

APPENDIX G - VIEW ANALYSIS

1.0 Executive Summary

The Parramatta City Centre DCP places priority on identified strategic view corridors. The east-west view corridor along George Street is identified as a significant view corridor. The proposed development will not impact negatively on this existing view corridor due to proposed building setbacks, setback of upper storeys above level 4 and the undercroft void at the northwest corner of the proposed building.

Appropriate view sharing of private views is achieved and no loss of iconic or natural views results from the proposed development.

The scale of the building being a number of storeys taller than the buildings immediately surrounding the site is most notable when looking south from the northern side of George Street. However, setbacks minimise any impact of that height on experience from the street level.

The scale of the development will not impact negatively on views when considered in the context of the desired future character of the area as a higher density commercial centre. As the urban fabric changes over time, the scale of the proposed development will become relatively small compared to what is permissible under the proposed built form controls. This smaller scale is appropriate due to the adjacent heritage item.

Thus the development does not impact negatively on key views in the existing and future context of the Parramatta CBD.

2.0 Views from the Public Domain

Views analysis is primarily concerned with views from the public domain. The impact on views of Perth House are considered paramount. The diagram below shows the 4 key points for which potential view impacts were identified.



Figure 1 Key View Locations

2.1 Key View Corridor - East-West along George Street

The proposed development will not impact on this existing viewing corridor and will enhance the westerly view along George Street to Perth House due to the generous building setback and two-storey undercroft void at the northwest corner of the proposed building.



Figure 2 : View 1 existing looking towards the west down George Street.

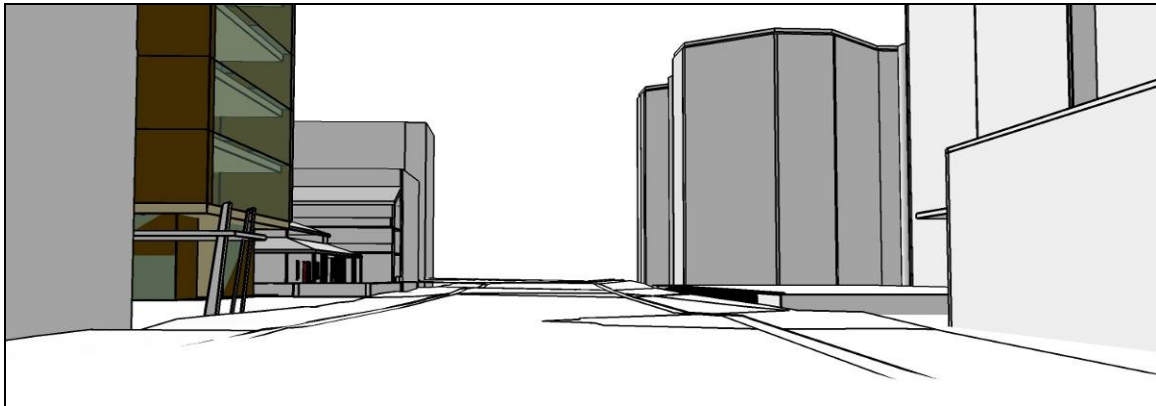


Figure 3: View 1 proposed

Figure 4 shows that the proposed setback at 89 George St reduces the appearance of bulk and scale from the streetscape. Buildings to the east of 89 George Street have a greater visual impact on the immediate streetscape environment along George Street. The façade articulation, undulation and upper level green roof reduce the visual impact of the proposal on George Street's public streetscape.



Figure 4: View 2 proposed looking southeast along George Street.

The view directly towards the south to 89 George Street from the northern side of George Street is impacted due to the scale of the proposed development. However, the quality of the existing view is low being of medium-rise commercial buildings to the south of Macquarie Street. Thus, views to the south are not adversely affected. Further, visible surface area of the street elevation is consistent with existing buildings and in the case of 101 George Street, less than half of the visible surface area.



Figure 5: Relationship of proposed development to Perth House

2.1.1 Perth House

The visual impact of the proposed development is not inappropriate in its particular urban setting. The design of the western building façade clearly sets Perth House apart from the new development. The façade articulation and materials reduce the perceived weight of the building in relation to Perth House. The cutting out of the northwest corner of the proposed development further reduces any potential visual impacts on Perth House. Finally, proposed landscape around Perth House creates a backdrop or buffer between the proposed development as well as 85 George Street and mitigates the effects of bulk and scale on the pedestrian experience of Perth House and its surrounding public and semi-public spaces.

Thus the proposed development does not impact on the views along the east-west George Street corridor. Further, no notable or iconic view is lost. Views to Perth House have been preserved from both the east and west.

2.2 Views from the South of the Proposed Development

A Public School is located directly to the south of the proposed development. The visual impact of the proposed development viewed from the south is consistent with the perceived bulk of adjacent buildings.

The tall, slender profile of the proposed development contrasts to the lower boxy buildings along George Street and visible from the public school grounds. The tall, slender profile of the proposed development creates a variety to the skyline established along George Street from this vantage. The articulation of the western façade and roof garden reduce the appearance of bulk at the upper levels of the proposed development where the long side of the building is visible as shown in Figure 6.

The visible surface area of the southern façade of the proposed development is consistent with the adjacent buildings and much less than half that of 101 George Street. Relative surface areas are shown in Figure 7 below. While the proposed building does reduce the amount of sky visible, due to the slender profile of the building any shadow cast to the south would be fast moving.

The proposed development does not result in the loss of any iconic or key views towards the north.

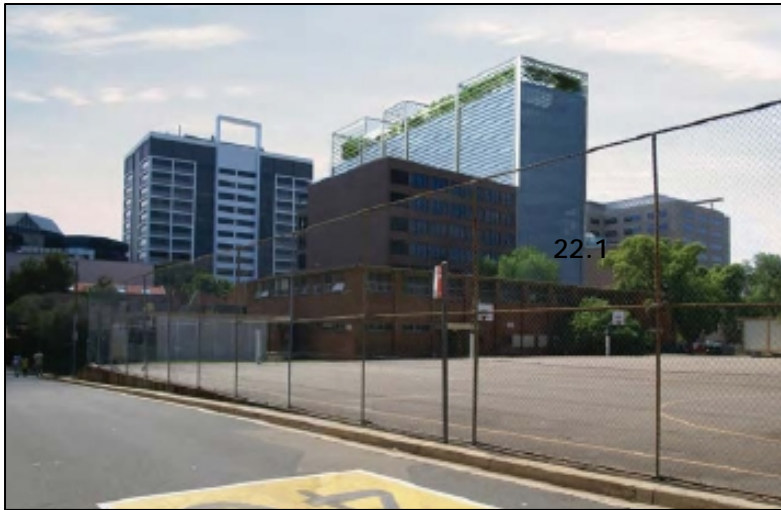


Figure 6: View 3 from corner of Barrack Lane and Macquarie Street

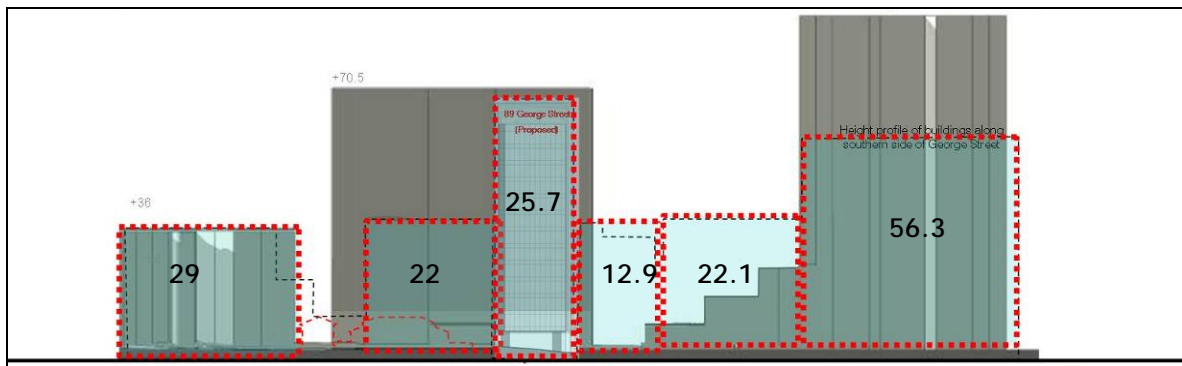


Figure 7: Relative bulk of buildings visible from public school.

3.0 Views from the Private Domain

Secondary to views of the public domain, views from the private domain have been considered in terms of the extent of view sharing. The test for view sharing was taken from *Tenacity Consulting v Warringah* [2004] NSWLEC 140 which uses a 4 step process to assess the appropriateness of view sharing of a particular development.

There will be some reduction in southerly views from office buildings located on the northern side of George Street and properties to the south of the site in Macquarie Street, due to replacing the existing 6 metre high building with a 13 storey office building.

The setback of upper levels reduces the impact of the building on view corridors from buildings along George Street.

The proposed setback of the building from George Street and the eastern side boundary enables northerly views from the corner and the northernmost western side windows of No. 91 George Street to be maintained.

Given the CBD high-rise commercial context of the site and its locality, some view loss from nearby commercial office buildings constitutes reasonable view sharing.

Further, no notable or iconic views have been identified which are impacted negatively by the proposed development.

4.0 Future Context

The Parramatta City Centre LEP and DCP encourage higher density commercial development in the commercial core area surrounding the site. As indicated in Figure 8 and 9 below the proposed height and bulk of 89 George Street is clearly in keeping with any future redevelopment of nearby sites in accordance with these controls. In fact, the building height proposed at 89 George Street is substantially less than that which may be achieved on adjoining allotments.

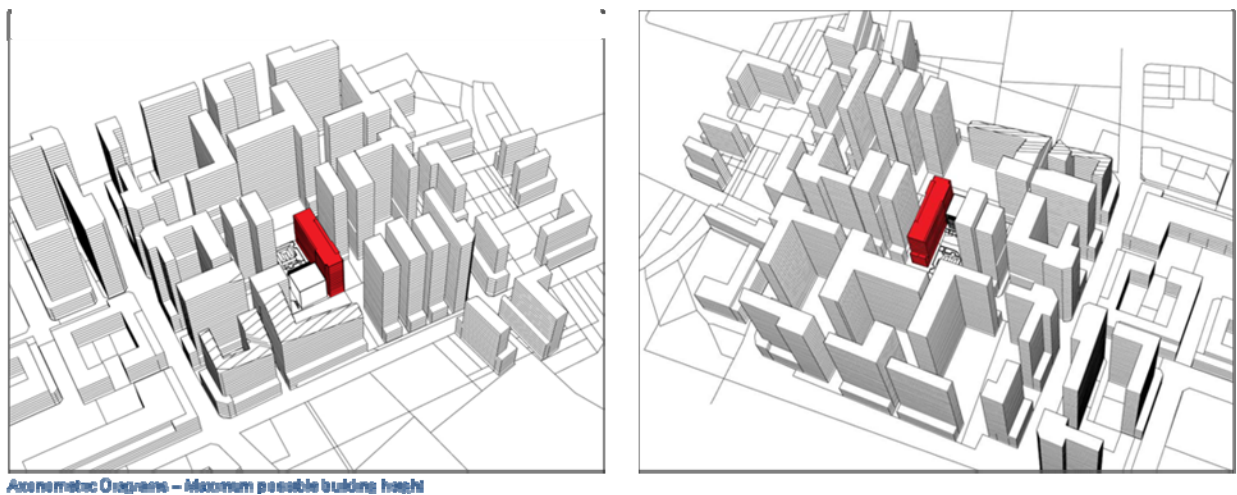


Figure 8: Axonometric Diagrams

The proposed development is likely to be lower and of less bulk than future buildings, particularly considering the built form controls applicable to the sites on the northern side of George Street. The design anticipates the future urban form of Parramatta City Centre while maintaining a sympathetic relationship with Perth House, thus being of a lower height and smaller FSR than that permitted by the applicable development controls and guidelines.



Future Built Form Context Model

The future built form scenario represented in the adjoining figures was created by modeling possible future building envelopes by considering City Centre LEP and DCP controls including maximum height and FSR, active streets and street address as well as the solar access plan controls for Lancer Barracks.

The model clearly demonstrates the proposed development is well within the potential bulk and scale development context for the commercial core of the Parramatta City Centre.



Figure 9: Context Model - Future Character

The school grounds adjoining 89 George Street to the south are highly susceptible to change and could either be sold by the school for commercial development or could be retained for educational purposes and undergo redevelopment in the form of a ‘vertical’ school which would be in keeping with the desired future character of Parramatta’s commercial core, provide sufficient floor space to keep pace with the education needs of an expanding local population, and allow the retention of important open space for school recreation.

5.0 Conclusion

The view impact on the primary public view corridor being George Street is negligible. The slender profile of the building together with its upper level green roof treatment and façade articulation sufficiently reduce any potential negative impacts of the proposed building envelope on the public domain, including the immediate visual relationship between the proposed development and Perth House.

Views from the east towards Perth House from George Street are improved from the existing condition.

The visual bulk of the proposed building is consistent with the adjacent buildings both as viewed from the South across the public school playing fields and as viewed from George Street.

The visual impact of the proposed development would be further reduced in the envisioned future context of the Parramatta CBD as a one of Sydney’s City of Cities. Visual impact from the south in particular would be reduced considering the likelihood of a redevelopment of the low scale school development directly to the south of 89 George Street.