fin Type 03
FW04	Facade, Aluminium Fin Type 04
GR001	Glass Reinforced Concrete, Type 01
PWVOI	Playing, Type 01
PRV02	Paving, Type 02
PAV04	Planning Type 04
PS01	Paint System (Extenor), Type 01
PS02	Plaint System (Exterior), Type 02
PS03	Paint System (Extenor): Type 03
PS04	Plaint System (Extensor), Type 04
PS05	Paint System (Exterior), Type 05
RF2	Resilient Finish, Type 2
TCOI	Terracotta, Type 01
TIMOI	Timber, Type 01

NOTE:
APPROVED MOD 1 NORTH ELEVATION WAS
A GRAPHIC COMBINATION OF PREVIOUSLY
APPROVED ELEVATION DOCUMENTATION BY PREVIOUS ARCHITECT.

THE APPROVED DOCUMENTATION CONTAINED MINOR ERRORS IN HOW ELEVATIONS WERE ALIGNED TO THE MODEL WHICH CAUSED DIFFERENCES BETWEEN THE FIMT DOCUMENTATION

THE PROPOSED ELEVATION HAS CORRECTED THOSE ERRORS.

THERE IS NO CHANGE TO THE PLAN AREA SCOPE OF THE MOD1 APPROVED ENVELOPES FOR BUILDINGS 1, 1A AND 1B.

rev	date	marrio	(D)	description	by	chi
04	16/8/19	\$75W Updated Plackage for QPIE review			SB	
05	16/3/20	Submission for DPIE Comment			58	
.06	21/3/20	\$75W Submission			.58	

Crown Group L29, 1 Market Street, Sydney, NSW, Australia



EASTLAKES TOWN CENTRE - NORTH SITE

Evans Avenue Eastlakes SYDNEY NSW 2018

Section 75W Application Elevation West









For Approval

EASTLAKES TOWN CENTRE - NORTH SITE

Section 75W Application Elevations





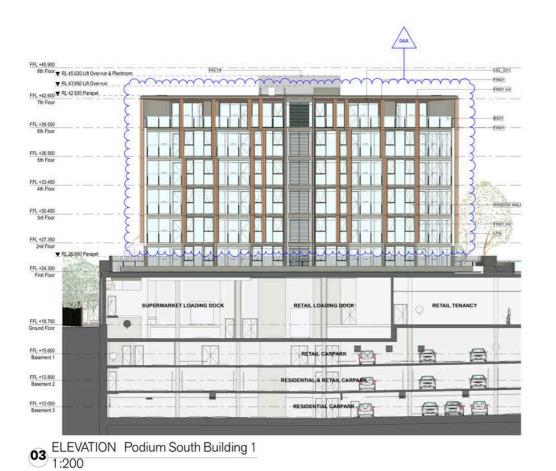


ELEVATION West 1:200



For Approval











legend		
Code		- 1
ACM01	Aluminium Sheet, Type 01	







Section 75W Application Evans Avenue Photomon

revision 04 CGEN S75W130020



lege	end	
	Code	
	ACM01	Aluminium Sheet Time 01





Crown Group L29, 1 Market Street, Sydney, NSW, Australia

EASTLAKES TOWN CENTRE - NORTH SITE
Evans Avenue Eastlakes
SYDNEY NSW 2018

Section 75W Application Gardeners Road Photomontage

CGEN

### ADAPTABLE APARTMENTS:

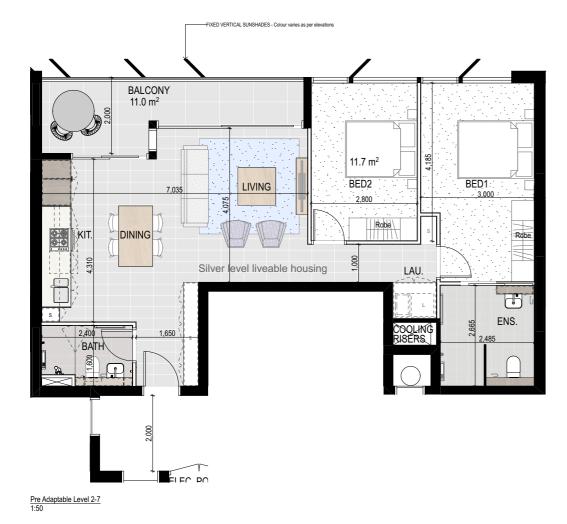
NS-1B-202

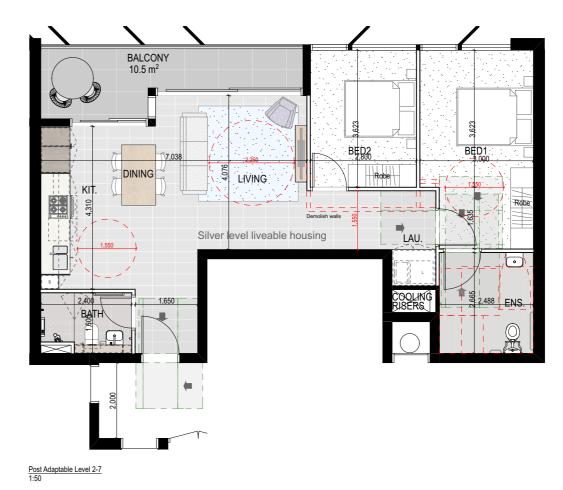
○ FRANCIS-JONES MOREHENTHORP PTY LTD 2020 ABN 28101 197 219 NOMINATED ARCHITECT: RICHARD FRANCIS-JONES (REG NO 530

NS-1B-302

NS-1B-402 NS-1B-502

NS-1B-602 NS-1B-702







### GENERAL NOTES

o ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'.

DO NOT SCALE DRAWINGS.

		USE FIGURED DIMENSIONS ONLY.	
eg	end Code	Item	
	ACM01	Aluminium Sheet, Type 01	
	ALF01	Aluminium Finish, Type 01	
	ALF02	Aluminium Finish, Type 02	
	ALF03	Aluminium Finish, Type 03	

PAV04 Paving, Type 04

TIM01 Timber, Type 01

rev date	name	ID	description	by	chl
client					
Crown Grou L29, 1 Mark	up xet Street, Syd	ney, NSW	/, Australia	C	1

fjmt

06

EASTLAKES TOWN CENTRE - NORTH SITE Evans Avenue Eastlakes SYDNEY NSW 2018

Section 75W Application Adaptable Units

02/05/2017











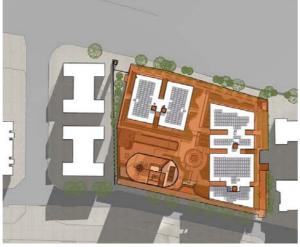


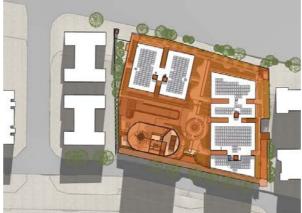
**NO CHANGE** 

**TO APPROVED** 

**STATUS** 

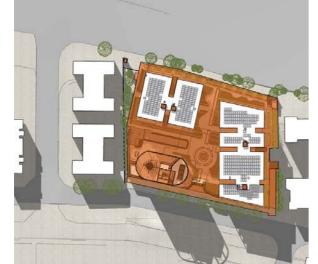




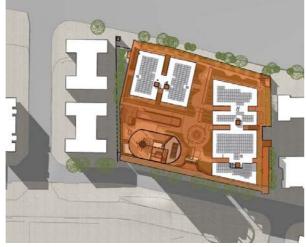


Shadow analysis 21 June - 11am



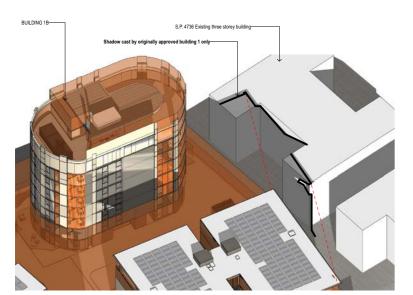


Shadow analysis 21 June - 1pm

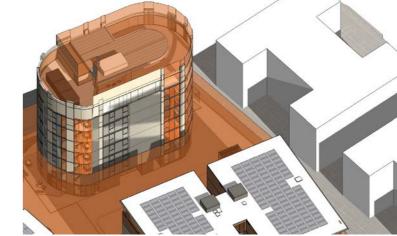


Shadow analysis 21 June - 2pm









		S75W Submission			SB	
03	16/8/19	S75W Updated Package for DPIE review			SB	
re	/ date	name	ID	description	by	chk

EASTLAKES TOWN CENTRE - NORTH SITE

Crown Group L29, 1 Market Street, Sydney, NSW, Australia

Section 75W Applicat Shadow Analysis

scale	Not to Scale		first issued	02/05/2
project	code	sheet no.		revi



			Α	JI .	Reside	ential			Retail				Build	ling 1						Build	ing 1/	١					В	uilding	1B		
Level	RL of FFL	FFL to FFL	GBA	GBAL	GFA	NLA	POS	GFA	NLA	GLAR	1Ba	1BM	1BS	2B	2BM	3B	Apt/C/L	1B	1BM	1BS	2B	2BS	3BS	звк	Apt/C/L	1B	2BM	2B	2Ba	3B	Apt/C/L
Roof	45,900		336																												
Level 07	42,600	3,300	442		350	319	31								$ \wedge $											1		1	1	1	4
Level 06	39,550	3,050	2,232		1,521	1,297	421							>	2 <	2	4		1		3	2		1	7	1		1	1	1	4
Level 05	36,500	3,050	2,452		1,882	1,632	267				1	3		A	$\sim$		8		3	1	6	1			11	1		1	1	1	4
Level 04	33,450	3,050	2,453		1,921	1,670	233				1	3		4			8		3		6	1	1		11	1		1	1	1	4
Level 03	30,400	3,050	2,453		1,921	1,670	233				1	3		4			8		3		6	1	1		11	1		1	1	1	4
Level 02	27,350	3,050	2,453		1,921	1,669	229				1	3		4			8		3		6	1	1		11	1		1	1	1	4
Level 01	24,300	3,050	2,218	3,572	1,896	1,595	464				1	3		4			8		3		6	1	1		11	2	1				3
Level 00	18,700	5,600	5,196		73			3,352	2,876	2,863																					
Basement 1	variable	variable	5,529		105			105																							
Basement 2	variable	variable	5,529																												
Basement 3	variable	variable	4,269																												
		Totals	35,561	3,572	11,589	9,851	1,878	3,457	2,876	2,863	5	15	0	20	2	2	44	0	16	1	33	7	4	1	62	8	1	6	6	6	27

	otal Apt/Floor				ngs	Buildi	All E	t Types	artment	Ap		
Adaptabl apartmen		BK	3BS	3B	2BM	2BS	2Ba	2B	1 <i>BM</i>	1Ba	1BS	1B
1	4			1			1	1				1
	-											
1	14	1		3		2	1	6				1
2	23			1		1	1	11	6	1	1	1
2	23		1	1		1	1	11	6	1	0	1
2	23		1	1		1	1	11	6	1	0	1
2	23		1	1		1	1	11	6	1	0	1
1	22		1		1	1		10	6	1	0	2
11	132	1	4	8	1	7	6	61	30	5	1	8
		196	3%	6%	1%	5%	5%	46%	23%	4%	1%	6%
		e	Bed Ty	31		ре	Bed Ty	2 E		Туре	1 Bed	
			10%				56%			%	33	

## 190509 Blg 1+1A BASIX commitments notes block

BASIX Commitments	
Element	Material / Parameter
Construction and Insulation Details	
Ground / lowest floor	Minimum 400mm suspended concrete structural slab over basement
Upper floors	200mm suspended concrete slabs
Exposed floors	Floors above open and/or non-conditioned space.  R10 added insulation to soffit or within framed cavity (1-101, 1-102, 1-103, 1-105, 1-108, 1A-105, 1A-109, 1A-111)  R20 added insulation to the soffit or within framed cavity for apartments 1-105, 1-107, 1A-511 (on exposed floor above Level 4 balcony)
External walls	Compressed Fibre Cement Cladding R2.0 added insulation
Party walls between apartments	Aerated autoclaved concrete block with cavity and plasterboard lining
Walls between apartments and corridor	Aerated autoclaved concrete block with cavity and plasterboard lining  R1.0 added insulation
Internal partition walls	Lightweight cavity stud, plasterboard lining
	Concrete slab with cavity and plasterboard ceiling lining MEDIUM roof colour
Ceilings/Roof	R4.0 added insulation for apartments 1A-510, 1A-511, R3.0 added insulation elsewhere
Floor coverings	Bedrooms, Living/Dining, Study, Hall - carpet  Wet areas - tiles  Kitchen - tiles  Except where tiles are indicated for entire apartment
Window coverings	Holland blinds (by occupant)
Shading	All eaves, balconies, balustrades, wall extensions/wing walls, vertical shade louvres and window reveals as shown on plans and elevations.
Downlights	No downlights.  Downlights if fitted are to be sealed, with approved non-ventilated downlight covers, allowing for continuous installation of insulation over the fitting without resultant penetrations in the insulation or air transfer to ceiling cavity.  An IC-4 fitting rating should be sought in accordance with AS/NZS 60598.2.2.
Exhaust Fans	Provision for exhaust fans - 1 per kitchen, laundry, bathroom and ensuite. 150x150 opening, sealed.
Glazing Details	
All Dwellings	Aluminium frame windows Whole of window system parameters:  -Sliding doors and windows, fixed windows: U=4.8, SHGC=0.59  -Awnings and other window types: U=5.4, SHGC=0.41  Installed glazing systems not to exceed V-values stated, and must have SHGC within ± 10% of value stated.
Note on colours and solar absorptance (SA) - LIGHT: SA < 0.48, MEDIUM: SA 0.4	
l i	value of the construction meets or exceeds that of the constructions and added insulation described above.
Any substitution of glazing needs to ensure required U-value and SHGC of the glaz Insulation must be installed in accordance with the thermal construction requirements	
Downlights have not been modelled	na or part or 2 or time mod

## **Car Parking Schedule**

Allocation	Class	Quanti
Retail Loading 03		
	Custom	1
Retail Loading 02		
	Custom	1
Retail Loading 01		
	Custom	1
Retail		
	3A2.7	124
	Accessible 2.4	5
	Motorcycle	20
	Small Car	6
Residential		
	1A	137
	Accessible 2.4	11
	Custom	1
Car & Pet Wash Bay		
	Custom	1

# **Bicycle Parking Schedule**

Allocation	Туре	Quantity
Residential Visitor		
	Horizontal Parking	24



IO NOT SCALE DRAWINGS. ISE FIGURED DIMENSIONS

Code	Item
ACM01	Aluminium Sheet, Type 01
ALF01	Aluminium Finish, Type 01
ALF02	Aluminium Finish, Type 02
ALF03	Aluminium Finish, Type 03
BS01	Balustrade System, Type 01
BS02	Balustrade System, Type 02
CRP	Concrete Render & Paint
FAC#	Facade, Type # refer to wall type schedule for details on plan A10003
FAC01	Colour through compressed fibre cement rain screen facade system
FIN01	Facade, Aluminium Fin Type 01
FIN02	Facade, Aluminium Fin Type 02
FIN03	Facade, Aluminium Fin Type 03
FIN04	Facade, Aluminium Fin Type 04
GRC01	Glass Reinforced Concrete, Type 01
PAV01	Paving, Type 01
PAV02	Paving, Type 02
PAV04	Paving, Type 04
PS01	Paint System (Exterior), Type 01
PS02	Paint System (Exterior), Type 02
PS03	Paint System (Exterior), Type 03
PS04	Paint System (Exterior), Type 04
PS05	Paint System (Exterior), Type 05
RF2	Resilient Finish, Type 2
TC01	Terracotta, Type 01
TIM01	Timber, Type 01
TIM02	Timber, Type 02

### **Waste Room Schedule**

Waste Unit	Type	Volume	Quantit
7th Floor, Building 1B, Waste Chute			
E-Diverter	Refer Spec	N/A	2
6th Floor, Building 1, Waste Room			
Recycling Bin	MGB	240L	2
6th Floor, Building 1A, Waste Room			
Recycling Bin	MGB	240L	2
6th Floor, Building 1B, Waste Chute			
E-Diverter	Refer Spec	N/A	1
5th Floor, Building 1, Waste Room			
Recycling Bin	MGB	240L	2
5th Floor, Building 1A, Waste Room			
Recycling Bin	MGB	240L	2
5th Floor, Building 1B, Waste Chute			
E-Diverter	Refer Spec	N/A	1
4th Floor, Building 1, Waste Room			
Recycling Bin	MGB	240L	2
4th Floor, Building 1A, Waste Room			
Recycling Bin	MGB	240L	2
4th Floor, Building 1B, Waste Chute			
E-Diverter	Refer Spec	N/A	1
3rd Floor, Building 1, Waste Room			
Recycling Bin	MGB	240L	2
3rd Floor, Building 1A, Waste Room			
Recycling Bin	MGB	240L	2
3rd Floor, Building 1B, Waste Chute			
E-Diverter	Refer Spec	N/A	1
2nd Floor, Building 1, Waste Room			
Recycling Bin	MGB	240L	2
2nd Floor, Building 1A, Waste Room			
Recycling Bin	MGB	240L	2
2nd Floor, Building 1B, Waste Chute			
E-Diverter	Refer Spec	N/A	1
First Floor, Building 1, Waste Room			
Recycling Bin	MGB	240L	2
First Floor, Building 1A, Waste Room			
Recycling Bin	MGB	240L	2
First Floor, Building 1B, Waste Chute			
E-Diverter	Refer Spec	N/A	1
Ground Floor, Holding Area, Residential			
Recycling Bin	MGB	660L	12
Ground Floor, Holding Area, Residential			
Recycling Bin	MGB	660L	1
Waste Bin	MGB	660L	9
Waste Bin	MGB	660L	4
Basement 1, Building 1, Waste Room			
Bin Lifter	Refer Spec	240L	1
Recycling Bin	MGB	660L	4
Service Bin	MGB	660L	1
Waste Bin	MGB	660L	4
Basement 1, Building 1A, Waste Room			
Recycling Bin	MGB	660L	6
Service Bin	MGB	660L	1
Waste Bin	MGB	660L	6
Basement 1, Building 1B, Waste Room			
Recycling Bin	MGB	660L	3
Service Bin	MGB	660L	2
Waste Bin	MGB	660L	3
Waste Dill	MGD	OUUL	3

05	21/3/20	S75W Submission			SB	_
04	16/8/19	S75W Updated Package for DPIE review			SB	
rev	date	name	ID	description	by	ch



fjmt

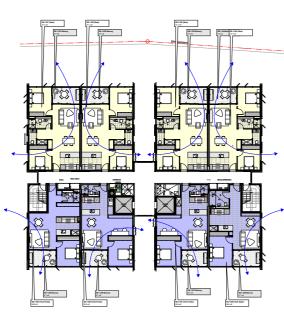


Section 75W Application Area Schedule

For Approval

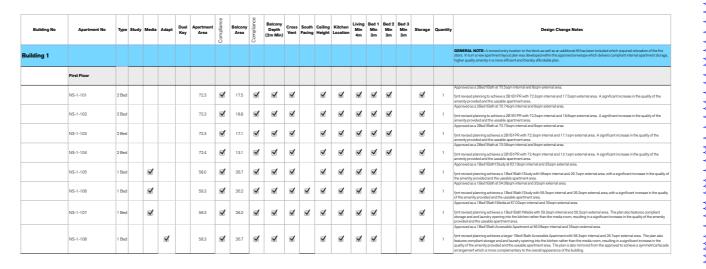
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PLAN 6th Floor
NTS ADG Compliance Diagrams



PLAN 2nd to 5th Floor
NTS ADG Compliance Diagrams





Building No	Apartment No	Type	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)				Kitchen Location	Living Min 4m	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	Design Change Notes
Building 1																						GENERAL NOTE: A revised entry location to the block as well as an additional lift has been included which required relocation of the fire state. It has a new apartment by locatify his was developed within the approved envelope which delivers compilant internal apartment storage, higher quality among in a more efficient and threshy although plan.
	2nd to 5th Floor																					
	NS-1-201,301,401,501	2 Bed					72.1	ゼ	9.3		✓	ゼ		ゼ	ゼ	ゼ		ゼ		€	1	Approved as a 2ºBed1 Bath at 7.005 agm reternal and 2ºSagm external area.  Transport of the provided planning includes a powder room, standalone laundry and now provides compliant internal storage to achieve a 2ºB1B1PR with 72.1 agm internal and 9 3 sogm external area. A significant increase in the quality of the amenty provided and the useable apartment area.
	NS-1-202,302,402,502	2 Bed					72.1	ゼ	9.3		✓	₹		₹	₹	⋖	⋖	⋖		€	1	Approved as 2 (Seef 18th at 1975) Stopm internal and 7 (Sopm external area.  Approved as 2 (Seef 18th at 1975) Stopm internal and 2 (Sopm external area.  Approved as 2 (Seef 18th at 1975) Stopm internal and 2 (Sopm external area.  A significant increase in the country internal area.  A significant internal area.  A significant increase in the country internal area.  A significant internal area.  A significant increase in the country internal area.  A significant internal area
	NS-1-203,303,403,503	2 Bed					72.1	໔	9.3		ゼ	₹			₹	⋖	⋖	⋖		₹	1	approximate as 2 uses 2 use
	NS-1-204,304,404,504	2 Bed	1				72.1	໔	9.3		ゼ	₹			⋖	⋖	⋖	⋖		₹	1	first revised planning includes a powder room, standalone laundry and now provides compliant internal storage to achieve a 2B1B1PR with 72.1 spm internal and 9.3spm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-205,305,405,505	1 Bed		€			58.0	໔	9.1	⋖	ゼ	₹		₹	₹	⋖	⋖			₹	1	Approved as a 18edt 18bb 15bb y dt 22 19epm internal and 7 25epm external area.  If the relative of the 18bb 15bb y dt 22 19epm internal and 7 25epm external area.  If the relative of the relative or the 18bb 15bb 15bb 15bb 15bb 15bb 15bb 15bb
	NS-1-206,306,406,506	1 Bed		€			59.3	ゼ	8.7	⋖	✓	₹	⋖	⋖	₹	⋖	⋖			€	1	Approved as a 1 eroot team at a Aussign reternal and -2 pages desernal area.  Set revised plants gircludes a approved media soon, standahon laundry and now provides compilant internal atrange to achieve a 18181S with 59 3-page internal and 8.7 page noternal area. A significant increase in the quality of the amen'ny provided and the usuable assistment area.
	NS-1-207,307,407,507	1 Bed		₹			59.3	₫	8.7	๔	✓	✓	✓	✓	₹	₫	๔			₹	1	Approved as a 18ed1 Bath at 67 (202m internal and 7.2cpm external area.  Ignit revised planning includes a generous media noon, standalone baundry and now provides compliant internal storage to achieve a 1818/15/18/18/2 days internal and 8.7cpm external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-208,308,408,508	1 Bed			€		58.4	₫	9.1	ゼ	✓	ゼ		✓	₹	€	€			₹	1	Approved as a 1 Best 1 Bath Accessible Apartment at 56.80xpm internal and 7 Zopm external area.  Synt meisand planning achieves a larger 1 Best 1 Bath Accessible Apartment with 58 Apari internal and 9.1 xpm external area. The new plan features compliant storage and and alrundy opening into the kitchen, resulting in a significant increase in the quality of the amenty provided and the cuesable synthemical area.

Building No	Apartment No	Туре	Study	Media	Adapt	Dual Key	Apartment Area	Compliance	Balcony Area	Compliance	Balcony Depth (2m Min)			Kitchen Location	Min	Bed 1 Min 3m	Bed 2 Min 3m	Bed 3 Min 3m	Storage	Quantity	P Design Change Notes
Building 1																					GENERAL NOTE: A revised entry location to the block as well as an additional lift has been included which required relocation of the fire st
	6th Floor																				
	NS-1-601	3 Bec					110.1	₹	55.9	₹	₹	₹	₹	₹	₹	₹	€	ゼ	€	1	Approved as a 38ed/Stain Perthouse at 10s/64opn internal and approximately 50opn external area. fjmt revised planning includes a generous master suite to the East, standalone laundry and now provides compliant internal storage to achi a 3808 with 1101 spm internal and 55 sppm external area. A significant increase in the quality of the amening provided and the usuable quartiment area.
	NS-1-602	3 Bec					110.1	₹	56	₹	₹	₹	₹	€	₹	₹	₹	₹	₹	1	Approved as a 3Bed/Staft Perthouse at 105.64 arm internal and approximately 50 ppm external area. fjmt revised planning includes a generous master suite to the West, standalone laundry and now provides compliant internal storage to achieve a 3BeØ with 110 fisqm internal and 50 ppm external area. A significant increase in the quality of the amenty provided and the use apartment area.
	NS-1-603	2 Bed		ゼ			90.4	⋖	45.9	€	ゼ	ゼ	€	ゼ	ゼ	ゼ	₹		€	1	Approved as a 2Bedt Bath Perthouse at 85.64 arm internal and approximately 50 sqn external area. Synt revised planning achieves a 2BDB1 M with 90.4 sqn internal and 45.9 sqn external area. A significant increase in the quality of the amenity provided and the useable apartment area.
	NS-1-604	2 Bed		€			90.4	๔	45.9	€	ゼ	₹	€	ゼ	ゼ	ゼ	₹		€	1	Approved as a 286ed/Bath Media Perthouse at 98,97 sign internal and approximately 50sign external area. fjimt revised planning achieves a 280811 Mi with 90 Asign internal and 45.9 sign external area. A significant increase in the quality of the amenity provided and the ususable apartment area.



ALL DIMENSIONS AND EXISTING CONDITIONS

SHALL BE CHECKED AND VERIFIED BY THE
CONTRACTOR BEFORE PROCEEDING WITH THE WORK

DO NOT SCALE DRAWINGS.

USE FIGURED DIMENSIONS ONLY.

02	6/4/20	S75W Submission	02A	S75W20 - Apartment Layout & Area changes	GB	
01	21/3/20	S75W Submission			SB	
rev	date	name	ID	description	by	ch

Crown Group L29, 1 Market Street, Sydney, NSW, Australia

fjmt

EASTLAKES TOWN CENTRE - NORTH SITE Evans Avenue Eastlakes SYDNEY NSW 2018

Section 75W Application Building 1 ADG Compliance Analysis



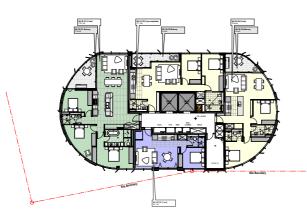


EASTLAKES TOWN CENTRE - NORTH SITE

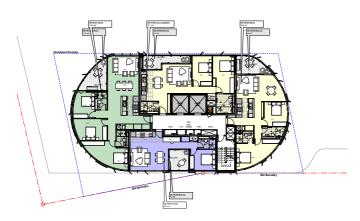
Section 75W Application Building 1A ADG Compliance Analysis

For Approval

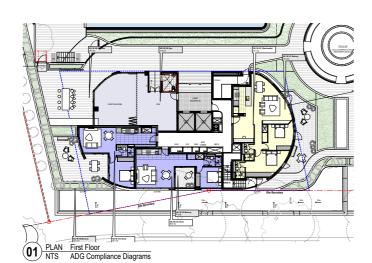
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PLAN 7th Floor
NTS ADG Compliance Diagrams



PLAN 2nd to 6th Floor NTS ADG Compliance Diagrams







### GENERAL NO

ALL DIMENSIONS AND EXISTING CONDITIONS

SHALL BE CHECKED AND VERIFIED BY THE

ALL LEVELS RELATIVE TO AUSTRALIAN HEIGH

DO NOT SCALE DRAWINGS.

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Crown Group L29, 1 Market Street, Sydney, NSW, Australia

nunity **fint** 

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project

EASTLAKES TOWN CENTRE - NORTH SITE Evans Avenue Eastlakes SYDNEY NSW 2018

title

title
Section 75W Application
Building 1B ADG Compliance Analysis

Project Nam	ie	200406 CGEN S75W Architectural Design Report							
Project Code	е	CGEN							
Document N	Document Name S75W Architectural Design Statement								
Document II	)	200406 CGEN S75W Architectural Design Report							
Revision	Date	Comment	Approved						
0	20/03/20	For approval	SB						
А	06/04/20	For Approval	SB						

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64 fjmt studio architecture interiors urban landscape architectural design report eastlakes town centre - north site